

PROPOSED SITE PLAN
FOR
**STILLWATER PARK
INDUSTRIAL FACILITY**

A.P. 46 - LOT 287

LOCATED AT
**15 APPIAN WAY
SMITHFIELD, RHODE ISLAND**

PREPARED FOR
APPIAN WAY PROPERTY, LLC
**40 BYRON RANDALL ROAD
NORTH SCITUATE, RHODE ISLAND 02857**

JANUARY 12, 2022

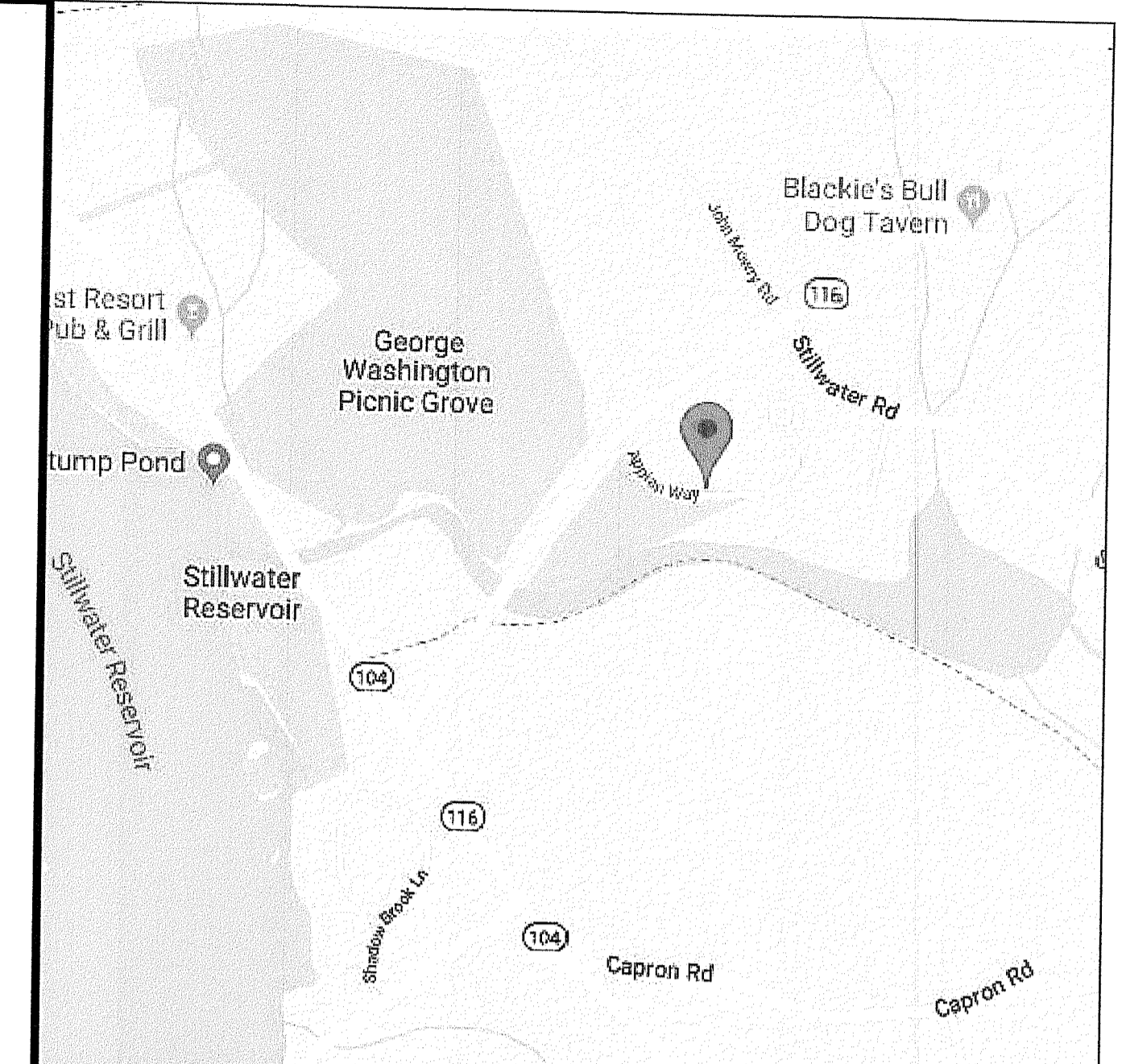
PREPARED BY
GARY C. LAMOND, PE, LLC
CIVIL ENGINEERS

194 HATCHERY ROAD NORTH KINGSTOWN, RI 02852

TEL: (401) 294-6808 E-MAIL: garylamond@msn.com

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED MAR - 3 2022 FILE # 19-0355
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

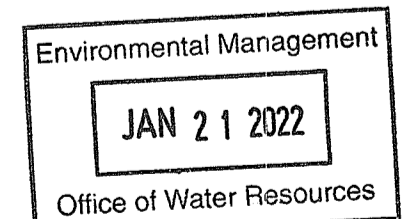
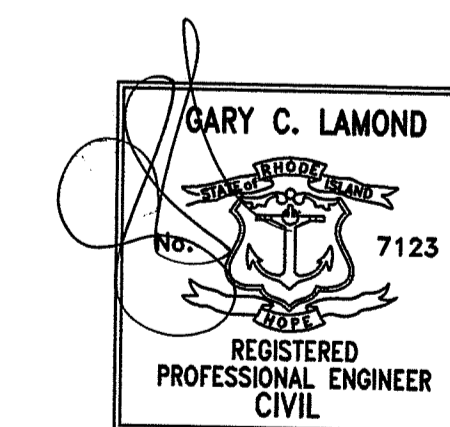
Nancy L. Freeman



LOCATION MAP
NOT TO SCALE

LIST OF DRAWINGS

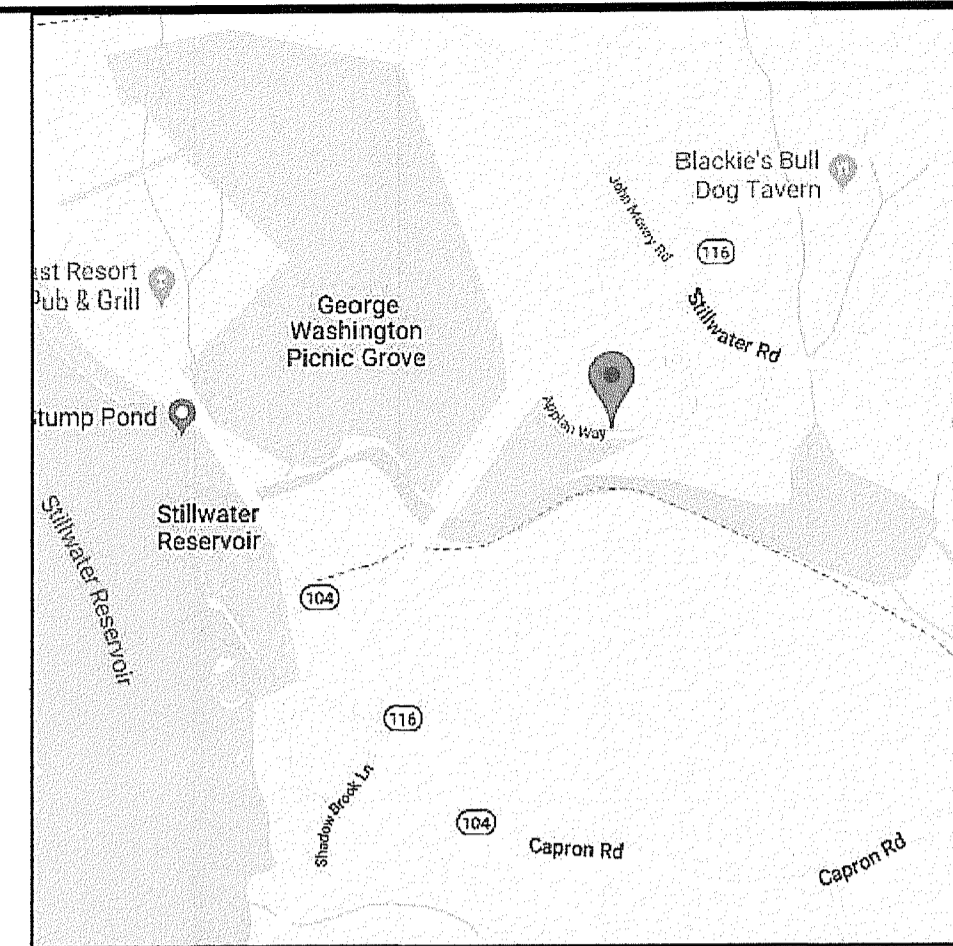
- C1 COVER SHEET
- C2 GENERAL NOTES & LEGEND
- C3 EXISTING CONDITIONS PLAN
- C4 PROPOSED SITE PLAN
- C5 DETAIL SHEET 1
- C6 DETAIL SHEET 2
- C7 DETAIL SHEET 3
- C8 SESC PLAN
- C9 EXISTING WATER SHED MAP
- C10 PROPOSED WATERSHED MAP



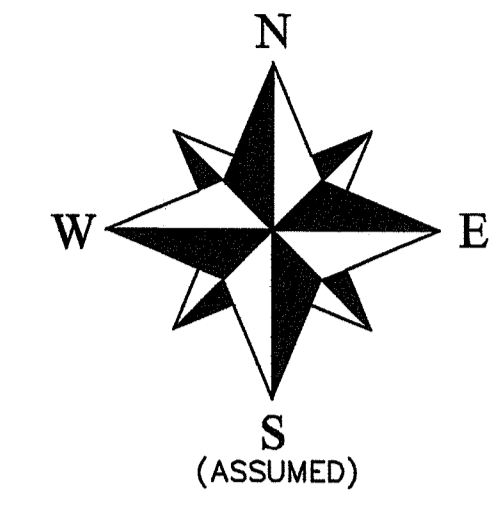
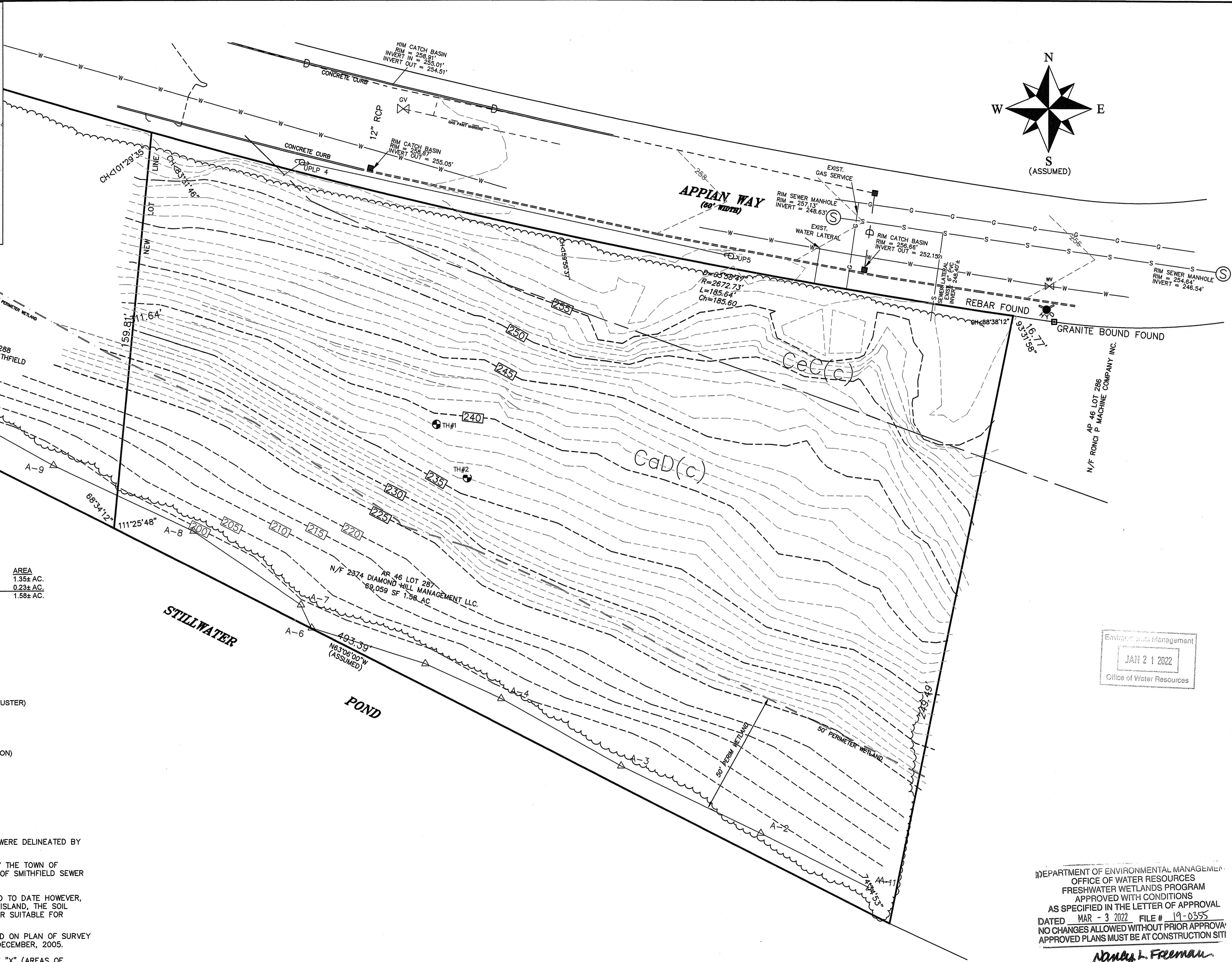
PROJECT NO: 2013038

C1

Sheet Number: 1 of 10



LOCATION MAP

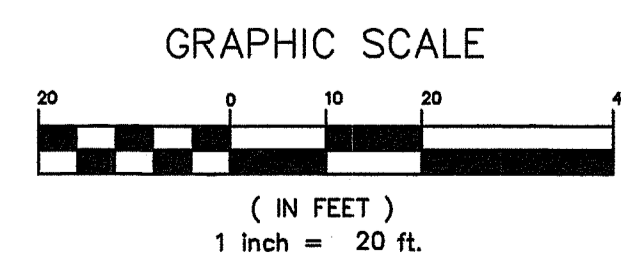


SOIL TYPE	AREA
CaD - CANTON-CHARLTON-ROCK OUTCROP COMPLEX	1.35± AC.
CeC - CANTON AND CHARLTON SANDY LOAMS	0.23± AC.
TOTAL	1.58± AC.

SITE DATA
 AP 46 LOT 287
 LOT AREA: 1.58 ACRES
 TOTAL PROJECT AREA: 43,540± SF

ZONING REQUIREMENTS
INDUSTRIAL
 MIN. AREA REQUIRED - 200,000 SF
 MIN. AREA REQUIRED - 40,000 SF (INDUSTRIAL CLUSTER)
 LOT WIDTH & FRONTAGE - 300 FEET
 MIN. FRONT YARD - 100 FEET
 MIN. SIDE YARD - 40 FEET
 MIN. REAR YARD - 50 FEET
 MAX. LOT COVERAGE - 50% (STRUCTURES ONLY)
 (SEE REGULATIONS FOR ADDITIONAL INFORMATION)

- NOTES:**
1. LOCATION OF WETLANDS AND WATERCOURSES WERE DELINEATED BY NATURAL RESOURCE SERVICES, INC.
 2. THE PROPOSED BUILDING WILL BE SERVICED BY THE TOWN OF SMITHFIELD WATER SUPPLY BOARD AND TOWN OF SMITHFIELD SEWER AUTHORITY.
 3. SOIL EVALUATIONS HAVE NOT BEEN PERFORMED TO DATE HOWEVER, BASED ON THE NRCS SOIL SURVEY OF RHODE ISLAND, THE SOIL CLASSIFICATIONS PRESENT ON THE SITE APPEAR SUITABLE FOR DEVELOPMENT.
 4. PERIMETER BOUNDARY LINE INFORMATION BASED ON PLAN OF SURVEY PREPARED BY MARSH & LONG SURVEYING IN DECEMBER, 2005.
 5. THE EXISTING SITE IS LOCATED IN FLOOD ZONE "X" (AREAS OF MINIMAL FLOOD RISK) AS DETERMINED ON F.I.R.M. FLOOD INSURANCE RATE MAP FOR THE TOWN OF SMITHFIELD, RHODE ISLAND ON COMMUNITY PANEL NUMBER 44007C0166H, EFFECTIVE DATE OCTOBER 2, 2015.
 6. PROPOSED IMPROVEMENTS ARE NOT LOCATED WITHIN RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL NATURAL HERITAGE AREAS.
 7. SITE TOPOGRAPHY AND UTILITY LOCATIONS BASED ON A PLAN ENTITLED STILLWATER PARK OFFICE BUILDING, PLAT 46 LOT 287 APPIAN WAY, SMITHFIELD, RHODE ISLAND FOR DECA REAL ESTATE CO., INC., ONE COMMERCE WAY, JOHNSTON, RHODE ISLAND SCALE 1" = 20' BY CATALDO & ASSOCIATES INC.



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Nancy L. Freeman

Environmental Management
 JAN 21 2022
 Office of Water Resources

GARY C. LAMOND, PE, LLC
 CIVIL ENGINEERING LAND PLANNING PERMITTING

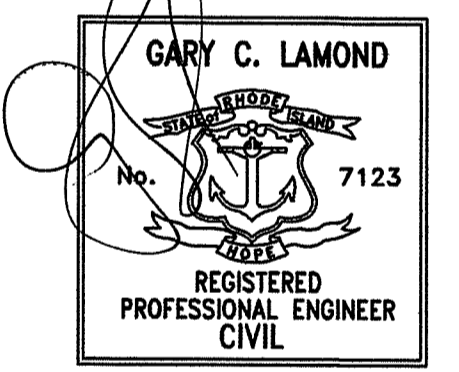
194 HATCHERY ROAD
 NORTH KINGSTOWN, RHODE ISLAND 02852
 (401) 294-8808

garylamond@man.com

Project:
STILLWATER PARK OFFICE BUILDING
PLAT 46 - LOT 287

15 APPIAN WAY
SMITHFIELD,
RHODE ISLAND

Prepared For:
APPIAN WAY PROPERTY, LLC
 40 BYRON RANDALL ROAD
 NORTH SCITUATE
 RHODE ISLAND



Issue Date: 12-3-19

Revisions		
No.	Date	Description
1	1/12/22	MODIFICATION APPLIC.

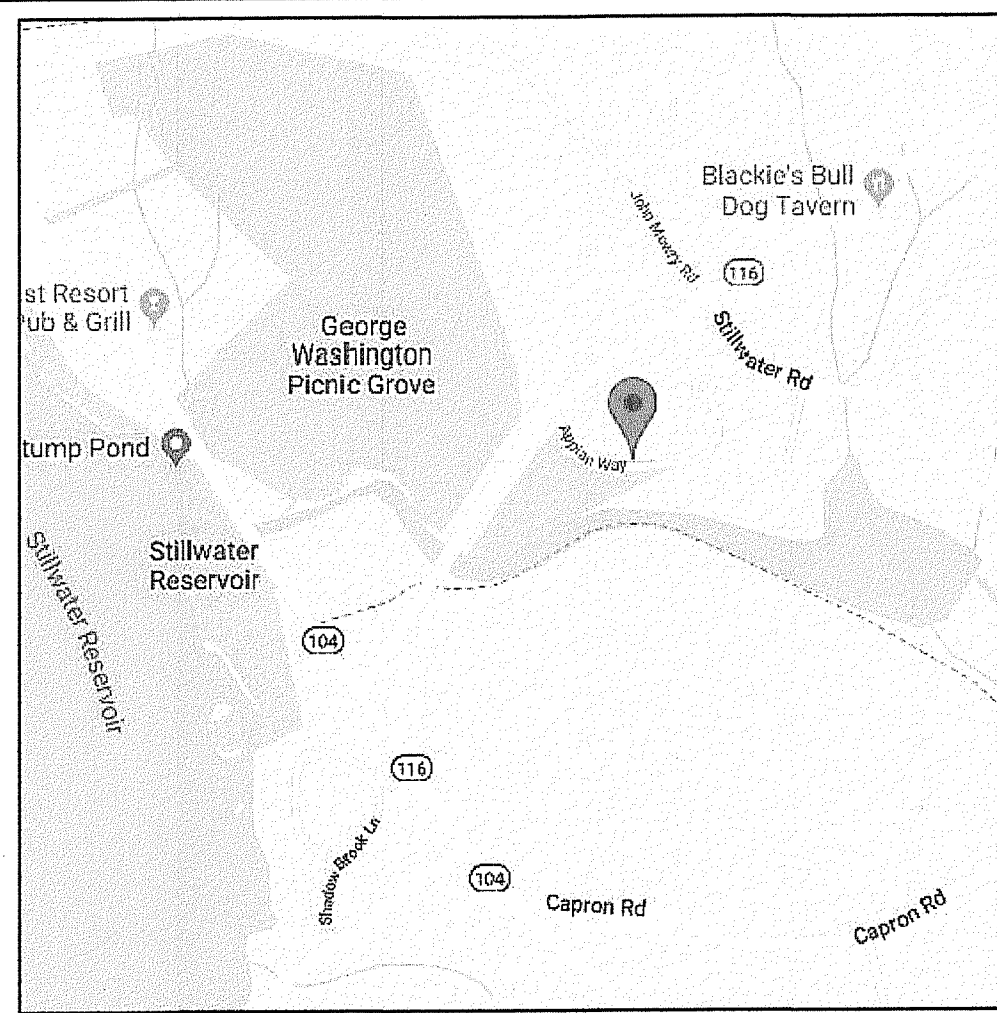
Project Number: 2013038
 Scale: AS NOTED
 Designed By: GCL
 Drawn By: GCL
 Sheet Title:

EXISTING CONDITIONS

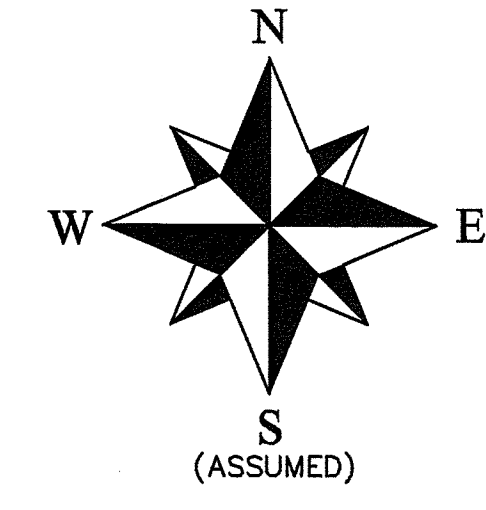
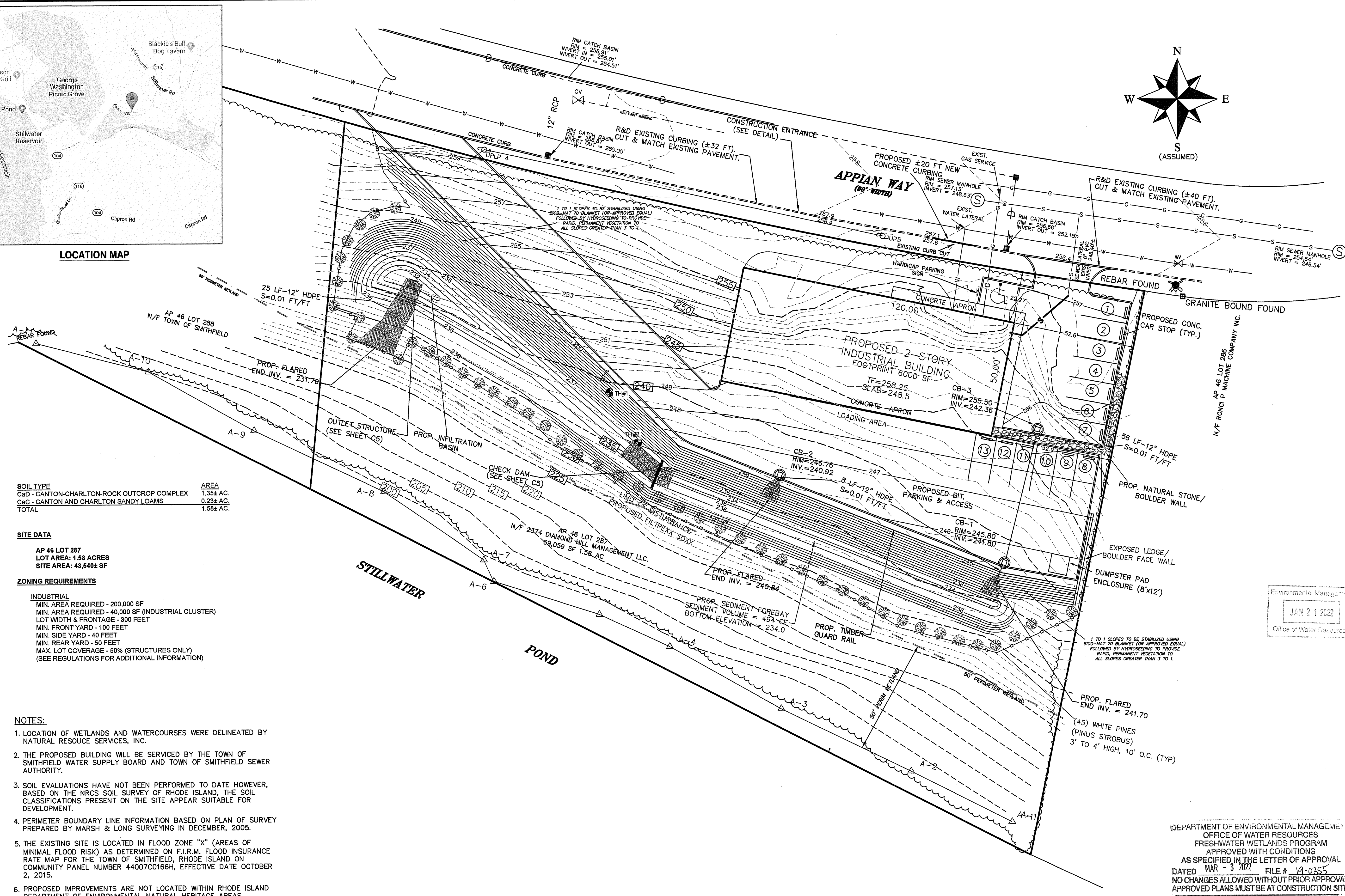
C3

Sheet Number: 3 of 10

GIS data obtained from RIGIS and Town of No. Kingstown



LOCATION MAP

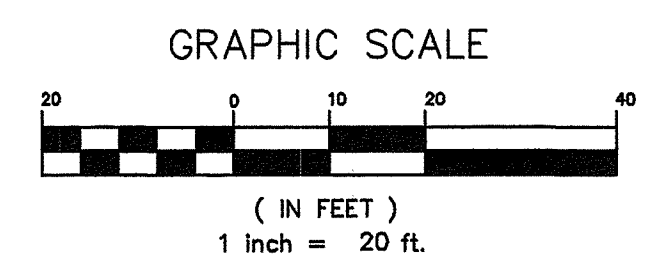


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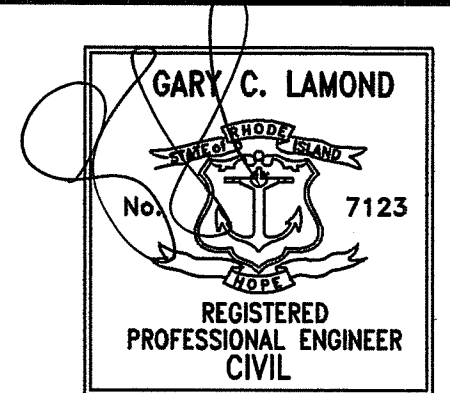
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 (401) 294-8808

Project:
STILLWATER PARK OFFICE BUILDING
PLAT 46 - LOT 287
15 APPIAN WAY
SMITHFIELD, RHODE ISLAND

Prepared For:
APPIAN WAY PROPERTY, LLC
 40 BYRON RANDALL ROAD
 NORTH SCITUATE
 RHODE ISLAND



Issue Date: 06-18-21

Revisions		
No.	Date	Description
1	1/12/22	MODIFICATION APPLIC.

