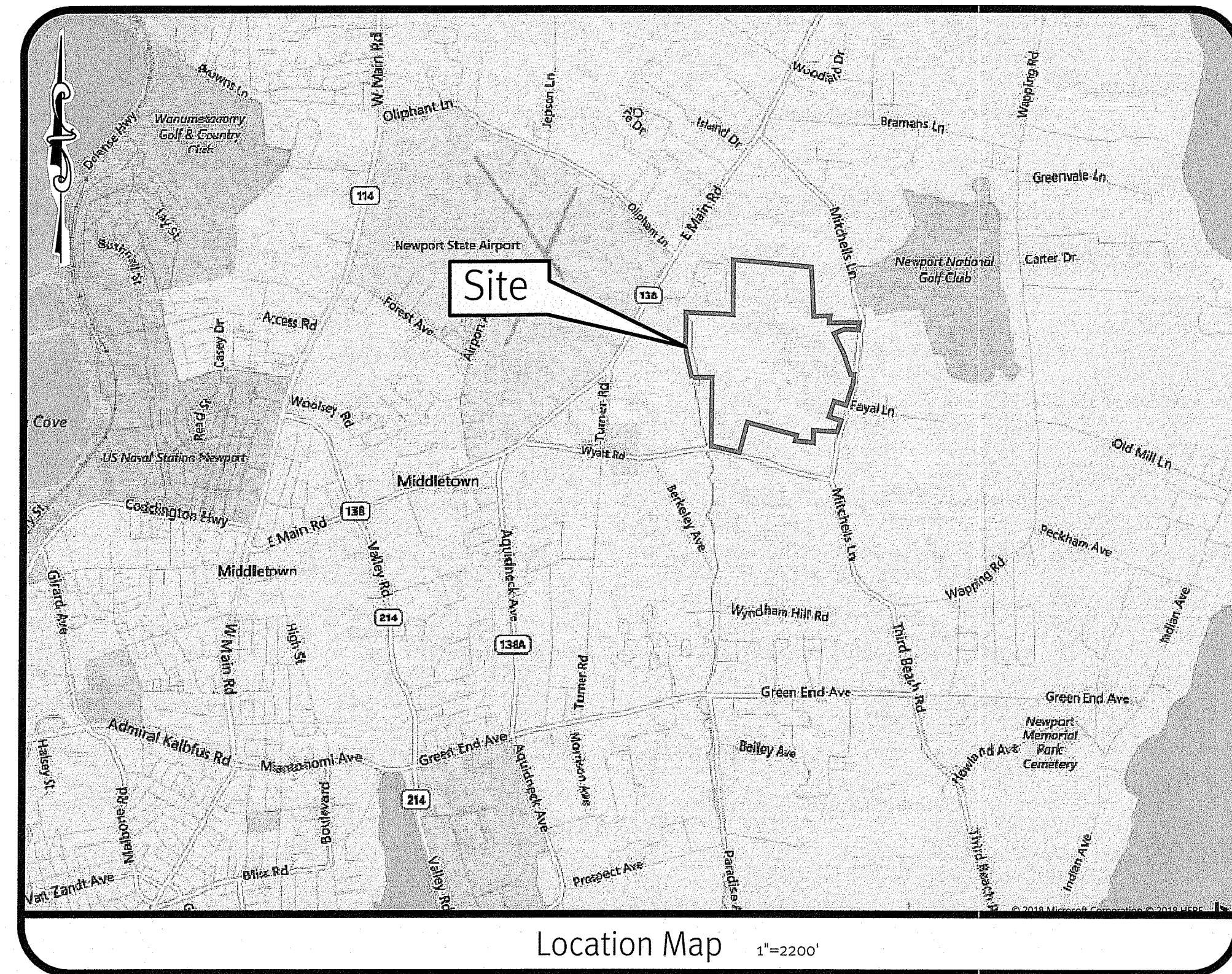


Design Development Plans

Newport National West Course

Located on Wyatt Road and Mitchell's Lane
 Middletown, Rhode Island
 Assessor's Plat 124 Lot 29



Sheet Index

- 1 Cover Sheet
- 2 Overall Site Layout Plan
- 3 Clubhouse and AILT Trail Plot Plan
- 4 Soil Erosion and Sediment Control Plan-1
- 5 Soil Erosion and Sediment Control Plan-2
- 6 Grading and Utilities Plan-1
- 7 Grading and Utilities Plan-2
- 8 Clubhouse Plan-1
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- 10 Detail Sheet-1
- 11 Detail Sheet-2
- 12 Detail Sheet-3
- 13 Boundary Survey
- 14 Boundary Survey

Environmental Management
 NOV 20 2020
 Office of Water Resources

DiPrete Engineering
 90 Broadway Newport, RI 02840
 tel. 401-659-5890 fax 401-664-6006 www.diprete-eng.com
 BOSTON • PROVIDENCE • NEWPORT

KEVIN DEMERS

 REGISTERED PROFESSIONAL ENGINEER
 CIVIL

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 The contractor is responsible for all of the means, methods, safety precautions and requirements, and OSHA conformance in the implementation of this plan and design.

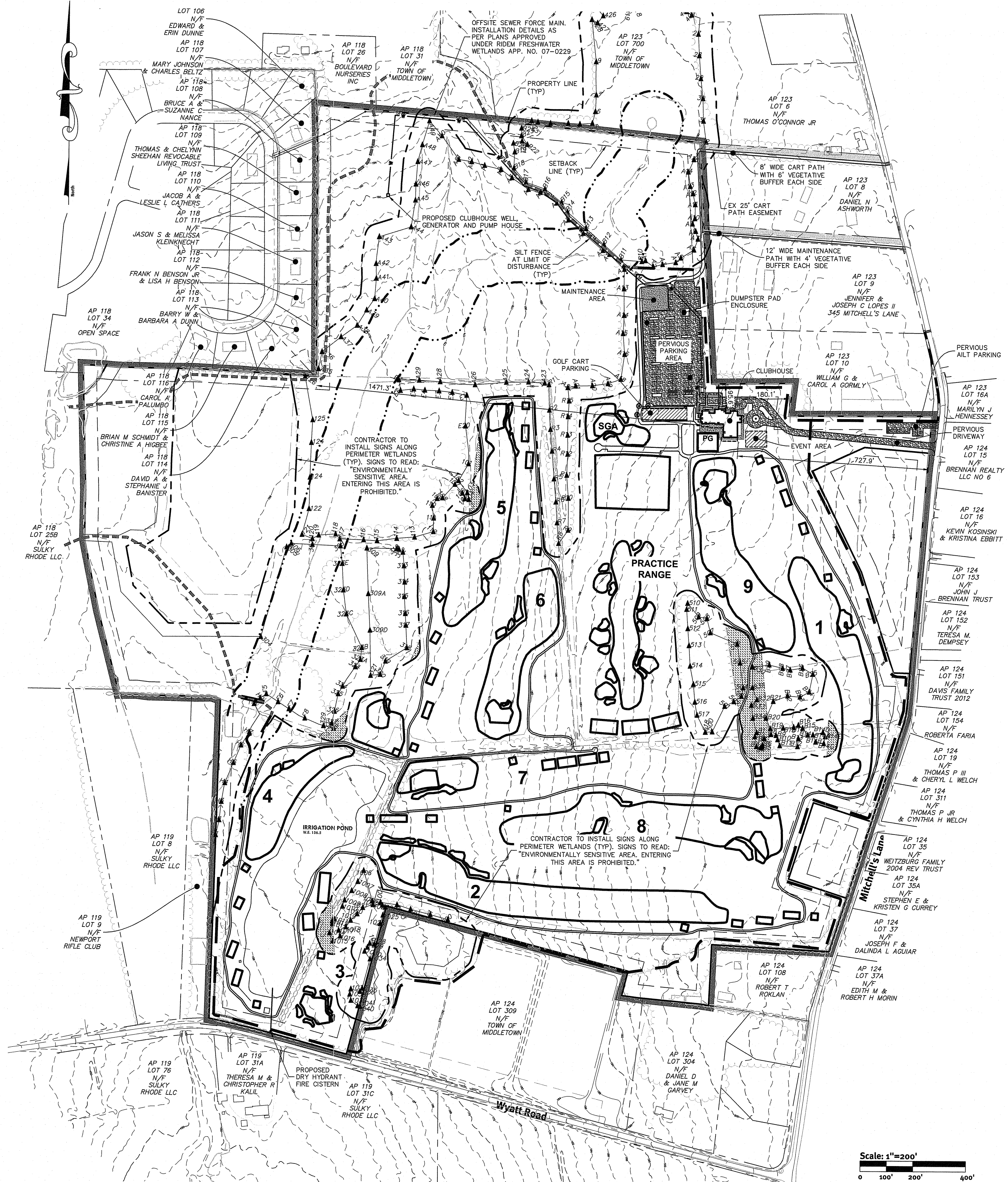
NO.	DATE	DESCRIPTION	BY	CHKD.	DESIGN BY: C.A.D.
1	11/09/2020	R.I.M. and D.P.R. Revisions			
2	11/10/2020	R.I.M. and D.P.R. Revisions			
3	11/10/2020	R.I.M. and D.P.R. Revisions			
4	11/10/2020	Updated D.P.R. Plans			
5	11/10/2020	Updated D.P.R. Plans			
6	11/10/2020	Updated D.P.R. Plans			
7	11/10/2020	Updated D.P.R. Plans			
8	11/10/2020	Updated D.P.R. Plans			
9	11/10/2020	Updated D.P.R. Plans			
10	11/10/2020	Updated D.P.R. Plans			
11	11/10/2020	Updated D.P.R. Plans			
12	11/10/2020	Updated D.P.R. Plans			
13	11/10/2020	Updated D.P.R. Plans			
14	11/10/2020	Updated D.P.R. Plans			

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED JAN 26, 2021 FILE # 20-0019
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Cover Sheet
Newport National West Course
 Assessor's Plat 124, Lot 29
 Middletown, Rhode Island
 Applicant
Newport National Real Estate, LLC
 John Pereira c/o Combined Properties, Inc.
 295 Canal Street #500, Waltham, MA 02450
 DE Job No: 2569-001 Copyright 2020 by DiPrete Engineering Associates, Inc.

z:\demain\projects\2569-001 newport national west course\autocad drawings\2569-001-plan.dwg plotted: 11/6/2020

z:\deman\projects\2569-001 newport national west course\autocad drawing\2569-001-plan.dwg Plotted: 11/15/2020



Proposed Legend

NOT ALL ITEMS SHOWN WILL APPEAR ON PLANS

	PROPERTY LINE		DRAINAGE LINE
	BUILDING SETBACKS		PERFORATED SUBDRAIN
	CHAINLINK FENCE		SEWER FORCE MAIN
	GUARDRAIL (RIDOT STD 34.2.0, 34.4.0 OR APPROVED EQUAL)		GAS LINE
	RETAINING WALL		WATER LINE
	MINOR CONTOUR LINE		HYDRANT ASSEMBLY
	MAJOR CONTOUR LINE		WATER SHUT OFF
	SPOT ELEVATION		WATER VALVE
	EDGE OF PAVEMENT		THRUST BLOCK
	BITUMINOUS BERM (RIDOT STD 7.5.1)		SEWER LINE
	CONCRETE CURB (RIDOT STD 7.1.0)		OVERHEAD WIRE
	BUILDING FOOTPRINT		ELECTRIC, TELEPHONE, CABLE LINE
	BUILDING OVERHANG		LIMIT OF DISTURBANCE / LIMIT OF CLEARING
	ASPHALT PAVEMENT		SEDIMENTATION BARRIER, SILT FENCE (RIDOT STD 9.2.0), COMPOST SOCK OR APPROVED EQUAL
	HEAVY DUTY ASPHALT PAVEMENT		2:1 OR 1:1 SLOPES
	HEAVY DUTY CONCRETE		UNDERGROUND INFILTRATION OUTLINE
	CONCRETE SIDEWALK		POND ACCESS
	ASPHALT SIDEWALK		RIPRAP
	PROPOSED AIRT TRAIL		SAND FILTER
	SAWCUT LINE		BIO RETENTION
	SIGN (RIDOT STD 24.6.2 AS APPLICABLE)		CATCH BASIN
	SINGLE LIGHT		DOUBLE CATCH BASIN
	DOUBLE LIGHT		MANHOLE
	OVERHANGING LIGHT		FLARED END SECTION
	ACCESSIBLE PARKING SPACE SYMBOLS		HEAD WALL

Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.

DiPrete Engineering
 50 Broadway Newport, RI 02840
 Tel: 401-659-5890 Fax: 401-664-6006 www.diprete-eng.com

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 REGISTERED PROFESSIONAL ENGINEER
 CIVIL

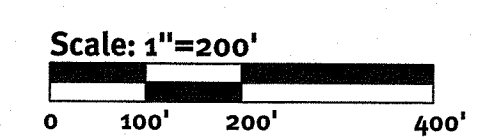
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 Office of Water Resources

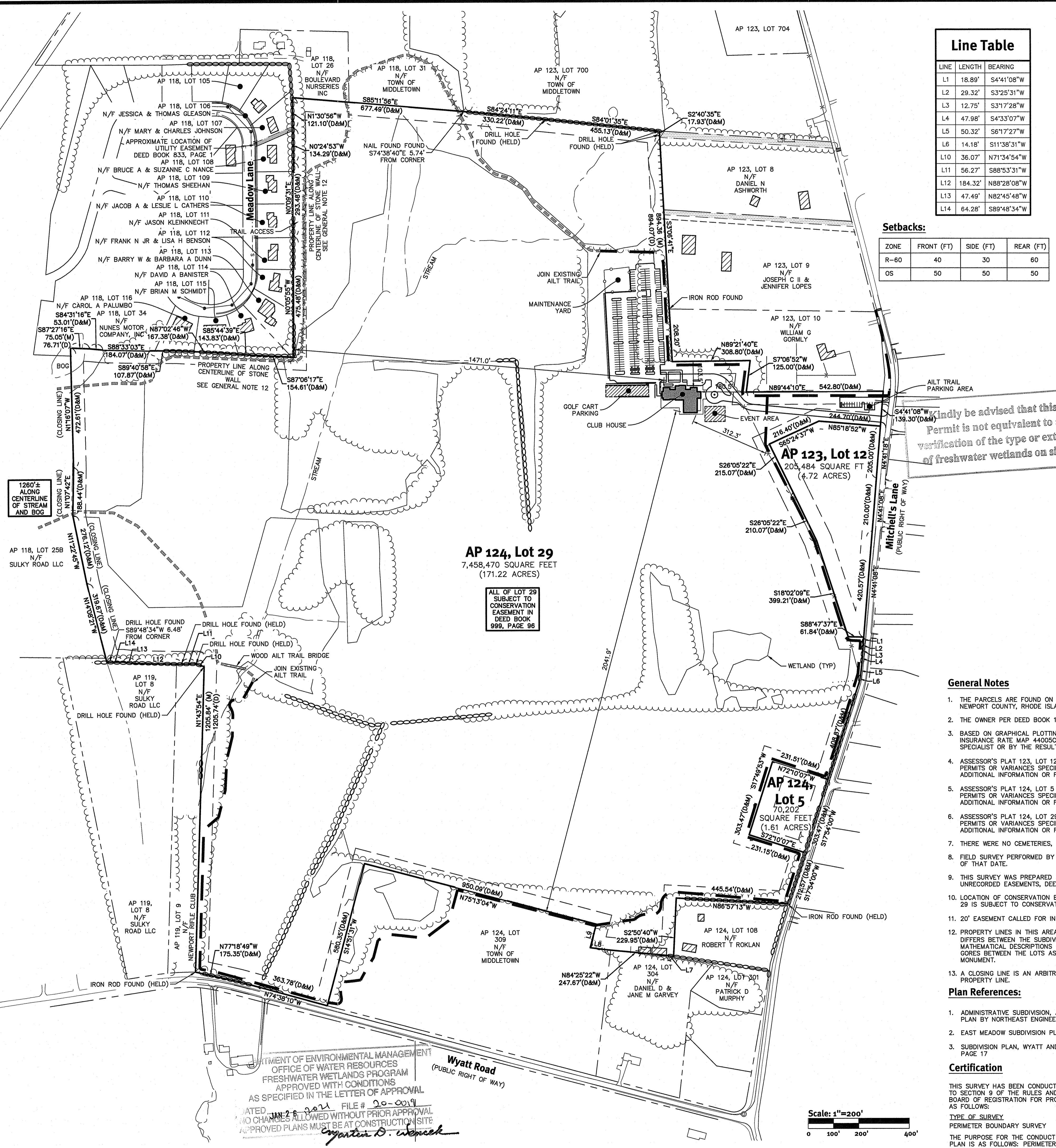
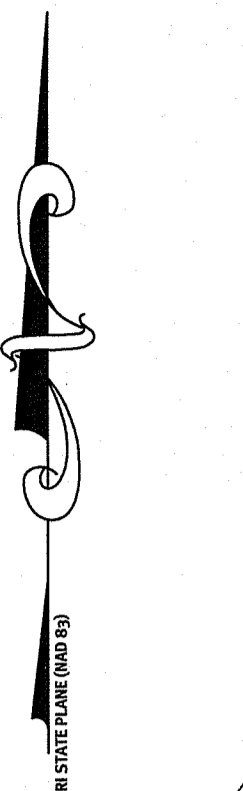
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No.	Date	Description	By: P.A.A.	Design By: C.A.D.
1	11-03-2020	RFI and DPR Revisions		
2	11-03-2020	RFI and DPR Revisions		
3	11-03-2020	RFI and DPR Revisions		
4	11-03-2020	RFI and DPR Revisions		
5	11-03-2020	RFI and DPR Revisions		
6	11-03-2020	RFI and DPR Revisions		
7	11-03-2020	RFI and DPR Revisions		
8	11-03-2020	RFI and DPR Revisions		
9	11-03-2020	RFI and DPR Revisions		
10	11-03-2020	RFI and DPR Revisions		
11	11-03-2020	RFI and DPR Revisions		
12	11-03-2020	RFI and DPR Revisions		
13	11-03-2020	RFI and DPR Revisions		
14	11-03-2020	RFI and DPR Revisions		
15	11-03-2020	RFI and DPR Revisions		
16	11-03-2020	RFI and DPR Revisions		
17	11-03-2020	RFI and DPR Revisions		
18	11-03-2020	RFI and DPR Revisions		
19	11-03-2020	RFI and DPR Revisions		
20	11-03-2020	RFI and DPR Revisions		

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
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Martin D. Wenczek

Overall Site Layout Plan
Newport National West Course
 Assessor's Parcel 124, Lot 29
 Middletown, Rhode Island
 Applicant: **Newport National Real Estate, LLC**
 John Pereira c/o Combined Properties, Inc.
 295 Canal Street #500, Malden, MA 02148
 DE Job No: 2569-001 Copyright 2020 by DiPrete Engineering Associates, Inc.



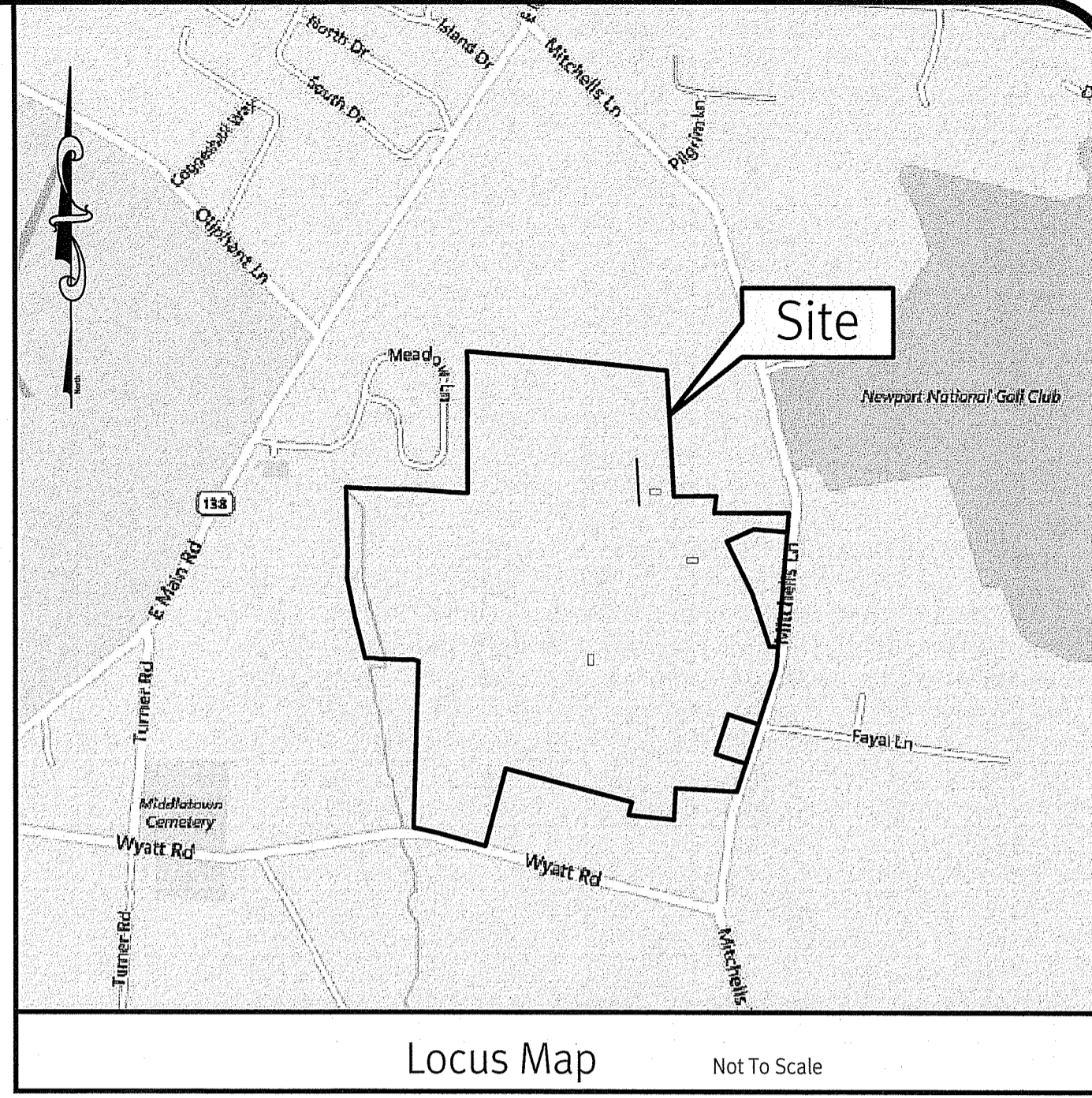


Line Table

LINE	LENGTH	BEARING
L1	18.89'	S4°41'08"W
L2	29.32'	S3°25'31"W
L3	12.75'	S3°17'28"W
L4	47.98'	S4°33'07"W
L5	50.32'	S6°17'27"W
L6	14.18'	S11°38'31"W
L10	36.07'	N71°34'54"W
L11	56.27'	S88°53'31"W
L12	184.32'	N88°28'08"W
L13	47.49'	N82°45'48"W
L14	64.28'	S89°48'34"W

