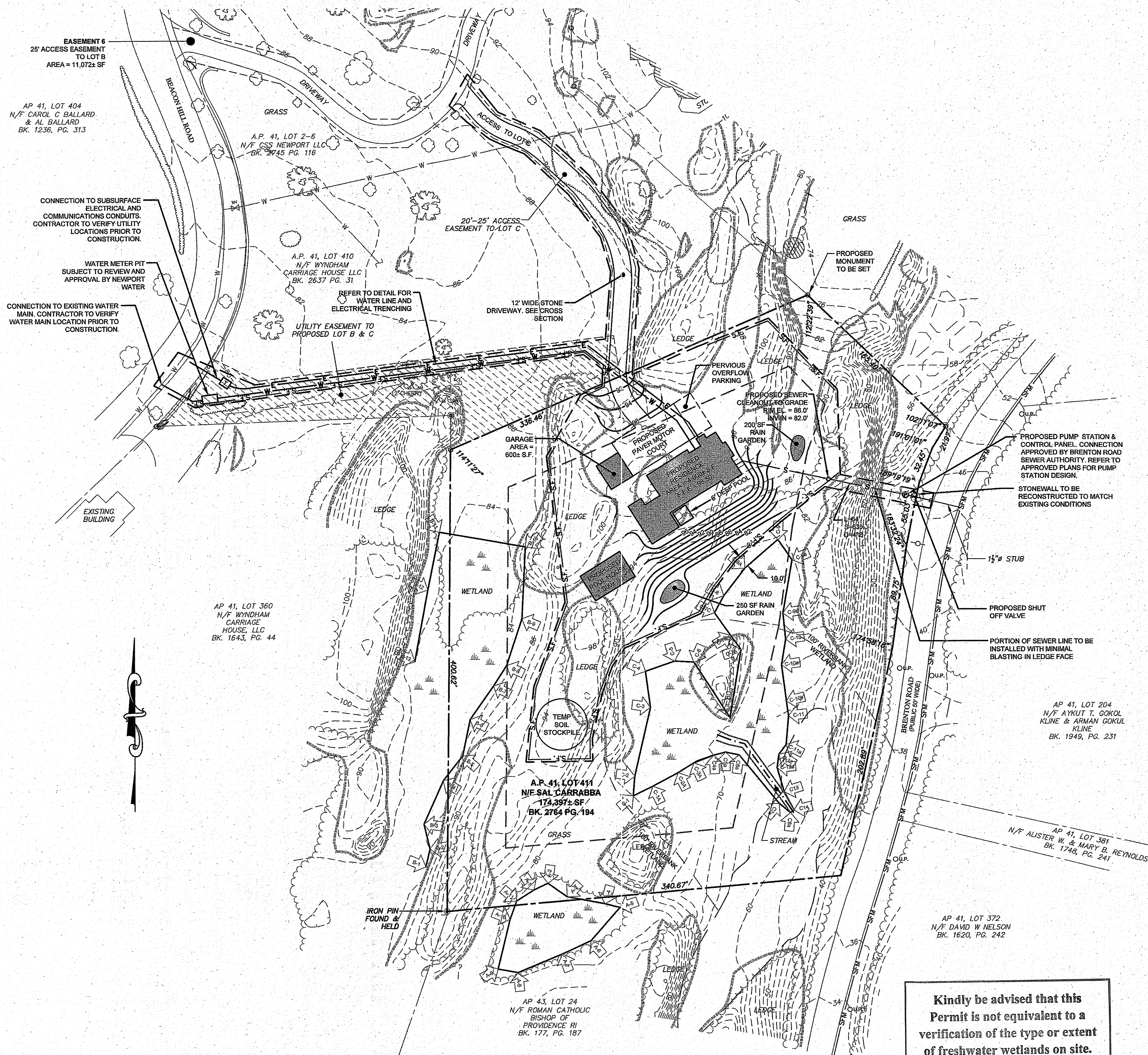


A KNOWLEDGE CORPORATION®

55 JOHN CLARKE ROAD MIDDLETOWN RHODE ISLAND 02842
PHONE (401) 849-0810 FAX (401) 846-4169
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SITE/CIVIL
LAND PLANNING
WATERFRONT
SURVEYING
GEOTECHNICAL
ENVIRONMENTAL
TRANSPORTATION
STRUCTURAL