Project Number: 2013038
 Scale: AS NOTED
 Designed By: GCL
 Drawn By: GCL
 Sheet Title:

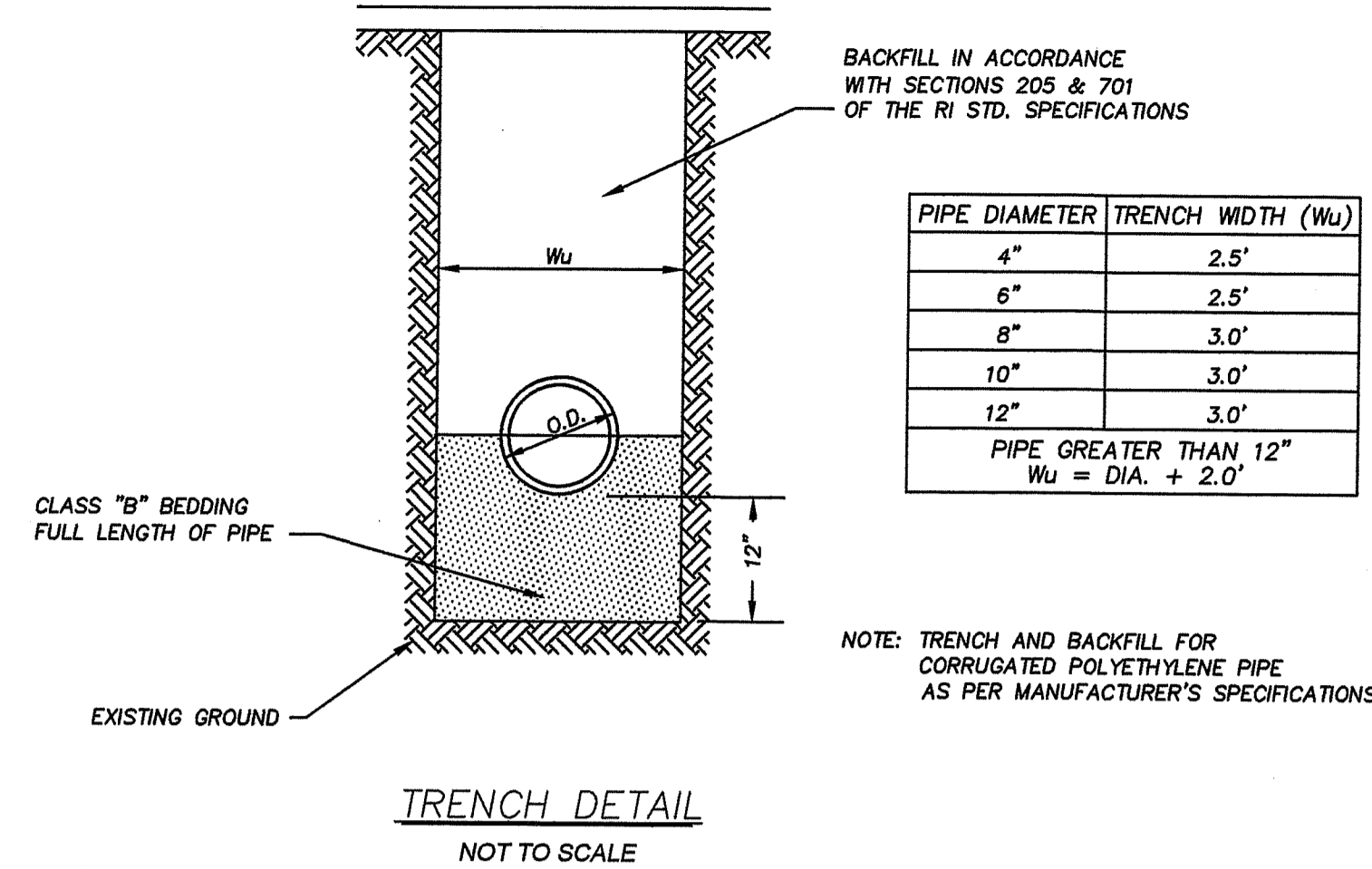
PROPOSED CONDITIONS
REVISED CONCEPT

C4

Sheet Number: 4 of 10

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
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Only J. Freeman



TRENCH DETAIL
NOT TO SCALE

BioD-Mat® 70
Semi-Permanent Woven Brown Bristle Coir Mat
Sri Lanka patent # 11159
Completely Wildlife Safe!

The Highest Quality Woven Coir Mat on the Market!

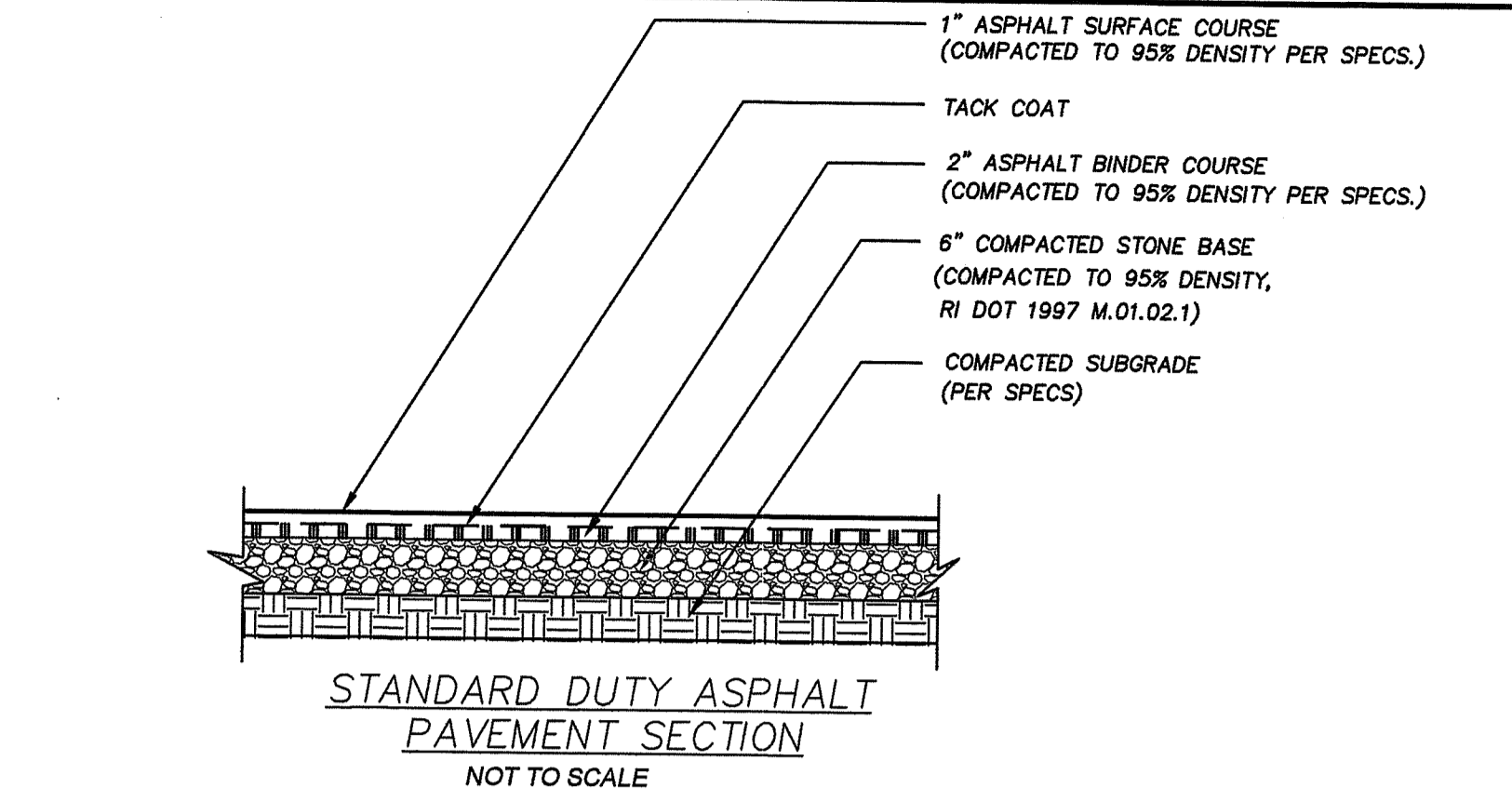
Description
The BioD-Mat® 70 blanket is woven from machine twisted bristle coir twines, the best quality coir fiber. This 100% biodegradable, strong and durable blanket provides higher erosion resistance while supporting growth and development of vegetation. These semi-permanent mats have functional field longevity of 4-6 years. If the vegetation fails to establish, the open weave in the mat allows seeding over the mat. BioD-Mat® 70 blankets are manufactured to conform to the following physical properties.

Specifications

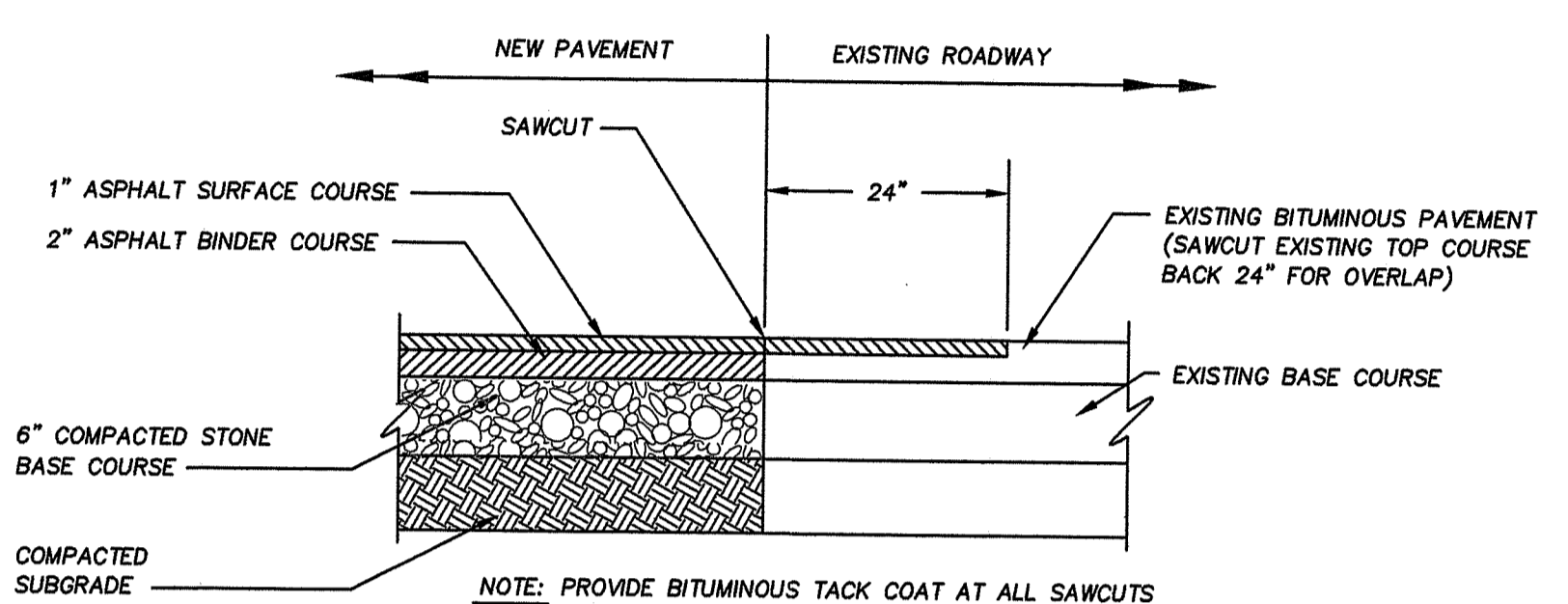
Property	Test Method	BioD-Mat® 70
Weight	ASTM D 3776	23 oz/SY (780 g/m ²)
Wide width tensile strength Wet	ASTM D 4595	1488 lbs/ft (21.7 kN/m) 1032 lbs/ft (15.1 kN/m)
Wide width tensile strength Dry	ASTM D 4595	1740 lbs/ft (25.4 kN/m) 1176 lbs/ft (17.2 kN/m)
Elongation at failure Wet	ASTM D 4595	38%
Machine direction		25%
Cross direction		48%
Open area	Calculated	48%
Thickness	ASTM D 1777	0.35 inch (9 mm)
Recommended shear stress		4.5 lbs/sq. ft. (215N/sq.m.)
Recommended flow		12 fps (3.7m/s)
Recommended slope		1:1
Minimum twine count per foot		27 x 18

BioD-Mat® 70 is available in following roll sizes:
 3.28ft x 83ft (305V) = 1m x 25m (25 sq. m)
 6.56ft x 166ft (1205V) = 2m x 50m (100 sq. m)
 9.84ft x 166ft (1805V) = 3m x 50m (150 sq. m)
 13.1ft x 83ft (1205V) = 4m x 25m (100 sq. m)

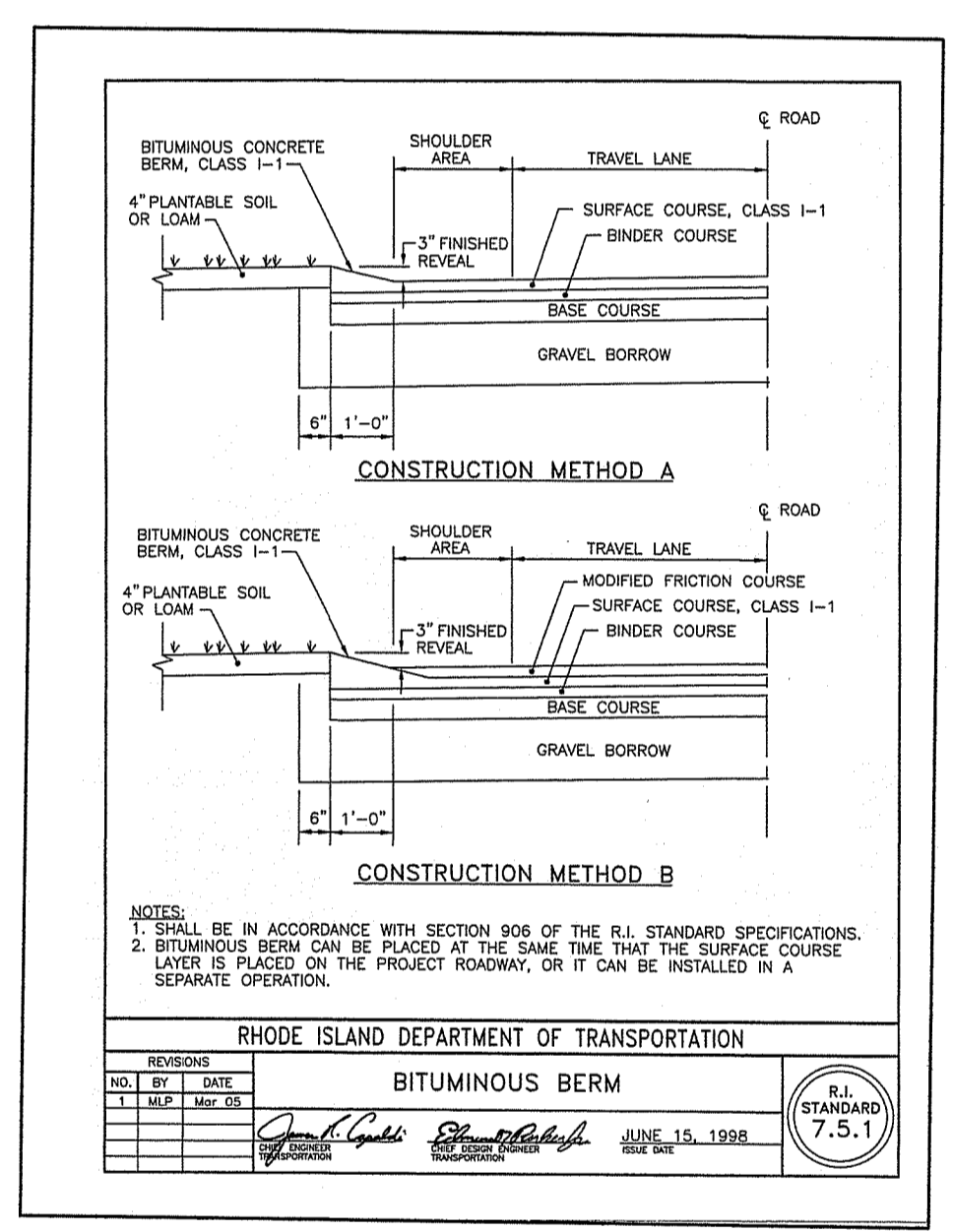
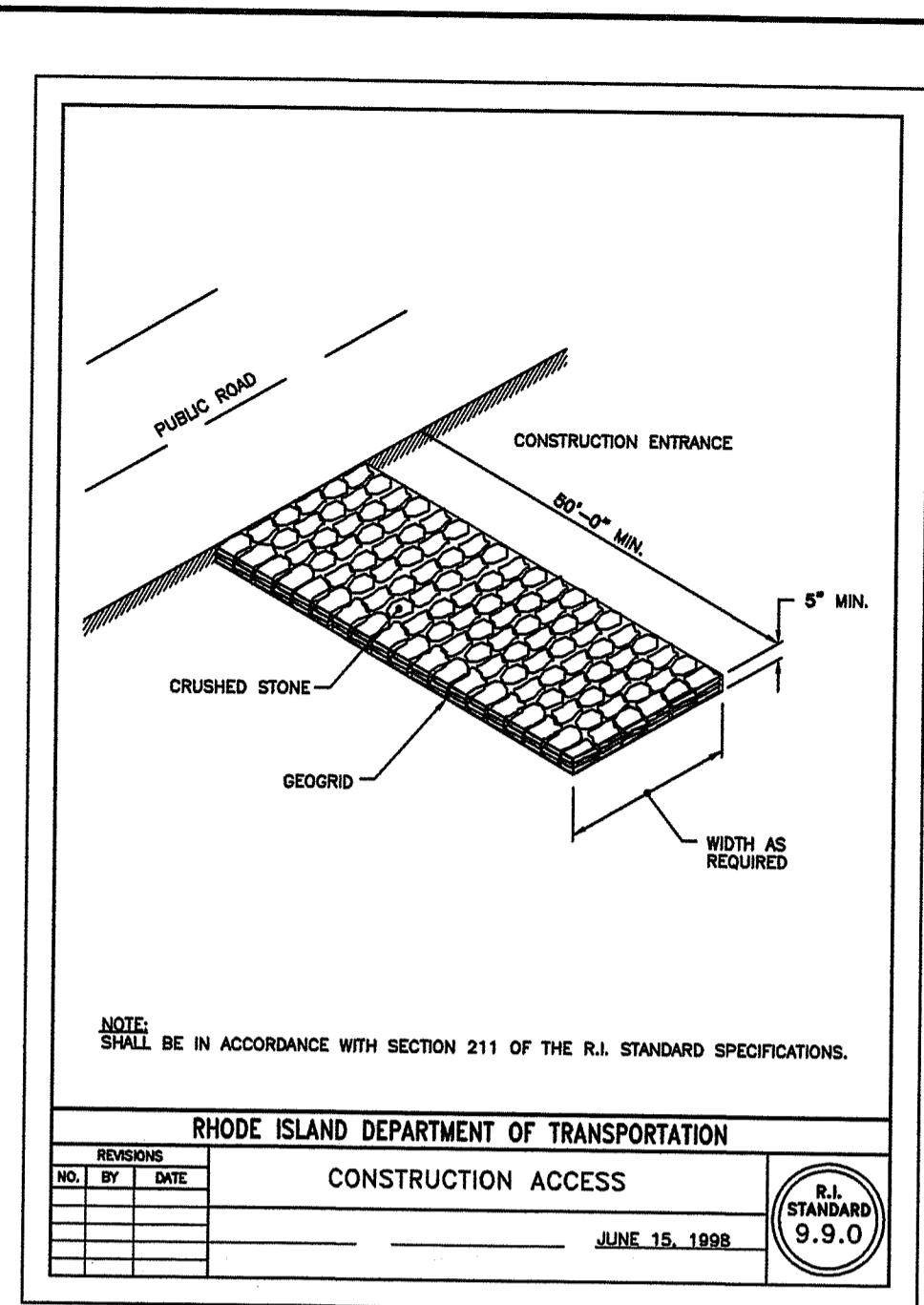
Rolanka
The True Green Solution
155 Andrew Drive, Stockbridge, GA 30281
Tel: 770 506 8211 Fax: 770 506 0391
E-mail: rolanka@rolanka.com Web: www.rolanka.com



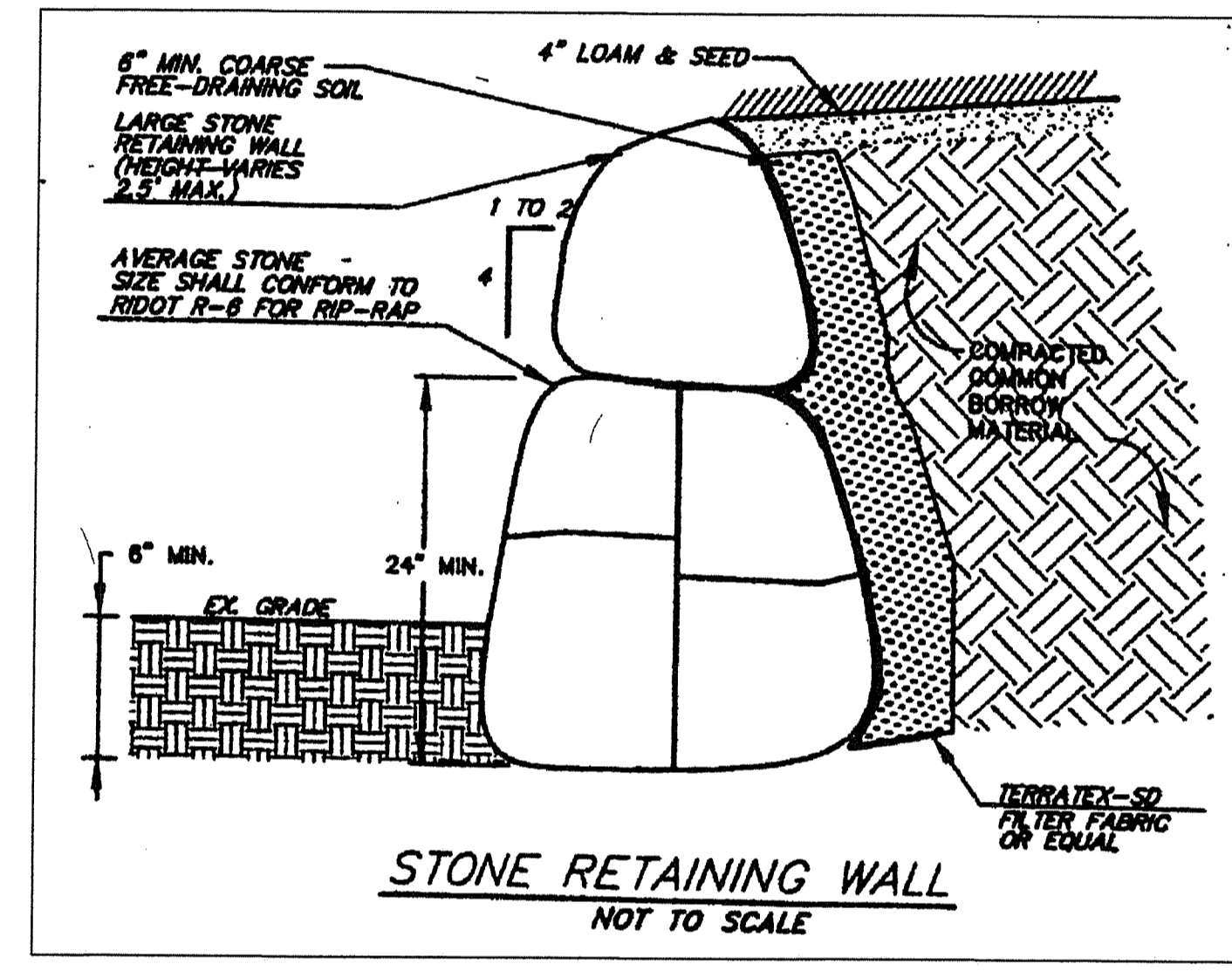
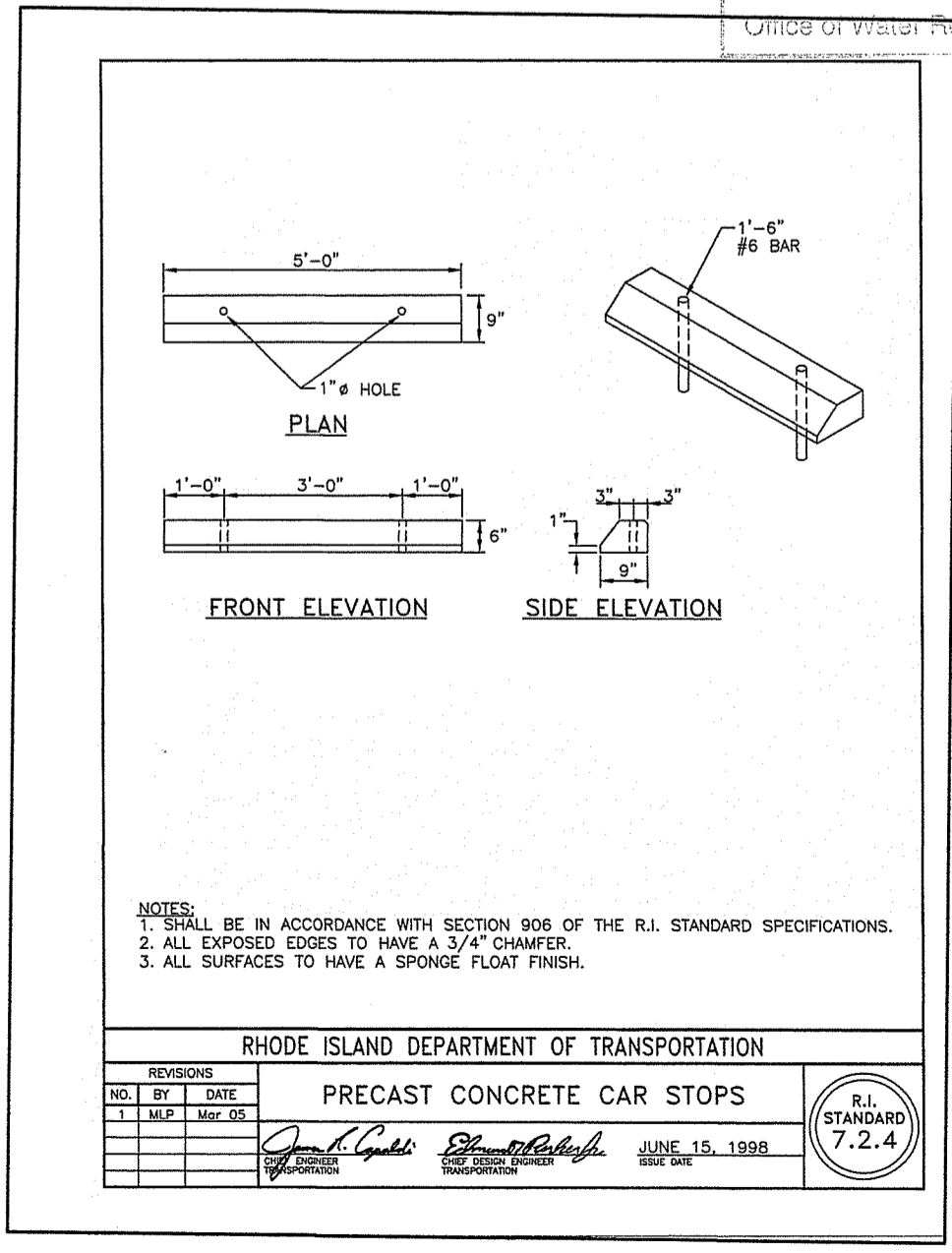
STANDARD DUTY ASPHALT PAVEMENT SECTION
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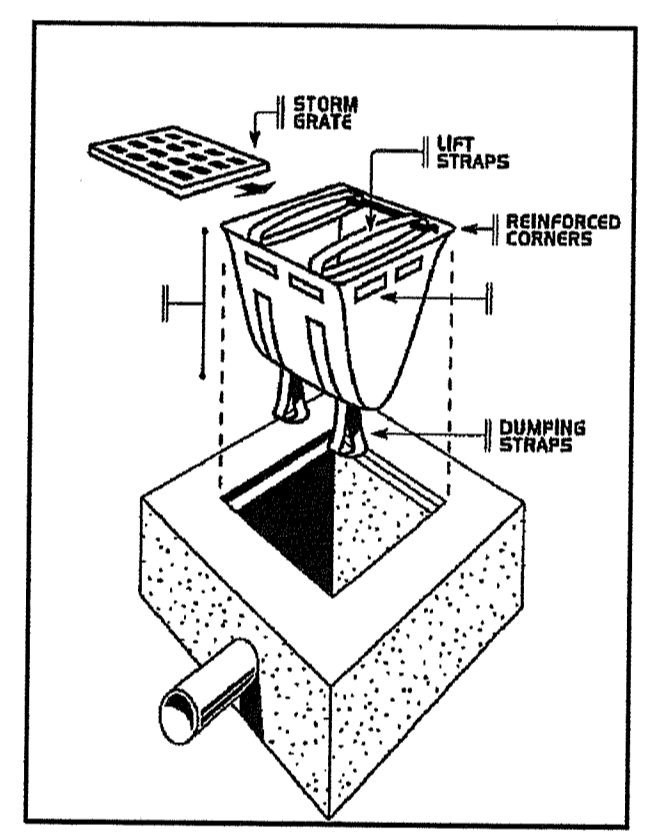
PAVEMENT CUT & MATCH
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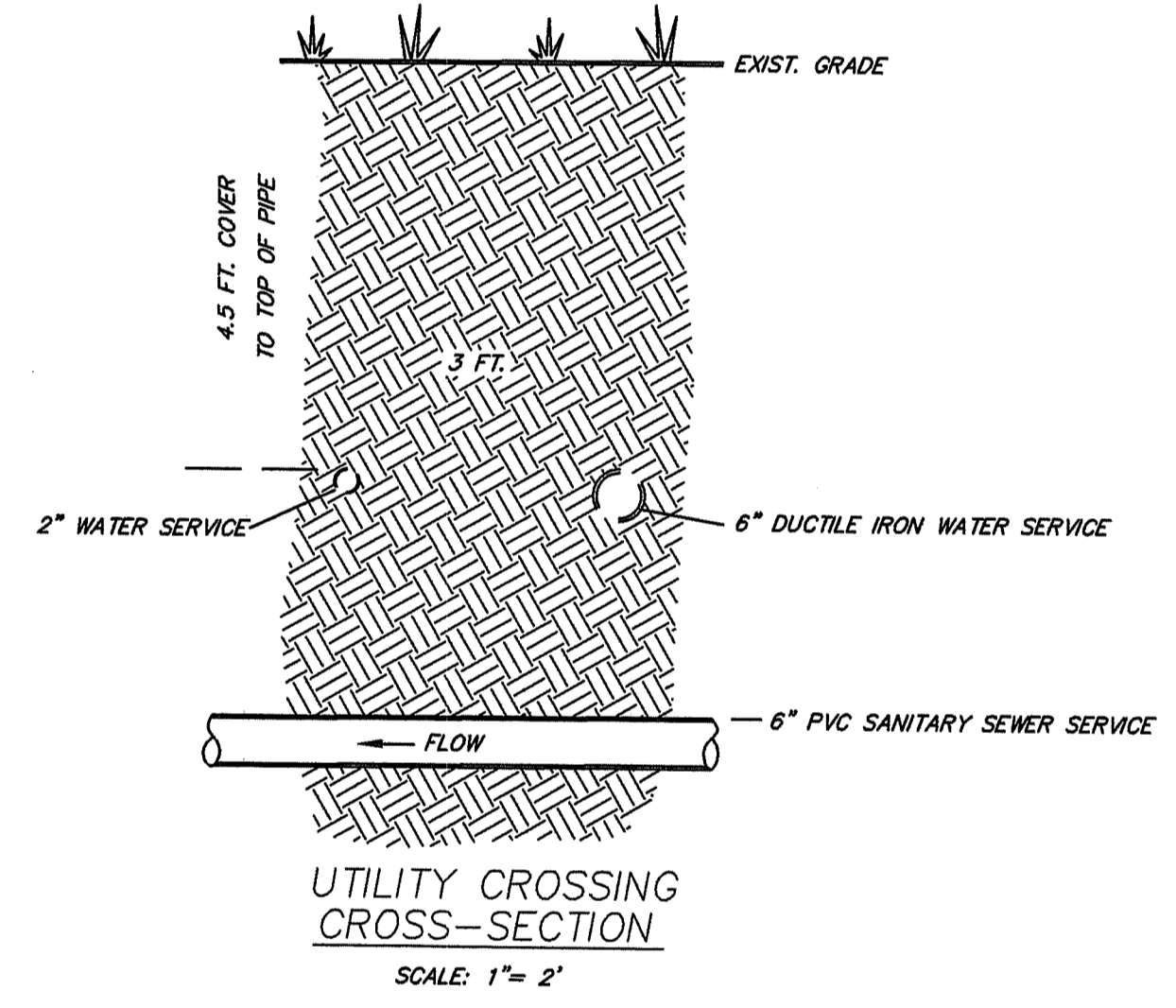
Environmental Management
CRIBS OF WATER RESOURCES
JAN 21 2022



