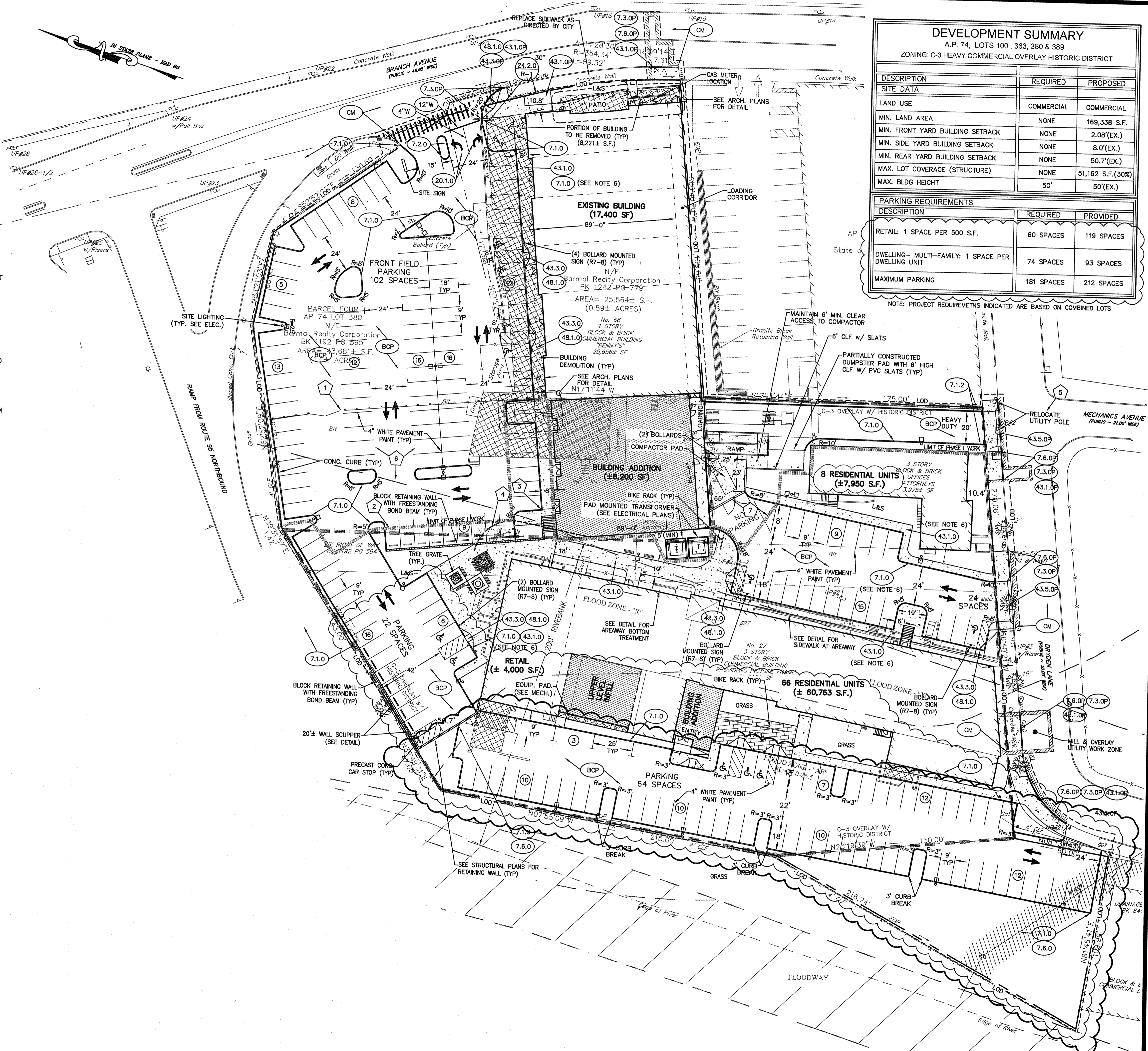


**SHEET NOTES:**

- SEE SHEET C-1 FOR GENERAL NOTES AND LEGEND.
- PARKING CALCULATIONS (REF. ARTICLE 14.1402.TABLE 14-1.)**
  - REQUIRED PARKING:**  
 PROPOSED RETAIL CENTER:  
 1 SPACE/500 S.F. = ± 25,600 S.F./500 S.F. = 52 SPACES  
 RESIDENTIAL (EX. OFFICE BUILDING):  
 1 SPACE/DWELLING UNIT = 8 UNITS = 8 SPACES  
 RENOVATED MILL BUILDING:  
 PROPOSED RETAIL:  
 1 SPACE/500 S.F. = ± 4,000 S.F./500 S.F. = 8 SPACES  
 RESIDENTIAL:  
 1 SPACE/DWELLING UNIT = 66 UNITS = 66 SPACES  
 TOTAL PARKING REQUIREMENT: 134 SPACES
  - MAXIMUM PARKING (REF. ARTICLE 14.1402.B.1.)**  
 MAXIMUM PARKING:  
 134 SPACES x 1.35= 181 SPACES
- BICYCLE PARKING (REF. ARTICLE 14.1402.TABLE 14-1.)**  
 (FINAL LOCATIONS AND CONFIGURATIONS MAY VARY)  
 RETAIL: 12 SPACES (OVER 10,000 S.F. - 1 PER 2,500 S.F.)  
 DWELLING UNIT: 15 (1 PER 5 DWELLINGS)
- RELIEF GRANTED BY CITY FORESTER FOR 5' PERIMETER PARKING LOT LANDSCAPE STRIP (SECTION 1504-A) AND INTERIOR PARKING LOT LANDSCAPING AREA (SECTION 1505-B).
- LIGHT POLES SHALL BE SET AT 25' HEIGHT UNLESS OTHERWISE NOTED.
- LOWER LEVEL OF GARAGE/DECK STRUCTURE SHALL BE OPEN AND SHALL NOT IMPED FLOODWATER FLOWS. (SEE SHEET C-4 FOR SCHEMATIC SECTION)
- CURB/SIDEWALK INSTALLATIONS SHALL BE CAST INTEGRAL CURBS TO THE DIMENSIONAL REQUIREMENTS OF PRECAST CURB (RI STD 7.1.0).

**PHASE I WORK LIMIT NOTES:**

- INSTALL 6' HIGH TEMPORARY FENCE FROM BUILDING TO PROPERTY LINE WITH 18" GATE AS INDICATED. END PARKING STRIPING 18' FROM TEMPORARY FENCE TO ALLOW ADEQUATE VEHICLE CIRCULATION. MINIMUM REQUIRED LINED PARKING FOR PHASE I IS 35 SPACES (17,400/500). PROPOSED LINED SPACES IS 58.
- INSTALL TEMPORARY WALL OR STABILIZED SLOPE TO EXISTING (MILL) DEVELOPMENT ZONE.
- END SIDEWALK AT CURB UNTIL WALL/STAIR IS INSTALLED.
- PROVIDE 20' LEVEL ACCESS AROUND MILL BUILDING. COORDINATE WITH ADJACENT CONTRACTOR FOR CONSTRUCTION EQUIPMENT LIMITATIONS ADJACENT TO MILL BUILDING.
- COORDINATE NEW ENTRANCE CONSTRUCTION WITH UTILITY POLE RELOCATION COORDINATION TO BE DONE BY MILL CONTRACTOR.
- TOP COURSE ASPHALT SHALL NOT BE INSTALLED PAST PHASE I FENCE.
- EXTEND PHASE I PAVEMENT MATCH LINE AS REQUIRED TO PROVIDE SMOOTH PAVEMENT TRANSITION FOR COMPACTOR PICK-UP.

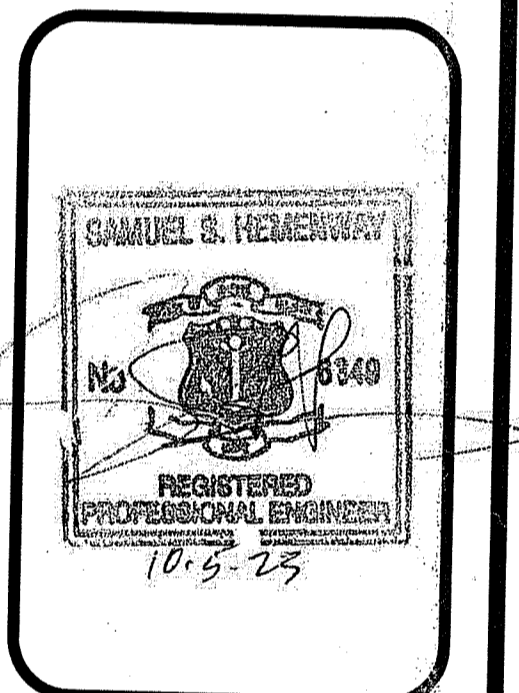


DEVELOPMENT SUMMARY		
A.P. 74, LOTS 100, 363, 380 & 389		
ZONING: C-3 HEAVY COMMERCIAL OVERLAY HISTORIC DISTRICT		
DESCRIPTION	REQUIRED	PROPOSED
<b>SITE DATA</b>		
LAND USE	COMMERCIAL	COMMERCIAL
MIN. LAND AREA	NONE	169,338 S.F.
MIN. FRONT YARD BUILDING SETBACK	NONE	2.08'(EX.)
MIN. SIDE YARD BUILDING SETBACK	NONE	8.0'(EX.)
MIN. REAR YARD BUILDING SETBACK	NONE	50.7'(EX.)
MAX. LOT COVERAGE (STRUCTURE)	NONE	51,162 S.F.(30%)
MAX. BLDG HEIGHT	50'	50'(EX.)
<b>PARKING REQUIREMENTS</b>		
DESCRIPTION	REQUIRED	PROVIDED
RETAIL: 1 SPACE PER 500 S.F.	60 SPACES	119 SPACES
DWELLING- MULTI-FAMILY: 1 SPACE PER DWELLING UNIT	74 SPACES	93 SPACES
MAXIMUM PARKING	181 SPACES	212 SPACES

NOTE: PROJECT REQUIREMENTS INDICATED ARE BASED ON COMBINED LOTS

**SITE LAYOUT PLAN**  
 FOR  
**REDEVELOPMENT AT BRANCH AVENUE**  
 AP 74 LOTS 100, 363, 380 & 389  
 SITUATED ON  
 66 & 76 BRANCH AVENUE  
 178 PRINTER STREET  
 27 DRYDEN LANE  
 RHODE ISLAND  
 PREPARED FOR  
**CGRI PROVIDENCE BRANCH, LLC**

NO.	REVISION	BY	DATE
2	CONSTRUCTION PHASING COORDINATION	RAS	6/03/2020
3r	PHASE I/SI SIDEWALKS, GRADES & PARKING NUMBER SUMMARY	SSH	9/16/2020
4	PAD/WALK PER OWNER	KYY	10/06/2020
5r	MOVE COMPACTOR PER OWNER	KYY	01/04/2021
6	REMOVE DECK	KJA	09/25/2023
7	WEST PARKING FIELD MODIFICATION	RAS	10/05/2023



**GAROFALO**  
 GAROFALO & ASSOCIATES, INC.  
 CIVIL AND ENVIRONMENTAL ENGINEERS/SURVEYORS  
 PLANNERS/ENVIRONMENTAL SCIENTISTS

These drawings are the property of the engineer/surveyor and have been prepared by the owner for this project and shall not be used for any other purpose, location or owner without written permission of the engineer or one of its directors.

100 STATE STREET  
 SUITE 6145  
 PROVIDENCE, R.I. 02940  
 PHONE: 401-273-6000  
 FAX: 401-273-6000

APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL DATED: **SEP 13 2023**

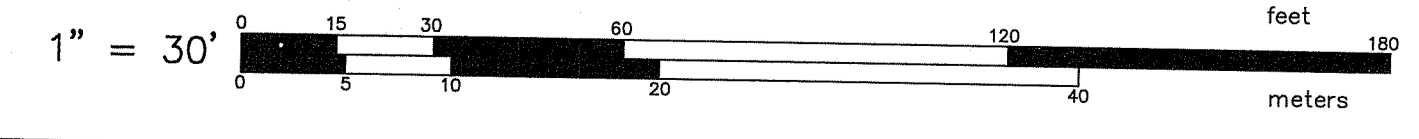
DWG. NO. 7157-00-516.dwg  
 SCALE: AS SHOWN  
 SHEET: C-3

CHECKED BY: S.S.H.  
 APPROVED S.S.H.  
 DATE: OCTOBER 21, 2019

RI Environmental Management  
 OCT 06 2023  
 Office: W. Resources

4 OF 14 SHEETS

L:\7157-00 Commercial Center (Complan) - Branch Avenue - Providence, RI\dwg\01-Current\7157-00-site.dwg 10/05/2023 rstevens 14:49

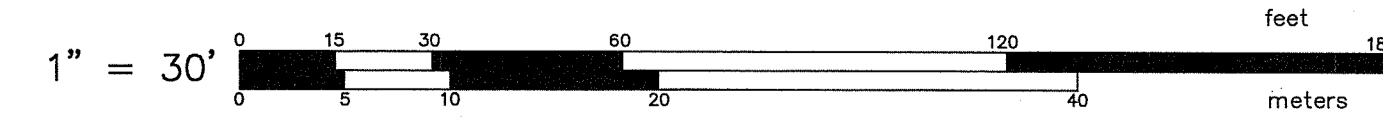
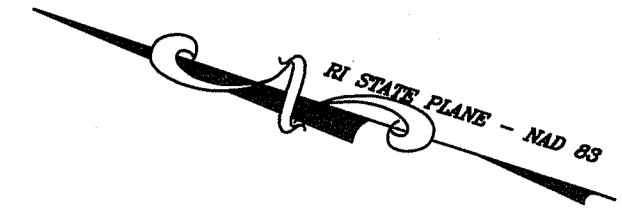
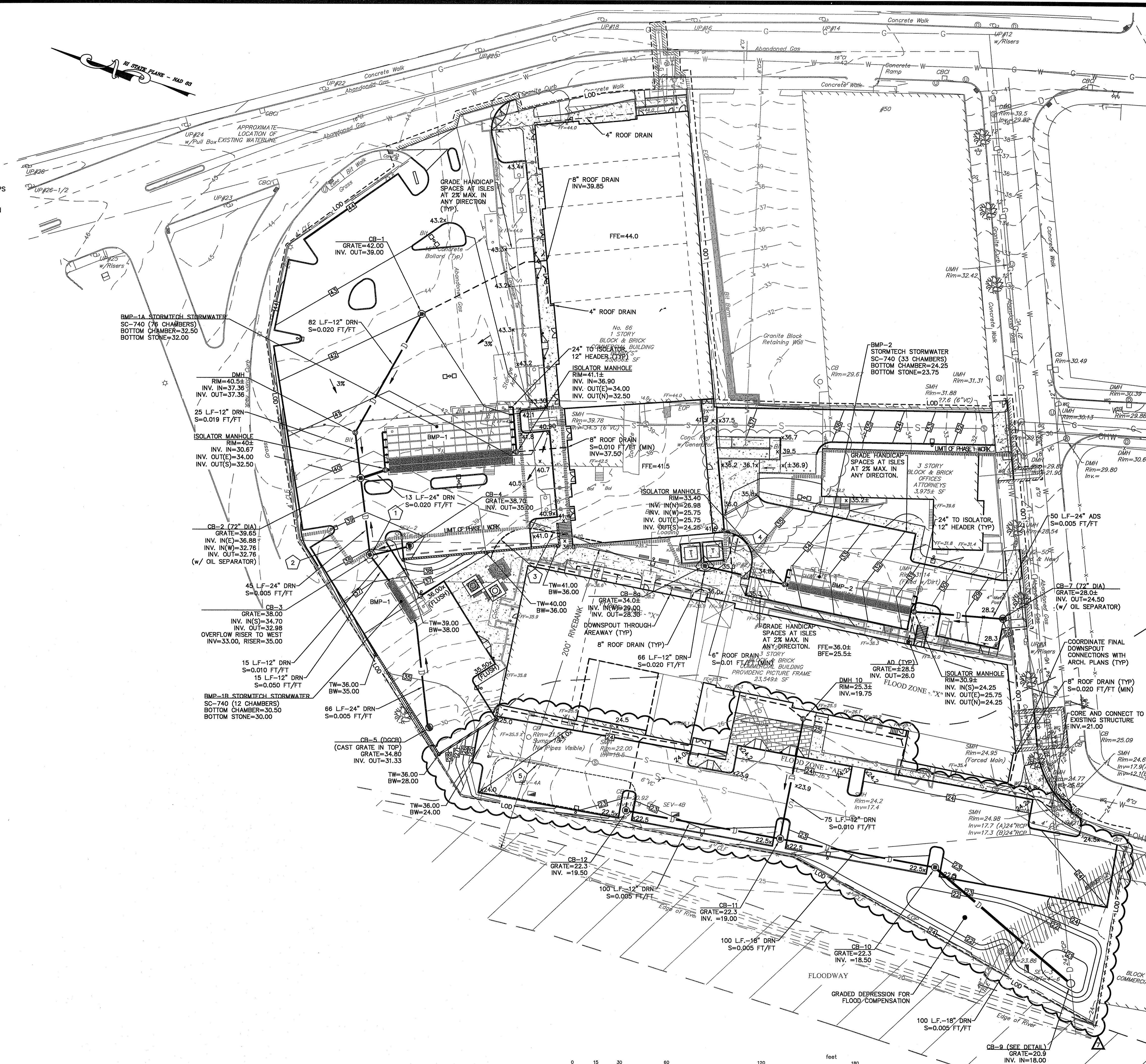


**SHEET NOTES:**

- SEE SHEET C-1 FOR GENERAL NOTES AND LEGEND.
- CONTRACTOR SHALL NOTIFY ENGINEER FOR INFILTRATION SYSTEM BOTTOM INSPECTION PRIOR TO INSTALLING STONE.
- ROOF DRAIN SHALL BE SDR35 PVC PIPE INSTALLED AT 0.01 FT/FT MINIMUM.
- (DELETED)

**PHASE I WORK LIMIT NOTES:**

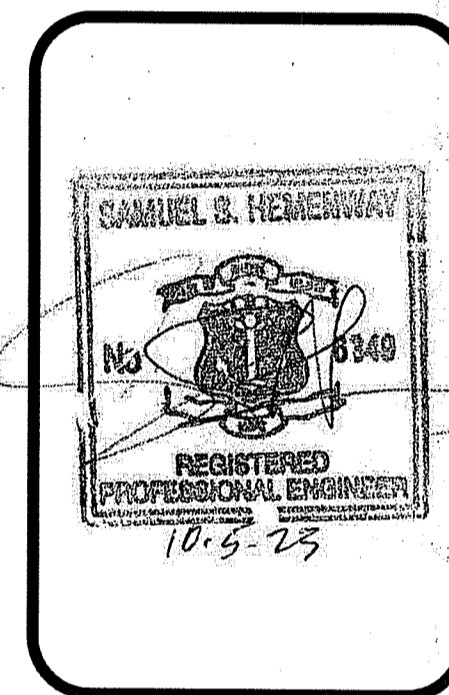
- CONSTRUCT CB-3 AND PROVIDE 2' STUBS TO CB-4 & 5 WITH CAPS FOR FUTURE EXTENSION.
- INSTALL ASPHALT TRANSITION TO EXISTING PAVED AREA TO REMAIN UNTIL ADJACENT CONSTRUCTION
- PROVIDE 20' LEVEL ACCESS AROUND MILL BUILDING. COORDINATE WITH ADJACENT CONTRACTOR FOR CONSTRUCTION EQUIPMENT LIMITATIONS ADJACENT TO MILL BUILDING.
- COORDINATE WITH BUILDING PLANS TO PROVIDE NON-EROSION DISCHARGE OF BUILDING/WALK AREAS TO GRADE.
- TEMPORARY STOCKPILE AREA FOR EXCESS EXCAVATED MATERIAL SUITABLE FOR BACKFILL BEHIND FUTURE WALLS.



LV157-00 Commercial Center (Compton) - Branch Avenue - Providence, RI (dwg 01-Curren\7157-00-grading.dwg 10/05/2023 ratovns 14:48)

**GRADING & DRAINAGE PLAN**  
 FOR  
**REDEVELOPMENT AT BRANCH AVENUE**  
 AP 74 LOTS 100, 363, 380 & 389  
 SITUATED ON  
 66 & 76 BRANCH AVENUE  
 178 PRINTRY STREET  
 27 DRYDEN LANE  
 RHODE ISLAND  
 PREPARED FOR  
**CGRI PROVIDENCE BRANCH, LLC**

NO.	REVISION	BY	DATE
1	FINAL LDP SUBMISSION	KYY	3/16/2020
2	CONSTRUCTION PHASING COORDINATION	RAS	6/03/2020
3	PH 1/3 SIDEWALKS AND GRADES	SSH	8/31/2020
4	RAISE/SPLIT BMP TO AVOID UNSUITABLE	KYY	10/06/2020
5	COMPACTOR PAD PER OWNER	KYY	01/04/2021
6	GEN. REMOVE DECK	KJA	09/23/2023
7	WEST PARKING FIELD MODIFICATION	RAS	10/05/2023



**GAROFALO**  
**GAROFALO & ASSOCIATES, INC.**  
 STRUCTURAL ENGINEERS/SURVEYORS  
 CIVIL & ENVIRONMENTAL PLANNERS/ENVIRONMENTAL SCIENTISTS

155 STREET  
 PROVIDENCE, R.I. 02940  
 401-273-8000

APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL  
 DATED: DEC 13 2023 FILE # 19-0287

NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
 APPROVED FOR CONSTRUCTION  
 DWG. NO. 7157-00-Grading.dwg  
 SCALE: AS SHOWN  
 APPROVED S.S.H.  
 DATE: OCTOBER 21, 2019

SHEET  
**C-4** OCT 06 2023  
 5 OF 14 SHEETS



**GENERAL CONSTRUCTION NOTES:**

- AN APPROVED SET OF PLANS AND ALL APPLICABLE PERMITS MUST BE AVAILABLE AT THE CONSTRUCTION SITE TRAILER AT ALL TIMES. DEVIATIONS OR CHANGES WILL NOT BE ALLOWED UNLESS BY WRITTEN APPROVAL FROM THE ENGINEER.
- SITWORK CONSTRUCTION SHALL NOT COMMENCE UNTIL ALL APPROVALS HAVE BEEN SECURED. REQUIRED PERMITS/APPROVALS FOR THE PROJECT INCLUDE BUT NOT LIMITED TO THE FOLLOWING: DEMOLITION PERMITS, SITE PLAN APPROVAL BY THE CITY OF PROVIDENCE, RIDOT PHYSICAL ALTERATION PERMIT, RIDEM FRESHWATER WETLANDS PROGRAM, RIDEM STORMWATER CONSTRUCTION PERMIT AND WATER QUALITY CERTIFICATION, NARRAGANSETT BAY COMMISSION, PROVIDENCE WATER SUPPLY BOARD CONNECTION PERMIT, AND PROVIDENCE MAJOR LAND DEVELOPMENT PERMIT.
- THE CONTRACTOR MUST RETAIN THE SERVICES OF A REGISTERED LAND SURVEYOR IN THE STATE OF RHODE ISLAND TO LAYOUT ON THE GROUND ALL NEW ELEMENTS OF WORK. IF ANY WORK IS INSTALLED PRIOR TO THE ABOVE REQUIREMENT AND IF ANY WORK IS NOT SATISFACTORY TO THE ENGINEER, THE CONTRACTOR MUST REPLACE THE WORK AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL VERIFY THE PROPOSED LAYOUT WITH ITS RELATIONSHIP TO THE EXISTING SITE SURVEY. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, SITE CONDITIONS AND MATERIAL SPECIFICATIONS AND SHALL NOTIFY THE OWNER AND ENGINEER OF ANY ERRORS, OMISSIONS OR DISCREPANCIES BEFORE COMMENCING, INSTALLING OR PROCEEDING WITH WORK.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES AND TO TAKE WHATEVER NECESSARY MEASURES NEEDED TO PROVIDE FOR THEIR PROTECTION. THE ENGINEER HAS DILIGENTLY ATTEMPTED TO LOCATE AND INDICATE ALL EXISTING UNDERGROUND UTILITIES AND FACILITIES ON THE DRAWINGS; HOWEVER, THE INFORMATION SHOWN IS FOR THE CONTRACTORS CONVENIENCE ONLY. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS OF UTILITIES SHOWN OR NOT SHOWN. THE CONTRACTOR SHALL MAKE EXPLORATORY EXCAVATIONS AND LOCATE ANY EXISTING UTILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION, VERIFY ALL DIMENSIONS, SITE CONDITIONS AND MATERIALS. THE CONTRACTOR MUST CONTACT THE LOCAL UTILITY COMPANIES FOR EXACT LOCATION OF UTILITIES PRIOR TO THE START OF ANY CONSTRUCTION AND SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BEFORE START OF ANY WORK. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR AND REPLACE ANY AND ALL DAMAGE MADE TO UTILITIES BY THE CONTRACTOR.
- THE CONTRACTOR MUST NOTIFY OPERATORS WHO MAINTAIN UNDERGROUND UTILITIES IN THE AREA OF PROPOSED CONSTRUCTION, EXCAVATION OR BLASTING AT LEAST THREE WORKING DAYS, BUT NOT MORE THAN TEN WORKING DAYS PRIOR TO THE START OF ANY CONSTRUCTION, EXCAVATION OR BLASTING. ALL WATER, SEWER, GAS AND ALL OTHER UTILITIES MUST BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY PAVEMENT, DRIVEWAYS, SIDEWALKS, WALL, CURBS, ETC. DAMAGED DURING CONSTRUCTION WITH MATCHING MATERIALS.
- THE CONTRACTOR AGREES THAT HE WILL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE PROJECT SITE CONDITIONS THROUGHOUT CONSTRUCTION, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONJUNCTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT.
- ALL MATERIALS USED FOR CONSTRUCTION MUST BE NEW AND FREE OF DEFECTS. USED OR SALVAGED MATERIAL WILL NOT BE ALLOWED UNLESS WRITTEN APPROVAL FROM THE OWNER IS OBTAINED BY THE CONTRACTOR.
- AT ALL TIME THE CONTRACTOR MUST MAINTAIN ACCESS FOR EMERGENCY VEHICLES AROUND AND TO ALL BUILDINGS. (I.E. IN TIMES OF RAIN OR SNOW, ROADS MUST BE ABLE TO CARRY A FIRE TRUCK BY BEING PAVED OR HAVING A CRUSHED STONE BASE, ETC.). WIDTH OF EMERGENCY VEHICLE ACCESS MUST BE A MINIMUM OF 20 FEET WIDE. ACCESS TO BUILDINGS THAT HAVE A FIRE SPRINKLER SYSTEM OR STANDPIPE MUST BE WITHIN 40 FEET OF THE FIRE DEPARTMENT CONNECTION (FDC). NFPA 1141 5-1.
- NECESSARY BARRICADES, LIGHTS, SIGNS AND OTHER TRAFFIC CONTROL METHODS AS MAYBE NECESSARY FOR THE PROTECTION AND SAFETY OF THE PUBLIC MUST BE PROVIDED AND MAINTAINED THROUGHOUT CONSTRUCTION BY THE CONTRACTOR.
- HIGH INTENSITY LIGHTING FACILITIES MUST BE SO ARRANGED THAT THE SOURCE OF ANY LIGHT IS CONCEALED FROM PUBLIC VIEW AND FROM ADJACENT RESIDENTIAL PROPERTY AND DOES NOT INTERFERE WITH TRAFFIC.
- ALL RI HIGHWAY BOUNDS AND PERMANENT SURVEY MARKERS SHALL BE PROTECTED THROUGHOUT CONSTRUCTION.
- ALL TRAFFIC CONTROL SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES 2003 INCLUDING ALL REVISIONS.
- TEST HOLE EVALUATIONS WERE PERFORMED BY GAROFALO & ASSOCIATES ON MARCH 21, 2019.
- REFER TO ARCHITECTURAL, STRUCTURAL, AND MECHANICAL PLANS FOR ALL BUILDING INFORMATION.
- THERE ARE KNOWN RIVERBANK WETLAND AREAS ON OR ADJACENT TO THE PROJECT SITE. THE RIVERBANK WETLAND HAVE BEEN INDICATED ON THE EXISTING CONDITIONS PLAN.
- ALL CURB RADII ARE 3' UNLESS OTHERWISE NOTED ON THE SITE PLAN.
- PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR IS REQUIRED TO DEVELOP AND IMPLEMENT A PLAN FOR THE TEMPORARY CONTROL OF VEHICULAR AND PEDESTRIAN TRAFFIC FOR WORK WITHIN PUBLIC STREET RIGHT-OF-WAY AT THE SITE EGRESS. CONTRACTOR SHALL OBTAIN APPROVAL OF SAID PLAN FROM APPROPRIATE STATE AND COMMUNITY PUBLIC SAFETY OFFICIALS.
- WHEN IT IS NECESSARY TO CLOSE OFF A STREET, THE FIRE DEPARTMENT AND POLICE DEPARTMENT SHALL BE NOTIFIED BY THE CONTRACTOR.
- ALL METHODS AND MATERIALS USED IN CONSTRUCTION WITHIN THE STATE'S ROW SHALL CONFORM TO THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION (RIDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2004 EDITION, WITH ALL REVISIONS. STANDARD DETAILS FOR WORK WITHIN THE STATE'S ROW ARE THE RHODE ISLAND STANDARD DETAILS, 1998 EDITION, WITH ALL REVISIONS.
- PRECAST STRUCTURES MAY BE USED AT CONTRACTOR'S OPTION. SHOP DRAWINGS OF PRECAST STRUCTURES SHALL BE REVIEWED BY THE ENGINEER AND APPROVED BEFORE USE.
- IF ANY EXISTING STRUCTURES AND/OR UTILITIES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, EITHER ON THE PROJECT SITE, ADJACENT PROPERTIES, OR WITHIN STATE RIGHT-OF-WAY, IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.

**EXISTING CONDITIONS:**

- THE EXISTING CONDITIONS INDICATED HEREON ARE TAKEN FROM PLAN ENTITLED "EXISTING CONDITIONS PLAN FOR PROPOSED RETAIL STORE, AP 74 LOTS 100, 363, 380 & 389, SITUATED ON 66 & 76 BRANCH AVENUE, 178 PRINTER STREET, 27 DRYDEN LANE, RHODE ISLAND," PREPARED FOR CARPIONATO GROUP, LLC, FEBRUARY 2018 (GAI # 7130-09). THE INFORMATION SHOWN HAS BEEN TO SUPPLEMENTED TO REFLECT ADDITIONAL UTILITY DATA OBTAINED FROM RECORD PLANS AND CURSORY SITE INSPECTIONS.

**GENERAL UTILITY NOTES:**

- THE CONTRACTOR SHALL NOTIFY DIG-SAFE (1-888-344-7233) AND ALL LOCAL AUTHORITIES & UTILITY COMPANIES TO VERIFY LOCATIONS OF UTILITIES WITHIN THE AREA 72 HOURS PRIOR TO BEGINNING ANY EXCAVATION OR DEMOLITION FOR THE PURPOSE OF COORDINATING THE MARKING OF UNDERGROUND UTILITIES. LOCATION AND DEPTHS OF EXISTING UTILITIES SHOWN ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY, LOCATE AND PROTECT EXISTING UTILITIES IN THE FIELD WHETHER OR NOT SHOWN ON THE DRAWINGS.
- ALL WORK SHALL BE IN COMPLETE ACCORDANCE WITH ALL APPLICABLE STATE, FEDERAL AND LOCAL CODES, AND ALL NECESSARY LICENSES AND PERMITS SHALL BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE UNLESS PREVIOUSLY OBTAINED BY THE OWNER/DEVELOPER.
- THE CONTRACTOR SHALL COORDINATE LOCATION AND INSTALLATION OF ALL UNDERGROUND UTILITIES AND APURTENANCES TO MINIMIZE DISTURBANCE OF CURBING, PAVING AND COMPACTED SUBGRADE. THE CONTRACTOR SHALL NOTIFY THE TOWN ENGINEER & ALL LOCAL UTILITY COMPANIES 48 HOURS BEFORE EACH PHASE OF CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY INFORM THE ENGINEER OF ANY DISCREPANCIES OR ERRORS DISCOVERED IN THE PLANS.
- BEDDING REQUIREMENTS SPECIFIED HEREIN ARE TO BE CONSIDERED AS MINIMUMS FOR RELATIVELY DRY, STABLE EARTH CONDITIONS. ADDITIONAL BEDDING SHALL BE REQUIRED FOR ROCK TRENCHES AND WET AREA. CONTRACTOR SHALL HAVE THE RESPONSIBILITY TO PROVIDE SUCH ADDITIONAL BEDDING AS MAY BE REQUIRED TO PROPERLY CONSTRUCT THE WORK.
- THE CONTRACTOR SHALL REMOVE ANY ABANDONED FOUNDATIONS, UTILITY STRUCTURES, BURIED DEBRIS ETC. WHICH INTERFERE WITH THE INSTALLATION OF THE UTILITY WORK. ALL SUCH STRUCTURES SHALL BE COMPLETELY REMOVED AND THE EXCAVATED AREA SHALL BE BACKFILLED WITH COMPACTED GRAVEL IN 6" LIFTS TO 95% COMPACTION TO 6" BELOW THE BOTTOM OF THE UTILITY AND PIPE.
- COMPACTION OF THE BACKFILL OF ALL TRENCHES SHALL BE COMPACTION TO THE DENSITY OF 95% OF THE THEORETICAL MAXIMUM DRY DENSITY (ASTM D698). BACKFILL MATERIAL SHALL BE FREE FROM ROOTS, STUMPS OR OTHER FOREIGN DEBRIS AND SHALL BE PLACED IN LIFTS NOT TO EXCEED ONE FOOT IN COMPACTED FILL THICKNESS. CORRECTION OF ANY TRENCH SETTLEMENT WITHIN A YEAR FROM THE DATE OF PROJECT APPROVAL WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL PIPING LAYOUT INDICATED ON THESE PLANS IS DIAGRAMMATIC ONLY AND DOES NOT SHOW ALL THE REQUIRED FITTINGS FOR PROPER ALIGNMENT. THE CONTRACTOR SHALL PROVIDE ALL REQUIRED FITTINGS TO OBTAIN PROPER ALIGNMENT AND FOR EXISTING UTILITY CONNECTIONS BASED UPON FIELD CONDITIONS.
- IF DURING EXCAVATION THE TRENCH WIDTH EXCEEDS THE SUM OF THE PIPE O.D. PLUS 2"-0", PLACE AND COMPACT THE FILL TO 12" ABOVE THE PIPE AND RE-EXCAVATE TO REQUIRED GRADE.
- ALL WATER SERVICE MATERIALS AND WORKMANSHIP SHALL CONFORM TO PROVIDENCE WATER SUPPLY BOARD REGULATIONS, STANDARDS AND SPECIFICATIONS. NOTIFICATION SHALL BE PROVIDED TO SAID AUTHORITIES AT LEAST 72 HOURS PRIOR TO INITIATING CONSTRUCTION. DOMESTIC WATER SERVICE PIPING SIZE SHOWN IS APPROXIMATE ONLY AND SHALL BE SIZED AND VERIFIED BY A LICENSED PLUMBING ENGINEER.
- ALL FIRE AND PLUMBING FIXTURES MUST CONFORM TO LOCAL SPECIFICATIONS AND AS STIPULATED BY THE LOCAL FIRE MARSHALL AND/OR THE BUILDING OFFICIAL.
- SEWER LINES SHALL BE INSTALLED AT A MINIMUM 10 FOOT HORIZONTAL SEPARATION FROM ANY PROPOSED OR EXISTING WATER LINE. WHENEVER SEWER LINES MUST CROSS WATER LINES, THE SEWER SHALL BE INSTALLED SO THAT THE TOP OF THE SEWER IS AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN. WHERE 18 INCH VERTICAL SEPARATION & 10 FOOT HORIZONTAL SEPARATION CAN NOT BE MET AT WATER AND SEWER CROSSINGS, THE SEWER PIPE SHALL BE ENGAGED IN EITHER DUCTILE IRON OR 6000 BLUE BRUTE PIPE FOR A DISTANCE OF 10 FEET ON EACH SIDE OF CROSSING.
- STORM DRAINS 12" AND OVER SHALL BE SMOOTH INTERIOR WALL AND EXTERIOR CORRUGATED HIGH DENSITY POLYETHYLENE (HDPE) PIPE CAPABLE OF WITHSTANDING (H=20) LOAD UNLESS NOTED OTHERWISE. PIPE SHALL BE JOINED USING BELL & SPIGOT JOINTS MEETING OR EXCEED ASTM F2648. THE JOINT SHALL BE SOIL-TIGHT AND GASKETS SHALL MEET OR EXCEED ASTM F477. HDPE PIPE SHALL BE AS MANUFACTURED BY ADVANCED DRAINAGE SYSTEMS INC. (ADS), HANCOR PIPE OR LANE PIPE. ALL STORM DRAINAGE PIPING SHALL BE LAID ON A SMOOTH CONTINUOUS GRADE WITH NO VISIBLE BENDS AT THE JOINTS. WHERE INDICATED ON DRAWINGS REINFORCED CONCRETE PIPE (RCP) PIPE SHALL BE CLASS III RCP WITH "O" RING GASKET JOINTS.
- GAS SERVICE FACILITIES SHALL BE DESIGNED BY OTHERS. CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE UTILITY INSTALLATIONS AS REQUIRED TO ENSURE ADEQUATE GAS SERVICE IS PROVIDED AND SHALL BE RESPONSIBLE FOR ALL INSTALLATION PROCEDURES (TRENCHING, LAYING PIPE, ETC.) AS ARE REQUIRED BY THE GAS COMPANY FOR COMPLETE AND IN PLACE CONSTRUCTION.
- ELECTRIC SERVICE FACILITIES SHALL BE DESIGNED BY OTHERS. ELECTRIC SERVICE AND TRANSFORMER PAD SHALL CONFORM TO THE REQUIREMENTS OF THE ELECTRIC COMPANY. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ADEQUATE ELECTRIC SERVICE IS PROVIDED AND SHALL BE RESPONSIBLE FOR ALL INSTALLATION PROCEDURES (TRENCHING, LAYING PIPE, ETC.) AS ARE REQUIRED BY THE ELECTRIC COMPANY FOR COMPLETE AND IN PLACE CONSTRUCTION. REFER TO ELECTRICAL DRAWINGS FOR DETAILS ON ALL UNDERGROUND ELECTRIC.
- TEL/CABLE SERVICE FACILITIES SHALL BE DESIGNED BY OTHERS. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ADEQUATE UTILITY SERVICE IS PROVIDED AND SHALL BE RESPONSIBLE FOR ALL INSTALLATION PROCEDURES (TRENCHING, LAYING PIPE ETC.) AS IS REQUIRED BY THE LOCAL UTILITY CO. FOR COMPLETE AND IN PLACE CONSTRUCTION. REFER TO ELECTRICAL DRAWINGS FOR ALL UNDERGROUND ELECTRIC.

**GENERAL DRAINAGE & GRADING NOTES:**

- ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
- ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING & COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 6" ABOVE FINISH GRADE. LIDS SHALL BE LABELED "STORM SEWER".
- CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
- CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
- ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3H:1V OR STEEPER. CONTRACTOR SHALL GRASS DISTURBED AREAS IN ACCORDANCE WITH THE CITY OF PROVIDENCE SPECIFICATIONS UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
- INSTALL SILT SACKS AT ALL INLETS AFTER INSTALLATION.

**STORMWATER SYSTEM MAINTENANCE NOTES:**

THE DRAINAGE SYSTEMS ARE TO BE MONITORED THROUGHOUT THE ENTIRE CONSTRUCTION PERIOD BY THE CONTRACTOR. UPON COMPLETION OF THE PROJECT THE CONTRACTOR MUST DO A FINAL FULL MAINTENANCE & CLEAN UP OF THE STORMWATER MANAGEMENT SYSTEM AND THE SITE. UPON COMPLETION OF THE CONTRACTOR'S FINAL MAINTENANCE & CLEAN UP OF THE PROJECT, MONITORING OF THE STORMWATER MANAGEMENT SYSTEM SHALL BE THE RESPONSIBILITY OF THE OWNER.

