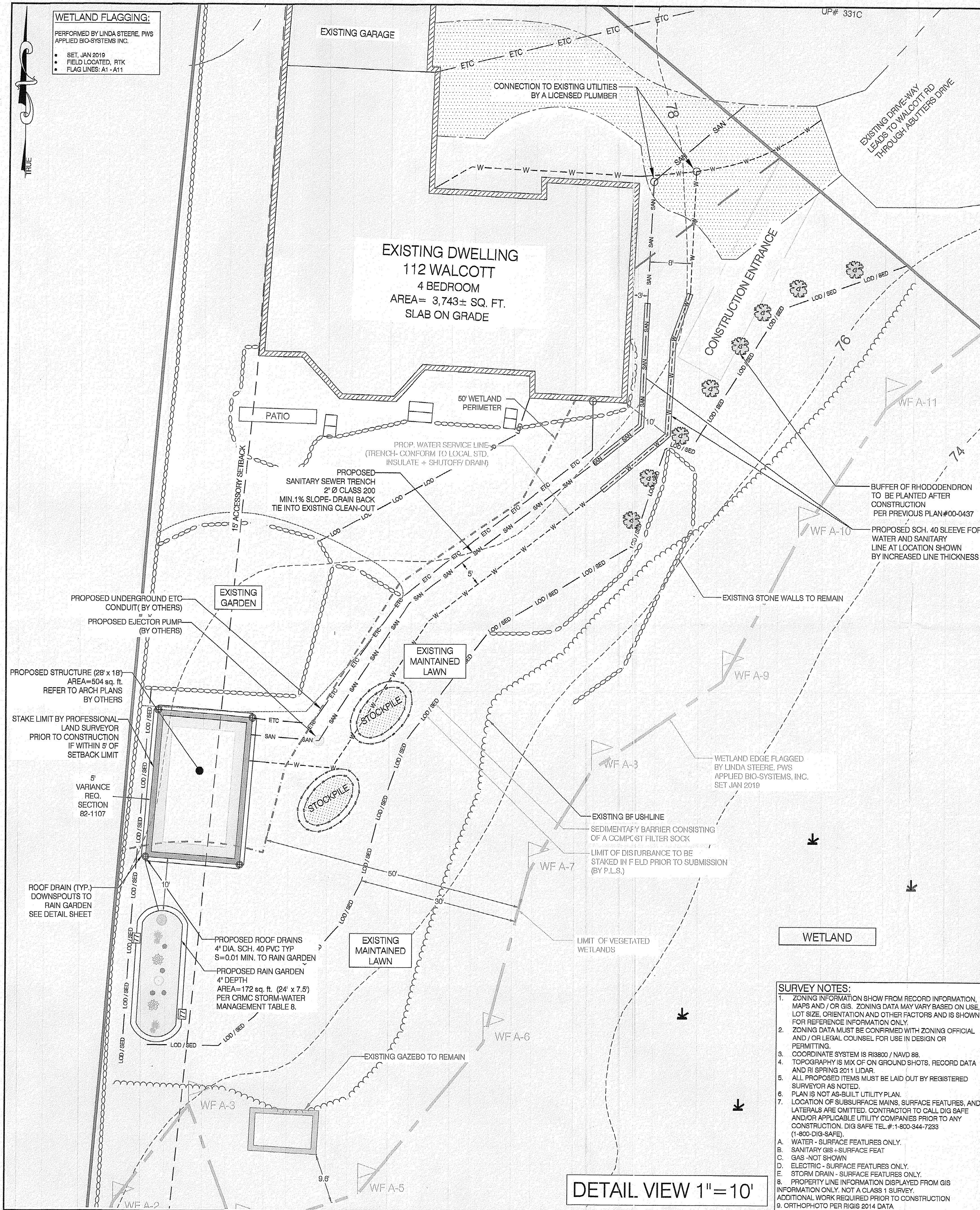


WETLAND FLAGGING:

PERFORMED BY LINDA STEERE, PWS
APPLIED BIO-SYSTEMS INC.
• SET, JAN 2019
• FIELD LOCATED, RTK
• FLAG LINES: A1 - A11



MEANDER NOTE:
STONE WALLS MEANDER. PROPERTY LIMITS DISPLAYED ARE THE BEST FIT BASED ON RECORDED PLANS AND DEEDS. THE ACTUAL CENTERLINE OF THE STONE WALLS ARE THE PROPERTY LIMITS UNLESS NOTED OTHERWISE. LINEWORK IS NOT A COMPLETELY PRECISE LIMIT IN CASES WHERE WALLS MEANDER FROM THE CENTERLINE.

ACCESS EASEMENT (PRIVATE)
INCLUDES ALL UTILITIES TO WALCOTT
BOOK 704 PG. 51

AP-1 LOT 1-1
FREMEN, KRISTINA N.
& LEACH, J. STEPHEN
8.656± SQ. FT.

AP-9 LOT 811
NF LANDS OF
MCCOY, JAMES M
L.E. BK. 304, PG. 141

AP-9 LOT 846
NF LANDS OF
ALONSO, PETER J
& POLLYY
L.E. BK. 897, PG. 239

AP-9 LOT 829
NF LANDS OF
NANCY P. BAKER
L.E. BK. 570, PG. 59

AP-9 LOT 531
NF LANDS OF
MARTIN W. KEEN &
MARY HALL KEEN
L.E. BK. 704, PG. 60

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED FEB 18 2019 FILE # 19-0306
KENTLY L. FREEMAN

SITE VIEW 1"=60'



RAIN GARDEN SIZE PER TABLE 7 / 8
REF. RI SINGLE FAMILY STORMWATER MANUAL
DRIVEWAY EASEMENT REFERENCE:
PRELIMINARY SUBDIVISION LOTS 364 & 531 - AP-9
PLAN PREPARED BY: F.C DIMAURO & ASSOC. INC. - JAN. 1984
RECORDED IN BOOK 704 PG. 51

REFERENCE PREVIOUS ARCH PLANS PROVIDED BY CLIENT
PREVIOUS PLAN PER RIDEM #00-0437
ALL WORK IS WITHIN PRESENTLY MAINTAINED LAWN AREAS

BENCHMARK NOTE:
NEI PROVIDES A MINIMUM OF TWO SITE BENCHMARKS. CONTRACTOR TO VERIFY ALL BENCHMARKS EXIST PRIOR TO CONSTRUCTION. ELEVATIONS OF ALL BENCHMARKS TO BE FIELD VERIFIED (SHOT IN FIELD WITH APPROPRIATE EQUIPMENT) AND VERTICAL DIFFERENTIAL VERIFIED. IF VERTICAL DIFFERENTIAL EXCEEDS 0.05' IT SHALL BE IMMEDIATELY REPORTED TO NEI FOR INSPECTION. DIFFERENTIAL IN EXCESS OF 0.05' INDICATES THAT BENCHMARKS MAY HAVE BEEN DISTURBED AND ARE NOT SUITABLE FOR USE. NO WORK SHALL COMMENCE UNTIL BENCHMARKS HAVE BEEN VERIFIED BY NEI.