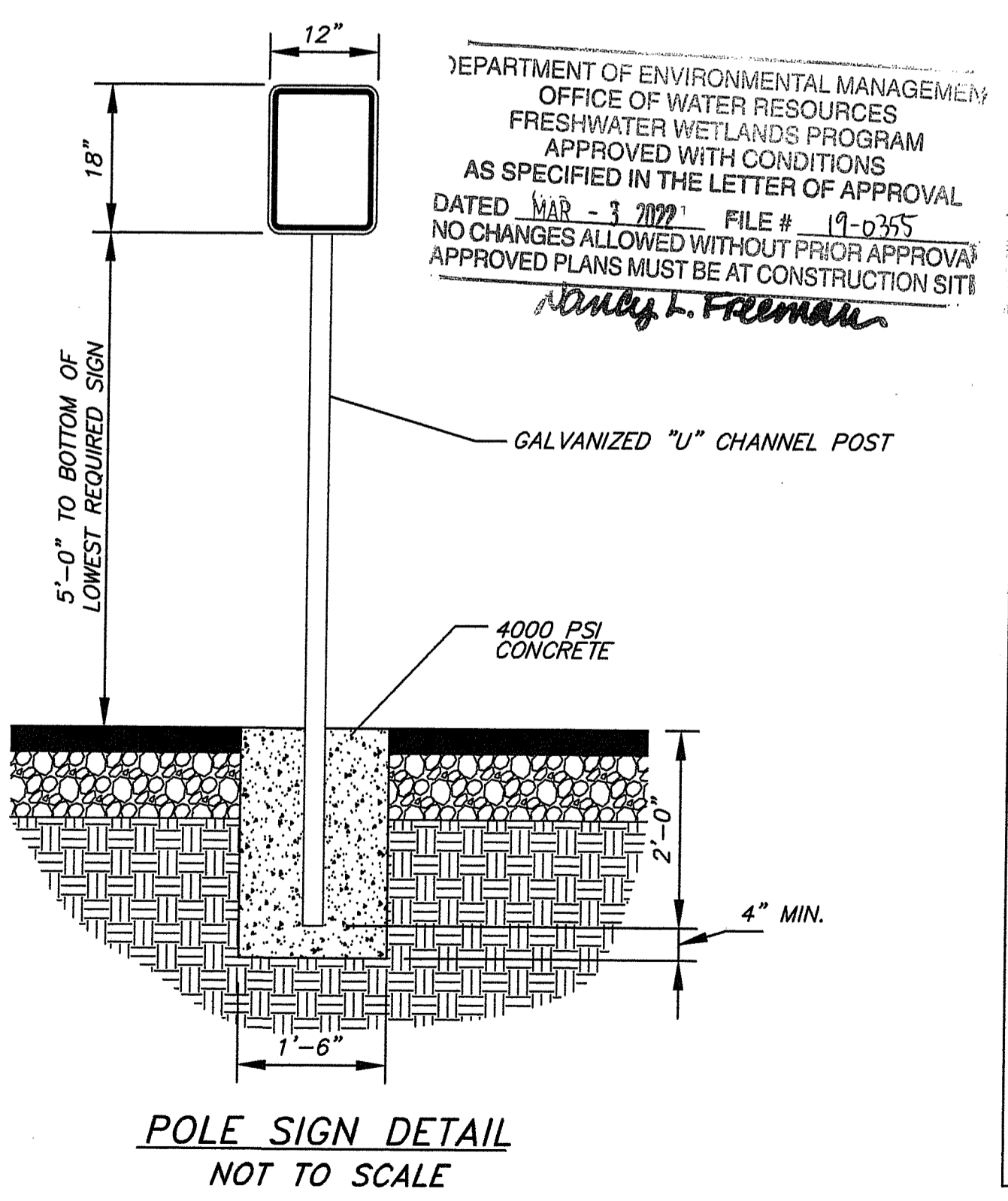
STONE RETAINING WALL
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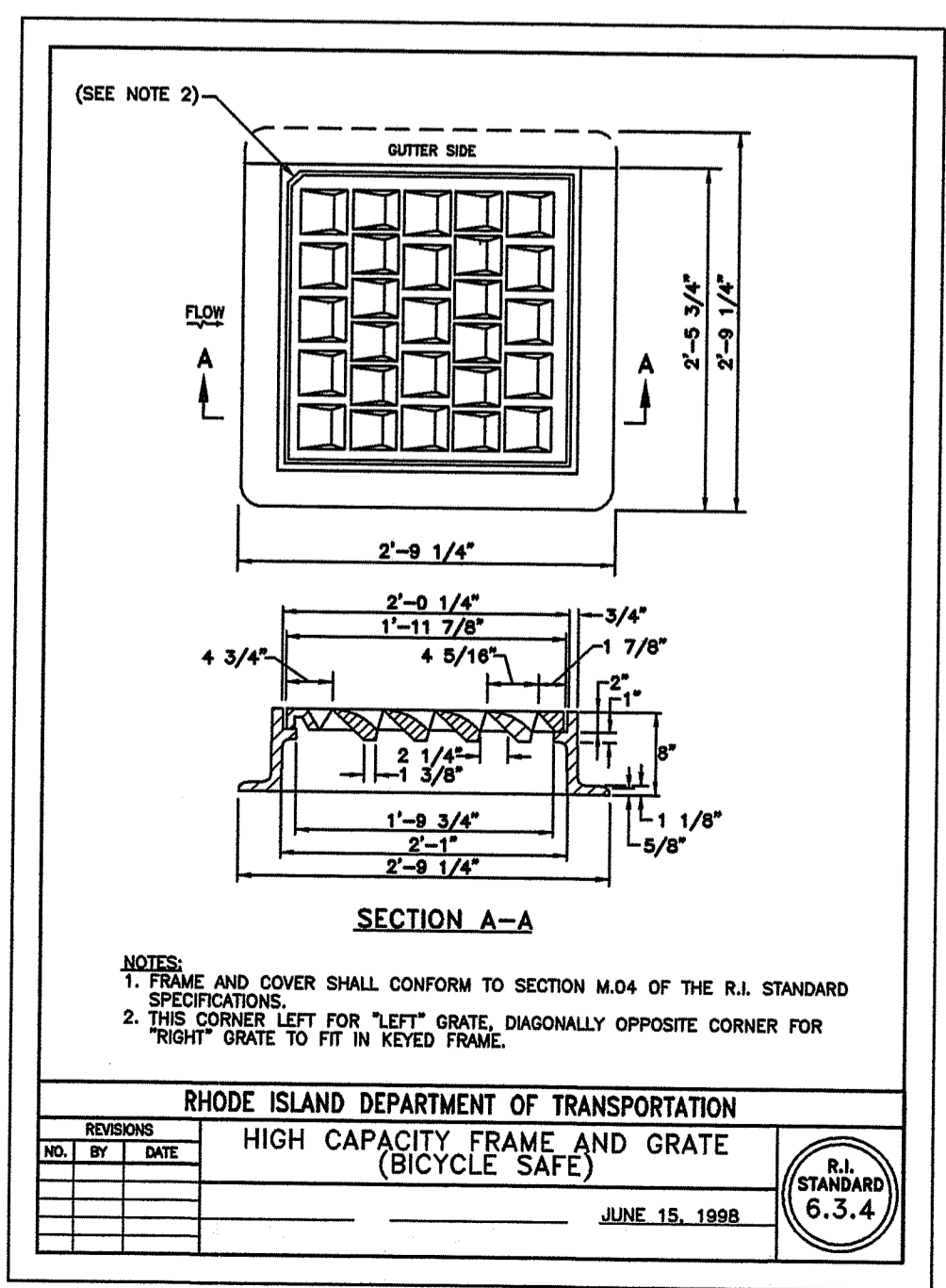
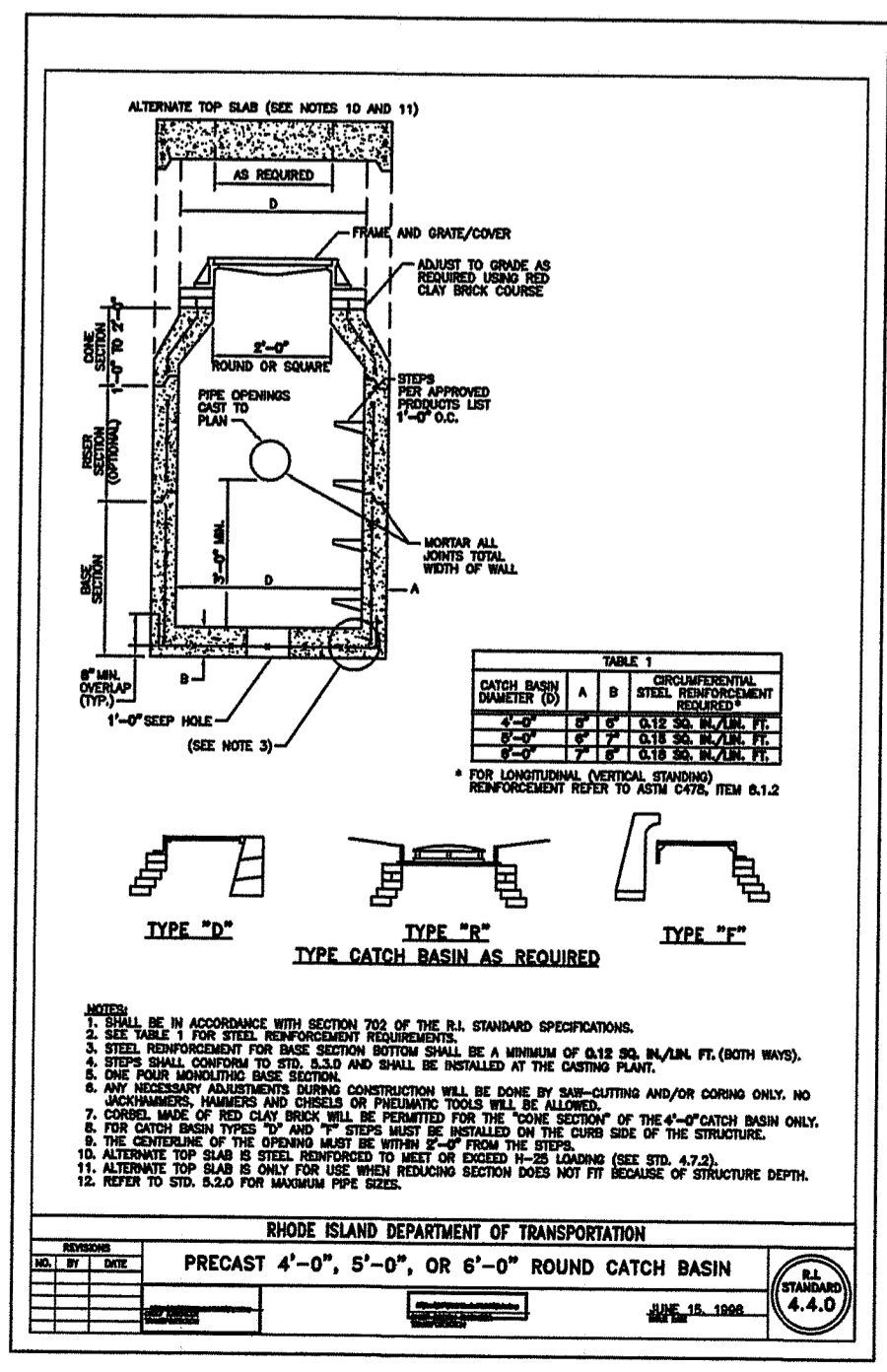
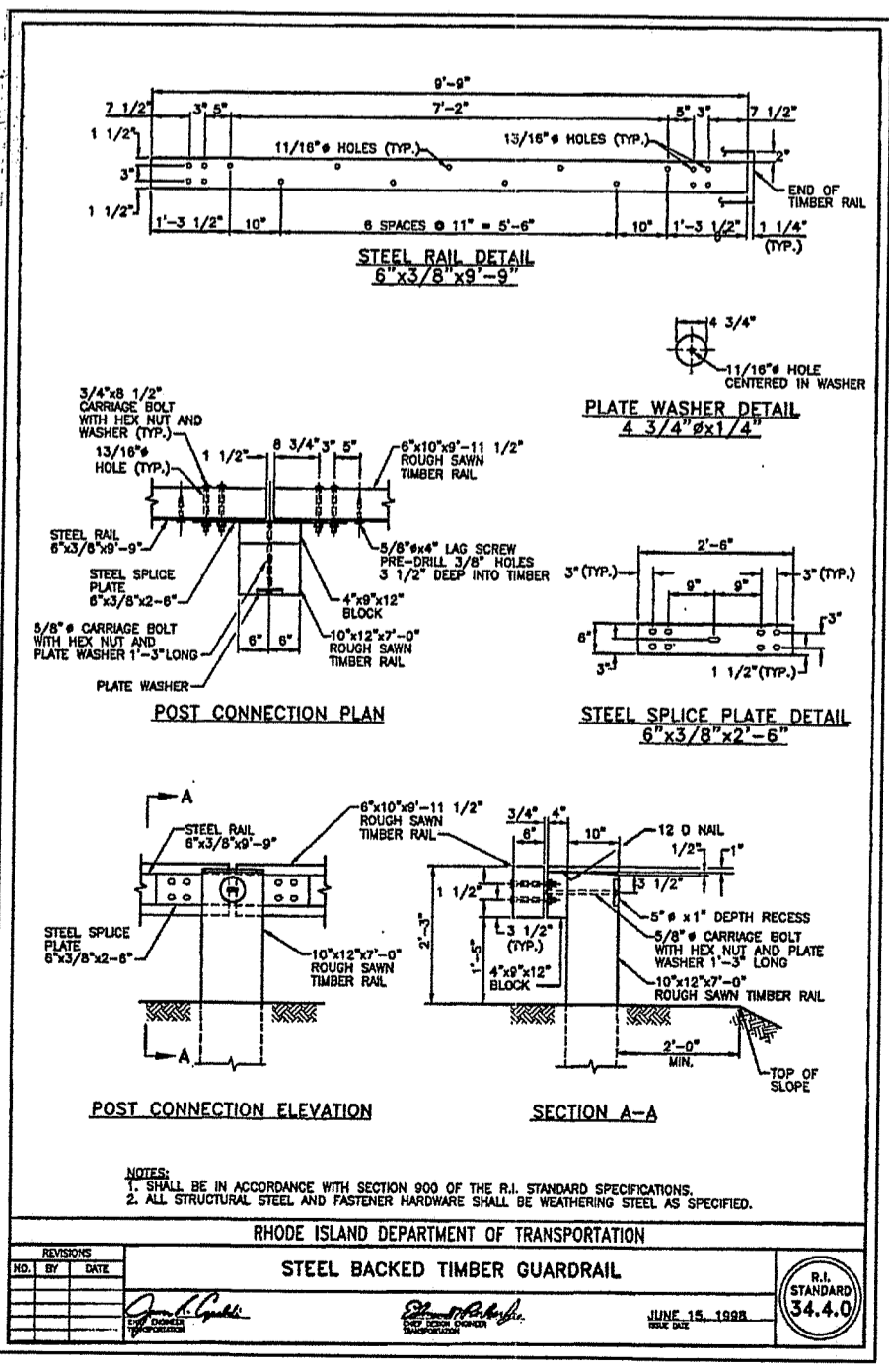
INLET SEDIMENT CONTROL



UTILITY CROSSING CROSS-SECTION
SCALE: 1" = 2'



POLE SIGN DETAIL
NOT TO SCALE



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Project:
STILLWATER PARK OFFICE BUILDING PLAT 46 - LOT 287
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Prepared For:
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40 BYRON RANDALL ROAD NORTH SCITUATE RHODE ISLAND

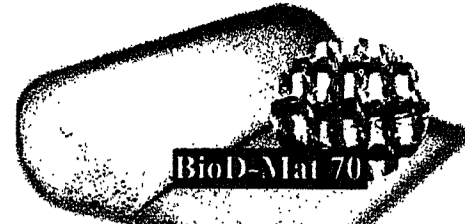
Issue Date: 12-3-19

Revisions		
No.	Date	Description
1	1/12/22	MODIFICATION APPLIC.

Project Number: 2013038
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Drawn By: GCL

Sheet Title:
DETAIL SHEET 1

C5
Sheet Number: 5 of 10



BioD-Mat® 70

Semi-Permanent Woven
Brown Bristle Coir Mat
Sri Lanka patent # 11159
Completely Wildlife Safe!

The Highest Quality Woven Coir Mat on the Market!

Description

The BioD-Mat® 70 blanket is woven from machine twisted bristle coir twines, the best quality coir fiber. This 100% biodegradable, strong and durable blanket provide higher erosion resistance while supporting growth and development of vegetation. These semi-permanent mats have functional field longevity of 4-6 years. If the vegetation fails to establish, the open weave in the mat allows seeding over the mat. BioD-Mat®70 blankets are manufactured to conform to the following physical properties.

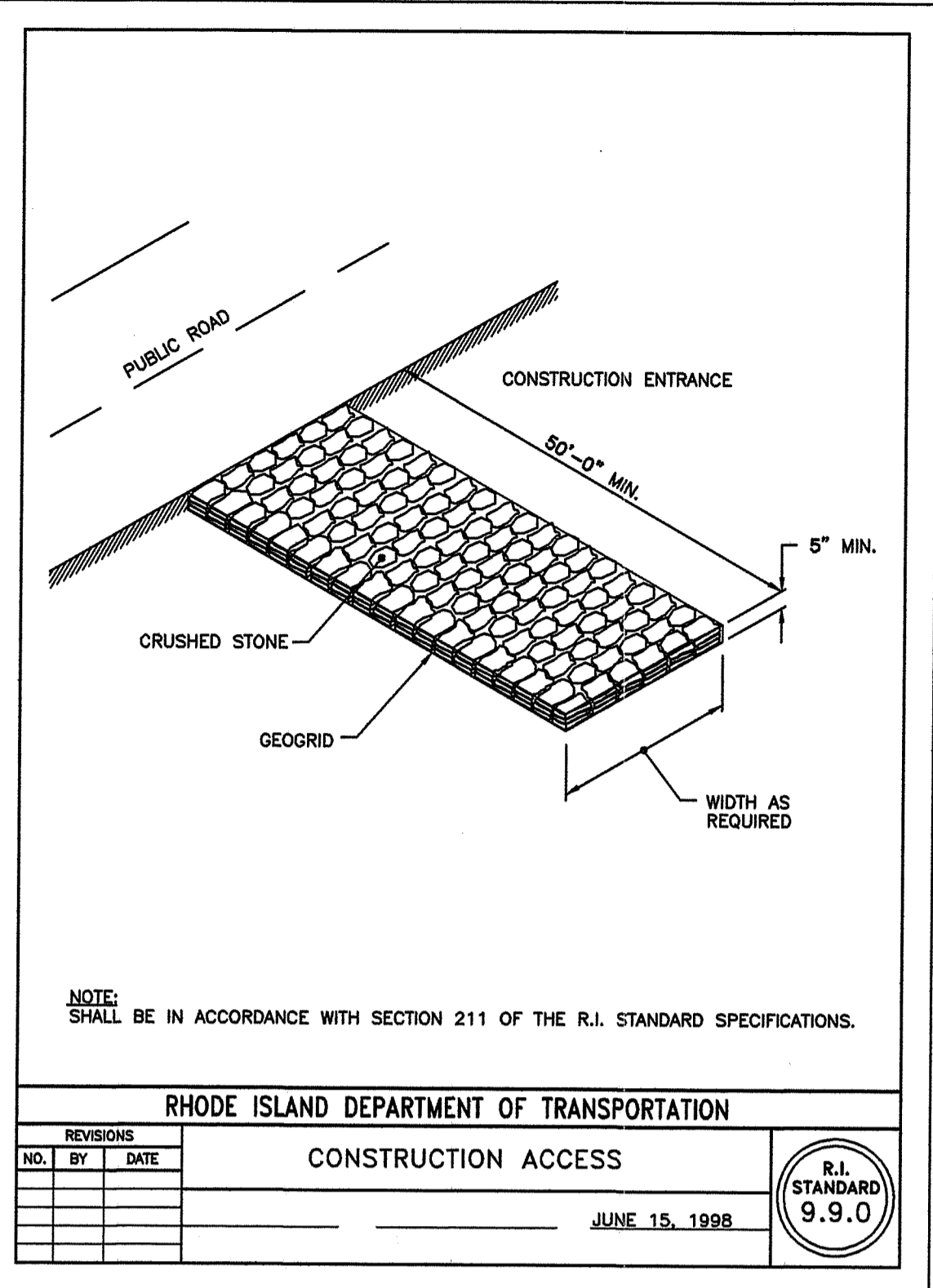
Specifications

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Wide width tensile strength Wet	ASTM D 4595	1488 lbs/ft (21.7 kN/m)
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Elongation at failure Wet	ASTM D 4595	38%
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Cross direction		
Open area	Calculated	48%
Thickness	ASTM D 1777	0.35 inch (9 mm)
Recommended shear stress		4.5lbs/sq. ft. (215N/sq.m.)
Recommended flow		12 fps (3.7m/s)
Recommend slope		1:1
Minimum twine count per foot MD x CD		27 x 18

BioD-Mat® 70 is available in following roll sizes:
3.28ft x 83ft (305Y) = 1m x 25m (25 sq. m)
6.5ft x 166ft (1205Y) = 2m x 50m (100 sq. m)
9.8ft x 166ft (1805Y) = 3m x 50m (150 sq. m)
13.1ft x 83ft (1205Y) = 4m x 25m (100 sq. m)



1 800 760 3215
Tel: 770 506 8211 Fax: 770 506 0391
E-mail: rolanka@rolanka.com
Web: www.rolanka.com
SBA's 8(a) & SDB and DOT DBE Certified



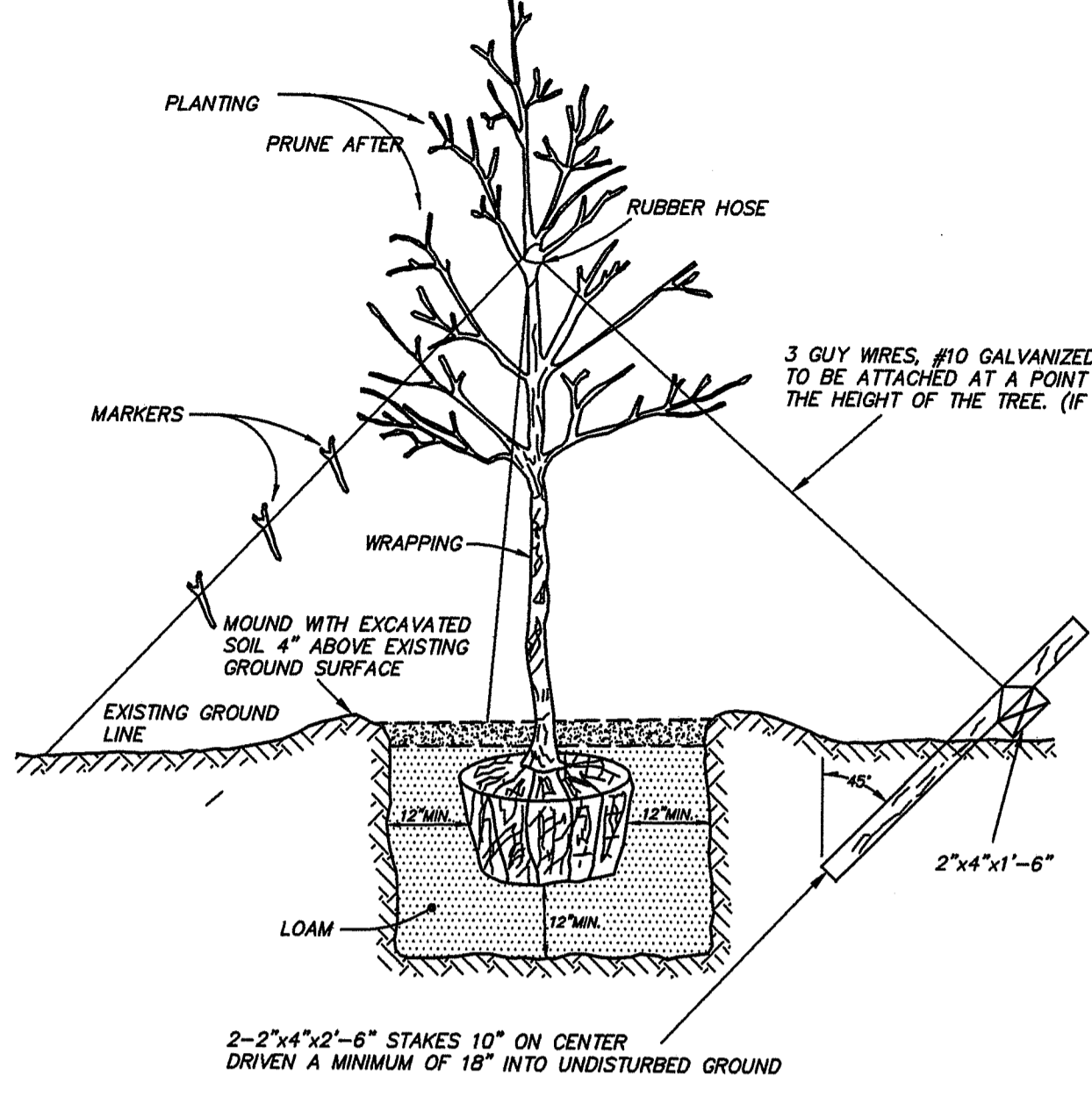
NOTE: SHALL BE IN ACCORDANCE WITH SECTION 211 OF THE R.I. STANDARD SPECIFICATIONS.

RHODE ISLAND DEPARTMENT OF TRANSPORTATION		
NO.	BY	DATE

CONSTRUCTION ACCESS

JUNE 15, 1998

R.I. STANDARD 9.9.0



TYPICAL TREE PLANTING DETAIL

NOT TO SCALE

SOIL STABILIZATION & PLANTING PROGRAM

ACCEPTABLE PLANTING MATERIALS:
LOAM - THE MATERIAL TO BE FURNISHED SHALL CONSIST OF LOOSE, FRIABLE, SANDY LOAM OR LOAM TOPSOIL FREE OF A MIXTURE OF SUBSOIL, REFUSE, STUMPS, ROOTS, ROCKS, BRUSH, WEEDS AND OTHER MATERIAL WHICH WILL PREVENT THE FORMATION OF A SUITABLE SEED BED.

SEED MIXTURES - ALL LEGUME SEED SHALL BE INOCULATED WITHIN 24 HOURS BEFORE MIXING AND PLANTING WITH THE APPROPRIATE INOCULUM FOR EACH VARIETY. ALL INOCULA SHALL BE FRESH AND SHALL BE USED WITHIN THE DATE LIMIT PRESCRIBED BY THE MANUFACTURER.