CONSTRUCTION MONITORING/MAINTENANCE PROCEDURES SHALL BE AS FOLLOWS: (RESPONSIBILITY OF CONTRACTOR)

- SILT BARRIER:**  
MONITOR SILT BARRIER ON A WEEKLY BASIS AND AFTER EVERY RAIN STORM EVENT AND REPAIR OR REPLACE ANY DAMAGED AREAS IMMEDIATELY. IMMEDIATELY CLEAN THE SILT BARRIER IF SIX INCHES OR MORE OF SEDIMENT HAS ACCUMULATED ON THE HAYBALE & SILT BARRIER.
- PAVED AREAS:**  
PARKING LOTS, PUBLIC & PRIVATE ROADWAYS AND GUTTERS SHALL BE SWEEPED CLEAN OF ALL SEDIMENT & DEBRIS. SWEEPING & REMOVAL OF DEBRIS SHALL BE PERFORMED ON A WEEKLY BASIS AT A MINIMUM.
- CATCH BASINS:**  
ALL CATCH BASINS SHALL BE INSTALLED AS DETAILED AND INSPECTED AFTER EVERY RAIN STORM EVENT. IMMEDIATELY CLEAN THE CATCH BASIN SUMP IF TWO FEET OR MORE OF SEDIMENT HAS ACCUMULATED WITHIN THE CATCH BASIN.
- DRAIN MANHOLES:**  
DRAIN MANHOLES SHALL BE INSTALLED AS DETAILED AND INSPECTED AFTER EVERY RAIN STORM EVENT. IMMEDIATELY CLEAN THE DRAIN MANHOLE IF ONE FOOT OR MORE OF SEDIMENT HAS ACCUMULATED WITHIN THE DRAIN MANHOLE.
- SUBSURFACE INFILTRATION BASIN (STORMTECH INFILTRATION SYSTEMS AND ISOLATOR ROWS):**  
SUBSURFACE INFILTRATION BASIN SHALL BE INSPECTED AFTER EVERY RAIN STORM. CARE SHALL BE TAKEN TO PREVENT SILTATION OF THE BASIN AFTER INSTALLATION. PRETREATMENT BMP'S (DEEP SUMP CATCH BASINS & WATER QUALITY STRUCTURES) MUST BE MAINTAINED AND CLEANED PER THE PROCEDURES LISTED TO ENSURE PROPER FUNCTIONING. SUBSURFACE INFILTRATION BASIN SHALL BE MONITORED FOR ANY PONDING AND ACCUMULATION OF SEDIMENT/DEBRIS. ALL ACCUMULATED SEDIMENT AND DEBRIS MUST BE REMOVED BY A VAC-TRUCK. DISPOSAL OF ALL SEDIMENT AND DEBRIS MUST BE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL GUIDELINES & REGULATIONS.

POST CONSTRUCTION MONITORING/MAINTENANCE PROCEDURES SHALL BE AS FOLLOWS: (RESPONSIBILITY OF OWNER)

- PAVED AREAS:**  
PARKING LOTS, ROADS AND ALL ACCESS WAYS AND GUTTERS MUST BE SWEEPED CLEAN OF ALL SEDIMENT AND DEBRIS ON BI-ANNUAL BASIS IN SPRING AND FALL OF EACH YEAR, OR AS NECESSARY.
- CATCH BASINS:**  
ALL CATCH BASINS MUST BE INSPECTED AND MAINTAINED ON A BI-ANNUAL BASIS IN MARCH AND OCTOBER OF EACH YEAR. CATCH BASINS MUST BE INSPECTED TO ENSURE THEY HAVE ADEQUATE SUMP CAPACITY, FRAMES AND GRATES ARE NOT DAMAGED, OIL/WATER SEPARATING DEVICES ARE IN PLACE. CATCH BASIN SUMPS ARE TO BE CLEANED OUT DURING BI-ANNUAL INSPECTIONS IN MARCH AND OCTOBER OF EACH YEAR. IMMEDIATELY CLEAN THE CATCH BASIN SUMP IF TWO FEET OR MORE OF SEDIMENT HAS ACCUMULATED WITHIN THE CATCH BASIN.
- DRAIN MANHOLES:**  
ALL DRAIN MANHOLES MUST BE INSPECTED AND MAINTAINED ON A BI-ANNUAL BASIS IN MARCH AND OCTOBER OF EACH YEAR. DRAIN MANHOLES MUST BE INSPECTED TO ENSURE FRAMES AND COVERS ARE NOT DAMAGED AND NO BLOCKAGES HAVE OCCURRED WITHIN THE MANHOLE. DRAIN MANHOLES ARE TO BE CLEANED OUT DURING BI-ANNUAL INSPECTIONS IN MARCH AND OCTOBER OF EACH YEAR IMMEDIATELY CLEAN THE DRAIN MANHOLE IF ONE FOOT OR MORE OF SEDIMENT HAS ACCUMULATED.
- SUBSURFACE INFILTRATION BASINS AND ISOLATOR ROWS:**  
SUBSURFACE INFILTRATION BASIN SHALL BE INSPECTED ON A BI-ANNUAL BASIS, IN MARCH AND OCTOBER OF EACH YEAR. ALL ACCUMULATED SEDIMENT AND DEBRIS MUST BE REMOVED BY A VAC-TRUCK. DISPOSAL OF ALL SEDIMENT AND DEBRIS MUST BE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL GUIDELINES & REGULATIONS.

**INFILTRATION AREA CONSTRUCTION PROTECTION**

FOR THE LONG-TERM FUNCTION OF THE INFILTRATING SYSTEMS, CARE MUST BE TAKEN IN THIS AREA DURING CONSTRUCTION. THE CONTRACTOR SHALL EMPLOY THE FOLLOWING MINIMUM BEST MANAGEMENT PRACTICES (BMP'S):

- THE INFILTRATION AREAS SHALL NOT BE USED AS A CONSTRUCTION SEDIMENTATION SYSTEM.
- CONSTRUCTION EQUIPMENT, VEHICULAR TRAFFIC, PARKING OF VEHICLES, AND STOCKPILING OF CONSTRUCTION AND EARTH MATERIALS SHALL BE OUTSIDE THE LIMITS OF THE INFILTRATION AREA UNTIL INSTALLATION IS COMPLETED. THE SUBGRADE BENEATH THE SYSTEM SHALL NOT BE COMPACTED.
- EXCAVATION FOR CONSTRUCTION OF THE INFILTRATION AREAS SHALL BE PERFORMED MANUALLY OR BY HYDRAULIC EXCAVATOR OR SOME OTHER SIMILAR MEANS TO ENSURE THAT THE EQUIPMENT IS NOT IN DIRECT CONTACT WITH THE NATURAL INFILTRATION EARTH MATERIAL AND DOES NOT CAUSE COMPACTION OF THE MATERIAL AND THE ENTIRE AREA IS TO BE SCARIFIED PRIOR TO INSTALLATION.
- THE CONTRACTOR SHALL INSTALL TEMPORARY CONSTRUCTION FENCING AND EROSION CONTROLS AROUND THE PERIMETER OF THE INFILTRATION AREA TO PREVENT THE USE OF THIS AREA FOR ALL ACTIVITIES THAT MIGHT DAMAGE THE INFILTRATION CAPABILITIES OF THE AREA. THIS FENCING MAY BE REMOVED FOR BACKFILLING AND FINAL CONSTRUCTION.

**SITE PLAN LEGEND (RIDOT):**

- |         |   |          |  |
|---------|---|----------|--|
| (BCP)   | BITUMINOUS CONCRETE PAVEMENT CLASS 12.5 HMA SURFACE 5" CLASS 2 HMA BASE 12" GRAVEL BORROW SUBBASE | (7.1.0)  | PRECAST CONCRETE CURB  |
| (CM)    | CUT AND MATCH PAVEMENT  | (7.6.0)  | CURB SETTING DETAIL  |
| (LS)    | 4" LOAM AND SEEDING, TYPE 2   | (9.2.0)  | SILT FENCE   |
| (SS)    | COMPOST SILT SOCK EROSION CONTROL   | (9.9.0)  | CONSTRUCTION ACCESS  |
| (3.4.1) | BRICK/SOLID BLOCK ROUND CATCH BASIN WITH GUTTER LINE  | (24.2.0) | SIGN POST SELECTION & INSTALLATION DETAILS U-CHANNEL POST (SIGN UP TO 8'-0"W x 4'-0"H) |
| (6.1.0) | LIGHT - DUTY ROUND FRAME AND COVER  | (43.2.0) | BITUMINOUS CONCRETE SIDEWALK   |
| (6.2.1) | HEAVY - DUTY ROUND FRAME AND COVER  | (43.3.0) | WHEELCHAIL RAMP  |
| (6.3.2) | HIGH CAPACITY FRAME AND GRATE (BICYCLE SAFE)  | (48.1.0) | WHEELCHAIR RAMP FOR LIMITED RIGHT-OF-WAY AREAS   |
| (6.4.0) | ROUND FRAME AND GATE  |          | DETECTIBLE WARNING PANEL PLACEMENT   |

**SITE LEGEND**

EXISTING	NEW	DESCRIPTION
—C—	—C—	CENTERLINE (LAYOUT)
—D—	—D—	STORM DRAIN
—E—	—E—	ELECTRIC (UNDERGROUND)
—F—	—F—	FIRE SERVICE
—FD—	—FD—	FOOTING DRAIN
—G—	—G—	GAS
—OHW—	—OHW—	OVERHEAD WIRE
—S—	—S—	PROPERTY LINE
—SL—	—SL—	SANITARY SEWER
—T—	—T—	TELEPHONE
—W—	—W—	WATER
—64—	—64—	CONTOUR
x 64.0	x 64.00	SPOT GRADE
x 64.0(BC)	x 64.00(BC)	SPOT GRADE (BOT. OF CURB)
x 64.5(TC)	x 64.50(TC)	SPOT GRADE (TOP OF CURB)
64.5(BW)	64.50(BW)	SPOT GRADE (BOT. OF WALL)
64.5(TW)	64.50(TW)	SPOT GRADE (TOP OF WALL)
BB	BB	BITUMINOUS BERM
MCC	MCC	MONOLITHIC CONCRETE CURB
PCC	PCC	PRECAST CONC. CURB
PCSMC	PCSMC	PRECAST SLOPED MOUNT. CURB
SGC	SGC	SLOPED GRANITE CURB
VGC	VGC	VERTICAL GRANITE CURB
—CLF—	—CLF—	CHAINLINK FENCE (CLF)
—STKF—	—STKF—	STOCKADE FENCE (STKF)
⊕	⊕	BORING LOCATION
⊕ CB	⊕ CB#1	CATCH BASIN
⊕ CB(DG)	⊕ CB(DG)#1	DOUBLE GRATE CATCH BASIN
CTB	CTB	CONCRETE THRUST BLOCK
DMH	DMH	DRAIN MANHOLE
FES	FES	FLARED END STRUCTURE
SMH	SMH	SEWER MANHOLE
WS	WS	WATER SERVICE
UP	UP	UTILITY POLE
HYD	HYD	FIRE HYDRANT
GV	GV	GATE VALVE AND CURB BOX
HS	HS	HANDICAP SYMBOL (PRKG. SPACE)
—SIGN—	—SIGN—	SIGN
WETLAND	WETLAND	WETLAND
SEV	SEV	SOIL EVALUATION LOCATION
TP	TP	TEST PIT LOCATION
FDC	FDC	FIRE DEPARTMENT CONNECTION
PIV	PIV	POST INDICATOR VALVE (PIV)
EMH	EMH	ELECTRIC MANHOLE (EMH)
TMH	TMH	TELEPHONE MANHOLE (TMH)
GEN	GEN	GENERATOR PAD
GCO	GCO	GROUND CLEANOUT
SLP	SLP	SIGHT LIGHT POLE
TFD	TFD	TRAFFIC FLOW DIRECTION
SS	SS	COMPOST SILT SOCK
SAW	SAW	PAVEMENT SAWCUT & MATCH TO EXISTING

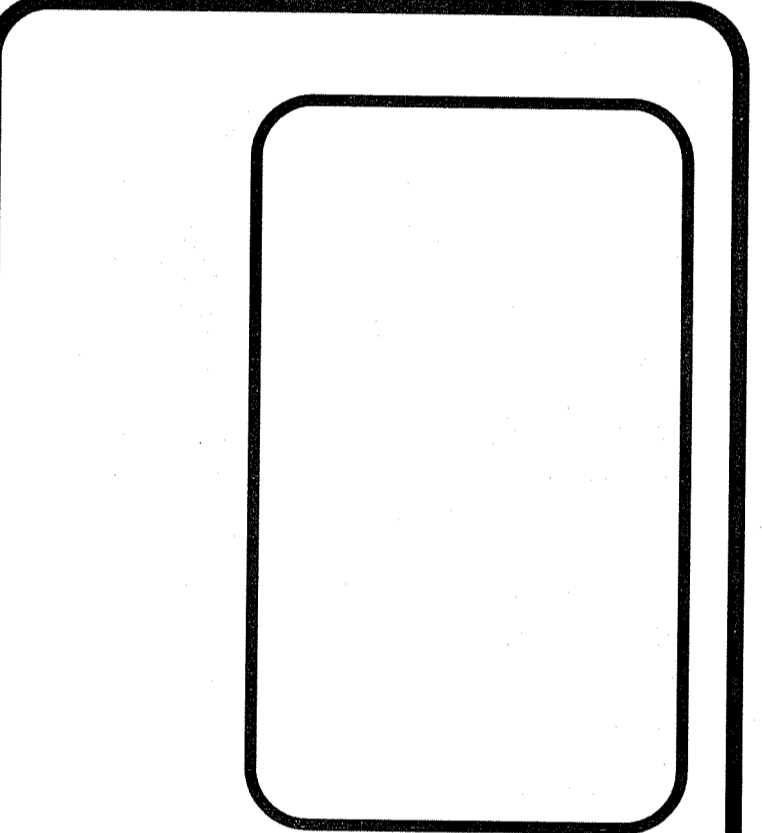
**ABBREVIATIONS**

- |       |                                     |
|-------|-------------------------------------|
| CI    | CAST IRON PIPE                      |
| CLDI  | CEMENT LINED DUCTILE IRON PIPE      |
| CLF   | CHAINLINK FENCE                     |
| CTE   | POINT OF CONNECTION TO EXISTING     |
| D.I.  | DUCTILE IRON PIPE                   |
| ESHWT | ESTIMATED SEASONAL HIGH WATER TABLE |
| ETR   | EXISTING TO REMAIN                  |
| EX    | EXISTING                            |
| F&I   | FURNISH AND INSTALL                 |
| HDPE  | HIGH DENSITY POLYETHYLENE PIPE      |
| INV.  | INVERT ELEVATION                    |
| MTE   | MATCH TO EXISTING                   |
| NIC   | NOT IN CONTRACT                     |
| NTS   | NOT TO SCALE                        |
| PVC   | POLYVINYL CHLORIDE PIPE             |
| RCP   | REINFORCED CONCRETE PIPE            |
| VF    | VERIFY IN FIELD                     |
| WQS   | WATER QUALITY STRUCTURE             |

**GENERAL NOTES & LEGEND**  
FOR  
**REDEVELOPMENT AT BRANCH AVENUE**  
AP 74 LOTS 100, 363, 380 & 389  
SITUATED ON  
**66 & 76 BRANCH AVENUE**  
**178 PRINTER STREET**  
**27 DRYDEN LANE**  
RHODE ISLAND  
PREPARED FOR  
**CGRI PROVIDENCE BRANCH, LLC**

Environmental Management  
FEB 18 2020  
Office of Water Resources

NO.	REVISION	BY	DATE



**GAROFALO**  
**GAROFALO & ASSOCIATES, INC.**  
CIVIL & STRUCTURAL ENGINEERS/SURVEYORS  
LAND PLANNERS/ENVIRONMENTAL SCIENTISTS

85 CORLISS STREET  
P.O. BOX 6145  
PROVIDENCE, R.I. 02940  
TEL. 401-273-6000

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<b>JOB NO.</b> 7157.00	<b>DRAWN BY</b> K.Y.Y.
<b>DWG. NO.</b> 7157-00-Cover.dwg	<b>CHECK BY</b> S.S.H.
<b>SCALE:</b> AS SHOWN	<b>APPROVED</b> S.S.H.
	<b>DATE:</b> OCTOBER 21, 2019

**SHEET**

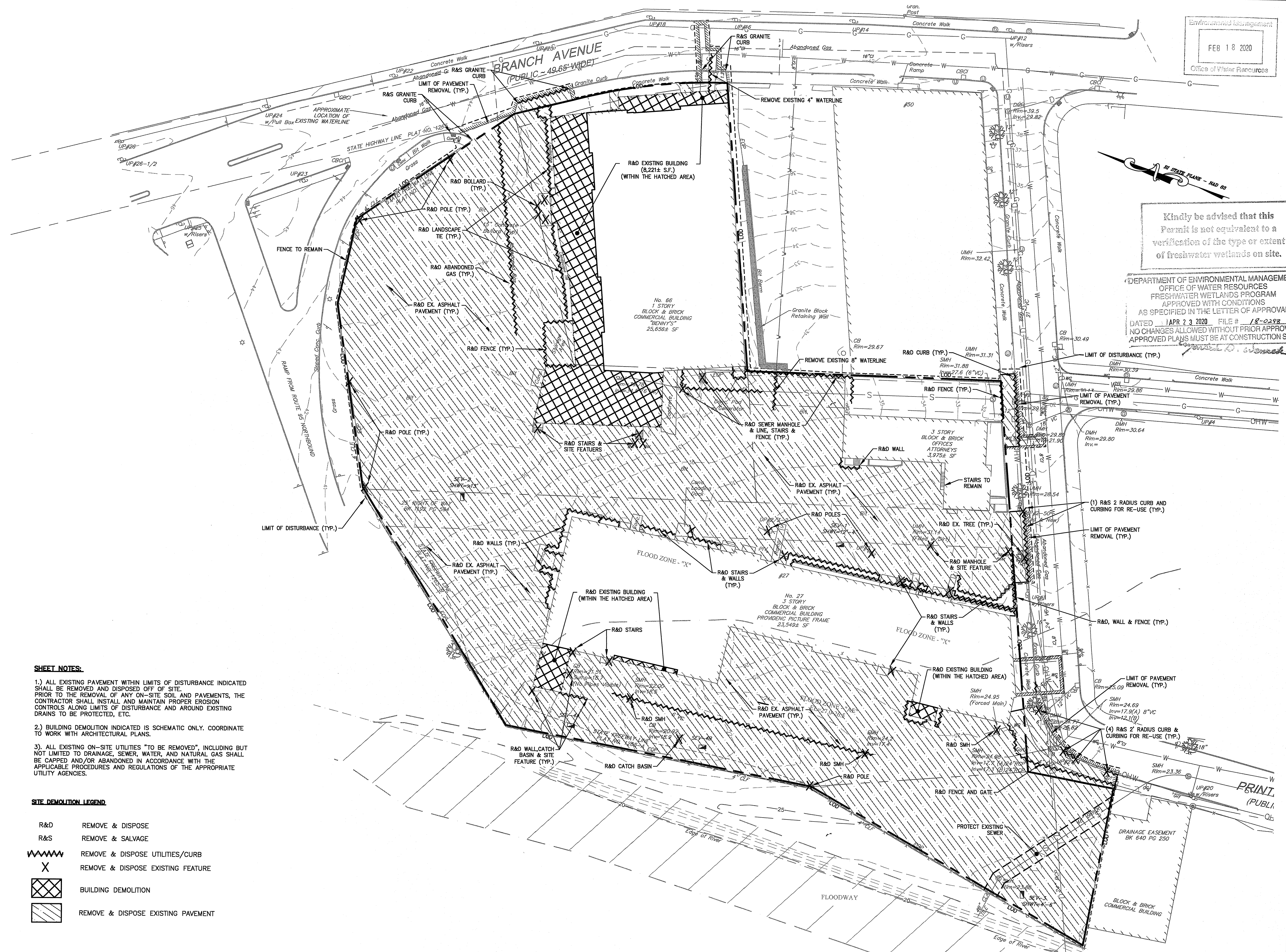
**C-1**

2 OF 14 SHEETS

L:\7157-00 Proposed Retail Store (Carpionato) - Branch Avenue - Providence, RI\dwg\01-CURRENT\7157-00-Cover.dwg 02/17/2020 rlevins 16-43

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS  
AS SPECIFIED IN THE LETTER OF APPROVAL  
DATED APR 23 2020  
NO CHANGES ALLOWED WITHOUT APPROVAL  
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

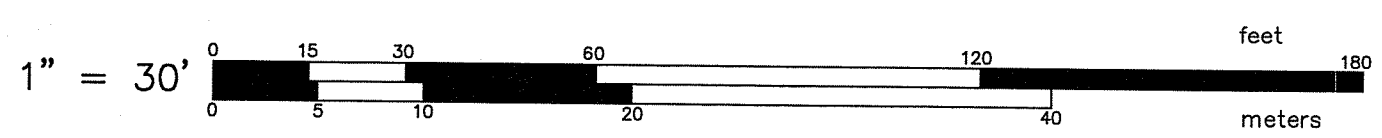
L:\7157-00 Proposed Retail Store (Corplaneto) - Branch Avenue - Providence, RI\dwg\01-Current\7157-00-Demo.dwg 02/17/2020 rslvns 16:43



- SHEET NOTES:**
- 1.) ALL EXISTING PAVEMENT WITHIN LIMITS OF DISTURBANCE INDICATED SHALL BE REMOVED AND DISPOSED OFF OF SITE. PRIOR TO THE REMOVAL OF ANY ON-SITE SOIL AND PAVEMENTS, THE CONTRACTOR SHALL INSTALL AND MAINTAIN PROPER EROSION CONTROLS ALONG LIMITS OF DISTURBANCE AND AROUND EXISTING DRAINS TO BE PROTECTED, ETC.
  - 2.) BUILDING DEMOLITION INDICATED IS SCHEMATIC ONLY. COORDINATE TO WORK WITH ARCHITECTURAL PLANS.
  - 3.) ALL EXISTING ON-SITE UTILITIES "TO BE REMOVED", INCLUDING BUT NOT LIMITED TO DRAINAGE, SEWER, WATER, AND NATURAL GAS SHALL BE CAPPED AND/OR ABANDONED IN ACCORDANCE WITH THE APPLICABLE PROCEDURES AND REGULATIONS OF THE APPROPRIATE UTILITY AGENCIES.