Setbacks:

ZONE	FRONT (FT)	SIDE (FT)	REAR (FT)
R-60	40	30	60
OS	50	50	50



Legend

NOT ALL ITEMS SHOWN WILL APPEAR ON THE SURVEY

BUILDING	AP	ASSESSOR'S PLAT	▲/△	NAIL FOUND/SET
	N/F	NOW OR FORMERLY	●/◎	DRILL HOLE FOUND/SET
	(D)	DEED	⊠/⊡	IRON ROD/PIPE FOUND/SET
	(M)	MEASURED	⊞	BOUND FOUND/SET
	(CA)	HANDICAPPED	⊙	SIGN
	HC	CHORD ANGLE	⊙ CB	BOLLARD
		EXISTING AILT TRAIL	⊙ DCB	SOIL EVALUATION
		PROPOSED AILT TRAIL	⊙ DMH	CATCH BASIN
		PROPERTY LINE	⊙ FES	DOUBLE CATCH BASIN
		ASSESSORS LINE	⊙ EMH	DRAINAGE MANHOLE
		SETBACK LINE	⊙ UP	FLARED END SECTION
		TREELINE	⊙ SMH	GUY POLE
		GUARDRAIL	⊙	ELECTRIC MANHOLE/HANDHOLE
		FENCE	⊙	UTILITY/POWER POLE
		WETLAND LINE	⊙	LIGHTPOST
		STONE WALL	⊙	SEWER/SEPTIC MANHOLE
		MINOR CONTOUR LINE	⊙	SEWER VALVE
		MAJOR CONTOUR LINE	⊙	CLEANOUT
		WATER LINE	⊙	HYDRANT
		SEWER LINE	⊙	IRRIGATION VALVE
		SEWER FORCE MAIN	⊙	WATER VALVE
		GAS LINE	⊙	WELL
		ELECTRIC LINE	⊙	MONITORING WELL
		DRAINAGE LINE	⊙	UNKNOWN MANHOLE
			⊙ B-1	GAS VALVE
			⊙	WETLAND FLAG
			⊙	BENCH MARK
			⊙	SHRUB
			⊙	TREE

General Notes

- THE PARCELS ARE FOUND ON ASSESSOR'S PLAT 123, LOT 12 AND ASSESSOR'S PLAT 124, LOT 5 AND 29 IN THE TOWN OF MIDDLETOWN, NEWPORT COUNTY, RHODE ISLAND.
- THE OWNER PER DEED BOOK 1462, PAGE 104 IS MR4A-JV.
- BASED ON GRAPHICAL PLOTTING ONLY, THE PARCELS ARE LOCATED IN ZONE X PER FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP 44005C0094H, DATED APRIL 5, 2010. THIS DESIGNATION MAY CHANGE BASED UPON REVIEW BY A FLOOD ZONE SPECIALIST OR BY THE RESULTS OF A COMPREHENSIVE FLOOD STUDY.
- ASSESSOR'S PLAT 123, LOT 12 IS ZONED R-60 BASED ON THE TOWN OF MIDDLETOWN'S ZONING MAP. ANY OVERLAY DISTRICTS, SPECIAL PERMITS OR VARIANCES SPECIFIC TO THIS SITE ARE NOT TAKEN INTO CONSIDERATION. PLEASE CONTACT THE ZONING DEPARTMENT FOR ANY ADDITIONAL INFORMATION OR FOR A CERTIFICATE OF ZONING.
- ASSESSOR'S PLAT 124, LOT 5 IS ZONED R-60 BASED ON THE TOWN OF MIDDLETOWN'S ZONING MAP. ANY OVERLAY DISTRICTS, SPECIAL PERMITS OR VARIANCES SPECIFIC TO THIS SITE ARE NOT TAKEN INTO CONSIDERATION. PLEASE CONTACT THE ZONING DEPARTMENT FOR ANY ADDITIONAL INFORMATION OR FOR A CERTIFICATE OF ZONING.
- ASSESSOR'S PLAT 124, LOT 29 IS ZONED OS BASED ON THE TOWN OF MIDDLETOWN'S ZONING MAP. ANY OVERLAY DISTRICTS, SPECIAL PERMITS OR VARIANCES SPECIFIC TO THIS SITE ARE NOT TAKEN INTO CONSIDERATION. PLEASE CONTACT THE ZONING DEPARTMENT FOR ANY ADDITIONAL INFORMATION OR FOR A CERTIFICATE OF ZONING.
- THERE WERE NO CEMETERIES, GRAVE SITES AND OR BURIAL GROUNDS OBSERVED WITHIN THE LIMITS OF THE SURVEY.
- FIELD SURVEY PERFORMED BY DIPRETE ENGINEERING BETWEEN MARCH 10-18, 2020. THIS PLAN REFLECTS ON THE GROUND CONDITIONS AS OF THAT DATE.
- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT. DIPRETE ENGINEERING IS NOT RESPONSIBLE FOR ANY UNKNOWN OR UNRECORDED EASEMENTS, DEEDS OR CLAIMS THAT A TITLE REPORT WOULD DISCLOSE.
- LOCATION OF CONSERVATION EASEMENT AS LISTED IN DEED BOOK 999, PAGE 96.
- 20' EASEMENT CALLED FOR IN DEED BOOK 457, PAGE 10 & CORRECTIVE DEED 464, PAGE 27 NOT LOCATED ON SUBJECT PROPERTY.
- PROPERTY LINES IN THIS AREA RUN ALONG CENTER OF STONE WALL; THE WRITTEN DESCRIPTION OF THE COURSES ALONG SAID STONE WALL DIFFERS BETWEEN THE SUBDIVISIONS OF THE SPACE ADJOINING LOTS. (SEE PLAN REFERENCES 1 AND 2). WHILE THESE DIFFERENT MATHEMATICAL DESCRIPTIONS OF THE COURSE BETWEEN THE SUBDIVISIONS GREAT GAP AND GORES IN THE GEOMETRY, THERE IS NO GAP OR GORES BETWEEN THE LOTS AS THE STONE WALL IS CONTINUOUS AND BOTH DESCRIPTIONS INTEND TO DESCRIBE THE SAME PHYSICAL MONUMENT.
- A CLOSING LINE IS AN ARBITRARY SURVEY LINE USED FOR COMPUTATIONAL PURPOSES ONLY AND IS NOT TO BE MISINTERPRETED AS A PROPERTY LINE.

Plan References:

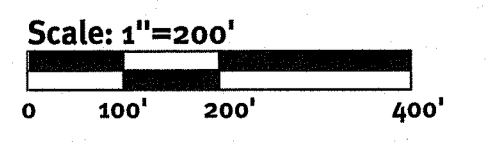
- ADMINISTRATIVE SUBDIVISION, AP 124, LOT 29, AP 118, LOT 132, MITCHELL'S LANE, EAST MAIN ROAD AND WYATT ROAD MIDDLETOWN, RI' PLAN BY NORTHEAST ENGINEERS AND CONSULTANTS, INC. DATED JULY 25, 2006. PLAN 2006-27.
- EAST MEADOW SUBDIVISION PLAN - SITE PLAN. PLAN BY BOARDMAN ASSOCIATES. DATED SEPTEMBER 1987, PLAN XX, PAGE 84-87.
- SUBDIVISION PLAN, WYATT AND MITCHELL'S LANE, PLAN BY NARRAGANSETT ENGINEERING, INC. DATED MARCH 14, 1991, PLAT BOOK 13, PAGE 17

Certification

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:

TYPE OF SURVEY: PERIMETER BOUNDARY SURVEY
MEASUREMENT SPECIFICATION: CLASS 1

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS: PERIMETER RETRACEMENT PERFORMED BY DIPRETE ENGINEERING.



1260'± ALONG CENTERLINE OF STREAM AND BOG

AP 124, Lot 29
7,458,470 SQUARE FEET
(171.22 ACRES)

ALL OF LOT 29 SUBJECT TO CONSERVATION EASEMENT IN DEED BOOK 999, PAGE 96

Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED JAN 26 2021 FILE # 20-0019
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Jonathan D. Wapack

DIPRETE ENGINEERING
90 Broadway, Newport, RI 02840
Tel: 401-609-9590 Fax: 401-604-6006 www.diprete-eng.com
Boston • Providence • Newport

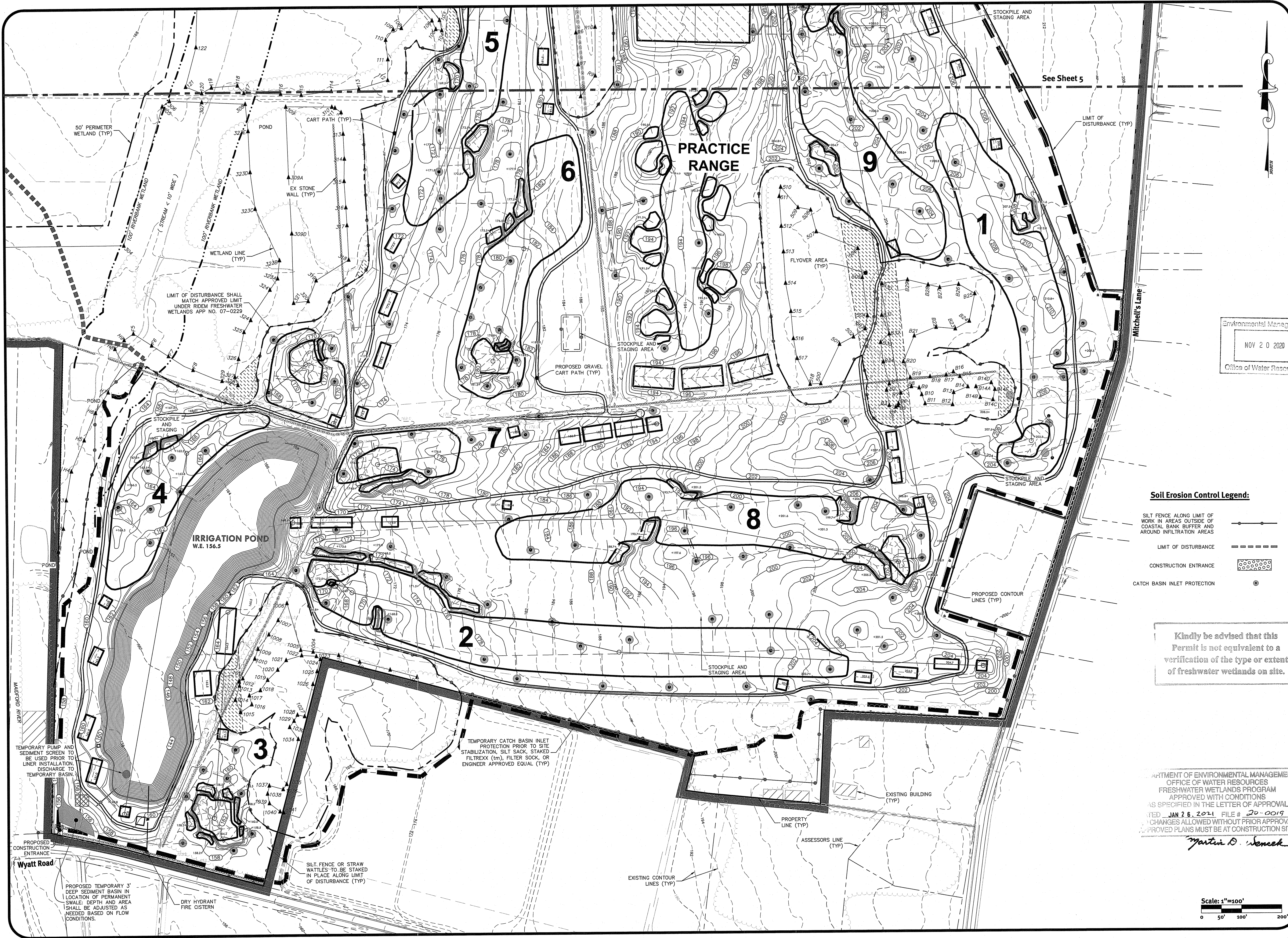
CHRISTOPHER A. DUHAMEL
No. 1844
PROFESSIONAL LAND SURVEYOR

NOV 20 2020
Office of Water Resources

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No.	Date	Description	By: P.A.A.	Design By: C.A.D.
1	08-28-2020	REVISION	P.A.A.	C.A.D.
2	08-28-2020	REVISION	P.A.A.	C.A.D.
3	08-28-2020	REVISION	P.A.A.	C.A.D.
4	08-28-2020	REVISION	P.A.A.	C.A.D.
5	08-28-2020	REVISION	P.A.A.	C.A.D.
6	08-28-2020	REVISION	P.A.A.	C.A.D.
7	08-28-2020	REVISION	P.A.A.	C.A.D.
8	08-28-2020	REVISION	P.A.A.	C.A.D.
9	08-28-2020	REVISION	P.A.A.	C.A.D.
10	08-28-2020	REVISION	P.A.A.	C.A.D.
11	08-28-2020	REVISION	P.A.A.	C.A.D.
12	08-28-2020	REVISION	P.A.A.	C.A.D.
13	08-28-2020	REVISION	P.A.A.	C.A.D.
14	08-28-2020	REVISION	P.A.A.	C.A.D.
15	08-28-2020	REVISION	P.A.A.	C.A.D.
16	08-28-2020	REVISION	P.A.A.	C.A.D.
17	08-28-2020	REVISION	P.A.A.	C.A.D.
18	08-28-2020	REVISION	P.A.A.	C.A.D.
19	08-28-2020	REVISION	P.A.A.	C.A.D.
20	08-28-2020	REVISION	P.A.A.	C.A.D.

**Clubhouse and Ailt Trail Plot Plan
Newport National West Course**
Applicant: Newport National Real Estate, LLC
John P. Reddy, c/o Combined Properties, Inc.
295 Canal Street #505, Malden, MA 02148
SHEET 3 OF 14



See Sheet 5

Environmental Management
 NOV 20 2020
 Office of Water Resources

Soil Erosion Control Legend:

- SILT FENCE ALONG LIMIT OF WORK IN AREAS OUTSIDE OF COASTAL BANK BUFFER AND AROUND INFILTRATION AREAS
- LIMIT OF DISTURBANCE
- CONSTRUCTION ENTRANCE
- CATCH BASIN INLET PROTECTION

Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
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Martin D. Senack

Scale: 1"=100'
 0 50' 100' 200'

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 98 Broadway Newport, RI 02840
 Tel: 401-619-5590 Fax: 401-464-6006 www.diprete-eng.com
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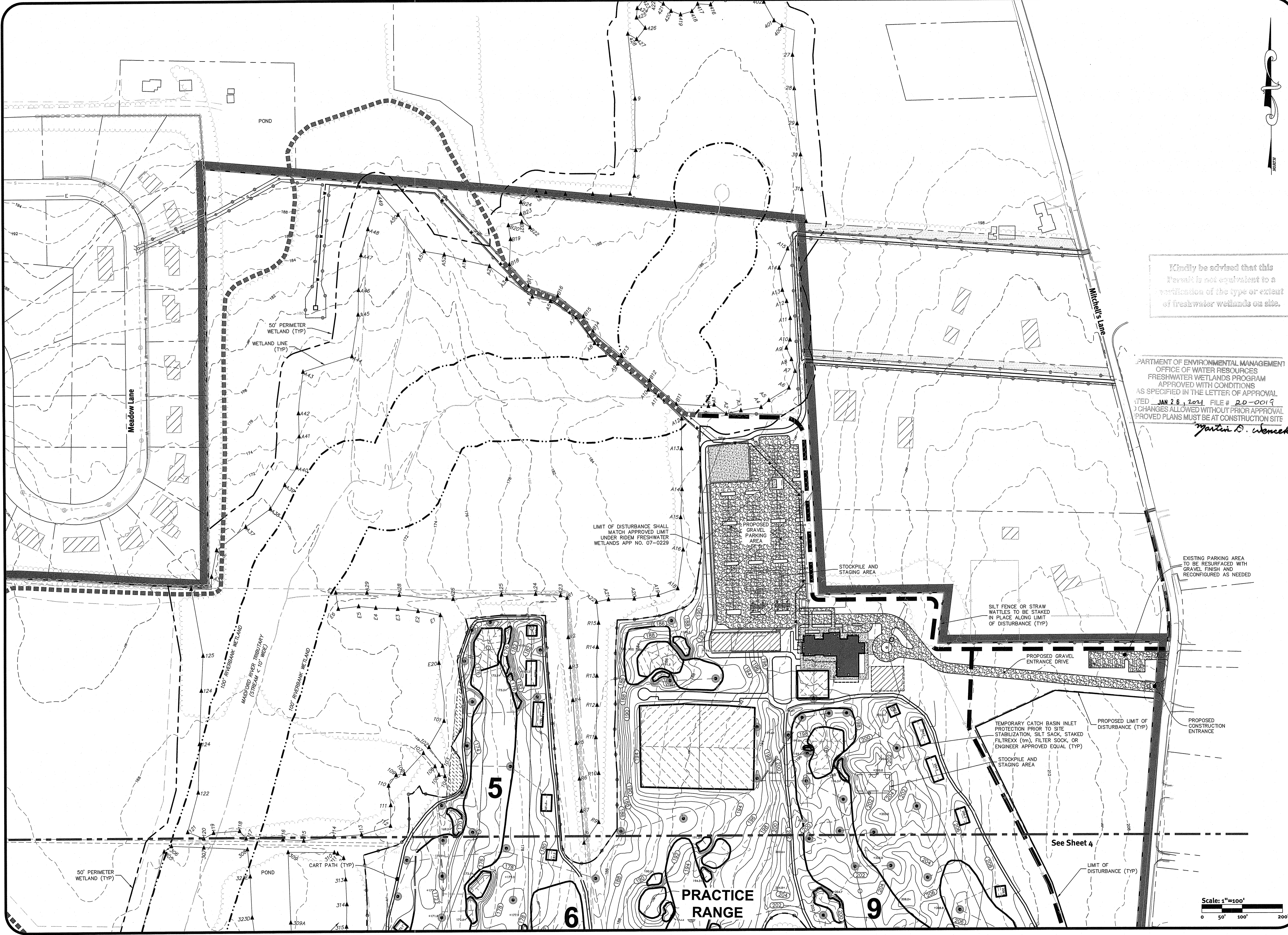
KEVIN DEMERS
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL

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No.	Date	Description	Design By: P.A.A.
1	01/26/2021	Final Design	
2	02/02/2021	Revised Design	
3	02/02/2021	Revised Design	
4	02/02/2021	Revised Design	
5	02/02/2021	Revised Design	
6	02/02/2021	Revised Design	
7	02/02/2021	Revised Design	
8	02/02/2021	Revised Design	
9	02/02/2021	Revised Design	
10	02/02/2021	Revised Design	

Soil Erosion and Sediment Control Plan-1
Newport National West Course
 Applicant: Newport National Real Estate, LLC
 Assessor's Plot 124, lot 29
 Middletown, Rhode Island
 295 Canal Street #500, Waltham, MA 02426
 DE REG. NO. 2569-001 Copyright 2020 by DiPrete Engineering Associates, Inc.

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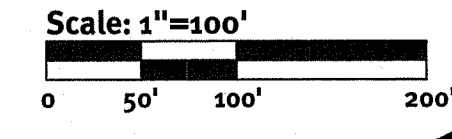
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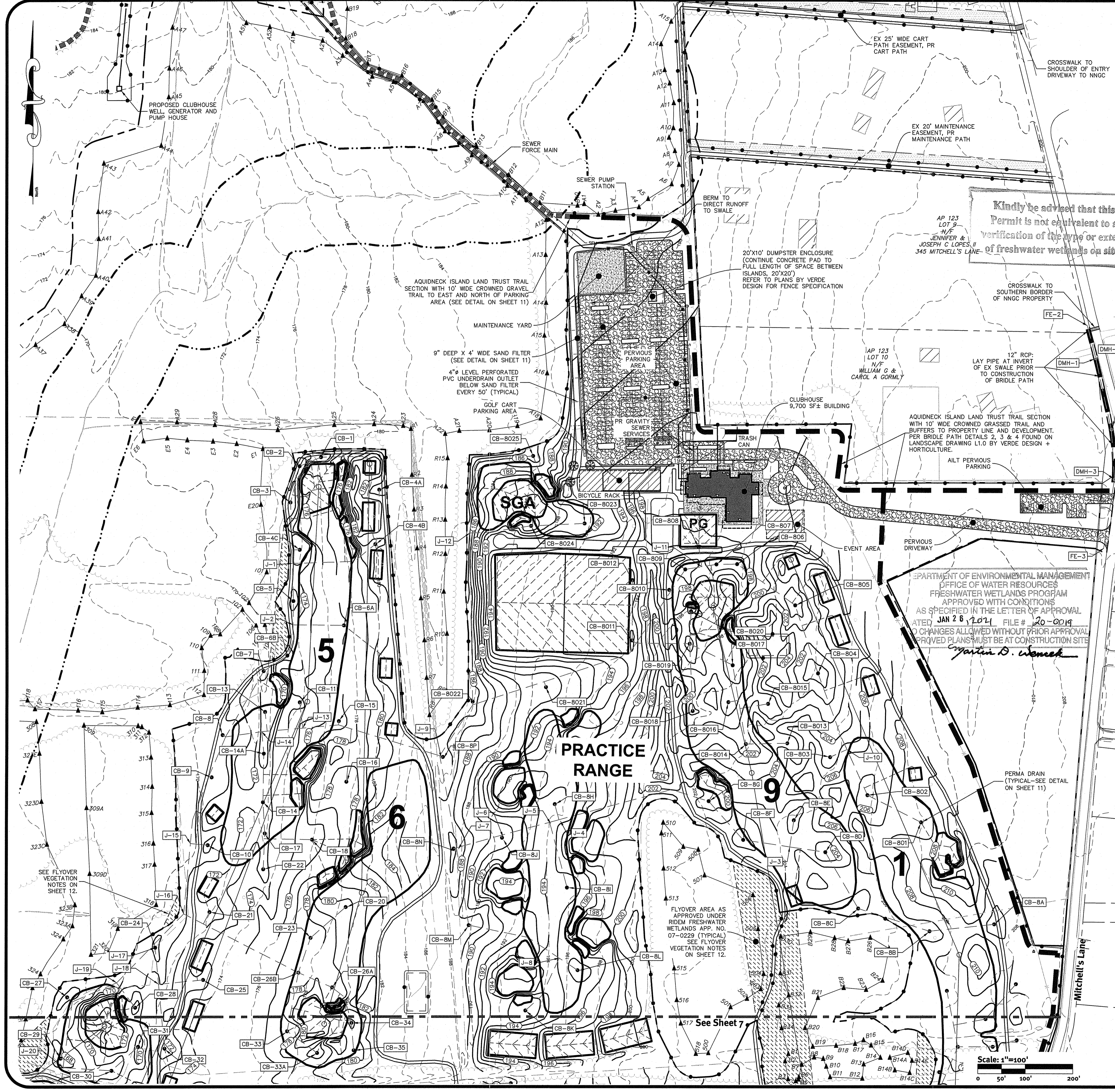
No.	Date	Description	By:
1	08-24-2018	Regulatory Submission	MD
2	08-24-2018	Regulatory Submission	MD
3	08-24-2018	Regulatory Submission	MD
4	08-24-2018	Regulatory Submission	MD
5	08-24-2018	Regulatory Submission	MD
6	08-24-2018	Regulatory Submission	MD
7	08-24-2018	Regulatory Submission	MD
8	08-24-2018	Regulatory Submission	MD
9	08-24-2018	Regulatory Submission	MD
10	08-24-2018	Regulatory Submission	MD

Design By: P.A.A.