FOR RELATIVELY FLAT SLOPES:

MIX	% BY WEIGHT
RED FESCUE - CHEWING'S PENNLAWN OR CREEPING	70
KENTUCKY BLUEGRASS	15
COLONIAL BENTGRASS - ASTORIA OR EXETER	5
PERENNIAL RYEGRASS	10
BIRDSFOOT TREFLOIL - EMPIRE	15

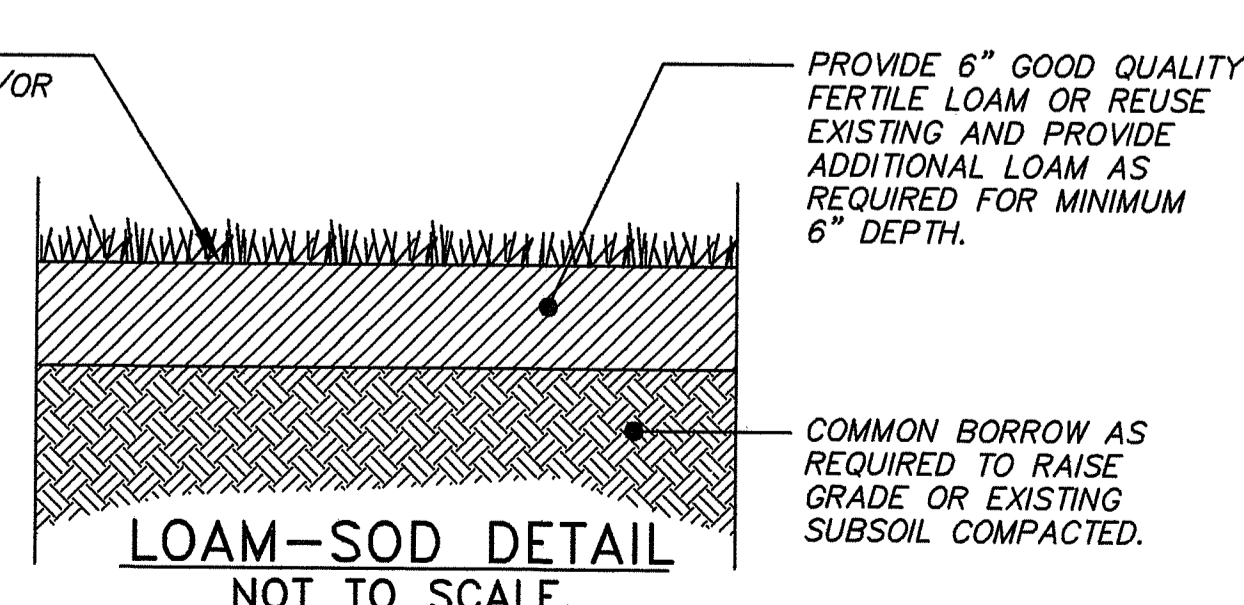
SEEDING RATE = 100 LBS. PER ACRE

MIX	% BY WEIGHT
RED FESCUE - PENNLAWN OR CREEPING	75
PERENNIAL RYEGRASS	5
COLONIAL BENTGRASS - ASTORIA OR EXETER	5
BIRDSFOOT TREFLOIL - EMPIRE	15

SEEDING RATE: 100 LBS. PER ACRE

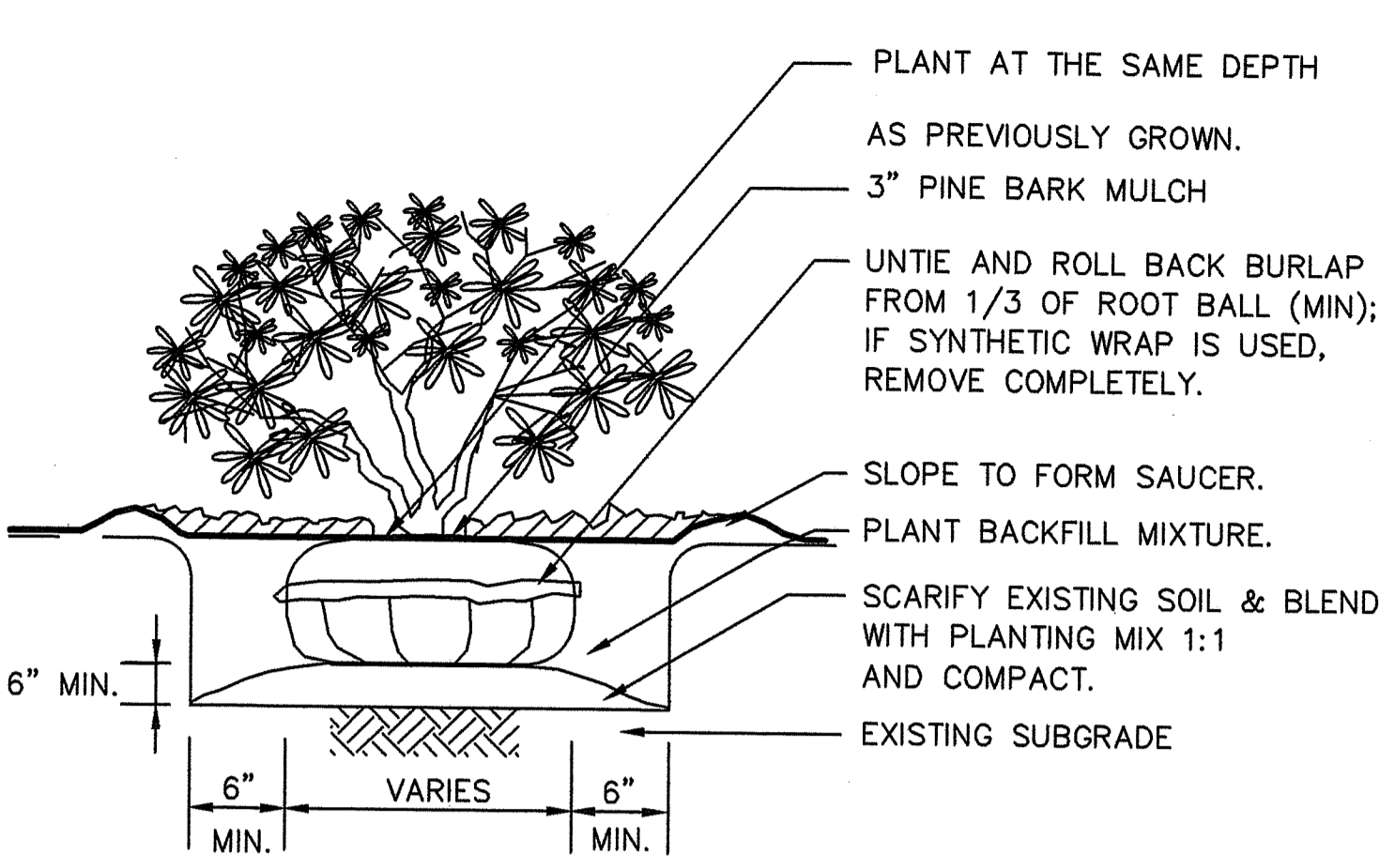
THE ACCEPTED PLANTING SEASON SHALL BE BETWEEN APRIL 1ST AND OCTOBER 15TH. CONTRACTOR SHOULD COORDINATE ON ALL DISTURBED AREAS. THE CONTRACTOR SHALL PROVIDE A MINIMUM OF FOUR (4) INCHES OF LOAM ON AREAS UP TO 10% IN GRADE. ALL AREAS OVER 10% SHALL RECEIVE A MINIMUM OF SIX (6) INCHES.

ANY PUBLIC TREES THAT ARE REMOVED OR DAMAGED DURING CONSTRUCTION SHALL BE REPLACED WITH EQUIVALENT.



LOAM-SOD DETAIL

NOT TO SCALE



TYPICAL SHRUB PLANTING DETAIL

NOT TO SCALE

EROSION CONTROL PROGRAM

PRIOR TO START OF CONSTRUCTION, HAYBALES, SILT FENCES AND ALL OTHER SPECIFIED EROSION CONTROL FENCES SHALL BE IN PLACE.

CRITICAL AREAS SUCH AS WETLAND AREAS, SLOPES AND STREAMS SHALL BE PROTECTED AS PER PLAN AND, IN THE PRESENCE OF WETLANDS, THE CONDITIONS OF ANY ISSUED PERMIT SHALL BE ADHERED TO.

THE CONTRACTOR SHALL BE REQUIRED TO ESTABLISH AND FULLY MAINTAIN ALL REQUIRED EROSION AND SEDIMENTATION CONTROLS.

SEDIMENTATION CONTROL PROGRAM

ALL EXPOSED SLOPES, INCLUDING STOCKPILES OF MATERIAL, SHALL RECEIVE TEMPORARY SEDIMENTATION AND EROSION CONTROLS. THIS WILL INCLUDE LOAMING AND SEEDING, MULCHING, HAYMATS, ETC., TO STABILIZE THE AREA.

ALL DRAINAGE STRUCTURES SHALL BE SURROUNDED BY HAYBALES TO PREVENT INFILTRATION OF SEDIMENTS.

DRYWELLS, GALLEYS, RAIN GARDENS, AND OTHER LEACHING FACILITIES SHALL BE THOROUGHLY PROTECTED FROM SEDIMENTATION DURING CONSTRUCTION. IF SEDIMENTS ENTER FACILITIES DURING CONSTRUCTION, THE STRUCTURES SHALL BE CLEARED AND, IF NECESSARY, REMOVED AND REINSTALLED WITH ALL EXPENSE TO BE BORNE BY CONTRACTOR.

SHOULD SEDIMENTS ENTER A CRITICAL AREA, (WETLAND, BUFFER ZONE, ABUTTING PROPERTY) THE CONTRACTOR SHALL IMMEDIATELY CLEAN AND RESTORE THE EFFECTED AREA.

SLOPE PROTECTION TO BE INSTALLED ON ANY DISTURBED AREAS SUBJECT TO EROSION.

EXTREME CARE SHALL BE TAKEN TO PREVENT SEDIMENT OR UNSUITABLE MATERIAL FROM ENTERING WETLANDS, ROADWAYS AND/OR DRAINAGE STRUCTURES.

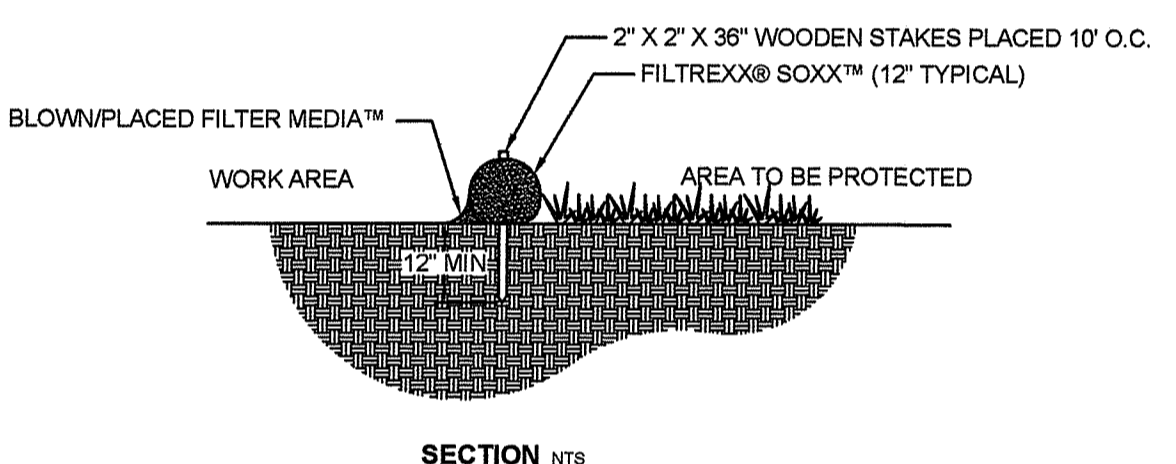
THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTING AND MAINTAINING ALL EROSION CONTROL MEASURES PROMPTLY AFTER EACH RAINFALL AND TO ENSURE THAT RUNOFF FLOW PATTERNS ARE NOT INHIBITED DURING RAINFALL AND/OR SNOWMELT.

REMOVED SEDIMENTS SHALL NOT BE STOCKPILED IN AREAS WHERE POTENTIAL EXISTS FOR TRANSPORT OF THESE SEDIMENTS VIA STORM FLOW TO WETLANDS OR OTHER UNDESIRABLE LOCATIONS.

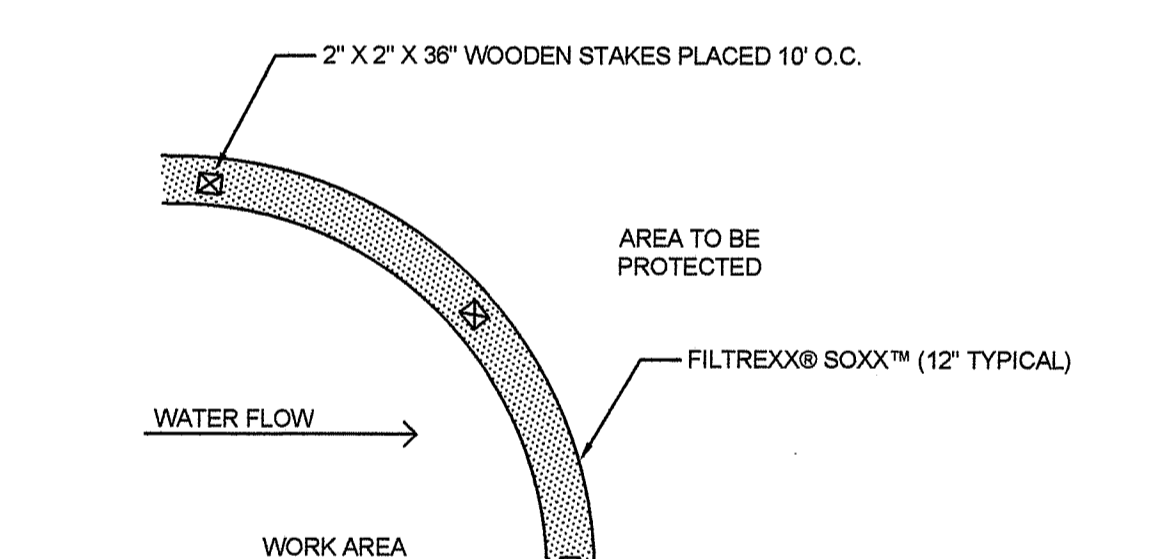
SILT FENCE SHALL BE PLACED AS DESIGNATED ON PLAN AS WELL AS ANY AREAS WHERE CONDITIONS WARRANT DURING CONSTRUCTION.

ACCUMULATED SEDIMENTS SHALL BE REMOVED AS DIRECTED BY THE OWNER, ENGINEER, BIOLOGIST, APPLICANT, LOCAL OR STATE OFFICIALS.

THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE CONSTRUCTION ENTRANCE. AT A MINIMUM THE ENTRANCE SHALL BE SWEEPED FREE OF SEDIMENT AND DEBRIS AT THE END OF EACH WORK DAY.



SECTION NTS

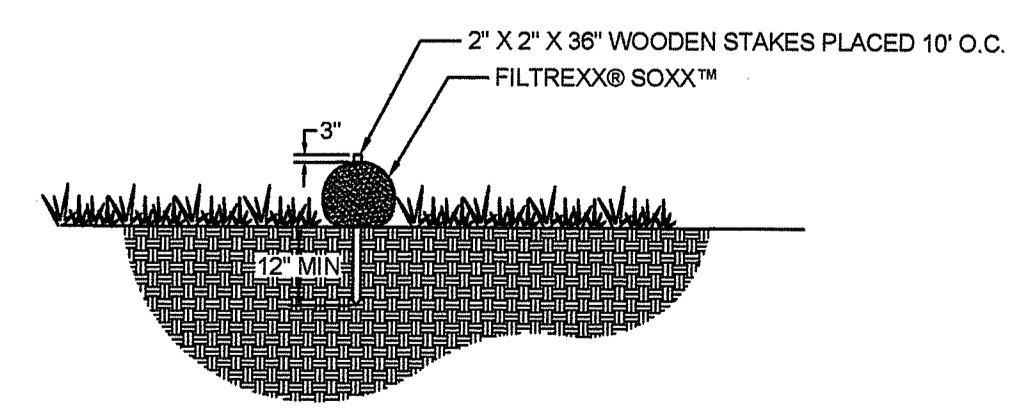


PLAN NTS

- NOTES:
1. ALL MATERIAL TO MEET FILTREXX® SPECIFICATIONS.
 2. FILTER MEDIA™ FILL TO MEET APPLICATION REQUIREMENTS.
 3. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.

FILTREXX® SEDIMENT CONTROL

NTS



FILTREXX® SOXX™ STAKING

NTS

GARY C. LAMOND, PE, LLC
CIVIL ENGINEERING LAND PLANNING PERMITTING

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(401) 294-6808

garylamond@man.com

Project:

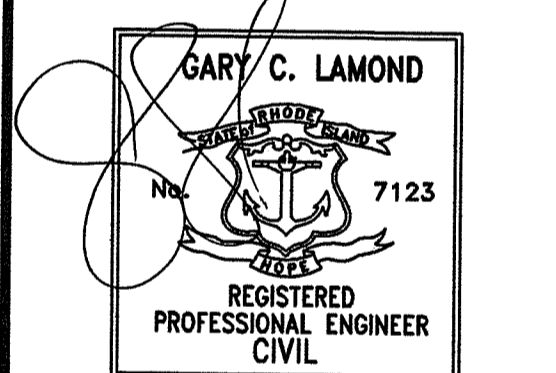
STILLWATER PARK
OFFICE BUILDING
PLAT 46 - LOT 287

15 APPIAN WAY
SMITHFIELD,
RHODE ISLAND

Prepared For:

APPIAN WAY
PROPERTY, LLC

40 BYRON RANDALL ROAD
NORTH SCITUATE
RHODE ISLAND



Issue Date: 6-10-2020

Revisions

No.	Date	Description
1	1/12/22	MODIFICATION APPLIC.

Project Number: 2013038

Scale: AS NOTED

Designed By: GCL

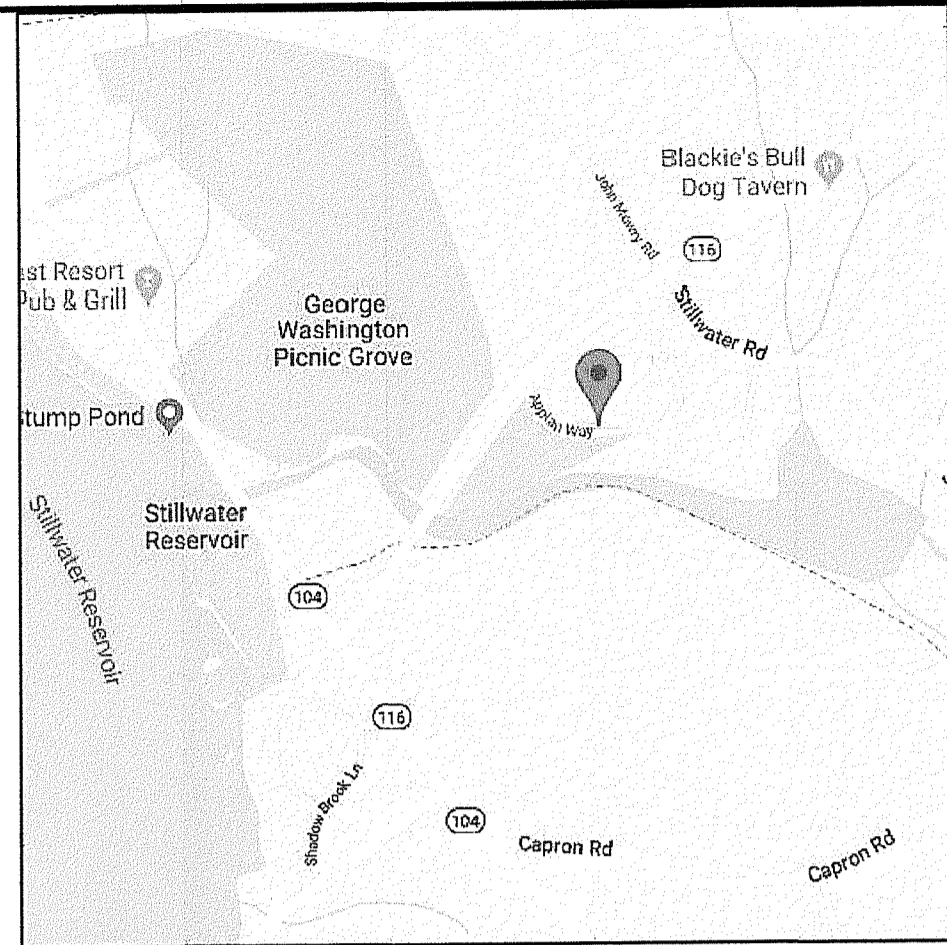
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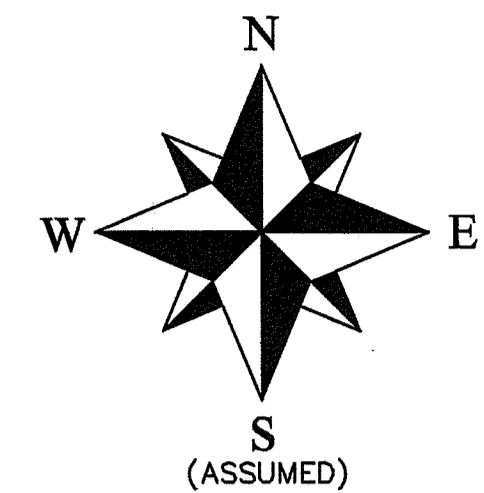
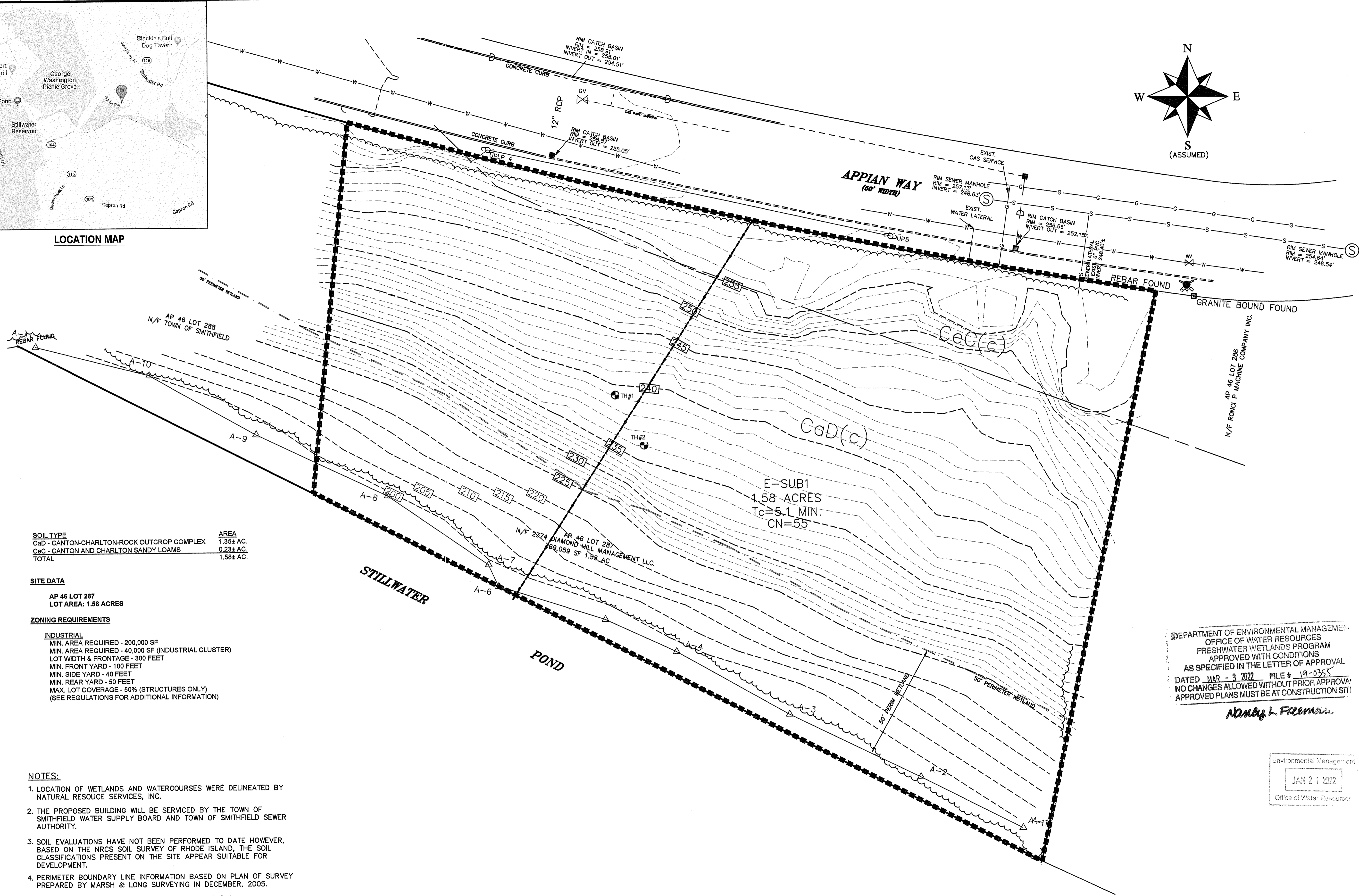
DETAIL SHEET 3

C7

Sheet Number: 7 of 10



LOCATION MAP



GARY C. LAMOND, PE, LLC
 CIVIL ENGINEERING LAND PLANNING PERMITTING
 184 HATCHERY ROAD
 NORTH KINGSTOWN, RHODE ISLAND 02852
 (401) 294-6808

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Project:

**STILLWATER PARK
 OFFICE BUILDING
 PLAT 46 - LOT 287**

**15 APPIAN WAY
 SMITHFIELD,
 RHODE ISLAND**

Prepared For:

**APPIAN WAY
 PROPERTY, LLC**

**40 BYRON RANDALL ROAD
 NORTH SCITUATE
 RHODE ISLAND**

SOIL TYPE	AREA
CaD - CANTON-CHARLTON-ROCK OUTCROP COMPLEX	1.35± AC.
CeC - CANTON AND CHARLTON SANDY LOAMS	0.23± AC.
TOTAL	1.58± AC.

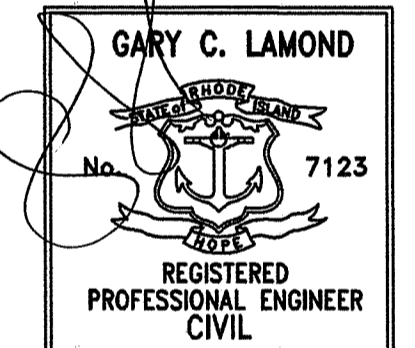
SITE DATA
 AP 46 LOT 287
 LOT AREA: 1.58 ACRES

ZONING REQUIREMENTS
INDUSTRIAL
 MIN. AREA REQUIRED - 200,000 SF
 MIN. AREA REQUIRED - 40,000 SF (INDUSTRIAL CLUSTER)
 LOT WIDTH & FRONTAGE - 300 FEET
 MIN. FRONT YARD - 100 FEET
 MIN. SIDE YARD - 40 FEET
 MIN. REAR YARD - 50 FEET
 MAX. LOT COVERAGE - 50% (STRUCTURES ONLY)
 (SEE REGULATIONS FOR ADDITIONAL INFORMATION)

- NOTES:**
1. LOCATION OF WETLANDS AND WATERCOURSES WERE DELINEATED BY NATURAL RESOURCE SERVICES, INC.
 2. THE PROPOSED BUILDING WILL BE SERVICED BY THE TOWN OF SMITHFIELD WATER SUPPLY BOARD AND TOWN OF SMITHFIELD SEWER AUTHORITY.
 3. SOIL EVALUATIONS HAVE NOT BEEN PERFORMED TO DATE HOWEVER, BASED ON THE NRCS SOIL SURVEY OF RHODE ISLAND, THE SOIL CLASSIFICATIONS PRESENT ON THE SITE APPEAR SUITABLE FOR DEVELOPMENT.
 4. PERIMETER BOUNDARY LINE INFORMATION BASED ON PLAN OF SURVEY PREPARED BY MARSH & LONG SURVEYING IN DECEMBER, 2005.
 5. THE EXISTING SITE IS LOCATED IN FLOOD ZONE "X" (AREAS OF MINIMAL FLOOD RISK) AS DETERMINED ON F.I.R.M. FLOOD INSURANCE RATE MAP FOR THE TOWN OF SMITHFIELD, RHODE ISLAND ON COMMUNITY PANEL NUMBER 44007C0166H, EFFECTIVE DATE OCTOBER 2, 2015.
 6. PROPOSED IMPROVEMENTS ARE NOT LOCATED WITHIN RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL NATURAL HERITAGE AREAS.
 7. SITE TOPOGRAPHY AND UTILITY LOCATIONS BASED ON A PLAN ENTITLED STILLWATER PARK OFFICE BUILDING, PLAT 46 LOT 287 APPIAN WAY, SMITHFIELD, RHODE ISLAND FOR DECA REAL ESTATE CO., INC., ONE COMMERCE WAY, JOHNSTON, RHODE ISLAND SCALE 1" = 20' BY CATALDO & ASSOCIATES INC.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED MAR - 3 2022 FILE # 19-0355
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Nancy L. Freeman



Issue Date: 12-3-19

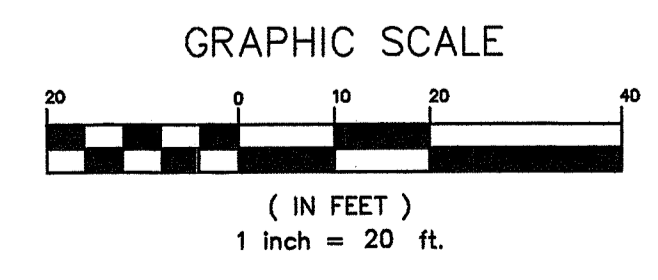
Revisions		
No.	Date	Description
1	1/12/22	MODIFICATION APPLIC.