**SITE DEMOLITION LEGEND**

R&D	REMOVE & DISPOSE
R&S	REMOVE & SALVAGE
~~~~~	REMOVE & DISPOSE UTILITIES/CURB
X	REMOVE & DISPOSE EXISTING FEATURE
▣	BUILDING DEMOLITION
▨	REMOVE & DISPOSE EXISTING PAVEMENT



Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS  
AS SPECIFIED IN THE LETTER OF APPROVAL  
DATED APR 23 2020 FILE # 18-0298  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

**DEMOLITION PLAN**  
FOR  
**REDEVELOPMENT AT BRANCH AVENUE**  
AP 74 LOTS 100, 363, 380 & 389  
SITUATED ON  
66 & 76 BRANCH AVENUE  
178 PRINTERY STREET  
27 DRYDEN LANE  
RHODE ISLAND  
PREPARED FOR  
**CGRI PROVIDENCE BRANCH, LLC**

NO.	REVISION	BY	DATE

**GAROFALO**  
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CIVIL & STRUCTURAL ENGINEERS/SURVEYORS  
LAND PLANNERS/ENVIRONMENTAL SCIENTISTS

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P.O. BOX 6145  
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TEL: 401-273-6000

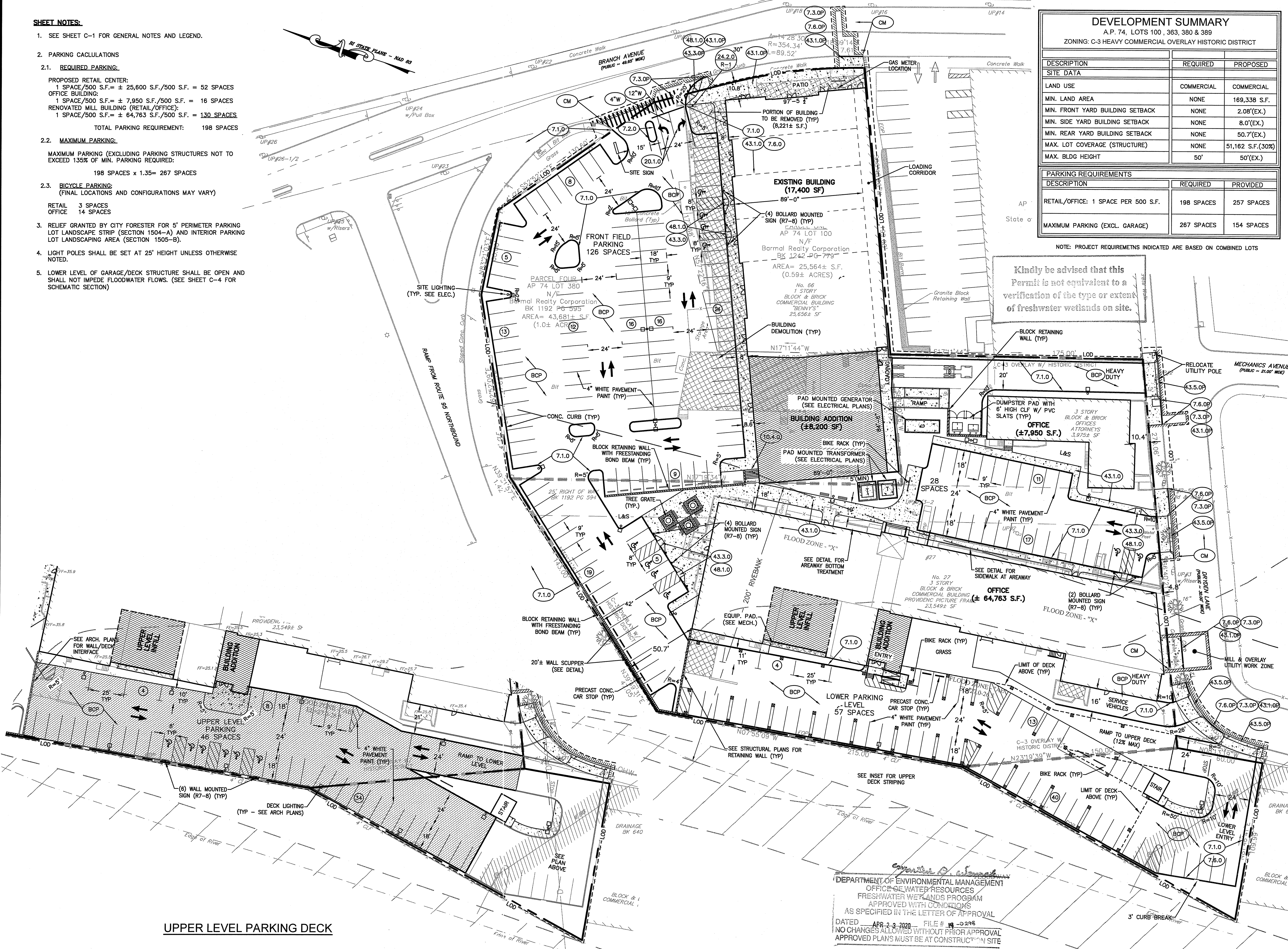
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DWG. NO. 7157-00-Demo.dwg	CHECK BY S.S.H.
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	DATE: OCTOBER 21, 2019

SHEET  
**C-2**  
3 OF 14 SHEETS

**SHEET NOTES:**

- SEE SHEET C-1 FOR GENERAL NOTES AND LEGEND.
- PARKING CALCULATIONS
  - REQUIRED PARKING:**  
 PROPOSED RETAIL CENTER:  
 1 SPACE/500 S.F. = ± 25,600 S.F./500 S.F. = 52 SPACES  
 OFFICE BUILDING:  
 1 SPACE/500 S.F. = ± 7,950 S.F./500 S.F. = 16 SPACES  
 RENOVATED MILL BUILDING (RETAIL/OFFICE):  
 1 SPACE/500 S.F. = ± 64,763 S.F./500 S.F. = 130 SPACES  
 TOTAL PARKING REQUIREMENT: 198 SPACES
  - MAXIMUM PARKING:**  
 MAXIMUM PARKING (EXCLUDING PARKING STRUCTURES NOT TO EXCEED 135% OF MIN. PARKING REQUIRED):  
 198 SPACES x 1.35= 267 SPACES
  - BICYCLE PARKING:**  
 (FINAL LOCATIONS AND CONFIGURATIONS MAY VARY)  
 RETAIL OFFICE 3 SPACES  
 OFFICE 14 SPACES
- RELIEF GRANTED BY CITY FORESTER FOR 5' PERIMETER PARKING LOT LANDSCAPE STRIP (SECTION 1504-A) AND INTERIOR PARKING LOT LANDSCAPING AREA (SECTION 1505-B).
- LIGHT POLES SHALL BE SET AT 25' HEIGHT UNLESS OTHERWISE NOTED.
- LOWER LEVEL OF GARAGE/DECK STRUCTURE SHALL BE OPEN AND SHALL NOT IMPEDE FLOODWATER FLOWS. (SEE SHEET C-4 FOR SCHEMATIC SECTION)



DEVELOPMENT SUMMARY		
A.P. 74, LOTS 100, 363, 380 & 389		
ZONING: C-3 HEAVY COMMERCIAL OVERLAY HISTORIC DISTRICT		
DESCRIPTION	REQUIRED	PROPOSED
SITE DATA		
LAND USE	COMMERCIAL	COMMERCIAL
MIN. LAND AREA	NONE	169,338 S.F.
MIN. FRONT YARD BUILDING SETBACK	NONE	2.08'(EX.)
MIN. SIDE YARD BUILDING SETBACK	NONE	8.0'(EX.)
MIN. REAR YARD BUILDING SETBACK	NONE	50.7'(EX.)
MAX. LOT COVERAGE (STRUCTURE)	NONE	51,162 S.F.(30%)
MAX. BLDG HEIGHT	50'	50'(EX.)
PARKING REQUIREMENTS		
DESCRIPTION	REQUIRED	PROVIDED
RETAIL/OFFICE: 1 SPACE PER 500 S.F.	198 SPACES	257 SPACES
MAXIMUM PARKING (EXCL. GARAGE)	267 SPACES	154 SPACES

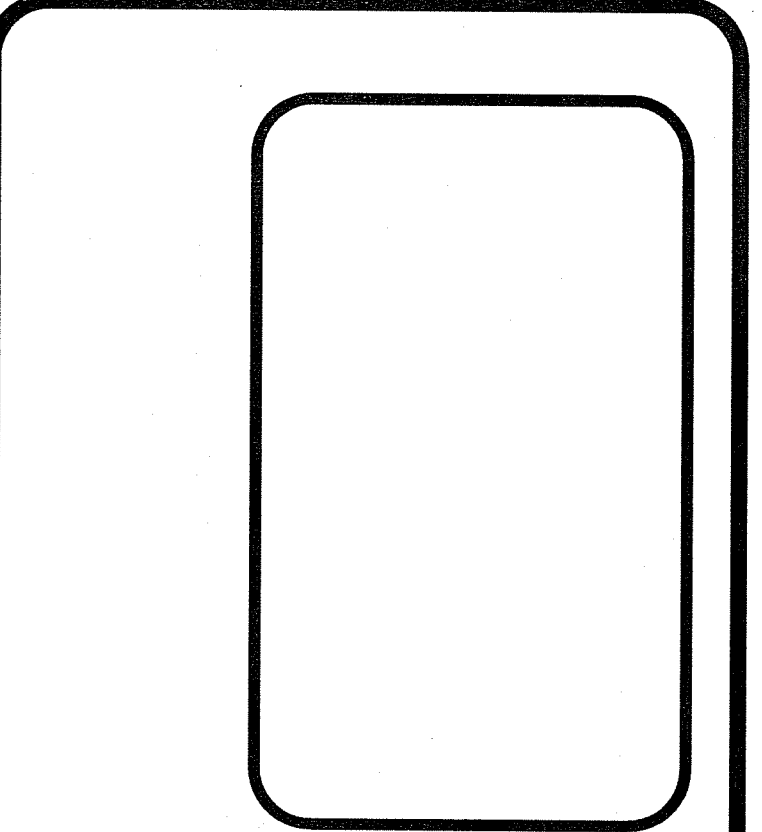
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**SITE LAYOUT PLAN**

FOR  
**REDEVELOPMENT AT BRANCH AVENUE**  
 AP 74 LOTS 100, 363, 380 & 389  
 SITUATED ON  
 66 & 76 BRANCH AVENUE  
 178 PRINTER STREET  
 27 DRYDEN LANE  
 RHODE ISLAND  
 PREPARED FOR  
**CGRI PROVIDENCE BRANCH, LLC**

Environmental Management  
 FEB 18 2020  
 Office of Water Resources

NO.	REVISION	BY	DATE
1.	RIDEM COMMENT REVISIONS	RAS	2/17/2020



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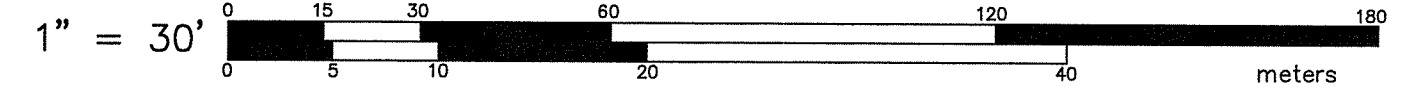
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SHEET

**C-3**

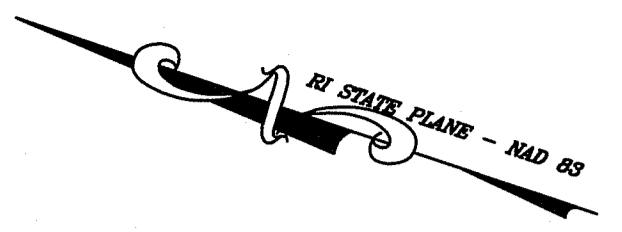
4 OF 14 SHEETS

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
 OFFICE OF WATER RESOURCES  
 FRESHWATER WETLANDS PROGRAM  
 APPROVED WITH CONDITIONS  
 AS SPECIFIED IN THE LETTER OF APPROVAL  
 DATED APR 23 2020 FILE # 19-0246  
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L:\7157-00 Proposed Retail Store (Carpiniano) - Branch Avenue - Providence, RI\Fig\01-CURRENT\7157-00-sila.dwg 02/17/2020 rstevens 16:41

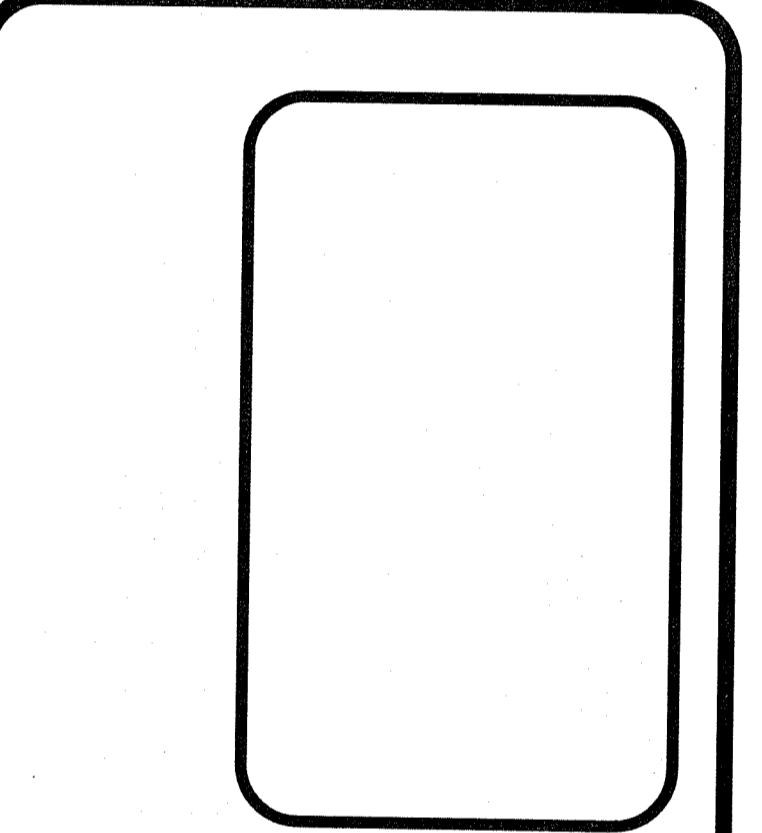
- SHEET NOTES:**
- SEE SHEET C-1 FOR GENERAL NOTES AND LEGEND.
  - CONTRACTOR SHALL NOTIFY ENGINEER FOR INFILTRATION SYSTEM BOTTOM INSPECTION PRIOR TO INSTALLING STONE.
  - ROOF DRAIN SHALL BE SDR35 PVC PIPE INSTALLED AT 0.01 FT/FT MINIMUM.



DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
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 DATED APR 23 2020 FILE # 19-0248  
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 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

**GRADING & DRAINAGE PLAN**  
 FOR  
**REDEVELOPMENT AT BRANCH AVENUE**  
 AP 74 LOTS 100, 363, 380 & 389  
 SITUATED ON  
 66 & 76 BRANCH AVENUE  
 178 PRINTERY STREET  
 27 DRYDEN LANE  
 RHODE ISLAND  
 PREPARED FOR  
**CGRI PROVIDENCE BRANCH, LLC**

NO.	REVISION	BY	DATE
1.	RIDEM COMMENT REVISIONS	SSH	2/17/2020



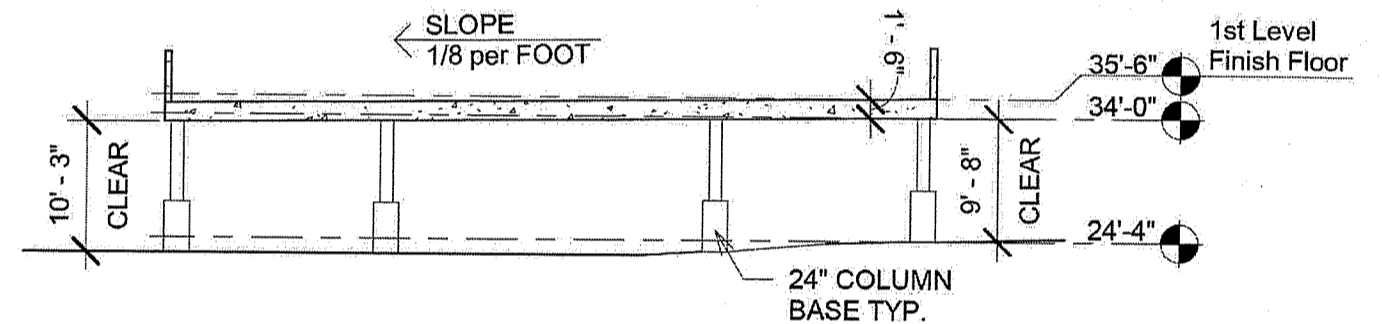
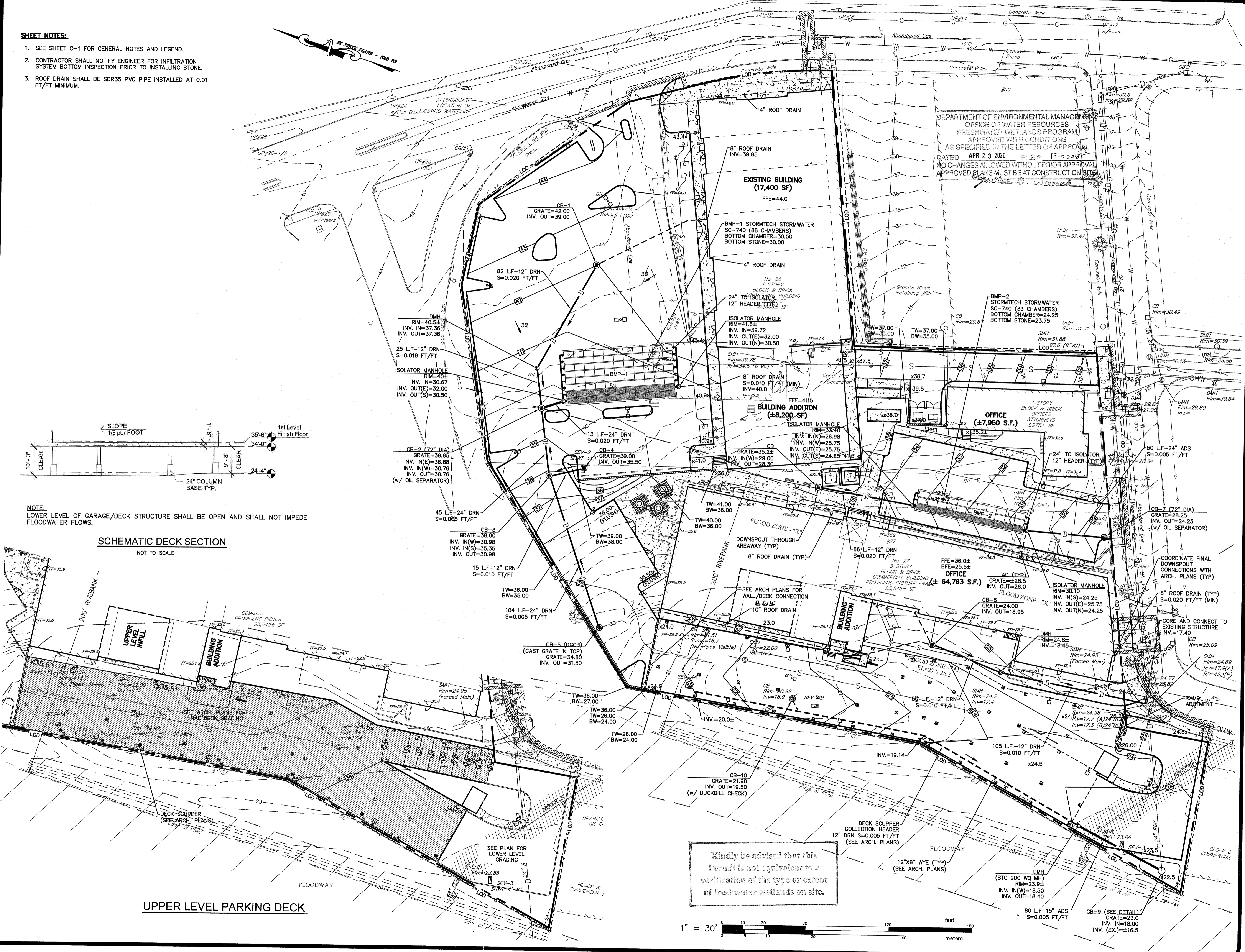
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SHEET  
**C-4**  
 5 OF 14 SHEETS

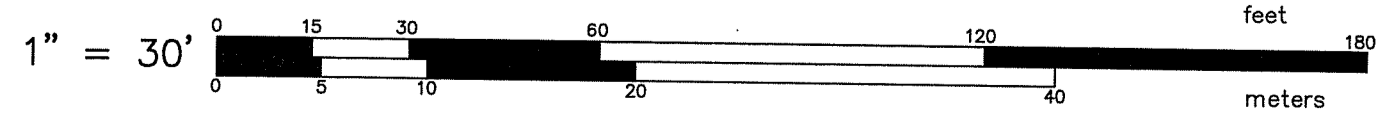


NOTE:  
 LOWER LEVEL OF GARAGE/DECK STRUCTURE SHALL BE OPEN AND SHALL NOT IMPEDE FLOODWATER FLOWS.

**SCHEMATIC DECK SECTION**  
 NOT TO SCALE

**UPPER LEVEL PARKING DECK**

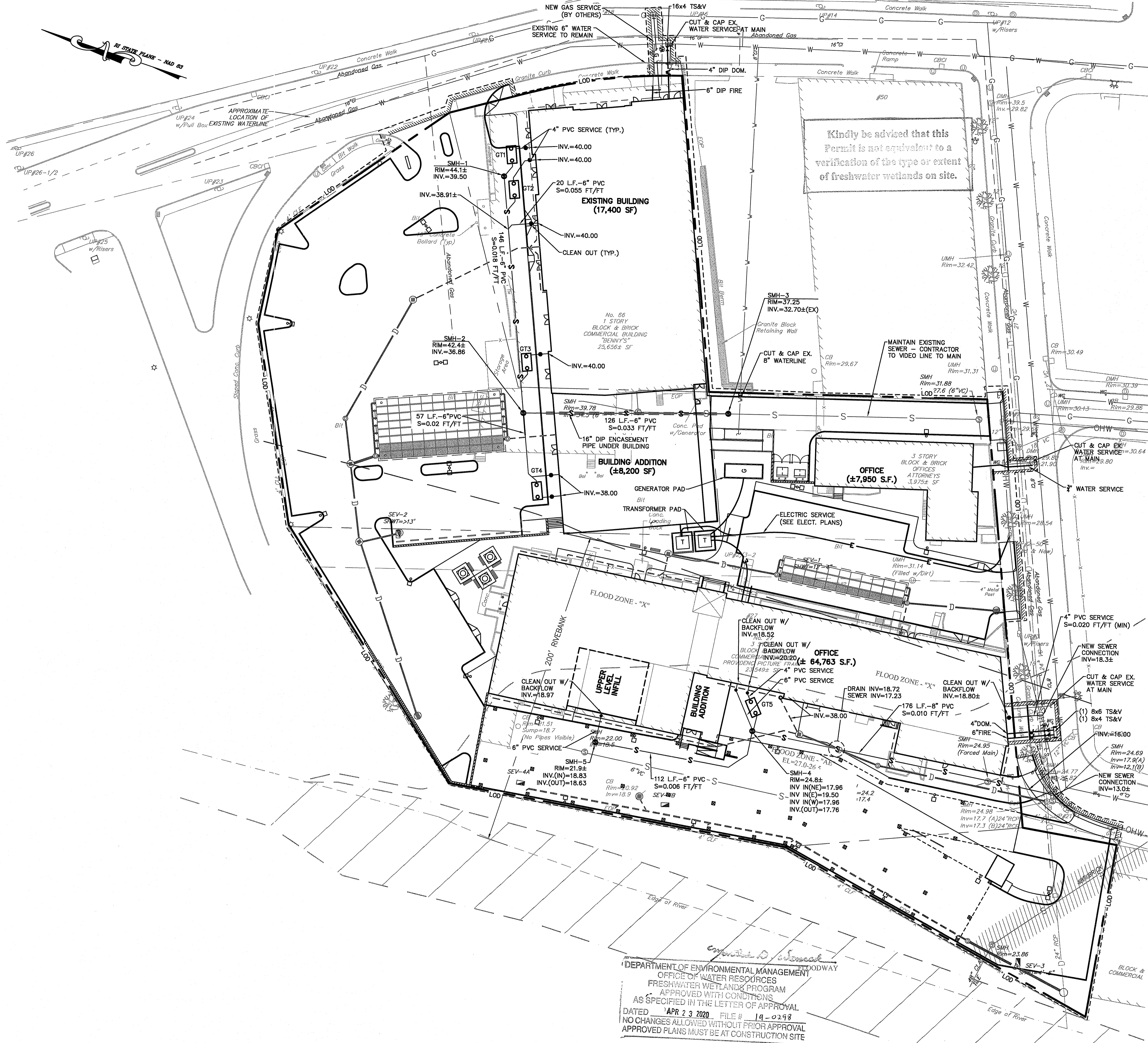
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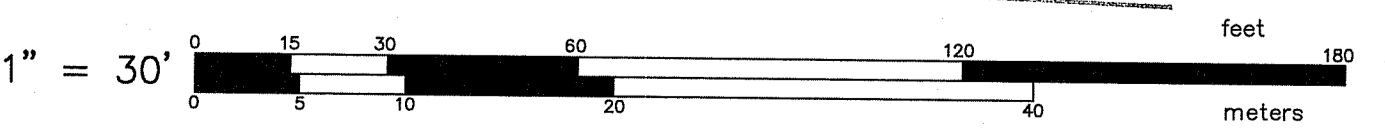
**SHEET NOTES:**

- SEE SHEET C-1 FOR GENERAL NOTES AND LEGEND.
  - CONTRACTOR SHALL PERFORM TEST PITS AS REQUIRED TO LOCATE EXISTING WATERLINE.
  - GREASE TRAPS SHALL BE 1500-GALLON, SINGLE COMPARTMENT TANKS. SEE DETAIL SHEET FOR BASIS OF DESIGN DRAWINGS.
- GREASE TRAP INVERT SCHEDULE:  
 GT1: INV IN=39.90, INV OUT=39.65  
 GT2: INV IN=39.76, INV OUT=39.53  
 GT3: INV IN=39.45, INV OUT=39.20  
 GT4: INV IN=37.79, INV OUT=37.51  
 GT5: INV IN=20.00, INV OUT=19.75



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DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
 OFFICE OF WATER RESOURCES  
 FRESHWATER WETLANDS PROGRAM  
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 AS SPECIFIED IN THE LETTER OF APPROVAL  
 DATED APR 23 2020 FILE # 19-0298  
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE



L:\17157-00 Proposed Retail Store (Corplanato) - Branch Avenue - Providence, RI.dwg\01-Corplan\17157-00-grading.dwg 02/17/2020 rslvema 16:41

**UTILITY PLAN**

FOR  
**REDEVELOPMENT AT BRANCH AVENUE**  
 AP 74 LOTS 100, 363, 380 & 389  
 SITUATED ON  
**66 & 76 BRANCH AVENUE**  
**178 PRINTRY STREET**  
**27 DRYDEN LANE**  
 RHODE ISLAND  
 PREPARED FOR  
**CGRI PROVIDENCE BRANCH, LLC**

Environmental Institute  