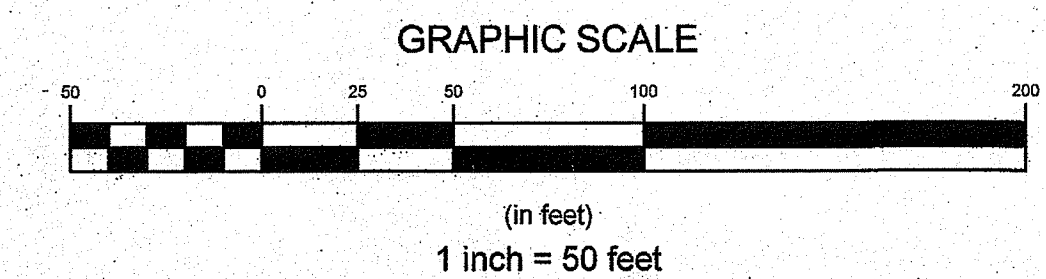


DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
REVIEWED SITE PLAN APPLICATION NO.: 19-0337
DATED MAR 12 2010
SEE LETTER OF SAME DATE.
Nancy L. Freeman

- NOTES**
- EXISTING CONDITIONS ARE A RESULT OF AN AERIAL SURVEY BY EASTERN TOPOGRAPHICS, PHOTO DATE APR 20, 1995 AND COMPILED IN DEC 2010. GROUND CONTROL AND FIELD EDITS PROVIDED BY NORTHEAST ENGINEERS & CONSULTANTS, INC.
 - ALL UNDERGROUND UTILITIES SHOWN ON THIS PLAN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING PLANS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM ALL AVAILABLE INFORMATION. (PLEASE CONTACT DISSAFE PRIOR TO CONSTRUCTION AT 1-888-344-7293, AND/OR ALL LOCAL UTILITY COMPANIES).
 - WETLAND FLAGS SHOWN ON THIS PLAN DELINEATED BY NATURAL RESOURCE SERVICES, INC. IN DECEMBER 2010.
 - BASE OF ELEVATIONS NAVD 88 AS ESTABLISHED BY GPS OBSERVATIONS.

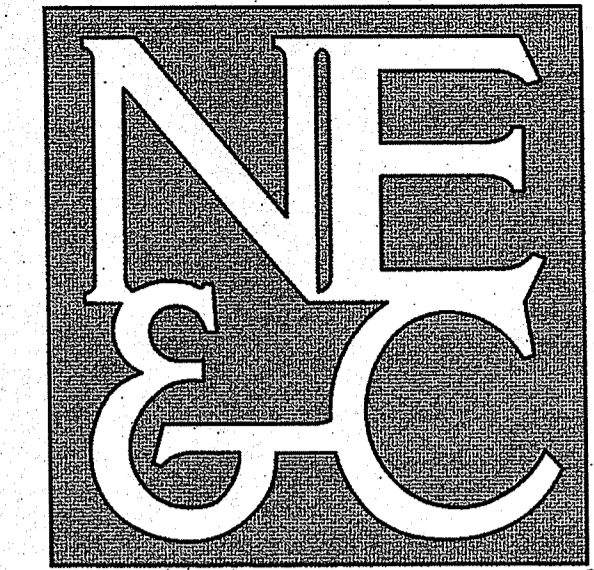
LEGEND:

---	PROPERTY LINE
---	ABUTTERS PROPERTY LINE
---	EXISTING CONTOURS
---	LEDGE BOUNDARY
---	WETLAND BOUNDARY
---	100' RIVERBANK SETBACK
---	STONE WALL
---	FENCE
---	WATER LINE
---	STREAM
---	BRUSHLINE
---	SEWER FORCE MAIN
---	TREE
---	UTILITY POLE
---	COPPER PLUG
---	STONE BOUND
---	METAL PIPE
---	WATER VALVE
---	ZONING SETBACK
---	LAND USE / ACCESS EASEMENT
---	PROPOSED WATER LINE
---	PROPOSED SEWER FORCE MAIN
---	PROPOSED SEWER LINE
---	PROPOSED PUMP STATION
---	PROPOSED UG ELEC CONDUIT
---	PROPOSED SILT FENCE OR STRAW WATTLE
---	PROPOSED LIMIT OF DISTURBANCE
---	PROPOSED TOPOGRAPHIC CONTOUR



Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.

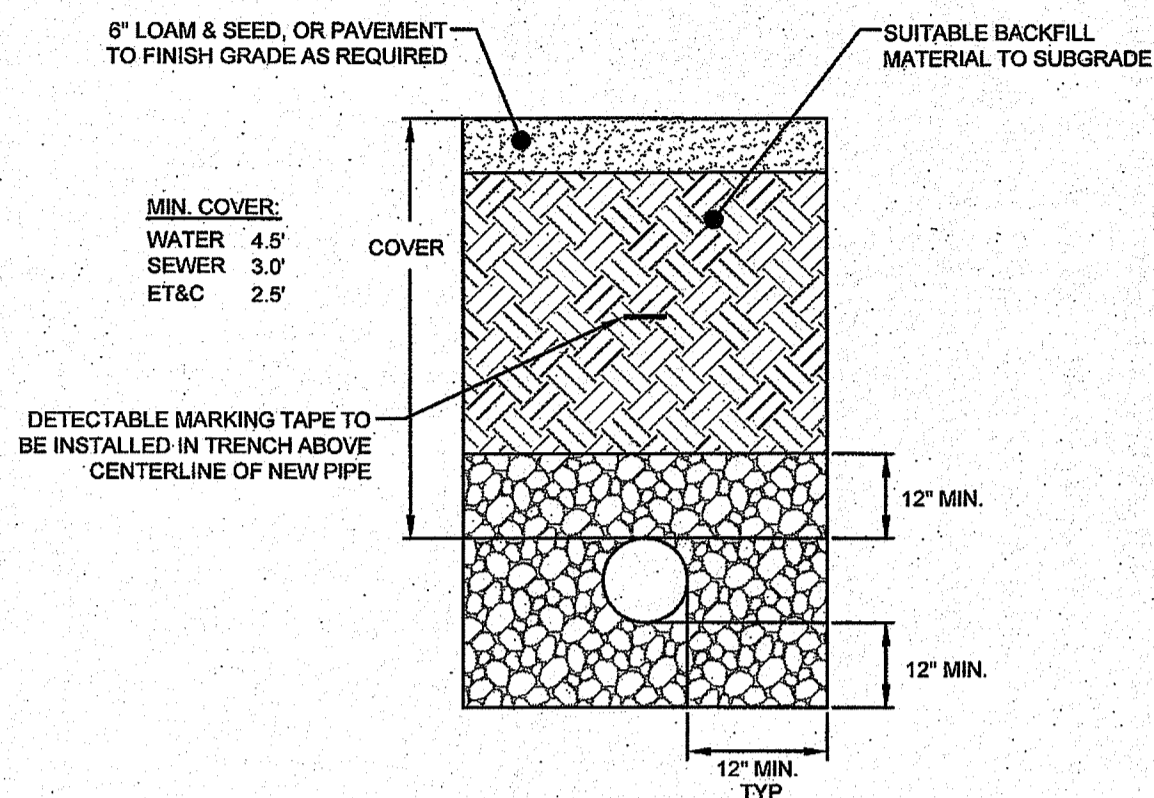
No.	Revision	Date	App.
Designed By:	GES	Drawn by:	JJR
Scale:	1"=50'	Checked by:	GES
Date:	13NOV19		
Project Title:			
S. CARRABBA RESIDENCE A.P. 41 LOT 411 SUBDIVISION LOT C BEACON HILL ROAD / BRENTON ROAD NEWPORT, RHODE ISLAND			
Client/Owner:			
MR. SAL CARRABBA 811 BLUE HILLS AVENUE BLOOMFIELD, CT 06002			
Issued for:			
PERMITTING			
Drawing Title:			
SITE PLAN DEC 4 2010			
Drawing Number:			
C-1			
Sheet			
1 of 2			
Project Number:			
10142.6			
Survey Index:			
-			
OWNERSHIP AND USE OF DOCUMENTS: DRAWINGS AND SPECIFICATIONS, AS INSTRUMENTS OF PROFESSIONAL SERVICE, ARE AND SHALL REMAIN THE PROPERTY OF THE ENGINEER. THESE DOCUMENTS ARE NOT TO BE USED, IN WHOLE OR PART, FOR ANY OTHER PROJECTS OR PURPOSES, OR BY ANY OTHER PARTIES, THAN THOSE PROPERLY AUTHORIZED BY CONTRACT, WITHOUT THE EXPRESS AUTHORIZATION OF THE ENGINEER.			