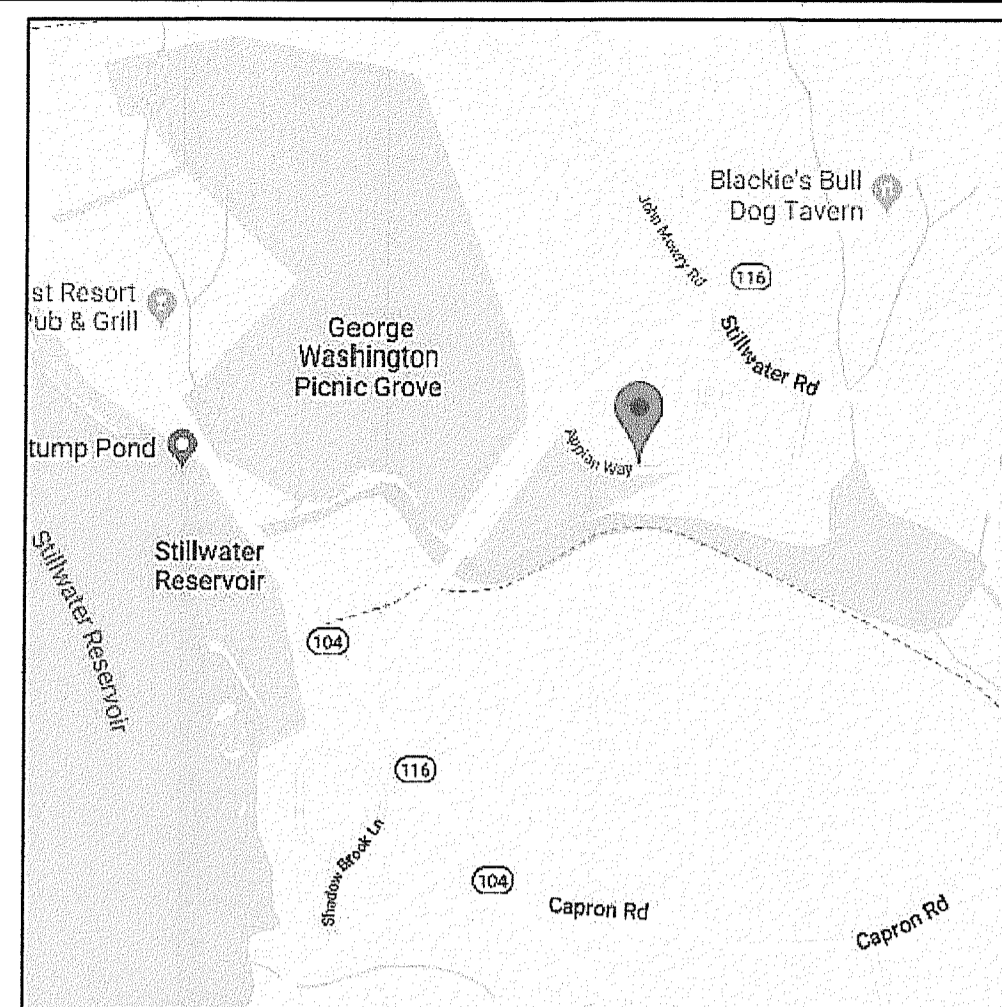
Project Number: 2013038
 Scale: AS NOTED
 Designed By: GCL
 Drawn By: GCL

Sheet Title:
**EXISTING WATERSHED
 MAP**

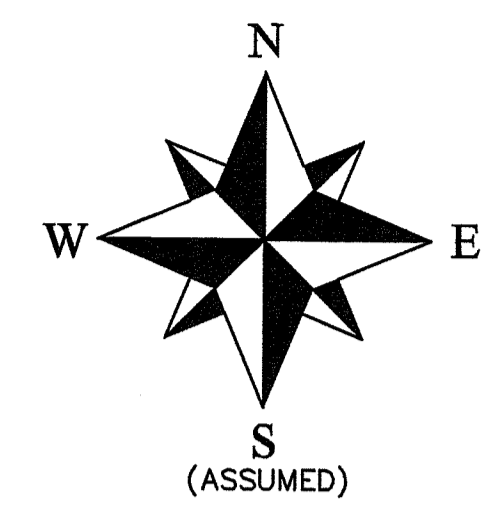
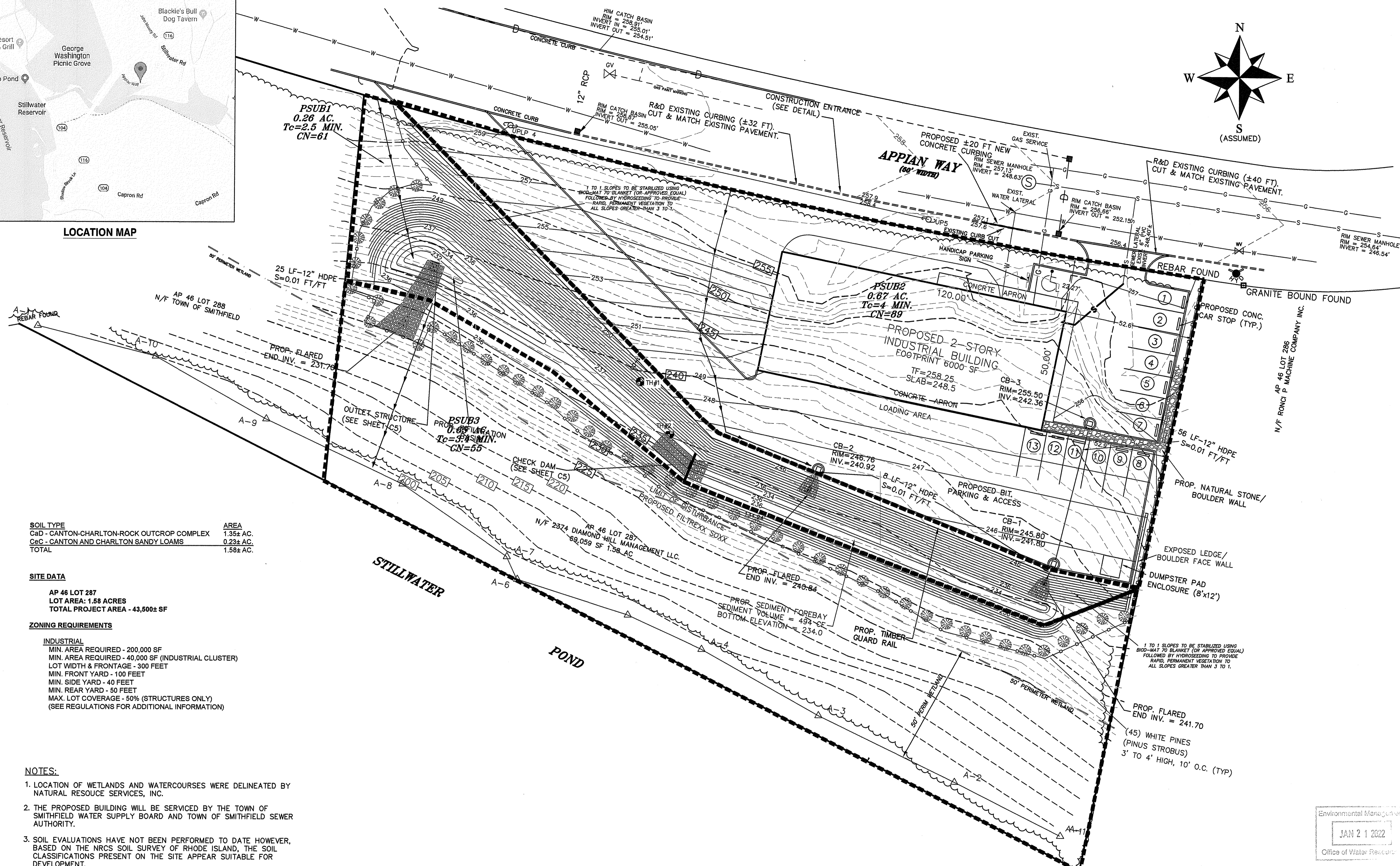
C9

Sheet Number: 9 of 10





LOCATION MAP

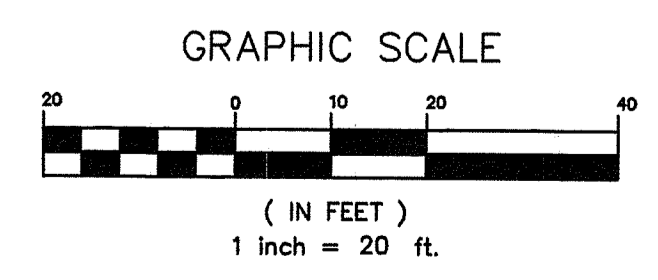


SOIL TYPE	AREA
CaD - CANTON-CHARLTON-ROCK OUTCROP COMPLEX	1.35± AC.
CaC - CANTON AND CHARLTON SANDY LOAMS	0.23± AC.
TOTAL	1.58± AC.

SITE DATA
 AP 46 LOT 287
 LOT AREA: 1.58 ACRES
 TOTAL PROJECT AREA - 43,500± SF

ZONING REQUIREMENTS
INDUSTRIAL
 MIN. AREA REQUIRED - 200,000 SF
 MIN. AREA REQUIRED - 40,000 SF (INDUSTRIAL CLUSTER)
 LOT WIDTH & FRONTAGE - 300 FEET
 MIN. FRONT YARD - 100 FEET
 MIN. SIDE YARD - 40 FEET
 MIN. REAR YARD - 50 FEET
 MAX. LOT COVERAGE - 50% (STRUCTURES ONLY)
 (SEE REGULATIONS FOR ADDITIONAL INFORMATION)

- NOTES:**
- LOCATION OF WETLANDS AND WATERCOURSES WERE DELINEATED BY NATURAL RESOURCE SERVICES, INC.
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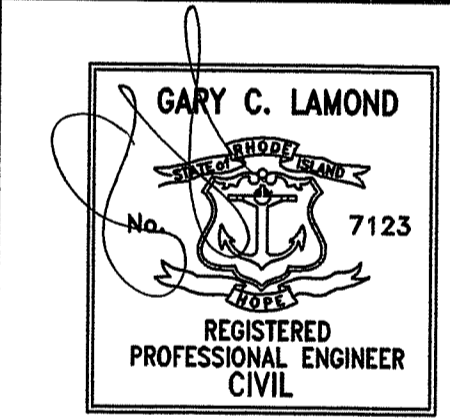


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Project:
STILLWATER PARK OFFICE BUILDING
PLAT 46 - LOT 287

15 APPIAN WAY
SMITHFIELD,
RHODE ISLAND

Prepared For:
APPIAN WAY
PROPERTY, LLC
 40 BYRON RANDALL ROAD
 NORTH SCITUATE
 RHODE ISLAND



Issue Date: 12-3-19

Revisions		
No.	Date	Description
1	1/12/22	MODIFICATION APPLIC.

Project Number: 2013038
 Scale: AS NOTED
 Designed By: GCL
 Drawn By: GCL

Sheet Title:
PROPOSED WATERSHED
MAP

C10
 Sheet Number: 10 of 10

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED MAR - 3 2022 FILE # 19-0355
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Nancy L. Freeman

PROPOSED SITE PLAN
FOR
STILLWATER PARK
INDUSTRIAL FACILITY

A.P. 46 – LOT 287

LOCATED AT
15 APPIAN WAY
SMITHFIELD, RHODE ISLAND

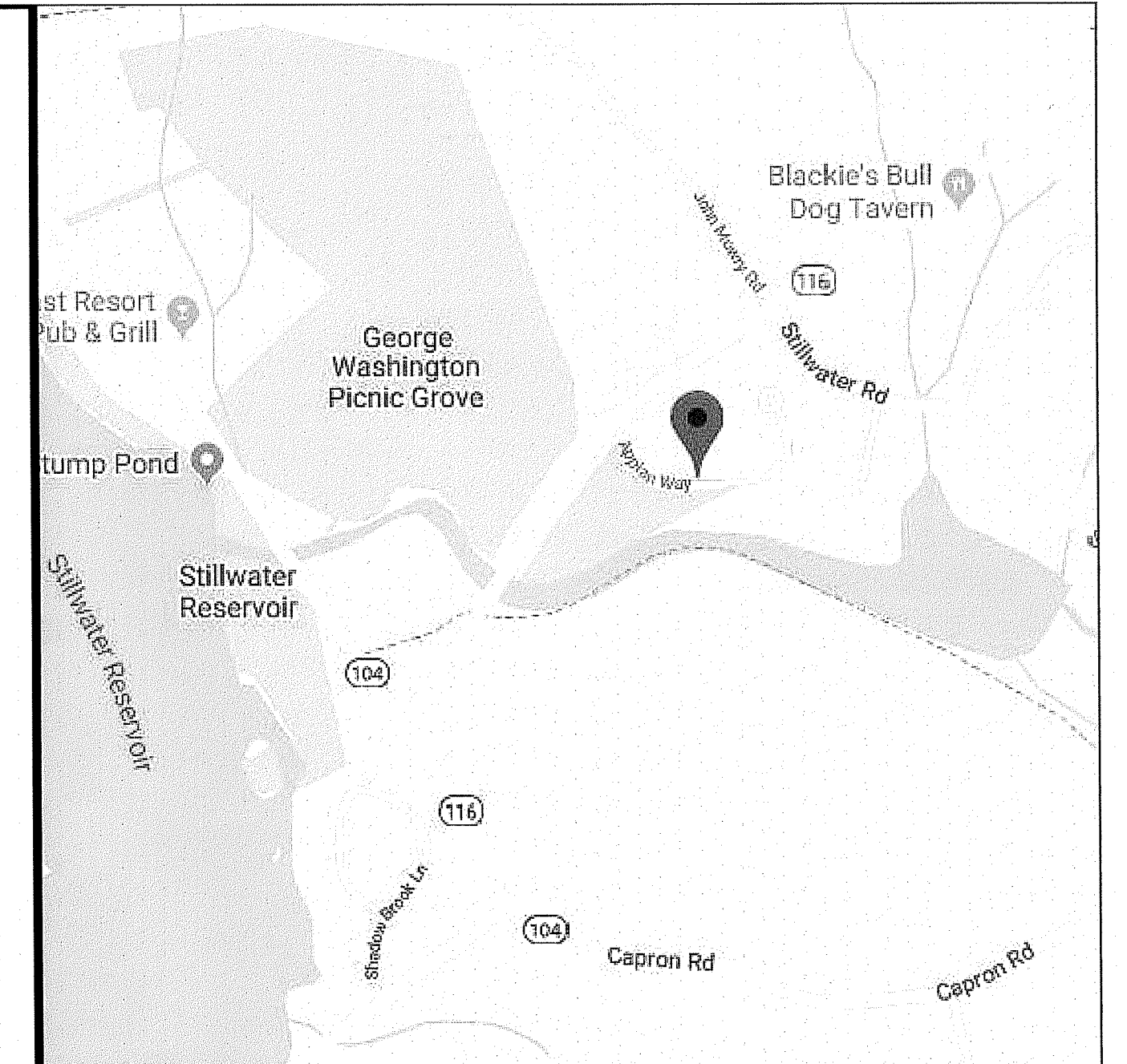
PREPARED FOR
2347 DIAMOND HILL MANAGEMENT LLC
44 ANGELL ROAD
CUMBERLAND, RHODE ISLAND 02864

DECEMBER 3, 2019

PREPARED BY
GARY C. LAMOND, PE, LLC
CIVIL ENGINEERS

194 HATCHERY ROAD NORTH KINGSTOWN, RI 02852

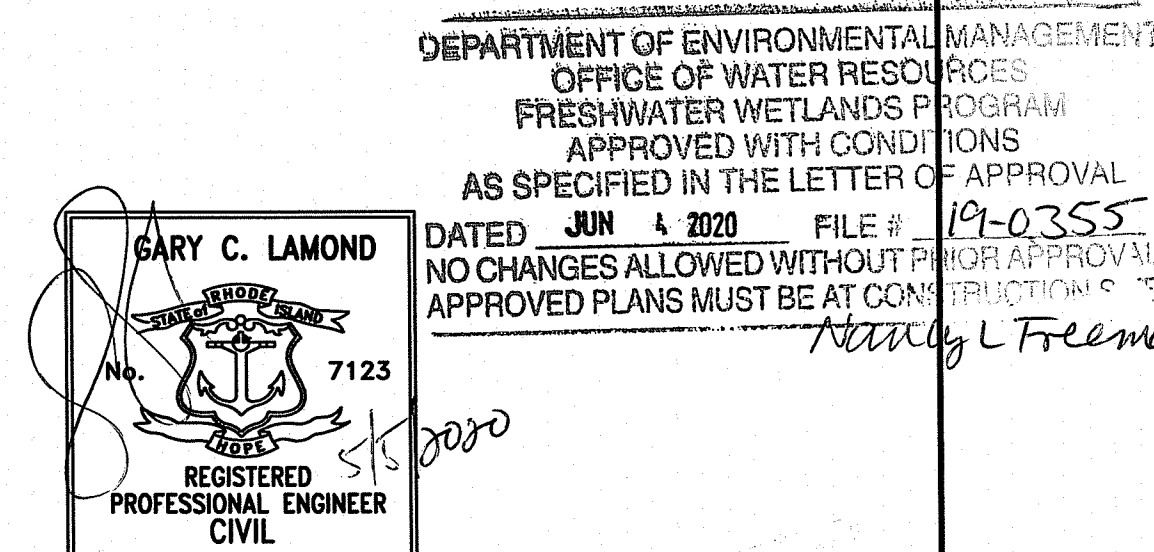
TEL: (401) 294-6808 E-MAIL: garylamond@msn.com



LOCATION MAP
NOT TO SCALE

LIST OF DRAWINGS

- C1 COVER SHEET
- C2 GENERAL NOTES & LEGEND
- C3 EXISTING CONDITIONS PLAN
- C4 PROPOSED SITE PLAN
- C5 DETAIL SHEET 1
- C6 DETAIL SHEET 2
- C7 DETAIL SHEET 3
- C8 SESC PLAN
- C9 EXISTING WATER SHED MAP
- C10 PROPOSED WATERSHED MAP



PROJECT NO: 2013038

C1

Sheet Number: 1 of 10

REVISED: 5/5/2020

GENERAL NOTES:

- IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO OBTAIN ANY AND ALL PERMITS REQUIRED BY THE STATE AND THE MUNICIPALITY IN WHICH WORK IS BEING PERFORMED PRIOR TO START OF ANY WORK.
- IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO DOCUMENT EXISTING CONDITIONS OF SURROUNDING PROPERTIES AND TO MAINTAIN THE INTEGRITY OF THE SAME. ANY DAMAGE TO AND THE COST OF REPAIR OF UTILITIES, ROADWAYS, STRUCTURES AND SURROUNDING PROPERTY SHALL BE FULLY BORNE BY THE CONTRACTOR.
- ALL WORKMANSHIP AND MATERIALS SHALL MEET OR EXCEED THE LATEST STANDARDS OF THE MUNICIPALITY, AND THE LATEST RHODE ISLAND STANDARDS, SPECIFICATIONS AND DETAILS PUBLISHED FOR ROAD AND BRIDGE CONSTRUCTION.
- CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES, THE MUNICIPAL PUBLIC WORKS DEPARTMENT, FIRE DEPARTMENT AND THE DEPARTMENT OF TRANSPORTATION FOR VERIFICATION OF APPROVED LOCATIONS SHOWN HEREON PRIOR TO START OF CONSTRUCTION. IF ANY DISCREPANCIES ARE NOTED, THE CONTRACTOR SHALL CONTACT THIS ENGINEER IMMEDIATELY FOR A RESOLUTION.
- THE LOCATION OF ALL EXISTING UTILITIES IS APPROXIMATE ONLY AND SHALL BE VERIFIED BY CONTRACTOR PRIOR TO START OF CONSTRUCTION.
- IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO CONTACT DIG-SAFE AND UTILITY COMPANIES FOR EXACT ON-SITE LOCATION OF EXISTING UNDERGROUND UTILITIES AT LEAST FORTY-EIGHT (48) HOURS PRIOR TO START OF CONSTRUCTION.
- CONTRACTOR SHALL OBTAIN REQUIRED INSPECTION SCHEDULE OF THE MUNICIPALITY, UTILITY COMPANIES AND ALL OTHER REQUIRED PARTIES AND SHALL STRICTLY ADHERE TO THOSE REQUIREMENTS.
- CONTRACTOR SHALL KEEP A COPY OF ALL APPROVALS ON-SITE DURING CONSTRUCTION. CONTRACTOR SHALL READ ALL APPROVALS PRIOR TO START OF CONSTRUCTION AND SHALL CLARIFY ANY QUESTIONS BEFOREHAND. CONSTRUCTION APPROVALS SHALL INCLUDE BUT NOT LIMITED TO THE APPROVALS FROM THE LOCAL MUNICIPALITY, THE DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND ANY OTHER AGENCY HAVING APPROVAL JURISDICTION OVER THE PROJECT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE AND PROTECTION OF PEDESTRIAN AND VEHICULAR TRAFFIC INCLUDING POLICE PROTECTION. ALL TEMPORARY CONSTRUCTION SIGNS, BARRICADES AND LANE CLOSURES SHALL BE IN CONFORMANCE WITH THE LATEST "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD) AND RIDOT REQUIREMENTS, AND SHALL BE APPROVED BY RIDOT PRIOR TO START OF CONSTRUCTION.
- ALL WORK WITHIN THE STATE RIGHT-OF-WAY IS TO BE IN ACCORDANCE WITH A RHODE ISLAND DEPARTMENT OF TRANSPORTATION PHYSICAL ALTERATION PERMIT.

UTILITY NOTES:

- LOCATION OF EXISTING ABOVE GROUND AND UNDERGROUND UTILITIES STRUCTURES ON THE PROJECT SITE, AND STRUCTURES INDICATED ARE APPROXIMATE ONLY, AND THOSE INDICATED ARE NOT NECESSARILY ALL WHICH MAY EXIST ON THE SITE. CONTRACTOR SHALL DETERMINE ACTUAL LOCATIONS OF ALL UTILITIES AND WHETHER THEY ARE INDICATED OR NOT. CONTRACTOR SHALL ASSUME THE RESPONSIBILITY FOR ANY DAMAGE TO THE UTILITY LINES, WHETHER SHOWN ON THE PLANS OR NOT, DURING WORK ON THE PROJECT.
- UTILITY CONTRACTOR SHALL OBTAIN APPROVALS OF ALL GOVERNING AGENCIES HAVING JURISDICTION OVER THE PROJECT PRIOR TO INSTALLATION.
- UTILITY CONTRACTOR WILL BE RESPONSIBLE FOR ALL TAP AND TIE-IN FEES REQUIRED, AS WELL AS COST OF UNDERGROUND SERVICE CONNECTIONS TO THE BUILDING.
- ALL WATER AND SANITARY LEADS TO BUILDING SHALL END 5' OUTSIDE THE BUILDING LIMITS AS SHOWN ON PLAN AND SHALL BE PROVIDED WITH A TEMPORARY PLUG AT END.
- ALL TRENCHING, PIPE LAYING, AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL OSHA REGULATIONS.

GRADING AND DRAINAGE NOTES:

- ALL EXISTING STRUCTURES, UNLESS OTHERWISE NOTED TO REMAIN, FENCING, TREES, & ETC., WITHIN CONSTRUCTION AREA SHALL BE REMOVED & DISPOSED OF SITE.
- SITE GRADING SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED.
- CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES HAVING UNDERGROUND UTILITIES ON SITE OR IN RIGHT-OF-WAY PRIOR TO EXCAVATION. CONTRACTOR SHALL CONTACT UTILITY LOCATING COMPANY AND LOCATE ALL UTILITIES PRIOR TO GRADING START.
- ALL DRAINAGE STRUCTURES SHALL BE REINFORCED CONCRETE CLASS III, UNLESS OTHERWISE NOTED.
- ALL DRAINAGE PIPING SHALL BE HDPE, UNLESS OTHERWISE NOTED.
- ALL REMAINING EXISTING CATCH BASINS, DRAIN PIPING, & ASSOCIATED STORM DRAINAGE STRUCTURES WITHIN THE PROJECT LIMITS TO BE CLEANED & FLUSHED PRIOR TO COMPLETION OF THE PROJECT.

GENERAL LANDSCAPING NOTES:

- ALL DISTURBED AREAS ARE TO BE RE-VEGETATED AS SOON AS POSSIBLE. ALL BANKS AND SLOPING AREAS ARE TO RECEIVE A MINIMUM OF 6" OF CLEAN TOPSOIL, THEN SEED AND FERTILIZE. LEVEL AREA TO RECEIVE 4" MIN. OF CLEAN TOPSOIL, SEED AND FERTILIZE.
- SEED AND SOD SHALL CONSIST OF A BLEND OF KENTUCKY BLUE GRASSES. PLANT BY SUPPLIERS SPECIFICATIONS.
- LIME SHALL BE APPLIED AS NECESSARY.
- USE OF HAY OR STRAW MULCH DURING SLOPE STABILIZATION IN CONJUNCTION WITH TEMPORARY SEEDING. APPLY MULCH AT A RATE OF 75 TO 100LBS. PER 1000 SQ.FT. AND APPROVED.
- CONTRACTOR TO MAINTAIN TREE REMOVAL AT A MAXIMUM CLEARING OF 5,000 SQ.FT./LOT BY REGULATIONS.
- STOCKPILE ALL STRIPPED TOPSOIL FOR LATTER USE. THE LOCATION IS TO BE APPROVED BY THE TOWN ENGINEER. MULCH AND TEMPORARILY SEED THE STOCKPILE.
- REMOVE ALL ROCKS 3" OR LARGER IN PLANTING AREA.
- ALL CLEARING SHALL CONFORM TO THE LIMITS AS SHOWN ON PLANS. CLEARING LIMITS ARE TO BE MARKED IN THE FIELD BY THE ENGINEER.

GENERAL SEWER NOTES:

- CONTRACTOR SHALL COORDINATE WITH LOCAL SEWER AUTHORITY FOR ANY AND ALL SANITARY SEWER CONNECTIONS.
- INSTALLATION OF THE SEWER FACILITIES SHALL BE IN ACCORDANCE WITH THE SEWER AUTHORITY'S STANDARD SPECIFICATIONS AND DETAILS.
- PRIOR TO RECEIVING AUTHORIZATION TO CONSTRUCT, ALL MATERIALS SHALL MEET THE STANDARDS AND RECEIVE THE WRITTEN APPROVAL, BASED ON MANUFACTURER'S DRAWINGS AND OTHER DATA, OF THE SEWER AUTHORITY OR IT'S REPRESENTATIVE.
- ALL SEWER FACILITIES SHALL MEET TESTING AND CLEANING REQUIREMENTS PRIOR TO ACCEPTANCE.
- AS-BUILT DRAWINGS SHALL BE FURNISHED AS A CONDITION FOR ACCEPTANCE OF THE NEW SEWER FACILITIES.
- NO FLOW WILL BE ACCEPTED UNTIL ALL ABOVE STEPS ARE COMPLETED AND COMPLETION CERTIFICATE IS ISSUED.
- AFTER THE DEVELOPER HAS "STAKED OUT" THE FACILITIES TO BE CONSTRUCTED AND HAS THE APPROVED MATERIALS ON THE JOB, THE SEWER AUTHORITY SHALL BE NOTIFIED IN ADVANCE OF CONSTRUCTION IN ORDER FOR IT TO ARRANGE FOR IT'S INSPECTOR. THE NOTIFICATION MUST MEET THE SEWER AUTHORITY REQUIREMENTS.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE APPROVED PLANS AND MATERIALS, STANDARDS AND SPECIAL DETAILS, AND STANDARD SPECIFICATIONS. ANY WORK NOT MEETING THE APPROVED STANDARDS SHALL BE IMMEDIATELY REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL CONFINE HIS OPERATIONS AND ACTIVITIES FOR CONSTRUCTION WITHIN THE STREET LINES, EASEMENTS AND/OR RIGHT OF WAY AS SHOWN ON THE DRAWING.
- ALL AREAS DISTURBED BY THE CONTRACTOR SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT NO EXTRA COST TO THE OWNER. ALL GRASSSED AREAS DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE LOAMED AND SEEDED.
- LOCATION AND DEPTHS OF EXISTING UTILITIES ARE APPROXIMATE AND HAVE BEEN PLOTTED FROM THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY LOCATIONS OF ALL EXISTING UTILITIES AND NOTIFY THE APPROPRIATE UTILITY AUTHORITIES INCLUDING "DIG-SAFE" PRIOR TO STARTING WORK. ANY DAMAGE TO UTILITIES CAUSED BY THE CONTRACTOR'S OPERATIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND THE COST OF REPAIRS SHALL BE BORNE BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.

SEWER RELATION TO WATER MAINS

- HORIZONTAL SEPARATION: WHENEVER POSSIBLE SEWERS SHALL BE LAID AT A MINIMUM OF 10 FEET (3.0m), HORIZONTALLY, FROM ANY EXISTING OR PROPOSED WATER MAIN. SHOULD LOCAL CONDITIONS PREVENT A LATERAL SEPARATION OF 10 FEET, A SEWER MAY BE LAID CLOSER THAN 10 FEET TO A WATER MAIN IF:
 - IT IS LAID IN A SEPARATE TRENCH, OR IF
 - IT IS LAID IN THE SAME TRENCH WITH THE WATER MAINS LOCATED AT ONE SIDE ON A BENCH OF UNDISTURBED EARTH, AND IF
 - IN EITHER CASE THE ELEVATION OF THE TOP (CROWN) OF THE SEWER IS AT THE LEAST 18 INCHES(46cm) BELOW THE BOTTOM (INVERT) OF THE WATER MAIN.
- VERTICAL SEPARATION: WHENEVER SEWER MUST CROSS UNDER WATER MAINS, THE SEWER SHALL BE LAID AT SUCH AN ELEVATION THAT THE TOP OF THE SEWER IS AT LEAST 18 INCHES (46 cm) BELOW THE BOTTOM OF THE WATER MAIN. WHEN THE ELEVATION OF THE SEWER CANNOT BE VARIED TO MEET THE ABOVE REQUIREMENTS, THE WATER MAIN SHALL BE RELOCATED TO PROVIDE THIS SEPARATION OR RECONSTRUCTED WITH MECHANICAL-JOINT PIPE FOR A DISTANCE OF 10 FEET (3.0m) ON EACH SIDE OF THE SEWER. ONE FULL LENGTH OF WATER MAIN SHOULD BE CENTERED OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE.
- WHEN IT IS IMPOSSIBLE TO OBTAIN HORIZONTAL AND/OR VERTICAL SEPARATION AS STIPULATED ABOVE, BOTH THE WATER MAIN AND SEWER SHALL BE CONSTRUCTED OF MECHANICAL-JOINT CEMENT LINED DUCTILE IRON PIPE OR OTHER EQUIVALENT BASED ON WATER TIGHTNESS AND STRUCTURAL SOUNDNESS. BOTH PIPES SHALL BE PRESSURE TESTED BY AN APPROVED METHOD TO ASSURE WATER TIGHTNESS AND THE SEWER MUST BE SLEEVED.
- WHEN CROSSING AN EXISTING WATER MAIN THE SEWER LINE SHALL BE CONSTRUCTED WITH A 10 FOOT SECTION OF DUCTILE IRON WITH MECHANICAL COUPLINGS AT EACH END USING A TRENCHLESS METHOD.