ZONING ORDINANCE
SELECTED SECTIONS

SEC. 88-303 - NUMBER OF RESIDENTIAL STRUCTURES PER LOT.
NOT MORE THAN ONE PRINCIPAL RESIDENCE SHALL BE PERMITTED ON A LOT IN ANY RESIDENTIAL DISTRICT. THIS PROVISION, HOWEVER, SHALL NOT BE CONSTRUED TO LIMIT THE NUMBER OF MULTIFAMILY RESIDENTIAL STRUCTURES, HOTELS, OR MOTELS CONSTRUCTED IN FULL ACCORDANCE WITH ALL APPLICABLE PROVISIONS OF THIS ORDINANCE. (CHAPTER), (CODE 2008, § 88-303)

SEC. 88-311 - MAXIMUM SIZE OF ACCESSORY BUILDINGS.
THE FOLLOWING SHALL APPLY TO THE FOOTPRINT OF ALL ACCESSORY BUILDINGS:

LOT SIZE MAXIMUM SIZE OF ACCESSORY BUILDINGS
0-8,000 SQ. FEET 600 SQUARE FEET
8,001-20,000 SQ. FT. 700 SQUARE FEET
20,001-40,000 SQ. FT. 800 SQUARE FEET
40,001 + SQ. FT. 1,200 SQUARE FEET
ACCESSORY BUILDINGS IN EXCESS OF 1,200 SQUARE FEET SHALL SEEK A SPECIAL USE PERMIT PER ARTICLE 6 OF THIS ORDINANCE.
SETBACK TABLE PER TOWN OF JAMESTOWN ZONING ORDINANCE

SURVEY NOTES:

- ZONING INFORMATION SHOW FROM RECORD INFORMATION, MAPS AND / OR GIS. ZONING DATA MAY VARY BASED ON USE, LOT SIZE, ORIENTATION AND OTHER FACTORS AND IS SHOWN FOR REFERENCE INFORMATION ONLY.
- ZONING DATA MUST BE CONFIRMED WITH ZONING OFFICIAL AND / OR LEGAL COUNSEL FOR USE IN DESIGN OR PERMITTING.
- COORDINATE SYSTEM IS NAD83 / NAVD 88.
- TOPOGRAPHY IS MIX OF ON GROUND SHOTS, RECORD DATA AND RI SPRING 2011 LIDAR.
- ALL PROPOSED ITEMS MUST BE LAID OUT BY REGISTERED SURVEYOR AS NOTED.
- PLAN IS NOT AS-BUILT UTILITY PLAN.
- LOCATION OF SUBSURFACE MAINS, SURFACE FEATURES, AND LATERALS ARE OMITTED. CONTRACTOR TO CALL DIG SAFE AND/OR APPLICABLE UTILITY COMPANIES PRIOR TO ANY CONSTRUCTION. DIG SAFE TEL: #1-800-344-7233 (1-800-DIG-SAFE).
- WATER - SURFACE FEATURES ONLY.
- SANITARY GIS - SURFACE FEAT
- GAS - NOT SHOWN
- ELECTRIC - SURFACE FEATURES ONLY.
- STORM DRAIN - SURFACE FEATURES ONLY.
- PROPERTY LINE INFORMATION DISPLAYED FROM GIS INFORMATION ONLY. NOT A CLASS 1 SURVEY.
- ADDITIONAL WORK REQUIRED PRIOR TO CONSTRUCTION
- ORTHO-PHOTO PER FIGS 2014 DATA

DETAIL VIEW 1"=10'

NARRAGANSETT ENGINEERING INC.
MAIN OFFICE:
3102 EAST MAIN ROAD,
PORTSMOUTH, RI 02871
TEL : (401) 683-6630
nei-cds.com

PROPOSED STRUCTURE AND PRELIMINARY DELINEATION KEEN RESIDENCE JAMESTOWN RI

OWNER(S) OF RECORD
MARTIN W. KEEN
MARY HALL KEEN
112 WALCOTT AVE.
JAMESTOWN RI, 02835

SITE LOCATION
112 WALCOTT AVE.
JAMESTOWN RI, 02835

PLAT: 9 LOT: 531

CERTIFICATION:
THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25TH, 2015, AS FOLLOWS:

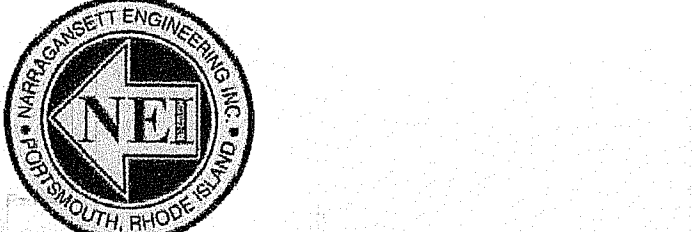
NOT A BOUNDARY SURVEY
DATA ACCUMULATION SURVEY CLASS III
CLASS III TOPOGRAPHY (T-2) & WETLANDS SITE
FEATURE LOCATION SURVEY, PHYSICAL SITE FEATURES.
NAVD 88 / RI 8800 STATE PLANE

STATEMENT OF PURPOSE:
THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS: FOR WETLANDS PERMIT ONLY FOR THE PURPOSE OF DEVELOPING A SHED (504± sq. ft.) NOT RELEASED FOR CONSTRUCTION - SUBJECT TO TOWN PERMITS.

NEAL K. HINGORANY
PROFESSIONAL LAND SURVEYOR
10.16.19

NEAL HINGORANY REG. 2515
COA: A38

THIS IS NOT A CLASS 1 METES AND BOUNDS SURVEY PLAN.