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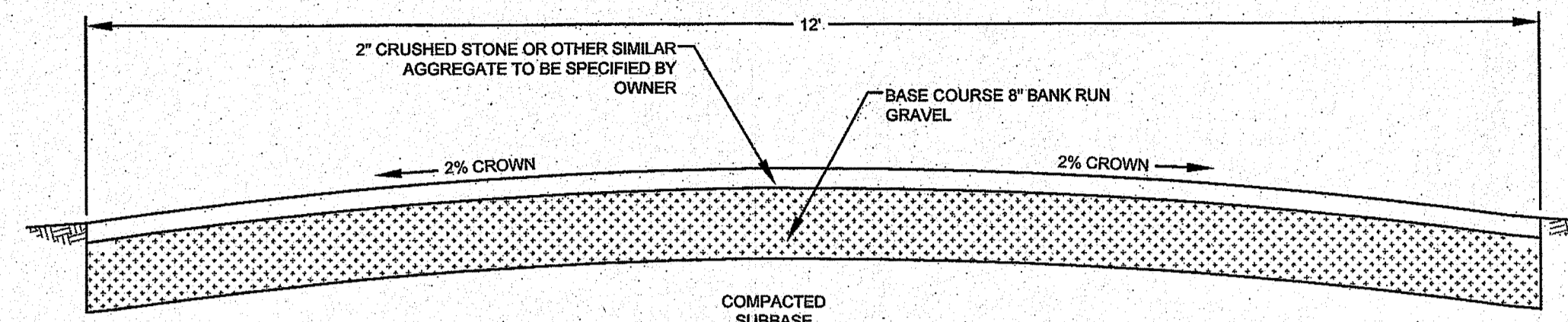
SITE/CIVIL
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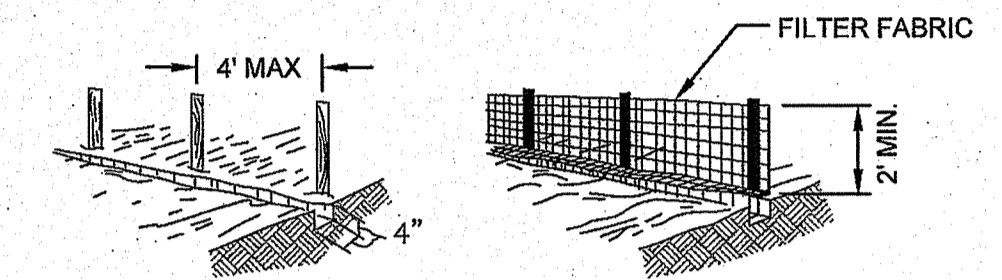
UTILITY TRENCH DETAIL
SCALE: NOT TO SCALE

NOTES:

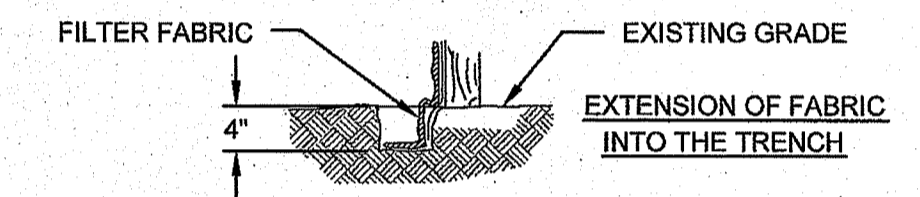
- UNUSABLE MATERIAL SHALL BE EXCAVATED TO A MINIMUM DEPTH OF 12-INCHES BELOW THE DESIGN INVERT ELEVATION.
- TRENCH PROTECTION SHALL BE REQUIRED IN ACCORDANCE WITH OSHA REGULATIONS, AND AS OTHERWISE REQUIRED TO PROTECT UTILITIES, ROADWAYS, AND ADJACENT STRUCTURES.
- SEWER PIPES SHALL BE LAID BEGINNING AT THE DOWNSTREAM END OF THE PIPE LINE.
- ALL PVC SEWER PIPES SHALL BE IPEX RING-TITE SDR 35, OR SIMILAR APPROVED.
- ALL SEWER PIPE AND GASKETS SHALL CONFORM TO ASTM 3034 AND ASTM F879.
- ALL NEW SEWER MANHOLES SHALL HAVE KOR-N-SEAL CONNECTIONS, TYPICAL OR EQUAL.
- BACKFILL MATERIAL SHALL BE PLACED IN LAYERS NOT TO EXCEED 12" IN HEIGHT WHEN INSTALLED UNDER LANDSCAPED AREAS ONLY. INSTALLATIONS UNDER PAVEMENT REQUIRE BACKFILL MATERIAL TO BE PLACED IN LAYERS NOT TO EXCEED 6" IN HEIGHT. THESE LAYERS SHALL BE COMPACTED TO 95% MAXIMUM DENSITY (AASHTO T100). SUITABLE BACKFILL SHALL BE FREE OF LOAM, CLAY, ORGANIC MATTER AND PARTICLES LARGER THAN 2 INCHES IN DIAMETER.
- SEWER PIPE TRENCHES SHALL BE BEDDED WITH CRUSHED STONE OR SCREENED GRAVEL. THESE MATERIALS MUST CONFORM TO RIDOT STANDARD M.01.09 TYPE II MATERIAL.
- WATER PIPE TRENCHES MUST BE BEDDED WITH SAND CONTAINING NO PARTICLES LARGER THAN 3/8". THIS MATERIAL MUST CONFORM TO AASHTO M6 REQUIREMENTS.
- UTILITY INSTALLATIONS SHALL CONFORM TO ALL REQUIREMENTS OF THE NEWPORT WATER AND DEPARTMENT OF UTILITIES RULES AND REGULATIONS.
- TRENCHING FOR SEWER SERVICE SHALL BE ACCOMPLISHED WITH MINIMAL LEDGE BLASTING.



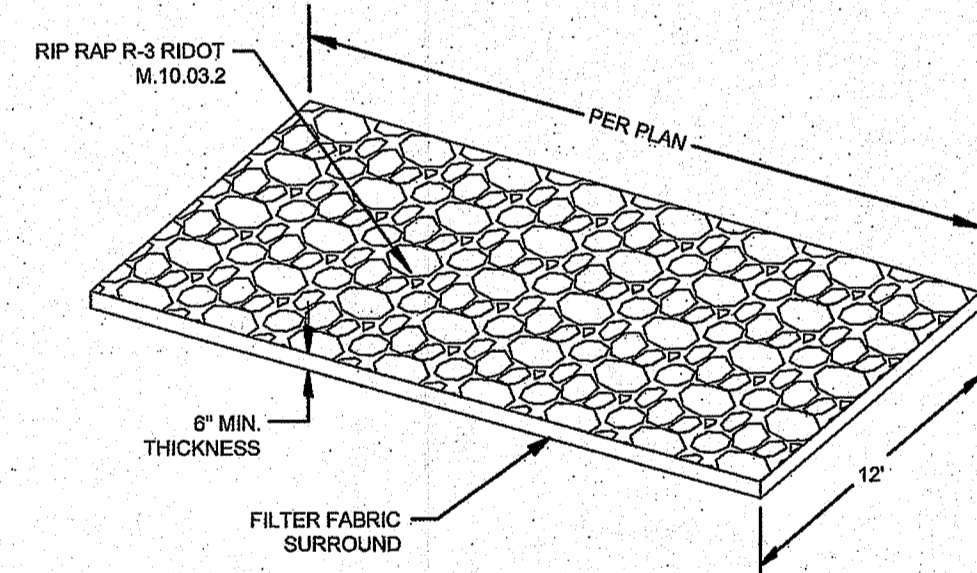
MAIN DRIVEWAY SECTION
SCALE: NOT TO SCALE