ORDER OF PROCEDURE

- IMMEDIATELY UPON COMPLETION OF THE CLEARING AND GRUBBING OPERATION AND PRIOR TO ANY ROUGH GRADING, TEMPORARY HAYBALES OR SANDBAGS SHALL BE PLACED OUTSIDE THE LIMITS OF CONSTRUCTION AS PER THE PLANS (I.E. ALONG NEW ROADWAYS, STREAM BANKS, CRITICAL AREAS, ETC.).
- ALL EROSION AND SEDIMENTATION CONTROL STRUCTURES SHALL BE PERIODICALLY MAINTAINED AS PER THE RESPECTIVE PROGRAMS FOR TEMPORARY CONTROL.
- IF WORK PROGRESS IS TO BE INTERRUPTED AT ANY TIME, REFERENCE EROSION AND SEDIMENTATION PROGRAMS FOR TEMPORARY CONTROL.
- TEMPORARY HAYBALES AND SANDBAGS ALONG AND AT THE ENDS OF ROADWAYS MAY ALSO BE REMOVED AFTER FINAL SOIL STABILIZATION HAS BEEN ACHIEVED AND APPROVED.

SOIL EROSION

- ALL DISTURBED AREA MUST BE SEEDED WITHIN THE CONSTRUCTION SEASON.
- TEMPORARY SEEDING MUST BE DONE WITHIN 1 MONTH AFTER DISTURBANCE.
- ALL DISTURBED AREAS MUST BE PERMANENTLY SEEDED BETWEEN APRIL 1ST AND OCTOBER 15TH. IF NOT, THEY MUST BE TEMPORARILY SEEDED.

EROSION CONTROL PROGRAM

- PRIOR TO START OF CONSTRUCTION, HAYBALES, SILT FENCES AND ALL OTHER SPECIFIED EROSION CONTROL MEASURES SHALL BE IN PLACE.
- CRITICAL AREAS SUCH AS WETLAND AREAS, SLOPES, AND STREAMS SHALL BE PROTECTED AS PER PLAN, AND IN THE PRESENCE OF WETLANDS THE CONDITIONS OF THE ASSENT ORDER SHALL BE ADHERED TO.
- THE CONTRACTOR SHALL BE REQUIRED TO ESTABLISH AND FULLY MAINTAIN ALL REQUIRED EROSION AND SEDIMENTATION CONTROLS.
- DENUDED SLOPES SHALL NOT BE LEFT EXPOSED FOR EXCESSIVE PERIODS OF TIME SUCH AS THE INACTIVE WINTER SEASONS.
- ALL DISTURBED SLOPES EITHER NEWLY CREATED OR EXPOSED PRIOR TO OCTOBER 15 SHALL BE SEEDED OR PROTECTED BY THAT DATE FOR ANY WORK COMPLETED DURING EACH CONSTRUCTION YEAR.
- TEMPORARY TREATMENTS SHALL CONSIST OF A HAY, STRAW, OR FIBER MULCH OR PROTECTIVE COVERS SUCH AS A MAT OR FIBER LINING (BURLAP, JUTE, FIBERGLASS NETTING, EXCELSIOR BLANKETS). THEY SHALL BE INCORPORATED INTO THE WORK AS WARRANTED OR AS ORDERED BY THE OWNER OR HIS DESIGNEE.
- HAY OR STRAW APPLICATIONS SHOULD BE IN THE AMOUNT OF 2000 LBS./ACRE.

SEDIMENTATION CONTROL PROGRAM

- ALL EXPOSED SLOPES, INCLUDING STOCKPILES OF MATERIAL, SHALL RECEIVE TEMPORARY SEDIMENTATION AND EROSION CONTROLS. THIS WILL INCLUDE LOAMING AND SEEDING, MULCHING, HAYMATS, ETC., TO STABILIZE THE AREA.
- SILT FENCE (TEMPORARY) SHALL BE
 - INSTALLED DOWNSLOPE OF THE LIMITS OF PROPOSED CONSTRUCTION AS SHOWN ON THE DRAWINGS.
 - INSTALLED PRIOR TO THE COMMENCEMENT OF THE PROPOSED ALTERATIONS.
 - MAINTAINED ON A REGULAR BASIS.
- ALL DRAINAGE STRUCTURES SHALL BE SURROUNDED BY HAYBALES TO PREVENT INFILTRATION OF SEDIMENTS.
- DRYWELLS, GALLEYS, FLOW DIFFUSERS, AND OTHER LEACHING FACILITIES SHALL BE THOROUGHLY PROTECTED FROM SEDIMENTATION DURING CONSTRUCTION. IF SEDIMENTS ENTER FACILITIES DURING CONSTRUCTION, THE STRUCTURES SHALL BE CLEARED AND, IF NECESSARY, REMOVED AND REINSTALLED WITH ALL EXPENSE TO BE BORNE BY CONTRACTOR.
- RI STANDARD TYPE R-4 RIP-RAP SHALL BE INSTALLED AT THE FLARED END SECTION OUTLETS, UNLESS OTHERWISE NOTED.
- DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING DRAINAGE AND RUNOFF FLOW DURING STORMS AND PERIODS OF RAINFALL.
- SEDIMENTATION CONTROL DEVICES SHALL BE INSPECTED CLOSELY AND MAINTAINED PROMPTLY AFTER EACH RAINFALL AND AT LEAST ONCE A WEEK.
- THIS PLAN SHALL NOT BE CONSIDERED ALL INCLUSIVE AS THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT SOIL SEDIMENT FROM LEAVING THE SITE.
- ADDITIONAL HAYBALES OR SANDBAGS SHALL BE LOCATED AS CONDITIONS WARRANT OR AS DIRECTED BY THE OWNER OR HIS DESIGNEE.
- ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY BY ON SITE INSPECTION.
- SHOULD SEDIMENTS ENTER A CRITICAL AREA, (WETLAND, BUFFER ZONE, ABUTTING PROPERTY) THE CONTRACTOR SHALL IMMEDIATELY CLEAN AND RESTORE THE EFFECTED AREA.
- CARE SHALL BE TAKEN SO AS NOT TO PLACE "REMOVED SEDIMENTS" WITHIN THE PATH OF EXISTING, NEWLY CREATED (BOTH TEMPORARY AND PERMANENT) OR PROPOSED WATERCOURSES OR THOSE AREAS SUBJECTED TO STORMWATER FLOWAGE.
- CONTRACTOR SHALL COMPLY WITH ALL STATE AND LOCAL ORDINANCES THAT APPLY.

SOIL STABILIZATION & PLANTING

ACCEPTABLE PLANTING MATERIALS:

LOAM - THE MATERIAL TO BE FURNISHED SHALL CONSIST OF LOOSE, FRIABLE, SANDY LOAM OR LOAM TOPSOIL FREE OF A MIXTURE OF SUBSOIL, REFUSE, STUMPS, ROOTS, ROCKS, BRUSH, WEEDS AND OTHER MATERIAL WHICH WILL PREVENT THE FORMATION OF A SUITABLE SEED BED.

SEED MIXTURES - ALL LEGUME SEED SHALL BE INOCULATED WITHIN 24 HOURS BEFORE MIXING AND PLANTING WITH THE APPROPRIATE INOCULUM FOR EACH VARIETY. ALL INOCULA SHALL BE FRESH AND SHALL BE USED WITHIN THE DATE LIMIT PRESCRIBED BY THE MANUFACTURER.

FOR RELATIVELY FLAT SLOPES:

MIX	% BY WEIGHT
RED FESCUE - CHEWING'S PENNLAWN OR CREEPING KENTUCKY BLUEGRASS	70
COLONIAL BENTGRASS - ASTORIA OR EXETER PERENNIAL RYEGRASS	15
- SEEDING RATE = 100 LBS. PER ACRE	5
	10

FOR STEEP SLOPES 3:1 OR GREATER

MIX	% BY WEIGHT
RED FESCUE - PENNLAWN OR CREEPING PERENNIAL RYEGRASS	75
COLONIAL BENTGRASS - ASTORIA OR EXETER BIRDSFOOT TREFLOIL - EMPIRE	5
- SEEDING RATE: 100 LBS. PER ACRE	5
	15

NOTES:

- THE ACCEPTED PLANTING SEASON SHALL BE BETWEEN APRIL 1ST AND OCTOBER 15TH. CONTRACTOR SHOULD COORDINATE, ON ALL DISTURBED AREAS, THE CONTRACTOR SHALL PROVIDE A MINIMUM OF FOUR (4) INCHES OF LOAM ON AREAS UP TO 10% IN GRADE. ALL AREAS OVER 10% SHALL RECEIVE A MINIMUM OF SIX (6) INCHES.
- LIMING AND FERTILIZING AS REQUIRED TO COMPLIMENT OR UPGRADE EXISTING CONDITIONS.
- STOCKPILES OF TOPSOIL SHALL NOT BE LOCATED NEAR WATERWAYS. THEY SHALL HAVE SIDE SLOPES NO GREATER THAN 30% AND STOCKPILES SHALL ALSO BE SEEDED AND/OR STABILIZED.
- CONTRACTOR SHALL BE RESPONSIBLE TO TAKE WHATEVER MEANS NECESSARY TO ESTABLISH PERMANENT SOIL STABILIZATION.
- STABILIZATION OF ONE FORM OR ANOTHER AS DESCRIBED ABOVE SHALL BE ACHIEVED WITHIN 15 DAYS OF FINAL GRADING.
- REFERENCE IS HEREBY MADE TO THE RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK PUBLISHED BY THE SOIL CONSERVATION SERVICE. THE GUIDELINES SHOWN THEREIN SHOULD BE INCORPORATED INTO THE CONSTRUCTION PRACTICES ON SITE.

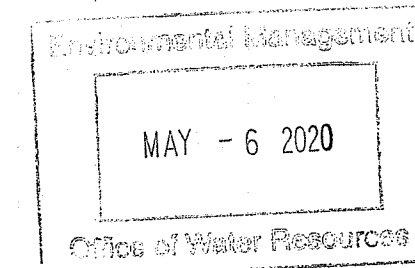
SHORT TERM MAINTENANCE PLAN

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SEEDING, PROTECTING AND MAINTAINING ALL DISTURBED SLOPES, EITHER NEWLY CREATED OR CURRENTLY EXPOSED. THE CONTRACTOR SHALL REGULARLY INSPECT ALL SEEDED AREAS TO SEE THAT AN ADEQUATE COVER IS MAINTAINED.
- THE CONTRACTOR MUST REPAIR OR RESEED ANY AREAS THAT DO NOT DEVELOP WITHIN A PERIOD OF ONE YEAR AND SHALL DO SO AT NO ADDITIONAL EXPENSE.
- ALL HAYBALES, TEMPORARY TREATMENTS (HAY, STRAW, ETC.) AND TEMPORARY PROTECTION SHALL BE MAINTAINED BY THE CONTRACTOR THROUGHOUT CONSTRUCTION AND SHALL REMAIN IN PLACE UNTIL AN ACCEPTABLE GROUND COVER IS ESTABLISHED.
- THE CONTRACTOR SHALL MAINTAIN ALL TOPSOIL STOCKPILES AND SEDIMENT BARRIERS THROUGHOUT CONSTRUCTION. EXTREME CARE SHALL BE TAKEN TO ENSURE THAT SEDIMENTS DO NOT SPILL OVER THE SEDIMENT BARRIER.
- THE HAYBALES OR SILT FENCE SHALL BE CHECKED BY THE CONTRACTOR ON A WEEKLY BASIS AND AFTER EACH STORM EVENT FOR UNDERMINING OR DETERIORATION. THE CONTRACTOR SHALL REPAIR OR REPLACE THE HAYBALES AS NECESSARY. THE CONTRACTOR SHALL CLEAN THE ACCUMULATED SEDIMENT IF HALF OF THE ORIGINAL HEIGHT OF THE HAYBALES BECOMES FILLED WITH SEDIMENTS.
- THE CONTRACTOR SHALL INSPECT RIP-RAP AREAS AFTER EACH STORM AND REPAIR AS NECESSARY.
- THE CONTRACTOR SHALL MAINTAIN THE DRAINAGE SYSTEM THROUGHOUT CONSTRUCTION. THE ACCUMULATED SEDIMENTS IN THE CATCH BASINS SHALL BE REMOVED AND DRAINAGE PIPES FLUSHED BY THE CONTRACTOR AT THE END OF CONSTRUCTION.
- THE CONSTRUCTION SUPERINTENDENT SHALL BE RESPONSIBLE FOR THE MAINTENANCE PROGRAM DURING THE CONSTRUCTION PHASE. THE SUPERINTENDENT SHALL SEE THAT THE APPROPRIATE WORKERS ARE AWARE OF THE PROVISIONS OF THE PLAN.
- THE CONSTRUCTION OF THE DRAINAGE SYSTEM SHALL BE SUPERVISED BY DESIGN ENGINEER. A REPORT AND AS-BUILT PLAN SHALL BE MADE AVAILABLE TO THE TOWN ENGINEER UPON REQUEST.

LONG TERM MAINTENANCE PLAN

- THE OWNER SHALL BE RESPONSIBLE FOR ALL PHASES OF THE LONG-TERM MAINTENANCE OF THE RETENTION BASIN AND VEGETATIVE COVER. THEY SHALL ALSO BE RESPONSIBLE FOR THE LONG-TERM MAINTENANCE OF ALL COMPONENTS OF THE DRAINAGE SYSTEM. THE DRAINAGE SYSTEM SHALL BE CHECKED SEMI-ANNUALLY. THE ACCUMULATED SEDIMENTS IN EXCESS OF 0.2 FEET SHALL BE REMOVED.
- THE OWNER SHALL BE RESPONSIBLE FOR THE INSPECTION OF ALL RIPRAP AREAS AND EMERGENCY OUTLETS ON AN ANNUAL BASIS AND FOLLOWING ALL MAJOR STORM EVENTS. REPAIRS SHALL BE UNDERTAKEN AS CONDITIONS WARRANT.
- THE OWNER SHALL BECOME RESPONSIBLE FOR THE MAINTENANCE OF THE DRAINAGE FACILITY UPON ACCEPTANCE. THEY SHALL BE RESPONSIBLE FOR MAINTAINING SUFFICIENT VEGETATIVE COVER (GRASS BETWEEN 2"-10" OR VEGETATION AS SPECIFIED). THE BOTTOM OF THE POND SHALL BE CLEANED ON AN ANNUAL BASIS OR WHEN ACCUMULATED SEDIMENTS ARE IN EXCESS OF 0.2 FEET, WHICHEVER COMES FIRST. A GRADUATED GAGE IS TO BE SET WITHIN THE POND TO MONITOR ACCUMULATED SEDIMENTS.
- THE OWNER SHALL BE RESPONSIBLE FOR THE SEMI-ANNUAL INSPECTION OF THE GRASSSED AREAS FOR EROSION PROBLEMS. PROBLEM AREAS MUST BE RESEDED IMMEDIATELY TO STABILIZE EXPOSED SOILS, THEREBY PREVENTING EROSION AND POTENTIAL CLOGGING OF OUTFLOW STRUCTURES.
- AT PROJECT COMPLETION AND ACCEPTANCE BY THE OWNER, THEY SHALL BECOME RESPONSIBLE FOR OVERALL IMPLEMENTATION OF THE MAINTENANCE PROGRAM. THIS SHOULD BE ACCOMPLISHED ON A SEMI-ANNUAL BASIS, PREFERABLY SPRING AND FALL.
- THE OWNER SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL TRASH, LITTER AND OTHER DEBRIS SHALL BE REMOVED FROM ANY STORMWATER FACILITY INCLUDING INLET AND OUTLET STRUCTURES, THEREBY AVERTING FAILURE OF THE STRUCTURES.
- THE PARTY RESPONSIBLE FOR INSPECTION OF ANY COMPONENT OF THE DRAINAGE SYSTEM SHALL, WHERE APPLICABLE, COMPLETE A REPORT OUTLINING ANY DEFICIENCIES DISCOVERED DURING INSPECTION. IF THERE ARE ANY DEFICIENCIES, THE OWNER SHALL BE RESPONSIBLE FOR REMEDYING THE SITUATION WITHIN THIRTY DAYS. IF AN EMERGENCY SITUATION IS IMMINENT THEN IMMEDIATE MEASURES MUST BE TAKEN TO REMEDY THE SITUATION TO AVERT FAILURE OR DANGER TO NEARBY RESIDENTS.

LEGEND		
EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY LINE	---
---	ABUTTER LINE	---
---	STATE HIGHWAY LINE	---
⊙ DH (FND)	DRILL HOLE/IRON ROD	⊙ DH (SET)
⊙ IR (FND)		⊙ IR (SET)
⊙ RH/B (FND)	RI HIGHWAY BOUND	⊙ RH/B (SET)
⊙ STK (FND)	STAKE	⊙ STK (SET)
⊙	CATCH BASIN	⊙
⊙	DRAIN MANHOLE	⊙
⊙	ELECTRIC MANHOLE	⊙
⊙	SEWER MANHOLE	⊙
⊙	GAS GATE	⊙
⊙	WATER GATE	⊙
⊙	HYDRANT	⊙
⊙	LIGHT POLE	⊙
⊙	UTILITY POLE	⊙
⊙	WELL	⊙
---	SANITARY SEWER	---
---	STORM DRAIN	---
---	WATER	---
---	GAS	---
---	ELECTRIC	---
---	TELEPHONE	---
---	ROOF DRAIN	---
---	CONTOUR	---
---	SPOT ELEVATION	---
---	CHAIN LINK FENCE	---
---	GUARDRAIL	---
---	EDGE OF PAVEMENT	---
---	STONE WALL	---
---	HANDICAP PARKING	---
---	SAWCUT PAVEMENT AND CONCRETE	---
---	WETLAND FLAG IDENTIFICATION	---
---	50 FT. PERIMETER WETLAND	---
---	100/200 FT. RIVERBANK WETLAND	---
---	STREAM	---
---	FILTREX SOXX AT LIMIT OF DISTURBANCE	---
---	100 YEAR FLOOD BOUNDARY	---
---	EDGE OF WOODS	---
---	REMOVE AND DISPOSE	R&D
---	FINISHED FLOOR ELEVATION	F.F.
---	TOP OF FOUNDATION	T.F.
---	TOP OF RETAINING WALL	T.O.W.
---	BOTTOM OF RETAINING WALL	B.O.W.
---	TEST HOLE LOCATION	TH
---	TEST BORING	⊙
---	SOIL DELINEATION	---
---	SOIL TYPE	---
---	SUB. WATERSHED AREA	---
---	TIME OF CONCENTRATION	---



DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
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APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
JUN 4 2020 FILE # 19-0355
DATED JUN 4 2020
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE
Nancy L. Freeman

GARY C. LAMOND, PE, LLC
CIVIL ENGINEERING LAND PLANNING PERMITTING

194 HATCHERY ROAD
NORTH KINGSTOWN, RHODE ISLAND 02852
(401) 294-6808

garylamond@msn.com

Project:

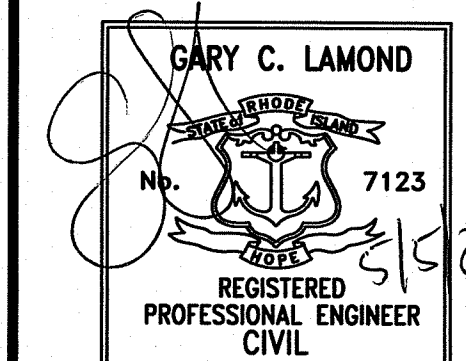
STILLWATER PARK
OFFICE BUILDING
PLAT 46 - LOT 287

15 APPIAN WAY
SMITHFIELD,
RHODE ISLAND

Prepared For:

2347 DIAMOND HILL
MANAGEMENT, LLC

44 ANGELL ROAD
CUMBERLAND
RHODE ISLAND



Issue Date: 12-3-19

Revisions

No.	Date	Description
1.	5/5/2020	DEM COMMENTS

Project Number: 2013038

Scale: AS NOTED

Designed By: GCL

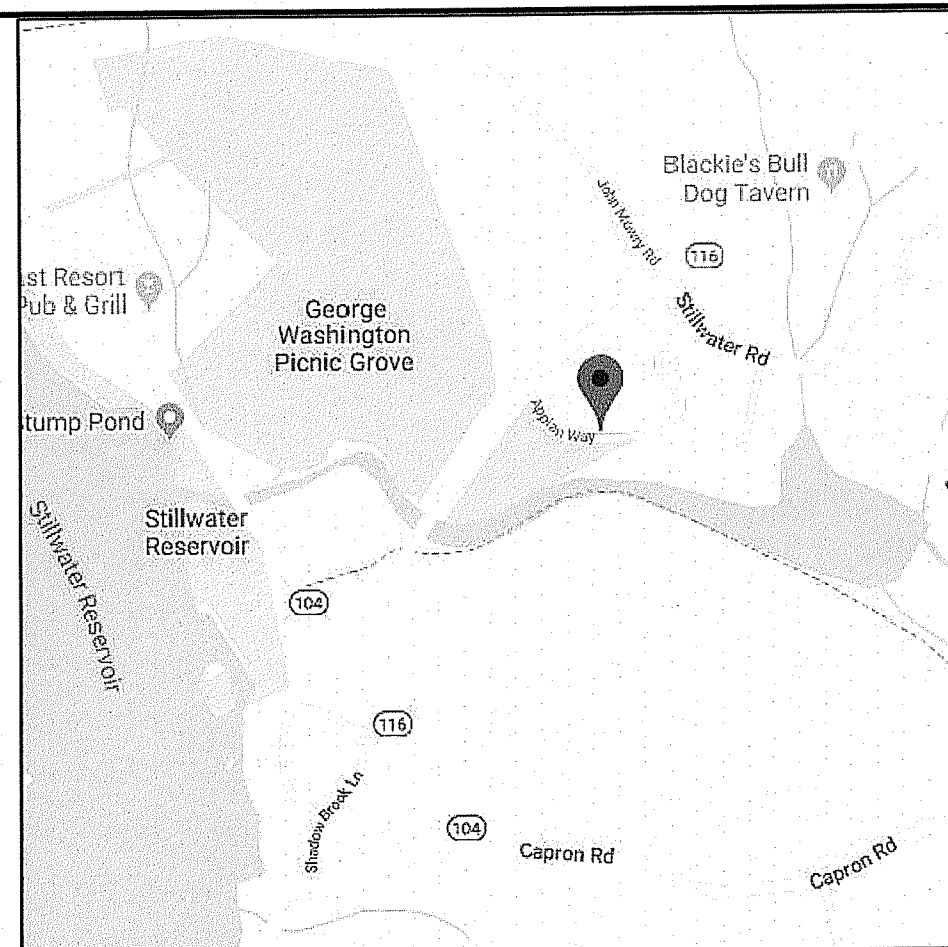
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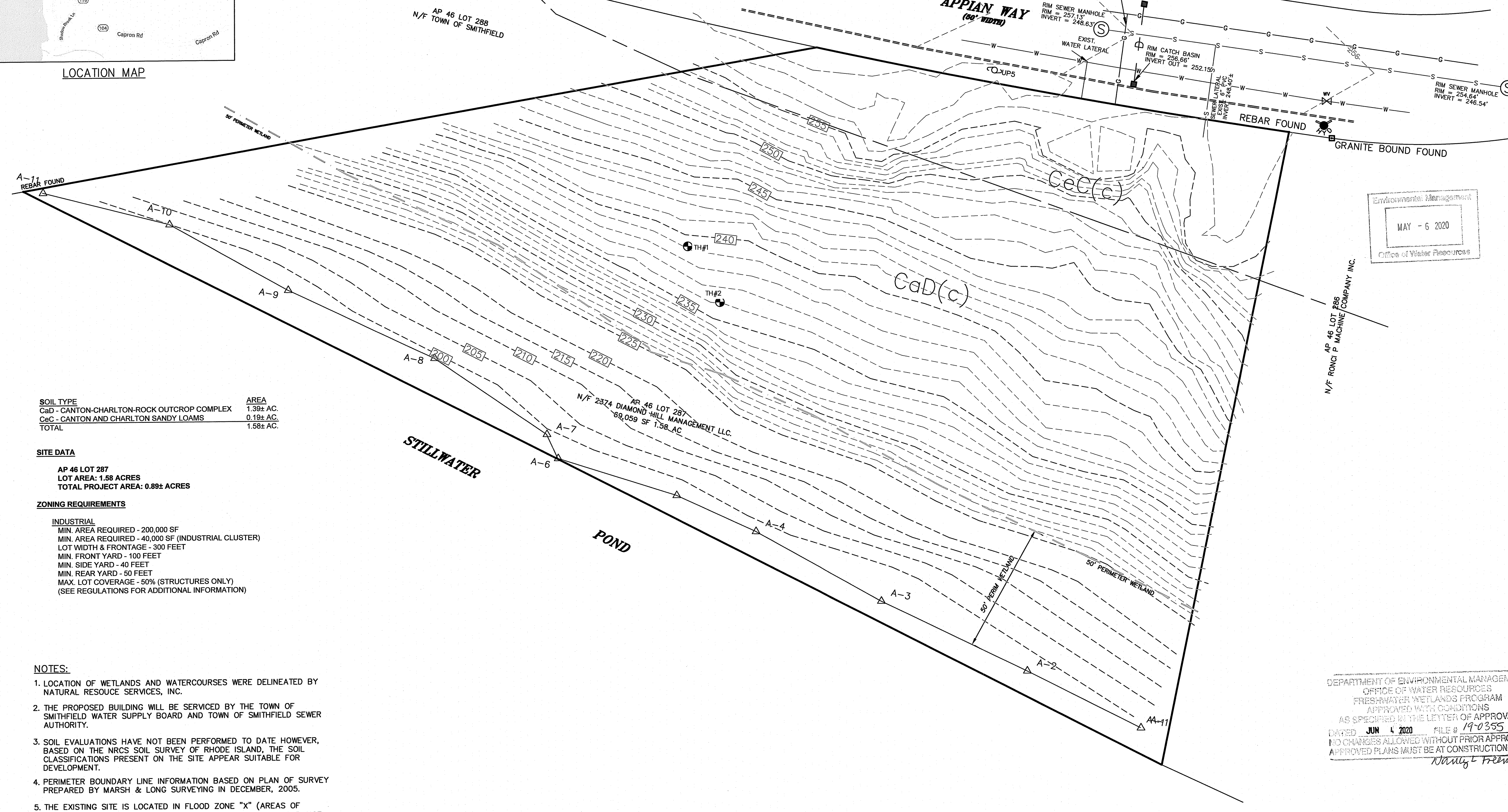
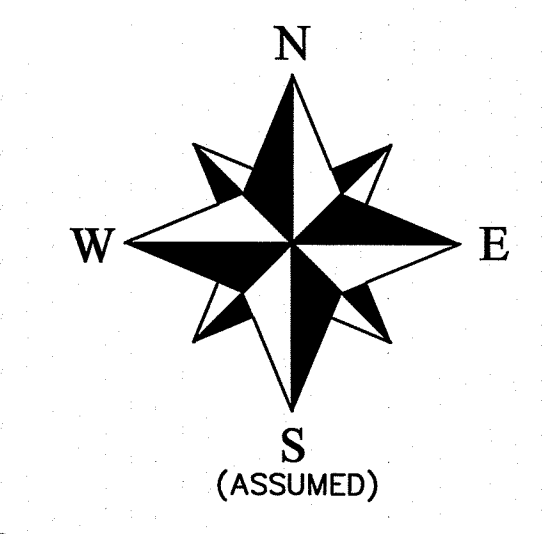
NOTES & LEGEND

C2

Sheet Number: 2 of 10



LOCATION MAP

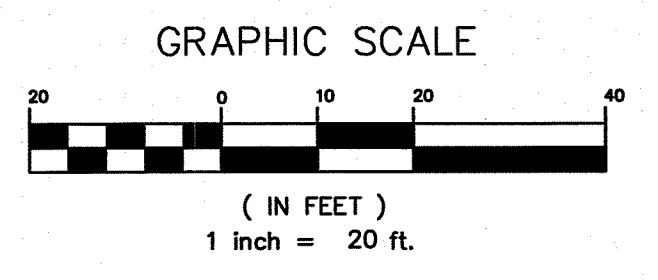


SOIL TYPE	AREA
CaD - CANTON-CHARLTON-ROCK OUTCROP COMPLEX	1.39± AC.
CaC - CANTON AND CHARLTON SANDY LOAMS	0.19± AC.
TOTAL	1.58± AC.