Soil Erosion and Sediment Control Plan-2
 Newport National West Course
 Newport National Real Estate, LLC
 John Pereira c/o Combined Properties, Inc.
 295 Canal Street #500, Malden, MA 02148
 DE Job No: 2569-001 Copyright 2020 by DiPrete Engineering Associates, Inc.



Z:\Main\projects\2569-001 newport national west course\autocad drawings\2569-001-sec.dwg Plotmed: 11/5/2020



From	To	PIPE DATA			RIM		INVERT	
		Diam (in.)	Length (ft.)	Slope (ft./ft.)	Upper	Lower	Upper	Lower
CB-1	CB-2	6	49.00	0.041	175.00	173.00	172.50	170.50
CB-2	CB-3	6	78.00	0.013	173.00	172.00	170.50	169.50
CB-4A	CB-4B	6	115.00	0.033	180.00	179.00	178.00	174.25
CB-4B	J-1	6	188.00	0.031	179.00	-	174.25	168.50
CB-3	CB-4C	8	100.00	0.007	172.00	172.00	169.50	168.77
CB-4C	CB-5	12	107.00	0.007	172.00	172.00	168.77	168.00
CB-6A	J-2	8	107.00	0.008	176.00	-	174.00	173.50
CB-5	CB-6B	12	116.00	0.009	172.00	172.00	168.00	167.00
CB-6B	CB-7	15	60.00	0.008	172.00	169.00	167.00	166.50
CB-7	CB-8	15	160.00	0.006	169.00	170.00	166.50	165.50
CB-8A	CB-8B	6	137.00	0.018	207.50	206.50	206.00	203.50
CB-8B	CB-8C	8	157.00	0.014	206.50	204.00	203.50	201.30
CB-8C	CB-8D	12	137.00	0.007	204.00	203.00	201.30	200.30
CB-8E	J-3	6	56.40	0.021	203.00	-	200.50	199.30
CB-8D	CB-8F	12	175.80	0.013	203.00	201.00	200.30	198.00
CB-8F	CB-8G	15	109.00	0.009	201.00	200.00	198.00	197.00
CB-8G	J-4	15	327.00	0.025	200.00	-	197.00	188.78
CB-8I	J-5	8	141.70	0.023	194.00	-	191.50	188.25
CB-8H	J-4	8	125.00	0.014	193.00	-	190.50	188.78
CB-8J	J-6	6	6.00	0.092	190.00	-	186.00	185.45
J-5	J-7	15	98.00	0.025	-	-	185.45	183.00
CB-8K	J-8	8	133.50	0.010	192.00	-	189.50	188.16
CB-8L	CB-8M	10	252.50	0.014	194.00	188.00	188.80	185.30
CB-8M	J-7	15	164.40	0.014	188.00	-	185.30	183.00
CB-8N/J-7	J-9/8-8P	18	196.30	0.025	186.50	-	183.00	178.00
CB-8O1	CB-8O2	6	126.00	0.017	207.50	206.00	204.50	202.30
CB-8O2	J-10	8	104.70	0.020	205.00	-	202.30	200.20
CB-8O3	J-10	6	39.00	0.033	204.00	-	201.50	200.20
J-10	CB-8O4	10	170.70	0.019	-	200.00	200.20	197.00
CB-8O4	CB-8O5	15	150.00	0.028	200.00	200.00	200.20	196.00
CB-8O5	CB-8O6	15	150.00	0.020	200.00	196.00	196.00	196.00
CB-8O6	CB-8O7	15	43.70	0.011	196.00	196.00	193.00	192.20
CB-8O8	J-11	6	41.90	0.041	196.50	-	194.00	192.27
CB-8O7	CB-8O9	18	66.50	0.008	196.00	196.50	192.50	192.00
CB-8O9	CB-8O11	18	185.50	0.011	196.50	195.50	192.00	190.00
CB-8O12	CB-8O11	6	126.00	0.008	195.50	195.50	191.50	190.50
CB-8O13	CB-8O14	6	88.20	0.023	203.00	201.00	200.50	198.50
CB-8O14	CB-8O17	8	167.20	0.018	201.00	198.00	198.50	195.50
CB-8O17	CB-8O19	10	101.30	0.020	198.00	196.50	195.50	193.50
CB-8O18	CB-8O19	6	141.40	0.018	198.00	196.50	196.00	193.50
CB-8O20	CB-8O19	8	67.70	0.007	197.50	196.50	194.00	193.50
CB-8O19	CB-8O11	10	112.60	0.027	196.50	195.50	193.50	190.50
CB-8O11	CB-8O21	18	214.90	0.016	195.50	190.50	190.50	187.00
CB-8O21	CB-8O22	18	158.40	0.047	190.50	185.50	187.00	179.50
CB-8O23	CB-8O24	8	112.70	0.018	191.50	190.00	188.50	186.50
CB-8O24	J-12	8	129.50	0.041	190.00	-	186.50	181.20
CB-8O25	J-12	8	267.80	0.005	185.25	-	182.50	181.20
J-12	CB-8O22	12	359.40	0.005	-	185.50	181.20	179.40
CB-8O22	J-9	24	126.70	0.011	185.50	-	179.40	178.00
CB-8P	J-9	6	5.00	0.100	185.00	-	178.50	178.00
J-9	CB-15	24	223.20	0.022	-	176.00	178.00	173.00
CB-16	CB-15	8	110.00	0.008	177.50	176.00	174.50	173.63
CB-15	J-13	24	75.77	0.040	176.00	-	173.00	169.95
CB-11	J-13	6	54.50	0.019	173.00	-	171.00	169.95
CB-13	J-14	6	40.50	0.013	170.00	-	167.50	166.96
J-13	J-14	24	74.78	0.040	0.00	-	169.95	166.95
CB-18	CB-17	6	101.10	0.040	175.00	173.00	172.50	168.50
CB-22	CB-17	8	64.00	0.016	173.00	173.00	169.50	168.50
CB-17	CB-14	12	76.60	0.007	173.00	173.00	168.50	168.00
CB-14	CB-14A	12	101.90	0.010	173.00	170.00	168.00	167.00
CB-14A	J-14	12	46.40	0.011	170.00	-	167.00	166.50
J-14	CB-8	24	76.70	0.013	-	170.00	166.50	165.50
CB-8	CB-9	30	88.90	0.011	170.00	170.00	165.50	164.50
CB-9	CB-10	30	148.10	0.007	170.00	169.00	164.50	163.50
CB-10	J-15	30	148.00	0.017	169.00	-	166.00	163.50
CB-35	CB-34	8	58.00	0.007	179.50	178.60	176.50	176.10
CB-34	CB-26A	12	89.20	0.007	178.60	178.50	176.10	175.50
CB-26A	CB-26B	12	77.50	0.028	178.50	177.50	175.50	173.50
CB-33A	CB-33	6	78.00	0.006	178.50	177.50	175.00	174.50
CB-33	CB-26B	6	125.40	0.008	177.50	173.50	174.50	173.50
CB-20	CB-23	8	97.90	0.020	179.50	177.50	176.50	174.50
CB-23	CB-26B	10	77.20	0.013	177.50	177.50	174.50	173.50
CB-26B	CB-21	15	222.90	0.022	177.50	171.50	173.50	168.50
CB-21	J-16	10	46.80	0.129	171.50	-	168.50	162.50
J-16	J-17	30	93.20	0.027	-	-	162.50	160.00
CB-27	CB-25	6	136.00	0.012	172.50	172.00	168.50	166.90
CB-25	J-18	8	94.00	0.028	172.00	-	169.50	166.90
J-18	CB-24	8	75.00	0.085	-	169.00	166.90	160.50
CB-24	J-17	8	10.00	0.050	169.00	-	160.50	160.00
J-17	J-19	30	107.50	0.009	-	-	160.00	159.00
CB-28	J-19	6	67.60	0.118	169.50	-	167.00	159.00
J-19	CB-27	30	101.00	0.010	-	166.00	159.00	158.00
CB-27	CB-29	30	121.80	0.011	166.00	167.00	158.00	156.70
CB-29	J-20	30	18.00	0.011	167.00	-	156.70	156.50
CB-31	CB-30	6	75.00	0.007	169.00	169.00	166.50	166.00
CB-30	J-20	6	101.80	0.093	169.00	-	166.00	156.50
J-20	FE-1	30	103.50	0.024	-	154.00	156.50	154.00

DiPrete Engineering

90 Broadway, Newport, RI 02880
Tel: 401-619-5890 Fax: 401-664-6006 www.diprete-eng.com

Boston • Providence • Newport

KEVIN DEMERS

REGISTERED PROFESSIONAL ENGINEER CIVIL

NOV 20 2020

This regulatory submission set shall not be used for construction purposes unless stamped, issued for construction, and signed by a DiPrete Engineering representative.

The contractor is responsible for all of the means, methods, safety precautions and requirements, and OSHA conformance in the implementation of this plan and design.

No.	Date	Description	By
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Grading and Utilities Plan-1

Newport National West Course

Applicant: Newport National Real Estate, LLC

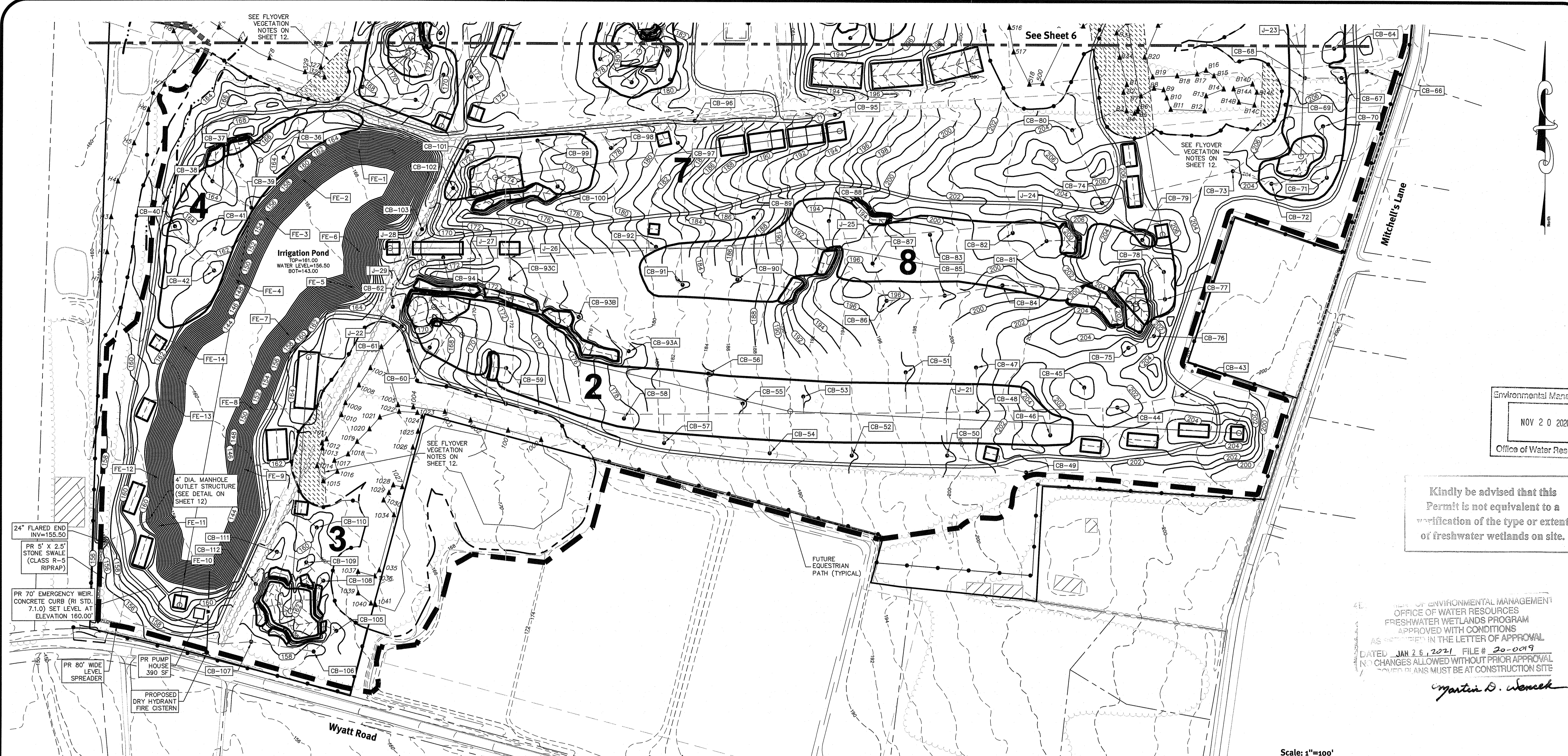
Assessor's Plat 124, Lot 29

John Pereira C/O Combined Properties, Inc.

295 Canal Street #500, Malden, MA 02148

CE Job No: 2559-001. Copyright 2020 by DiPrete Engineering Associates, Inc.

SHEET 6 OF 14

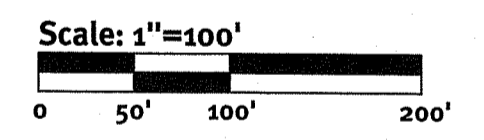


Environmental Management
 NOV 20 2020
 Office of Water Resources

Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.

OFFICE OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SET FORTH IN THE LETTER OF APPROVAL
 DATED JAN 26, 2021 FILE # 20-0019
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 POWER PLANS MUST BE AT CONSTRUCTION SITE

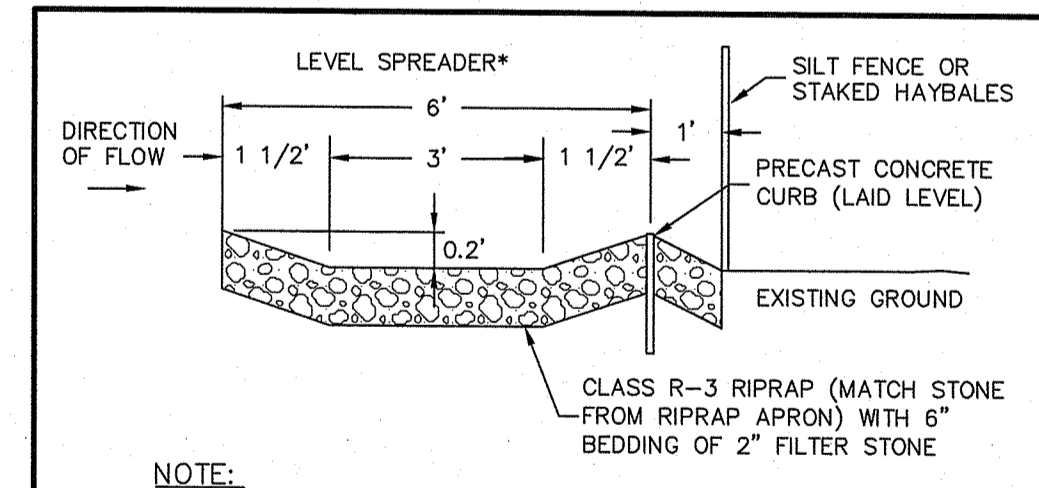
Martin D. Wonsch



From	To	PIPE DATA	Length (ft.)	Slope (ft./ft.)	RIM UPPER	RIM LOWER	INVERT UPPER	INVERT LOWER
CB-36	FE-2	6	56.90	0.114	163.00	154.00	160.50	154.00
CB-38	CB-39	6	94.40	0.011	163.50	162.00	160.50	159.50
CB-39	FE-3	6	33.30	0.165	162.00	154.00	159.50	154.00
CB-40	CB-42	6	117.80	0.008	161.00	160.00	159.00	158.00
CB-42	FE-4	6	46.00	0.087	160.00	154.00	158.00	154.00
CB-43	CB-44	6	132.40	0.008	201.00	200.00	198.50	197.50
CB-44	CB-45	10	65.00	0.005	200.00	200.00	197.50	197.15
CB-45	CB-46	12	70.00	0.005	200.00	202.00	197.15	196.77
CB-46	CB-48	12	144.20	0.013	202.00	200.00	196.77	194.88
CB-47	CB-48	6	88.00	0.013	200.00	200.00	196.00	194.88
CB-48	J-21	12	40.30	0.020	200.00	-	194.88	194.06
CB-49	CB-50	6	151.70	0.019	201.00	188.50	198.50	195.50
CB-50	J-21	8	86.00	0.017	198.50	-	195.50	194.06
J-21	CB-51	12	80.00	0.031	-	196.50	194.06	191.57
CB-51	CB-52	12	111.00	0.031	196.50	192.50	191.57	188.11
CB-52	CB-53	12	95.00	0.031	192.50	190.50	188.11	185.15
CB-53	CB-54	12	69.00	0.031	190.50	187.00	185.15	182.98
CB-54	CB-55	15	52.00	0.031	187.00	185.88	182.98	181.36
CB-55	CB-56	15	68.00	0.031	185.88	183.75	181.36	179.25
CB-56	CB-57	15	96.30	0.029	183.75	179.50	179.25	176.45
CB-57	CB-58	15	78.00	0.031	179.50	177.50	176.45	174.00
CB-58	CB-59	15	251.70	0.028	177.50	170.00	174.00	167.00
CB-59	CB-60	18	166.80	0.018	170.00	166.50	167.00	164.00
CB-60	CB-61	18	69.00	0.017	166.50	165.00	164.00	162.80
CB-61	J-22	18	44.80	0.018	165.00	-	162.80	162.00
CB-65	J-23	6	73.40	0.017	207.00	-	204.50	203.27
CB-63	CB-64	6	97.40	0.005	207.50	207.00	204.50	204.00

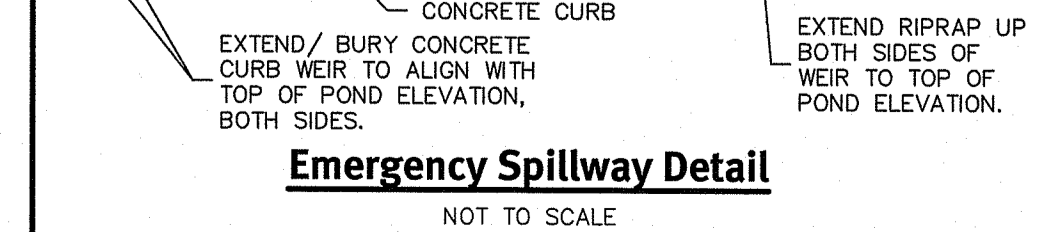
FROM	TO	DIAM. (IN.)	LENGTH (FT.)	SLOPE (FT./FT.)	RIM UPPER	RIM LOWER	INVERT UPPER	INVERT LOWER
CB-84	J-23	6	68.43	0.011	207.00	-	204.00	203.27
J-23	CB-88	8	46.50	0.017	-	206.00	203.27	202.50
CB-66	CB-67	6	52.30	0.010	205.50	205.50	203.75	203.25
CB-67	CB-68	6	73.30	0.010	205.50	206.00	203.25	202.50
CB-68	CB-69	8	72.60	0.013	206.00	205.00	202.50	201.58
CB-69	CB-73	10	189.90	0.008	206.00	203.00	201.58	200.00
CB-70	CB-71	8	75.60	0.007	204.00	203.50	201.50	201.00
CB-71	CB-72	8	96.40	0.005	203.50	203.50	201.00	200.50
CB-72	CB-73	8	81.40	0.006	203.50	203.00	200.50	200.00
CB-73	CB-74	10	289.60	0.015	203.00	203.00	200.50	196.00
CB-80	CB-74	6	157.20	0.029	203.00	203.00	200.50	196.00
CB-75	CB-76	6	56.50	0.009	201.00	201.00	198.50	198.00
CB-76	CB-77	6	76.50	0.007	201.00	202.00	198.00	197.50
CB-77	CB-78	8	54.20	0.006	202.00	202.00	197.50	197.15
CB-78	CB-79	8	77.20	0.005	202.00	201.00	197.15	196.75
CB-79	CB-74	8	109.40	0.007	201.00	203.00	196.75	196.00
CB-74	J-24	15	128.00	0.009	203.00	-	196.00	194.85
CB-81	J-24	6	36.80	0.072	200.00	-	197.50	194.85
J-24	CB-82	15	57.70	0.013	-	200.00	194.85	194.11
CB-82	CB-83	15	165.25	0.013	200.00	198.00	194.11	192.00
CB-83	J-25	15	117.00	0.013	198.00	-	192.00	190.50
CB-84	CB-85	10	117.30	0.009	198.00	198.00	195.50	194.50
CB-85	CB-86	10	116.90	0.021	198.00	195.00	194.50	192.00
CB-86	CB-87	12	79.20	0.006	195.00	195.00	192.00	191.50
CB-87	J-25	12	52.60	0.019	195.00	-	191.50	190.50
J-25	CB-88	15	83.90	0.030	-	193.00	190.50	188.00
CB-88	CB-89	15	150.55	0.029	193.00	186.00	188.00	183.63
CB-89	CB-90	15	38.10	0.030	186.00	185.00	183.63	182.50
CB-90	CB-91	15	110.00	0.029	185.00	181.50	182.50	179.30
CB-91	CB-92	15	49.80	0.029	181.50	180.00	179.30	177.85

FROM	TO	DIAM. (IN.)	LENGTH (FT.)	SLOPE (FT./FT.)	RIM UPPER	RIM LOWER	INVERT UPPER	INVERT LOWER
CB-92	J-26	18	292.40	0.029	180.00	-	177.85	169.37
CB-93A	CB-93B	6	121.20	0.015	177.00	174.50	174.50	172.70
CB-93B	CB-93C	10	157.60	0.018	174.50	172.00	172.70	169.80
CB-93C	J-26	18	41.70	0.010	172.00	-	169.80	169.37
J-26	J-27	24	57.20	0.029	-	-	169.37	167.70
J-27	CB-94	24	77.00	0.029	-	169.00	167.70	165.46
CB-94	J-28	24	70.00	0.028	169.00	-	165.46	163.50
CB-95	CB-96	8	281.30	0.049	192.00	182.50	189.50	175.76
CB-96	CB-97	15	54.60	0.005	182.50	180.00	175.76	175.50
CB-97	CB-98	15	134.20	0.017	180.00	177.00	175.50	173.20
CB-98	CB-99	15	35.60	0.037	177.00	175.50	174.50	173.20
CB-100	CB-99	8	100.20	0.010	174.50	175.50	172.00	171.00
CB-99	CB-101	15	142.00	0.014	175.50	171.50	171.00	169.00
CB-101	CB-102	15	78.00	0.025	171.50	169.50	169.00	167.00
CB-102	CB-103	15	103.00	0.024	169.50	167.00	167.00	164.50
CB-103	J-28	18	67.21	0.015	167.00	-	164.50	163.50
J-28	J-29	30	49.60	0.013	-	-	163.50	162.87
J-29	J-22	30	70.00	0.012	-	-	162.87	162.00
J-22	FE-5	30	78.00	0.103	-	154.00	162.00	154.00
CB-105	CB-106	24	60.10	0.008	158.00	158.00	155.50	155.00
CB-106	CB-107	24	126.80	0.008	158.00	157.00	155.00	154.00
CB-108	CB-109	24	50.50	0.010	158.50	158.50	156.00	155.50
CB-110	CB-109	8	72.80	0.021	159.50	158.50	157.00	155.50
CB-109	CB-111	24	62.60	0.008	158.50	158.00	155.50	155.00
CB-111	CB-112	30	76.90	0.007	158.00	158.00	155.00	154.50
CB-112	CB-107	30	115.50	0.004	158.00	158.00	154.50	154.00