 FEB 18 2020  
 Rhode Island Department of Environmental Management  
 Division of Water Resources

NO.	REVISION	BY	DATE

**GAROFALO**  
 GAROFALO & ASSOCIATES, INC.  
 CIVIL & STRUCTURAL ENGINEERS/SURVEYORS  
 LAND PLANNERS/ENVIRONMENTAL SCIENTISTS

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 the engineer/surveyor and have been  
 prepared for the specific project  
 project of this site and are not to  
 be used for any other purpose,  
 without the written consent  
 of this owner or one of its  
 directors.

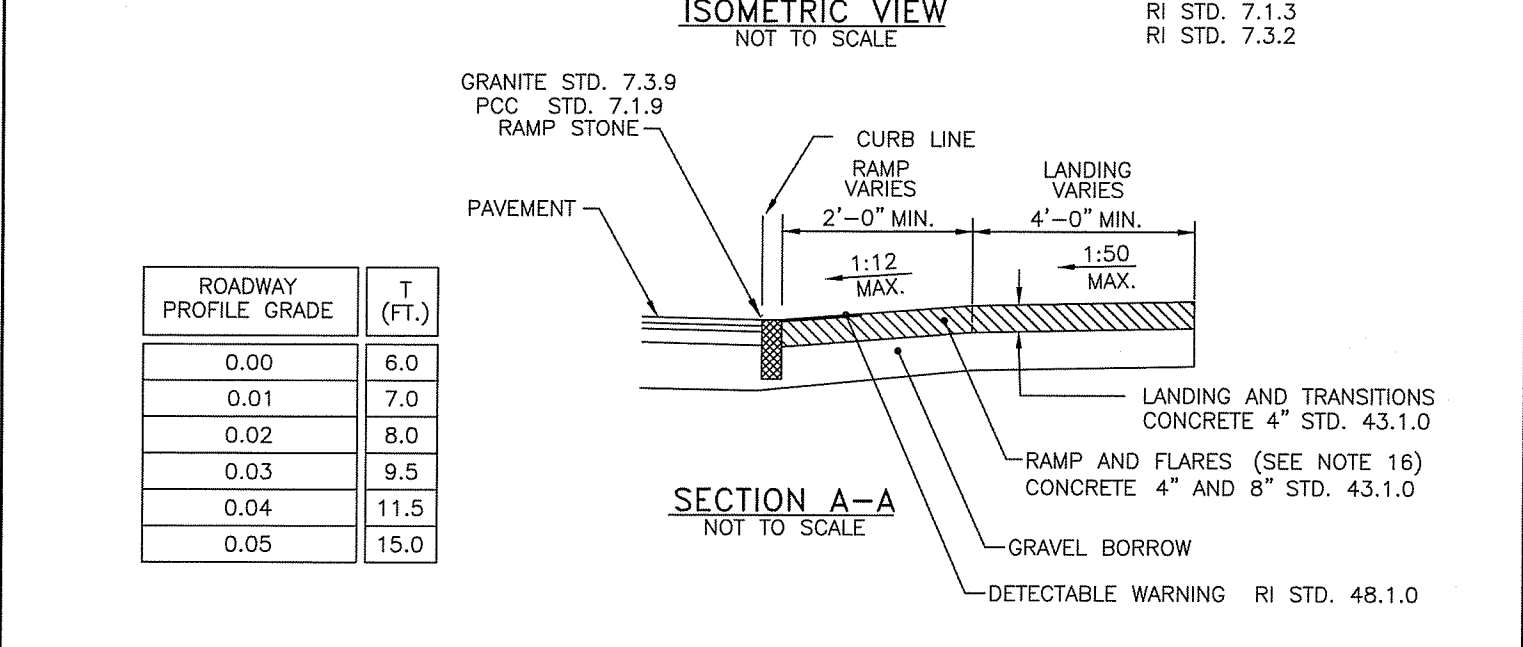
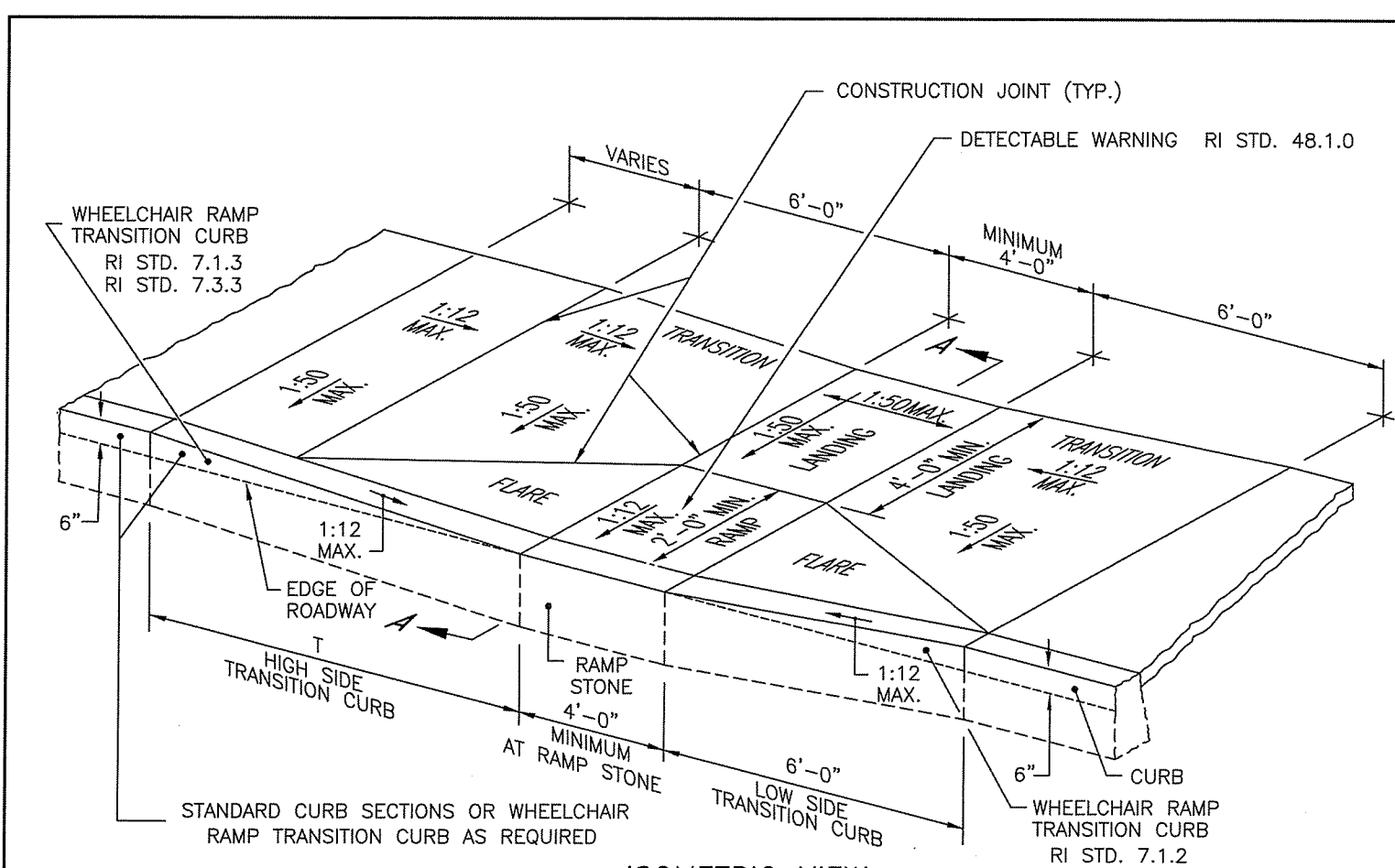
85 CORLISS STREET  
 P.O. BOX 6145  
 PROVIDENCE, R.I. 02940  
 TEL. 401-273-8000

JOB NO. 7157.00	DRAWN BY R.A.S.
DWG. NO. 7157-00-Utility.dwg	CHECK BY S.S.H.
SCALE: AS SHOWN	APPROVED S.S.H.
	DATE: OCTOBER 21, 2019

SHEET  
**C-5**  
 6 OF 14 SHEETS







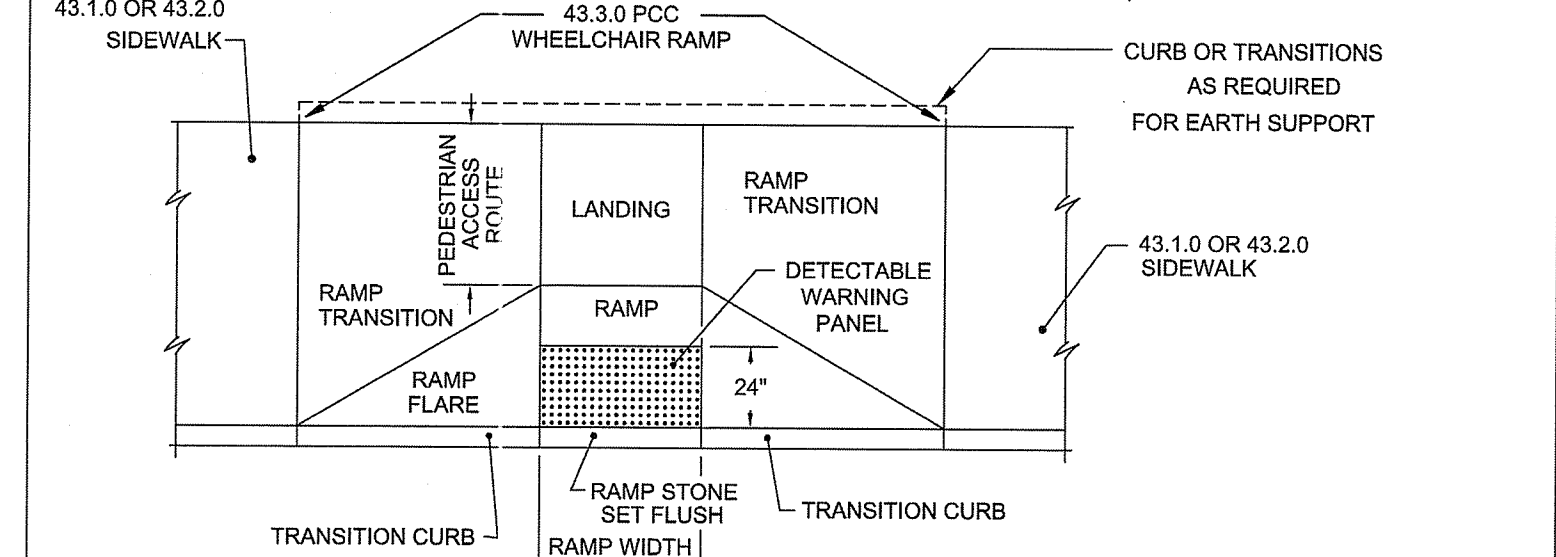
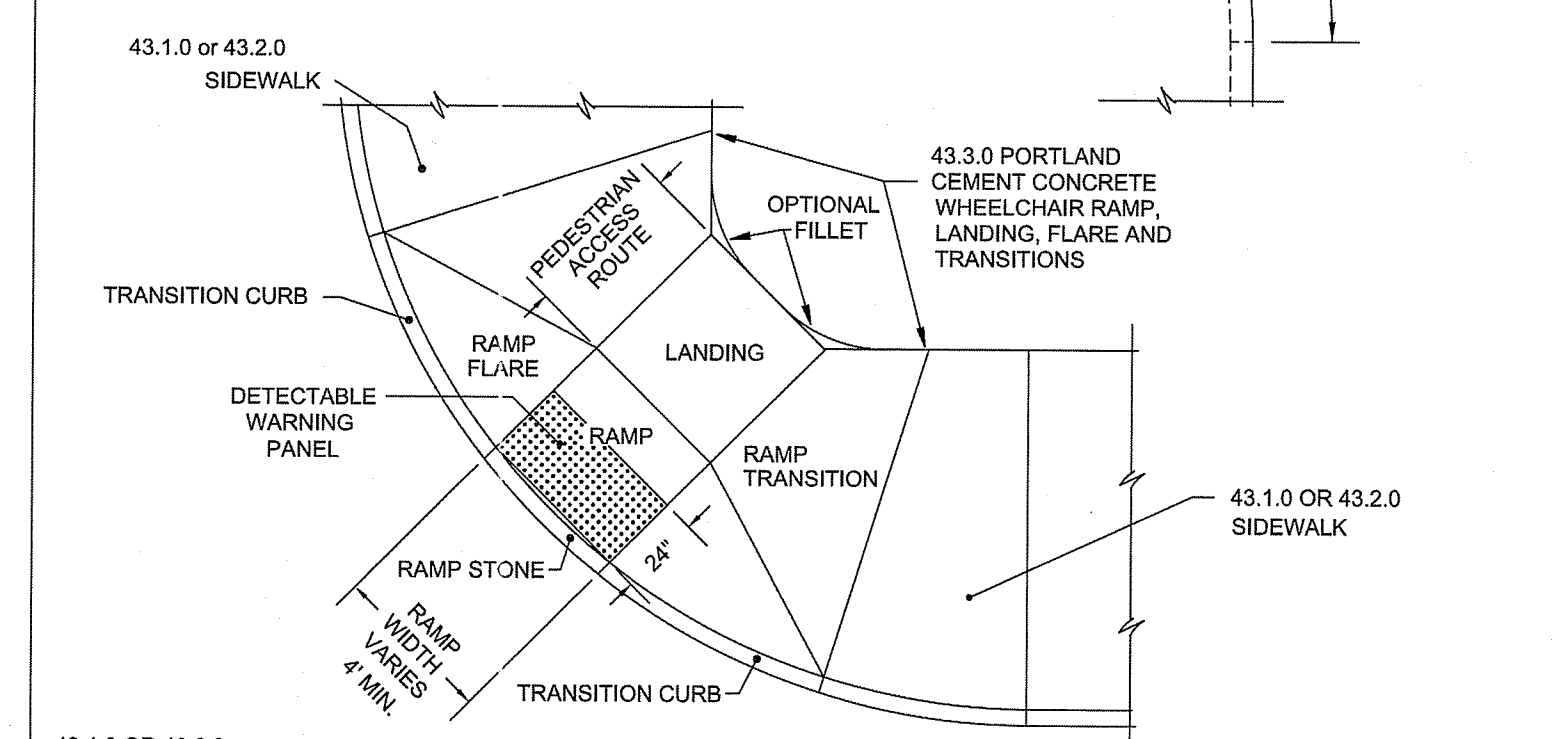
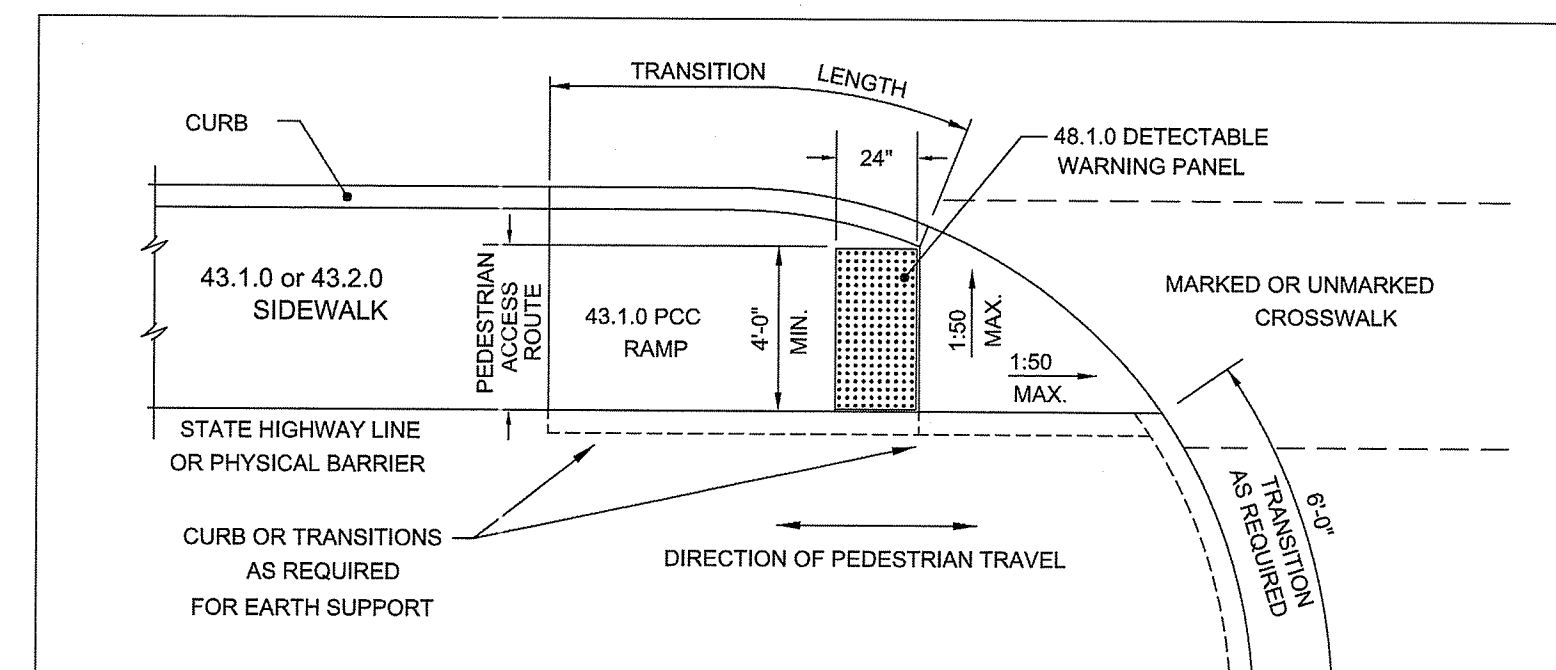
ROADWAY PROFILE GRADE	T (FT.)
0.00	6.0
0.01	7.0
0.02	8.0
0.03	9.5
0.04	11.5
0.05	15.0

RHODE ISLAND DEPARTMENT OF TRANSPORTATION		
NO.	BY	DATE
1	MLP	Oct 2005
2	MLP	Jun 2008
3	MLP	Sep 2012

WHEELCHAIR RAMP

CHIEF DESIGN ENGINEER: *James H. Capaldi* JUN 15, 1998

R.I. STANDARD 43.3.0



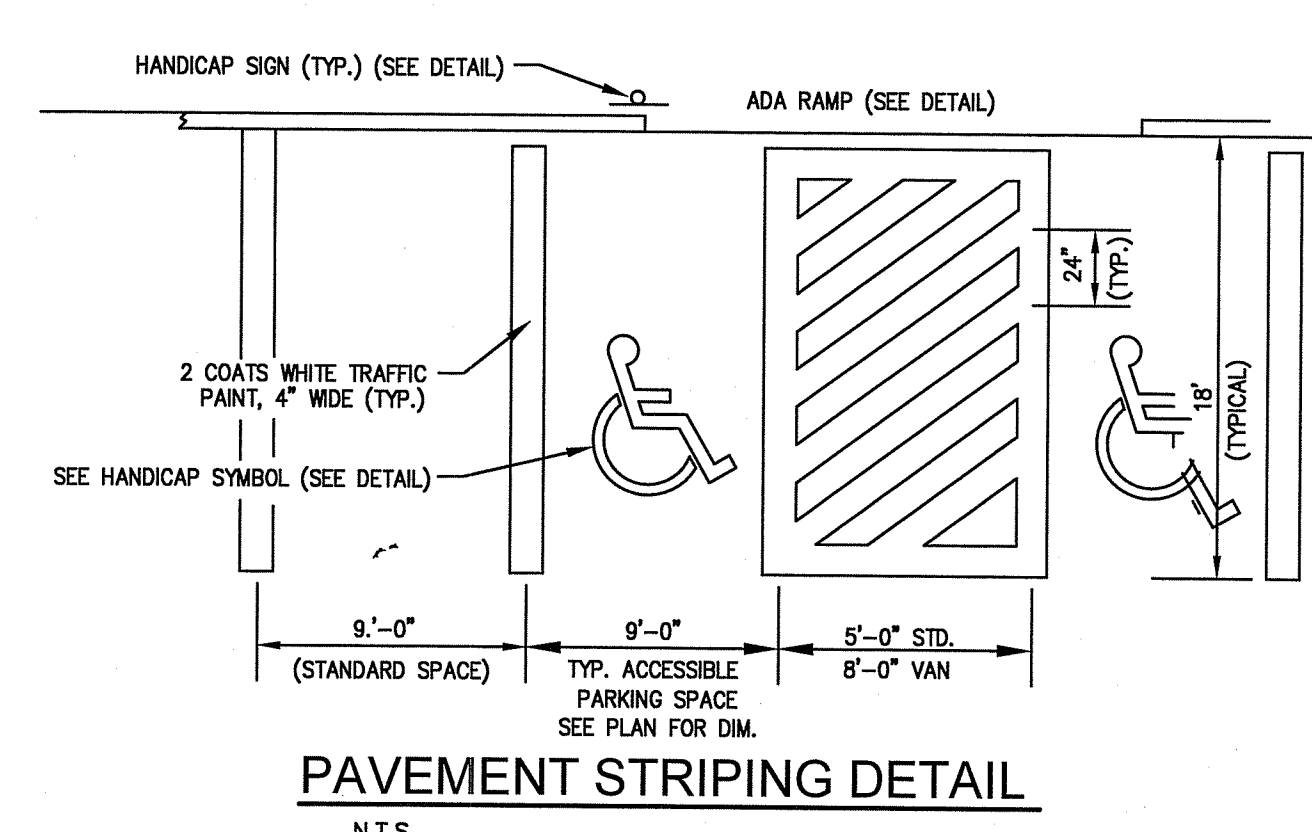
NOTES:  
 1. DETECTABLE WARNING PANEL SHALL BE IN ACCORDANCE WITH SECTION 942 OF THE RHODE ISLAND STANDARD SPECIFICATIONS; PANEL TO MATCH RAMP WIDTH.

RHODE ISLAND DEPARTMENT OF TRANSPORTATION		
NO.	BY	DATE
1	MLP	Mar 2005
2	MLP	Sep 2012

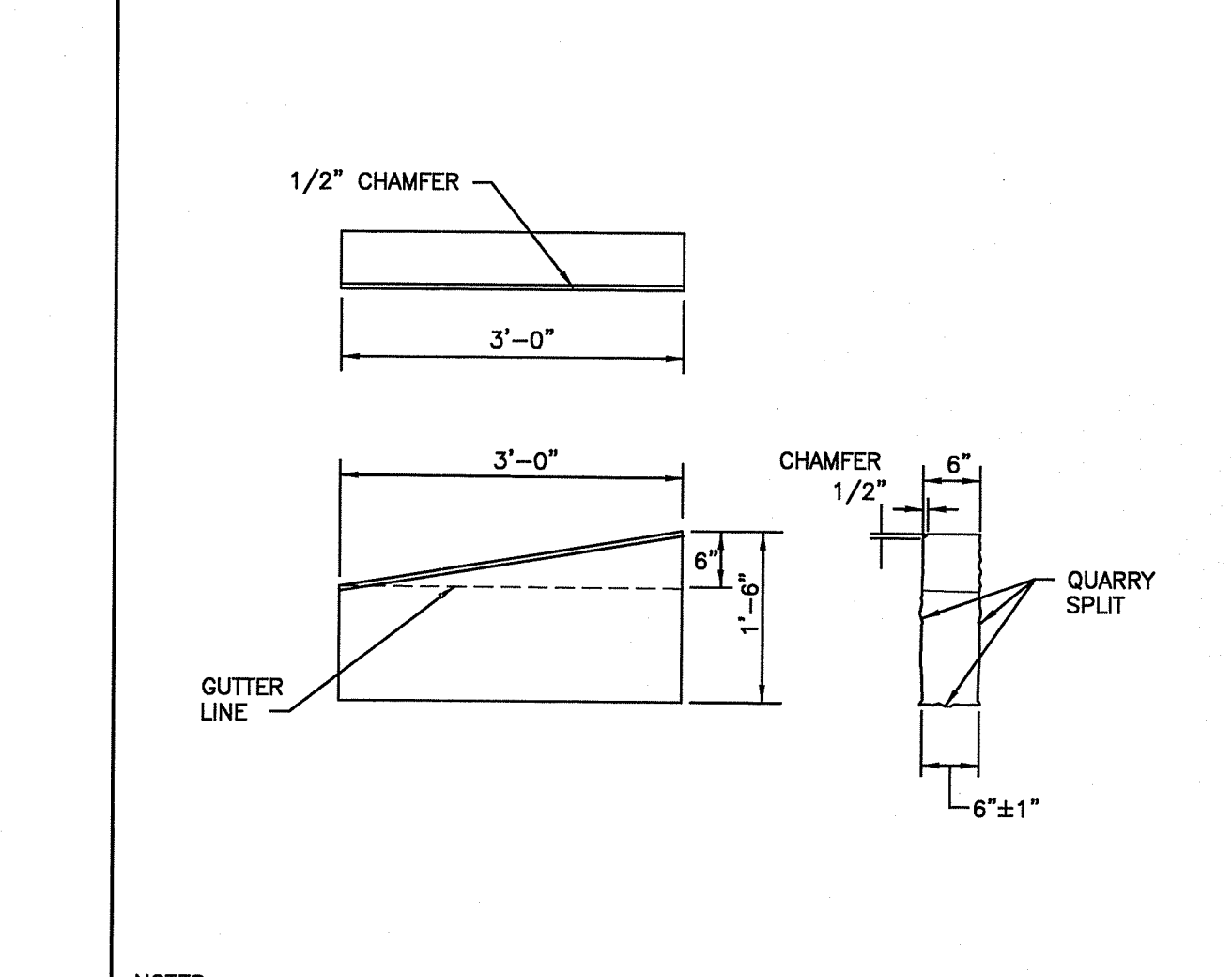
DETECTABLE WARNING PANEL PLACEMENT

CHIEF DESIGN ENGINEER: *James H. Capaldi* JUN 15, 1998

R.I. STANDARD 48.1.0



PAVEMENT STRIPING DETAIL  
N.T.S.



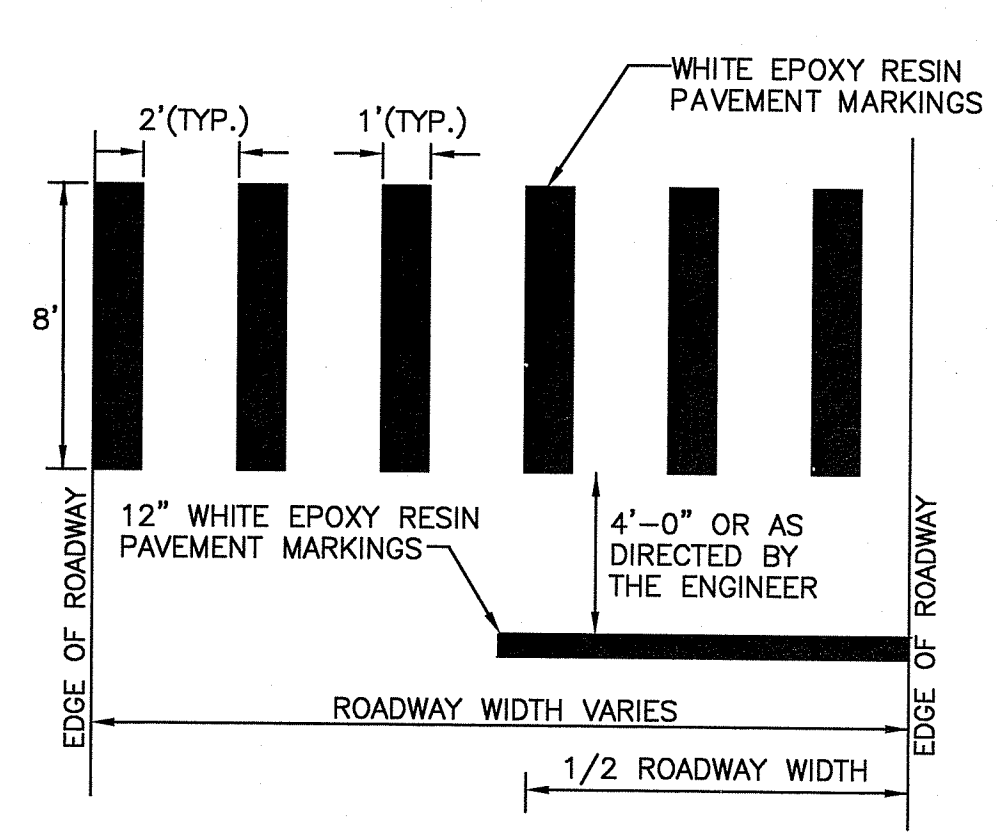
NOTES:  
 1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF THE R.I. STANDARD SPECIFICATIONS.  
 2. TOP SURFACE TO BE DRESSED BY SAW. REMAINDER TO BE QUARRY SPLIT.

RHODE ISLAND DEPARTMENT OF TRANSPORTATION		
NO.	BY	DATE
1	MLP	Mar 2005
2	MLP	Jun 2010
3	MLP	Sep 2012

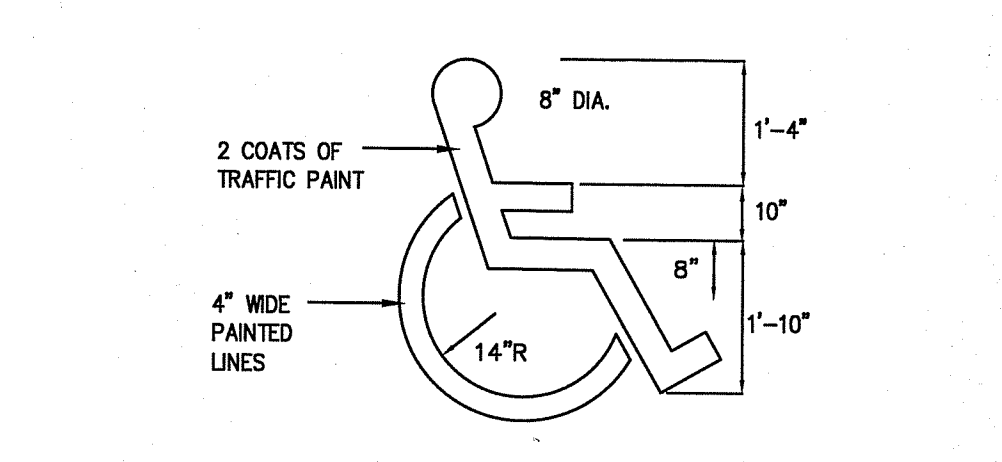
3'-0" GRANITE TRANSITION CURB

CHIEF DESIGN ENGINEER: *James H. Capaldi* JUN 15, 1998

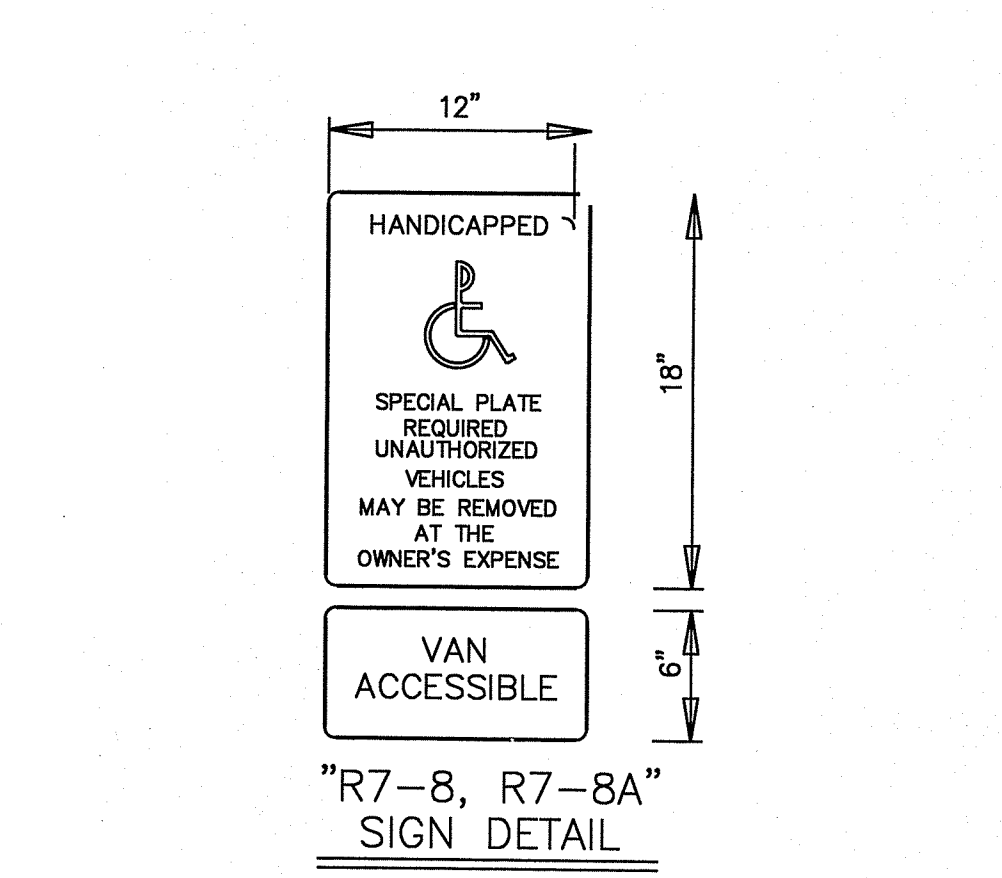
R.I. STANDARD 7.3.1



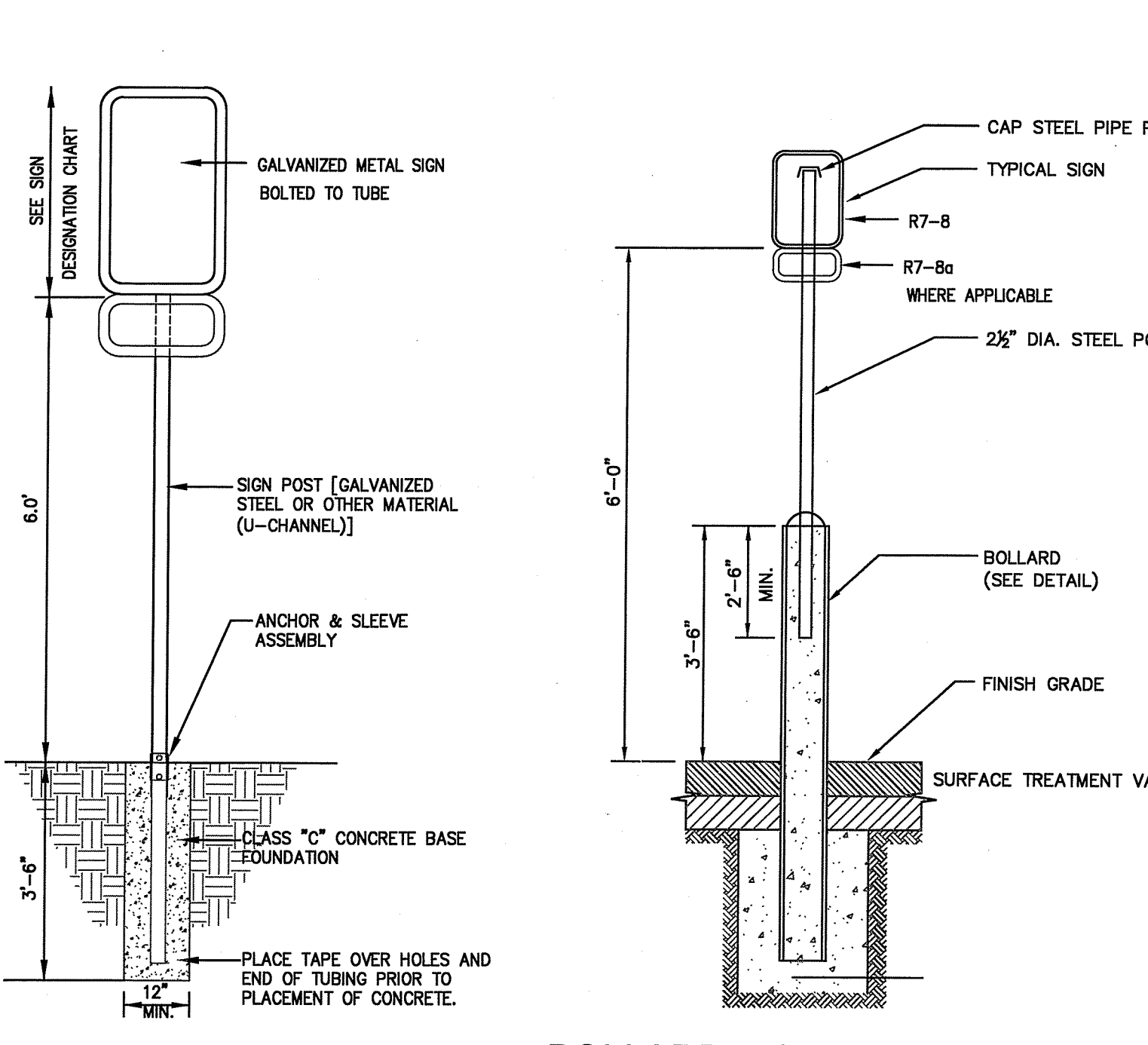
CROSSWALK AND STOP BAR DETAIL  
N.T.S.



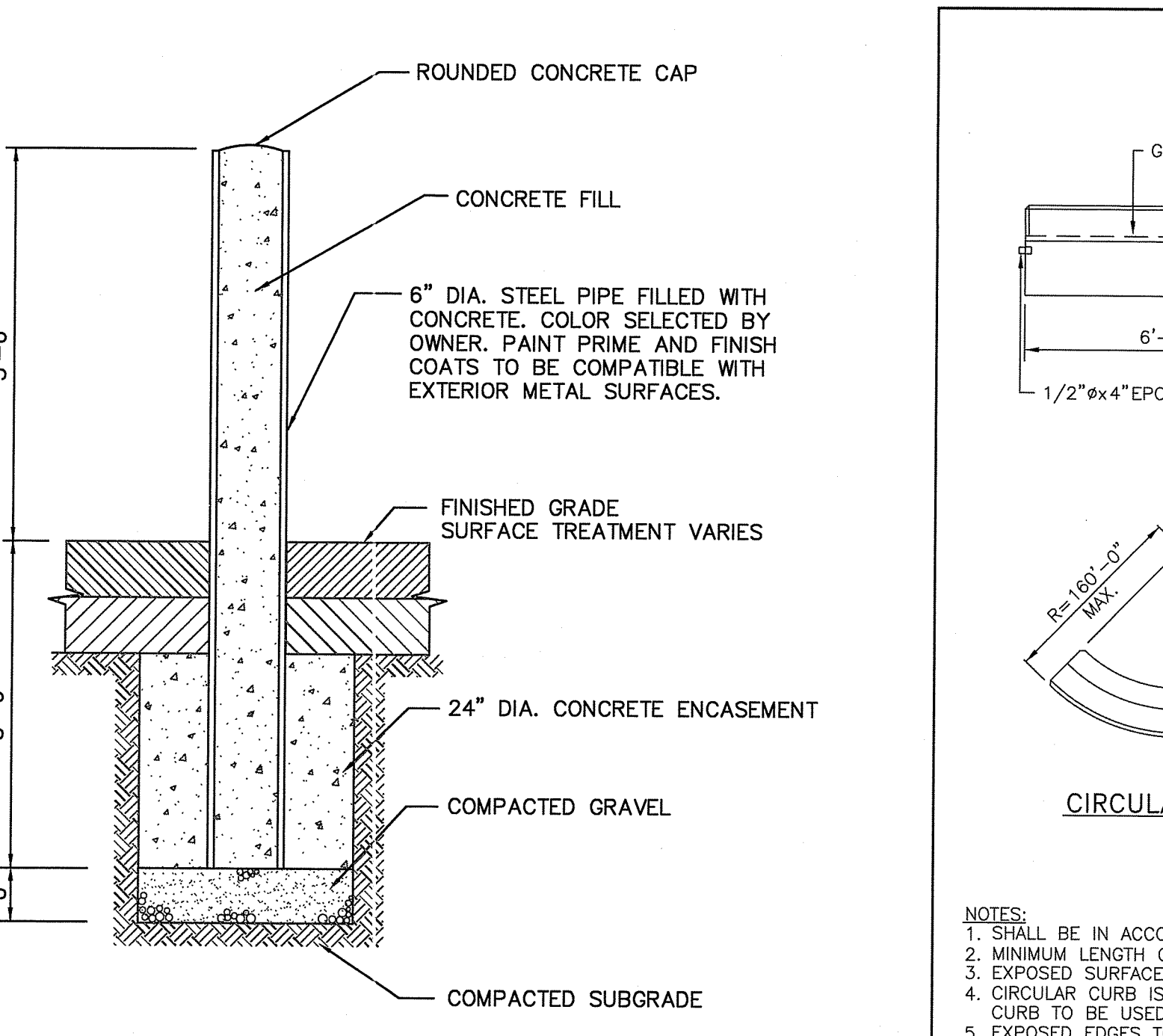
HANDICAP SYMBOL  
N.T.S.



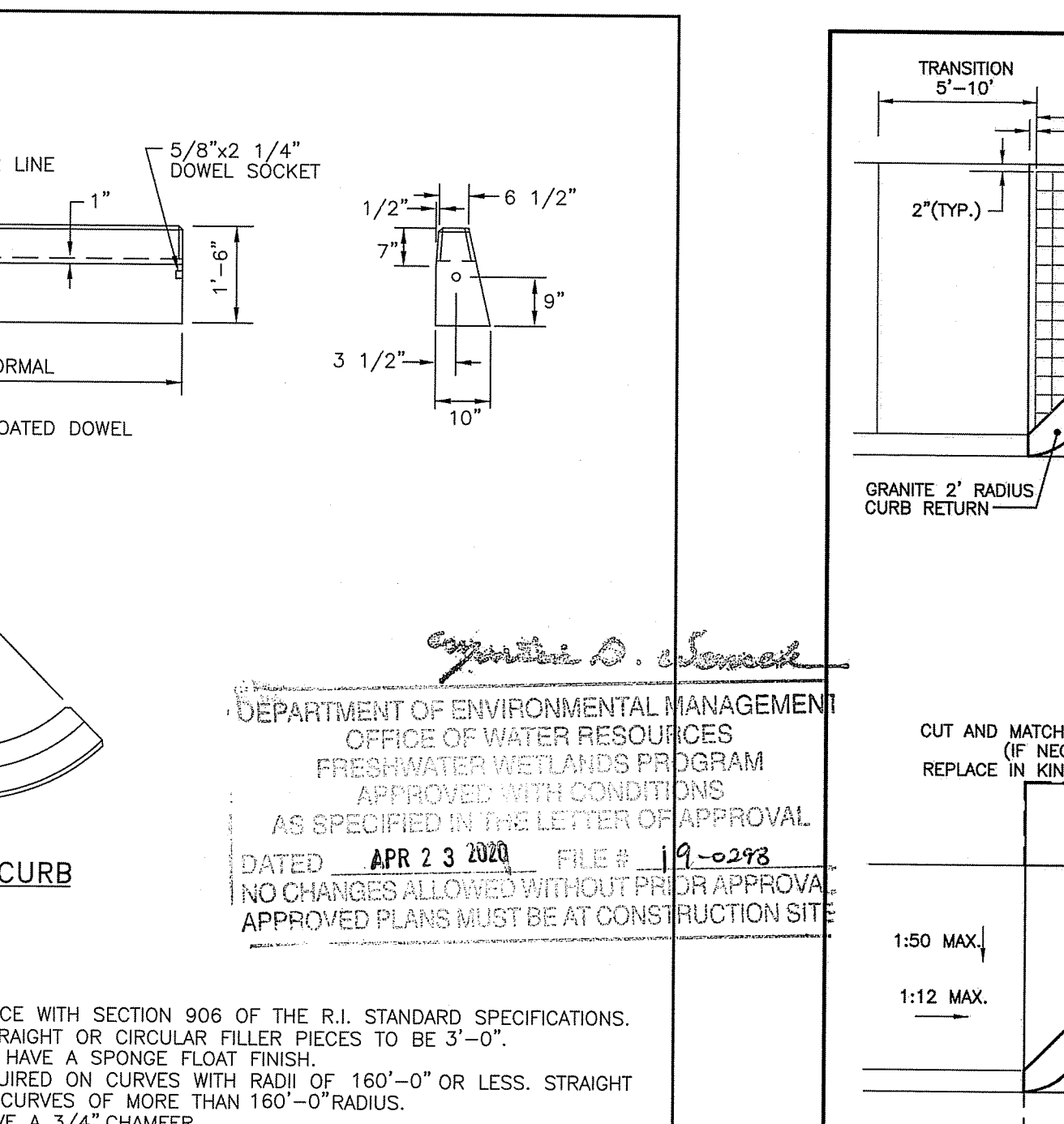
"R7-8, R7-8A" SIGN DETAIL



SIGNAGE DETAIL  
N.T.S.



BOLLARD MOUNTED SIGN  
N.T.S.



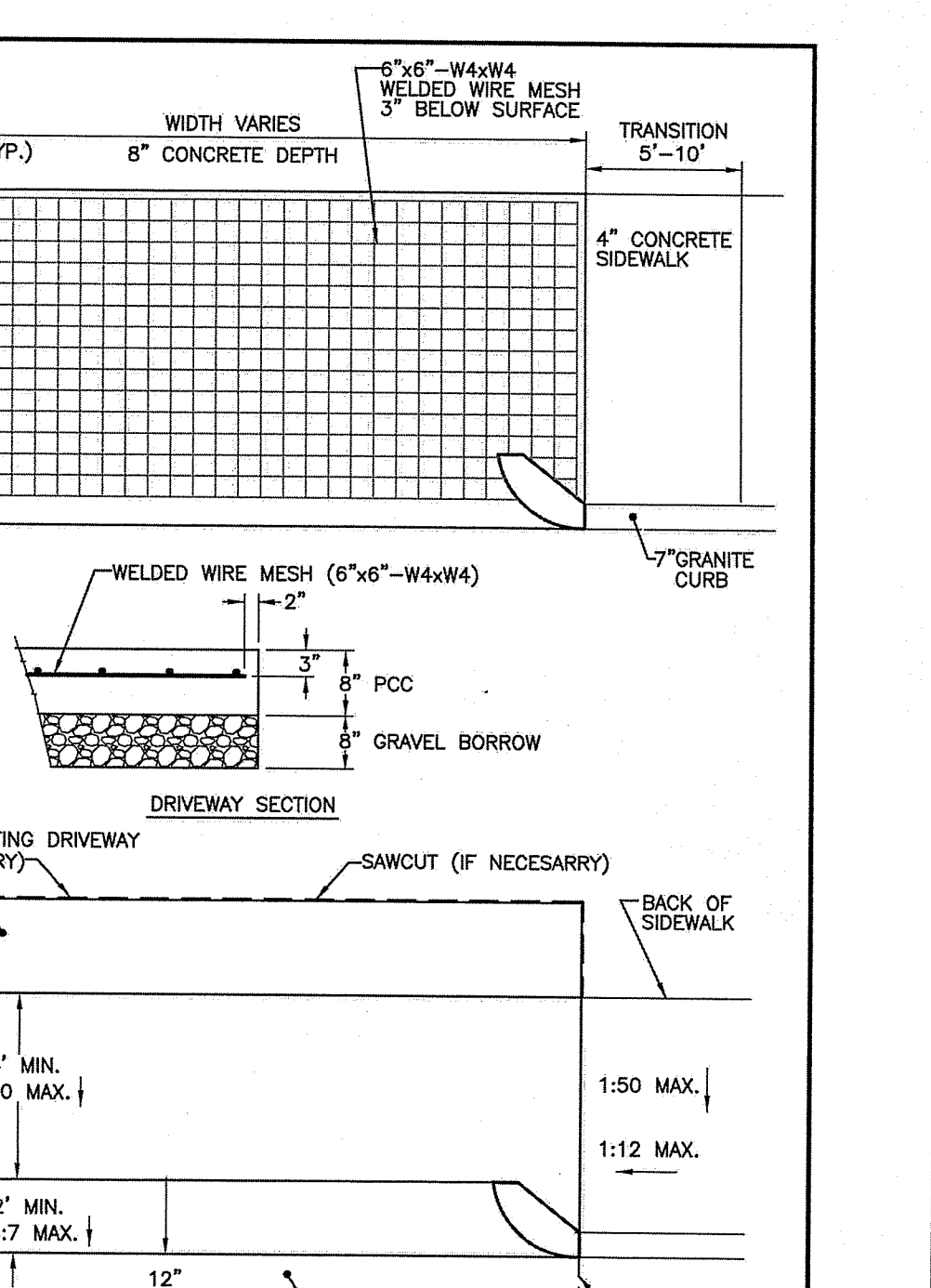
CIRCULAR CURB

RHODE ISLAND DEPARTMENT OF TRANSPORTATION		
NO.	BY	DATE
1	MLP	Mar 05

PRECAST CONCRETE CURB

CHIEF DESIGN ENGINEER: *James H. Capaldi* JUN 15, 1998

R.I. STANDARD 7.1.0



CEMENT CONCRETE DRIVEWAYS  
N.T.S.

RHODE ISLAND DEPARTMENT OF TRANSPORTATION		
NO.	BY	DATE
1	MLP	Mar 05

45.5.0 P PROVIDENCE STANDARD 7.1.0

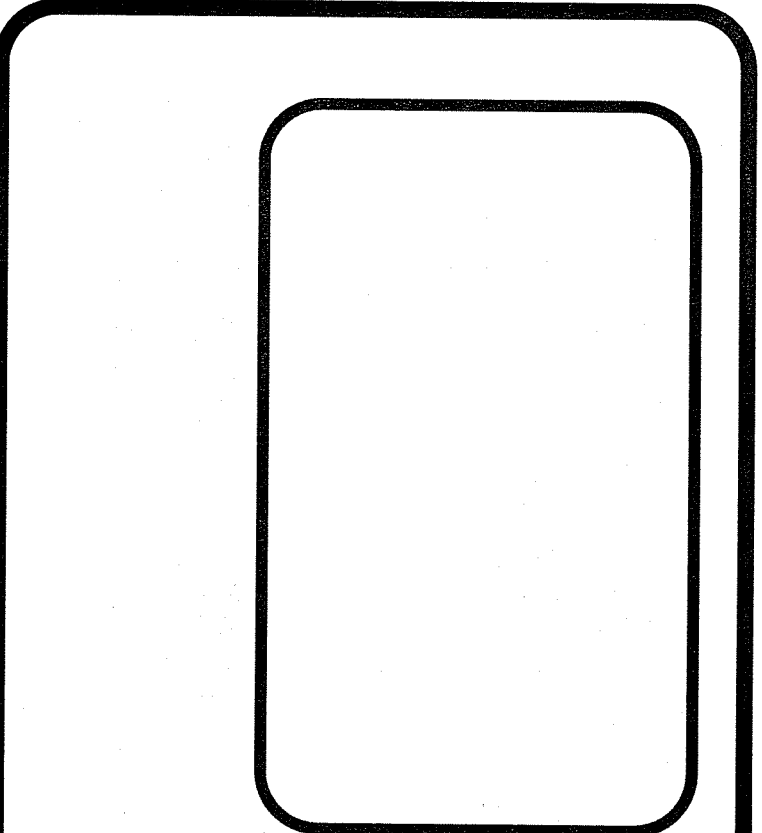
ISSUE DATE: 1/6/17, REVISED 10/6/17

**CONSTRUCTION DETAILS - 2**

FOR  
 REDEVELOPMENT AT BRANCH AVENUE  
 AP 74 LOTS 100, 363, 380 & 389  
 SITUATED ON  
 66 & 76 BRANCH AVENUE  
 178 PRINTERY STREET  
 27 DRYDEN LANE  
 RHODE ISLAND  
 PREPARED FOR  
**CGRI PROVIDENCE BRANCH, LLC**

FEB 18 2020

NO.	REVISION	BY	DATE



**GAROFALO**  
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 CIVIL & STRUCTURAL ENGINEERS/SURVEYORS  
 LAND PLANNERS/ENVIRONMENTAL SCIENTISTS

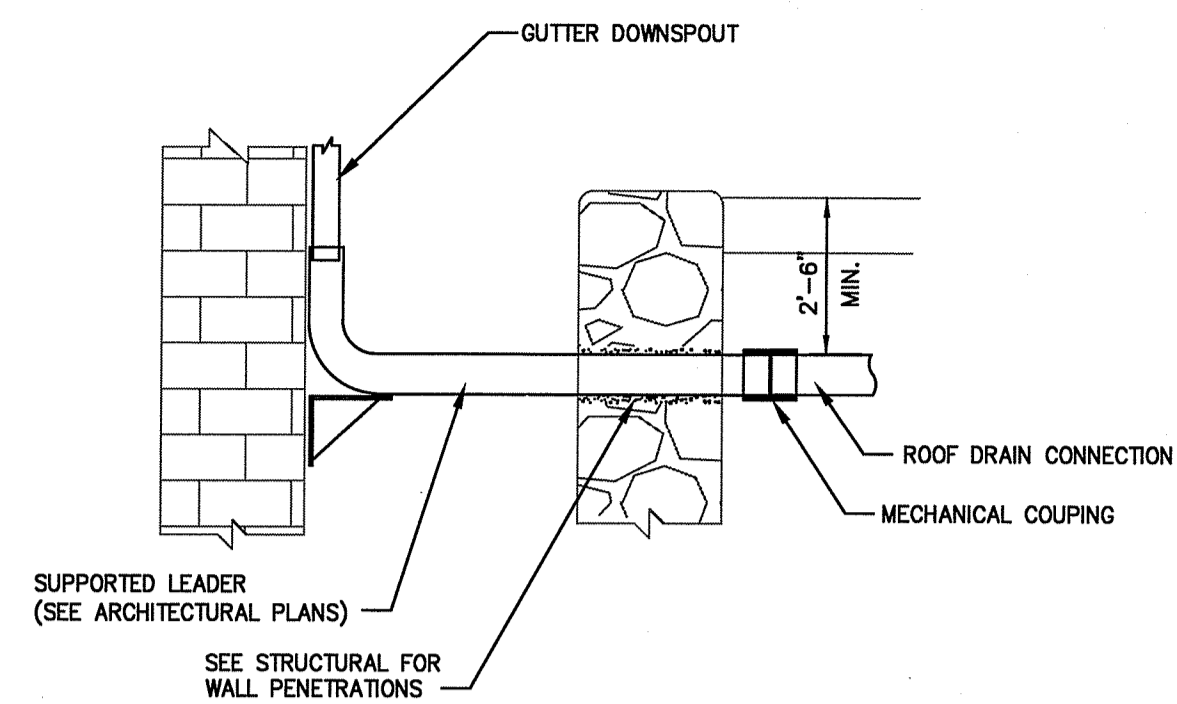
85 CORLISS STREET  
 P.O. BOX 6145  
 PROVIDENCE, R.I. 02940  
 TEL. 401-273-8000

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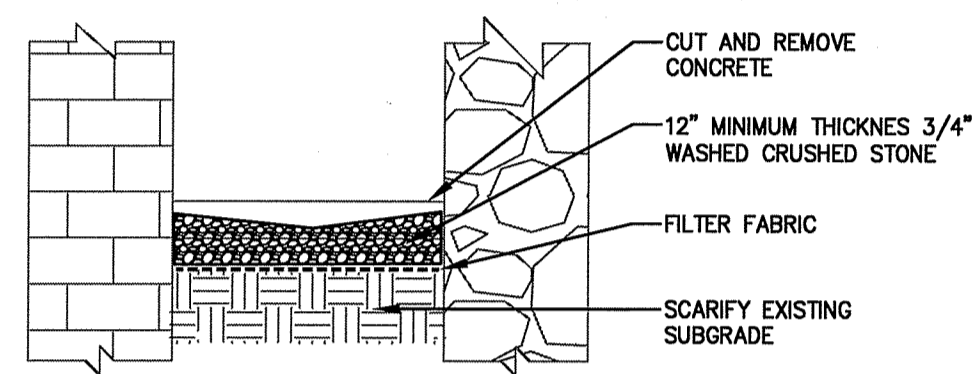
JOB NO. 7157.00	DRAWN BY K.Y.Y.
DWG. NO. 7157-Details.dwg	CHECK BY S.S.H.
SCALE: AS SHOWN	APPROVED S.S.H.
	DATE: OCTOBER 21, 2019

SHEET

**C-8**



**DOWNSPOUT THROUGH AREAWAY**  
N.T.S.



**NORTH AREAWAY BOTTOM TREATMENT**  
N.T.S.

**NOTE:**  
INSTALL OIL/WATER SEPARATOR ELBOW (TYP) WHERE SPECIFIED ON GRADING AND DRAINAGE PLAN

**TABLE 1**

CATCH BASIN DIAMETER (D)	A	B	CIRCUMFERENTIAL STEEL REINFORCEMENT REQUIRED
4'-0"	5"	6"	0.12 SQ. IN./LIN. FT.
5'-0"	6"	7"	0.15 SQ. IN./LIN. FT.
6'-0"	7"	8"	0.18 SQ. IN./LIN. FT.

\* FOR LONGITUDINAL (VERTICAL STANDING) REINFORCEMENT REFER TO ASTM C478, ITEM 8.1.2

**REVISIONS**

NO.	BY	DATE

**RHODE ISLAND DEPARTMENT OF TRANSPORTATION**  
**PRECAST 4'-0", 5'-0", OR 6'-0" ROUND CATCH BASIN**  
R.I. STANDARD 4.4.0  
JUNE 15, 1998

**SIGNS UP TO 12 SQ. FT.**

**SIGNS UP TO 28 SQ. FT.**

**SIGNS UP TO 40 SQ. FT.**

**RECOMMENDED TORQUE VALUES:**  
BOLTS TO THREADED BAR SPACER 20 FT. LBS.  
SELF-LOCKING FLANGE NUT TO BOLTS 20 FT. LBS.

**INSTALLATION PROCEDURE:**

- REMOVE A SPADE FULL OF SOIL (APPROXIMATELY 2" DEEP) FROM WHERE THE BASE POST WILL BE LOCATED.
- DRIVE THE BASE POST IN THE CENTER OF THE HOLE JUST CREATED, TO WITHIN 4" OF GRADE LEVEL.
- PLACE ONE BOLT AND FLAT WASHER IN THE TOP HOLE OF THE BASE POST. (IF THE TOP HOLE ON THE BASE POST, OR THE BOTTOM HOLE ON THE TOP POST IS LESS THAN 3/4" FROM END OF THE POST USE THE SECOND AND SIXTH HOLES.) WITH THE THREADED BAR SPACER ALIGNED WITH TOP HOLE ON THE BACK SIDE OF THE BASE POST, SECURELY TIGHTEN THE BOLT TO 20 FT. LBS. OF TORQUE. REPEAT THIS PROCESS FOR THE LOWER BOLT.
- NEST THE TOP POST OVER THE PROTRUDING BOLTS ON THE BASE POST. PLACE A SELF-LOCKING FLANGE NUT ON EACH BOLT AND TIGHTEN SECURELY TO 20 FT. LBS. OF TORQUE.
- REPLACE SOIL REMOVED IN STEP 1.
- IN TRIPLE POST INSTALLATIONS USING 4 LB./FT. POSTS IN WEAK SOIL, A 1'-0" x 6" SOIL PLATE IS REQUIRED.

**NOTES:**

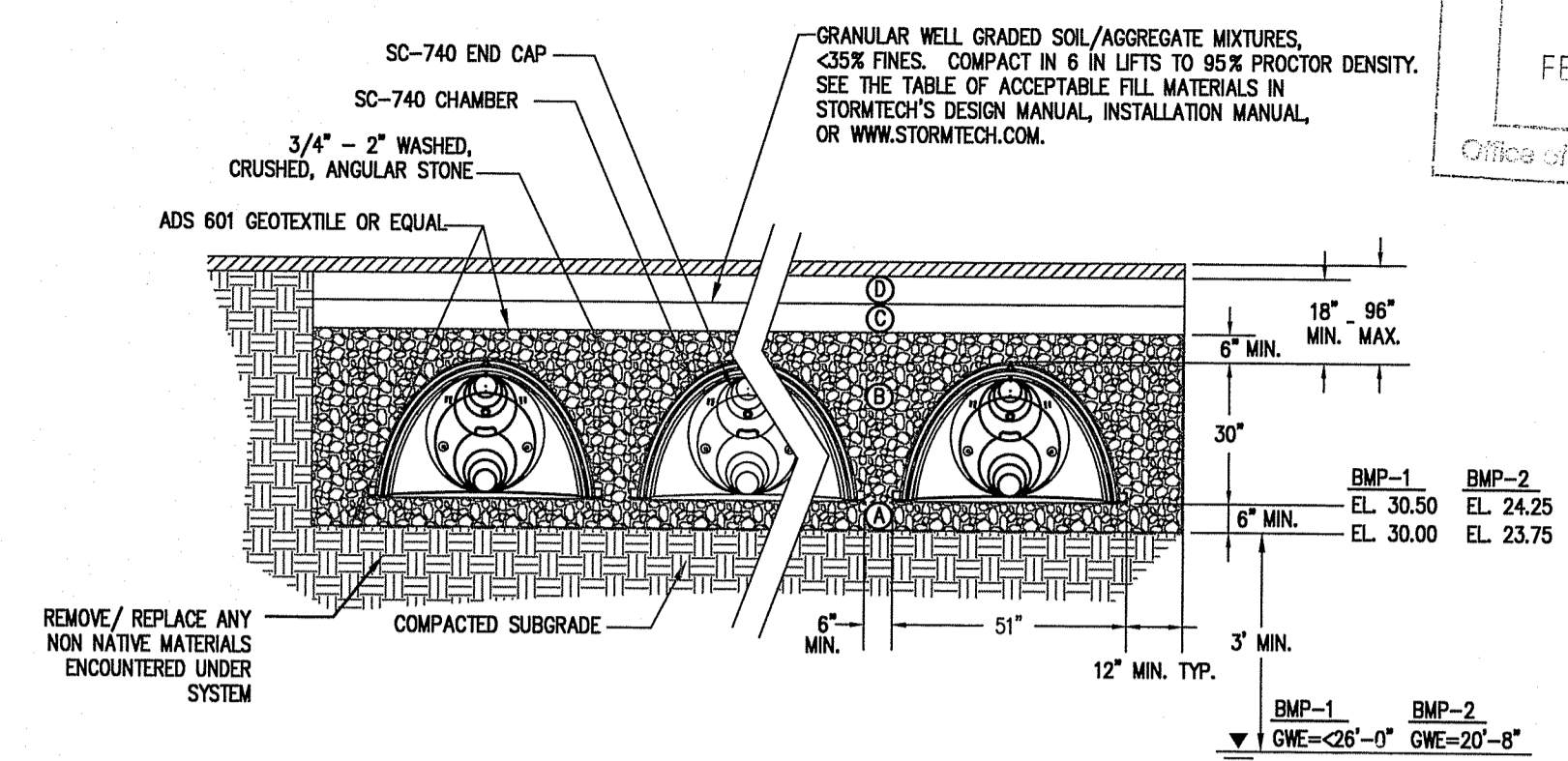
- SHALL BE IN ACCORDANCE WITH SECTION 1.15 OF THE R.I. STANDARD SPECIFICATIONS.
- THE GREY ANODIZED BAR SPACER IS FOR USE WITH 2, 2.5 AND 2.75 LB./FT. RIB-BAK POST GRADE SP-80 ONLY.
- THE GOLD ANODIZED BAR SPACER IS FOR USE WITH 3 AND 4 LB./FT. RIB-BAK POST GRADE SP-80 ONLY.
- INSTALLATION PROCEDURES SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
- FOR SIGNS GREATER THAN 40 SQ. FT., REFER TO STD. 30.1.0, 30.1.1, 30.2.0, 30.2.1, 30.3.0, 30.3.1, 30.4.0, 30.4.1, 30.4.2 AND 30.4.3

**RHODE ISLAND DEPARTMENT OF TRANSPORTATION**  
**SIGN POST SELECTION AND INSTALLATION DETAILS**  
**U-CHANNEL POST (SIGNS UP TO 8'-0" W x 4'-0" H)**  
R.I. STANDARD 24.2.0  
JUNE 15, 1998

**REVISIONS**

NO.	BY	DATE

**RHODE ISLAND DEPARTMENT OF TRANSPORTATION**  
**CONSTRUCTION ACCESS**  
R.I. STANDARD 9.9.0  
JUNE 15, 1998



**ACCEPTABLE FILL MATERIALS: SC-740 CHAMBER SYSTEMS**

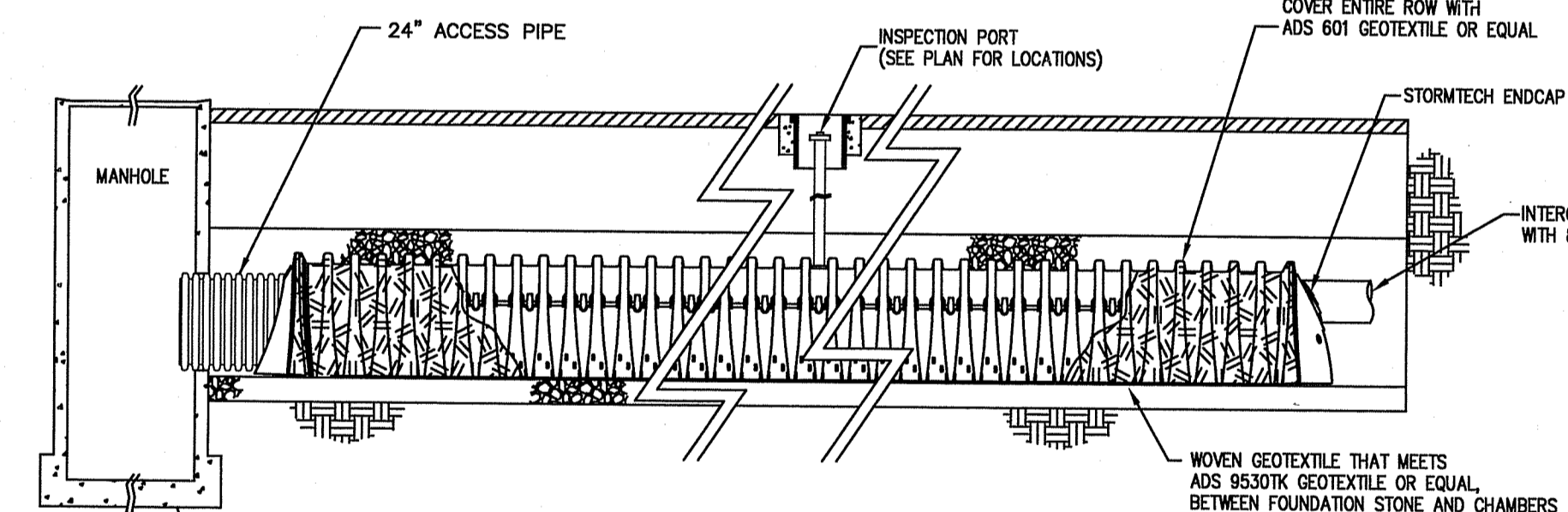