- SET POSTS AND EXCAVATE A 4" X 4" TRENCH UPSLOPE ALONG THE LINE OF POSTS.
- STAPLE FILTER FABRIC TO THE POSTS AND EXTEND INTO TRENCH.
- BACK FILL AND COMPACT THE EXCAVATED SOIL INTO THE TRENCH.

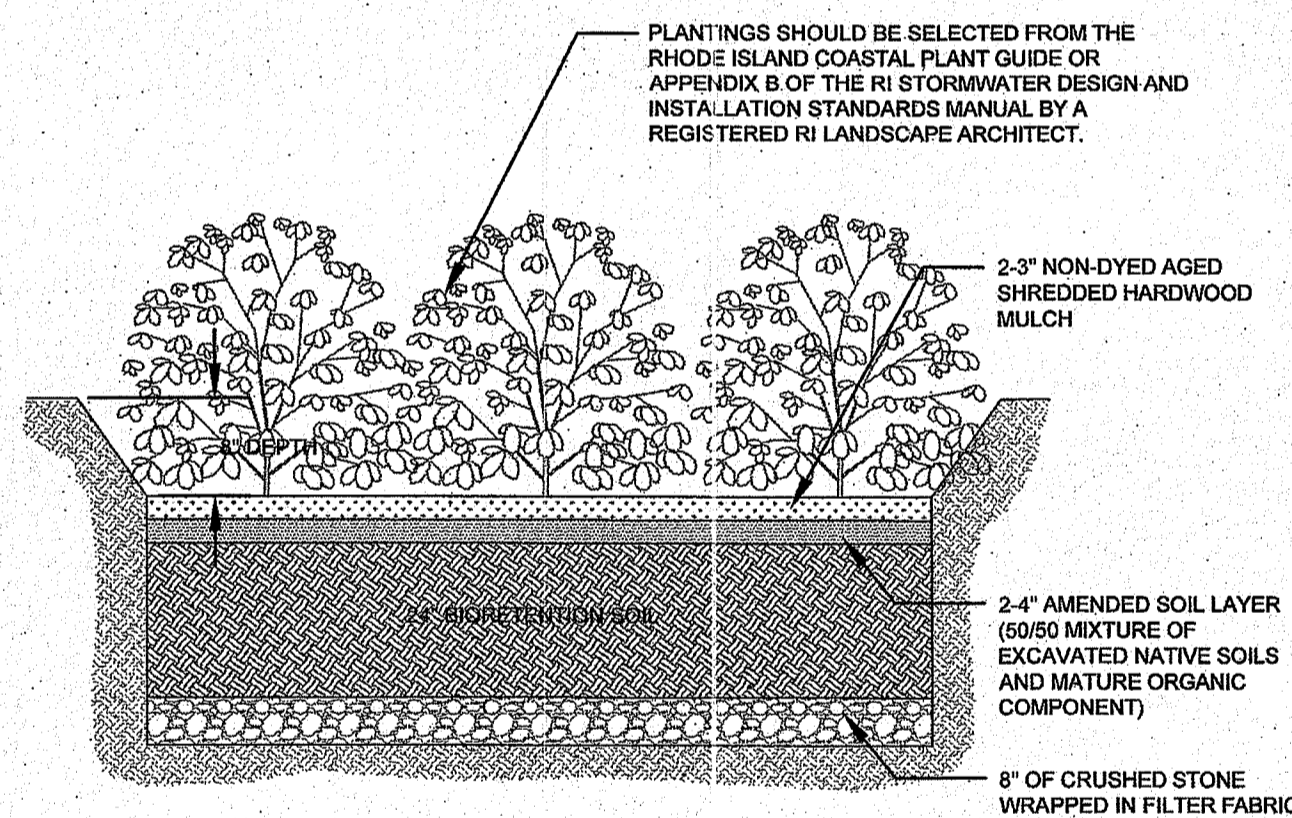


SILT FENCE
SCALE: NOT TO SCALE



NOTE: UPON REMOVAL OF TEMPORARY CONSTRUCTION ENTRANCE, THE AREAS SHALL BE LOAMED WITH 6 INCHES OF MATERIAL AND SEEDED.

CONSTRUCTION ENTRANCE DETAIL