Level Spreader
NOT TO SCALE

LOCATION	TOP OF POND ELEV.	WEIR INVERT	WEIR DEPTH	A	B	C
IRRIGATION POND	161.00	160.00	1.0'	70'	3'	76'



Emergency Spillway Detail
NOT TO SCALE

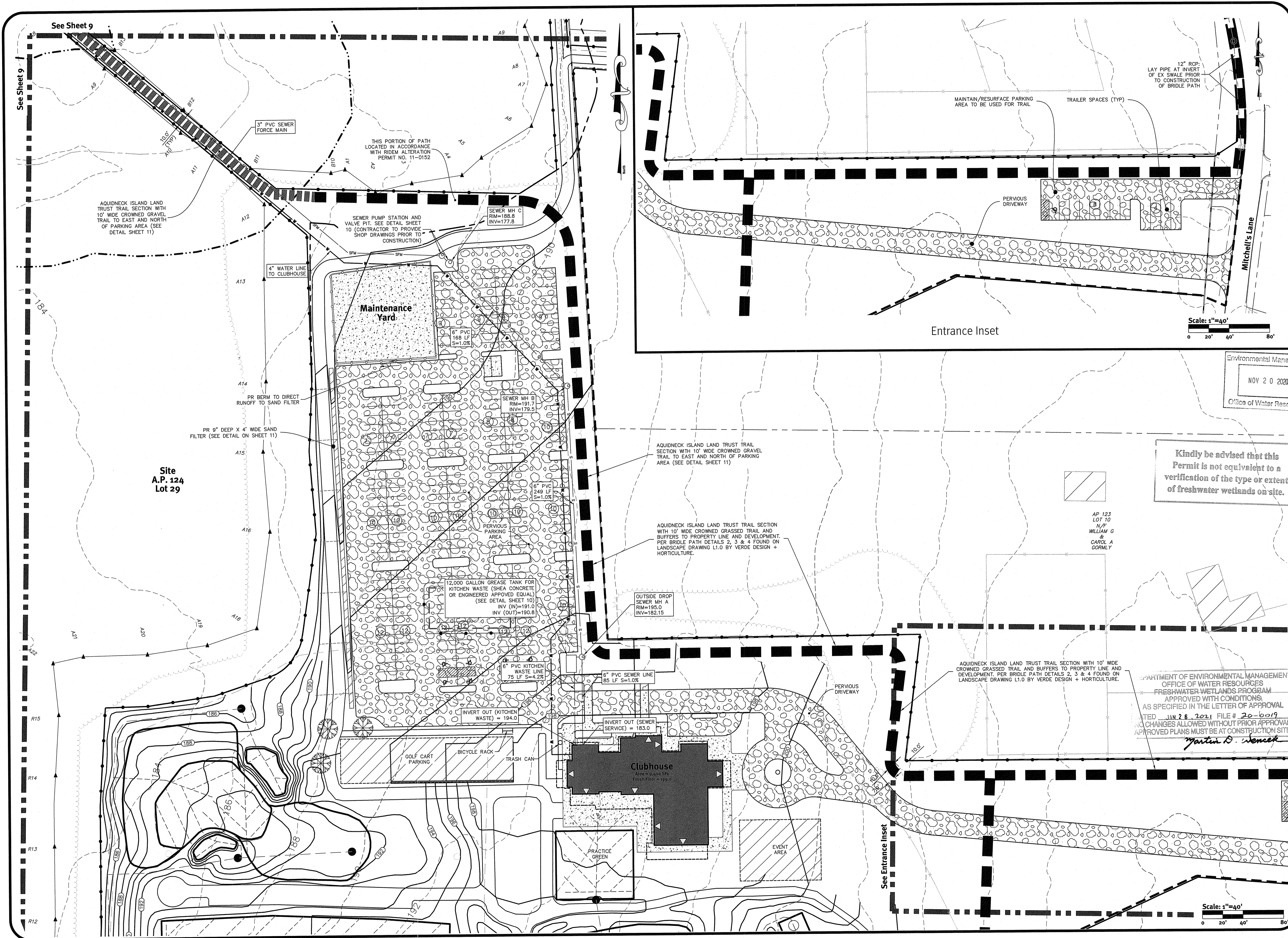
DiPrete Engineering
 90 Broadway Newport, RI 02840
 Tel: 401-619-5190 Fax: 401-464-6066 www.diprete-eng.com
 Boston • Providence • Newport

KEVIN DEMERS
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL
 NOV 20 2020
 Office of Water Resources

This regulatory submission set shall not be used for construction purposes unless stamped, issued for construction and signed by a DiPrete Engineering representative.
 The contractor is responsible for all of the means, methods, materials, workmanship and requirements, and OSHA compliance in the implementation of this plan and design.

NO.	DATE	DESCRIPTION	BY	DESIGN BY
1	11/2/2020	ISSUE FOR PERMITS	MD	MD
2	11/2/2020	REVISIONS	MD	MD
3	11/2/2020	REVISIONS	MD	MD
4	11/2/2020	REVISIONS	MD	MD
5	11/2/2020	REVISIONS	MD	MD
6	11/2/2020	REVISIONS	MD	MD
7	11/2/2020	REVISIONS	MD	MD
8	11/2/2020	REVISIONS	MD	MD
9	11/2/2020	REVISIONS	MD	MD
10	11/2/2020	REVISIONS	MD	MD
11	11/2/2020	REVISIONS	MD	MD
12	11/2/2020	REVISIONS	MD	MD
13	11/2/2020	REVISIONS	MD	MD
14	11/2/2020	REVISIONS	MD	MD
15	11/2/2020	REVISIONS	MD	MD
16	11/2/2020	REVISIONS	MD	MD
17	11/2/2020	REVISIONS	MD	MD
18	11/2/2020	REVISIONS	MD	MD
19	11/2/2020	REVISIONS	MD	MD
20	11/2/2020	REVISIONS	MD	MD

Grading and Utilities Plan-2
Newport National West Course
 Assessor's Plat 124, Lot 29
 Middletown, Rhode Island
 Applicant: **Newport National Real Estate, LLC**
 John Pereira c/o Combined Properties, Inc.
 295 Canal Street #500, Malden, MA 02148
 SHEET 7 OF 14



Site
A.P. 124
Lot 29

Environmental Management
NOV 20 2020
Office of Water Resources

Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED JAN 26 2021 FILE # 20-0019
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE
Martin D. Jencel

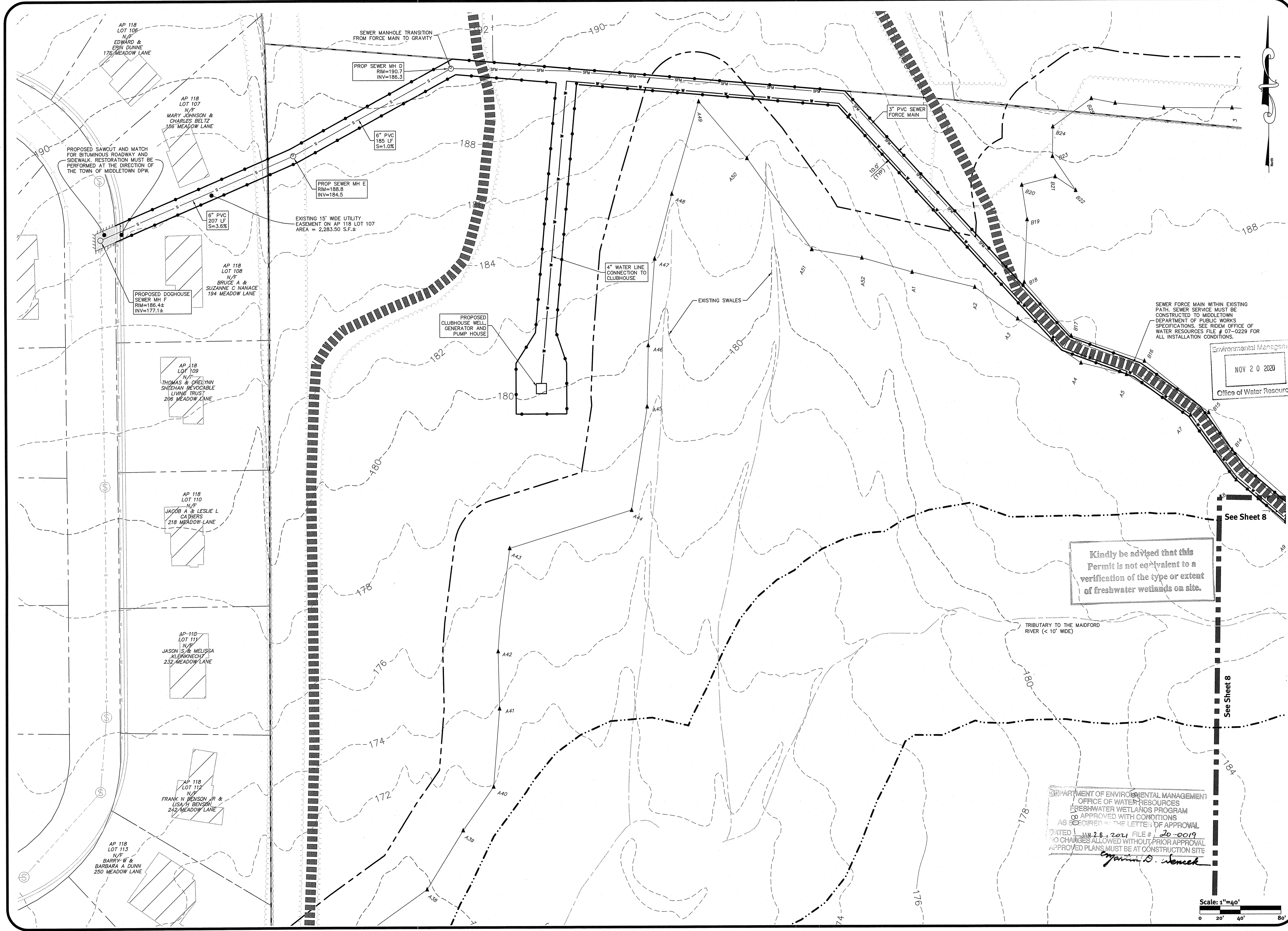
DiPrete Engineering
90 Broadway Newport, RI 02840
Tel: 401-519-5890 Fax: 401-464-6006 www.diprete-eng.com
Boston • Providence • Newport

KEVIN DEMERS
Kevin Demers
REGISTERED PROFESSIONAL ENGINEER
CIVIL

This regulatory submission set shall not be used for construction purposes unless stamped 'Issued for Construction' and signed by a DiPrete Engineering representative.
The contractor is responsible for all of the means, methods, materials, equipment and safety practices in the implementation of this plan and design.

No.	Date	Description	By:	Design By:
1	11-19-2020	Initial Plan	W.P.	C.A.D.
2	11-19-2020	Initial Plan	W.P.	C.A.D.
3	11-19-2020	Initial Plan	W.P.	C.A.D.
4	11-19-2020	Initial Plan	W.P.	C.A.D.
5	11-19-2020	Initial Plan	W.P.	C.A.D.
6	11-19-2020	Initial Plan	W.P.	C.A.D.
7	11-19-2020	Initial Plan	W.P.	C.A.D.
8	11-19-2020	Initial Plan	W.P.	C.A.D.
9	11-19-2020	Initial Plan	W.P.	C.A.D.
10	11-19-2020	Initial Plan	W.P.	C.A.D.
11	11-19-2020	Initial Plan	W.P.	C.A.D.
12	11-19-2020	Initial Plan	W.P.	C.A.D.
13	11-19-2020	Initial Plan	W.P.	C.A.D.
14	11-19-2020	Initial Plan	W.P.	C.A.D.
15	11-19-2020	Initial Plan	W.P.	C.A.D.
16	11-19-2020	Initial Plan	W.P.	C.A.D.
17	11-19-2020	Initial Plan	W.P.	C.A.D.
18	11-19-2020	Initial Plan	W.P.	C.A.D.
19	11-19-2020	Initial Plan	W.P.	C.A.D.
20	11-19-2020	Initial Plan	W.P.	C.A.D.

Clubhouse Plan-1
Newport National West Course
Assessor's: B1714, Lot 29
Middletown, Rhode Island
Newport National Real Estate, LLC
John Pereira c/o Combined Properties, Inc.
295 Canal Street #500, Malden, MA 02148
DE 108 No. 2569-001 Copyright 2020 by DiPrete Engineering Associates, Inc.



Z:\deman\projects\2569-001_newport_national_west_course\autocad\drawings\2569-001_pln.dwg Plotred: 11/5/2020

PROPOSED SAWCUT AND MATCH FOR BITUMINOUS ROADWAY AND SIDEWALK. RESTORATION MUST BE PERFORMED AT THE DIRECTION OF THE TOWN OF MIDDLETOWN DPW.

SEWER MANHOLE TRANSITION FROM FORCE MAIN TO GRAVITY

PROP SEWER MH D
RIM=190.7
INV=186.3

6" PVC
185 LF
S=1.0%

PROP SEWER MH E
RIM=188.8
INV=184.5

EXISTING 15' WIDE UTILITY EASEMENT ON AP 118 LOT 107
AREA = 2,283.50 S.F.±

6" PVC
207 LF
S=3.6%

PROPOSED DOGHOUSE SEWER MH F
RIM=186.4±
INV=177.1±

PROPOSED CLUBHOUSE WELL, GENERATOR AND PUMP HOUSE

4" WATER LINE CONNECTION TO CLUBHOUSE

3" PVC SEWER FORCE MAIN

SEWER FORCE MAIN WITHIN EXISTING PATH. SEWER SERVICE MUST BE CONSTRUCTED TO MIDDLETOWN DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS. SEE RIDEM OFFICE OF WATER RESOURCES FILE # 07-0229 FOR ALL INSTALLATION CONDITIONS.

Environmental Management
NOV 20 2020
Office of Water Resources

Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.

TRIBUTARY TO THE MAIDFORD RIVER (< 10' WIDE)

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED 11/26/2019 FILE # 20-0019
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE
Matthew D. Wenczek

Scale: 1"=40'
0 20' 40' 80'

Diprete Engineering
90 Broadway Newport RI 02840
Tel: 401-659-5890 Fax: 401-664-6066 www.diprete-eng.com
Boston • Providence • Newport

KEVIN DEMERS
Kevin Demers
REGISTERED PROFESSIONAL ENGINEER
CIVIL

NOV 20 2020
Office of Water Resources

This regulatory submission set shall not be used for construction purposes unless stamped, issued for construction, and signed by a Diprete Engineering representative.
The contractor is responsible for all of the means, methods, techniques, procedures, and OSHA compliance in the implementation of this plan and design.

No.	Date	Description	By:	Design By: P.A.A.
1	09-29-2020	PRELIMINARY PERMITS SUBMISSION		
2	10-15-2020	REVISED AND DPE REVISIONS		
3	10-22-2020	REVISED AND DPE REVISIONS		
4	11-01-2020	REVISED AND DPE REVISIONS		
5	11-01-2020	REVISED AND DPE REVISIONS		
6	11-01-2020	REVISED AND DPE REVISIONS		
7	11-01-2020	REVISED AND DPE REVISIONS		
8	11-01-2020	REVISED AND DPE REVISIONS		
9	11-01-2020	REVISED AND DPE REVISIONS		
10	11-01-2020	REVISED AND DPE REVISIONS		
11	11-01-2020	REVISED AND DPE REVISIONS		
12	11-01-2020	REVISED AND DPE REVISIONS		
13	11-01-2020	REVISED AND DPE REVISIONS		
14	11-01-2020	REVISED AND DPE REVISIONS		
15	11-01-2020	REVISED AND DPE REVISIONS		
16	11-01-2020	REVISED AND DPE REVISIONS		
17	11-01-2020	REVISED AND DPE REVISIONS		
18	11-01-2020	REVISED AND DPE REVISIONS		
19	11-01-2020	REVISED AND DPE REVISIONS		
20	11-01-2020	REVISED AND DPE REVISIONS		

Clubhouse Plan-2
Newport National West Course
Applicant: **Newport National Real Estate, LLC**
John Pereira c/o Combined Properties, Inc.
295 Canal Street #200, Warren, RI 02248
DC Job No: 2569-001 Copyright 2020 by Diprete Engineering Associates, Inc.

Establishment of Vegetative Cover

- 1. SLOPES MUST NOT BE LEFT UNATTENDED OR EXPOSED FOR EXCESSIVE PERIODS OF TIME SUCH AS THE INACTIVE WINTER SEASON. THE CONTRACTOR MUST INITIATE APPROPRIATE VEGETATIVE PRACTICES ON ALL DISTURBED AREAS AS SOON AS POSSIBLE BUT NOT MORE THAN FOURTEEN (14) DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT AREA HAS TEMPORARILY OR PERMANENTLY CEASED, UNLESS THE ACTIVITY IS TO RESUME WITHIN TWENTY-ONE (21) DAYS.

Maintenance: Short Term/Long Term

- 1. THE STONE STABILIZATION PAD AT THE SITE ENTRANCE MUST BE MAINTAINED BY THE CONTRACTOR. THE MAINTENANCE MUST INCLUDE TOP DRESSING WITH ADDITIONAL STONE, OR ADDITIONAL LENGTH AS CONDITIONS DEMAND, OR AS DIRECTED BY THE ENGINEER. ALL SEDIMENTS SPILLED, DROPPED, WASHED, OR TRACKED ON THE PUBLIC RIGHT OF WAY MUST BE REMOVED IMMEDIATELY BY THE CONTRACTOR.

Sequence of Staging and Land Disturbing Activities

- 1. CONTRACTOR IS RESPONSIBLE FOR SOIL EROSION AND SEDIMENT CONTROL (SECC) ON-SITE. SEQUENCE OF CONSTRUCTION PROVIDED MAY BE MODIFIED AS FIELD CONDITIONS WARRANT WITH PRIOR APPROVAL FROM THE OWNER OR OWNER'S REPRESENTATIVE.

Dimensional Regulations:

Table with 2 columns: CURRENT ZONING (OS) and various lot area and setback requirements (e.g., MINIMUM LOT AREA: 100,000 SF).

General Note:

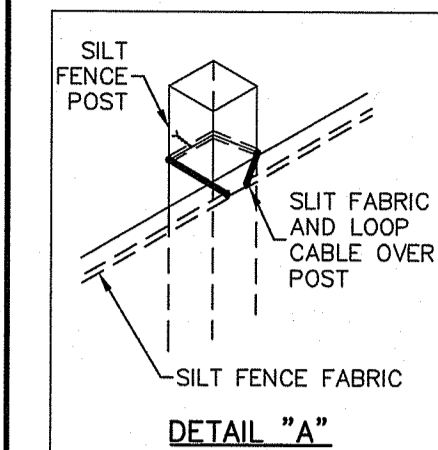
- 1. THESE PLANS ARE MEANT AS A SUPPLEMENT TO PREVIOUS PLANS BY OTHERS. THE PURPOSE OF THIS PLAN SET IS TO PROVIDE FOR SOIL EROSION GUIDANCE, CLOSED DRAINAGE SYSTEM DESIGN, AND MINOR GRADING REVISIONS.

Plan References:

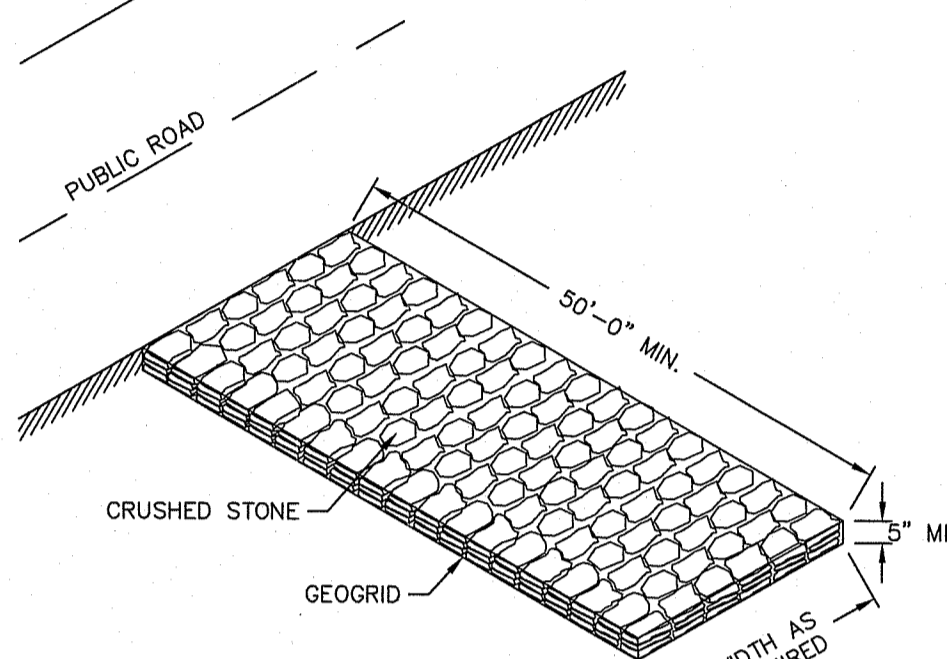
- 1. PLANS ENTITLED: "CONSTRUCTION DRAWINGS FOR NEWPORT NATIONAL GOLF CLUB, MIDDLETOWN, RI, 3RD NINE ADDITION" SCALE: 1" = 100', DATED: OCTOBER 2017, BY: HILLS & FOREST INTERNATIONAL GOLF COURSE ARCHITECTS, TOLEDO, OHIO.