MATERIAL LOCATION	DESCRIPTION	AASHTO M43 DESIGNATION	COMPACTION/DENSITY REQUIREMENT
① FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISH GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THIS LAYER.	ANY SOIL/ROCK MATERIALS, NATIVE SOILS, OR PER ENGINEER'S PLANS. CHECK PLANS FOR PAVEMENT SUBGRADE REQUIREMENTS.	N/A	PREPARE PER ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
② FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE (B LAYER) TO 18" (457 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THIS LAYER.	GRANULAR WELL-GRADED SOIL/AGGREGATE MIXTURES, < 35% FINES. MOST PAVEMENT SUB-BASE MATERIALS CAN BE USED IN LIEU OF THIS LAYER.	3, 357, 4, 467, 5, 56, 57, 5, 67, 68, 7, 78, 8, 88, 9, 10	BEGIN COMPACTION AFTER 12" (305 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 6" (152 mm) LIFTS TO A MIN. 95% STANDARD PROCTOR DENSITY. ROLLER GROSS VEHICLE WEIGHT NOT TO EXCEED 12,000 lbs (53 kN). DYNAMIC FORCE NOT TO EXCEED 20,000 lbs (89 kN).
③ EMBEDMENT STONE SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE (A LAYER) TO THE 'C' LAYER ABOVE.	CLEAN, CRUSHED, ANGULAR STONE, NOMINAL SIZE DISTRIBUTION BETWEEN 3/4 - 2 INCH [19 - 51 mm]	3, 357, 4, 467, 5, 56, 57	NO COMPACTION REQUIRED.
④ FOUNDATION STONE BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	CLEAN, CRUSHED, ANGULAR STONE, NOMINAL SIZE DISTRIBUTION BETWEEN 3/4 - 2 INCH [19 - 51 mm]	3, 35, 4, 467, 5, 56, 57	PLATE COMPACT OR ROLL TO ACHIEVE A 95% STANDARD PROCTOR DENSITY

**PLEASE NOTE:**

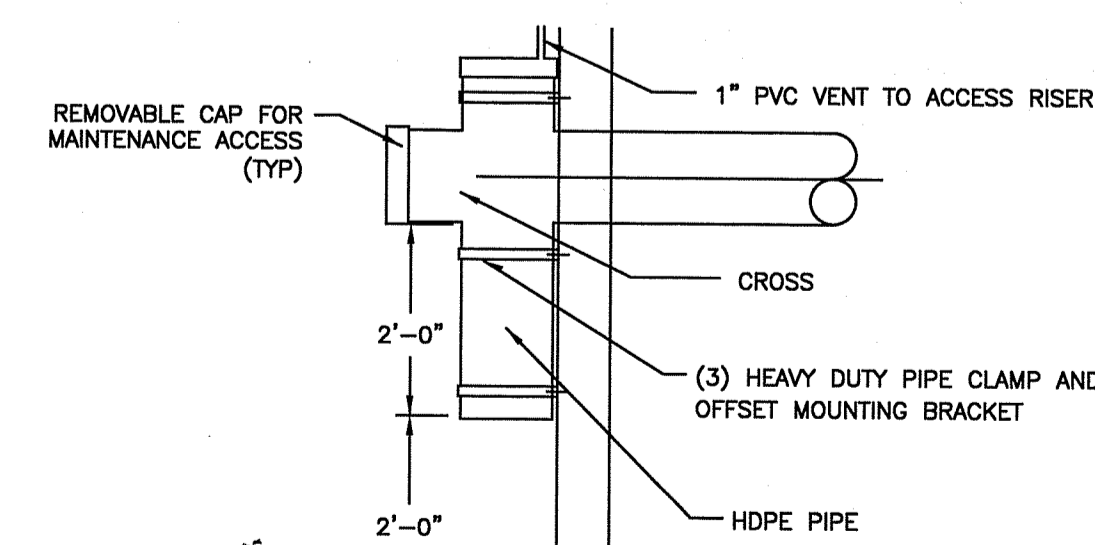
- THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
- AS AN ALTERNATE TO PROCTOR TESTING AND FIELD DENSITY MEASUREMENTS ON OPEN GRADED STONE, STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 9" (229 mm) (MAX) LIFTS USING TWO FULL COVERAGES WITH AN APPROPRIATE COMPACTOR.

**STORMTECH STORMWATER (BMP-1 AND BMP-2) SC-740 CHAMBER SYSTEM**  
NOT TO SCALE

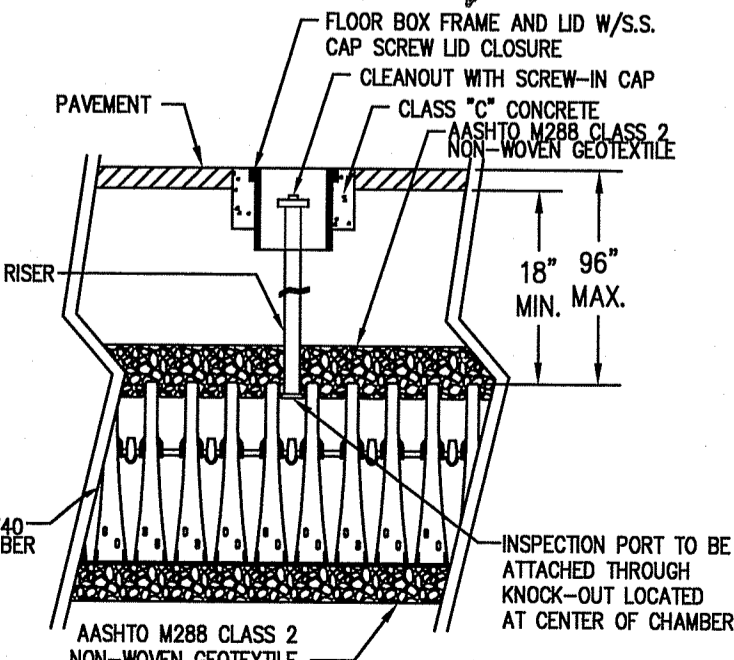
Note per item: The crushed stone for the two proposed underground infiltration practices shall be clean washed crushed stone.



**ISOLATOR CHAMBER ROW DETAIL**  
NOT TO SCALE



**OIL/WATER SEPARATOR ELBOW**  
NOT TO SCALE



**STORMTECH SC-740 CHAMBER SYSTEM INSPECTION PORT DETAIL**  
NOT TO SCALE

**CONSTRUCTION DETAILS - 3**  
FOR  
**REDEVELOPMENT AT BRANCH AVENUE**  
AP 74 LOTS 100, 363, 380 & 389  
SITUATED ON  
66 & 76 BRANCH AVENUE  
178 PRINTER STREET  
27 DRYDEN LANE  
RHODE ISLAND  
PREPARED FOR  
**CGRI PROVIDENCE BRANCH, LLC**

NO.	REVISION	BY	DATE

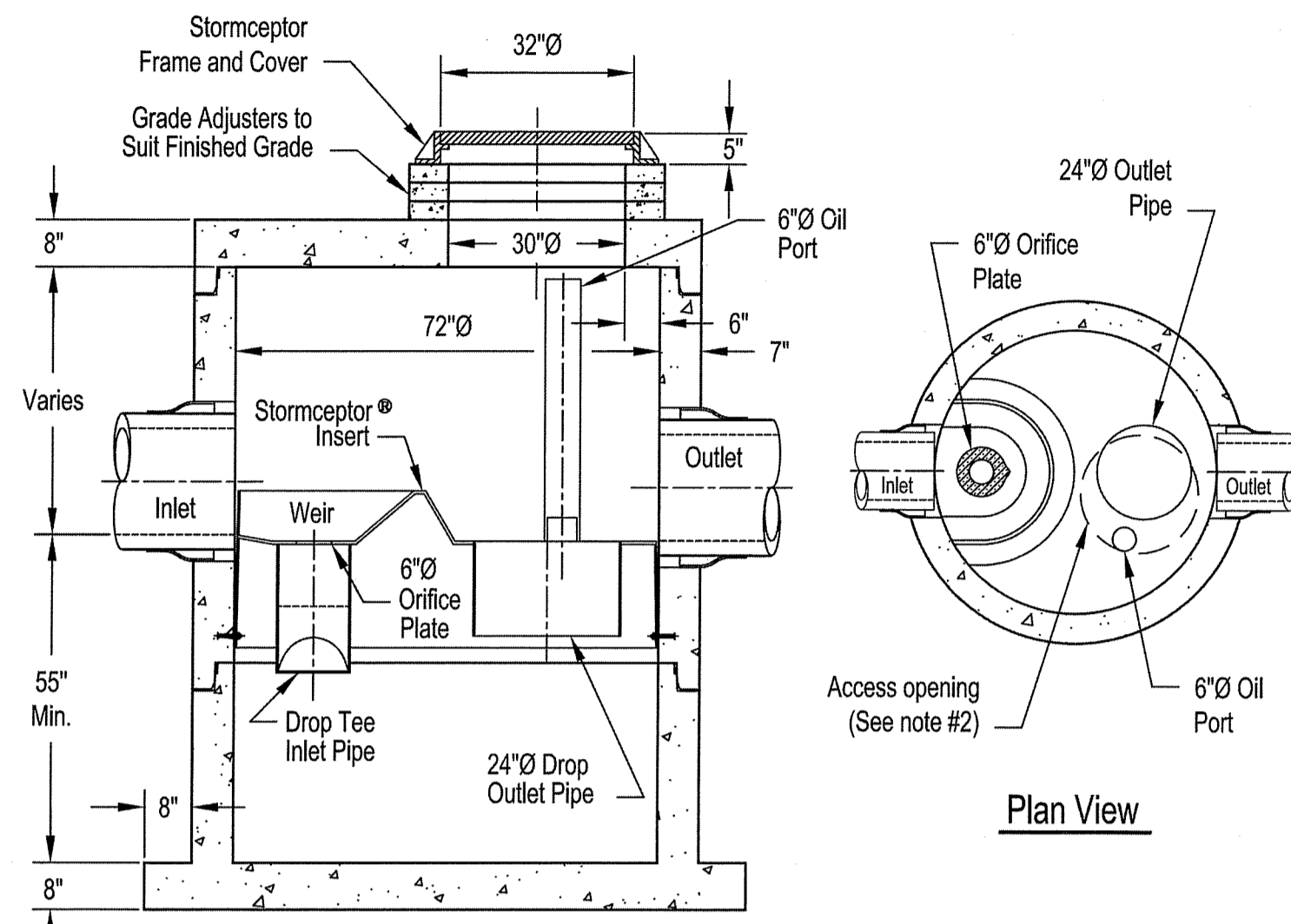
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**CIVIL & STRUCTURAL ENGINEERS/SURVEYORS**  
**LAND PLANNERS/ENVIRONMENTAL SCIENTISTS**

85 CORLUS STREET  
P.O. BOX 6145  
PROVIDENCE, R.I. 02940  
TEL. 401-273-6000

JOB NO. 7157.00	DRAWN BY RAS
DWG. NO. 7157-Details.dwg	CHECK BY S.S.H.
SCALE: AS SHOWN	APPROVED S.S.H.
	DATE: OCTOBER 21, 2019

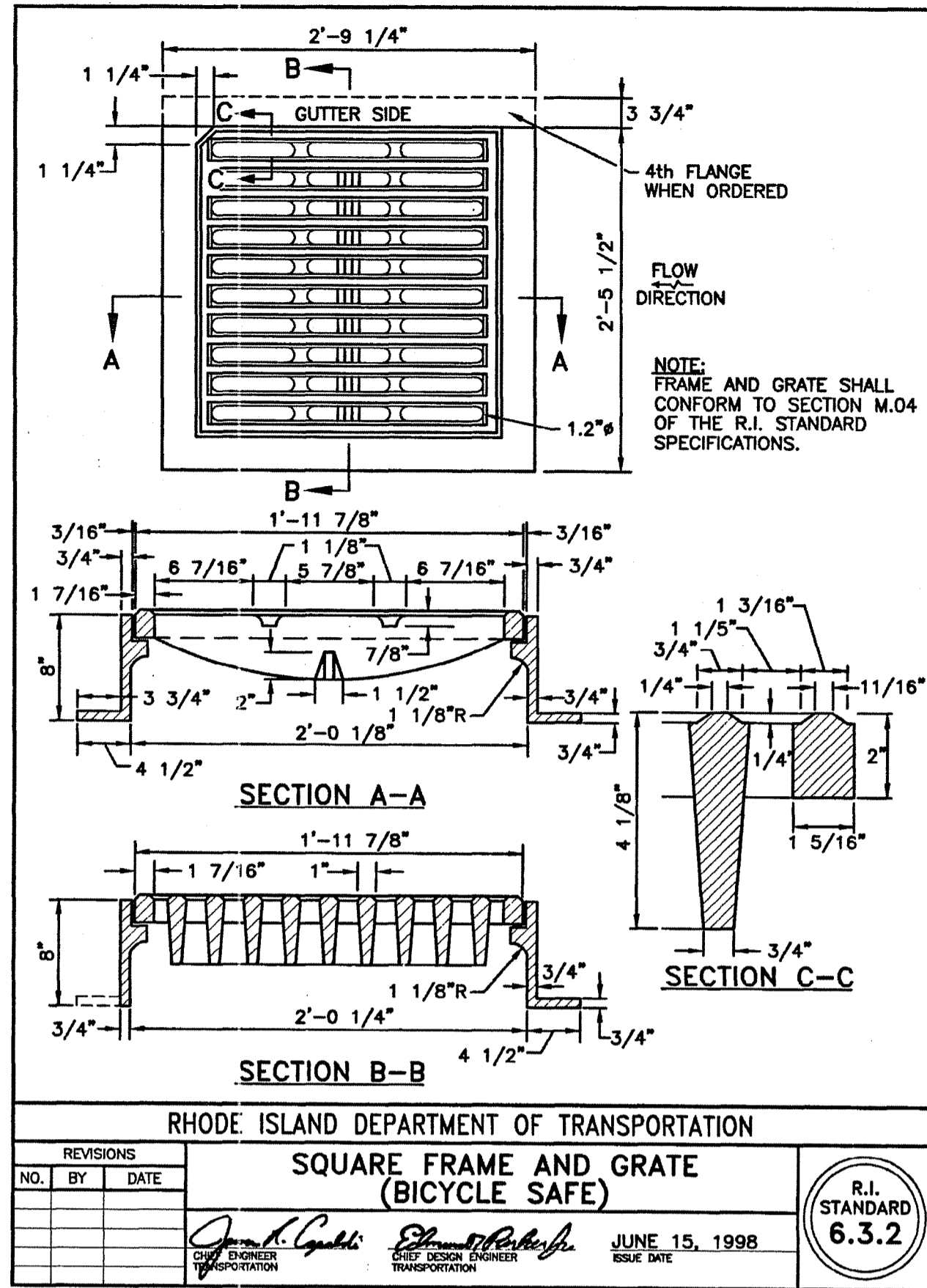
SHEET  
**C-9**  
10 OF 14 SHEETS

**STC 900 Precast Concrete Stormceptor®**  
(900 U.S. Gallon Capacity)



Section Thru Chamber

- Notes:
1. The Use Of Flexible Connection is Recommended at The Inlet and Outlet Where Applicable.
  2. The Cover Should be Positioned Over The Outlet Drop Pipe and The Oil Port.
  3. The Stormceptor System is protected by one or more of the following U.S. Patents: #4985148, #5498331, #5725760, #5753115, #5849181, #6068765, #6371690.
  4. Contact a Concrete Pipe Division representative for further details not listed on this drawing.

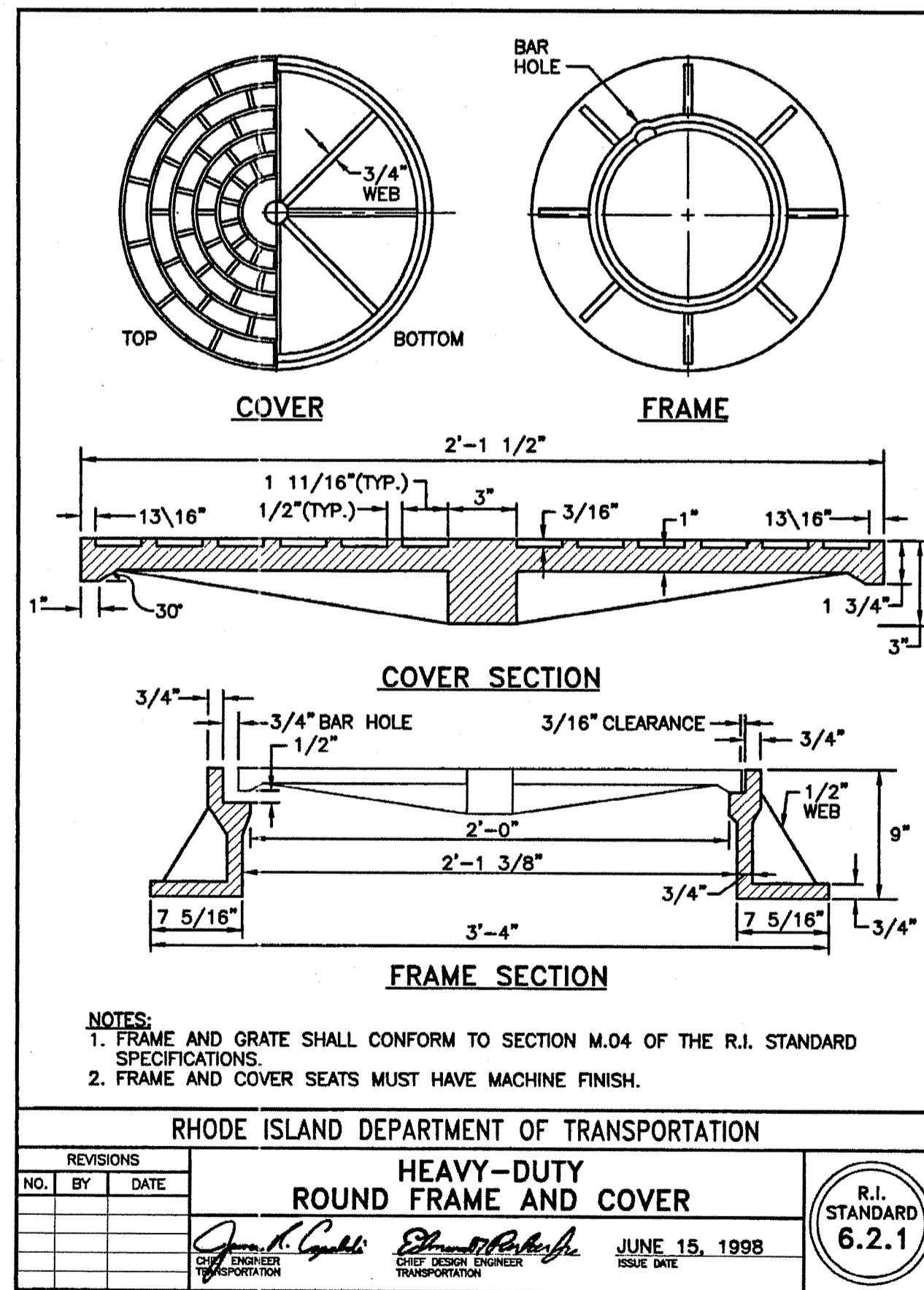


RHODE ISLAND DEPARTMENT OF TRANSPORTATION

**SQUARE FRAME AND GRATE**  
(BICYCLE SAFE)

NO.	BY	DATE

*James K. Gagliardi* CHIEF ENGINEER  
*Edward P. Paterlini* CHIEF DESIGN ENGINEER  
 JUNE 15, 1998 ISSUE DATE  
 R.I. STANDARD 6.3.2

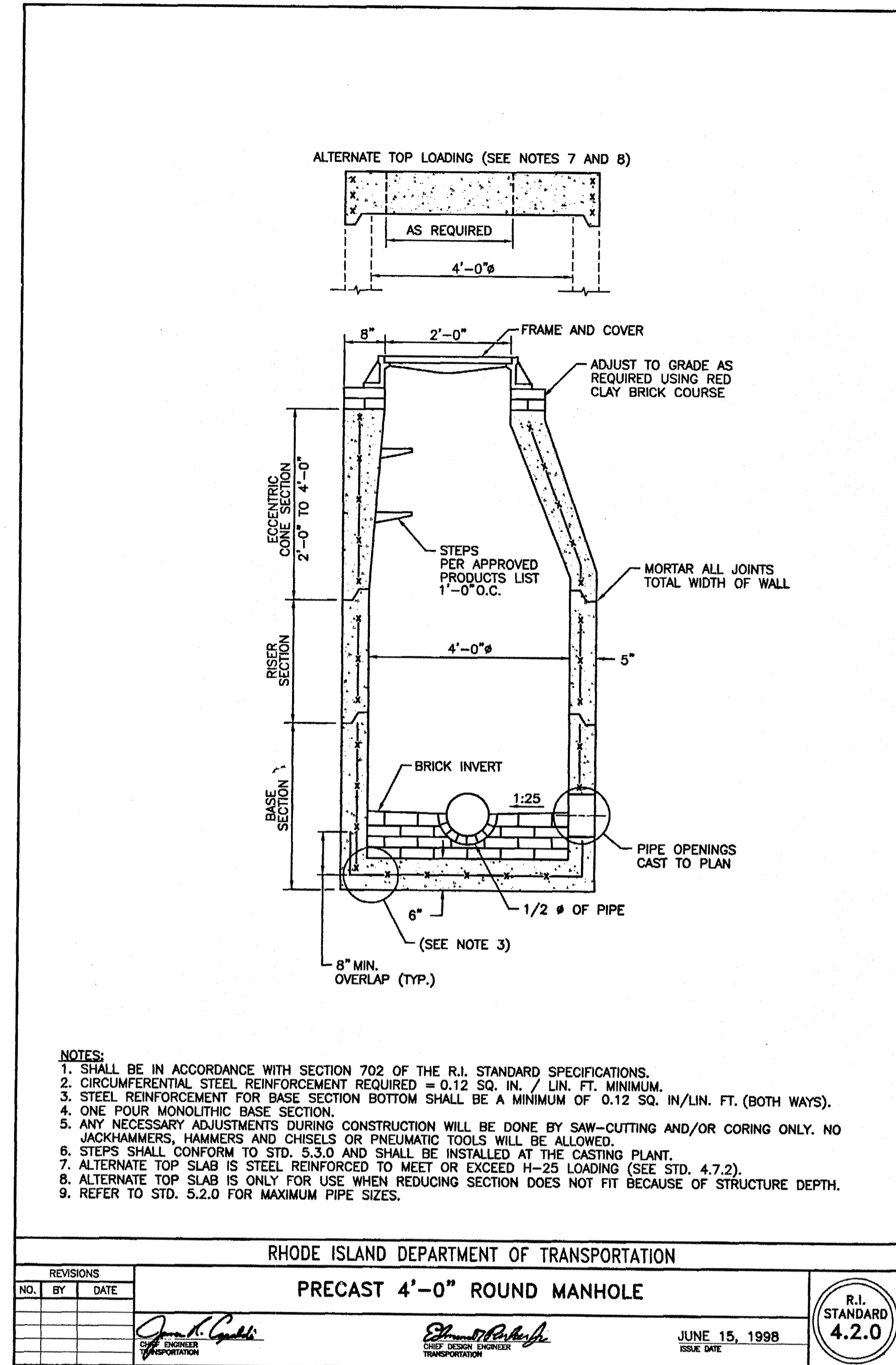


RHODE ISLAND DEPARTMENT OF TRANSPORTATION

**HEAVY-DUTY**  
**ROUND FRAME AND COVER**

NO.	BY	DATE

*James K. Gagliardi* CHIEF ENGINEER  
*Edward P. Paterlini* CHIEF DESIGN ENGINEER  
 JUNE 15, 1998 ISSUE DATE  
 R.I. STANDARD 6.2.1



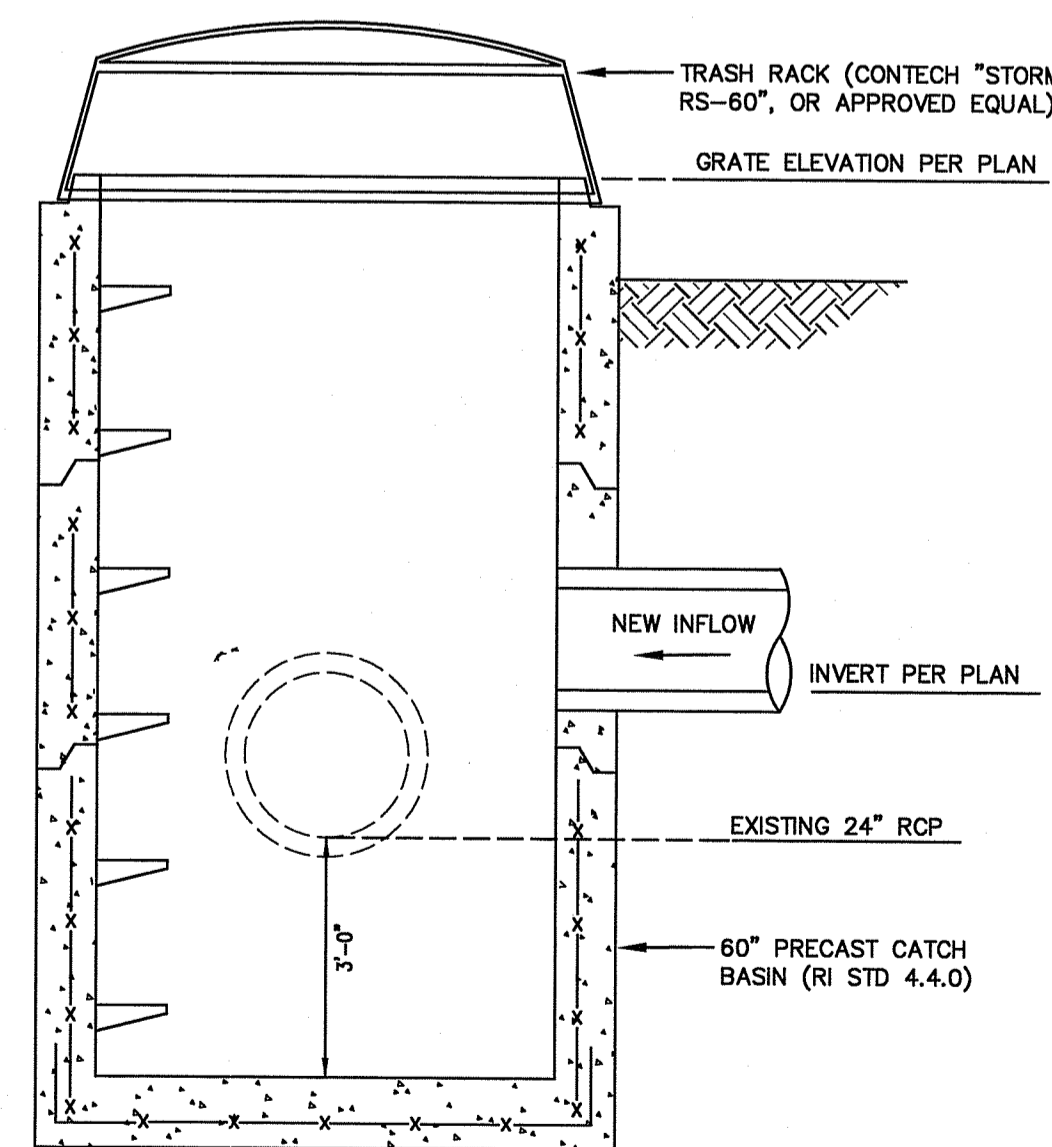
- NOTES:
1. SHALL BE IN ACCORDANCE WITH SECTION 702 OF THE R.I. STANDARD SPECIFICATIONS.
  2. CIRCUMFERENTIAL STEEL REINFORCEMENT REQUIRED = 0.12 SQ. IN. / LIN. FT. MINIMUM.
  3. STEEL REINFORCEMENT FOR BASE SECTION BOTTOM SHALL BE A MINIMUM OF 0.12 SQ. IN./LIN. FT. (BOTH WAYS).
  4. ONE FOUR MONOLITHIC BASE SECTION.
  5. ANY NECESSARY ADJUSTMENTS DURING CONSTRUCTION WILL BE DONE BY SAW-CUTTING AND/OR CORING ONLY. NO JACKHAMMERS, HAMMERS AND CHISELS OR PNEUMATIC TOOLS WILL BE ALLOWED.
  6. STEPS SHALL CONFORM TO STD. S.3.0 AND SHALL BE INSTALLED AT THE CASTING PLANT.
  7. ALTERNATE TOP SLAB IS STEEL REINFORCED TO MEET OR EXCEED H-25 LOADING (SEE STD. 4.7.2).
  8. ALTERNATE TOP SLAB IS ONLY FOR USE WHEN REDUCING SECTION DOES NOT FIT BECAUSE OF STRUCTURE DEPTH.
  9. REFER TO STD. S.2.0 FOR MAXIMUM PIPE SIZES.

RHODE ISLAND DEPARTMENT OF TRANSPORTATION

**PRECAST 4'-0" ROUND MANHOLE**

NO.	BY	DATE

*James K. Gagliardi* CHIEF ENGINEER  
*Edward P. Paterlini* CHIEF DESIGN ENGINEER  
 JUNE 15, 1998 ISSUE DATE  
 R.I. STANDARD 4.2.0



- NOTE:
1. REFER RI STANDARD DETAILS FOR ADDITIONAL REQUIREMENTS.

**DRAIN STRUCTURE CB-9**

NOT TO SCALE

Environmental Management  
FEB 18 2020  
Office of Water Resources

**CONSTRUCTION DETAILS -4**

FOR  
REDEVELOPMENT AT BRANCH AVENUE  
AP 74 LOTS 100, 363, 380 & 389

SITUATED ON  
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27 DRYDEN LANE  
RHODE ISLAND  
PREPARED FOR

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CIVIL & STRUCTURAL ENGINEERS/SURVEYORS  
LAND PLANNERS/ENVIRONMENTAL SCIENTISTS

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85 CORLISS STREET  
P.O. BOX 6145  
PROVIDENCE, R.I. 02940  
TEL. 401-273-6000

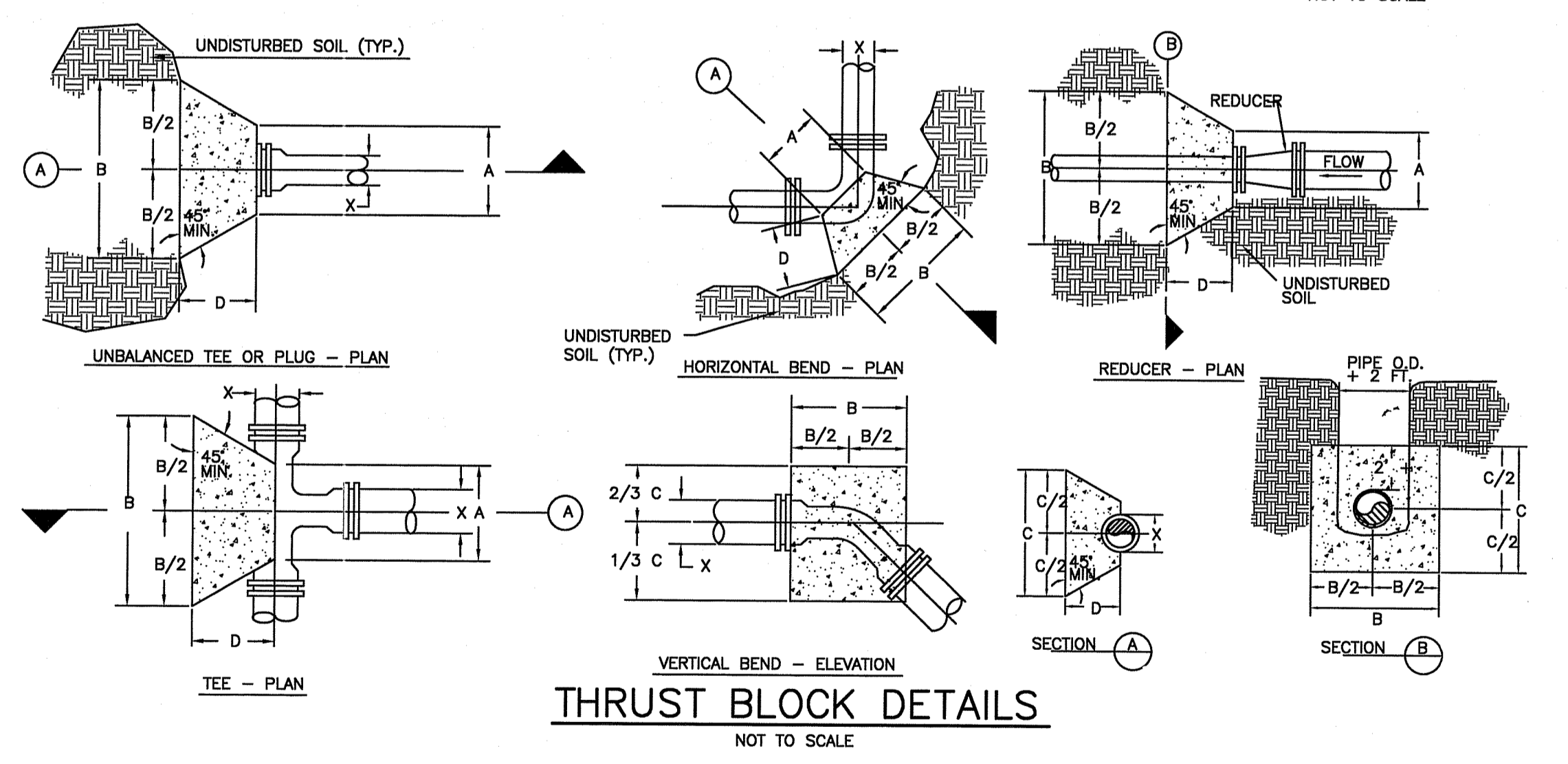
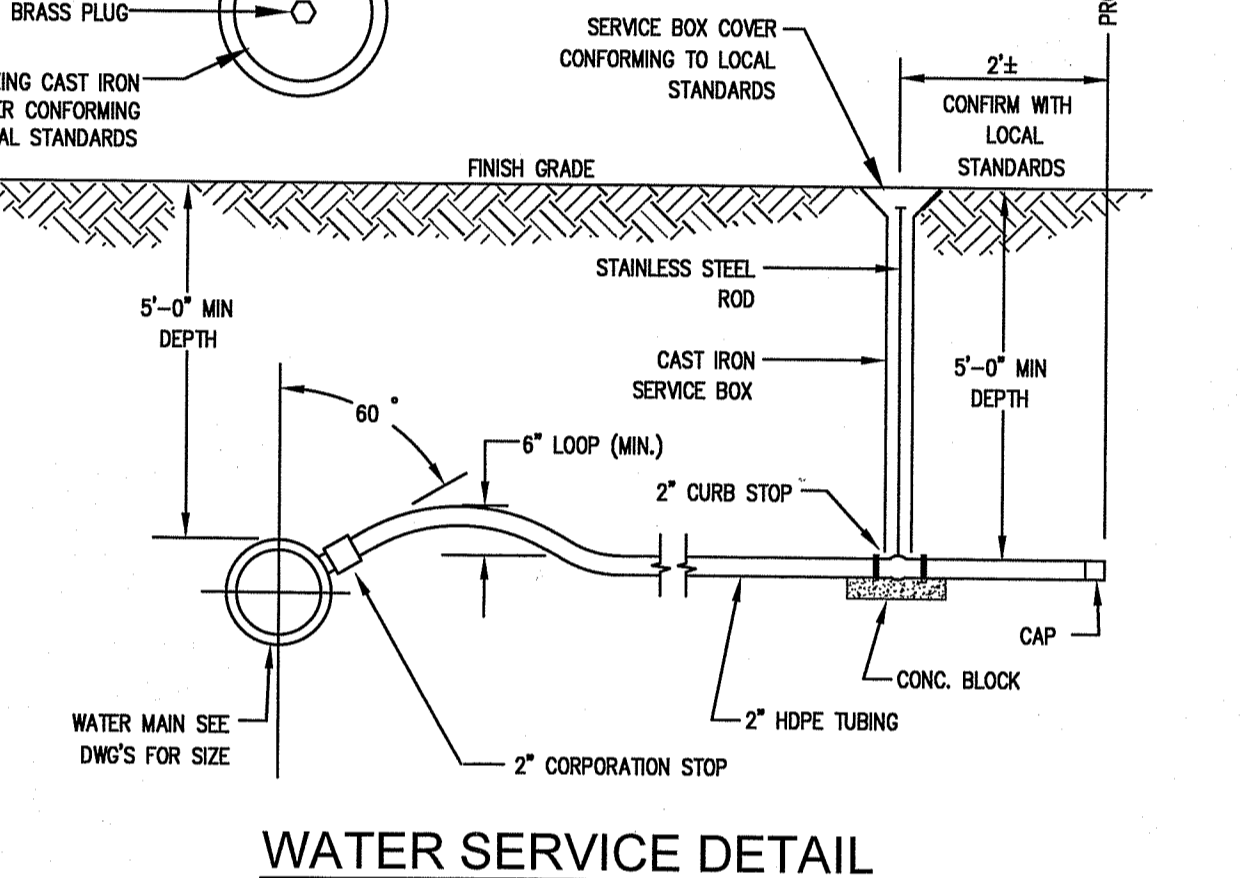
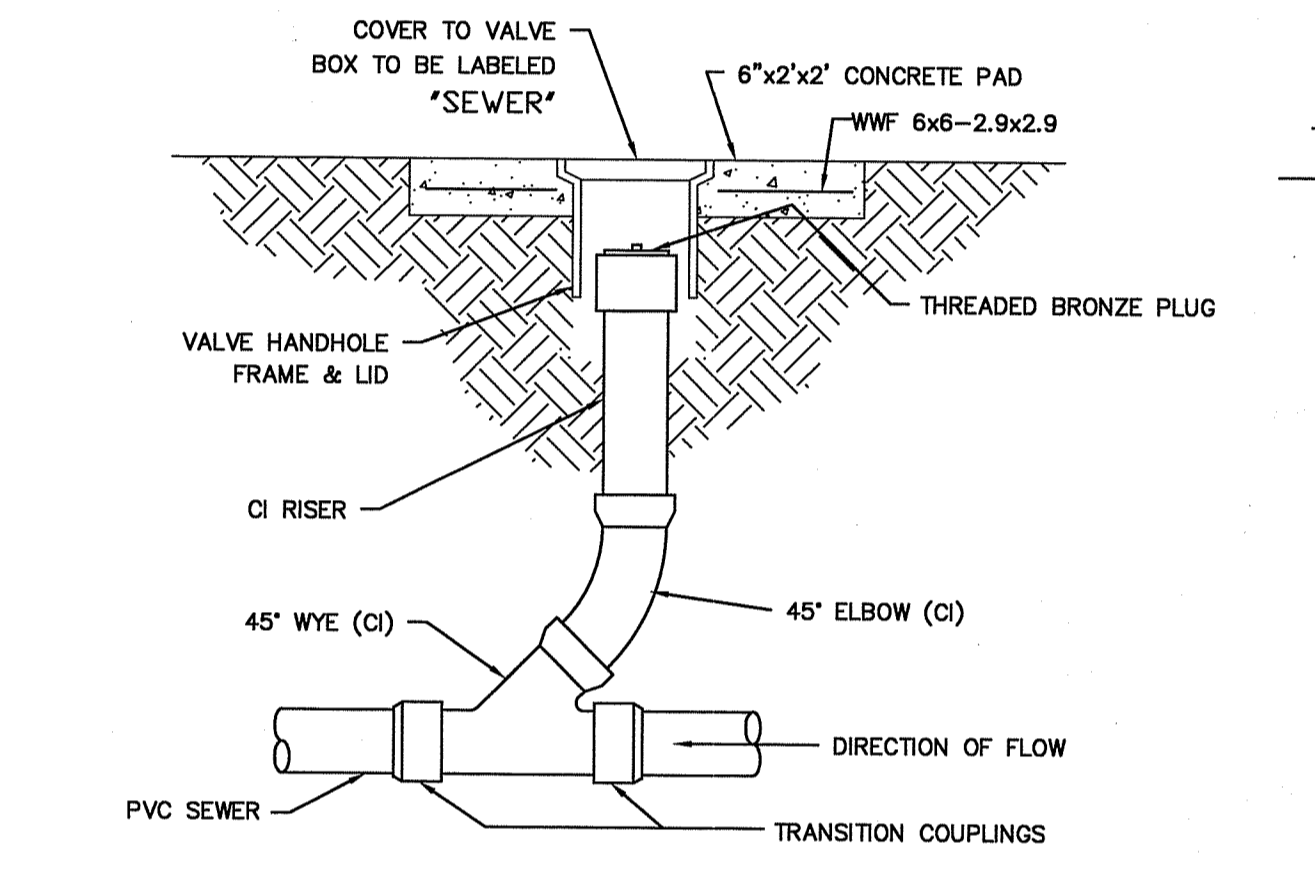
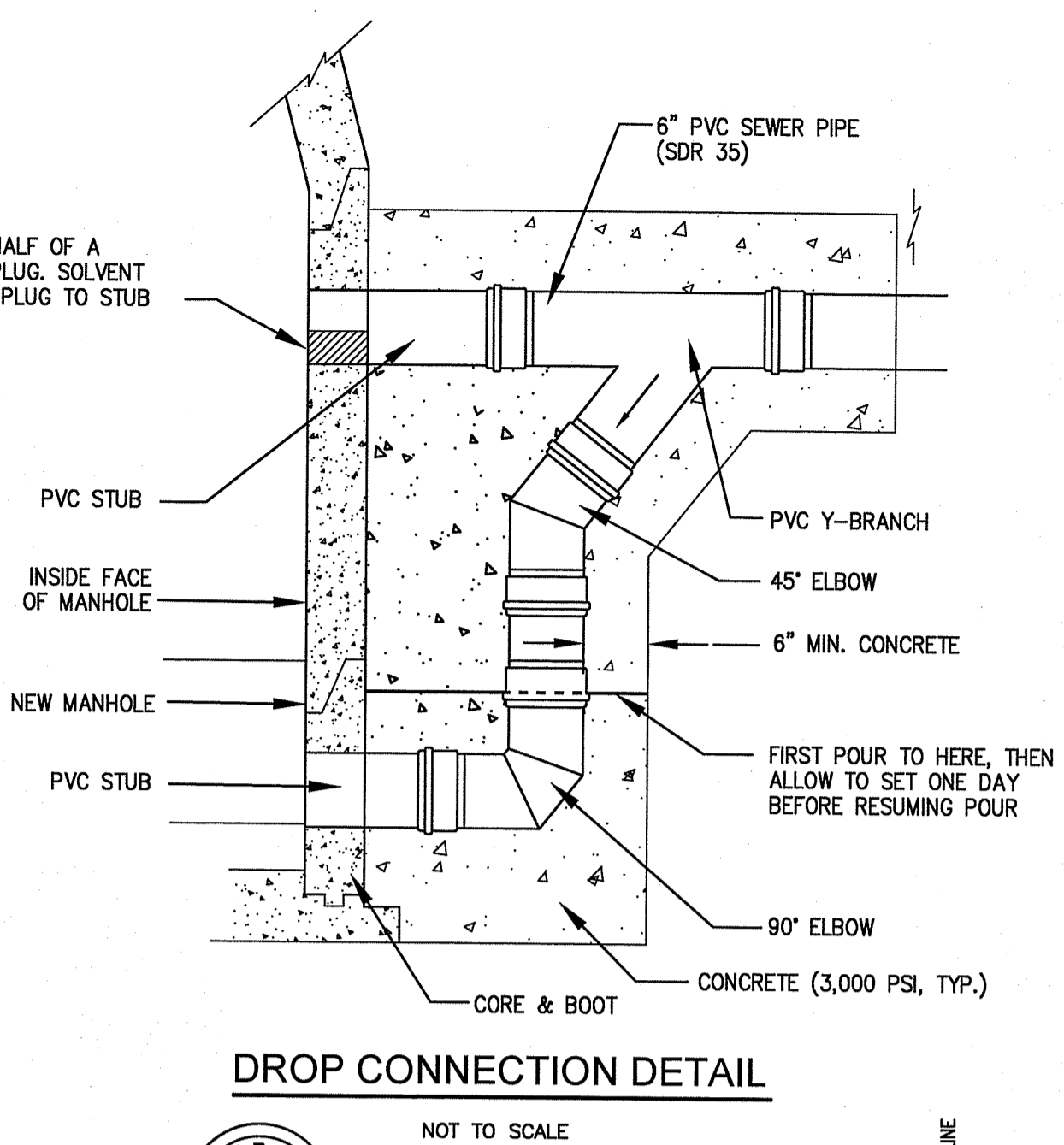
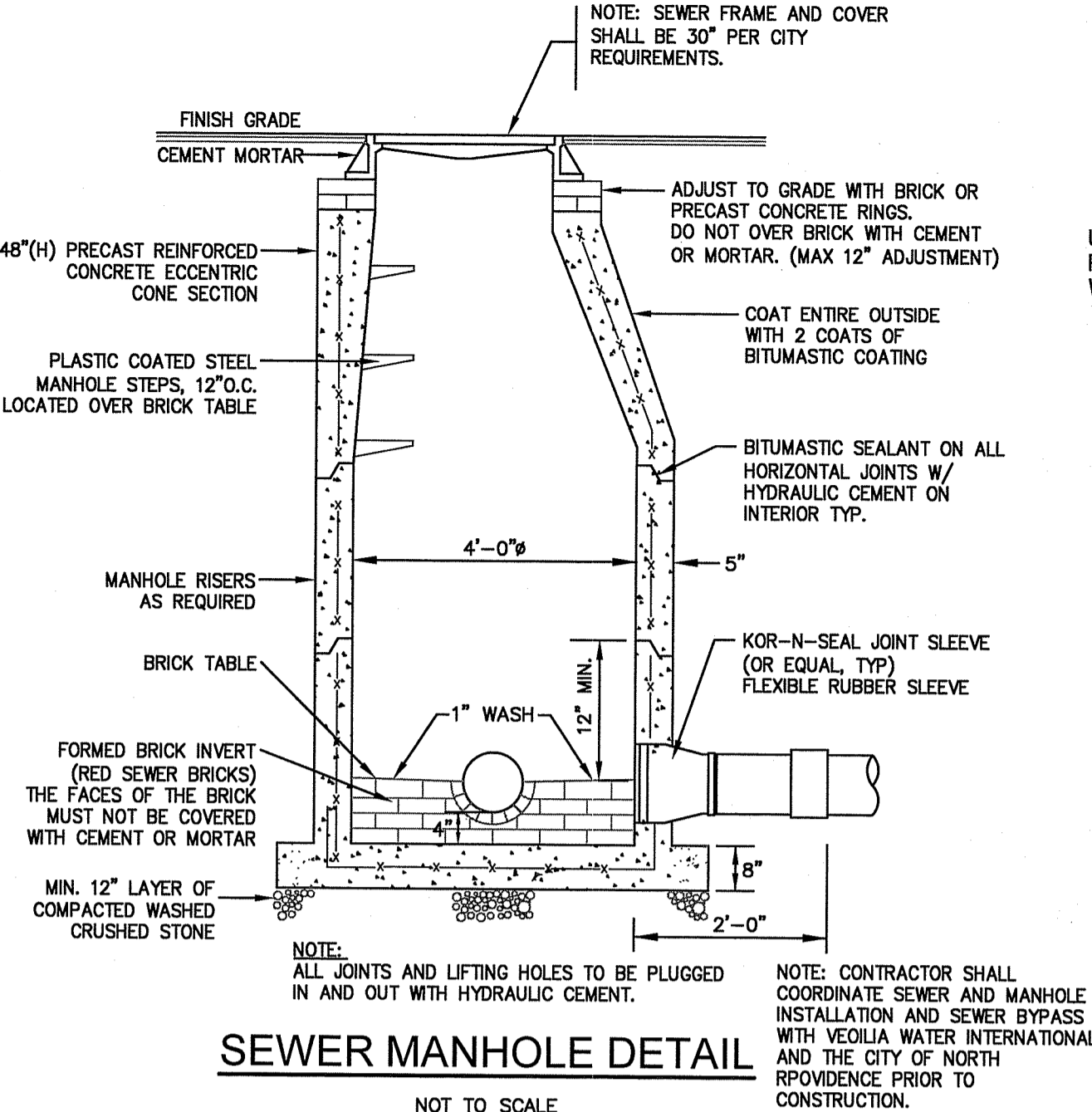
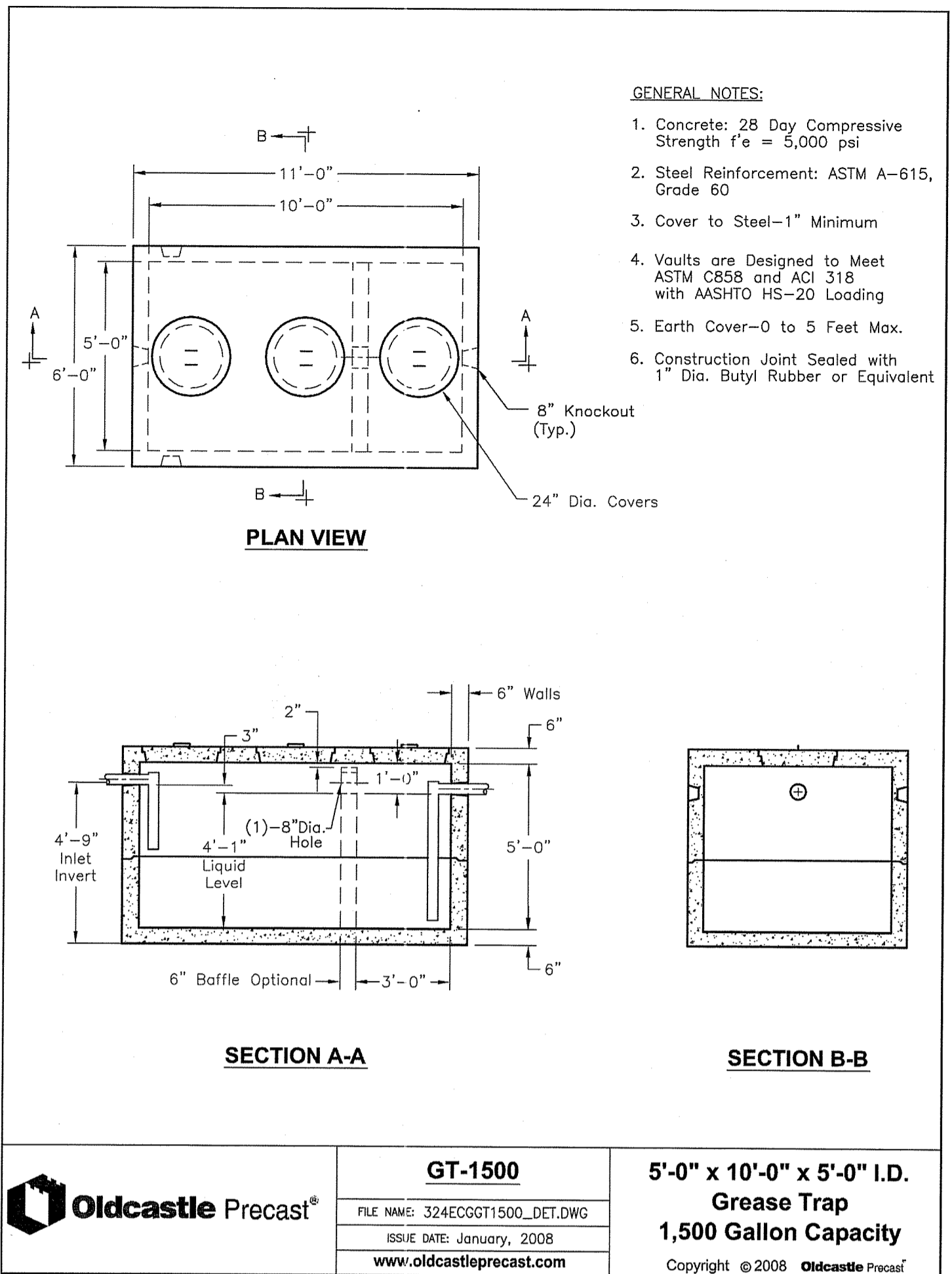
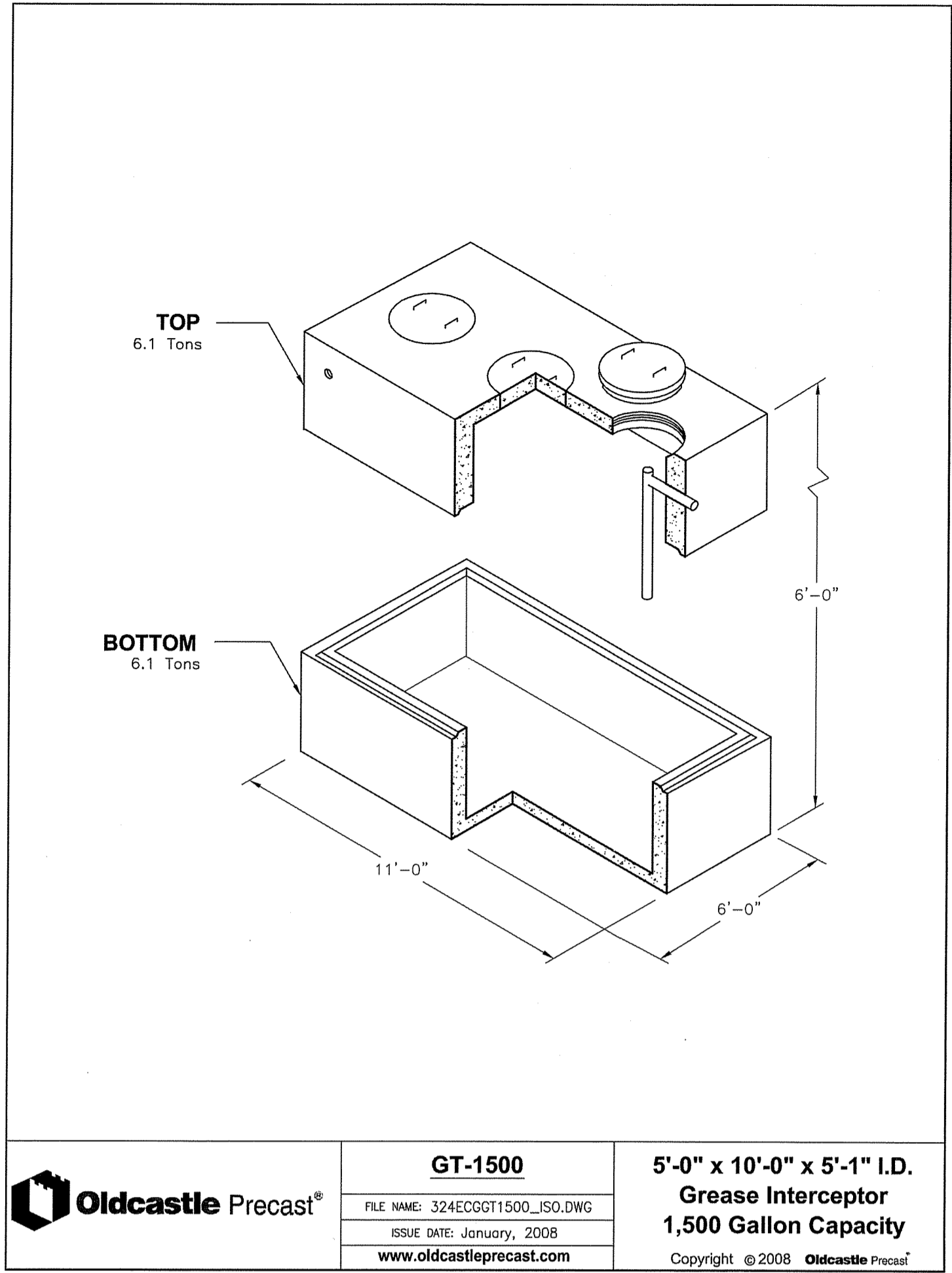
JOB NO. 7157.00	DRAWN BY RAS
DWG. NO. 7157-Details.dwg	CHECK BY S.S.H.
SCALE: AS SHOWN	APPROVED S.S.H.
DATE: OCTOBER 21, 2019	

SHEET

**C-10**

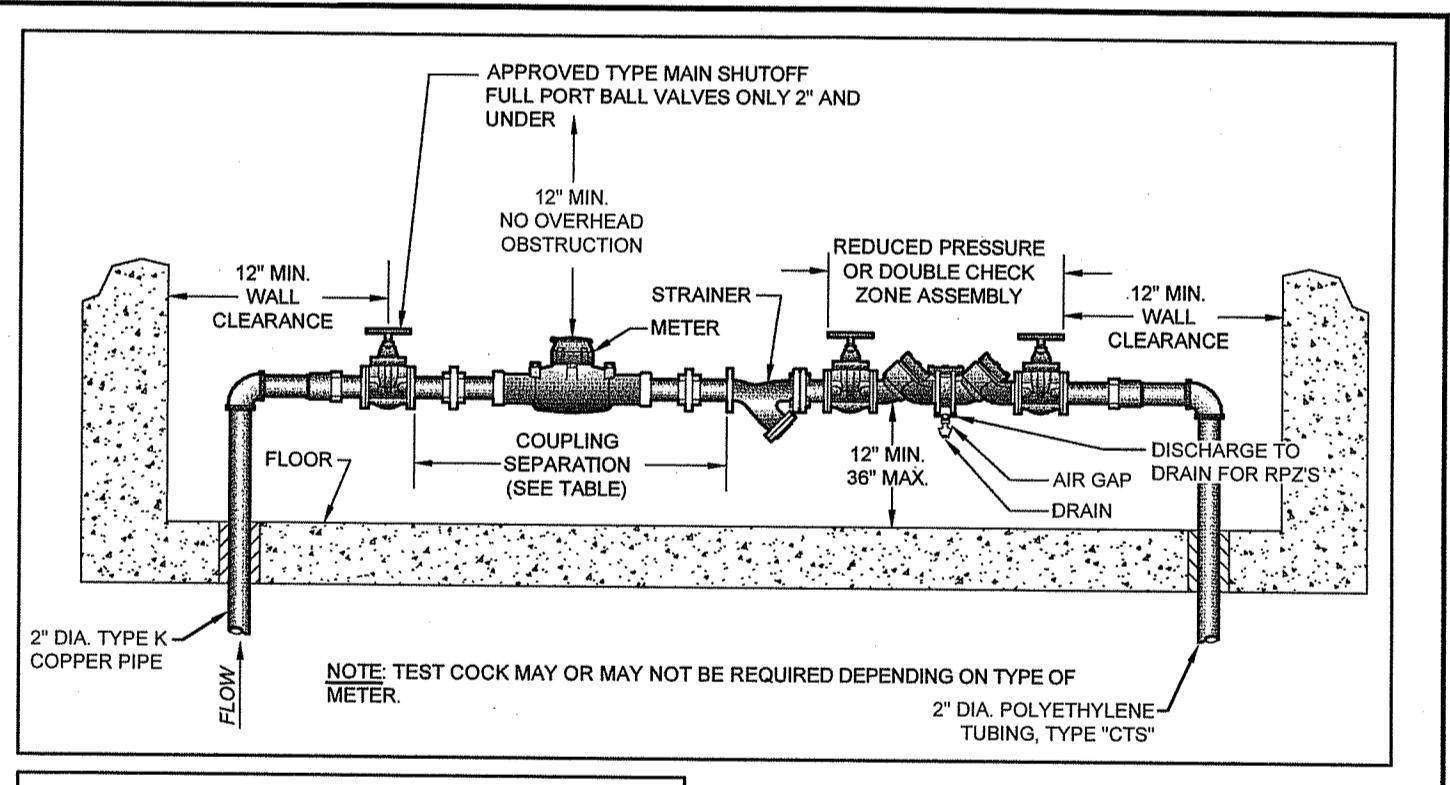
11 OF 14 SHEETS

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS  
AS SPECIFIED IN THE LETTER OF APPROVAL  
DATED APR 23 2020 FILE # 19-0298  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

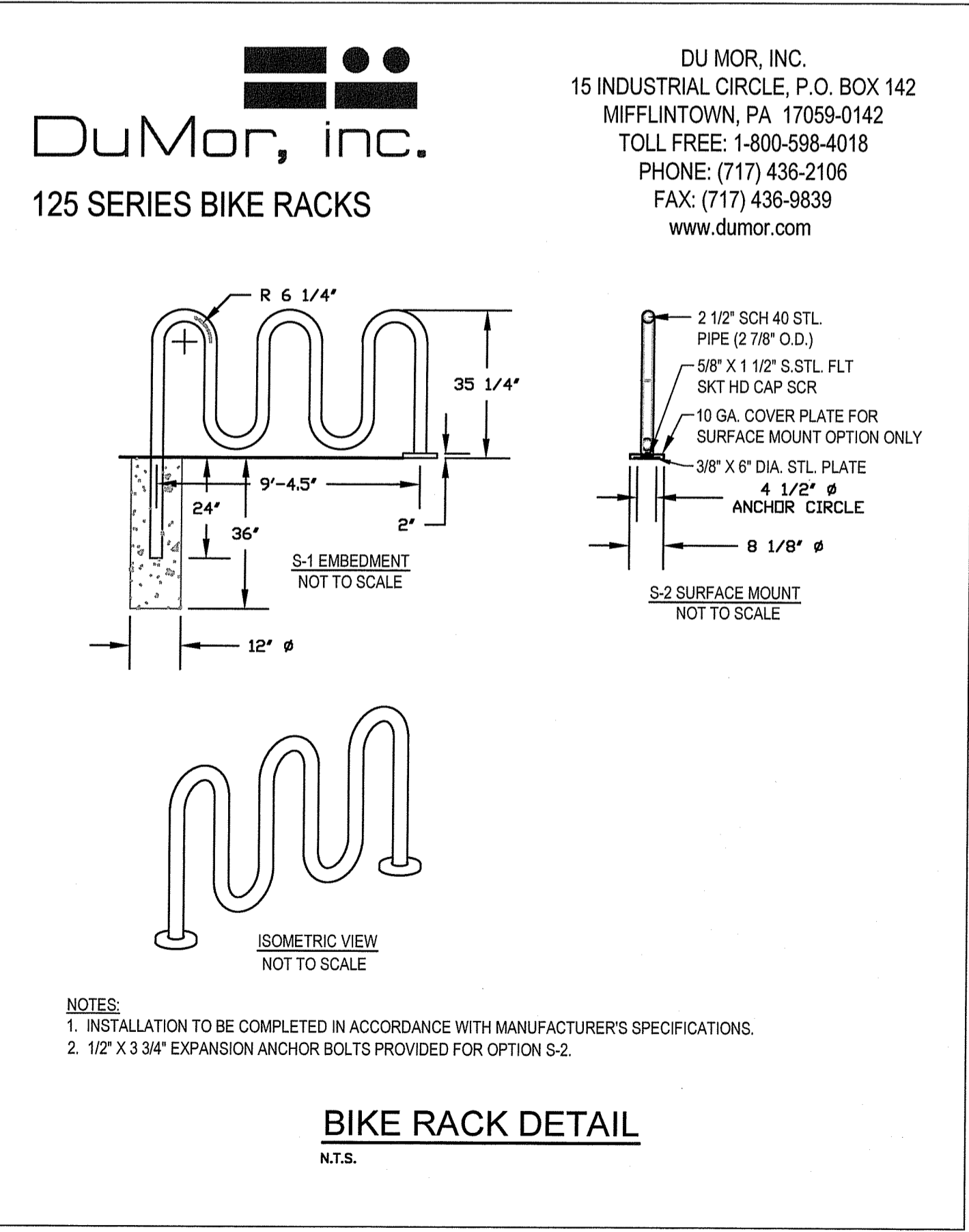