SITE DATA
 AP 46 LOT 287
 LOT AREA: 1.58 ACRES
 TOTAL PROJECT AREA: 0.89± ACRES

ZONING REQUIREMENTS
 INDUSTRIAL
 MIN. AREA REQUIRED - 200,000 SF
 MIN. AREA REQUIRED - 40,000 SF (INDUSTRIAL CLUSTER)
 LOT WIDTH & FRONTAGE - 300 FEET
 MIN. FRONT YARD - 100 FEET
 MIN. SIDE YARD - 40 FEET
 MIN. REAR YARD - 50 FEET
 MAX. LOT COVERAGE - 50% (STRUCTURES ONLY)
 (SEE REGULATIONS FOR ADDITIONAL INFORMATION)

- NOTES:**
1. LOCATION OF WETLANDS AND WATERCOURSES WERE DELINEATED BY NATURAL RESOURCE SERVICES, INC.
 2. THE PROPOSED BUILDING WILL BE SERVICED BY THE TOWN OF SMITHFIELD WATER SUPPLY BOARD AND TOWN OF SMITHFIELD SEWER AUTHORITY.
 3. SOIL EVALUATIONS HAVE NOT BEEN PERFORMED TO DATE HOWEVER, BASED ON THE NRCS SOIL SURVEY OF RHODE ISLAND, THE SOIL CLASSIFICATIONS PRESENT ON THE SITE APPEAR SUITABLE FOR DEVELOPMENT.
 4. PERIMETER BOUNDARY LINE INFORMATION BASED ON PLAN OF SURVEY PREPARED BY MARSH & LONG SURVEYING IN DECEMBER, 2005.
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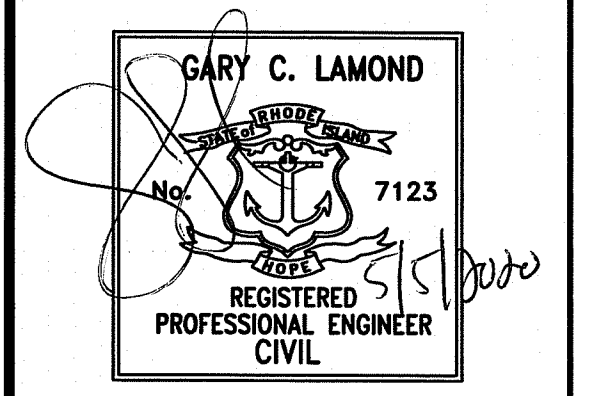
DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
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Environmental Management
 MAY - 6 2020
 Office of Water Resources

GARY C. LAMOND, PE, LLC
 CIVIL ENGINEERING LAND PLANNING PERMITTING
 194 HATCHERY ROAD
 NORTH KINGSTOWN, RHODE ISLAND 02852
 (401) 294-6808

Project:
 STILLWATER PARK
 OFFICE BUILDING
 PLAT 46 - LOT 287
 15 APPIAN WAY
 SMITHFIELD,
 RHODE ISLAND

Prepared For:
 2347 DIAMOND HILL
 MANAGEMENT, LLC
 44 ANGELL ROAD
 CUMBERLAND
 RHODE ISLAND



Issue Date: 12-3-19

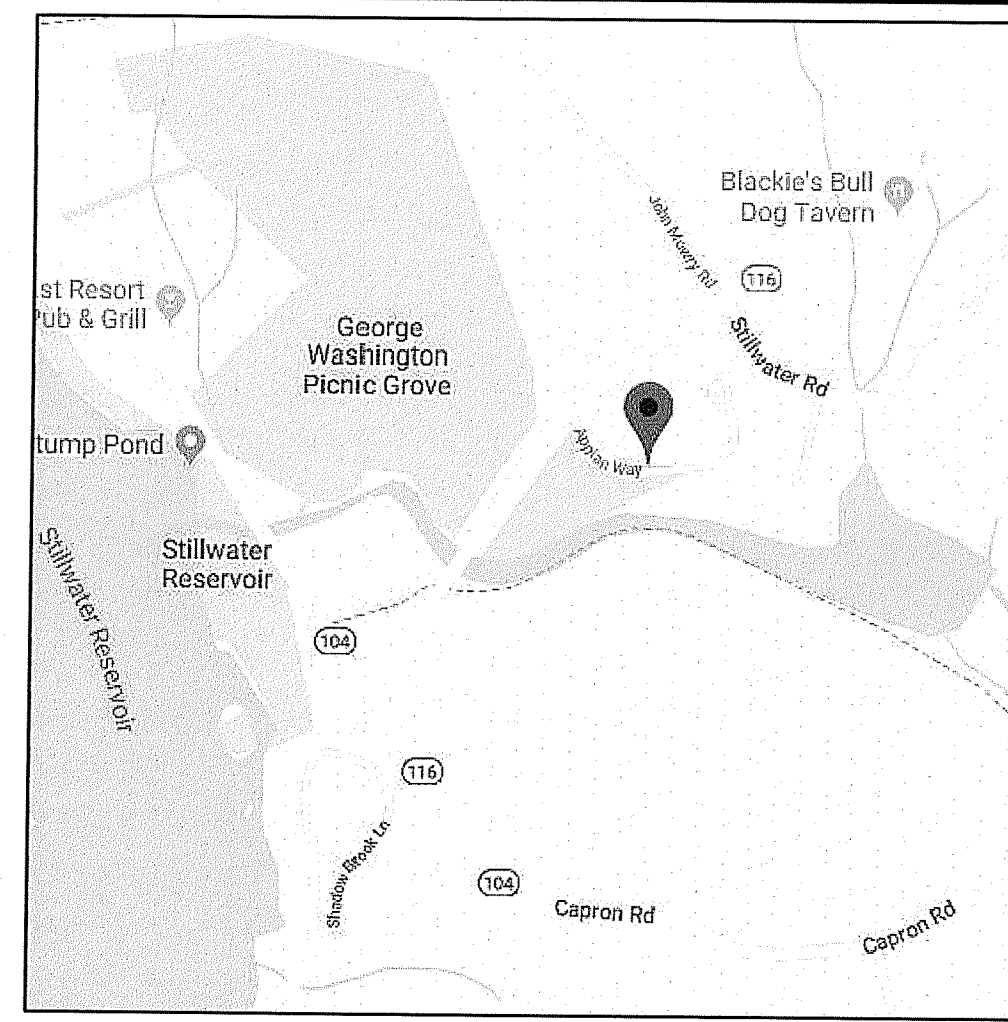
Revisions		
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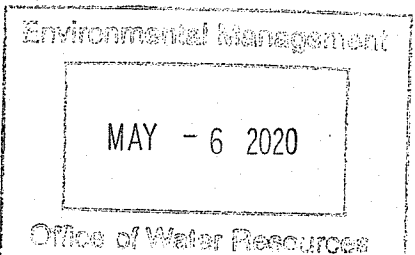
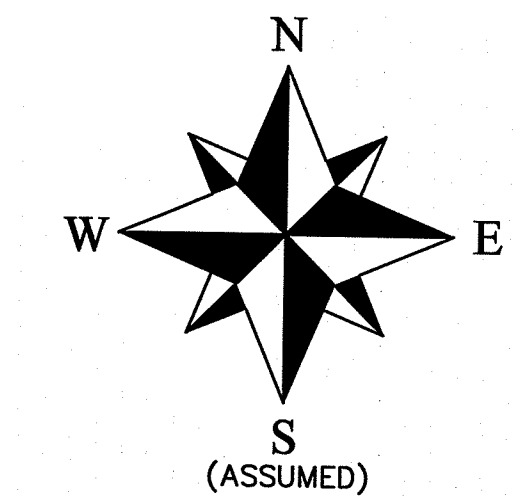
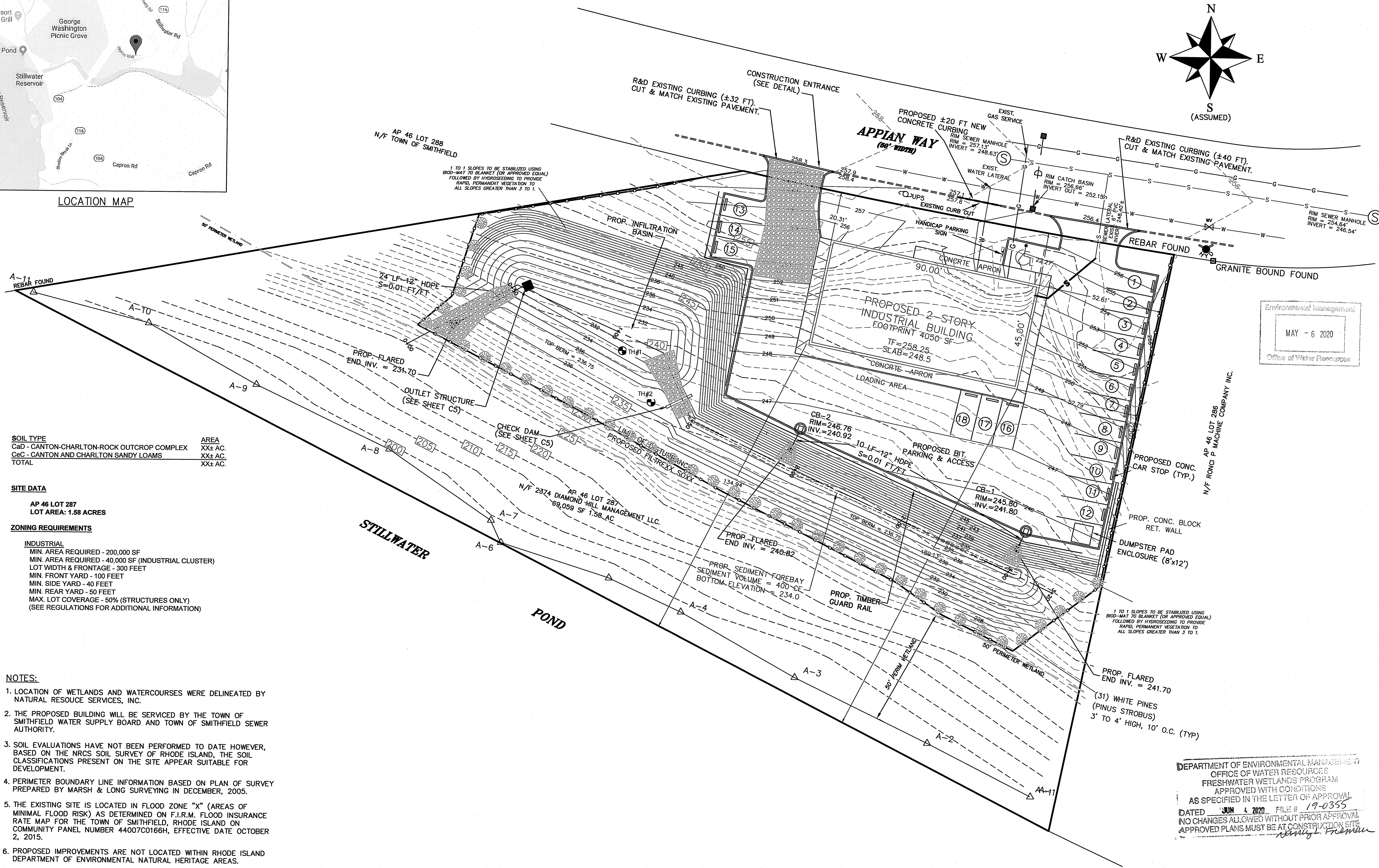
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 EXISTING CONDITIONS

C3
 Sheet Number: 3 of 10

GIS data obtained from RIGIS and Town of No. Kingstown



LOCATION MAP

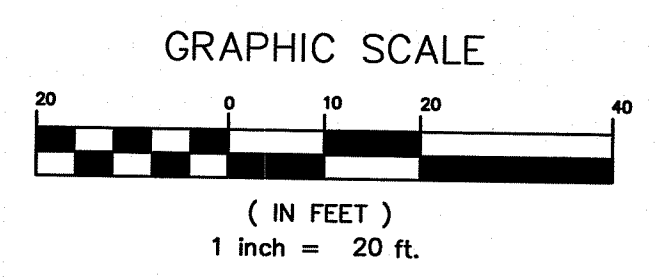


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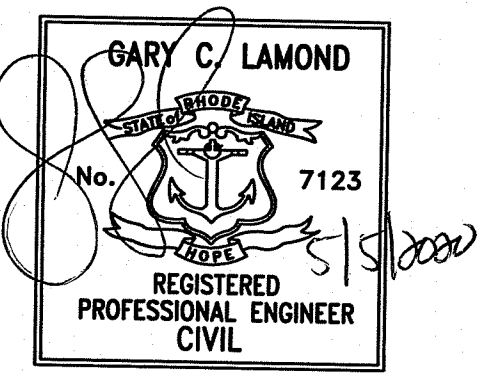


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Issue Date: 12-3-19

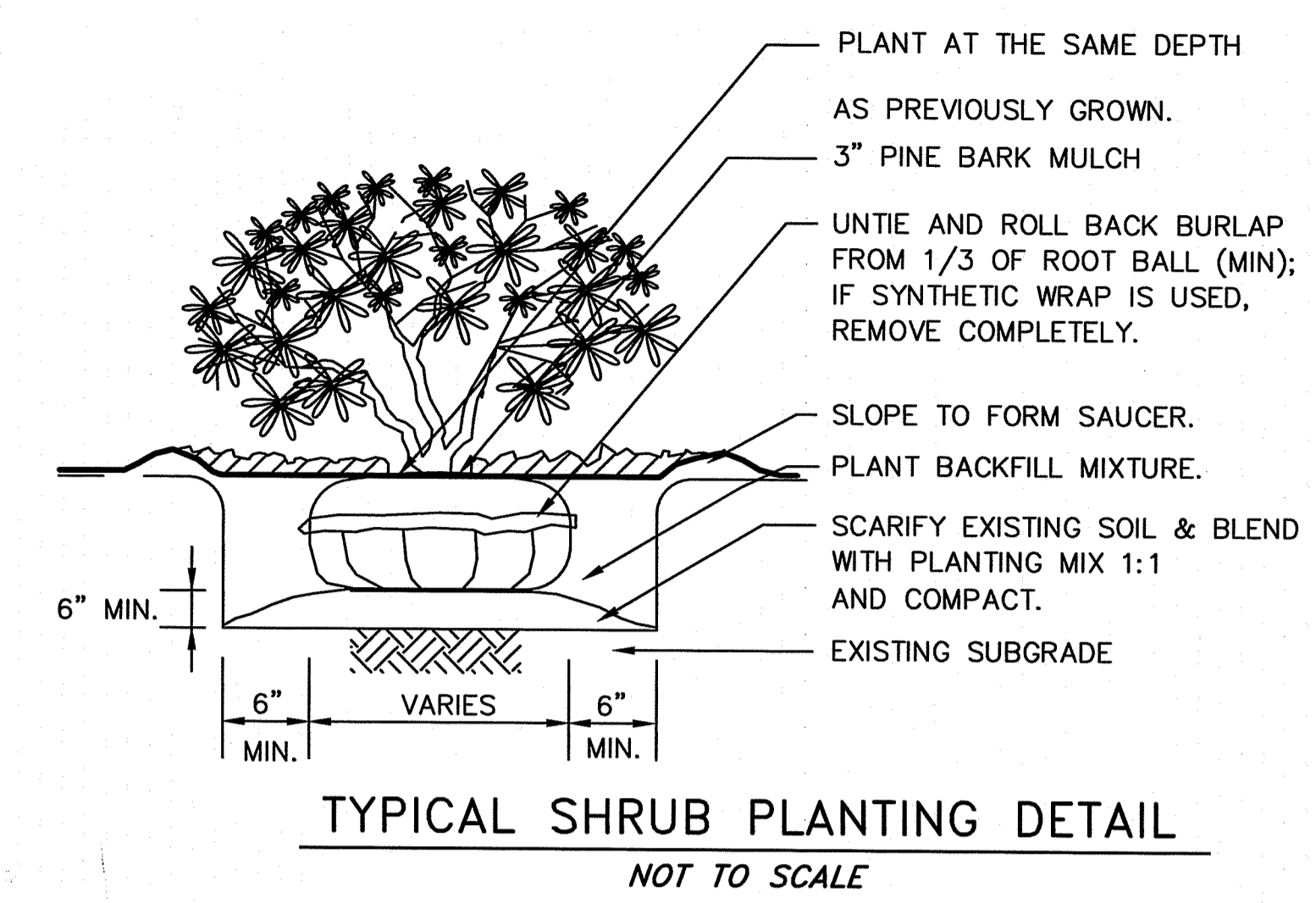
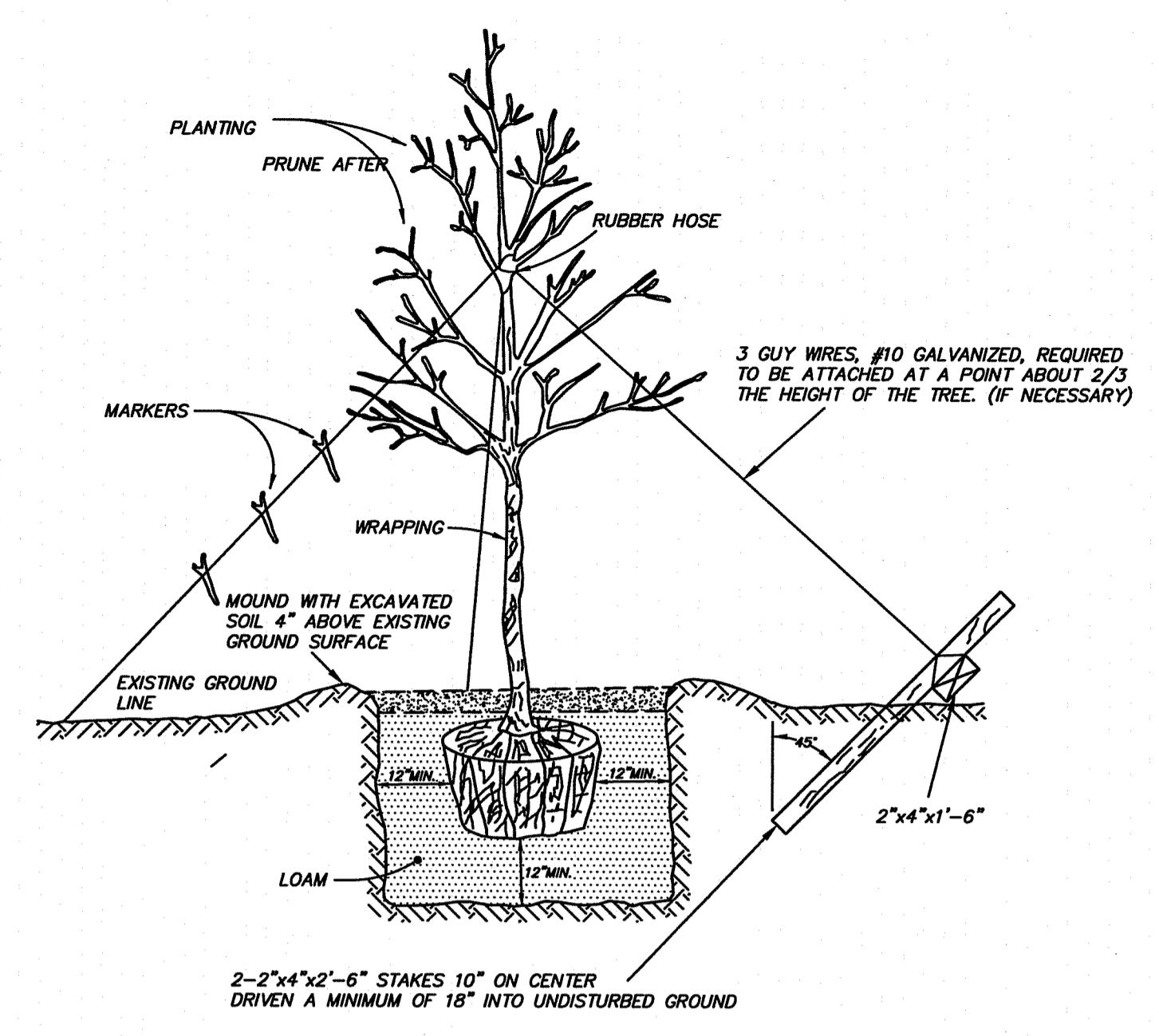
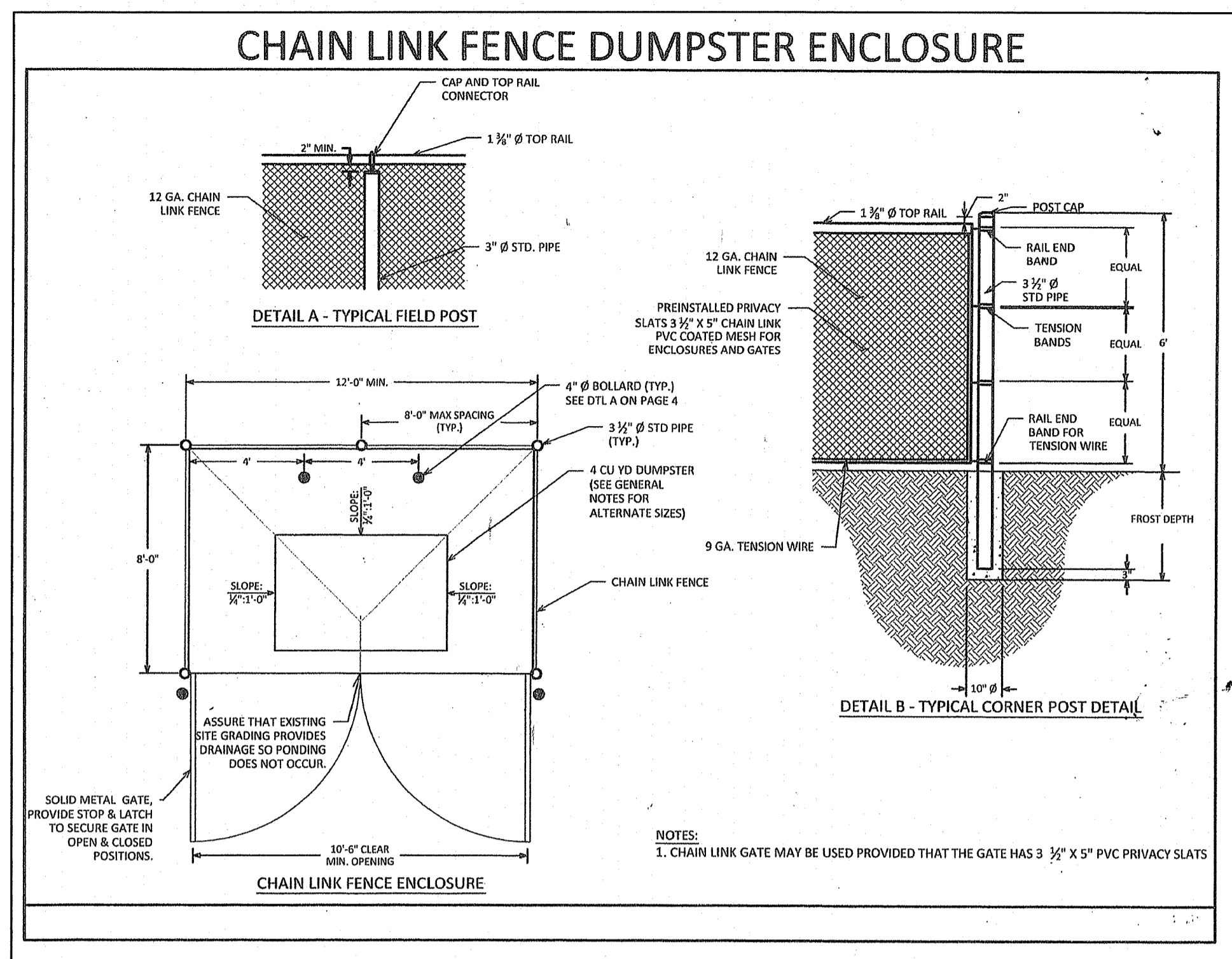
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Project Number: 2013038
 Scale: AS NOTED
 Designed By: GCL
 Drawn By: GCL

Sheet Title:
 PROPOSED CONDITIONS

C4
 Sheet Number: 4 of 10

GIS data obtained from RIGIS and Town of No. Kingstown



EROSION CONTROL PROGRAM

PRIOR TO START OF CONSTRUCTION, HAYBALES, SILT FENCES AND ALL OTHER SPECIFIED EROSION CONTROL FENCES SHALL BE IN PLACE.

CRITICAL AREAS SUCH AS WETLAND AREAS, SLOPES AND STREAMS SHALL BE PROTECTED AS PER PLAN AND, IN THE PRESENCE OF WETLANDS, THE CONDITIONS OF ANY ISSUED PERMIT SHALL BE ADHERED TO.

THE CONTRACTOR SHALL BE REQUIRED TO ESTABLISH AND FULLY MAINTAIN ALL REQUIRED EROSION AND SEDIMENTATION CONTROLS.

SEDIMENTATION CONTROL PROGRAM

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SLOPE PROTECTION TO BE INSTALLED ON ANY DISTURBED AREAS SUBJECT TO EROSION.

EXTREME CARE SHALL BE TAKEN TO PREVENT SEDIMENT OR UNSUITABLE MATERIAL FROM ENTERING WETLANDS, ROADWAYS AND/OR DRAINAGE STRUCTURES.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTING AND MAINTAINING ALL EROSION CONTROL MEASURES PROMPTLY AFTER EACH RAINFALL AND TO ENSURE THAT RUNOFF FLOW PATTERNS ARE NOT INHIBITED DURING RAINFALL AND/OR SNOWMELT.

REMOVED SEDIMENTS SHALL NOT BE STOCKPILED IN AREAS WHERE POTENTIAL EXISTS FOR TRANSPORT OF THESE SEDIMENTS VIA STORM FLOW TO WETLANDS OR OTHER UNDESIRABLE LOCATIONS.

SILT FENCE SHALL BE PLACED AS DESIGNATED ON PLAN AS WELL AS ANY AREAS WHERE CONDITIONS WARRANT DURING CONSTRUCTION.

ACCUMULATED SEDIMENTS SHALL BE REMOVED AS DIRECTED BY THE OWNER, ENGINEER, BIOLOGIST, APPLICANT, LOCAL OR STATE OFFICIALS.

THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE CONSTRUCTION ENTRANCE. AT A MINIMUM THE ENTRANCE SHALL BE SWEEPED FREE OF SEDIMENT AND DEBRIS AT THE END OF EACH WORK DAY.

OFFICE OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
BREWSTER WETLANDS PROGRAM
APPROVAL
NO CHANGE TO PLAN SINCE APPROVAL
APPROVED PLAN SHEET NO. 19-0355
DATE: MAY 15, 2020
BY: GARY C. LAMOND

SOIL STABILIZATION & PLANTING PROGRAM

ACCEPTABLE PLANTING MATERIALS:
LOAM - THE MATERIAL TO BE FURNISHED SHALL CONSIST OF LOOSE, FRIABLE, SANDY LOAM OR LOAM TOPSOIL FREE OF A MIXTURE OF SUBSOIL, REFUSE, STUMPS, ROOTS, ROCKS, BRUSH, WEEDS AND OTHER MATERIAL WHICH WILL PREVENT THE FORMATION OF A SUITABLE SEED BED.

SEED MIXTURES - ALL LEGUME SEED SHALL BE INOCULATED WITHIN 24 HOURS BEFORE MIXING AND PLANTING WITH THE APPROPRIATE INOCULUM FOR EACH VARIETY. ALL INOCULA SHALL BE FRESH AND SHALL BE USED WITHIN THE DATE LIMIT PRESCRIBED BY THE MANUFACTURER.