NOTES:

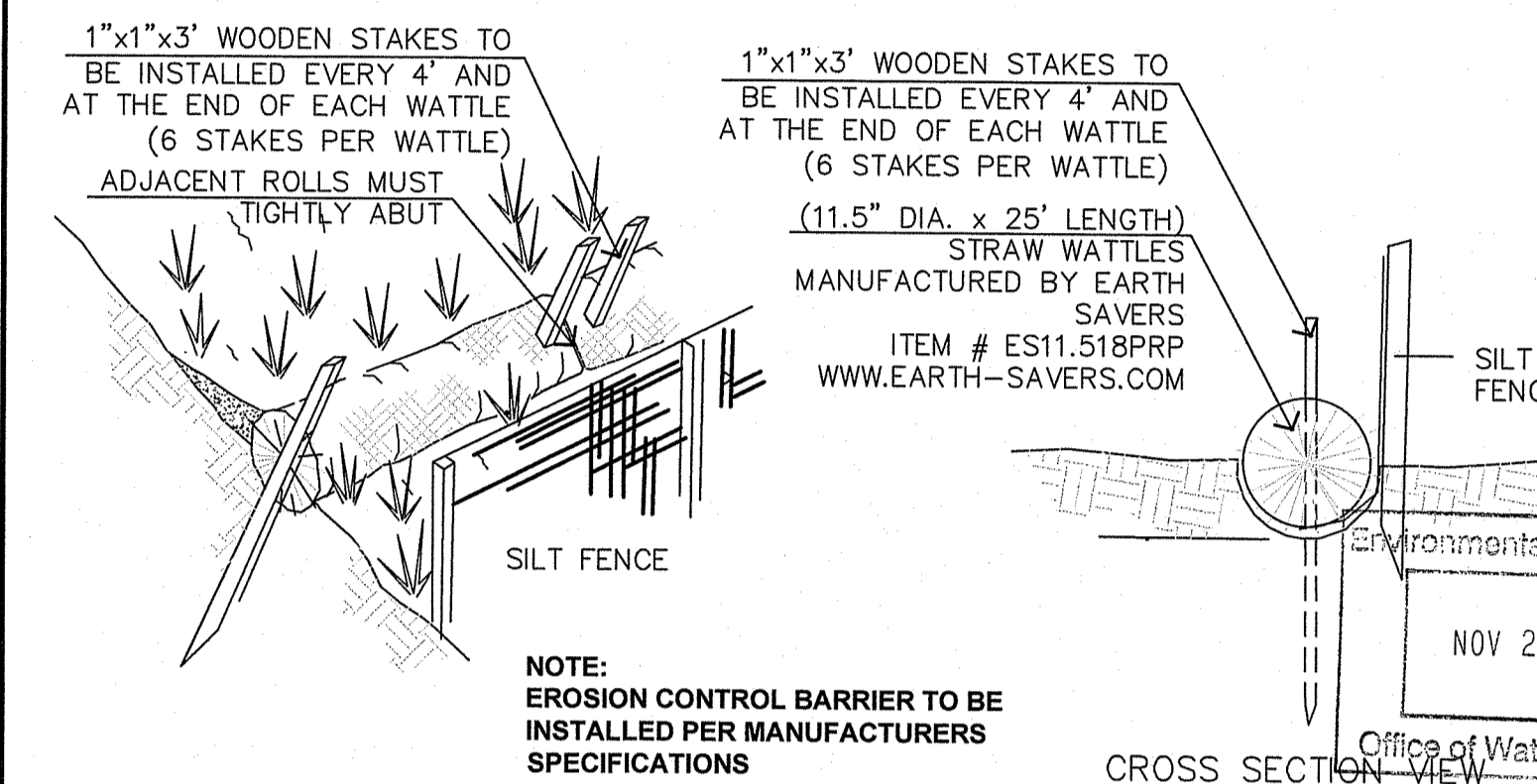
- 1. MUST BE IN ACCORDANCE WITH SECTION 206 OF THE R.I. STANDARD SPECIFICATIONS.



Silt Fence Detail NOT TO SCALE



Construction Entrance NOT TO SCALE



Silt Fence/Straw Wattle Sediment Barrier NOT TO SCALE

Notes:

THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE MEANS, METHODS, SAFETY PRECAUTIONS AND REQUIREMENTS, AND OSHA CONFORMANCE IN THE IMPLEMENTATION OF THIS PLAN AND DESIGN.

THE FINAL LANDSCAPING, SOIL STABILIZATION AND EROSION CONTROL IS TO BE COMPLETED BY THE CONTRACTOR PER THE APPROVED PLAN. ALTERATIONS TO THIS DESIGN ARE TO BE IDENTIFIED BY THE OWNER IN WRITING TO THE DESIGN ENGINEER FOR APPROVAL AND POSSIBLE REVISIONS TO THE RIDEM.

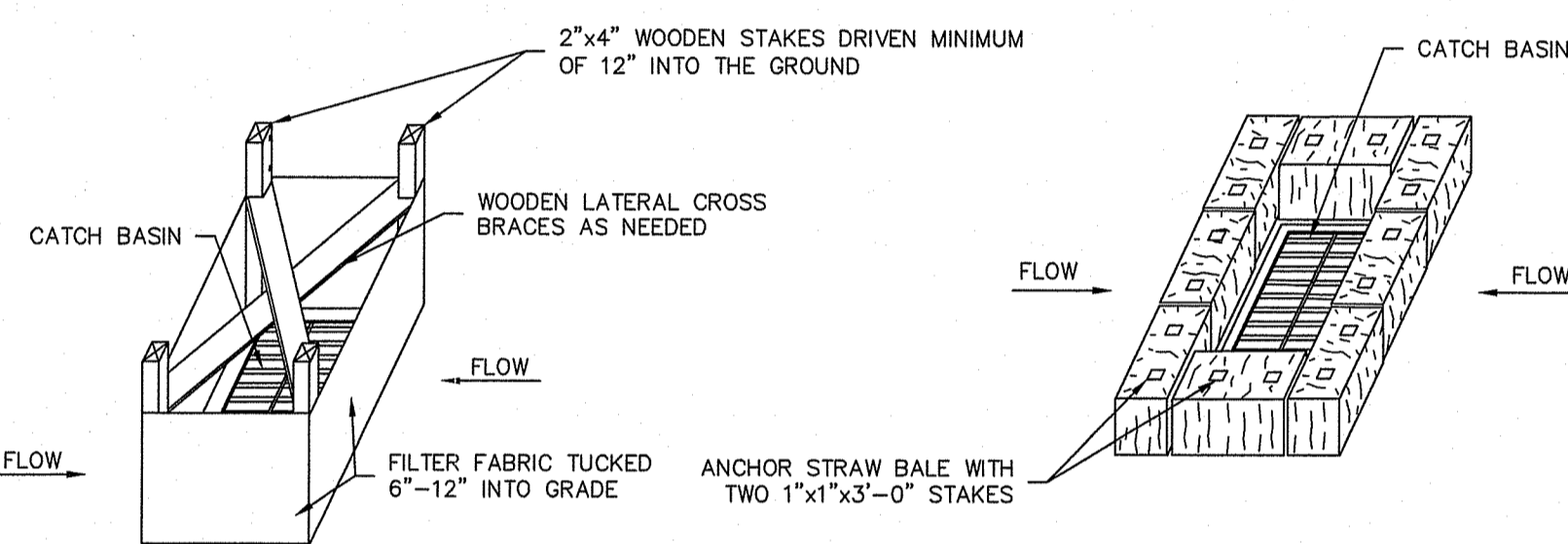
NO PHOSPHORUS-BASED FERTILIZERS MAY BE USED ON THE GOLF COURSE.

THE CONTRACTOR MUST COORDINATE WITH ALL OF THE APPROPRIATE UTILITY COMPANIES FOR AGREEMENTS TO SERVICE THE PROPOSED BUILDING. THIS MUST BE DONE PRIOR TO CONSTRUCTION. NO REPRESENTATIONS ARE MADE BY DIPRETE ENGINEERING THAT UTILITY SERVICE IS AVAILABLE.

ALL EXISTING UTILITIES SHOWN ARE FROM DRAWINGS BY OTHERS, OR INFORMATION PROVIDED TO DIPRETE ENGINEERING AND ARE SUBJECT TO CHANGE. NO ONE SHOULD RELY ON THE UTILITY LOCATIONS SHOWN FOR CONSTRUCTION, AND DIG SAFE MUST BE NOTIFIED PRIOR TO ANY WORK.

Development Data:

TOTAL SITE AREA: 171.2 ACRES±
TOTAL NUMBER OF BUILDINGS: 1
TOTAL AREA OF BUILDINGS: 9,700 SQ.FT.±
PARKING USE: GOLF COURSE (18 HOLES) WITH DINING FACILITIES



SILT FENCE INSTALLATION FOR CATCH BASINS AT LOW POINTS

STRAW BALE FILTER INSTALLATION FOR CATCH BASINS AT LOW POINTS

NOTES:

- 1. STORMWATER INLETS WHICH DO NOT DISCHARGE TO SEDIMENT TRAPS OR BASINS MUST BE PROTECTED UNTIL THE TRIBUTARY AREAS ARE STABILIZED.

Catch Basin Erosion Control

NOT TO SCALE

SHEA COMMERCIAL LINE TANK 4000 TO 12000 GALLON

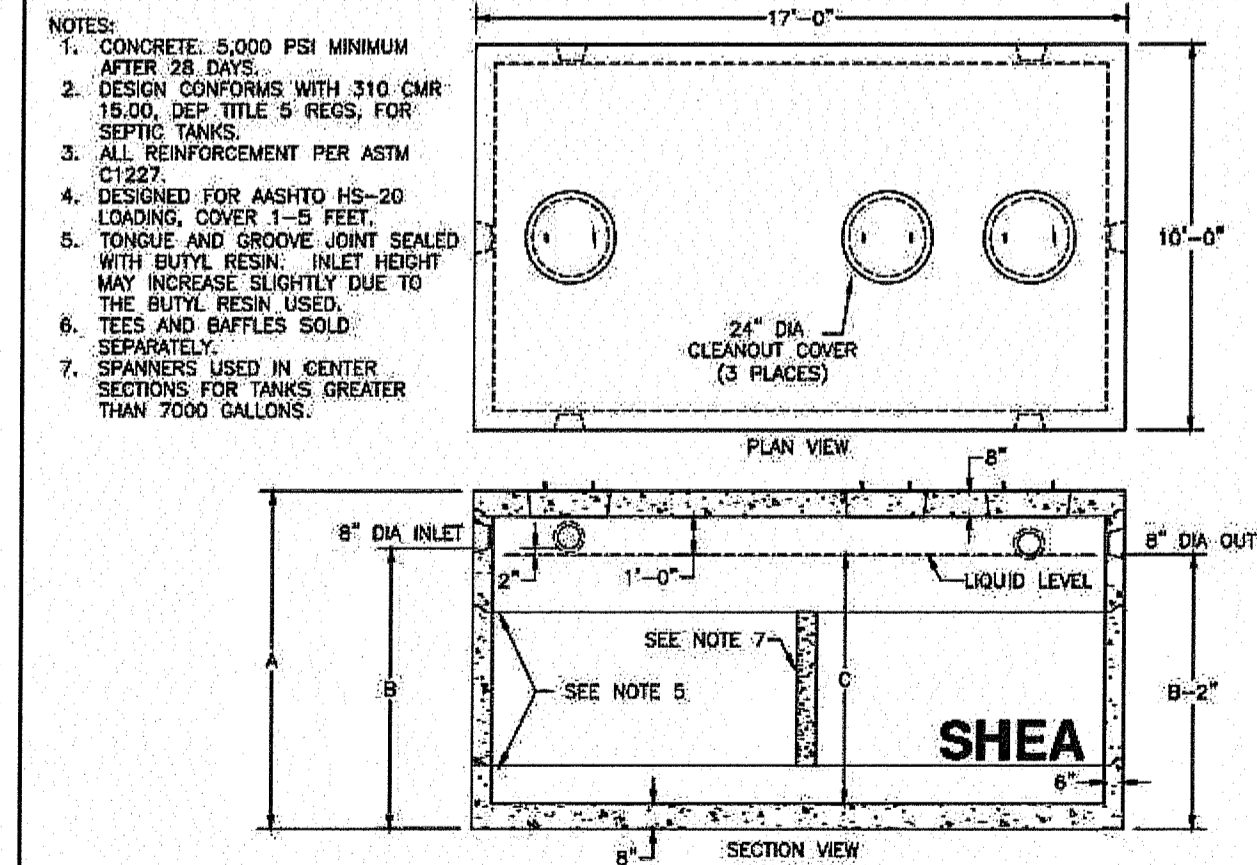
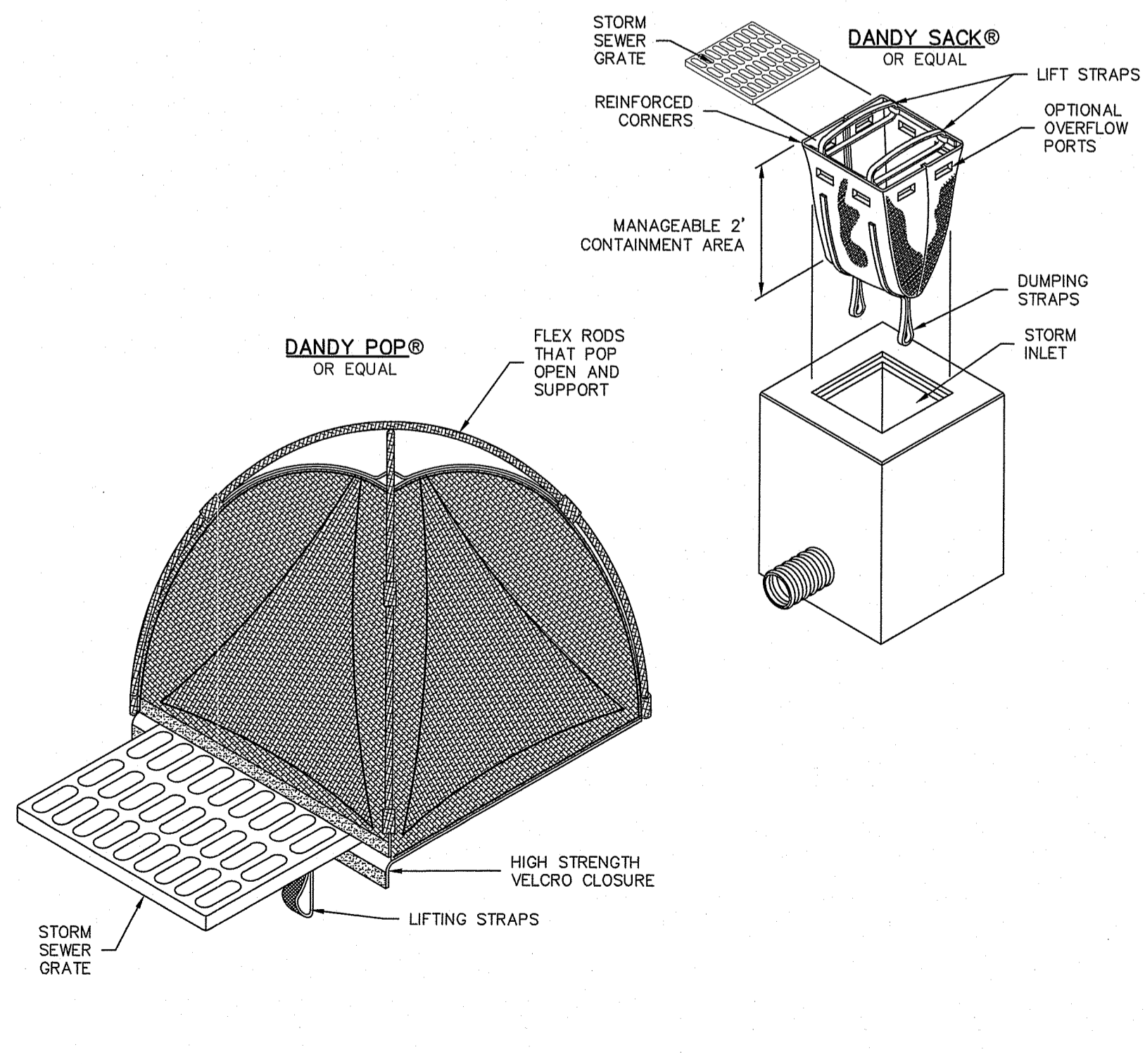
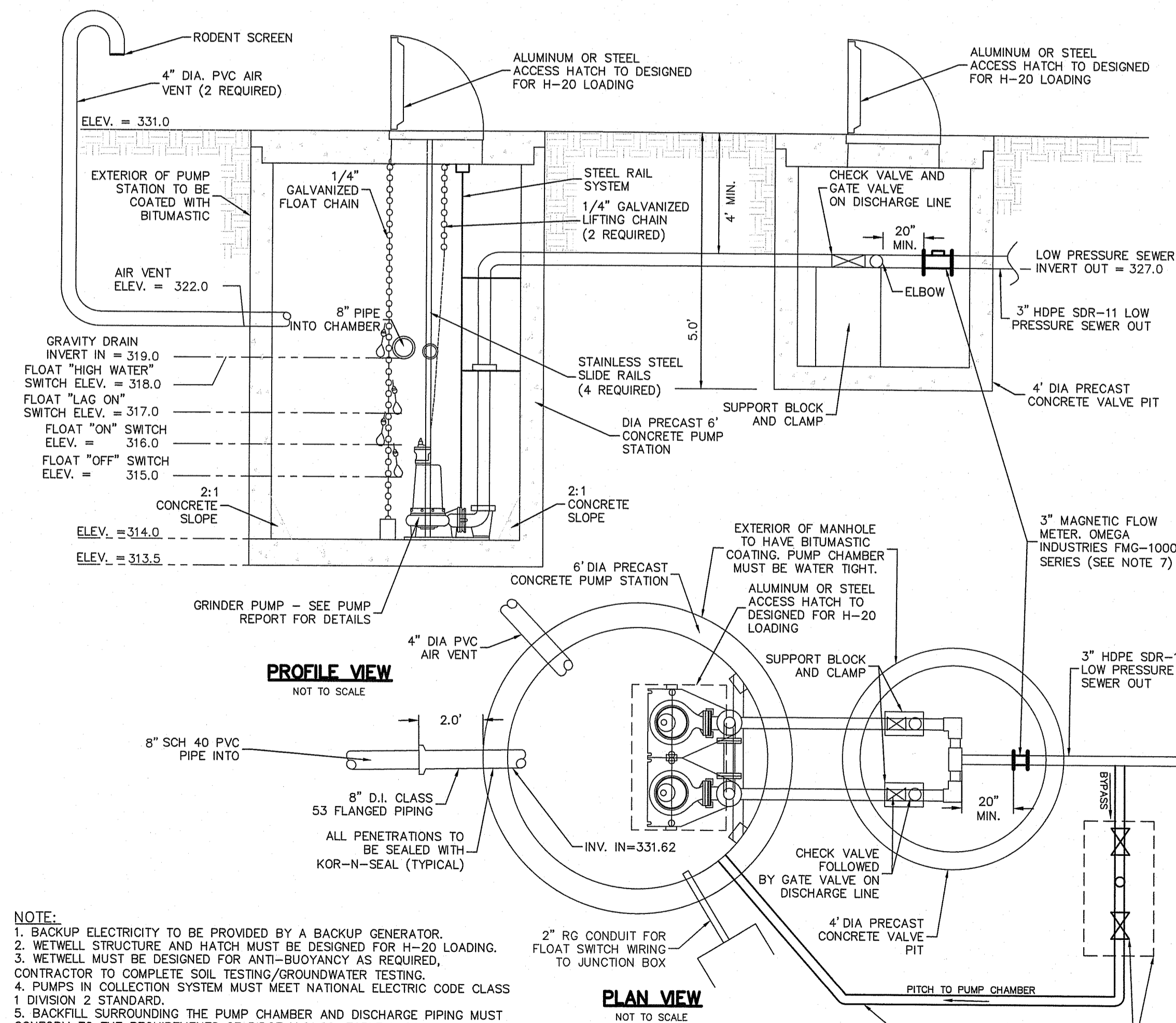


Table with columns: GALLONS, A (HEIGHT), B (INLET), C (LIQUID), TOTAL WEIGHT, RISER 1 SIZE, RISER 2 SIZE, RISER 3 SIZE, ITEM NO.

12,000 Gallon Grease Tank NOT TO SCALE



Inlet Sediment Control Devices NOT TO SCALE



Sewer Pump Station Detail (Or Equal) NOT TO SCALE

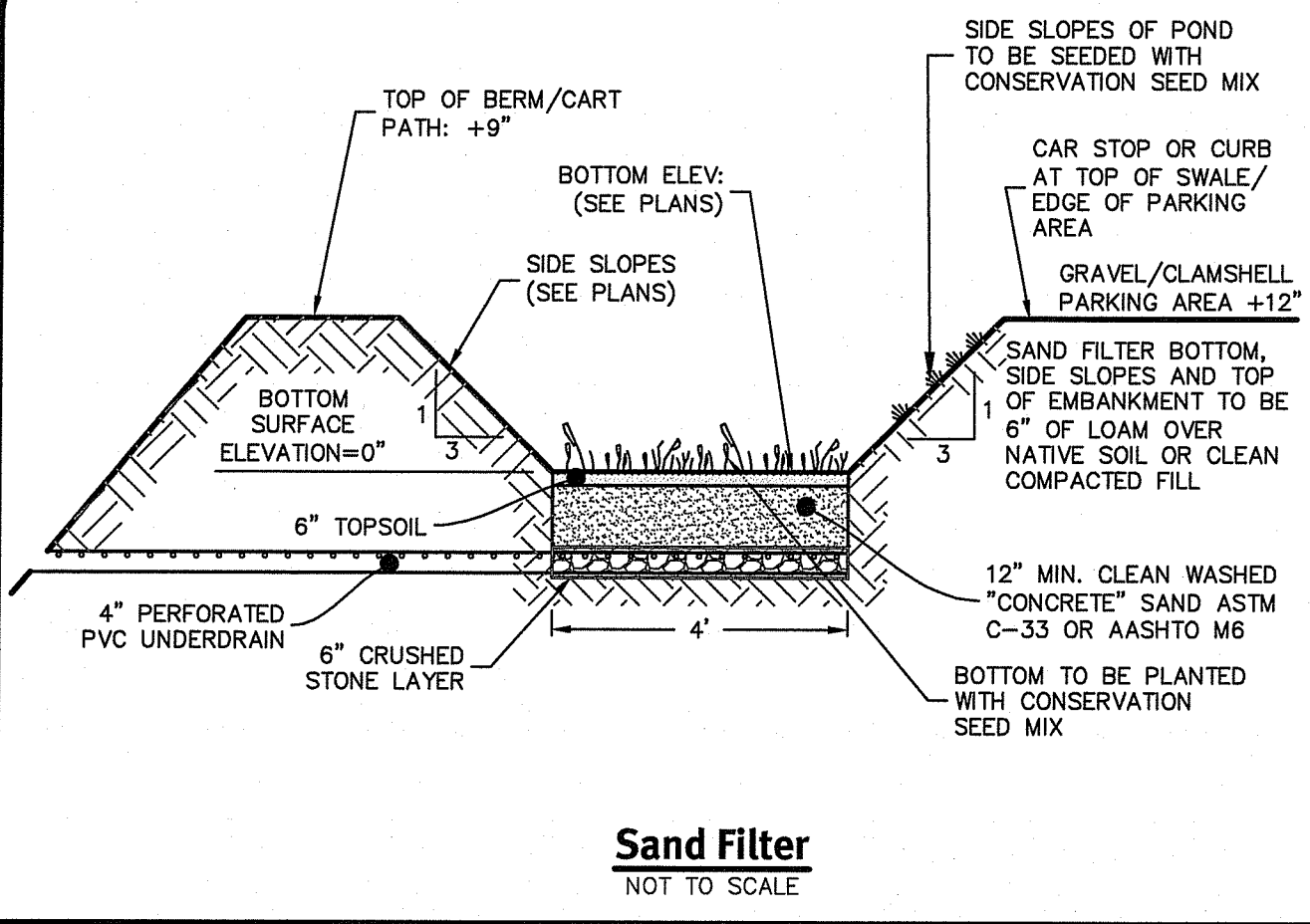
DiPrete Engineering logo and contact information: 90 Broadway Newport, RI 02840, tel 401-659-5590, fax 401-464-6006, www.diprete-eng.com

KEVIN DEMERS REGISTERED PROFESSIONAL ENGINEER CIVIL logo and signature.