Line Pressure = 150 PSI Soil Pressure = 2000 PSF					Line Pressure = 150 PSI Soil Pressure = 2000 PSF					Line Pressure = 150 PSI Soil Pressure = 2000 PSF							
Pipe Size X	A	B	C	D	VOL. CONC.	Pipe Size X	A	B	C	D	VOL. CONC.	Pipe Size X	A	B	C	D	VOL. CONC.
<b>90 DEGREE BEND</b>																	
6"	0'-10"	1'-11"	1'-11"	1'-6"	4± CF	6"	0'-10"	1'-0"	1'-0"	1'-0"	1± CF	6"	0'-10"	1'-6"	1'-6"	1'-3"	3± CF
8"	0'-10"	2'-7"	2'-7"	1'-6"	7± CF	8"	0'-10"	1'-4"	1'-4"	1'-0"	1.5± CF	8"	0'-10"	2'-2"	2'-2"	1'-3"	4± CF
12"	0'-10"	3'-10"	3'-10"	1'-6"	14± CF	12"	0'-10"	2'-0"	2'-0"	1'-0"	3± CF	12"	0'-10"	3'-3"	3'-3"	1'-3"	8± CF
<b>45 DEGREE BEND</b>																	
6"	0'-10"	1'-6"	1'-6"	1'-0"	2± CF	6"	0'-10"	0'-10"	0'-10"	1'-0"	0.7± CF	6"	0'-10"	1'-6"	1'-6"	1'-0"	1± CF
8"	0'-10"	1'-11"	1'-11"	1'-0"	3± CF	8"	0'-10"	1'-0"	1'-0"	1'-0"	1± CF	8"	0'-10"	2'-2"	2'-2"	1'-3"	4± CF
12"	0'-10"	2'-10"	2'-10"	1'-0"	5± CF	12"	0'-10"	1'-6"	1'-6"	1'-0"	2± CF	12"	0'-10"	3'-3"	3'-3"	1'-3"	8± CF
<b>11-1/4 DEGREE BEND</b>																	
6"	0'-10"	1'-6"	1'-6"	1'-0"	2± CF	6"	0'-10"	0'-10"	0'-10"	1'-0"	0.7± CF	6"	0'-10"	1'-6"	1'-6"	1'-0"	1± CF
8"	0'-10"	1'-11"	1'-11"	1'-0"	3± CF	8"	0'-10"	1'-0"	1'-0"	1'-0"	1± CF	8"	0'-10"	2'-2"	2'-2"	1'-3"	4± CF
12"	0'-10"	2'-10"	2'-10"	1'-0"	5± CF	12"	0'-10"	1'-6"	1'-6"	1'-0"	2± CF	12"	0'-10"	3'-3"	3'-3"	1'-3"	8± CF

**THRUST BLOCK DIMENSIONS**



WATER METER SIZE (INCHES)	COUPLING SEPARATION (FEMALE PIPE THREAD TO FEMALE PIPE THREAD) (INCHES)
5/8	13-5/8
3/4	16-1/4
1	22-1/4
1-1/2	28-1/4

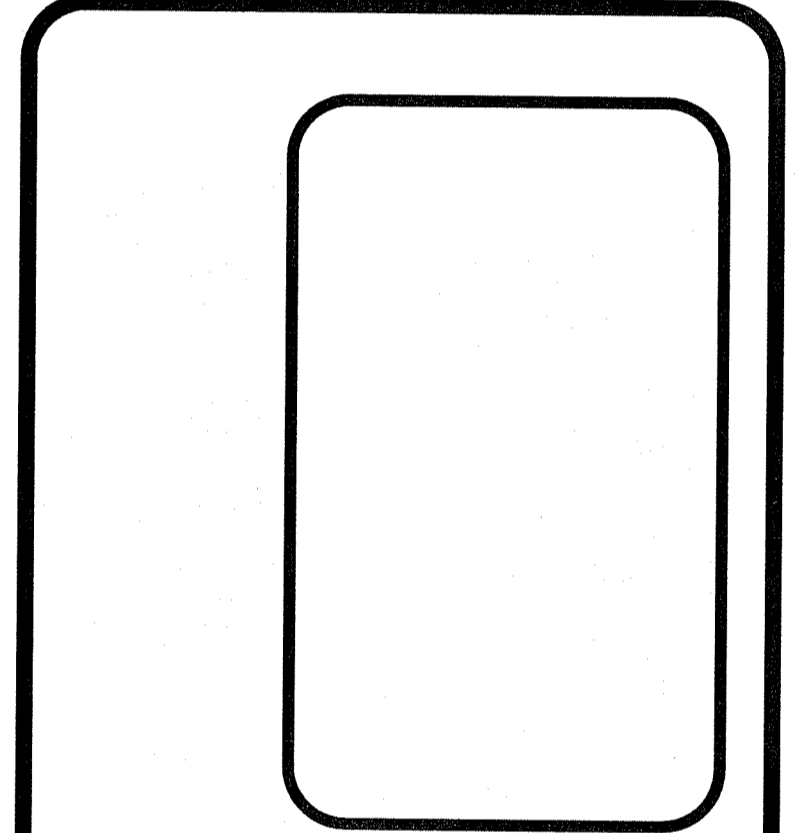


DU MOR, INC.  
 15 INDUSTRIAL CIRCLE, P.O. BOX 142  
 MIFFLINTOWN, PA 17059-0142  
 TOLL FREE: 1-800-598-4018  
 PHONE: (717) 436-2106  
 FAX: (717) 436-9839  
 www.dumor.com

**CONSTRUCTION DETAILS -5**  
 FOR  
 REDEVELOPMENT AT BRANCH AVENUE  
 AP 74 LOTS 100, 363, 380 & 389  
 SITUATED ON  
 66 & 76 BRANCH AVENUE  
 178 PRINERY STREET  
 27 DRYDEN LANE  
 RHODE ISLAND  
 PREPARED FOR  
**CGRI PROVIDENCE BRANCH, LLC**

FEB 18 2020

NO.	REVISION	BY	DATE



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 CIVIL & STRUCTURAL ENGINEERS/SURVEYORS  
 LAND PLANNERS/ENVIRONMENTAL SCIENTISTS

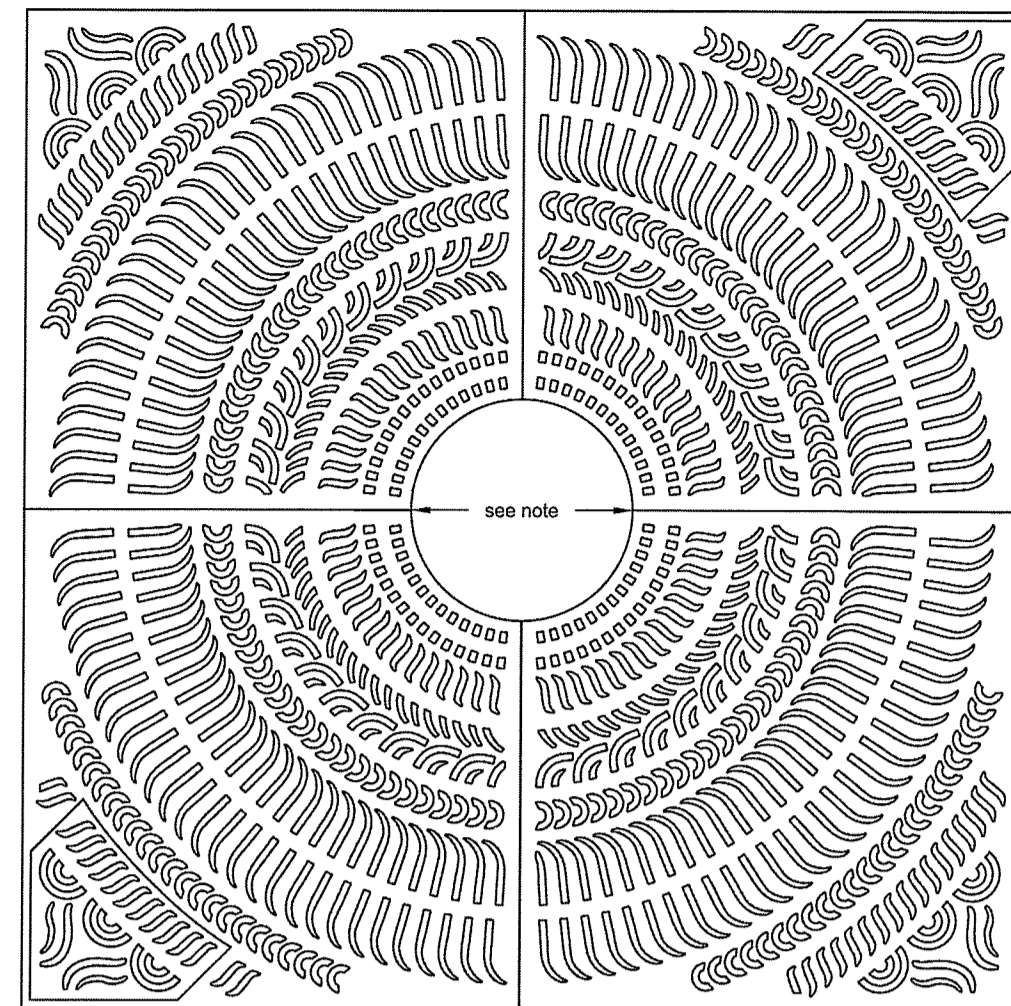
85 CORLISS STREET  
 P.O. BOX 6145  
 PROVIDENCE, RI 02940  
 TEL. 401-273-6000

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JOB NO. 7157.00	DRAWN BY RAS
DWG. NO. 7157-Details.dwg	CHECK BY S.S.H.
SCALE: AS SHOWN	APPROVED S.S.H.
	DATE: OCTOBER 21, 2019

SHEET  
**C-11**  
 12 OF 14 SHEETS

LV157-00 Proposed Retail Store (Complanets) - Branch Avenue - Providence, Riving 01-Current\Y157-00-Details.dwg 02/17/2020 reviewers 15:13



**7214-2 CONQUISTADOR TREE GRATE**

72" x 72" tree grate in four sections, two lightwells with bolted cover as shown.  
1/2" Maximum slot opening for pedestrian safety and A.D.A. compliance.

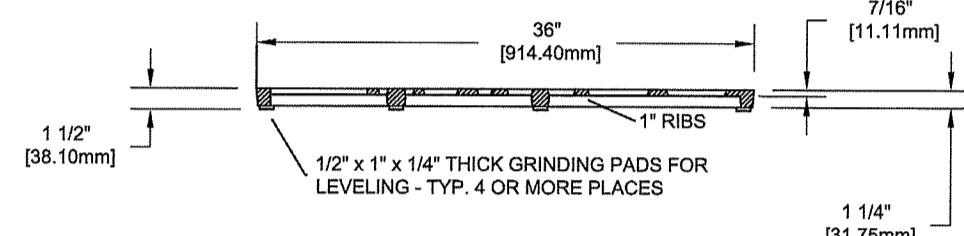
Cast from 100% recycled Iron, Aluminum, or Bronze for pedestrian loads only.

Tree opening: 16", 20", 30", 40"  
Grates can be ordered with or later expanded to these openings, please specify when ordering.

Finish: unfinished or Black dip or Enamel paint or Polyurethane Paint or Powder coat  
Specify finish and color

Use frame model: 7200F-CS

Weight: Iron= 698 lb/ 318 Kg  
Aluminum=214 lb/98 Kg

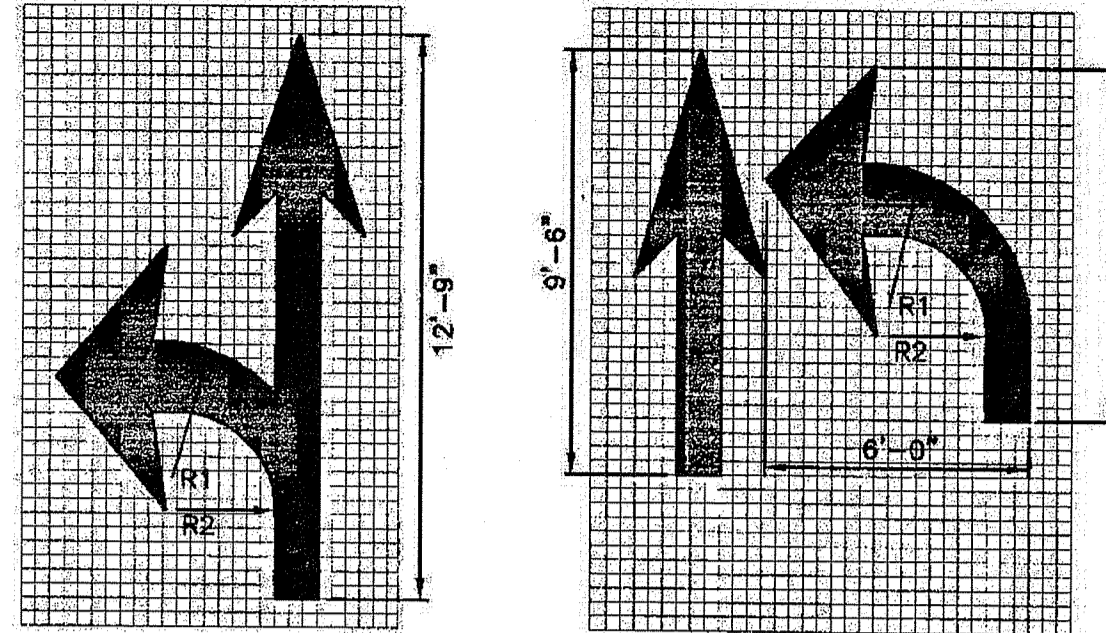


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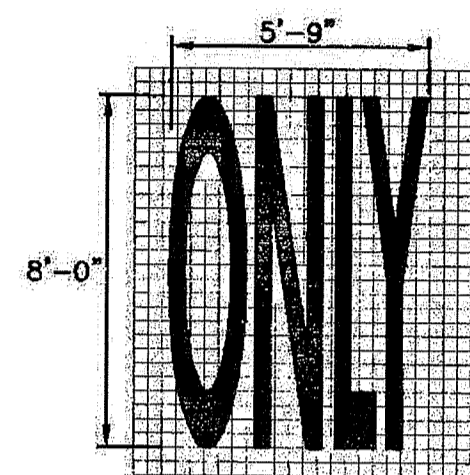
**IRONSMITH**  
41-701 Corporate Way #3  
Palm Desert, CA 92260  
800.338.4766

NOTE: DETAILS INDICATED ARE FOR TYPICAL TREE GRATE (IRONSMITH, US FOUNDRY, OR APPROVED EQUAL).

**TREE GRATE DETAIL**  
N.T.S.



R1 = 3'-2"  
R2 = 2'-2"



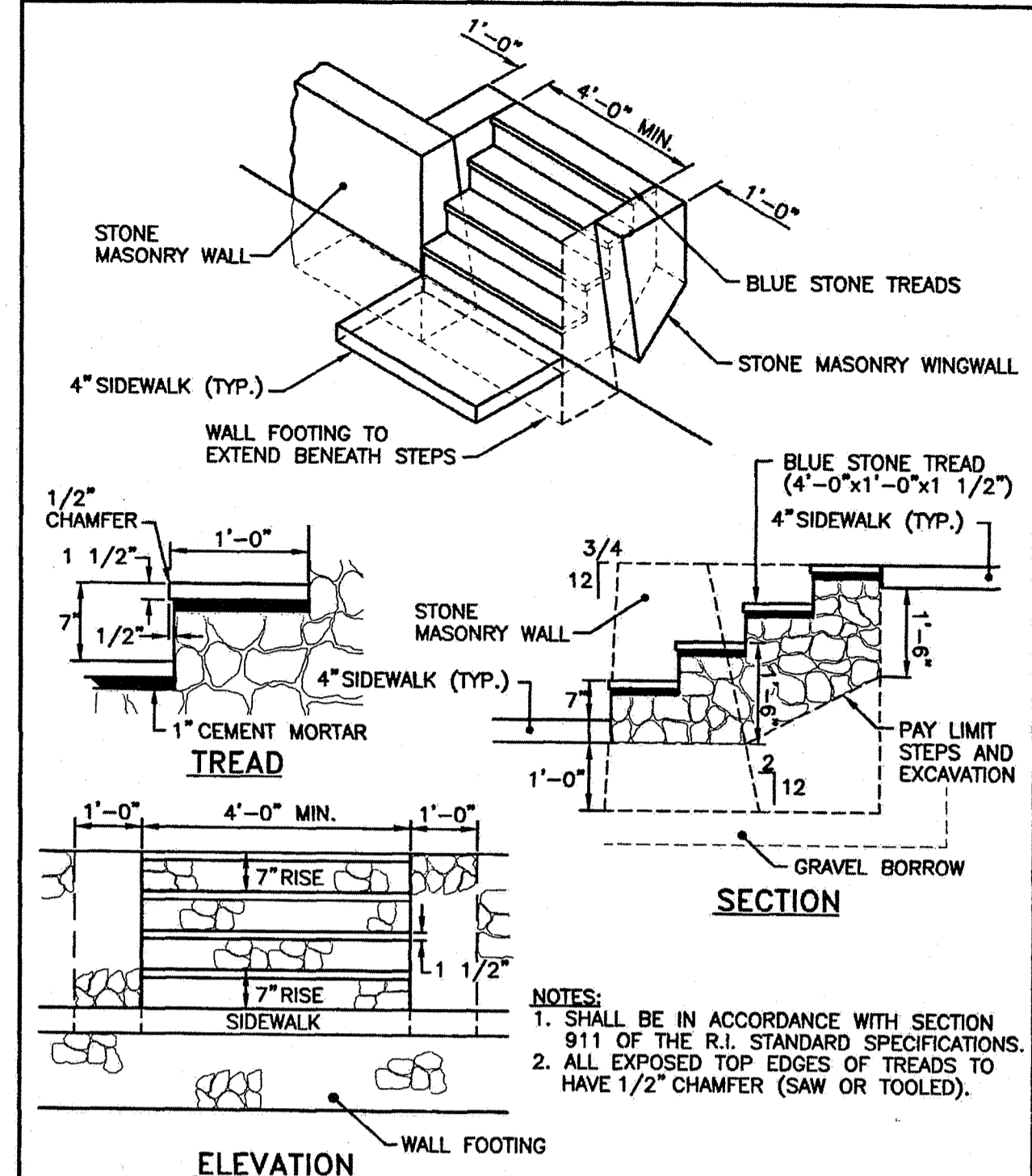
- NOTES:  
1. SHALL BE IN ACCORDANCE WITH SECTION T.20 OF THE R.I. STANDARD SPECIFICATIONS.  
2. THE LONGITUDINAL SPACE BETWEEN WORD OR SYMBOL MESSAGES, INCLUDING ARROWS, SHOULD BE AT LEAST FOUR TIMES THE HEIGHT OF THE CHARACTER FOR LOW SPEED ROADS BUT NOT MORE THAN TEN TIMES THE HEIGHT OF THE CHARACTER UNDER ANY CONDITIONS.  
3. THE SPACING OF THE PAVEMENT MARKINGS WILL BE AS SHOWN ON THE PLAN AND AS PER THE MUTCD.  
4. SYMBOLS AND WORDS SHALL MEET THE REQUIREMENTS OF THE FHWA "STANDARD ALPHABET AND SYMBOLS FOR HIGHWAY PAVEMENT MARKINGS."

RHODE ISLAND DEPARTMENT OF TRANSPORTATION

**PAVEMENT MARKINGS**

REVISIONS:  
NO. BY DATE

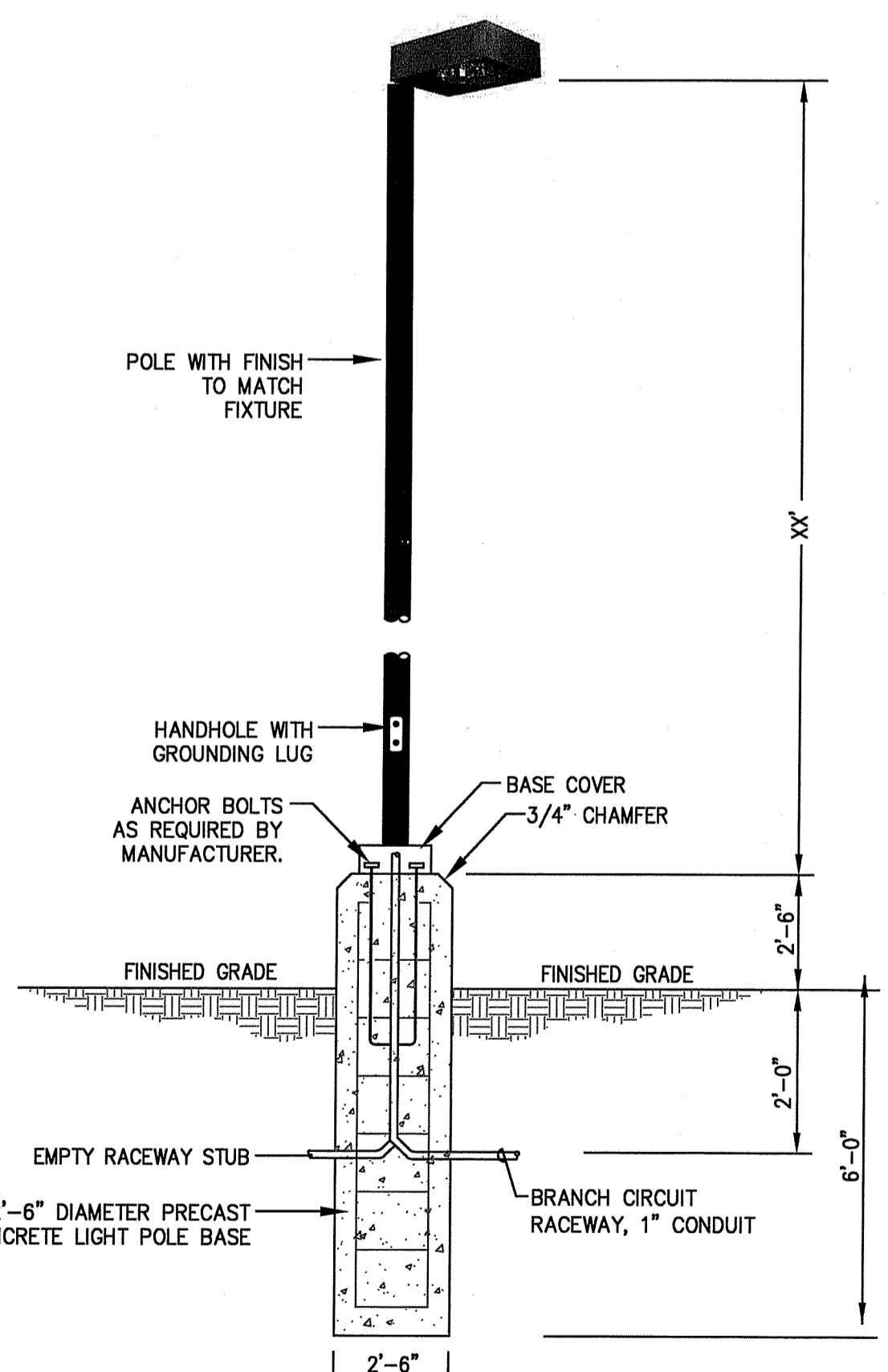
JUNE 15, 1998  
R.I. STANDARD 20.1.0



- NOTES:  
1. SHALL BE IN ACCORDANCE WITH SECTION 911 OF THE R.I. STANDARD SPECIFICATIONS.  
2. ALL EXPOSED TOP EDGES OF TREADS TO HAVE 1/2" CHAMFER (SAW OR TOOLED).

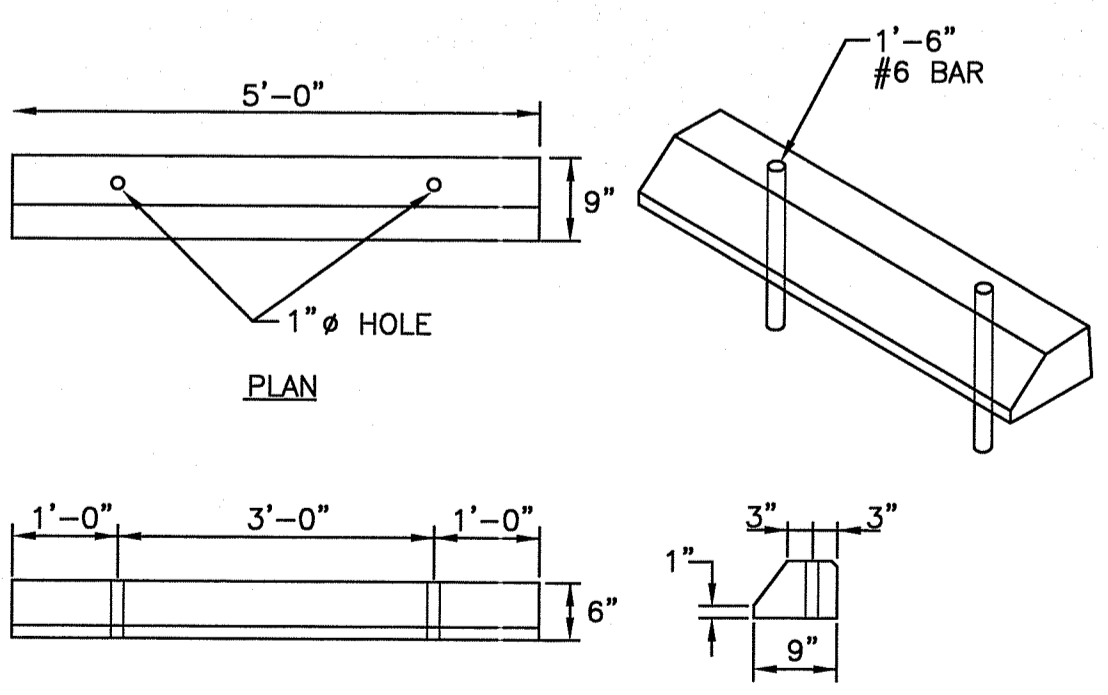
**STONE MASONRY STEPS**

RHODE ISLAND DEPARTMENT OF TRANSPORTATION  
REVISIONS:  
NO. BY DATE  
JUNE 15, 1998  
R.I. STANDARD 10.4.0



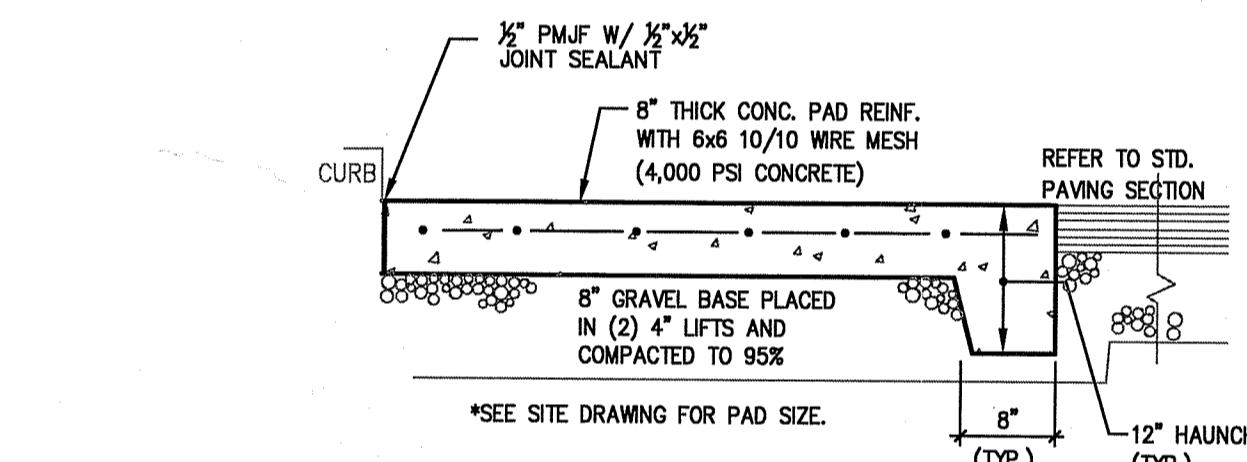
- NOTES:  
-FOUNDATION DESIGN IS BASED ON COMPETENT GRANULAR SOIL CONDITIONS. A SPECIAL DESIGN IS REQUIRED IF FIELD CONDITIONS VARY FROM THIS.

**SITE LIGHTING POLE BASE DETAIL**  
N.T.S.



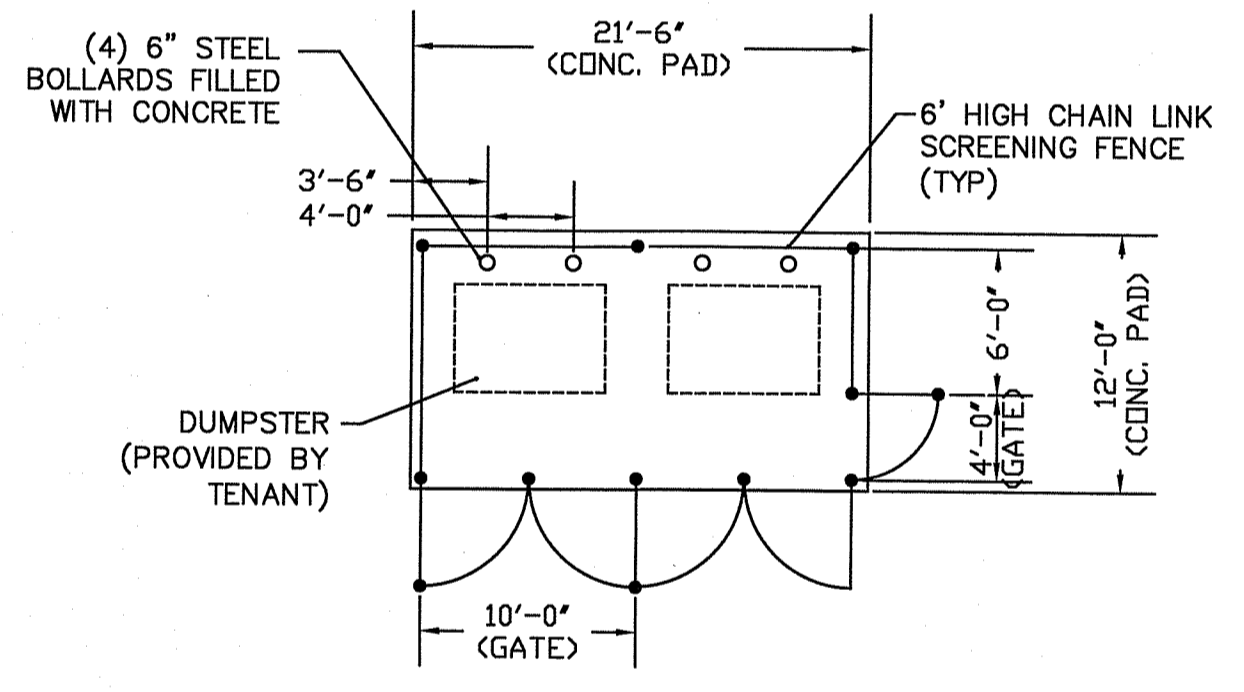
- NOTES:  
1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF THE R.I. STANDARD SPECIFICATIONS.  
2. ALL EXPOSED EDGES TO HAVE A 3/4" CHAMFER.  
3. ALL SURFACES TO HAVE A SPONGE FLOAT FINISH.

**PRECAST CONCRETE CAR STOP**  
N.T.S.



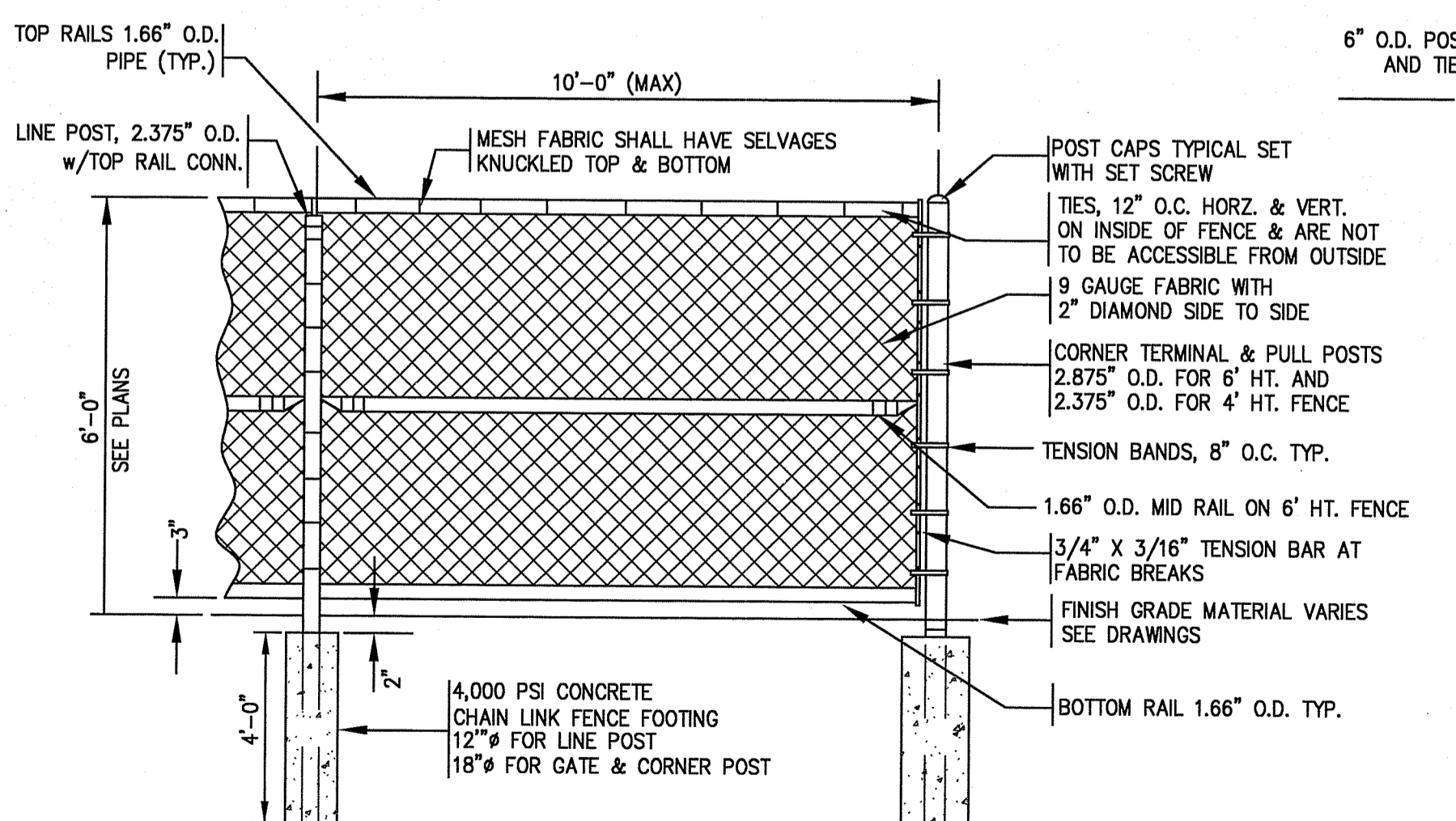
- NOTES:  
1. CONCRETE WALKS SHALL BE 4" MINIMUM THICKNESS, CONCRETE PADS AND ENTRANCES SHALL BE 6" MINIMUM THICKNESS REINFORCED CONCRETE.  
2. CONCRETE WALKS AND PADS SHALL BE INSTALLED WITH CONTRACTION JOINTS AGAINST ALL STRUCTURAL FEATURES AND/OR AT 24' CENTERS. TOOLED JOINTS SHALL BE INSTALLED AT 6' MAXIMUM SPACING EACH WAY.

**DUMPSTER PADS**  
N.T.S.



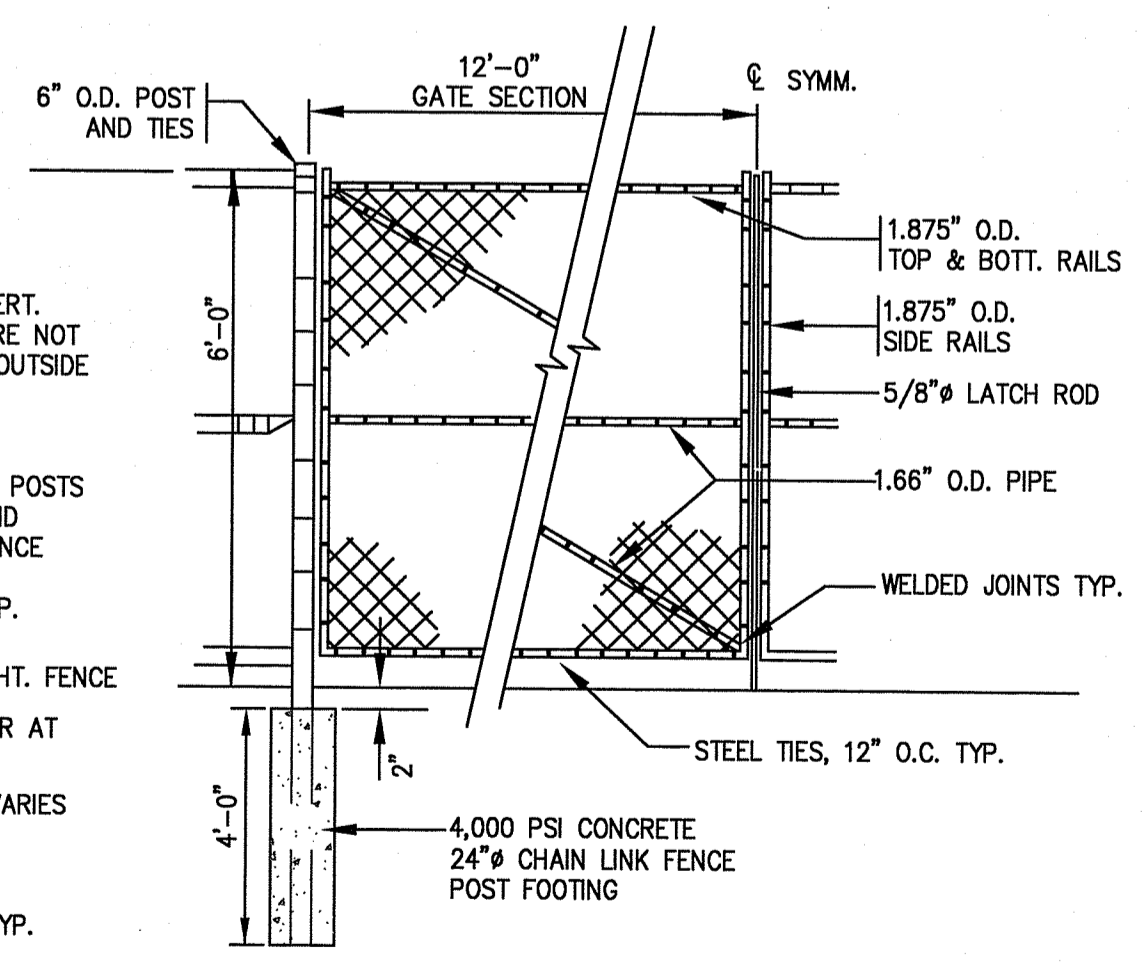
1. SEE CONCRETE PAD DETAIL FOR ADDITIONAL CONSTRUCTION REQUIREMENTS.  
2. MANWAY GATE TO BE INSTALLED AT DIRECTION OF OWNER ONLY.

**DUMPSTER ENCLOSURE**  
NOT TO SCALE



- NOTES:  
\* ALL FABRIC AND HARDWARE SHALL BE GALVANIZED FINISH OVERHEAD SLIDE GATE AND ASSEMBLY BY OTHERS

**CHAIN LINK FENCE & GATE DETAIL**  
N.T.S.



- NOTES:  
1. (2) "NO PARKING" SIGNS SHALL BE BOLTED TO EACH GATE AT 5' HEIGHT (FRONT AND BACK).  
2. KNOX BOX INSTALLATION TO BE COORDINATED WITH FIRE MARSHAL

**VEHICLE GATE DETAIL**  
N.T.S.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
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DATED APR 23 2020 FILE # 19-0298  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL

**CONSTRUCTION DETAILS -6**  
FOR  
REDEVELOPMENT AT BRANCH AVENUE  
AP 74 LOTS 100, 363, 380 & 389  
SITUATED ON  
66 & 76 BRANCH AVENUE  
178 PRINTRY STREET  
27 DRYDEN LANE  
RHODE ISLAND  