FOR RELATIVELY FLAT SLOPES:

MIX	% BY WEIGHT
RED FESCUE - CHEWING'S PENNLAWN OR CREEPING	70
KENTUCKY BLUEGRASS	15
COLONIAL BENTGRASS - ASTORIA OR EXETER	5
PERENNIAL RYEGRASS	10

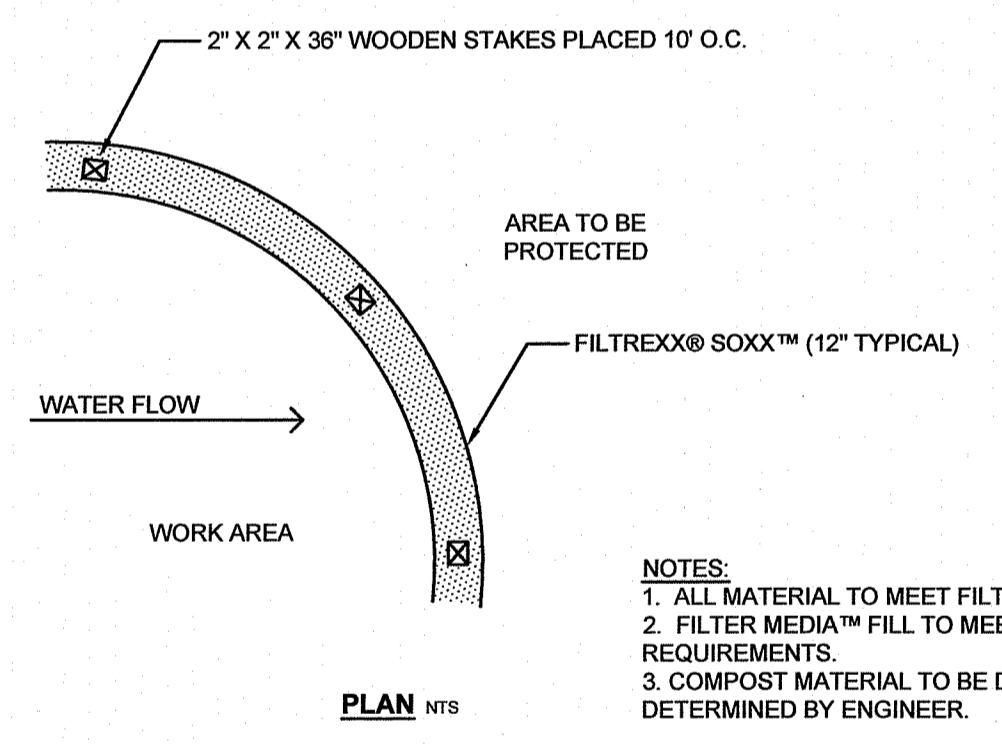
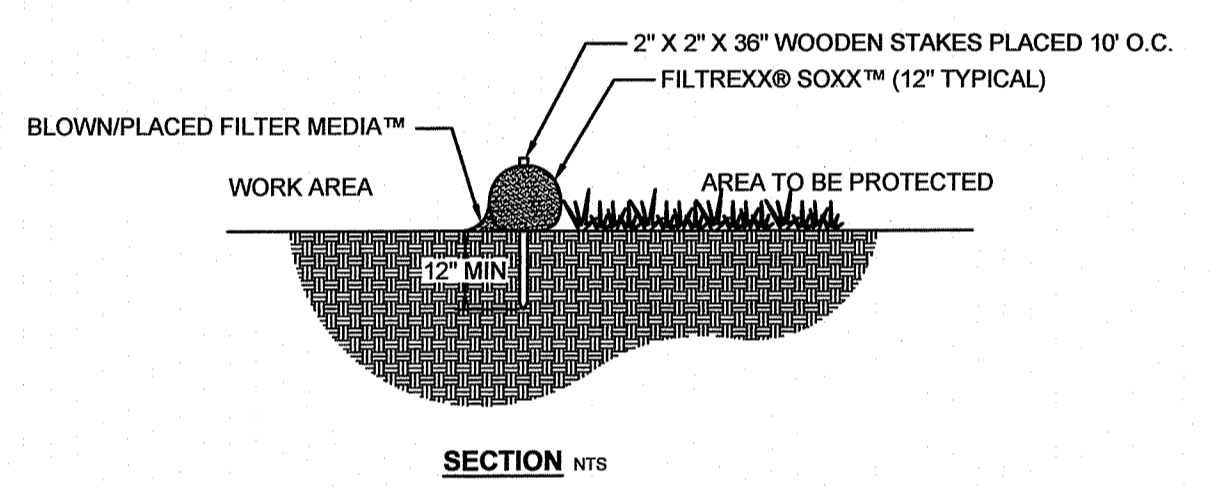
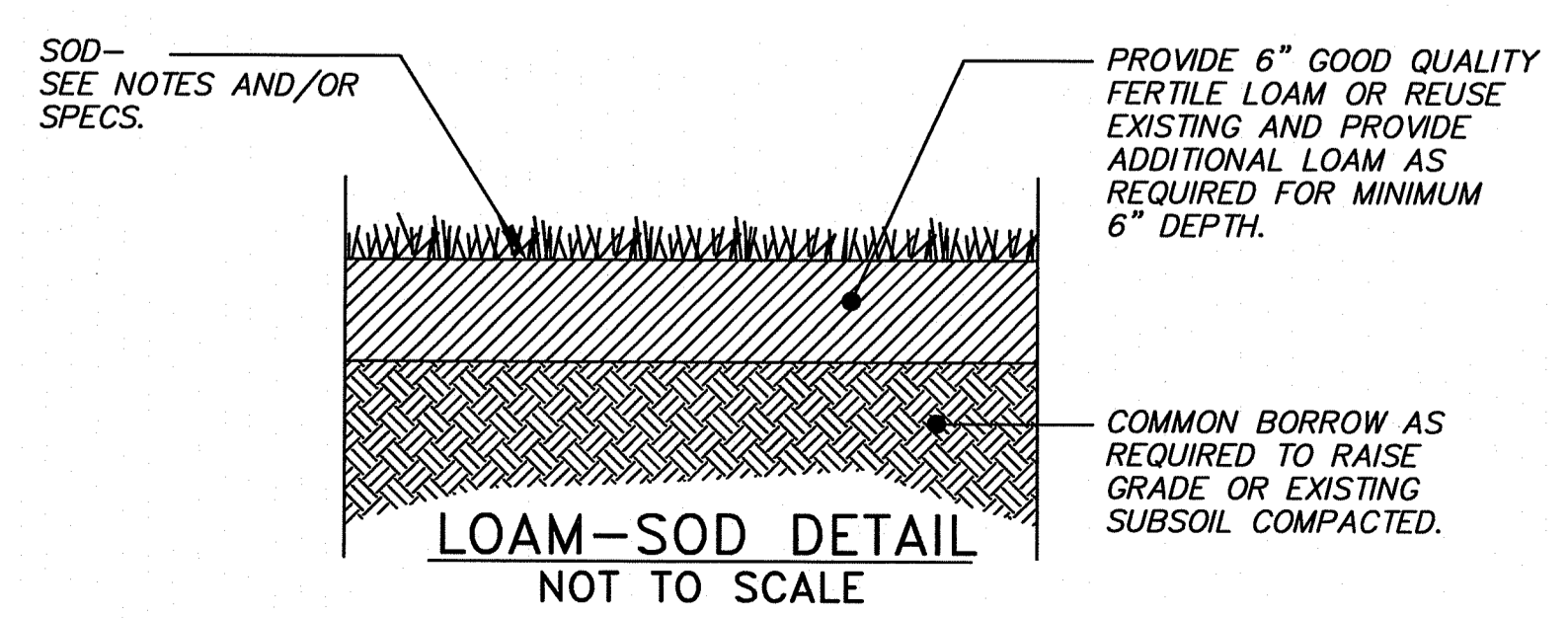
- SEEDING RATE = 100 LBS. PER ACRE

MIX	% BY WEIGHT
RED FESCUE - PENNLAWN OR CREEPING	75
PERENNIAL RYEGRASS	5
COLONIAL BENTGRASS - ASTORIA OR EXETER	5
BIRDSFOOT TREFLOIL - EMPIRE	15

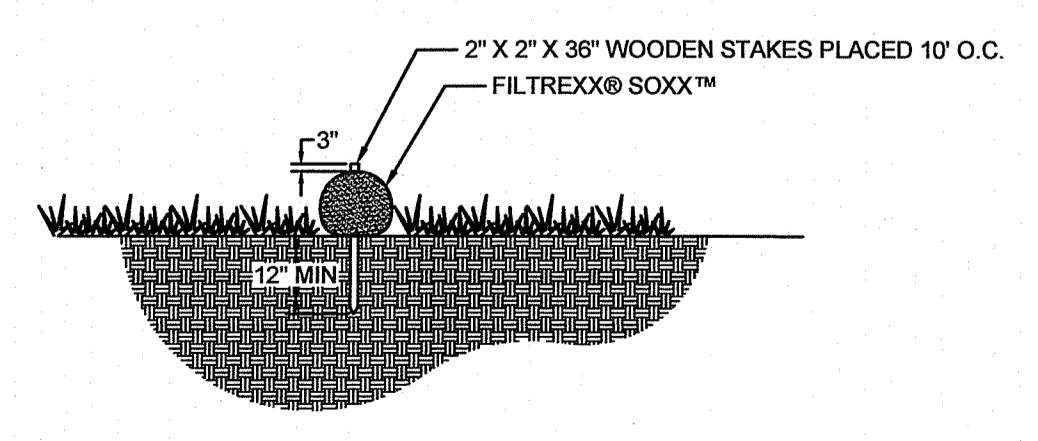
- SEEDING RATE: 100 LBS. PER ACRE

THE ACCEPTED PLANTING SEASON SHALL BE BETWEEN APRIL 1ST AND OCTOBER 15TH. CONTRACTOR SHOULD COORDINATE ON ALL DISTURBED AREAS. THE CONTRACTOR SHALL PROVIDE A MINIMUM OF FOUR (4) INCHES OF LOAM ON AREAS UP TO 10% IN GRADE. ALL AREAS OVER 10% SHALL RECEIVE A MINIMUM OF SIX (6) INCHES.

ANY PUBLIC TREES THAT ARE REMOVED OR DAMAGED DURING CONSTRUCTION SHALL BE REPLACED WITH EQUIVALENT.



FILTREXX® SEDIMENT CONTROL
NTS



FILTREXX® SOXX™ STAKING
NTS

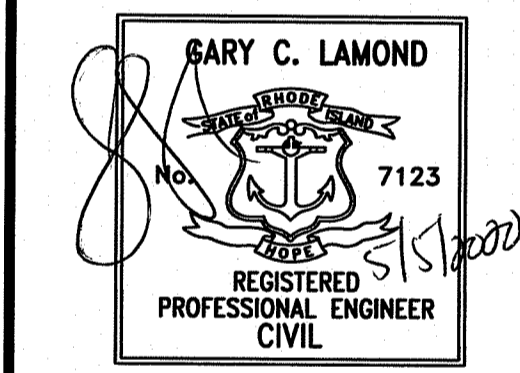
GARY C. LAMOND, P.E., LLC
CIVIL ENGINEERING LAND PLANNING PERMITTING
194 HATCHERY ROAD
NORTH KINGSTOWN, RHODE ISLAND 02852
(401) 294-6808

Project:
STILLWATER PARK
OFFICE BUILDING
PLAT 46 - LOT 287

15 APPIAN WAY
SMITHFIELD,
RHODE ISLAND

Prepared For:
2347 DIAMOND HILL
MANAGEMENT, LLC

44 ANGELL ROAD
CUMBERLAND
RHODE ISLAND



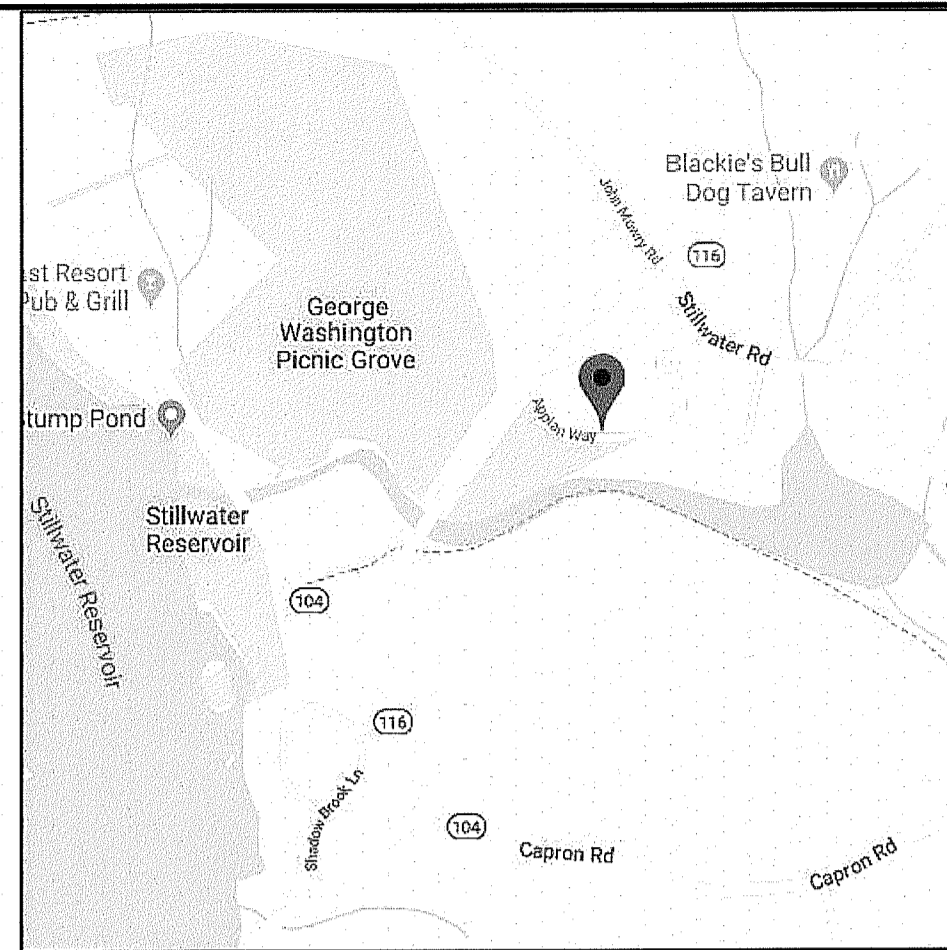
Issue Date: 12-3-19

Revisions		
No.	Date	Description
1.	5/5/2020	DEM COMMENTS

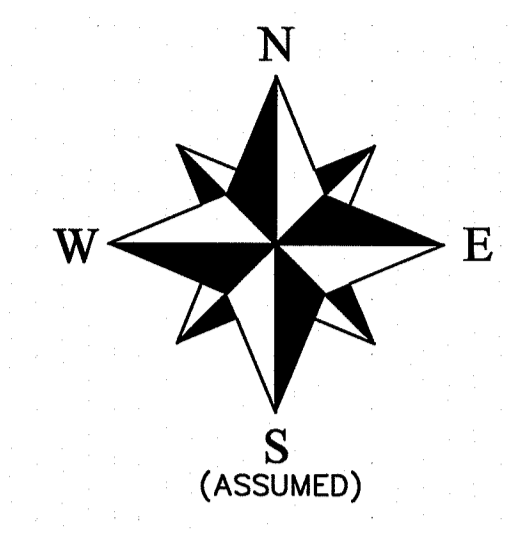
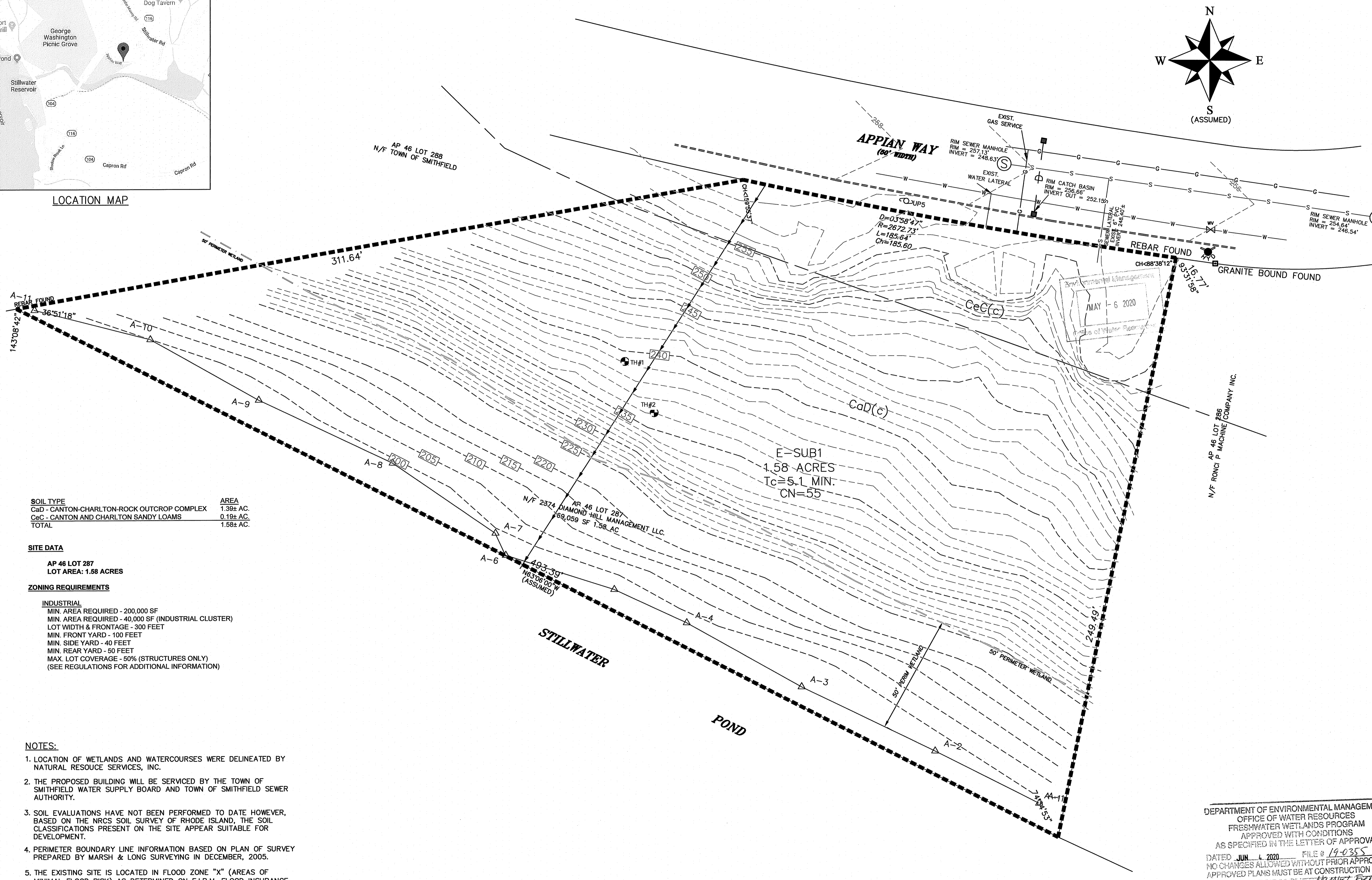
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Scale: AS NOTED
Designed By: GCL
Drawn By: GCL

Sheet Title:
DETAIL SHEET 3

C7
Sheet Number: 7 of 10



LOCATION MAP

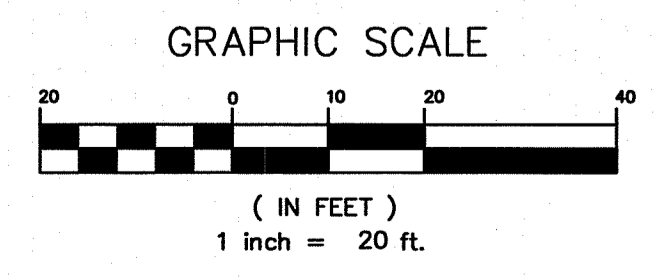


SOIL TYPE	AREA
CaD - CANTON-CHARLTON-ROCK OUTCROP COMPLEX	1.39± AC.
CeC - CANTON AND CHARLTON SANDY LOAMS	0.19± AC.
TOTAL	1.58± AC.

SITE DATA
 AP 46 LOT 287
 LOT AREA: 1.58 ACRES

ZONING REQUIREMENTS
 INDUSTRIAL
 MIN. AREA REQUIRED - 200,000 SF
 MIN. AREA REQUIRED - 40,000 SF (INDUSTRIAL CLUSTER)
 LOT WIDTH & FRONTAGE - 300 FEET
 MIN. FRONT YARD - 100 FEET
 MIN. SIDE YARD - 40 FEET
 MIN. REAR YARD - 50 FEET
 MAX. LOT COVERAGE - 50% (STRUCTURES ONLY)
 (SEE REGULATIONS FOR ADDITIONAL INFORMATION)

- NOTES:**
1. LOCATION OF WETLANDS AND WATERCOURSES WERE DELINEATED BY NATURAL RESOURCE SERVICES, INC.
 2. THE PROPOSED BUILDING WILL BE SERVICED BY THE TOWN OF SMITHFIELD WATER SUPPLY BOARD AND TOWN OF SMITHFIELD SEWER AUTHORITY.
 3. SOIL EVALUATIONS HAVE NOT BEEN PERFORMED TO DATE HOWEVER, BASED ON THE NRCS SOIL SURVEY OF RHODE ISLAND, THE SOIL CLASSIFICATIONS PRESENT ON THE SITE APPEAR SUITABLE FOR DEVELOPMENT.
 4. PERIMETER BOUNDARY LINE INFORMATION BASED ON PLAN OF SURVEY PREPARED BY MARSH & LONG SURVEYING IN DECEMBER, 2005.
 5. THE EXISTING SITE IS LOCATED IN FLOOD ZONE "X" (AREAS OF MINIMAL FLOOD RISK) AS DETERMINED ON F.I.R.M. FLOOD INSURANCE RATE MAP FOR THE TOWN OF SMITHFIELD, RHODE ISLAND ON COMMUNITY PANEL NUMBER 44007C0166H, EFFECTIVE DATE OCTOBER 2, 2015.
 6. PROPOSED IMPROVEMENTS ARE NOT LOCATED WITHIN RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL NATURAL HERITAGE AREAS.
 7. SITE TOPOGRAPHY AND UTILITY LOCATIONS BASED ON A PLAN ENTITLED STILLWATER PARK OFFICE BUILDING, PLAT 46 LOT 287 APPIAN WAY, SMITHFIELD, RHODE ISLAND FOR DECA REAL ESTATE CO., INC., ONE COMMERCE WAY, JOHNSTON, RHODE ISLAND SCALE 1" = 20' BY CATALDO & ASSOCIATES INC.



DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED JUN 4 2020 FILE # 19-0355
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

GARY C. LAMOND, PE, LLC
 CIVIL ENGINEERING LAND PLANNING PERMITTING
 194 HATCHERY ROAD
 NORTH KINGSTOWN, RHODE ISLAND 02852
 (401) 294-6808
 garyl@lamond.com

Project:
 STILLWATER PARK
 OFFICE BUILDING
 PLAT 46 - LOT 287
 15 APPIAN WAY
 SMITHFIELD,
 RHODE ISLAND

Prepared For:
 2347 DIAMOND HILL
 MANAGEMENT, LLC
 44 ANGELL ROAD
 CUMBERLAND
 RHODE ISLAND

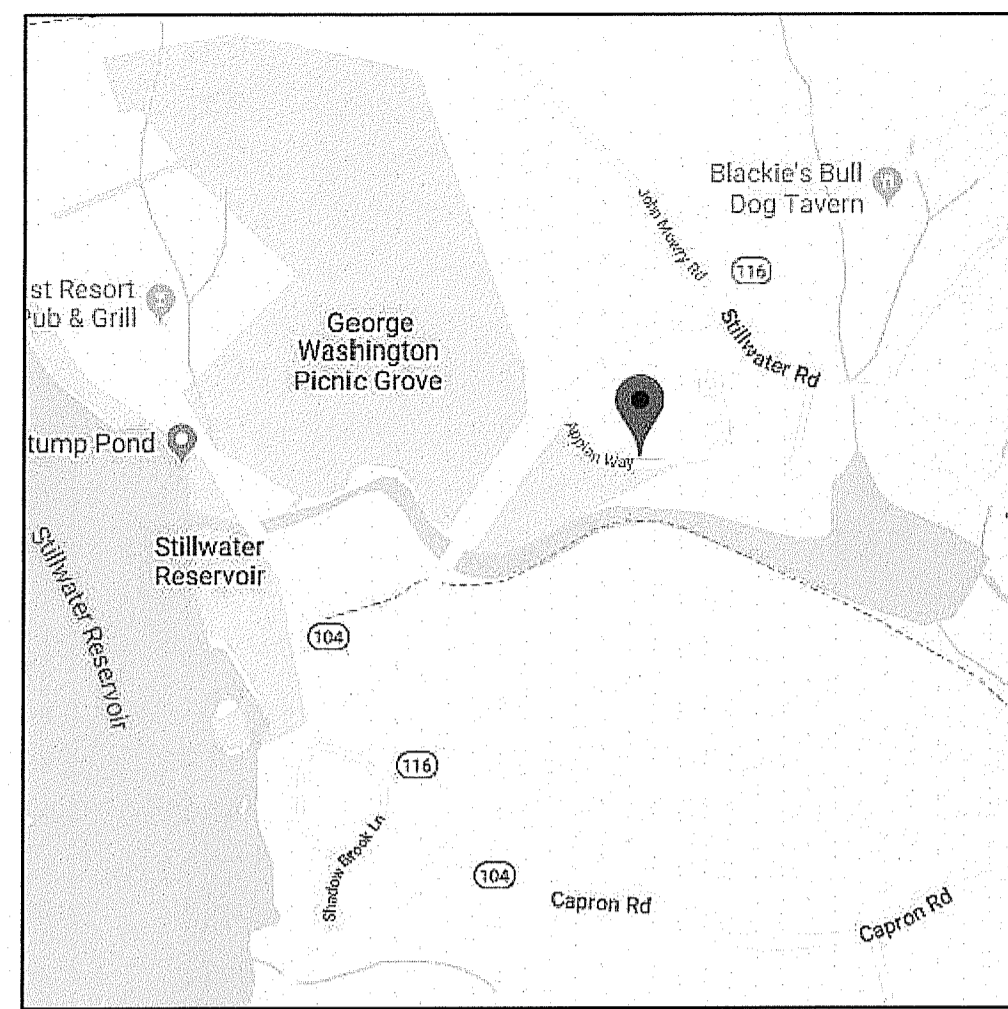
Issue Date: 12-3-19

Revisions		
No.	Date	Description
1	5/5/2020	DEM COMMENTS

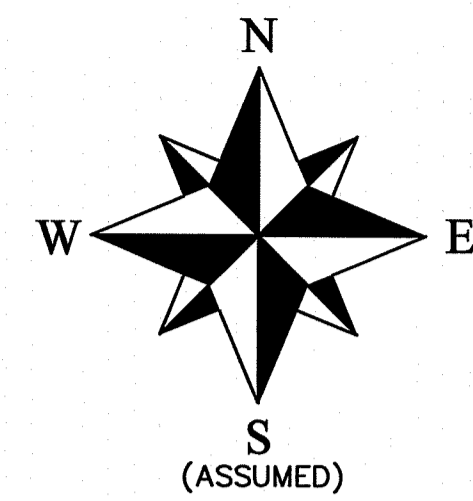
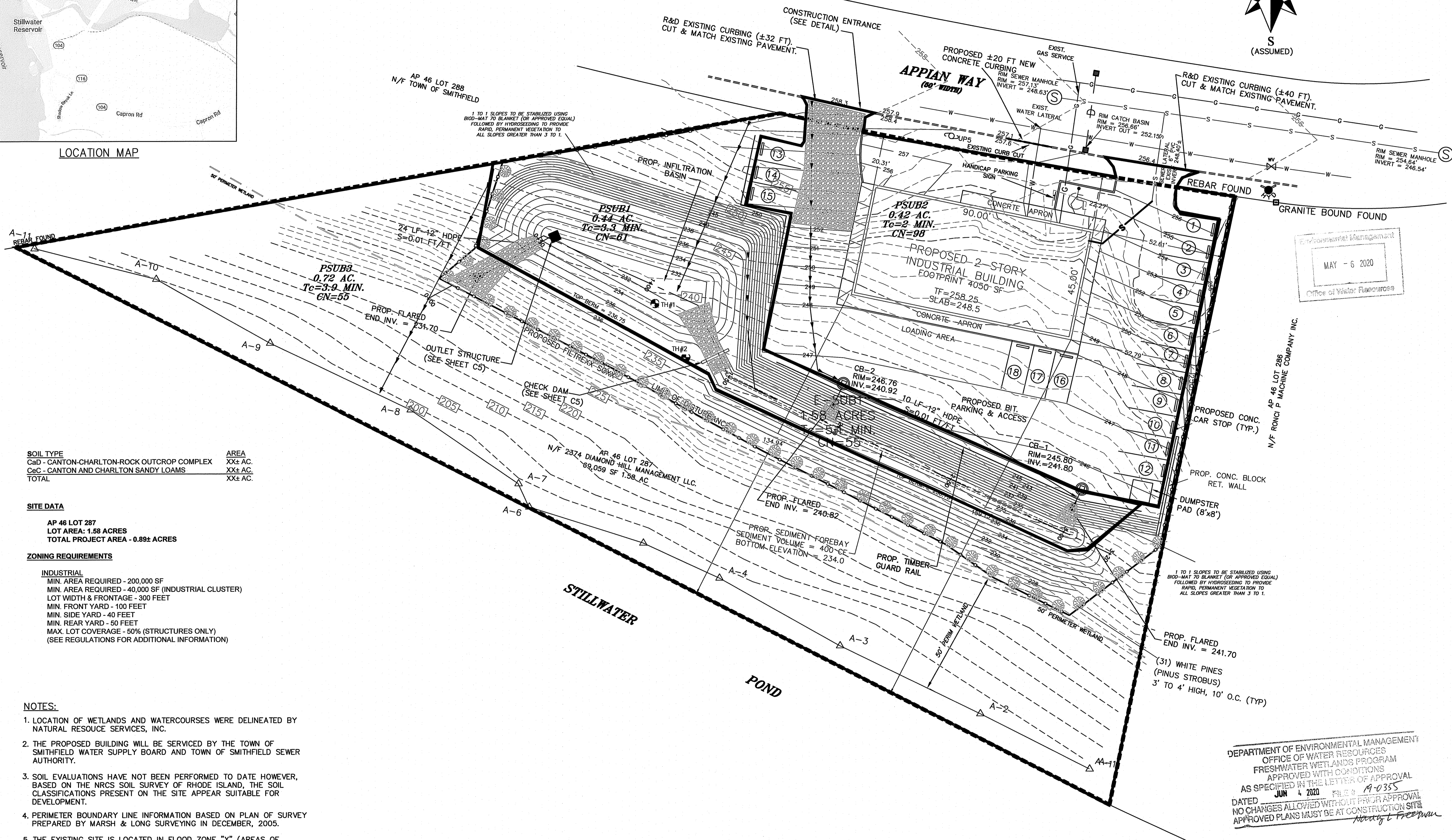
Project Number: 2013038
 Scale: AS NOTED
 Designed By: GCL
 Drawn By: GCL
 Sheet Title:
 EXISTING WATERSHED
 MAP

C8
 Sheet Number: 8 of 10

GIS data obtained from RIGIS and Town of No. Kingstown



LOCATION MAP



GARY C. LAMOND, PE, LLC
CIVIL ENGINEERING LAND PLANNING PERMITTING

194 HATCHERY ROAD
NORTH KINGSTOWN, RHODE ISLAND 02852
(401) 294-6808

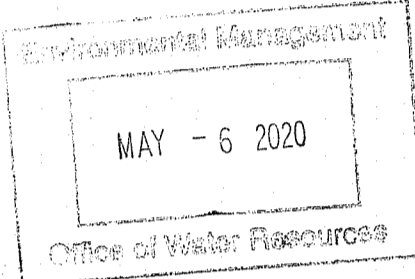
garylamond@msn.com

Project:
STILLWATER PARK
OFFICE BUILDING
PLAT 46 - LOT 287

15 APPIAN WAY
SMITHFIELD,
RHODE ISLAND

Prepared For:
2347 DIAMOND HILL
MANAGEMENT, LLC

44 ANGELL ROAD
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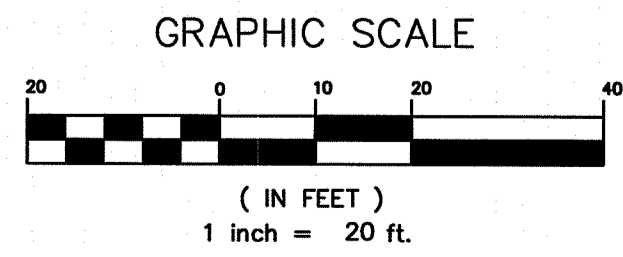
N/F 46 LOT 286
MACHINE COMPANY INC.

SOIL TYPE	AREA
C&D - CANTON-CHARLTON-ROCK OUTCROP COMPLEX	XX± AC.
C&C - CANTON AND CHARLTON SANDY LOAMS	XX± AC.
TOTAL	XX± AC.

SITE DATA
AP 46 LOT 287
LOT AREA: 1.58 ACRES
TOTAL PROJECT AREA - 0.89± ACRES

ZONING REQUIREMENTS
INDUSTRIAL
MIN. AREA REQUIRED - 200,000 SF
MIN. AREA REQUIRED - 40,000 SF (INDUSTRIAL CLUSTER)
LOT WIDTH & FRONTAGE - 300 FEET
MIN. FRONT YARD - 100 FEET
MIN. SIDE YARD - 40 FEET
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Project Number: 2013038

Scale: AS NOTED

Designed By: GCL

Drawn By: GCL

Sheet Title:

PROPOSED WATERSHED
MAP

C9

Sheet Number: 9 of 10

GIS data obtained from RIGIS and Town of No. Kingstown