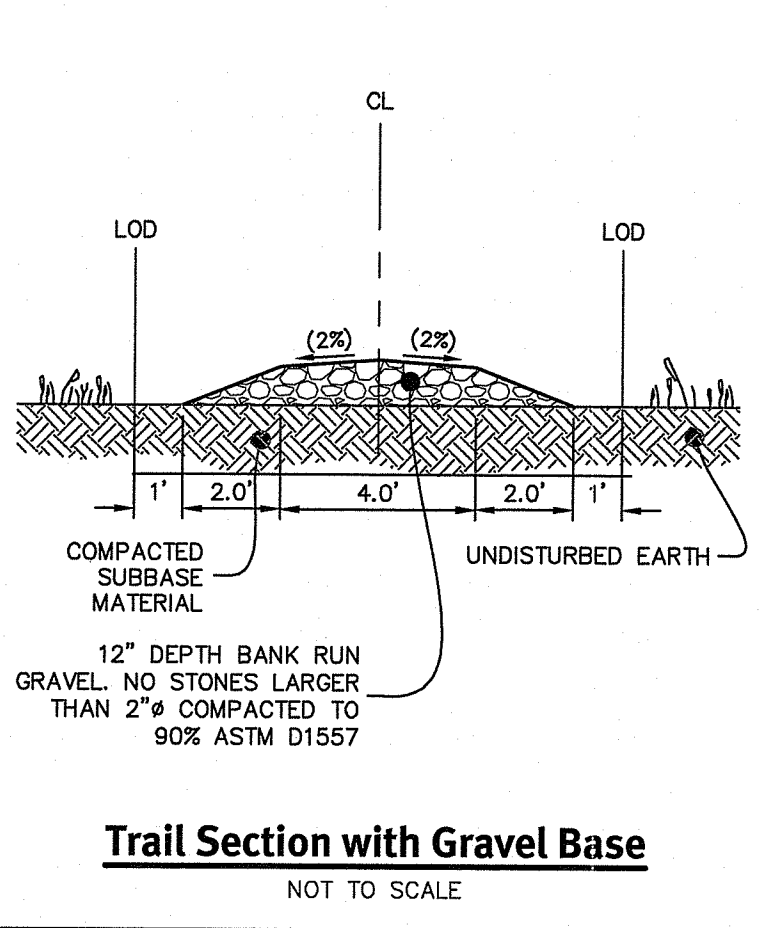
This regulatory submission set shall not be used for construction purposes unless stamped 'Issued for Construction' and signed by a DiPrete Engineering representative.

Table with columns: No., Date, Description, Design By: P.A.A., Drawn By: P.A.A.

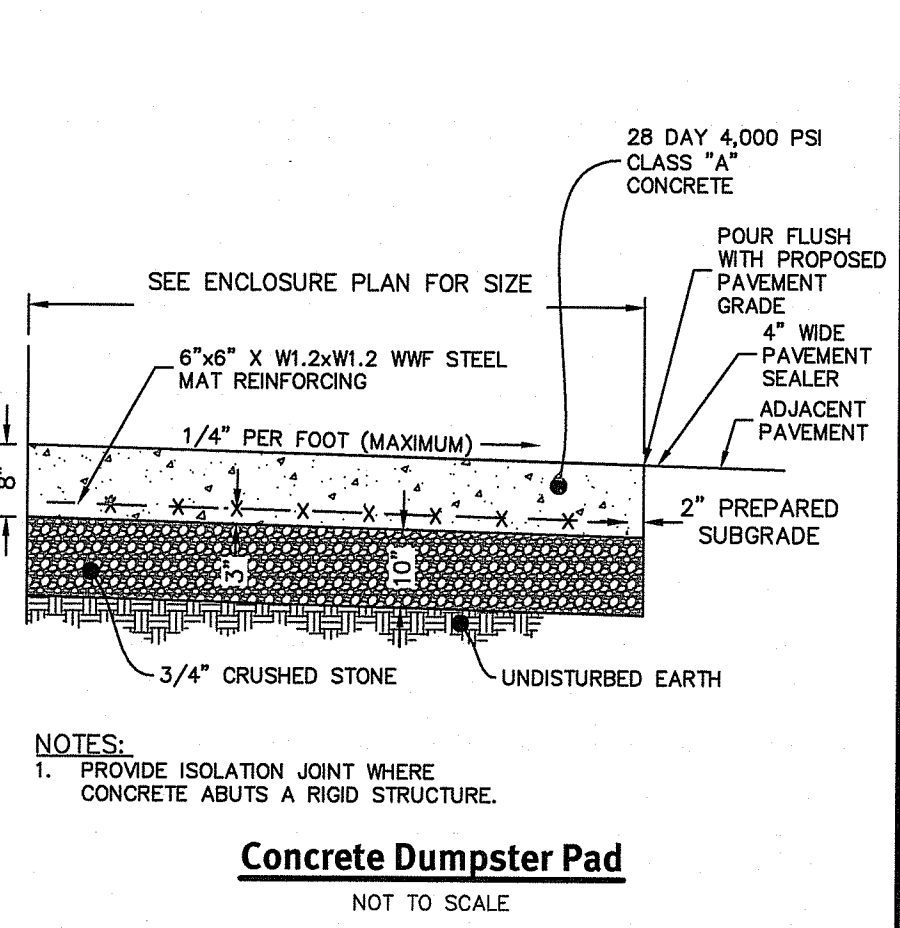
Detail Sheet-1 Newport National West Course Newport National Real Estate, LLC logo and contact information.



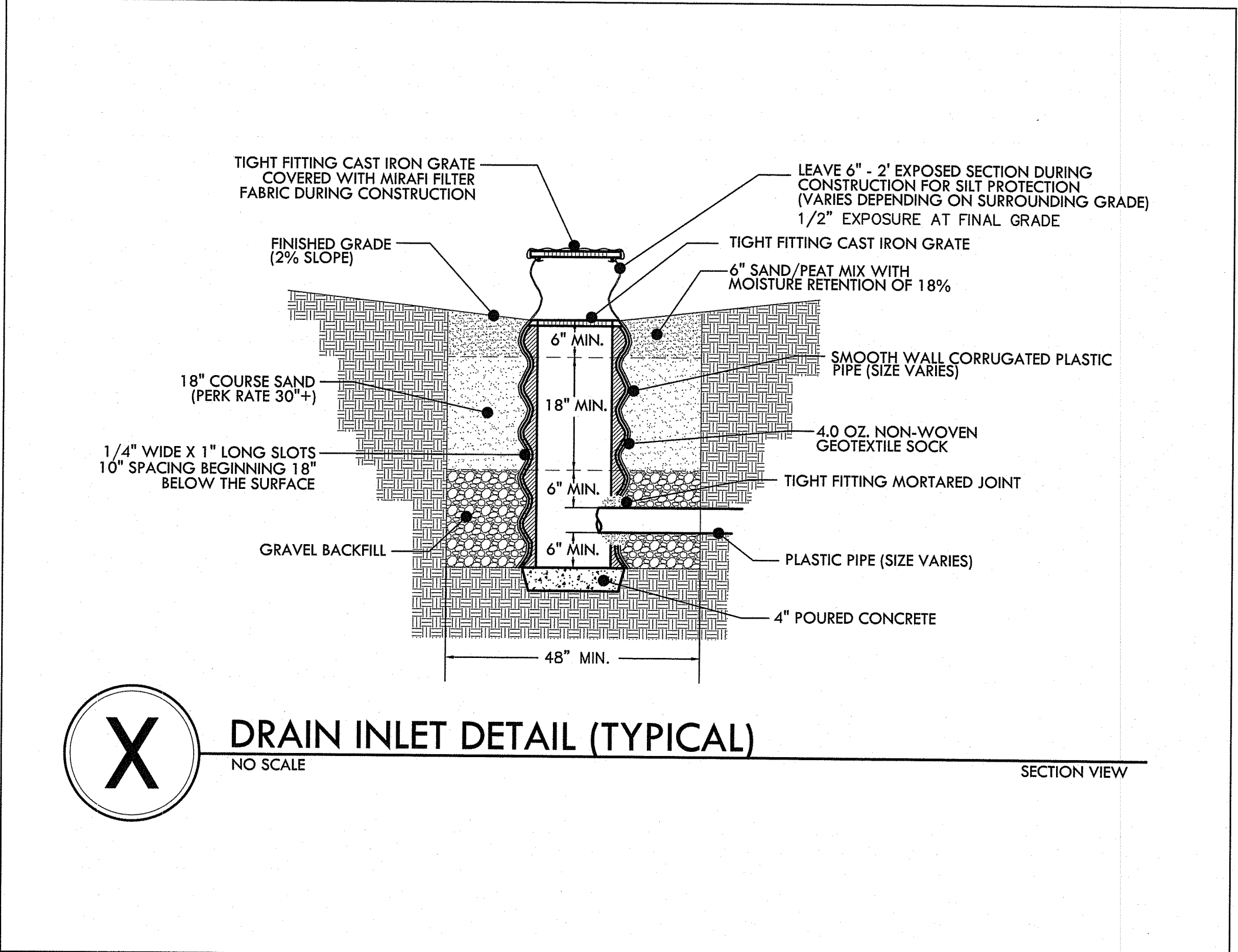
Sand Filter
NOT TO SCALE



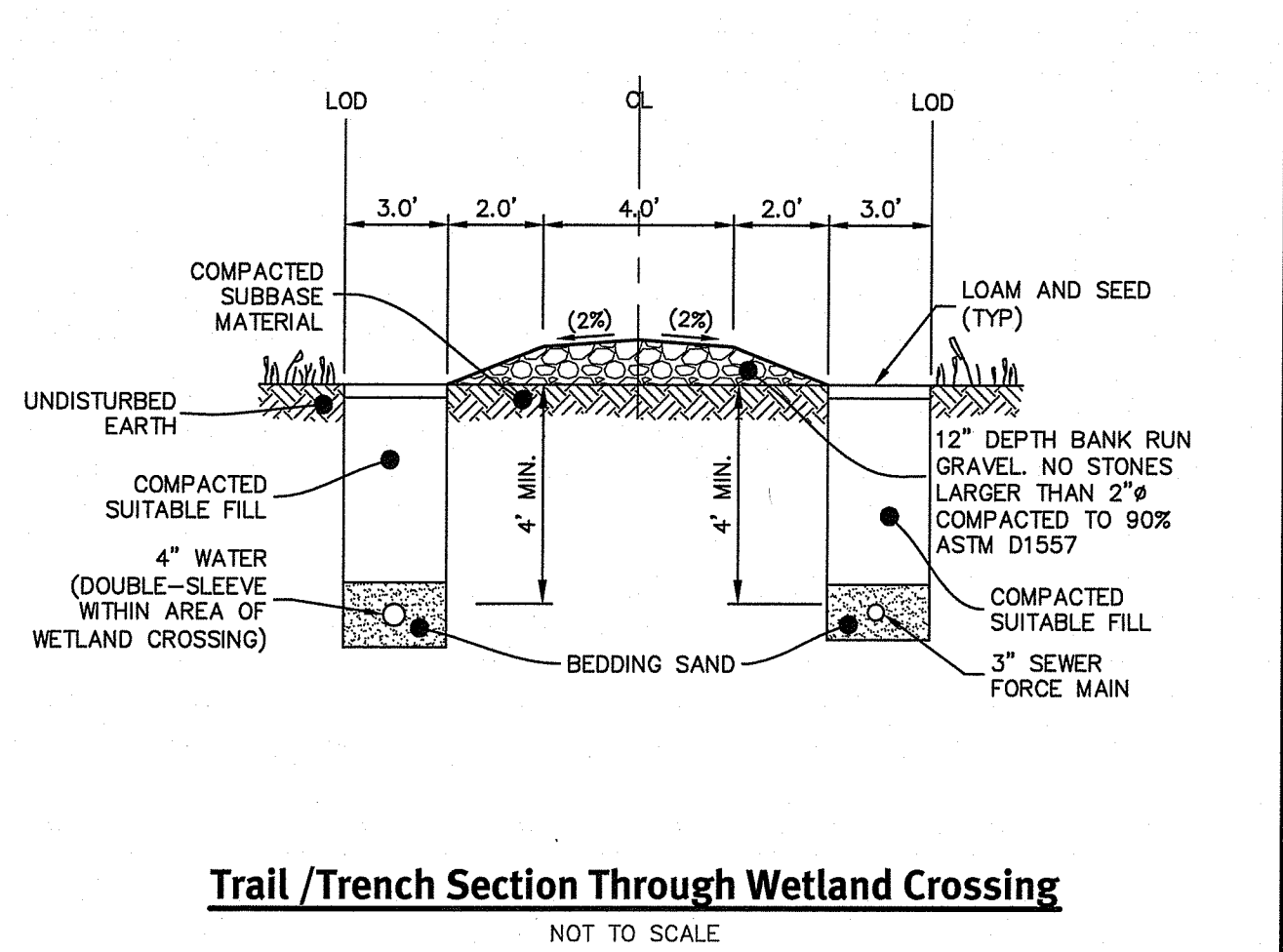
Trail Section with Gravel Base
NOT TO SCALE



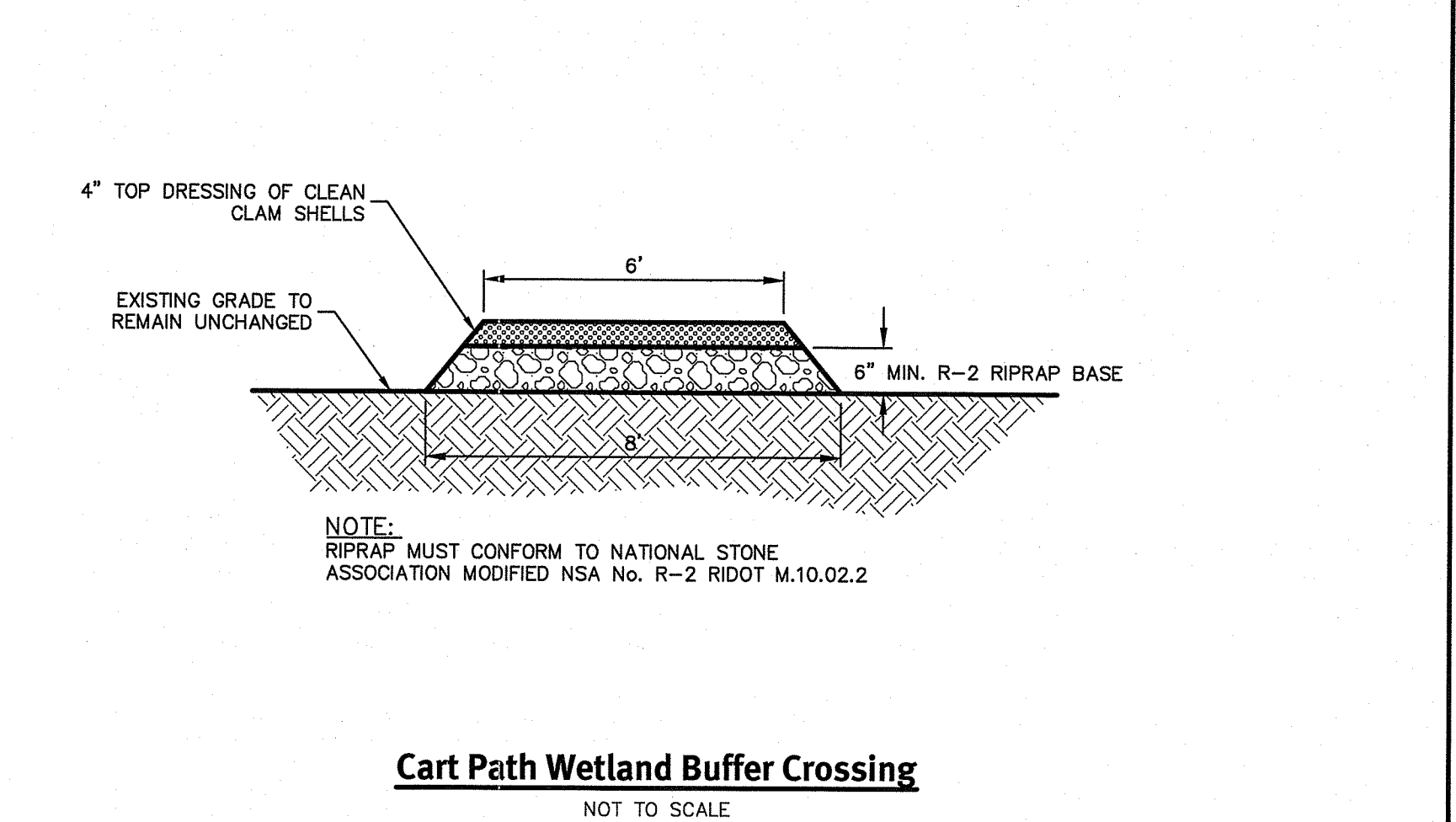
Concrete Dumpster Pad
NOT TO SCALE



DRAIN INLET DETAIL (TYPICAL)
NO SCALE



Trail /Trench Section Through Wetland Crossing
NOT TO SCALE

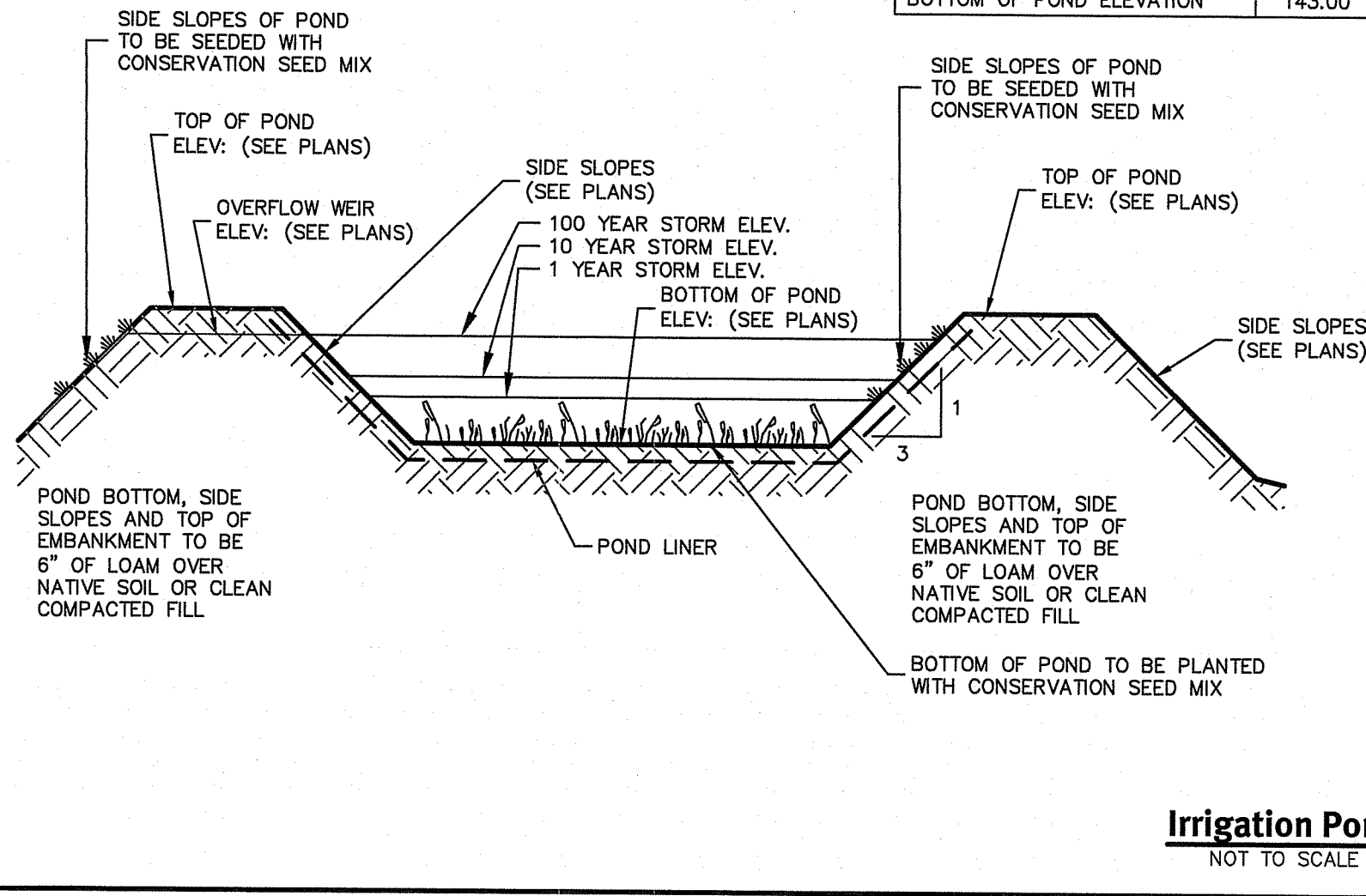


Cart Path Wetland Buffer Crossing
NOT TO SCALE

DESCRIPTION	IRR. POND
TOP OF POND ELEVATION	161.00'
100 YEAR STORM ELEVATION	160.57'
10 YEAR STORM ELEVATION	158.64'
1 YEAR STORM ELEVATION	157.49'
WATER LEVEL FOR IRRIGATION	156.50'
BOTTOM OF POND ELEVATION	143.00'

CONSTRUCTION NOTES:

- ALL DRAINAGE BASIN BERMS MUST BE CONSTRUCTED OF CLEAN LOAM CONFORMING TO RIDOT SPECIFICATION M.18.01, OR OF SUITABLE ON-SITE FILL MATERIAL. SUITABLE ON-SITE FILL MUST BE SCREENED LOOSE, FRAGILE SOIL THAT IS FREE OF REFUSE, STUMPS, ROOTS, ROCKS, COBBLES, STONES, BRUSH, NOXIOUS WEEDS, LITTER AND OTHER MATERIAL THAT WILL PREVENT THE FORMATION AND COMPACTION OF A STRUCTURALLY STABLE BERM AND THAT WILL PROVIDE A SUITABLE SEED BED. CONSTRUCTION OF BERMS MAY CONTINUE DURING COLD WEATHER, HOWEVER, FROZEN SOILS MUST BE REMOVED AND MUST NOT BE USED AS FILL FOR THE FORMATION OF BERMS. ALL BERMS MUST BE CONSTRUCTED IN MAXIMUM 12" LIFTS. EACH LIFT MUST BE COMPACTED TO 95% MAXIMUM DENSITY (AASHTO T180) BEFORE THE NEXT LIFT IS PLACED.
- ALL BASINS AND SWALES MUST BE CONSTRUCTED WITH A MINIMUM SIX INCH (6") DEPTH OF CLEAN LOAM TO FINISHED FLOOR GRADE, AND A MINIMUM FOUR INCH (4") DEPTH OF CLEAN LOAM TO FINISHED BERM, OR SLOPE GRADE. CLEAN LOAM MUST CONFORM TO RIDOT SPECIFICATION M.18.01. LOAM APPLIED TO BASIN AND SWALE FLOORS MUST BE HAND RAKED BEFORE SEEDING. UNDER NO CIRCUMSTANCES SHALL BASIN OR SWALE FLOORS BE COMPACTED USING MACHINERY.
- BASINS MUST BE SEEDDED WITH CONSERVATION SEED MIX.
- IF SWALES, BASIN BERMS OR SLOPES ARE CONSTRUCTED OUTSIDE THE NORMAL GROWING SEASON FOR THE SPECIFIED SEED MIX, TEMPORARY STABILIZATION MUST BE PROVIDED BY THE APPLICATION OF A BIODEGRADABLE EROSION CONTROL BLANKET (NORTH AMERICAN GREEN S75BN, OR SIMILAR).
- ALL STORM DRAIN OUTLETS TO BASINS AND SWALES MUST BE CONSTRUCTED WITH FLARED END SECTIONS.
- ALL PERFORATED DRAINAGE PIPES MUST BE CONSTRUCTED WITH A FILTER FABRIC SURROUND.
- IF LEDGE OR GROUNDWATER IS ENCOUNTERED DURING EXCAVATION FOR BASINS, SWALES, OR INFILTRATION TRENCHES, THE NATURAL GROUND MUST BE BLASTED, OR EXCAVATED AS NECESSARY TO A MINIMUM DEPTH OF THREE FEET BENEATH THE DESIGN FLOOR ELEVATION OF THE STRUCTURE. THE REMOVED MATERIAL MUST BE REPLACED WITH CRUSHED GRAVEL, CRUSHED ROCK, OR SUITABLE PERVIOUS FILL THAT MUST EXTEND AS FAR DOWNSTREAM FROM THE STRUCTURE AS NECESSARY TO PROVIDE POSITIVE DRAINAGE FOR ANY GROUNDWATER ENCOUNTERED. SUITABLE PERVIOUS FILL MATERIAL MUST BE INSPECTED AND APPROVED BY THE PROJECT ENGINEER PRIOR TO USE.
- POND MUST BE LINED WITH BEND TARP AND LINER, PPL-24 OR EQUAL LINER MATERIAL MUST BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- POND WORK MUST BE DONE DURING THE DRY SEASON TO MINIMIZE GROUNDWATER IMPACTS. DURING EXCAVATION AND PRIOR TO LINER INSTALLATION, GROUNDWATER INFILTRATION INTO THE POND WILL OCCUR. CONTRACTOR MUST PUMP CAPTURED WATER THROUGH A SEDIMENT SCREEN AND OVER-EXCAVATE THE PERMANENT DISCHARGE SWALE AREA TO USE AS A TEMPORARY SEDIMENT BASIN.
- WHILE UNDER CONSTRUCTION, POND SIDE SLOPES MUST BE STABILIZED WITH NORTH AMERICAN GREEN C125 BIODEGRADABLE EROSION CONTROL BLANKET.



Irrigation Pond
NOT TO SCALE

DiPrete Engineering
90 Broadway Newport, RI 02840
tel 401-619-2890 fax 401-664-6006 www.diprete-eng.com

Boston • Providence • Newport

KEVIN DEMERS
REGISTERED PROFESSIONAL ENGINEER
CIVIL

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The contractor is responsible for all of the means, methods, safety precautions and requirements, and OSHA performance in the implementation of this plan and design.

No.	Date	Description	By:
1	05-28-2020	Initial Design	By: C.A.D.
2	06-02-2020	Revised Design	By: C.A.D.
3	06-08-2020	Final Design	By: C.A.D.
4	06-10-2020	Final Design	By: C.A.D.
5	06-10-2020	Final Design	By: C.A.D.
6	06-10-2020	Final Design	By: C.A.D.
7	06-10-2020	Final Design	By: C.A.D.
8	06-10-2020	Final Design	By: C.A.D.
9	06-10-2020	Final Design	By: C.A.D.
10	06-10-2020	Final Design	By: C.A.D.

Drawn By: P.A.A. Design By: C.A.D.

Detail Sheet-2

Newport National West Course

Assessor's Plat 124, Lot 29
Middletown, Rhode Island

Newport National Real Estate, LLC
John Pereira c/o Combined Properties, Inc.
295 Canal Street #500, Malden, MA 02148

APPLICANT: John Pereira c/o Combined Properties, Inc.
295 Canal Street #500, Malden, MA 02148

DATE: JAN 26 2021 FILE # 20-0019

NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

SHEET 11 OF 14

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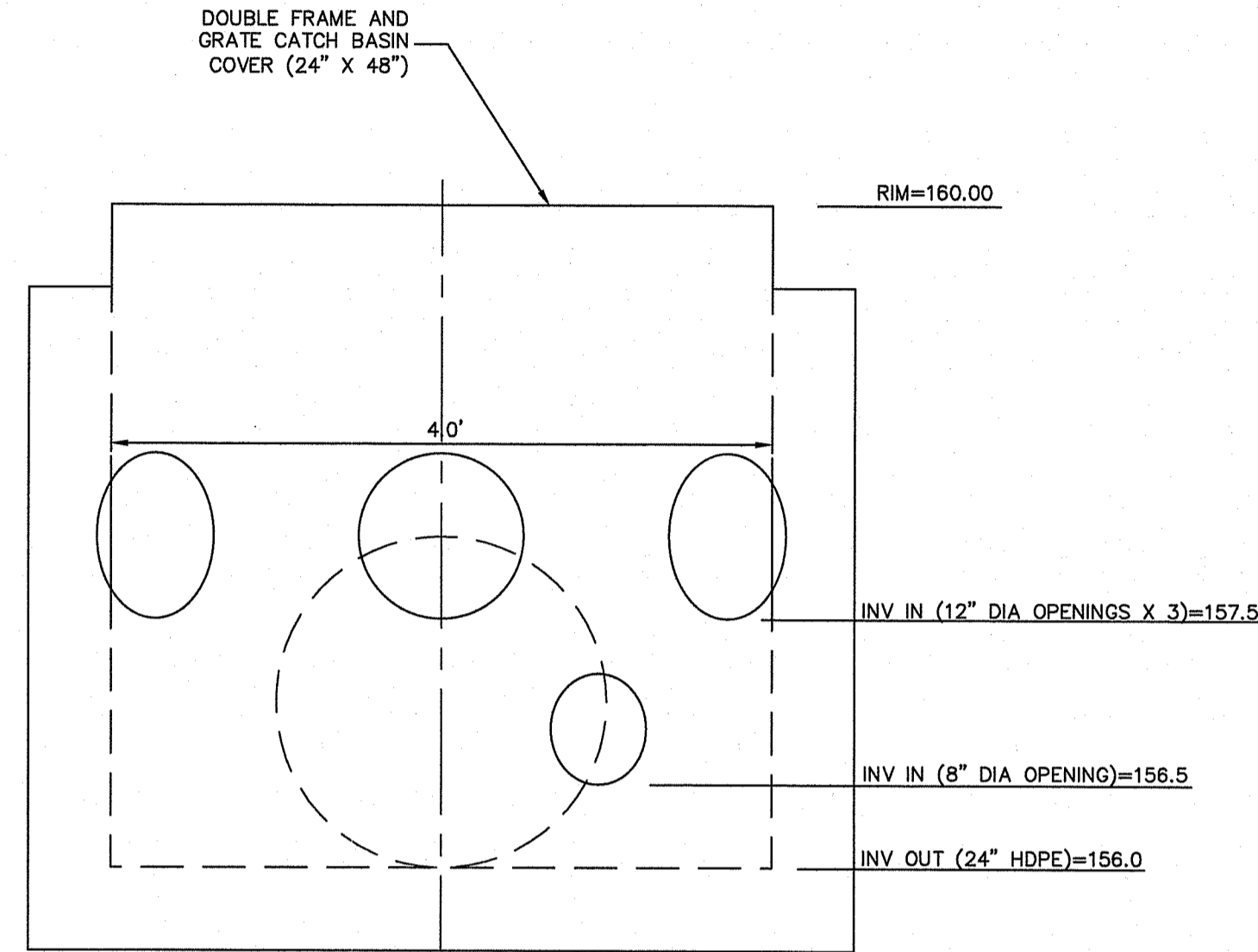
DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED JAN 26 2011 FILE # 20-0019
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE
Martin D. Wene

Flyover Vegetation Notes:

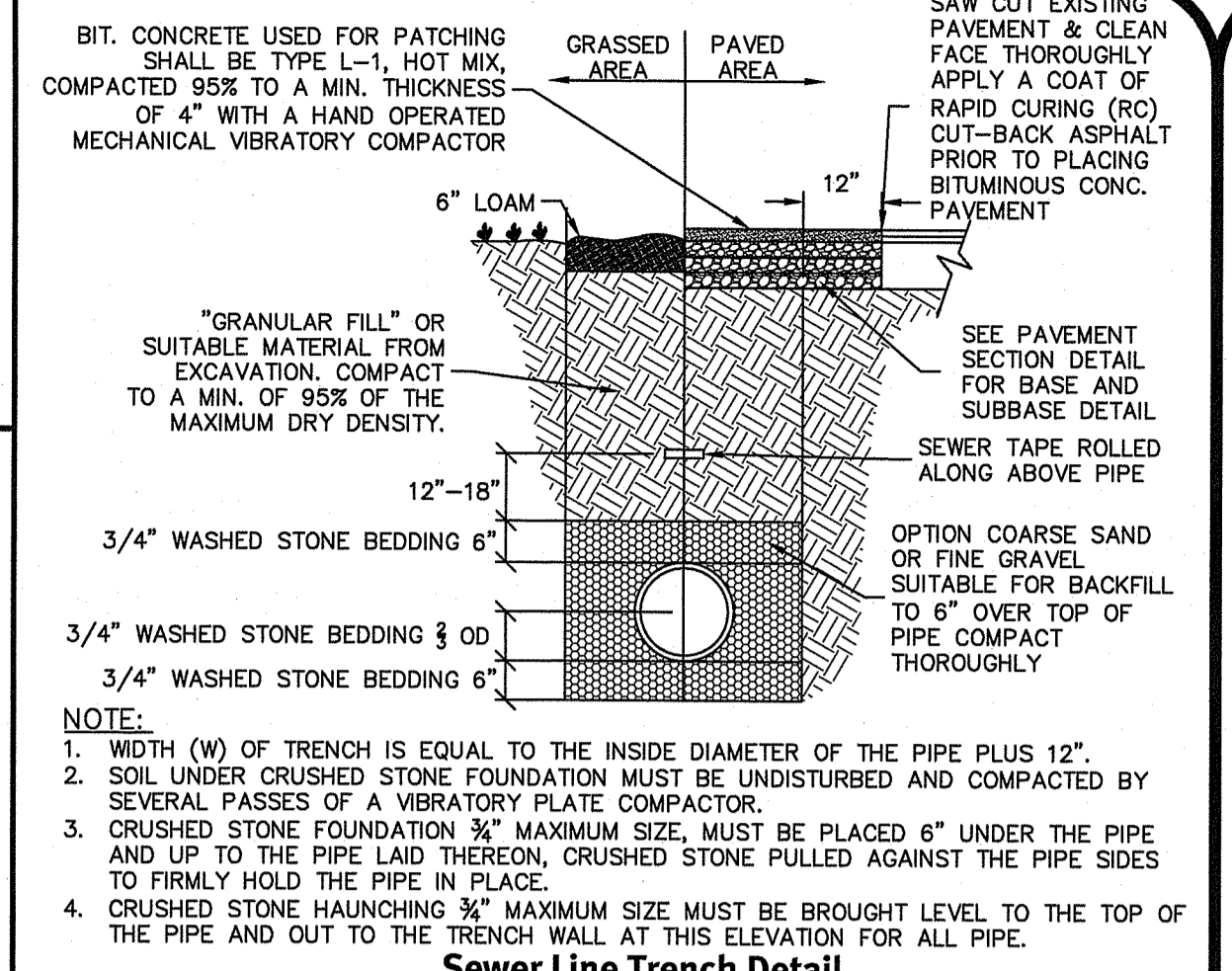
- IN AREAS OF FLY-OVERS FOR HOLES 1, 3, 4, 5 AND 9, REMOVE TALL VEGETATION, PRIMARILY RED MAPLE (ACER RUBRUM) SAPLINGS, AND REPLACE WITH LOW COMPACT SHRUBS INCLUDING INK BERRY, SHEEP LAUREL AND SWEET GALE (MYRICA GALE). SHRUBS WILL BE PLANTED IN STAGGERED ROWS 5-8 FEET ON CENTER, 2-3 FEET IN HEIGHT AFTER PLANTING. THE VEGETATION WILL BE MAINTAINED AT A HEIGHT OF 6 FEET. HERBACEOUS PLANTS WILL BE ALLOWED TO PROPAGATE. AS MANY AS POSSIBLE HIGHBUSH BLUEBERRY SHRUBS IN THIS AREA WILL BE PRESERVED.
- THE FLY-OVERS FOR HOLES 1, 3, 4, 5 AND 9 WILL BE TRIMMED AS NEEDED, APPROXIMATELY FOUR TIMES PER YEAR TO MAINTAIN A HEIGHT OF 6 FEET. THE FLY-OVERS WILL BE TRIMMED USING HANDHELD POWER TRIMMERS WITH TRIMMINGS REMAINING IN THE FLY-OVERS.

NOTE PER DEM:

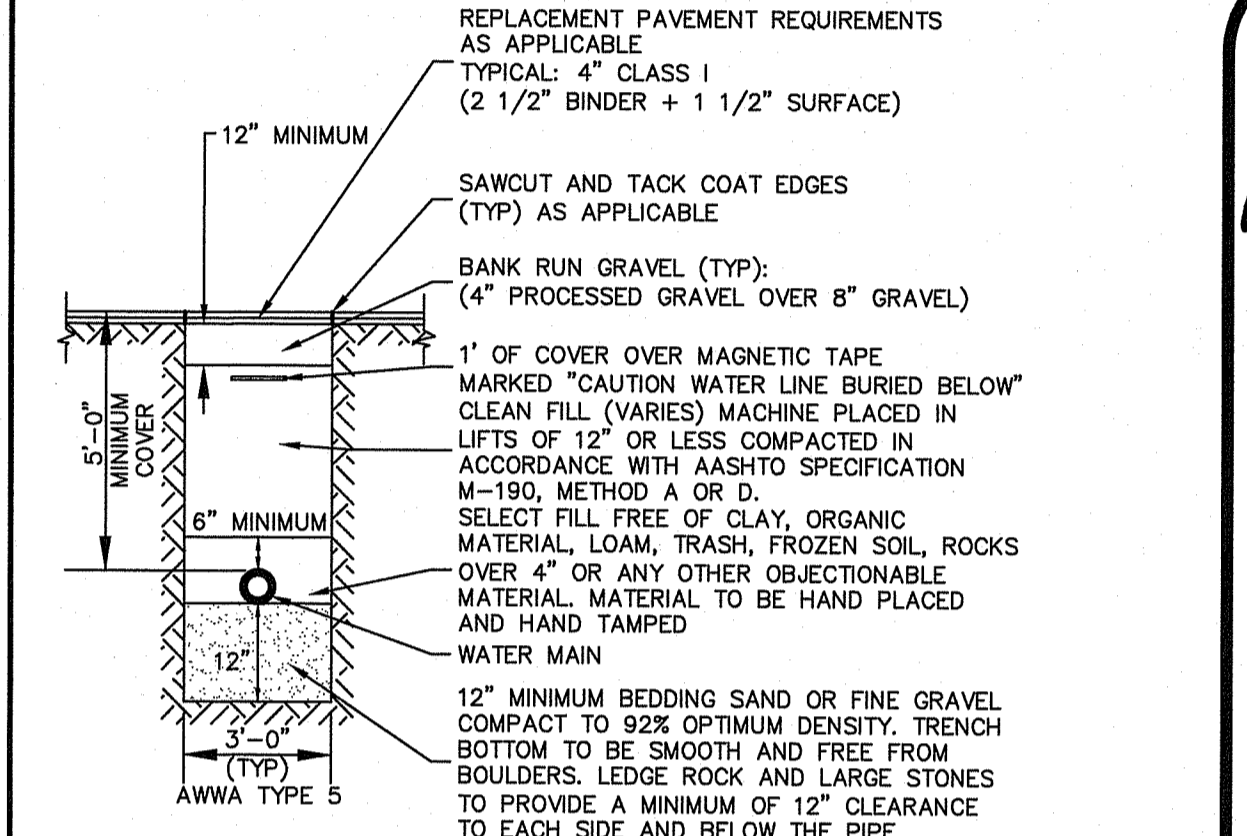
With regards to Item No. 1 in the Flyover Vegetation Notes: sheep laurel is deleted and shall be replaced with a choice of highbush blueberry (*Vaccinium corymbosum*) and/or winterberry (*Ilex verticillata*), planted 5 to 6 feet on center, interspersed throughout the flyover areas with the inkberry (*Ilex glabra*) and sweet gale (*Myrica gale*).
Additionally, Item No. 2 has also been modified to limit trimming within flyovers to once per year between September 1st and March 31st, to minimize disturbance to resident wildlife.



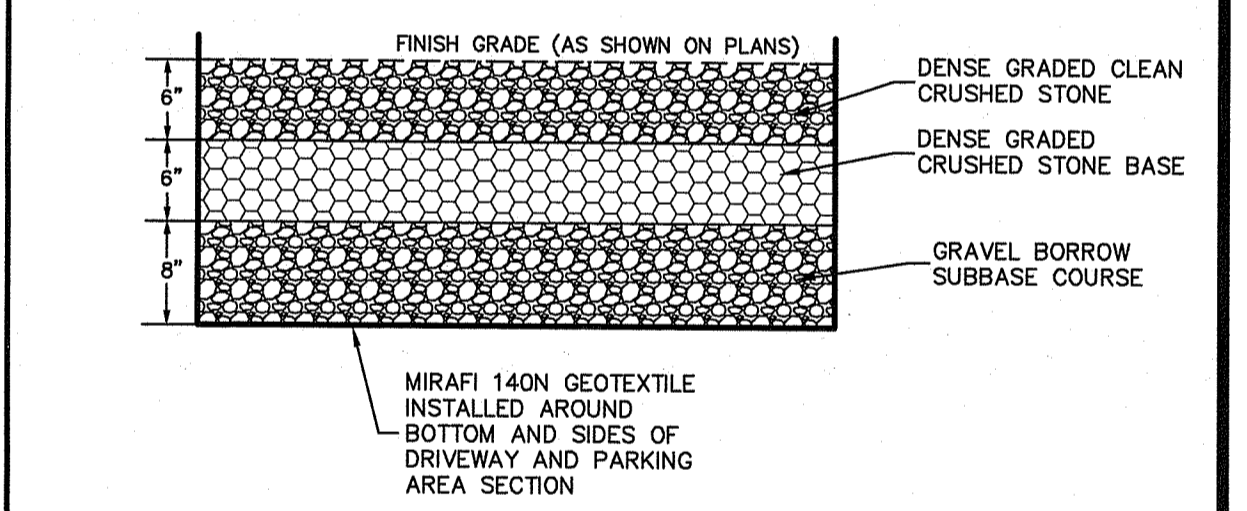
Outlet Control Structure - Elevation 1
NOT TO SCALE