SHEET INDEX:
C.01 SITE PLAN
C.02 DETAILS

PROJECT #	DATE	DRAWN	CHECK
17.0131	10-4-2019	LD	NKH

REVISIONS

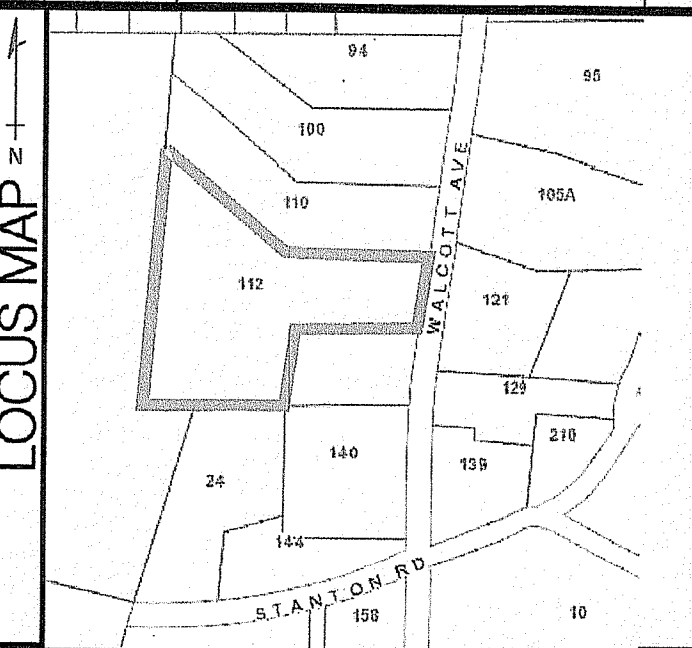
NO.	DATE	DESCRIPTION	BY

17.0131 DISTURBANCE AREA TABLE

NO.	ITEM	AREA	UNITS
1	LOT AREA	156,360	sq. ft.
2			
3	TEMP. DISTURBANCE	6,318	sq. ft.
4	PERMANENT DISTURBANCE	1,662	sq. ft.
5	PERCENT PERMANENTLY DIST.	1.06%	

LEGEND

100.00'	BRUSH LINE (APPROXIMATE)	□	CATCH BASIN
100.00' (D)	DIMENSION - EXISTING	○	DRILL HOLE
100.00'	DIMENSION - PLAN / DEED	□	ELECTRIC BOX (ETC)
100.00' (S)	DIMENSION - PROPOSED	⊕	FIRE HYDRANT
100.00' (S)	DIMENSION - SURVEY	⊕	GATE VALVE
---	EDGE OF PAVEMENT - EXISTING	⊕	GRANITE BOUND, EXISTING
---	EDGE OF PAVEMENT - PROPOSED	⊕	LOW WATER LINE
---	ELECTRIC - OVERHEAD (OHE)	⊕	LIMIT OF DISTURBANCE MARKER
---	ELECTRIC - UNDERGROUND (UGE)	⊕	MANHOLE (MH-TYPE)
---	FENCE - METAL	⊕	REBAR / STEEL PIPE FOUND
---	FENCE - WOOD	⊕	SPIKE
---	GAS (G)	⊕	SPOT GRADE - EXISTING
---	GAS ARROWS	⊕	SPOT GRADE - PROPOSED
---	GRADE CONTOUR - EXISTING	⊕	STRUCTURE, EXISTING
---	GRADE CONTOUR - PROPOSED	⊕	STRUCTURE, PROPOSED
---	HIGH VISIBILITY FENCE (HVF)	⊕	SEDIMENT BARRIER
---	LIMIT OF DISTURBANCE (LOD) + SEDIMENT BARRIER	⊕	PROPERTY LINE - ABUTTING
---	PROPERTY LINE - EXISTING	⊕	PROPERTY LINE - PROPOSED
---	PROPERTY LINE - PROPOSED	⊕	SANITARY SEWER (S)
---	SANITARY SEWER (S)	⊕	SEDIMENT CONTROL (SED)
---	SEDIMENT CONTROL (SED)	⊕	SETBACKS
---	SETBACKS	⊕	STONE WALL
---	STONE WALL	⊕	STORM DRAIN (SD)
---	STORM DRAIN (SD)	⊕	SUBDIVISION LINE - EXISTING
---	SUBDIVISION LINE - EXISTING	⊕	WATER
---	WATER	⊕	WETLAND LIMIT



SCALE 1"=60' & 1"=10'

C.01

GENERAL NOTES:

- THE STATE OF RHODE ISLAND STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION, 2004 EDITION, AND THE RHODE ISLAND STANDARD DETAILS ARE MADE A PART HEREOF AS FULLY AND COMPLETELY AS IF ATTACHED HERETO. ALL WORK SHALL CONFORM TO RHODE ISLAND STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION 2004 EDITION OR LATEST REVISION. THE 2004 EDITION OF THE STANDARD SPECIFICATION MAY BE OBTAINED AT THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION.
- IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO APPLY FOR AND OBTAIN ANY AND ALL NECESSARY PERMITS, PAY ALL FEES AND POST ALL BONDS ASSOCIATED WITH THE SAME, AND COORDINATE WITH ARCHITECT OR ENGINEER AS NECESSARY.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE SAFETY OF THE JOB SITE. THE CONTRACTOR SHALL PROVIDE TEMPORARY FENCING AND/OR BARRIERS AROUND ANY EXPOSED EXCAVATED AREAS IN ACCORDANCE WITH OSHA STANDARDS.
- IN THE CASE THAT ANY DEVIATION / ALTERATION / OR IMPROVEMENT FROM THE APPROVED PLANS IS NECESSARY THE CONTRACTOR SHALL IMMEDIATELY CONTACT THE ENGINEER AND OWNER PRIOR TO OCCURRENCE OF DEVIATION.
- ALL WORK SHALL BE LIMITED TO THE AREAS WITHIN THE LIMIT OF DISTURBANCE DISPLAYED ON THESE PLANS OR PROPERTY LINE IF LIMIT OF DISTURBANCE IS UNCLEAR. ANY AREA DISTURBED OUTSIDE OF THE LIMIT OF DISTURBANCE SHALL BE REPAIRED AND RESTORED TO ITS ORIGINAL CONDITION AT NO COST TO THE OWNER OR ENGINEER, AND PERFORMED TO THE ENGINEER'S SATISFACTION.
- ALL SITE WORK SHALL MEET OR EXCEED THE SITE WORK SPECIFICATION SHOWN ON THESE PLANS AND/OR ACCOMPANYING SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING IF ANY CONFLICTS WITH EXISTING CONDITIONS OR PROPOSED CONDITIONS EXIST. IF ANY CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITE WORK THAT WOULD BE AFFECTED.
- EXCAVATED ROCK SHALL BE REMOVED FROM THE SITE AND LEGALLY DISPOSED OF UNLESS OTHER ARRANGEMENTS ARE MADE WITH THE OWNER. SUITABLE ROCK MAY BE UTILIZED IN FILL AREAS WITH WRITTEN PERMISSION OF THE OWNERS REPRESENTATIVES.
- DEBRIS, ORGANICS AND OTHER UNSUITABLE MATERIALS UNCOVERED DURING THE COURSE OF SITE EXCAVATION SHALL BE REMOVED FROM THE SITE AND DISPOSED OF LEGALLY.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR MAINTAINING THE INTEGRITY OF ALL EXISTING UTILITIES THAT SERVICE THE SITE AND NEIGHBORING AREAS. IF ANY DAMAGE OCCURS TO EXISTING UTILITIES IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO PAY ALL COSTS ASSOCIATED WITH REPAIR OF UTILITIES AS DIRECTED BY THE ENGINEER, UTILITY OWNER, OR GOVERNING AGENCY.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR QUANTITY TAKE-OFF IN COMPUTING ANY ESTIMATES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL TEMPORARY SEDIMENTATION AND EROSION CONTROLS.
- THE LOCATION OF EXISTING UTILITIES AS SHOWN ARE APPROXIMATE AND SHALL BE VERIFIED BY THE CONTRACTOR. "DIG SAFE" SHALL BE CONTACTED BY THE CONTRACTOR AS PART OF THIS VERIFICATION.
- NO EXCAVATION SHALL PROCEED UNTIL UTILITY COMPANIES ARE NOTIFIED IN ADVANCE.
- ALL TREE PROTECTION BY OTHERS UNLESS OTHERWISE NOTED.
- CONTRACTOR TO LOAM AND SEED ALL DISTURBED AREAS WITH APPROPRIATE SEED MIXTURES.