PREPARED FOR  
CGRI PROVIDENCE BRANCH, LLC

NO.	REVISION	BY	DATE

**GAROFALO**  
GAROFALO & ASSOCIATES, INC.  
CIVIL & STRUCTURAL ENGINEERS/SURVEYORS  
LAND PLANNERS/ENVIRONMENTAL SCIENTISTS

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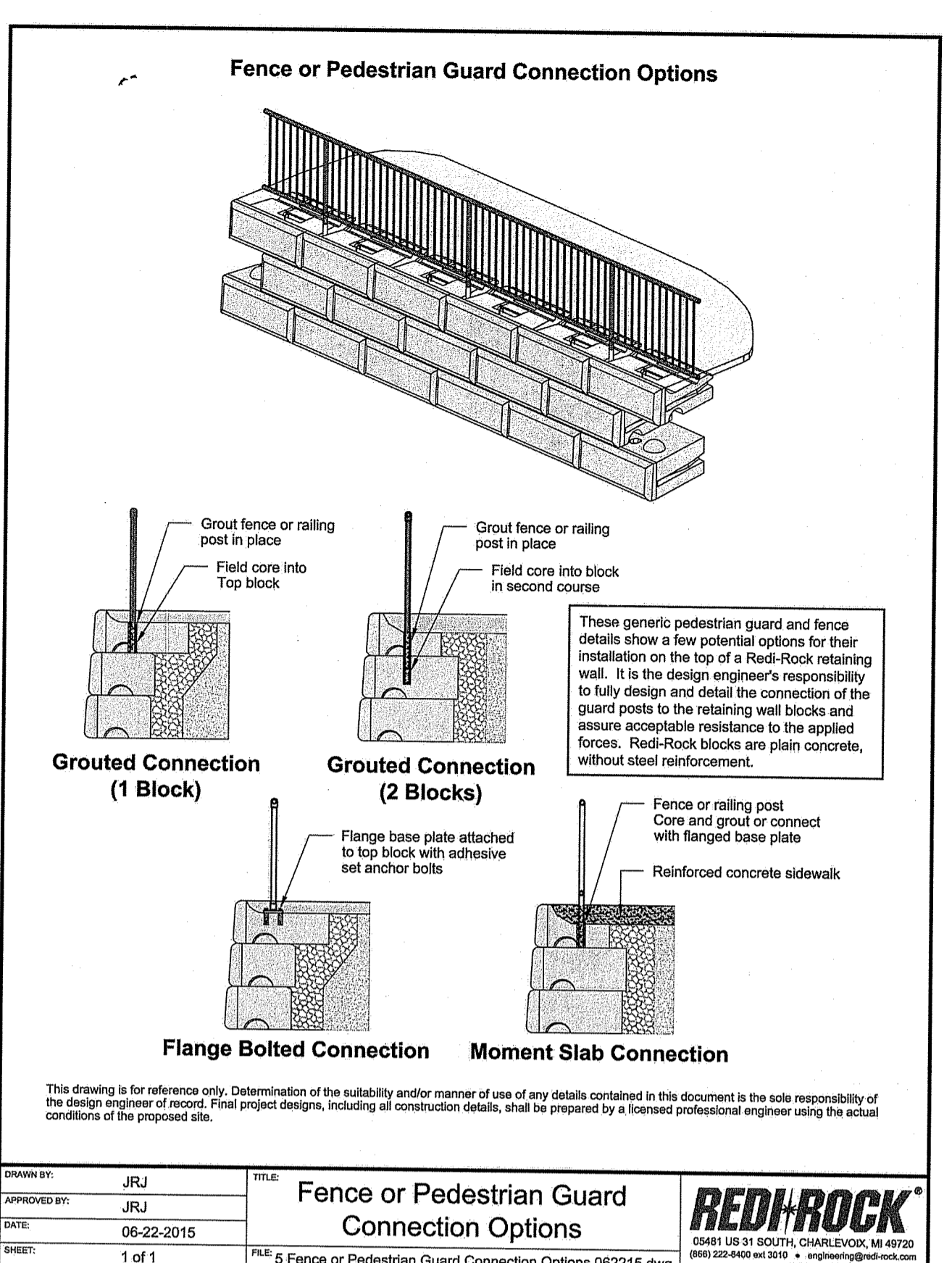
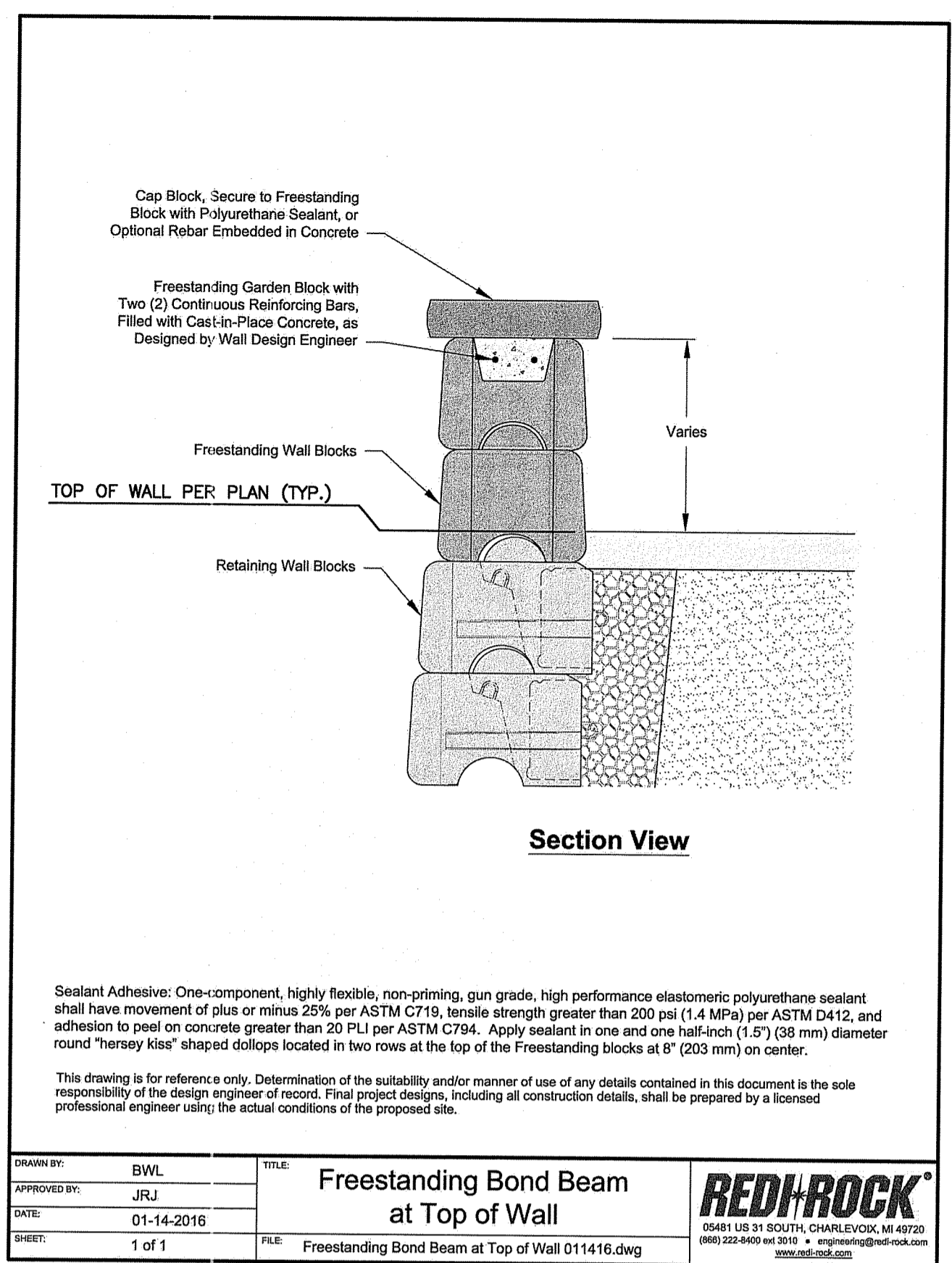
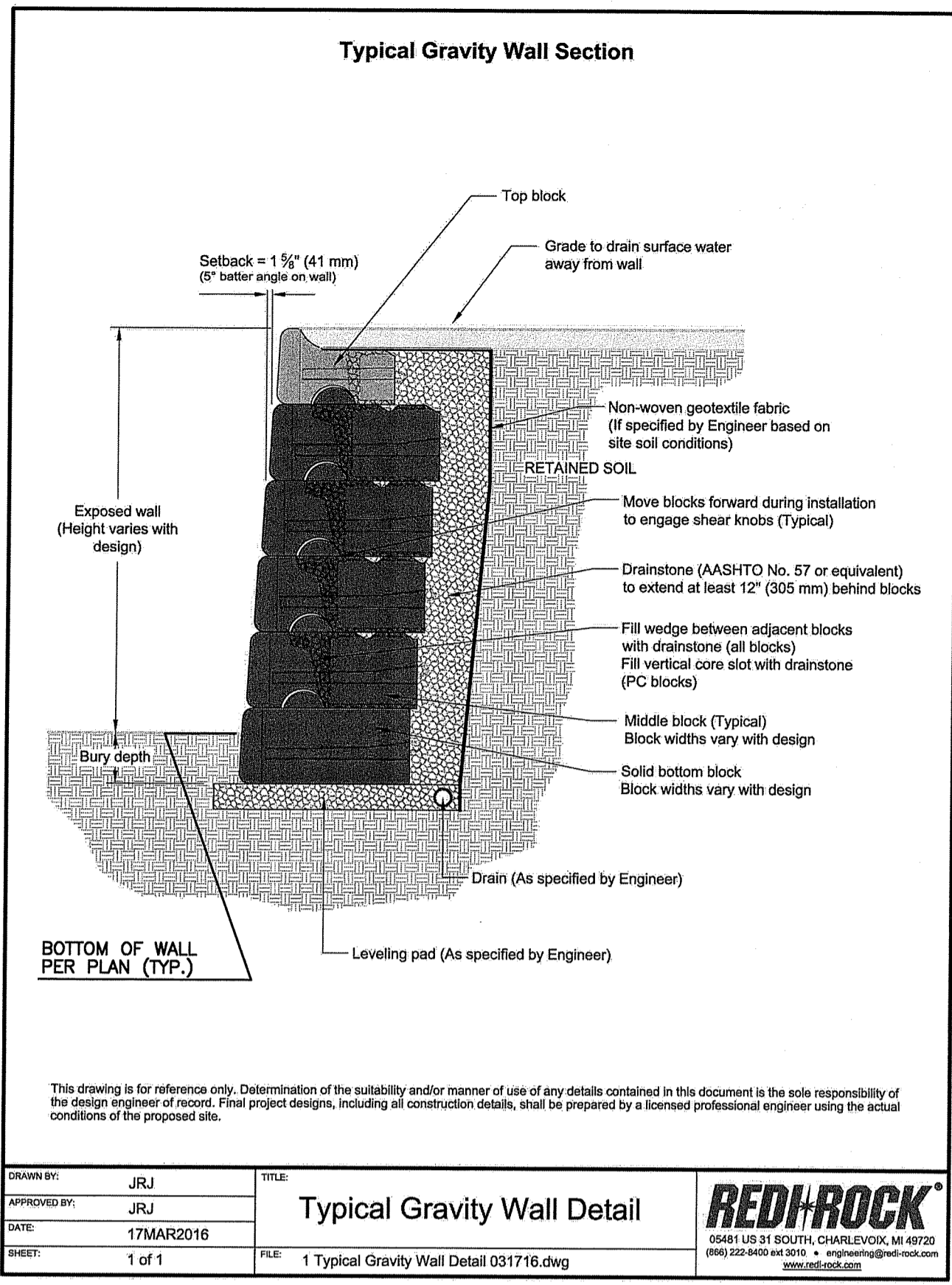
85 CORLISS STREET  
P.O. BOX 6145  
PROVIDENCE, RI 02940  
TEL. 401-273-6000

JOB NO. 7157.00	DRAWN BY RAS
DWG. NO. 7157-Details.dwg	CHECK BY S.S.H.
SCALE: AS SHOWN	APPROVED S.S.H.
	DATE: OCTOBER 21, 2019

SHEET  
**C-12**  
13 OF 14 SHEETS

LV:7157-00 Proposed Retail Store (Competition) - Branch Avenue - Providence, RI\dwg\01-Curren\7157-00-Details.dwg 02/17/2020 rsteven 15:13

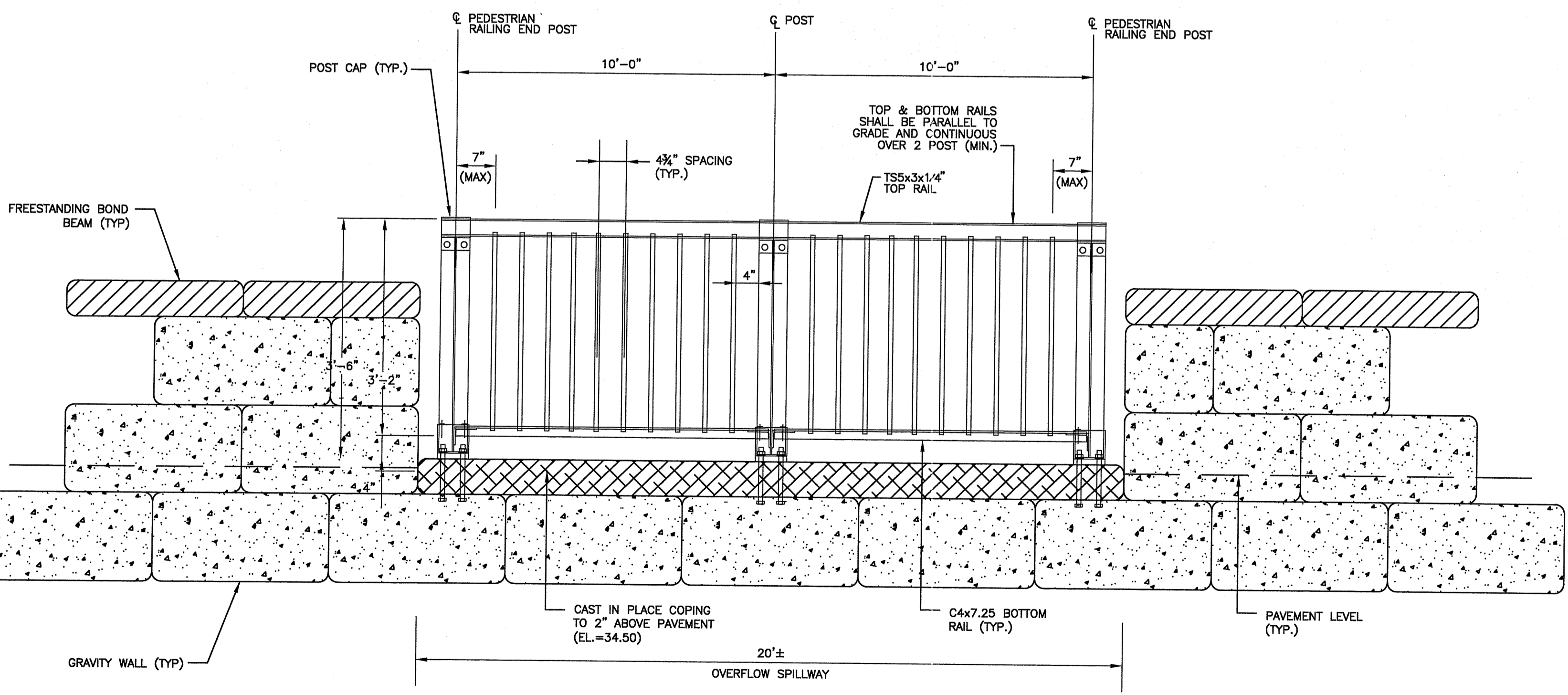
L:\17157-00 Proposed Retail Store (Corplanato) - Providence, RI\dwg\01-Current\17157-00-Details.dwg 02/17/2020 mtwrens 15:13



Environmental Management  
FER 18 2020  
Office of Water Resources

**CONSTRUCTION DETAILS -7**  
FOR  
REDEVELOPMENT AT BRANCH AVENUE  
AP 74 LOTS 100, 363, 380 & 389  
SITUATED ON  
66 & 76 BRANCH AVENUE  
178 PRINTRY STREET  
27 DRYDEN LANE  
RHODE ISLAND  
PREPARED FOR  
**CGRI PROVIDENCE BRANCH, LLC**

NO.	REVISION	BY	DATE



*Caroline D. Schmalz*  
DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS  
AS SPECIFIED IN THE LETTER OF APPROVAL  
DATED APR 23 2020 FILE # 19-0298  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

JOB NO. 7157.00	DRAWN BY RAS
DWG. NO. 7157-Details.dwg	CHECK BY S.S.H.
SCALE: AS SHOWN	APPROVED S.S.H.
	DATE: OCTOBER 21, 2019

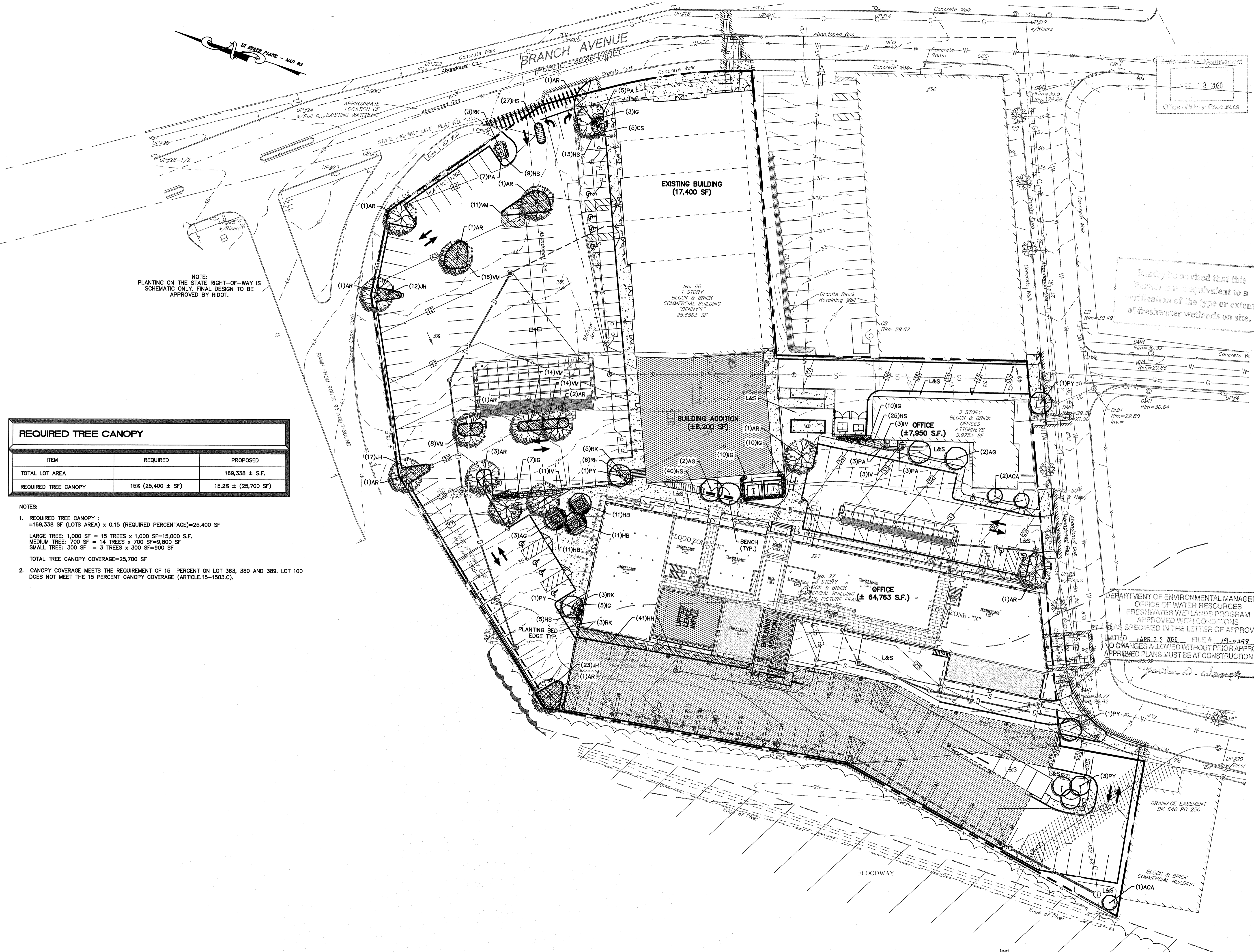
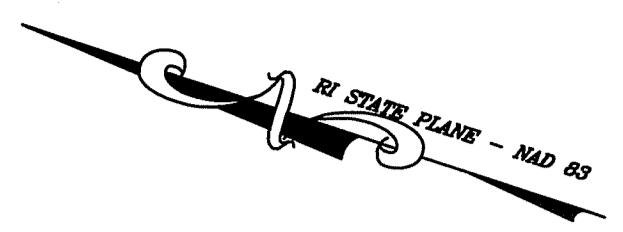
SHEET  
**C-13**

**GAROFALO**  
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LAND PLANNERS/ENVIRONMENTAL SCIENTISTS

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P.O. BOX 6145  
PROVIDENCE, R.I. 02940  
TEL. 401-273-8000

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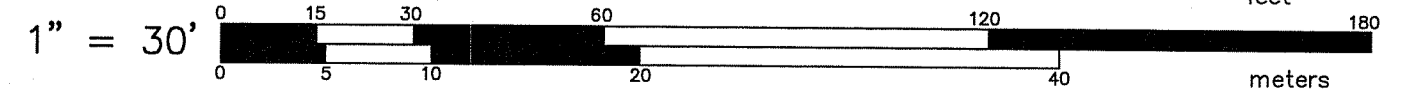
L:\7157-00 Proposed Retail Store (Corplanato) - Branch Avenue - Providence, RI.dwg 01 - Current\7157-00-Land.dwg 02/17/2020 15:10



NOTE:  
PLANTING ON THE STATE RIGHT-OF-WAY IS SCHEMATIC ONLY. FINAL DESIGN TO BE APPROVED BY RIDOT.

REQUIRED TREE CANOPY		
ITEM	REQUIRED	PROPOSED
TOTAL LOT AREA		169,338 ± S.F.
REQUIRED TREE CANOPY	15% (25,400 ± SF)	15.2% ± (25,700 SF)

- NOTES:
- REQUIRED TREE CANOPY :  
=169,338 SF (LOTS AREA) x 0.15 (REQUIRED PERCENTAGE)=25,400 SF  
LARGE TREE: 1,000 SF = 15 TREES x 1,000 SF=15,000 S.F.  
MEDIUM TREE: 700 SF = 14 TREES x 700 SF=9,800 SF  
SMALL TREE: 300 SF = 3 TREES x 300 SF=900 SF  
TOTAL TREE CANOPY COVERAGE=25,700 SF
  - CANOPY COVERAGE MEETS THE REQUIREMENT OF 15 PERCENT ON LOT 363, 380 AND 389. LOT 100 DOES NOT MEET THE 15 PERCENT CANOPY COVERAGE (ARTICLE.15-1503.C).



FEB 18 2020  
Office of Water Resources

Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS  
AS SPECIFIED IN THE LETTER OF APPROVAL  
DATED APR 23 2020 FILE # 19-0258  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

LANDSCAPE PLAN  
FOR  
REDEVELOPMENT AT BRANCH AVENUE  
AP 74 LOTS 100, 363, 380 & 389  
SITUATED ON  
66 & 76 BRANCH AVENUE  
178 PRINTRY STREET  
27 DRYDEN LANE  
RHODE ISLAND  
PREPARED FOR  
CGRI PROVIDENCE BRANCH, LLC

NO.	REVISION	BY	DATE

**GAROFALO**  
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P.O. BOX 6145  
PROVIDENCE, R.I. 02940  
TEL. 401-273-6000

JOB NO. 7157.00	DRAWN BY K.Y.Y.
DWG. NO. 7157-00-Land.dwg	CHECK BY S.S.H.
SCALE: AS SHOWN	APPROVED S.S.H.
	DATE: OCTOBER 17, 2019

SHEET  
**L-1**  
1 OF 2 SHEETS

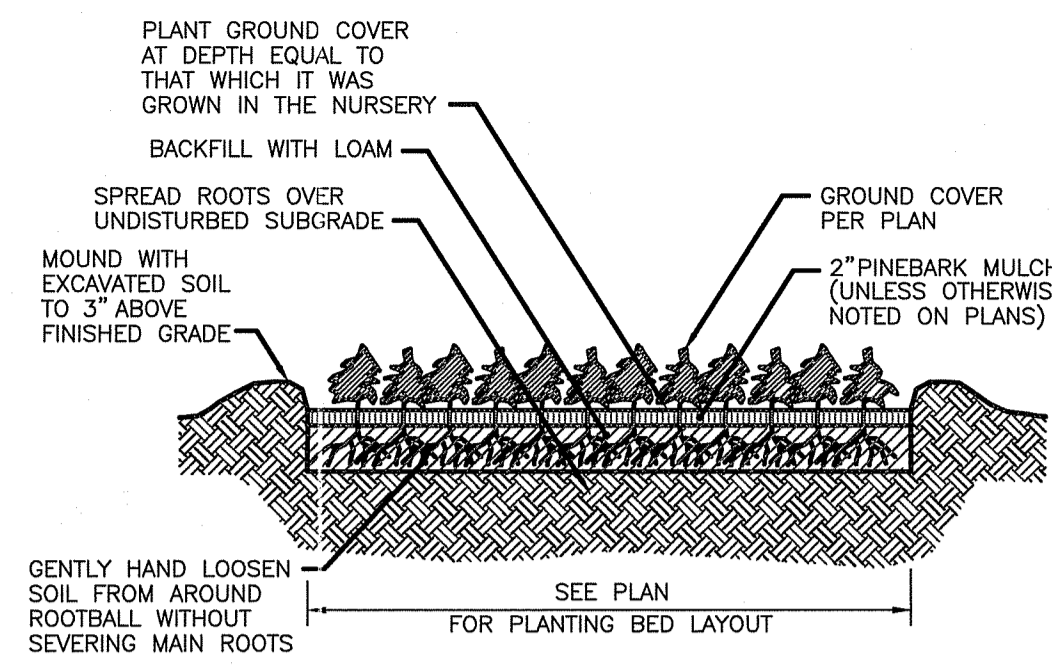
**GENERAL LANDSCAPE NOTES:**

- THE CONTRACTOR SHALL INSTALL ALL PLANT MATERIAL IN CONFORMANCE WITH THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.
- ALL PLANT MATERIAL SHALL MEET THE AMERICAN OF NURSERYMEN STANDARDS FOR NURSERY STOCK, LATEST EDITION, AND ITS AMENDMENTS. PLANT ONLY DURING SEASONS NORMAL TO THE PARTICULAR VARIETY. NO SUBSTITUTIONS SHALL BE ACCEPTED WITHOUT PRIOR APPROVAL BY THE LANDSCAPE ARCHITECT.
- ALL PLANT MATERIAL FURNISHED BY THE CONTRACTOR SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR. IF THE FIRST YEAR ENDS DURING THE DORMANT PERIOD, THE GUARANTEE SHALL EXTEND TO THE START OF THE NEXT LEAFING. DURING THE ONE-YEAR GUARANTEE PERIOD THE CONTRACTOR SHALL EMPLOY ACCEPTED HORTICULTURAL PRACTICES TO KEEP THE PLANTS INSTALLED IN LIVING, HEALTHY CONDITION. FOLLOWING THE ONE-YEAR GUARANTEE PERIOD THE OWNER/OWNERS SHALL INSPECT ALL PLANT MATERIAL FOR HEALTHY ORNAMENTAL QUALITY. AT THAT TIME SHOULD ANY PLANT MATERIAL BE FOUND IN INADEQUATE HEALTH THE CONTRACTOR SHALL BE RESPONSIBLE TO REPLACE THE PLANT IN KIND AND PROVIDE A ONE-YEAR GUARANTEE FOR THE REPLACEMENT PLANT.
- INSTALL ALL PLANT MATERIAL AS SHOWN IN DETAILS.
- STAKE ALL TREES OVER 5' AS SHOWN ON DETAILS. REMOVE STAKES AT THE END OF THE GUARANTEE PERIOD.
- THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE SITE CLEAN OF MISCELLANEOUS DEBRIS THROUGHOUT THE CONSTRUCTION PERIOD. ALL WASTE MATERIAL IS TO BE DISPOSED OF IMMEDIATELY TO AN OFFSET LOCATION, UNLESS OTHERWISE INDICATED ON THE PLANS.
- THE CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS, AND SHALL OBTAIN ALL NECESSARY PERMITS FOR THE PROJECT.
- LAYOUT: ALL NOTES AND DIMENSIONS ARE TYPICAL UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE SQUARE (PARALLEL OR PERPENDICULAR) UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL NOTIFY THE OWNER/OWNER'S REPRESENTATIVE IMMEDIATELY IN THE EVENT OF ANY DISCREPANCIES FOUND IN THE CONTRACT DOCUMENTS AND/OR IN THE FIELD, OR ON CONDITIONS UNCOVERED IN THE WORK WHICH ARE NOT REFLECTED IN THE PLANS.
- PROTECTION OF EXISTING PLANTINGS: MAXIMUM EFFORT SHOULD BE MADE TO SAVE TREES OF OTHER PLANT SPECIMENS WHICH ARE LARGE FOR THEIR SPECIES, RARE TO THE AREA, OR OF SPECIAL HORTICULTURAL OR LANDSCAPE VALUE. CONTACT OWNER/LANDSCAPE ARCHITECT BEFORE REMOVING ANY SPECIMEN OF THIS TYPE UNLESS OTHERWISE NOTED ON THE PLANS. NO MATERIAL OR TEMPORARY SOIL DEPOSITS SHALL BE PLACED WITHIN THE DRIP LINE OF SHRUBS OR TREES DESIGNATED ON THE LANDSCAPE PLAN TO BE RETAINED. PROTECTIVE BARRIERS ARE TO BE INSTALLED AROUND EACH PLANT AND/OR GROUP OF PLANTS THAT ARE TO REMAIN ON THE SITE. BARRIERS SHALL NOT BE SUPPORTED BY THE PLANTS THEY ARE PROTECTING, BUT SHALL BE SELF SUPPORTING. THEY SHALL BE OF MINIMUM OF FOUR FEET (4') HIGH AND CONSTRUCTED OF A DURABLE MATERIAL, SUCH AS SNOW OR SILT FENCE, THAT WILL LAST UNTIL CONSTRUCTION IS COMPLETED.