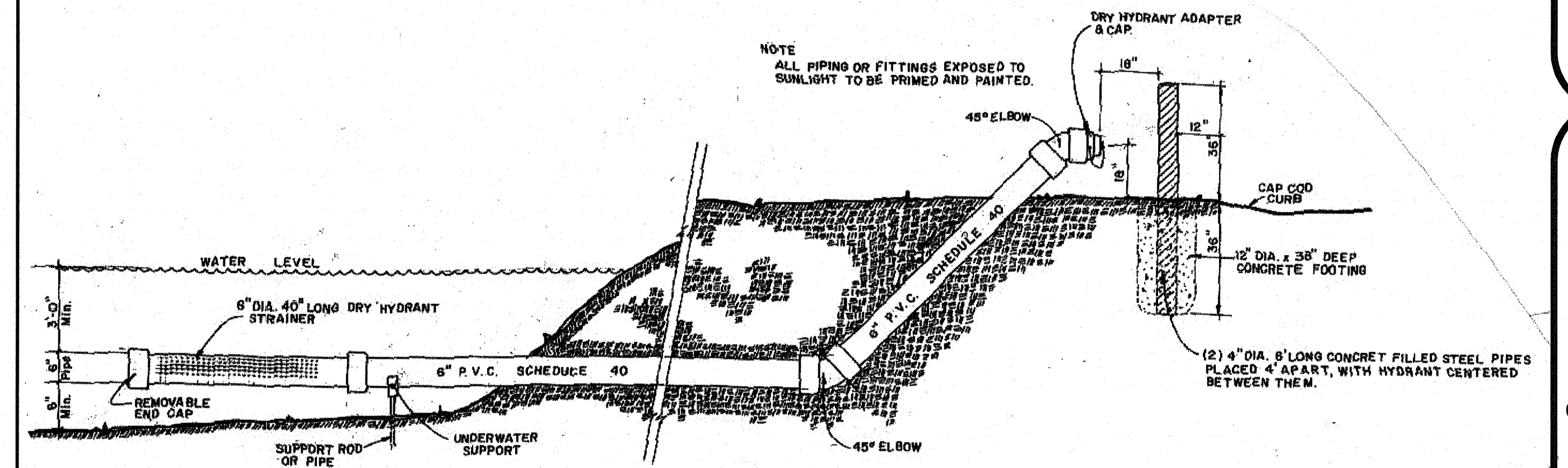
Sewer Line Trench Detail
NOT TO SCALE



Water Trench Detail
NOT TO SCALE



Typical Pervious Driveway & Parking Area Detail
NOT TO SCALE



DRY HYDRANT DETAIL
NOT TO SCALE

DiPrete Engineering
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tel. 401-619-5900 fax. 401-464-6006 www.diprete-eng.com
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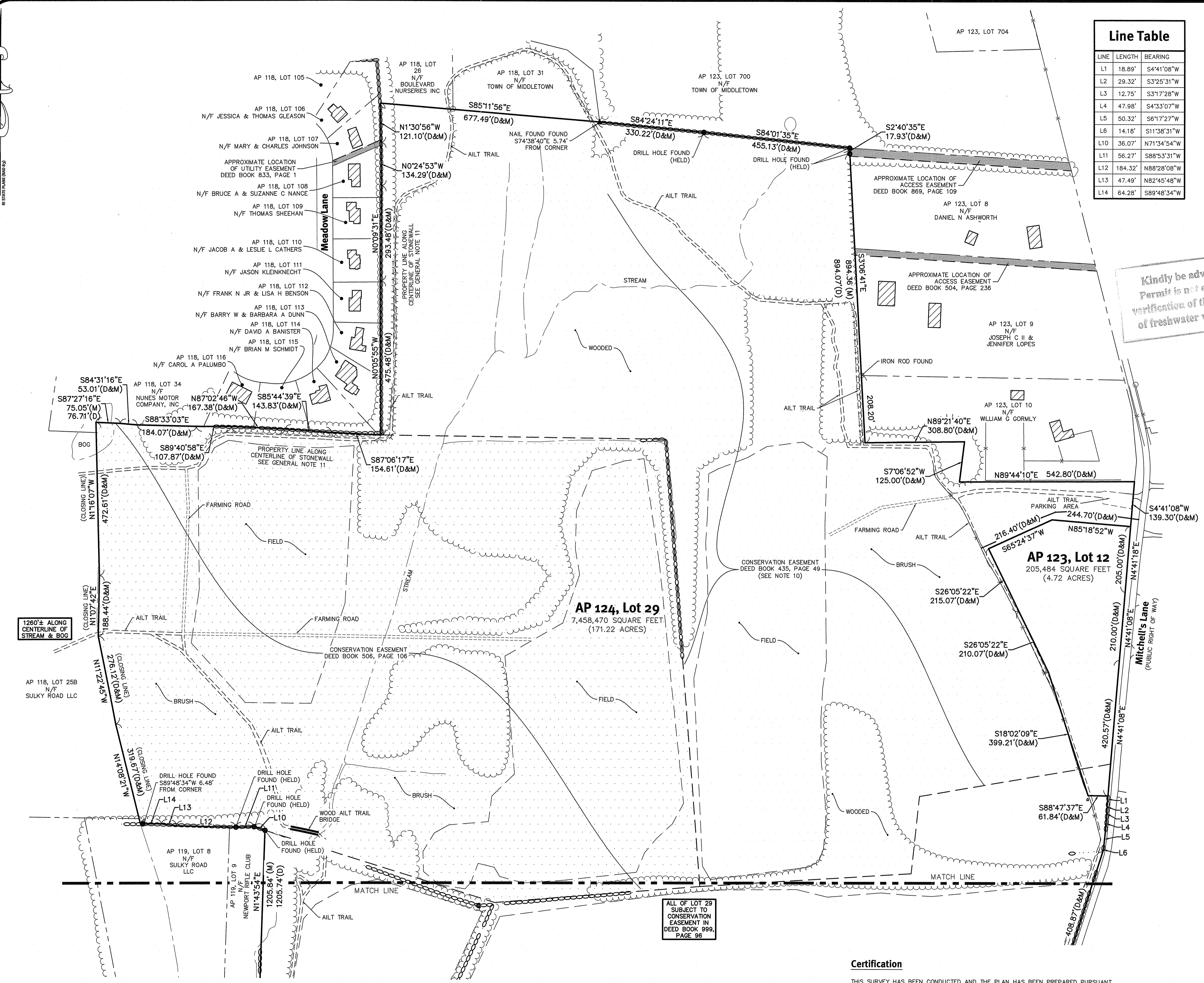
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NO.	DATE	DESCRIPTION	BY
1	11-02-2020	RDMA and DPR Revisions	CAD
2	11-02-2020	RDMA and DPR Revisions	CAD
3	11-02-2020	DPR Revisions	CAD
4	11-02-2020	RDMA Revisions	CAD
5	11-02-2020	RDMA Revisions	CAD
6	11-02-2020	RDMA Revisions	CAD
7	11-02-2020	RDMA Revisions	CAD
8	11-02-2020	RDMA Revisions	CAD
9	11-02-2020	RDMA Revisions	CAD
10	11-02-2020	RDMA Revisions	CAD
11	11-02-2020	RDMA Revisions	CAD
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13	11-02-2020	RDMA Revisions	CAD
14	11-02-2020	RDMA Revisions	CAD
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19	11-02-2020	RDMA Revisions	CAD
20	11-02-2020	RDMA Revisions	CAD

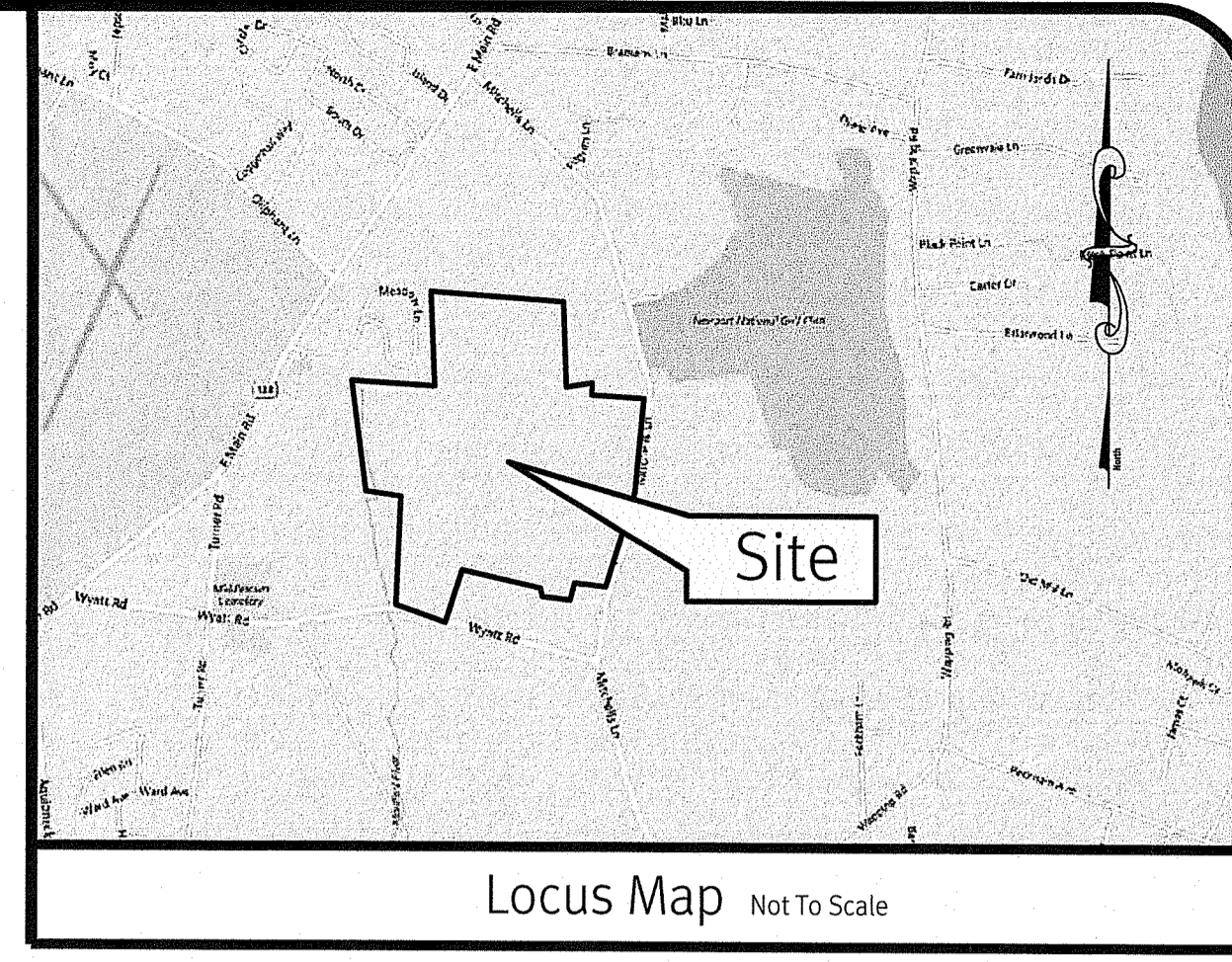
Detail Sheet-3
Newport National West Course
Assecc's Bl. 1.34, Lot 29
Middleton, Rhode Island
Newport National Real Estate, LLC
John Pereira c/o Combined Properties, Inc.
295 Canal Street #500, Malden, MA 02148
DE Job No: 2569-001. Copyright 2020 by DiPrete Engineering Associates, Inc.

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z:\main\projects\2569-001 Newport National West Course\attached drawings\2569-001-rsco.dwg Plotter: 6/4/2020



LINE	LENGTH	BEARING
L1	18.89'	S4°41'08"W
L2	29.32'	S3°25'31"W
L3	12.75'	S3°17'28"W
L4	47.98'	S4°33'07"W
L5	50.32'	S6°17'27"W
L6	14.18'	S11°38'31"W
L10	36.07'	N71°34'54"W
L11	56.27'	S88°53'31"W
L12	184.32'	N88°28'08"W
L13	47.49'	N82°45'48"W
L14	64.28'	S89°48'34"W



Kindly be advised that this Permit is not equivalent to verification of the type or extent of freshwater wetlands on site.

Legend	
▲/△	NAIL FOUND/SET
●/◎	DRILL HOLE FOUND/SET
■/◻	IRON ROD/PIPE FOUND/SET
▲	BOUND FOUND/SET
▲	SIGN
●	BOLLARD
◎	SOIL EVALUATION
◎	CATCH BASIN
◎	DOUBLE CATCH BASIN
◎	DRAINAGE MANHOLE
◎	FLARED END SECTION
◎	GUY POLE
◎	ELECTRIC MANHOLE/HANDHO
◎	UTILITY/POWER POLE
◎	LIGHTPOST
◎	SEWER/SEPTIC MANHOLE
◎	CLEANOUT
◎	HYDRANT
◎	IRRIGATION VALVE
◎	WATER VALVE
◎	WELL
◎	MONITORING WELL
◎	UNKNOWN MANHOLE
◎	GAS VALVE
◎	B-1 WETLAND FLAG
◎	BENCH MARK
◎	SHRUB
◎	TREE

- General Notes**
- THE PARCELS ARE FOUND ON ASSESSOR'S PLAT 123, LOT 12 AND ASSESSOR'S PLAT 124, LOT 5 AND 29 IN THE TOWN OF MIDDLETOWN, BRISTOL COUNTY, RHODE ISLAND.
 - THE OWNER PER DEED BOOK 1462, PAGE 104 IS MR4A-JV.
 - BASED ON GRAPHICAL PLOTTING ONLY, THE PARCELS ARE LOCATED IN ZONE X PER FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP 440050094H, DATED APRIL 5, 2010. THIS DESIGNATION MAY CHANGE BASED UPON REVIEW BY A FLOOD ZONE SPECIALIST OR BY THE RESULTS OF A COMPREHENSIVE FLOOD STUDY.
 - THE ASSESSOR'S PLAT 123, LOT 12 IS ZONED R-60 BASED ON THE TOWN OF MIDDLETOWN'S ZONING MAP. ANY OVERLAY DISTRICTS, SPECIAL PERMITS OR VARIANCES SPECIFIC TO THIS SITE ARE NOT TAKEN INTO CONSIDERATION. PLEASE CONTACT THE ZONING DEPARTMENT FOR ANY ADDITIONAL INFORMATION OR FOR A CERTIFICATE OF ZONING.
 - THE ASSESSOR'S PLAT 124, LOT 5 IS ZONED R-60 BASED ON THE TOWN OF MIDDLETOWN'S ZONING MAP. ANY OVERLAY DISTRICTS, SPECIAL PERMITS OR VARIANCES SPECIFIC TO THIS SITE ARE NOT TAKEN INTO CONSIDERATION. PLEASE CONTACT THE ZONING DEPARTMENT FOR ANY ADDITIONAL INFORMATION OR FOR A CERTIFICATE OF ZONING.
 - THE ASSESSOR'S PLAT 124, LOT 29 IS ZONED OS BASED ON THE TOWN OF MIDDLETOWN'S ZONING MAP. ANY OVERLAY DISTRICTS, SPECIAL PERMITS OR VARIANCES SPECIFIC TO THIS SITE ARE NOT TAKEN INTO CONSIDERATION. PLEASE CONTACT THE ZONING DEPARTMENT FOR ANY ADDITIONAL INFORMATION OR FOR A CERTIFICATE OF ZONING.
 - THERE WERE NO CEMETERIES, GRAVE SITES AND OR BURIAL GROUNDS OBSERVED WITHIN THE LIMITS OF THE SURVEY.
 - FIELD SURVEY PERFORMED BY DIPRETE ENGINEERING BETWEEN MARCH 10-18, 2020. THIS PLAN REFLECTS ON THE GROUND CONDITIONS AS OF THAT DATE.
 - THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT. DIPRETE ENGINEERING IS NOT RESPONSIBLE FOR ANY UNKNOWN OR UNRECORDED EASEMENTS, DEEDS OR CLAIMS THAT A TITLE REPORT WOULD DISCLOSE.
 - LOCATION OF CONSERVATION EASEMENT IN DEED BOOK 435, PAGE 49 SUPERSEDED BY LOCATION IN DEED BOOK 999, PAGE 96. ALL OF LOT 29 IS SUBJECT TO CONSERVATION EASEMENT AS LISTED IN DEED BOOK 999, PAGE 96.
 - 20 EASEMENT CALLED FOR IN DEED BOOK 457, PAGE 10 & CORRECTIVE DEED 464, PAGE 27 NOT LOCATED ON SUBJECT PROPERTY.
 - PROPERTY LINES IN THIS AREA RUNS ALONG CENTER OF STONEWALL. THE WRITTEN DESCRIPTION OF THE COURSES ALONG SAID STONEWALL DIFFERS BETWEEN THE SUBDIVISIONS OF THE SPACE ADJOINING LOTS. (SEE PLAN REFERENCES 1 AND 2). WHILE THESE DIFFERENT MATHEMATICAL DESCRIPTIONS OF THE COURSE BETWEEN THE SUBDIVISIONS CREATE GAP AND GORES IN THE GEOMETRY, THERE IS NO GAP OR GORES BETWEEN THE LOTS AS THE STONEWALL IS CONTINUOUS AND BOTH DESCRIPTIONS INTEND TO DESCRIBE THE SAME PHYSICAL MONUMENT.
 - A CLOSING LINE IS AN ARBITRARY SURVEY LINE USED FOR COMPUTATIONAL PURPOSES ONLY AND IS NOT TO BE MISINTERPRETED AS A PROPERTY LINE.

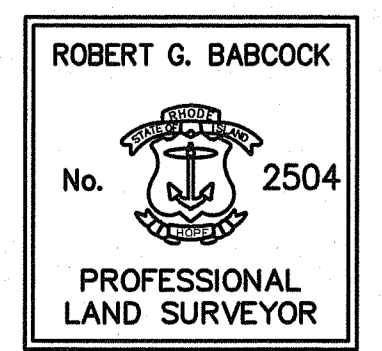
- Plan References:**
- ADMINISTRATIVE SUBDIVISION, AP 124, LOT 29; AP 118, LOT 132, MITCHELL'S LANE, EAST MAIN ROAD AND WYATT ROAD MIDDLETOWN, RI PLAN BY NORTHEAST ENGINEERS AND CONSULTANTS, INC. DATED JULY 25, 2006. PLAN 2006-27.
 - EAST MEADOW SUBDIVISION PLAN- SITE PLAN. PLAN BY BOARDMAN ASSOCIATES. DATED SEPTEMBER 1987, PLAN XX, PAGE 84-87.
 - SUBDIVISION PLAN, WYATT AND MITCHELL'S LANE, PLAN BY NARRAGANSETT ENGINEERING, INC. DATED MARCH 14, 1991, PLAT BOOK 13, PAGE 17.

Certification

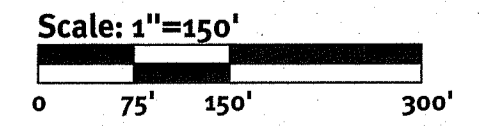
THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:

TYPE OF SURVEY: PERIMETER BOUNDARY SURVEY
MEASUREMENT SPECIFICATION: CLASS I

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS: PERIMETER RETRACEMENT PERFORMED BY DIPRETE ENGINEERING.



Signature of Robert G. Babcock, dated 6/4/20. Text: ROBERT G. BABCOCK, RIPLS #2504, COA #LS.000A160



DiPrete Engineering
Two Stafford Court, Cranston, RI 02920
tel: 401-943-1000, fax: 401-943-6006, www.diprete-eng.com

Boston · Providence · Newport

NOV 20 2020

NO.	DATE	BY	DESCRIPTION
1	4/22/20	MTI	Trails
2	4/22/20	MTI	Additional Easements
3	4/22/20	MTI	Boundary Survey
4	6/26/20	MTI	Date
5	6/26/20	MTI	Description

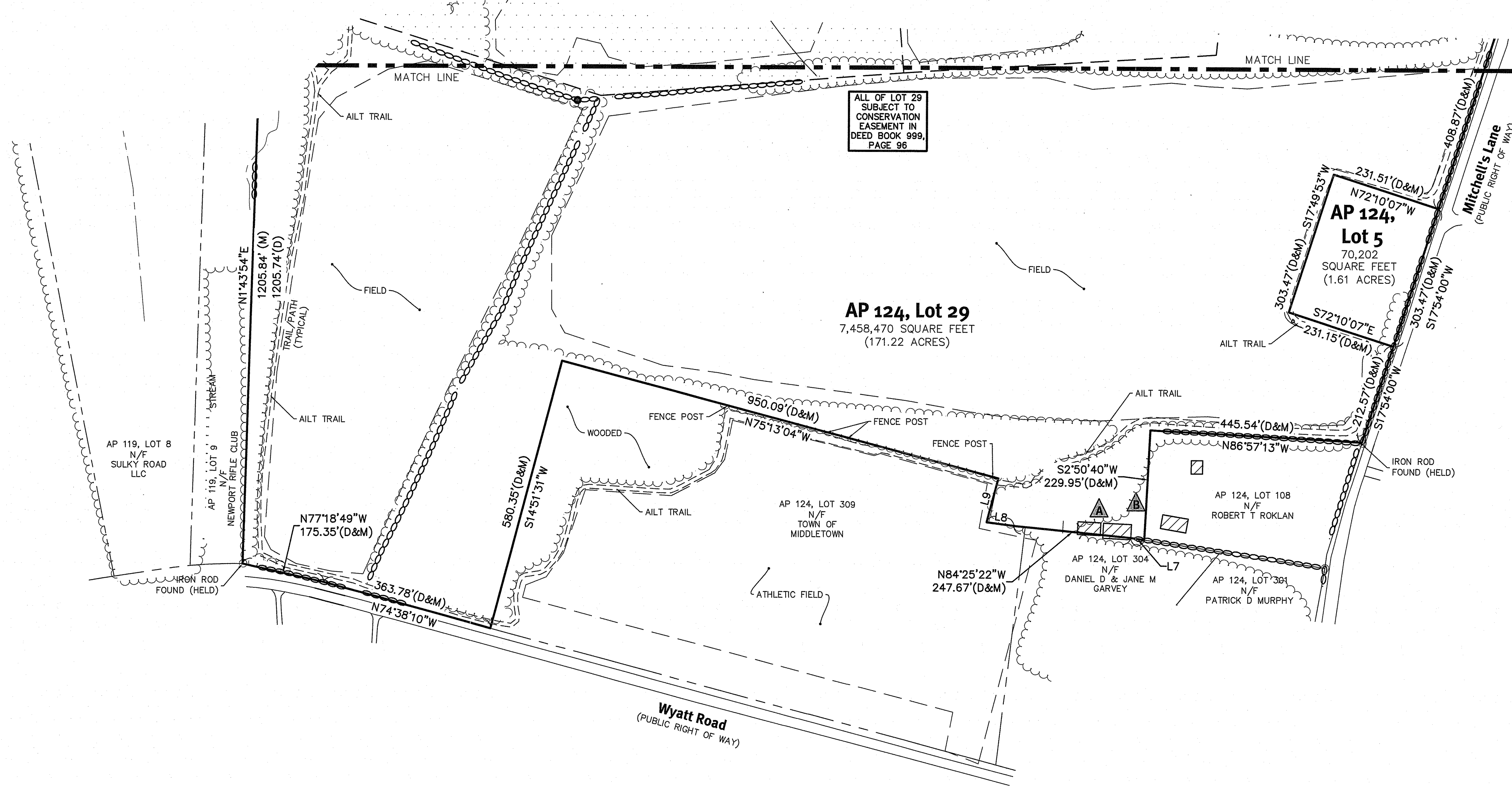
Drawn By: MTI

Boundary Survey
Newport National West Course
Middletown, Rhode Island

Client:
Combined Properties, Inc
295 Canal Street, #500
Malden, Massachusetts 02148
DE Proj. No.: 2569-001 Copyright 2020 by DiPrete Engineering Associates, Inc.

SHEET 13 OF 14

z:\main\projects\2569-001 newport national west course\autocad drawings\2569-001-ecvo.dwg Plotted: 6/4/2020



ALL OF LOT 29
SUBJECT TO
CONSERVATION
EASEMENT IN
DEED BOOK 999,
PAGE 96

Kindly be advised that this
Permit is not equivalent to a
verification of the type or extent
of freshwater wetlands on site.

Environmental Management
NOV 20 2020
Office of Water Resources

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED JAN 26, 2021 FILE # 20-0019
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE
Jonathan D. Wenzel

List of Possible Encroachments:

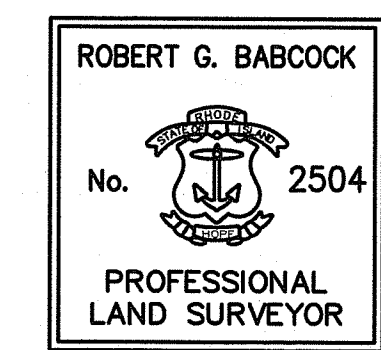
- ▲ BUILDINGS OVER PROPERTY LINE (UNKNOWN OWNERSHIP OF BUILDINGS)
- ▲ LAND IN USE BY LOT 108

Certification

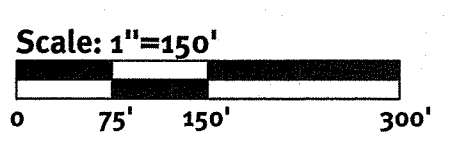
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MEASUREMENT SPECIFICATION: CLASS I

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS: PERIMETER RETRACEMENT PERFORMED BY DIPRETE ENGINEERING.



Robert G. Babcock
ROBERT G. BABCOCK, RIPLS #2504, COA #L.S.000A160



Boundary Survey
Newport National West Course
Middletown, Rhode Island

Client
Combined Properties, Inc
295 Canal Street, #500
Malden, Massachusetts 02148

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