GRADING AND UTILITIES NOTES:

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT THE PROPOSED WORK SHOWN ON THESE PLANS DO NOT CONFLICT WITH ANY EXISTING CONDITIONS OR OTHER PROPOSED WORK. IF CONFLICTS ARISE, THE CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITE WORK WHICH WOULD BE AFFECTED. NO FIELD ADJUSTMENTS IN THE LOCATION OF SITE ELEMENTS SHALL BE MADE WITHOUT THE ENGINEERS APPROVAL.
- WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH WORK, THE LOCATION, ELEVATION, SIZE AND MATERIAL SHALL BE ACCURATELY DETERMINED BY THE CONTRACTOR IMMEDIATELY AND THE INFORMATION FURNISHED TO THE ENGINEER FOR RESOLUTION. THE CONTRACTOR SHALL NOT CONTINUE WORK ON AFFECTED UTILITIES UNTIL THE CONFLICT IS RESOLVED.
- ALL WORK PERFORMED AND ALL MATERIALS FURNISHED SHALL CONFORM WITH THE LINE AND GRADES ON THE PLANS AND SITE WORK SPECIFICATIONS.
- AT ALL LOCATIONS WHERE EXISTING CURBING OR PAVEMENT ABOUT NEW CONSTRUCTION, THE EDGE OF THE EXISTING CURB OR PAVEMENT SHALL BE SAW CUT TO A CLEAN, SMOOTH EDGE. BLEND NEW PAVEMENT AND CURBS SMOOTHLY INTO EXISTING BY MATCHING LINES, GRADES AND JOINTS.
- ALL UTILITY COVERS, GRATES, AND THE LIKE SHALL BE BE FLUSH WITH THE SURROUNDING SURFACE OR PAVEMENT FINISH. RIM ELEVATIONS ARE APPROXIMATE AND FINAL ELEVATIONS ARE TO BE SET FLUSH AND CONSISTENT WITH GRADING.
- THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION OF PRIVATE UTILITIES BY THE UTILITY COMPANY, AS REQUIRED.
- THE CONTRACTOR SHALL PROTECT ALL UNDERGROUND UTILITY FACILITIES FROM EXCESSIVE VEHICULAR LOADING. ANY DAMAGE RESULTING TO THESE FACILITIES SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT THE CONTRACTORS EXPENSE.
- ALL WATER WORKS SHALL HAVE 6 FEET OF COVER.
- GAS, ELECTRIC, AND COMMUNICATIONS ROUTING ARE SUBJECT TO REVIEW AND APPROVAL BY UTILITY COMPANY.
- DURING CONSTRUCTION CONTRACTOR SHALL PROTECT EXISTING UTILITIES BY PROVIDING TEMPORARY SUPPORTS OR SHEETING AS REQUIRED AT NOT ADDITIONAL COST TO THE OWNER.
- EXCAVATION REQUIRED WITHIN THE PROXIMITY OF EXISTING UTILITY LINES SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINE OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATCN AT NO COST TO THE OWNER.
- PITCH EVENLY BETWEEN ALL SPOT GRADES.
- THE CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND DISPOSAL OF ANY, ROCKS, DEBRIS, ORGANICS, OR THE LIKE UNCOVERED IN THE COURSE OF WORK.

EROSION AND SEDIMENT CONTROL NOTES:

- ALL EROSION CONTROL SHALL BE IN ACCORDANCE WITH RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST REVISION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION AND MAINTENANCE OF ALL SEDIMENT AND EROSION CONTROL MEASURES SHOWN ON THESE PLANS.
- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED ONCE WEEKLY OR AFTER EVERY RAINFALL EVENT GREATER THAN 0.25 INCHES.
- SEDIMENT BUILD UP GREATER THAN ONE-HALF THE BARRIER HEIGHT SHALL BE REMOVED AND DISPOSED OF PROPERLY AS REQUIRED. ANY SEDIMENT BUILD UP OUTSIDE OF THE SEDIMENT BARRIER SHALL BE REMOVED IMMEDIATELY.
- CONTRACTOR SHALL MAINTAIN A RESERVE OF EROSION CONTROL MATERIALS FOR EMERGENCY USE AND ROUTINE MAINTENANCE.
- THE CONTROLS SHOWN ON THESE PLANS ARE INTENDED AS MINIMUM MEASURES. ADDITIONAL MEASURES MAY BE REQUIRED AND SHALL BE IMPLEMENTED BY THE CONTRACTOR IF WARRANTED OR REQUESTED BY THE OWNER, OWNERS REPRESENTATIVE, ENGINEER, OR ANY APPLICABLE REGULATING AGENCY.
- PRIOR TO THE START OF ANY LAND CLEARING / GRUBBING OR OTHER CONSTRUCTION ACTIVITY THE PERIMETER CONTROLS SHALL BE PLACED, PROPERLY CONSTRUCTED AND CLEARLY VISIBLE. THESE CONTROLS SHALL REPRESENT THE LIMITS OF WORK AND WORKERS SHALL BE NOTIFIED THAT NO CONSTRUCTION ACTIVITY IS ALLOWED BEYOND THESE CONTROLS.
- IF OR AS POSSIBLE CONSTRUCTION SHALL BE PHASED TO LIMIT TO THE MAXIMUM EXTENT PRACTICABLE THE AMOUNT OF EXPOSED SOILS. ALL DISTURBED AREAS SHALL BE TEMPORARILY OR PERMANENTLY STABILIZED WITHIN 14 DAYS OF COMPLETION OF GRADING ACTIVITIES.
- THE CONTRACTOR SHALL SCHEDULE WORK IN A WAY TO ALLOW POSITIVE DRAINAGE OF SUBGRADE THROUGHOUT CONSTRUCTION.
- CONSTRUCTION ENTRANCES PER RIDOT STANDARD DETAIL 9.9.0 SHALL BE EMPLOYED AT ALL POINTS OF INGRESS AND EGRESS FROM THE SITE.
- TEMPORARY DIVERSIONS, SEDIMENT BASINS, AND TEMPORARY SWALES MAY BE USED AND SHALL BE SIZED ACCORDING TO THE RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK.
- CATCH BASINS AND STORM DRAINS SHALL BE PROTECTED PER RIDOT STANDARD DETAIL 9.8.0 IN GRASSSED AREAS OR SEDIMENT BAGS IN PAVED AREAS.
- TEMPORARY SEDIMENT STOCK PILES SHALL BE KEPT MOIST AND COVERED AT ALL TIMES. CALCIUM CHLORIDE SHALL ONLY BE USED IF AN APPROVAL FROM THE TOWN/CITY OR OTHER APPLICABLE AGENCY HAS BEEN GRANTED.
- DEWATERING FROM EXCAVATIONS WILL BE CONVEYED BY HOSE TO AN UPLAND AREAS AND DISCHARGED INTO A DEWATERING BASIN PER RIDOT STANDARD 9.7.0. HAYBALE CORALS, OR SEDIMENTATION BAGS. THE CONTRACTOR SHALL ENSURE THAT NO CONTAMINATE IS PRESENT IN ANY WATERS PRIOR TO DISCHARGE FROM SITE AND IS RESPONSIBLE FOR ALL ENGINEERING, EQUIPMENT, MATERIAL AND LABOR REQUIRED FOR THE SITE WATER REMOVAL DURING CONSTRUCTION.
- CONSTRUCTION WASTE MATERIALS SHALL BE KEPT ON-SITE AND DISPOSED OF IN AN APPROVED AND APPROPRIATE MANNER IN ACCORDANCE WITH ALL APPLICABLE REGULATORY AGENCIES.
- RIPRAP SHALL BE USED WHERE NECESSARY TO CONTROL EXIT VELOCITIES.
- NON MOBILE (I.E. TRACKED MACHINERY) SHALL BE MAINTAINED WITHIN THE LIMIT OF DISTURBANCE DEFINED BY SEDIMENT BARRIER.
- NEWLY VEGETATED AREAS SHALL BE REGULARLY INSPECTED AND MAINTAINED TO ENSURE ESTABLISHMENT OF APPROPRIATE VEGETATION.
- THE CONTRACTOR SHALL NOT REMOVE ANY EROSION AND SEDIMENTATION CONTROL MEASURES UNTIL FINAL ACCEPTANCE OF THE SITE HAS OCCURRED.
- ALL DRAINAGE STRUCTURES SHALL BE CLEARED OF ACCUMULATED SEDIMENT PRIOR TO THE FINAL SITE ACCEPTANCE.

NOTE: THE USE OF HAY IS NOT ALLOWED. ALL REFERENCES TO HAY, SHALL BE TAKEN TO MEAN STRAW.

LOAM AND SEED:

GENERAL:

- ALL DISTURBED AREAS TO BE LOAMED AND SEED PER "RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK" AS AMENDED OR REVISED.
- FOR NON-NATIVE PLANTING SEEDING DATES ARE APRIL 1 THROUGH JUNE 15 AND AUGUST 15 THROUGH SEPTEMBER 30, DATE MAY BE EXTENDED 15 DAYS IN NEWPORT COUNTY.
- FOR NATIVE PLANTING SEEDING DATES ARE BETWEEN AUGUST AND SEPTEMBER.

SEED BED PREPARATION:

- LOOSEN SOIL TO A DEPTH OF FIVE INCHES BY RAKING, DISCING, DRAGGING OR TRAVERSING WITH TRACKED MACHINERY, OVER COMPACTION SHALL BE AVOIDED. CLEAT MARKS SHALL BE PERPENDICULAR TO ANTICIPATED DIRECTION OF SURFACE WATER FLOW.
- APPLY TOPSOIL IF NECESSARY.
- APPLY SLOW RELEASE FERTILIZER NOT TO EXCEED 1500 LBS PER ACRE OR 36 LBS PER 1,000 SF USING THE FOLLOWING PERCENTAGES BY WEIGHT:
 - 10% AVAILABLE NITROGEN (N)
 - 20% AVAILABLE PHOSPHORIC ACID (P)
 - 20% AVAILABLE POTASSIUM (K)
- REMOVE FROM SURFACE ALL STONES LARGER THAN 2" IN DIAMETER, ALL DEBRIS, TREE ROOTS OR OTHER UNSUITABLE MATERIAL PRIOR TO COMMENCING SEEDING.
- INSPECT AREA TO BE SEED IMMEDIATELY PRIOR TO SEEDING FOR ANY COMPACTED AREAS. IF COMPACTED AREAS EXIST SCARIFY PRIOR TO COMMENCING SEEDING.