- PRUNING: THE CONTRACTOR SHALL CAREFULLY PRUNE BRANCHES IN THE WAY OF CONSTRUCTION BY USING ONLY APPROVED METHODS AND TOOLS. THE USE OF AXES FOR TRIMMING OR SPURS FOR CLIMBING WILL NOT BE PERMITTED.
- UTILITIES: THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY AND ALL UTILITY DAMAGE INCLUDING DAMAGE THAT MAY OCCUR TO NEW UTILITIES. THE CONTRACTOR IS REQUIRED TO CONTACT DIG-SAFE PRIOR TO COMMENCING ANY SITE CONSTRUCTION. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- DISTURBED AREAS: ALL AREAS DISTURBED DURING THE COURSE OF CONSTRUCTION ARE TO BE RESTORED TO ORIGINAL (OR BETTER) CONDITION BY THE CONTRACTOR BEFORE COMPLETION OF THE PROJECT, AND ARE SUBJECT TO APPROVAL BY THE LANDSCAPE ARCHITECT AND OWNER. ALL GRASS AREAS DISTURBED DURING CONSTRUCTION SHALL BE FINE RAKED TO REMOVE STONES AND LOAMED AND SEEDED AS PER SPECIFICATIONS.
- DRAINAGE SYSTEMS: CONTRACTOR IS RESPONSIBLE FOR GENERAL CLEAN-OUT OF ALL CATCH BASINS, MANHOLES, AND/OR OTHER DRAINAGE FEATURES ON THE SITE WHICH HAVE ACCUMULATED SEDIMENT AS A RESULT OF CONSTRUCTION ACTIVITIES.

**LOAM AND SEEDING**

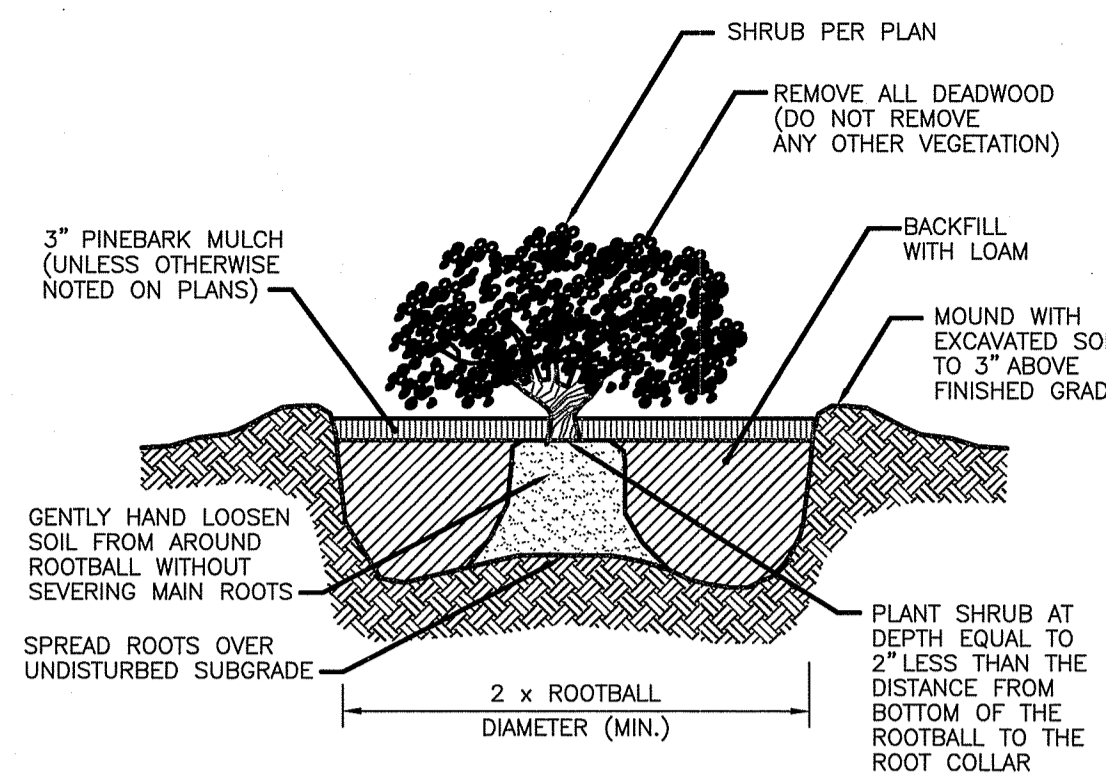
APPLICATION OF LOAM AND SEED SHALL BE IN ACCORDANCE WITH APPLICABLE SECTIONS OF THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.

- LOAM MATERIAL TO BE FURNISHED SHALL CONSIST OF SCREENED LOOSE, FRIABLE, FINE SANDY LOAM OR SANDY LOAM, AS DEFINED BY THE USDA'S SOIL CONSERVATION SERVICE IN THE SOIL SURVEY MANUAL ISSUED IN 1993, FREE OF SUBSOIL, REFUSE, STUMPS, ROOTS, ROCKS, COBBLES, STONES, BRUSH, NOXIOUS WEEDS, LITTER AND OTHER MATERIALS WHICH ARE LARGER THAN 1/2-INCH IN ANY DIMENSION AND WHICH WILL PREVENT THE FORMATION OF A SUITABLE SEED BED. ORGANIC MATTER SHALL CONSTITUTE NOT LESS THAN 5 PERCENT NOR MORE THAN 20 PERCENT OF THE LOAM AS DETERMINED BY LOSS-ON-IGNITION OF OVEN DRIED SAMPLES THAT HAVE BEEN DRAWN BY THE ENGINEER, UNLESS OTHERWISE SPECIFIED OR DIRECTED. THE LOAM SHALL HAVE AN ACIDITY RANGE OF 5.5 PH TO 7.6 PH.
- LOAM MOVED DURING THE COURSE OF CONSTRUCTION SHALL BE RETAINED AND DISTRIBUTED WITHIN THE SITE IN ACCORDANCE WITH THE LANDSCAPE PLAN. STOCKPILED LOAM SHALL NOT BE MIXED WITH ANY SUBSOIL OR UNSUITABLE MATERIAL. ALL EXISTING LOAM REMAINS THE PROPERTY OF THE OWNER.
- LOAM SHALL BE SPREAD TO A DEPTH OF 4" IN SEEDING AREAS AND PLACED TRUE TO LINES AND GRADES SHOWN ON THE PLANS.
- THE LOAMED SURFACE SHALL BE GRADED, AND ALL ROOTS, SODS, WEEDS, COBBLES OR STONES WITH ANY DIMENSION GREATER THAN 1 INCH SHALL BE REMOVED AND LEGALLY DISPOSED OF. AFTER SHAPING AND GRADING, ALL TRUCKS AND OTHER EQUIPMENT NOT REQUIRED TO PERFORM SEEDING, MULCHING OR MOWING OPERATIONS SHALL BE EXCLUDED FROM THE LOAMED AREAS.
- LIME (GROUND OR PELLETIZED) SHALL BE APPLIED DRY AND SPREAD EVENLY OVER THE ENTIRE SURFACE TO BE SEEDDED. UNLESS OTHERWISE SPECIFIED, THE APPLICATION RATE SHALL BE 1 TON PER ACRE. RAKING SHALL BE COMPLETED AFTER THE FERTILIZER HAS BEEN APPLIED.
- ALL SEED DELIVERED TO THE JOB SHALL BE IN CONTAINERS LABELED IN ACCORDANCE WITH PROVISIONS OF THE RHODE ISLAND SEED ACT OF 1956 (VOLUME 8, TITLE 2, CHAPTER 6) AND ITS AMENDMENTS AS PROVIDED FOR AGRICULTURAL SEED OFFERED FOR SALE. ONLY THE CURRENT YEARS SEED SHALL BE ACCEPTED.
- SEED SHALL BE APPLIED ONLY DURING THE FOLLOWING DATES:  
SPRING SEEDING: MARCH 15 TO MAY 31.  
FALL SEEDING: AUGUST 15 TO OCTOBER 15.
- THE CONTRACTOR SHALL WATER ALL SEEDED AREAS AND RESEED AS NECESSARY FOR A PERIOD OF 2-MONTHS OR UNTIL A HEALTH STAND OF GRASS IS ESTABLISHED AND APPROVAL HAS BEEN MADE BY THE OWNER/LANDSCAPE ARCHITECT.



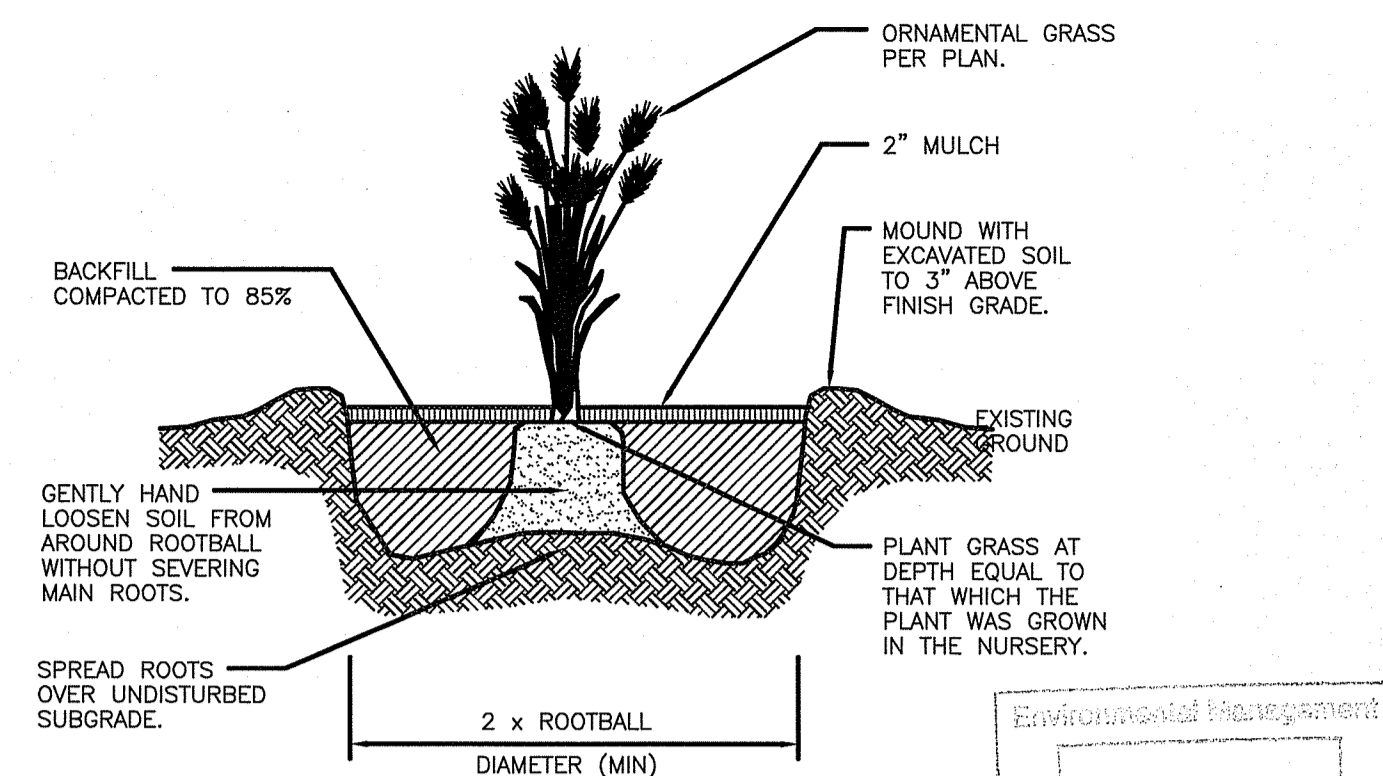
**Ground Cover Planting Detail**

NOT TO SCALE

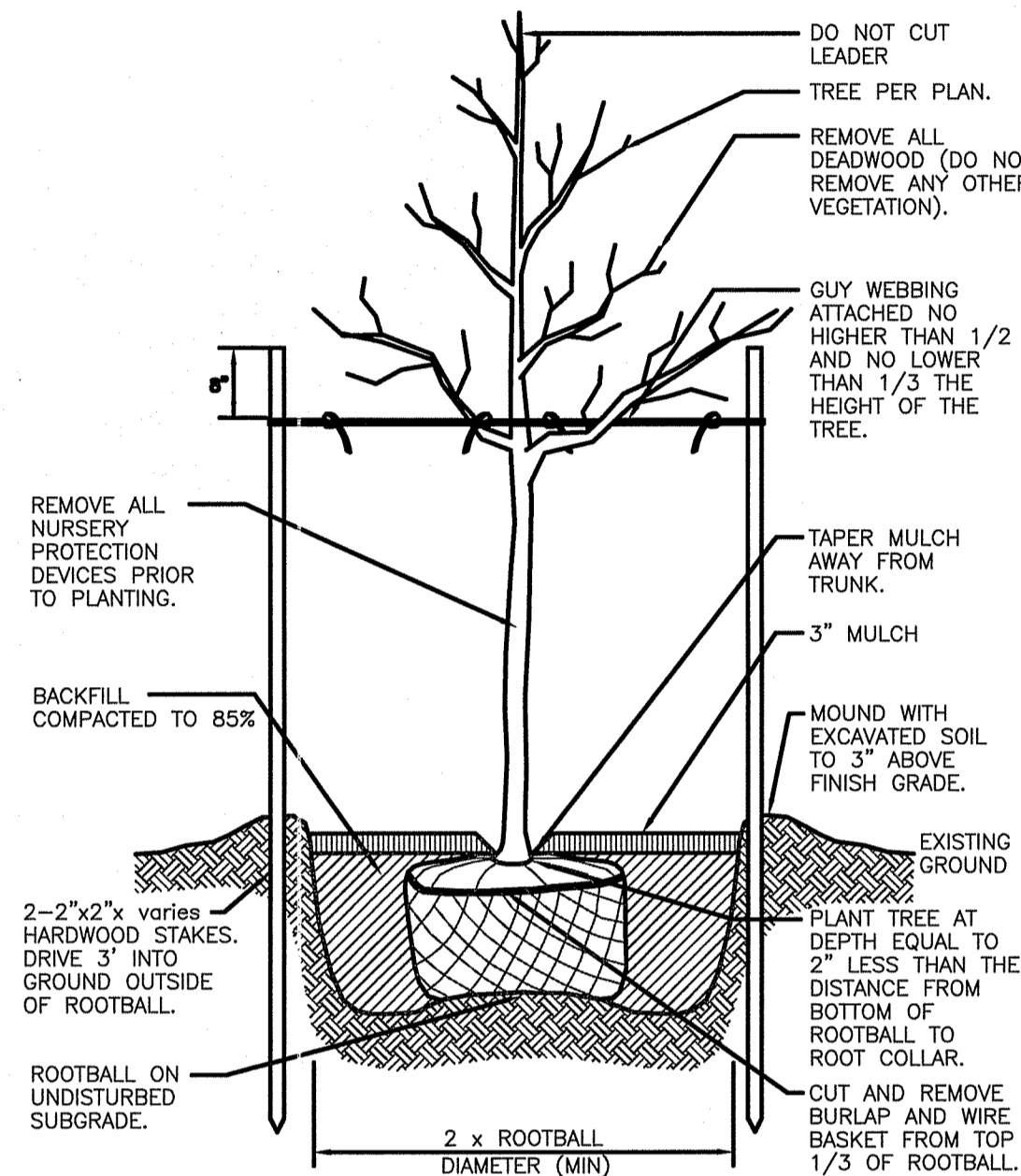


**Container Grown Shrub and Perennial Planting Detail**

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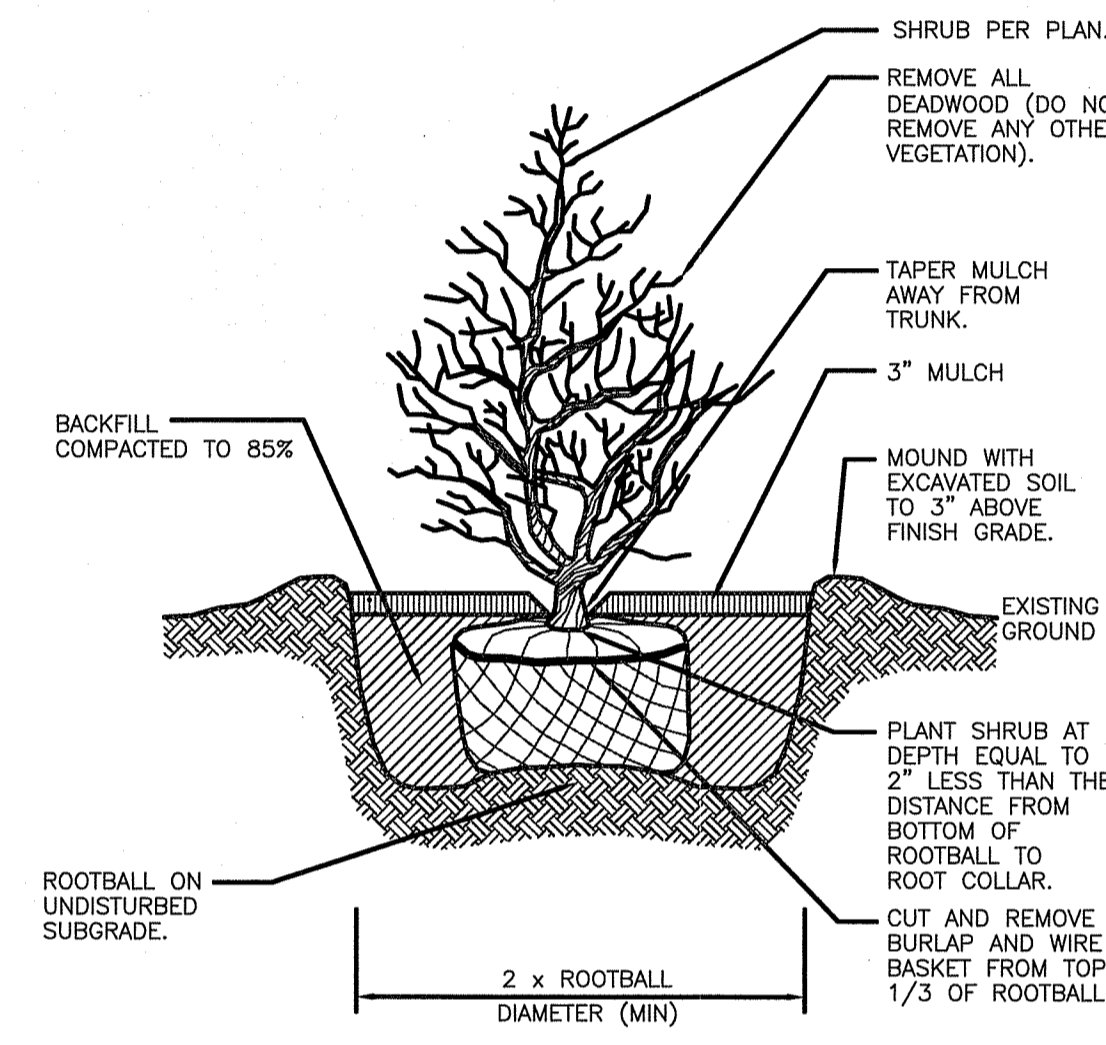


**Perennial Planting Detail**



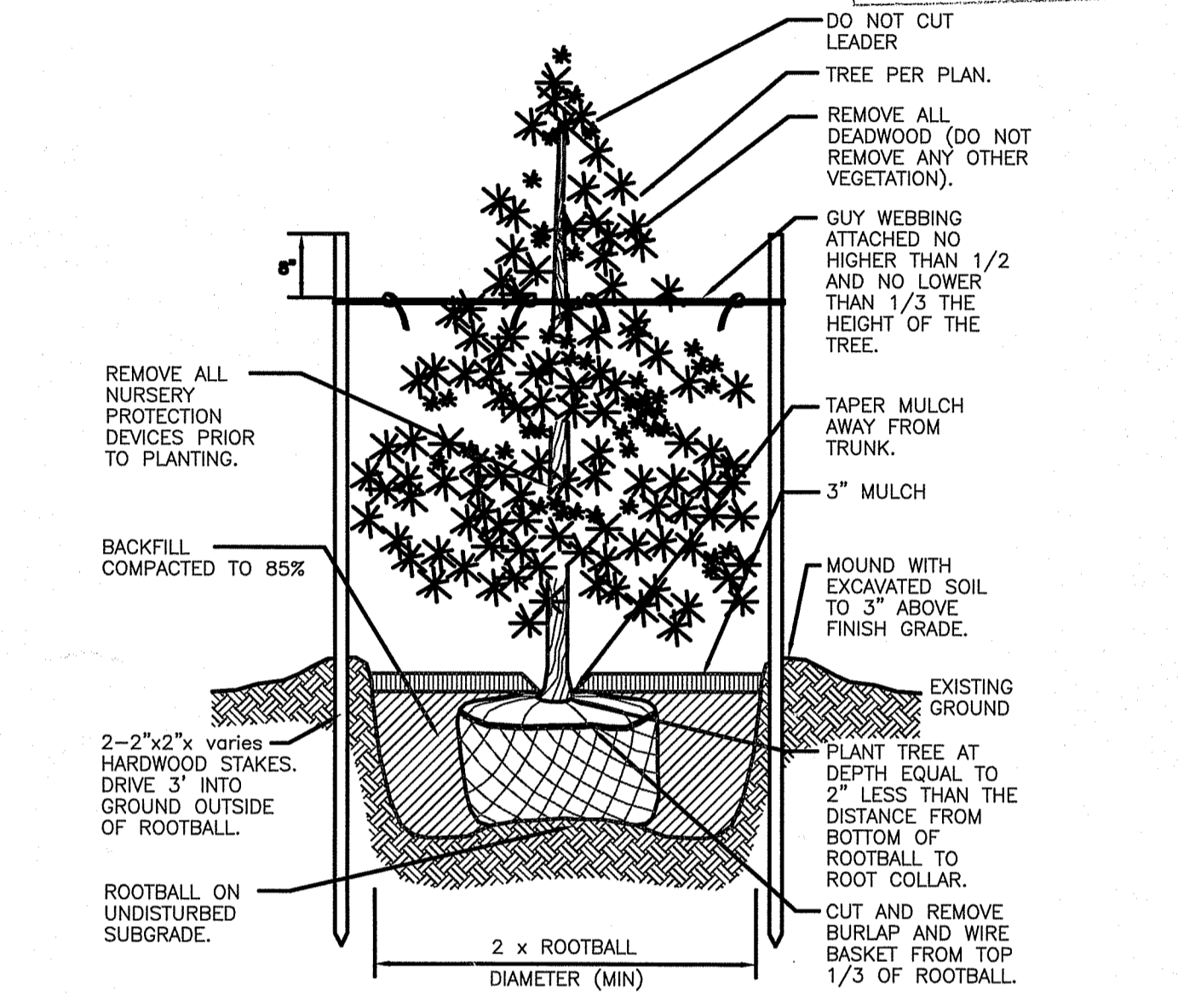
**Canopy Tree Planting Detail**

NOT TO SCALE



**B & B Shrub Planting Detail**

NOT TO SCALE



**Evergreen Tree Planting Detail**

NOT TO SCALE

**PLANT LIST:**

CANOPY TREES				
KEY	BOTANICAL NAME COMMON NAME	QTY.	SIZE	NOTE
AR	ACER RUBRUM 'FRANKSRED' RED SUNSET SWAMP MAPLE	15	2"-2.5" CAL	

FLOWERING TREES				
KEY	BOTANICAL NAME COMMON NAME	QTY.	SIZE	NOTE
ACA	AMELANCHIER 'CANADENSIS' SERVICEBERRY	3	7"-8" CLUMP	
AG	ACER GRISEUM PAPERBARK MAPLE	7	7"-8" CLUMP	
PY	PRUNUS YEDOENSIS YOSHINO CHERRY	7	7"-8" CLUMP	

EVERGREEN/DECIDUOUS SHRUBS				
KEY	BOTANICAL NAME COMMON NAME	QTY.	SIZE	NOTE
CS	CORNUS SERICEA 'KELSEY' KELSEY'S RED TWIG DOGWOOD	5	# 3 CONTAINER	
IG	ILEX GLABRA 'COMPACTA' COMPACT HICKBERRY	46	# 3 CONTAINER	
IV	ILEX VERTICILLATA 'RED SPRITE' RED SPRITE WINTERBERRY	17	# 3 CONTAINER	
RK	ROSA 'RADCON' 'KNOCK OUT PINK' PINK KNOCK OUT ROSE	14	# 5 CONTAINER	

PERENNIALS/GROUNDCOVERS/ VINES				
KEY	BOTANICAL NAME COMMON NAME	QTY.	SIZE	NOTE
HB	HEMEROCALLIS 'BELLA LUGOSI' BELLA LUGOSI DAYLILY	33	FLAT *	18" O.C.
HI	HEDERA HELIX ENGLISH IVY	41	FLAT *	4" O.C.
HS	HEMEROCALLIS 'STELLA DE ORO' STELLA DE ORO DAYLILY	119	FLAT *	18" O.C.
JH	JUNIPERUS HORIZ 'BAR HARBOR' BAR HARBOR CREEPING JUNIPER	72	FLAT *	36" O.C.
PA	PENNISETUM ALOPECUROIDES 'HAMEL' HAMEL FOUNTAIN GRASS	18	# 2 CONTAINER	
RH	RUDEBECKIA HIRTA BLACK EYED SUSAN	6	CONTAINER	
VM	VINCA MINOR BLACK EYED SUSAN	63	FLAT *	4" O.C.

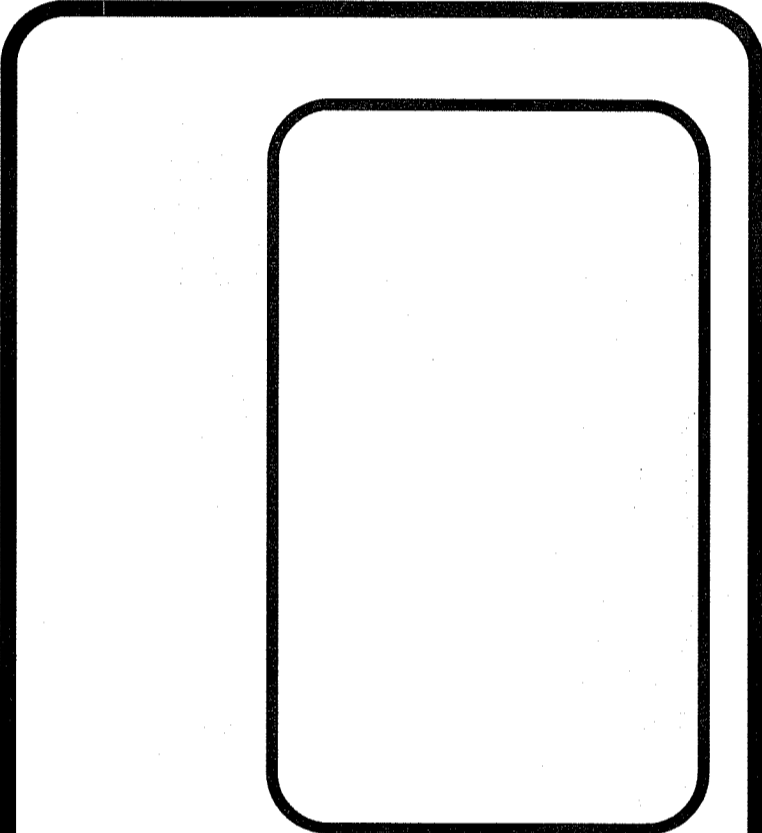
\* QUANTITY SHOWN IS FOR NUMBER OF INDIVIDUAL PLANT REQUIRED. CONTRACTOR SHALL USE FLATS WHEN AVAILABLE.

**GENERAL SEEDING MIX (L&S)**

	PERCENT BY WEIGHT	PERCENT BY VOLUME
CHEWINGS FESCUE IMPROVED VARIETIES	30	85
KENTUCKY BLUEGRASS IMPROVED VARIETIES	30	90
PERENNIAL RYEGRASS IMPROVED VARIETIES	40	90
APPLICATION RATE: 200 LBS / ACRE		

**LANDSCAPE CONSTRUCTION DETAIL**  
FOR  
**REDEVELOPMENT AT BRANCH AVENUE**  
AP 74 LOTS 100, 363, 380 & 389  
SITUATED ON  
66 & 76 BRANCH AVENUE  
178 PRINTERY STREET  
27 DRYDEN LANE  
RHODE ISLAND  
PREPARED FOR  
**CGRI PROVIDENCE BRANCH, LLC**

NO.	REVISION	BY	DATE



**GAROFALO**  
**GAROFALO & ASSOCIATES, INC.**  
CIVIL & STRUCTURAL ENGINEERS/SURVEYORS  
LAND PLANNERS/ENVIRONMENTAL SCIENTISTS

85 CORLISS STREET  
P.O. BOX 6145  
PROVIDENCE, R.I. 02940  
TEL: 401-273-6000

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DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS  
AS SPECIFIED IN THE LETTER OF APPROVAL  
DATED APR 23 2020 FILE # 19-0298  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

JOB NO. 7157.00	DRAWN BY K.Y.Y.
DWG. NO. 7157-00-Land.dwg	CHECK BY S.S.H.
SCALE: AS SHOWN	APPROVED S.S.H.
DATE: OCTOBER 17, 2019	
SHEET	
<b>L-2</b>	
2 OF 2 SHEETS	