SCALE: NOT TO SCALE



NOTES:

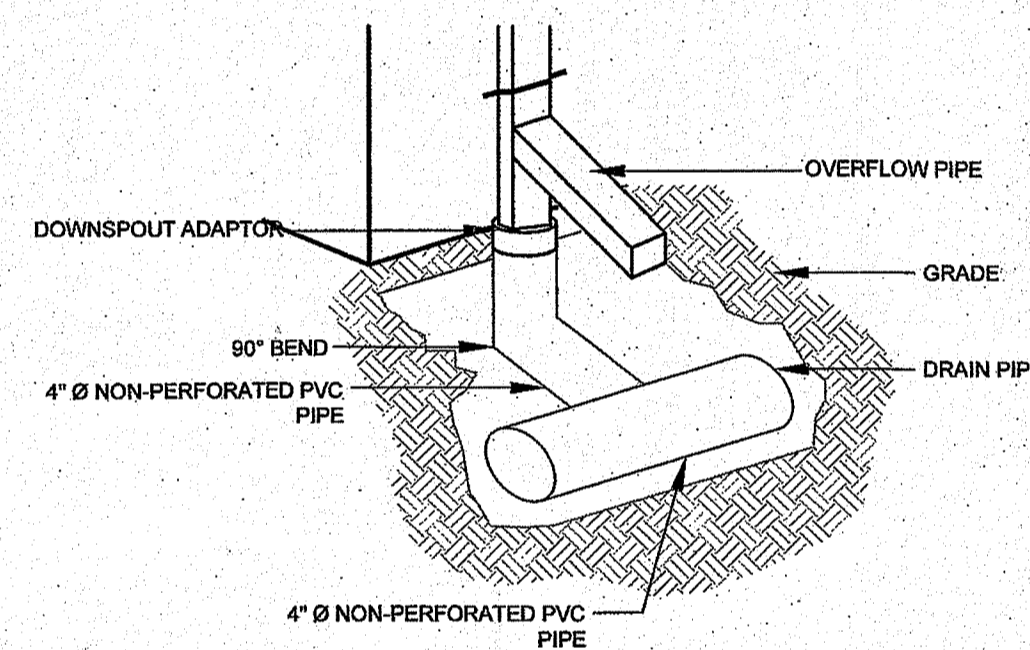
- A CRUSHED STONE ENTRANCE SHALL BE INSTALLED AT INFLOW TO PREVENT CHANNELING.
- DOWNHILL SIDE OF GARDEN SHALL BE BERMED TO PROVIDE THE NECESSARY DEPTH.
- THE RAIN GARDEN CROSS SECTION PROVIDES FOR FULL DEPTH BIORETENTION SOIL OVER CRUSHED STONE TO REPLACE THE NATIVE MATERIAL TYPICALLY REQUIRED BY THE RHODE ISLAND SINGLE FAMILY STORMWATER GUIDANCE DOCUMENT.