SEEDING:

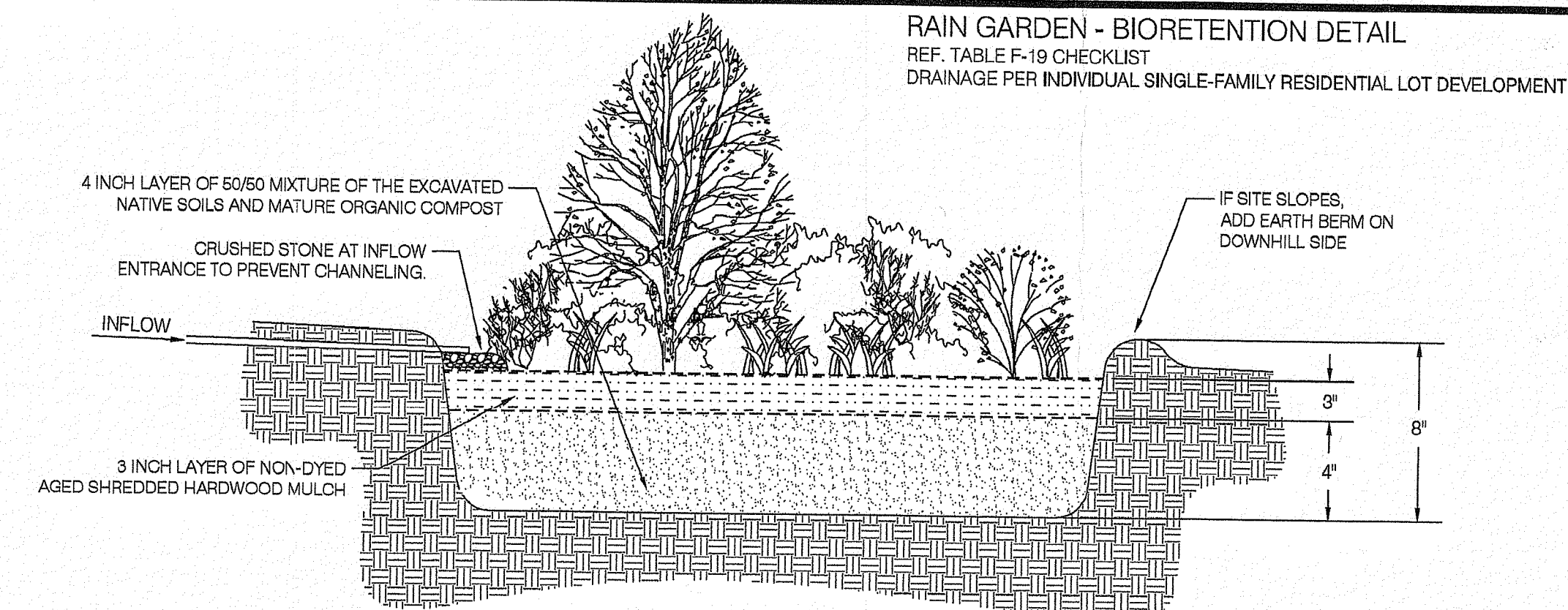
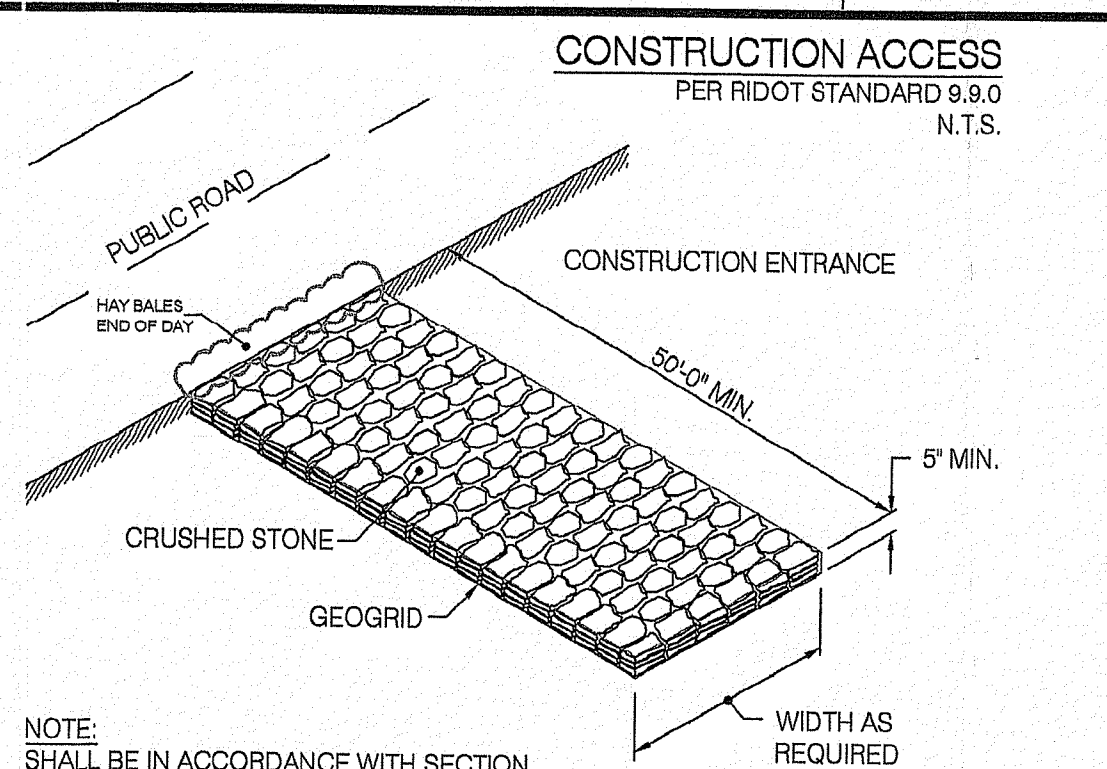
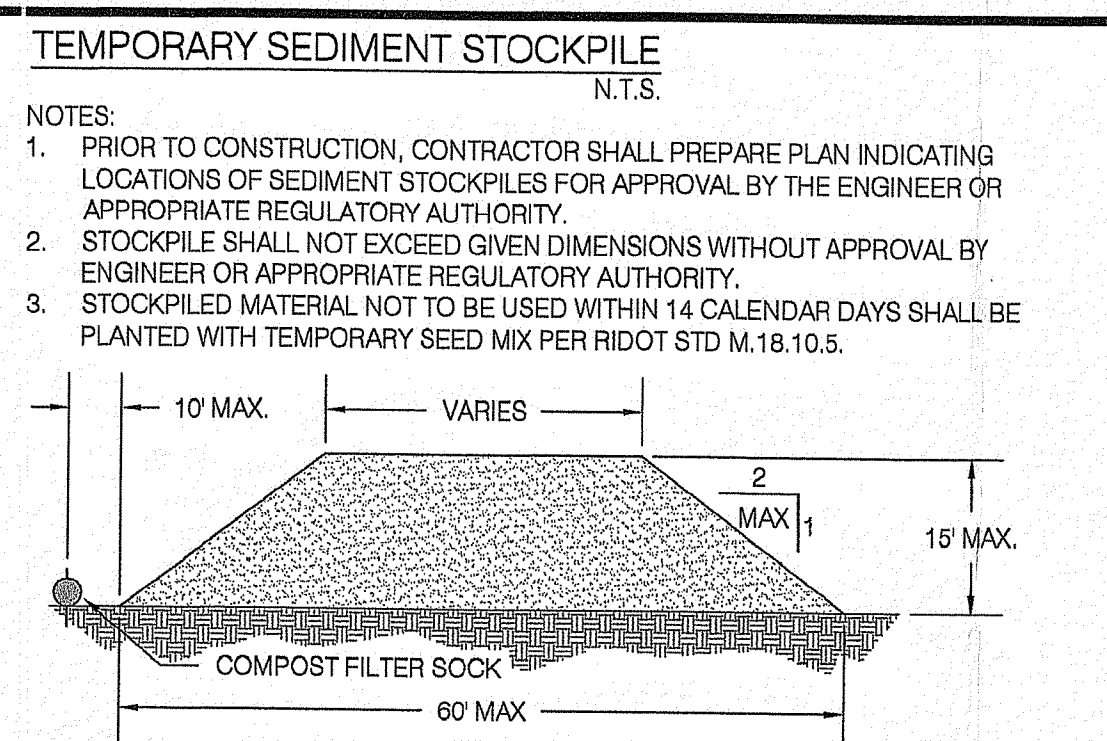
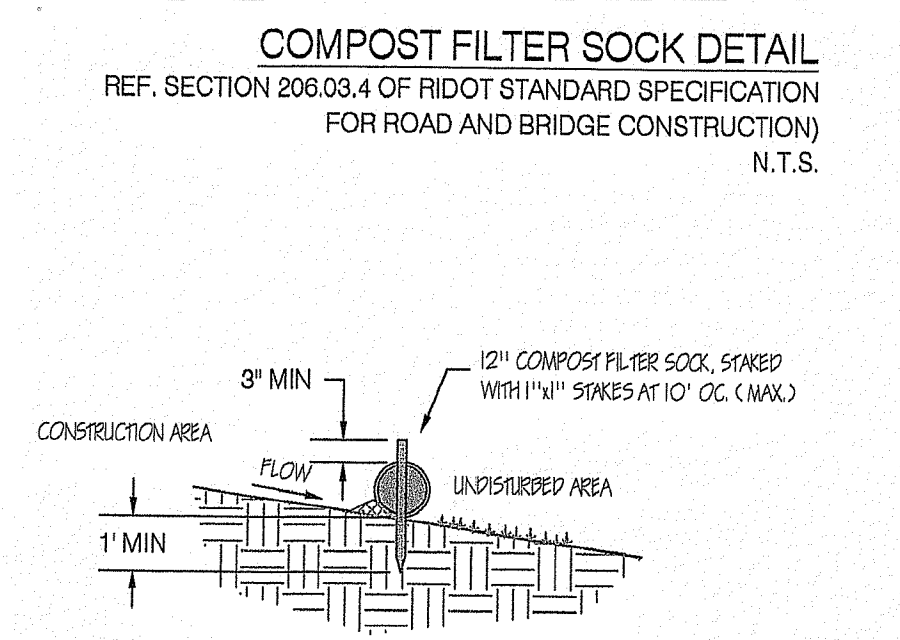
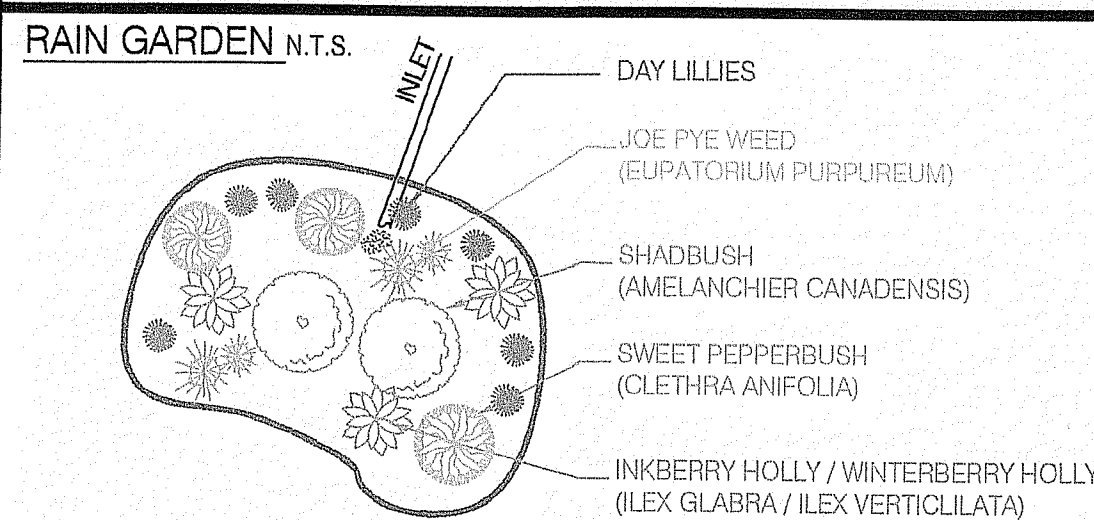
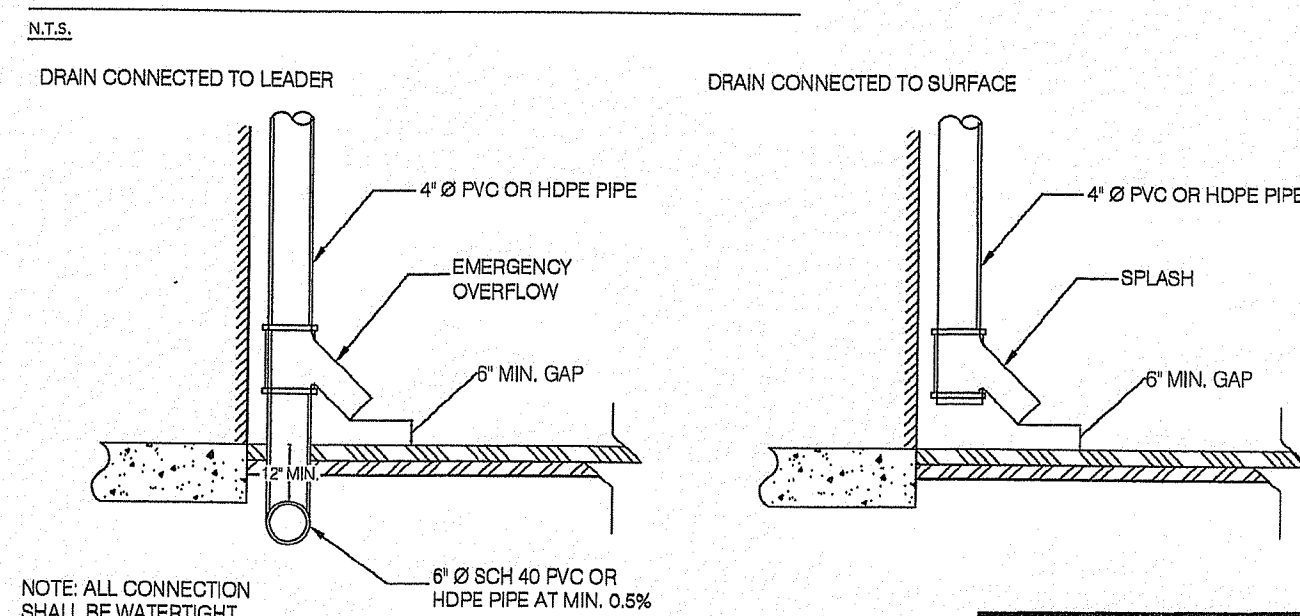
- APPLY SELECTED SEED AT RATES PROVIDED UNIFORMLY MY HAND, CYCLONE SEEDER, DRILL, CULTIPACKER TYPE SEEDER OR HYDROSEEDER.
- NORMAL SEEDING DEPTH IS .25 TO .5 INCH. HYDROSEEDINGS MAY BE LEFT ON THE SOIL SURFACE.
- WHERE FEASIBLE, EXCEPT WHERE EITHER CULTIPACKER TYPE SEEDER OR HYDROSEEDER IS USED, FIRM THE SEEDBED FOLLOWING SEEDING OPERATIONS WITH ROLLER, OR LIGHT DRAG.
- SEEDING RATES SHALL BE INCREASED BY 10% WHEN USING HYDROSEEDING.
- USE OF STRAW MULCH HELD WITH ADHESIVE MATERIALS OR 500 LBS PER ACRE OF WOOD FIBER MULCH IS RECOMMENDED FOR PROTECTION FROM SOIL EROSION.
- IF SEEDING CAN NOT BE COMPLETED WITHIN SEEDING DATES USE MULCHING TO PROTECT SITE AND DELAY SEEDING UNTIL THE NEXT RECOMMENDED SEEDING PERIOD.