WATER QUALITY CALCULATIONS

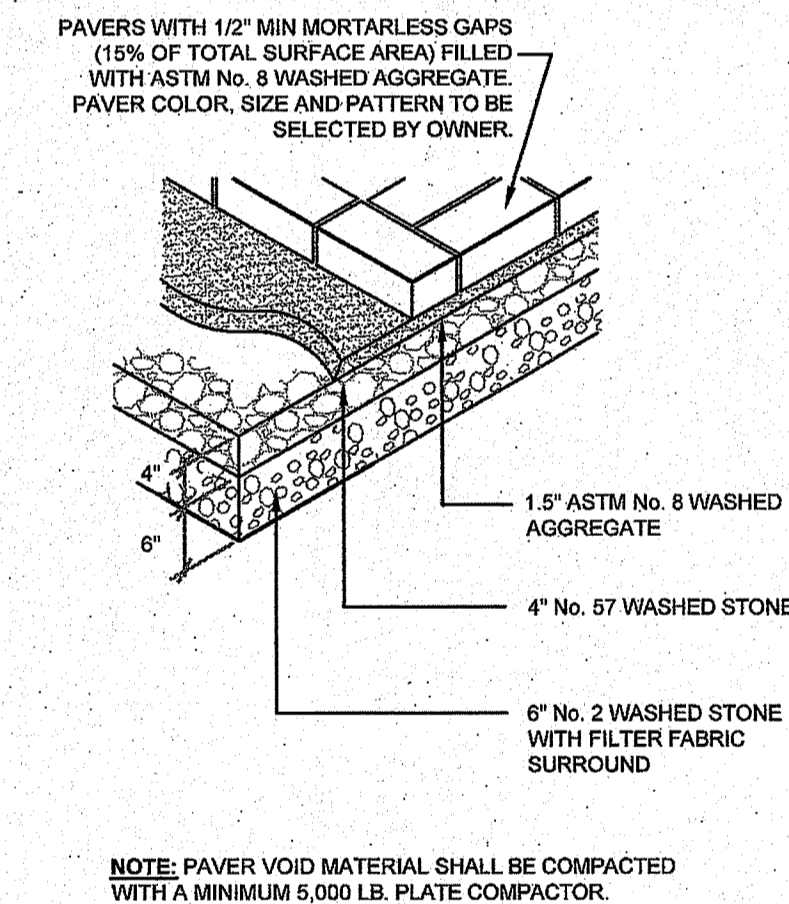
PROPOSED IMPERVIOUS (SQUARE FEET)	
RESIDENCE	4,000
DETACHED GARAGE	600
POOL HOUSE	1,000
TOTAL	5,600
NET CHANGE IN IMPERVIOUS AREA = 5,600 SF	

PROPOSED NEW IMPERVIOUS = 5,600 SF
WATER QUALITY REQ. FOR IMPERVIOUS = 5,600 SF / 12 = 467 CF
PER THE RHODE ISLAND STORMWATER MANAGEMENT GUIDANCE FOR INDIVIDUAL SINGLE FAMILY RESIDENTIAL DEVELOPMENT, EIGHT (8)\"/>

TYPICAL RAIN GARDEN CROSS SECTION
SCALE: NOT TO SCALE



ROOF DOWNSPOUT DETAIL
SCALE: NOT TO SCALE



TYPICAL PERVIOUS PAVER MOTOR COURT SECTION
SCALE: NOT TO SCALE

No.	Revision	Date	App.		
Designed By:	GES	Drawn by:	JJR	Checked by:	GES
Scale:	AS SHOWN	Date:	13NOV19		
Project Title:					
S. CARRABBA RESIDENCE					
A.P. 41 LOT 411					
SUBDIVISION LOT C					
BEACON HILL ROAD / BRENTON ROAD					
NEWPORT, RHODE ISLAND					
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Sheet				2 of 2	
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DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
REVIEWED SITE PLAN APPLICATION NO.: 19-0837
DATED MAR 12 2019
SEE LETTER OF SAME DATE.
Nancy L. Freeman