RECOMMENDED SEEDING:

SEED MIXTURE NO. 1			
• KENTUCKY BLUE GRASS	22.5 LBS/AC	0.5 LBS/1000 SF	
• CREEPING RED FESCUE	105 LBS/AC	2.5 LBS/1000 SF	
• PERENNIAL RYEGRASS	22.5 LBS/AC	0.5 LBS/1000 SF	

NOTES: WHERE CONFUSION OR UNCERTAINTY EXISTS IN LOAMING AND SEEDING CONSULT THE "RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK" AS AMENDED OR REVISED, ENGINEER, LANDSCAPE ARCHITECT

TYPICAL ROOF DRAINS:



TYPICAL RAIN GARDEN SECTION
 NEI RECOMMENDS CONSULTING WITH A LOCAL LANDSCAPE ARCHITECT FOR EACH SPECIFIC SITE. PLANT SELECTIONS SHOULD BE BASED OFF REQUISITE CRITERIA IN RI COASTAL PLANT GUIDE. [HTTP://WEB.URI.EDU/CELS/CEOC/COASTALPLANTS/COASTALPLANTGUIDE.HTM](http://web.uri.edu/cels/ceoc/coastalplants/coastalplantguide.htm)

NARRAGANSETT ENGINEERING INC.

MAIN OFFICE:
 3102 EAST MAIN ROAD,
 PORTSMOUTH, RI 02871
 TEL : (401) 683-6630

nei-cds.com

PROPOSED STRUCTURE AND PRELIMINARY DELINIATION KEEN RESIDENCE JAMESTOWN RI

OWNER(S) OF RECORD
 MARY KEEN
 112 WALCOTT AVE.
 JAMESTOWN RI, 02835

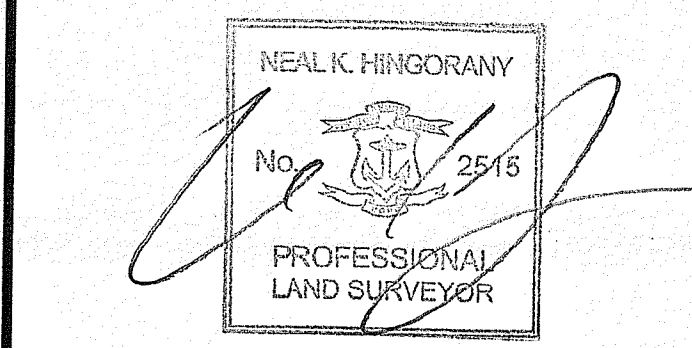
SITE LOCATION
 112 WALCOTT AVE.
 JAMESTOWN RI, 02835

PLAT: 9 LOT: 531

CERTIFICATION
 THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 26TH, 2015, AS FOLLOWS:

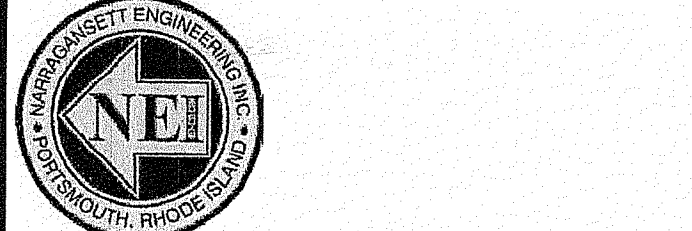
NOT A BOUNDARY SURVEY
 DATA ACCUMULATION SURVEY CLASS III
 CLASS III TOPOGRAPHY (1:2) & WETLANDS SITE
 FEATURE LOCATION SURVEY. PHYSICAL SITE FEATURES.
 NAVD 88 / RI 3800 STATE PLANE

STATEMENT OF PURPOSE:
 THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS: FOR WETLANDS PERMIT ONLY FOR THE PURPOSE OF DEVELOPING A SHED (604 ± sq. ft.), NOT RELEASED FOR CONSTRUCTION- SUBJECT TO TOWN PERMITS.



NEAL HINGORANY REG. 2515
 COA: ASB

THIS IS NOT A CLASS 1 METES AND BOUNDS SURVEY PLAN.



SHEET INDEX:
 C.01 SITE PLAN
 C.02 DETAILS

PROJECT #	DATE	DRAWN	CHECK
17.0131	10-4-2019	LD	NKH

REVISIONS			
No.	DATE	DESCRIPTION	BY

SCALE
C.02

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED FEB 18 2020 FILE # 19-0306
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE
Nancy L. Freeman