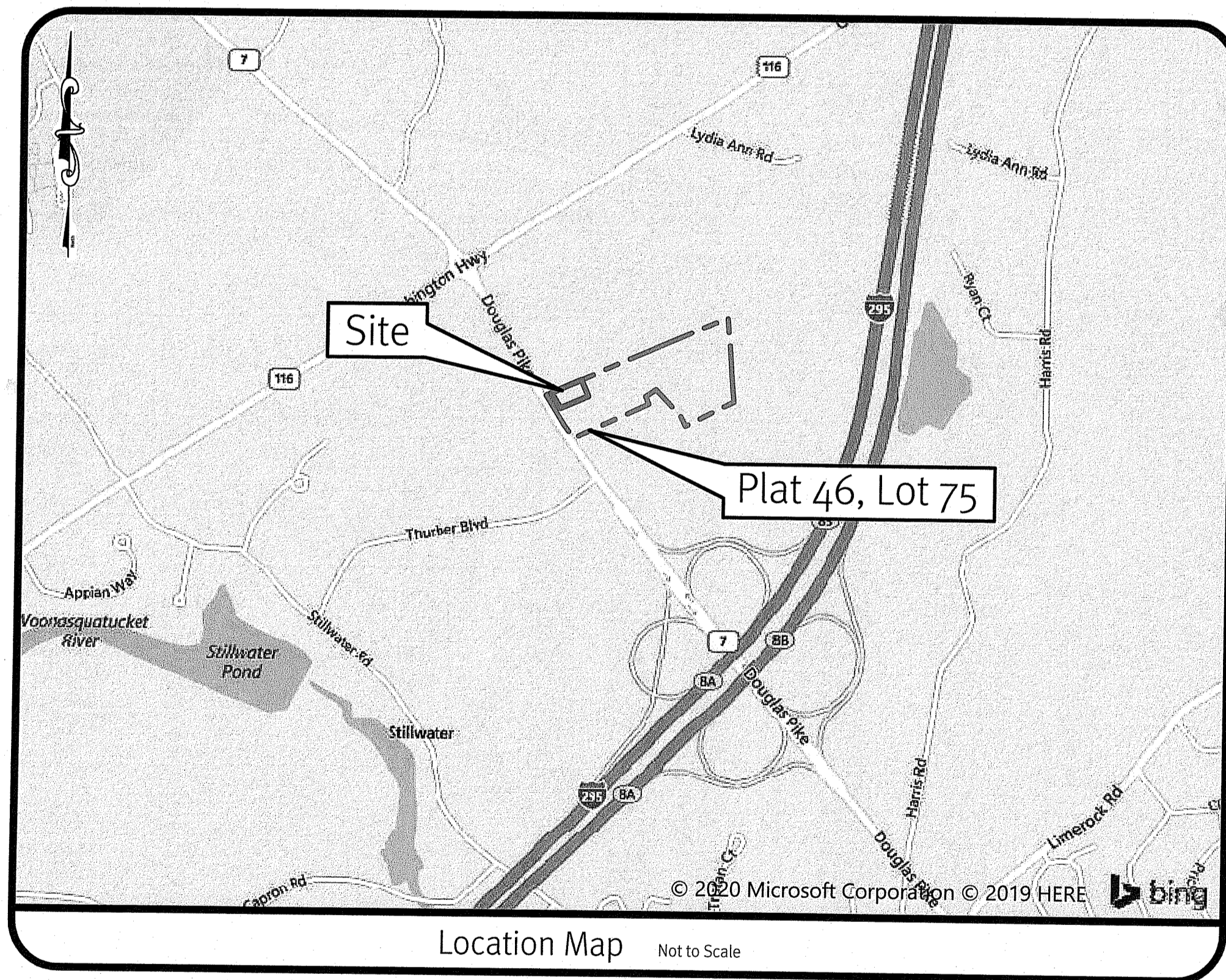


RIDEM Preliminary Determination Submission

Seasons Corner Market

945 Douglas Pike
Smithfield, Rhode Island

Assessor's Plat 46 Lot 75 Land Unit 3



Sheet Index

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DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED JUN 18 2020 FILE # 20-0021
NO CHANGES ALLOWED WITHOUT PERMIT AT RIVAL
APPROVED BY: *Nancy L. Freeman*

APR 27 2020

SESC / O&M
The Soil Erosion and Sediment Control Plan (SESC) and Stormwater Operation and Maintenance Plan (O&M) are required documents with this plan set and must be maintained by the contractor and owner on site.

RIDOT
The Proposed Improvements Will Not Increase the Rate of Stormwater Runoff Onto the State Highway. All Work Within the State Right of Way Must Conform to the RI Standard Specifications, Details, and Addendums.

DiPrete Engineering
Two Stafford Court Cranston, RI 02920
tel. 401-943-1000 fax 401-664-6006 www.diprete-eng.com

ERIC M. PRIVE
No. 8662
REGISTERED PROFESSIONAL ENGINEER
CIVIL

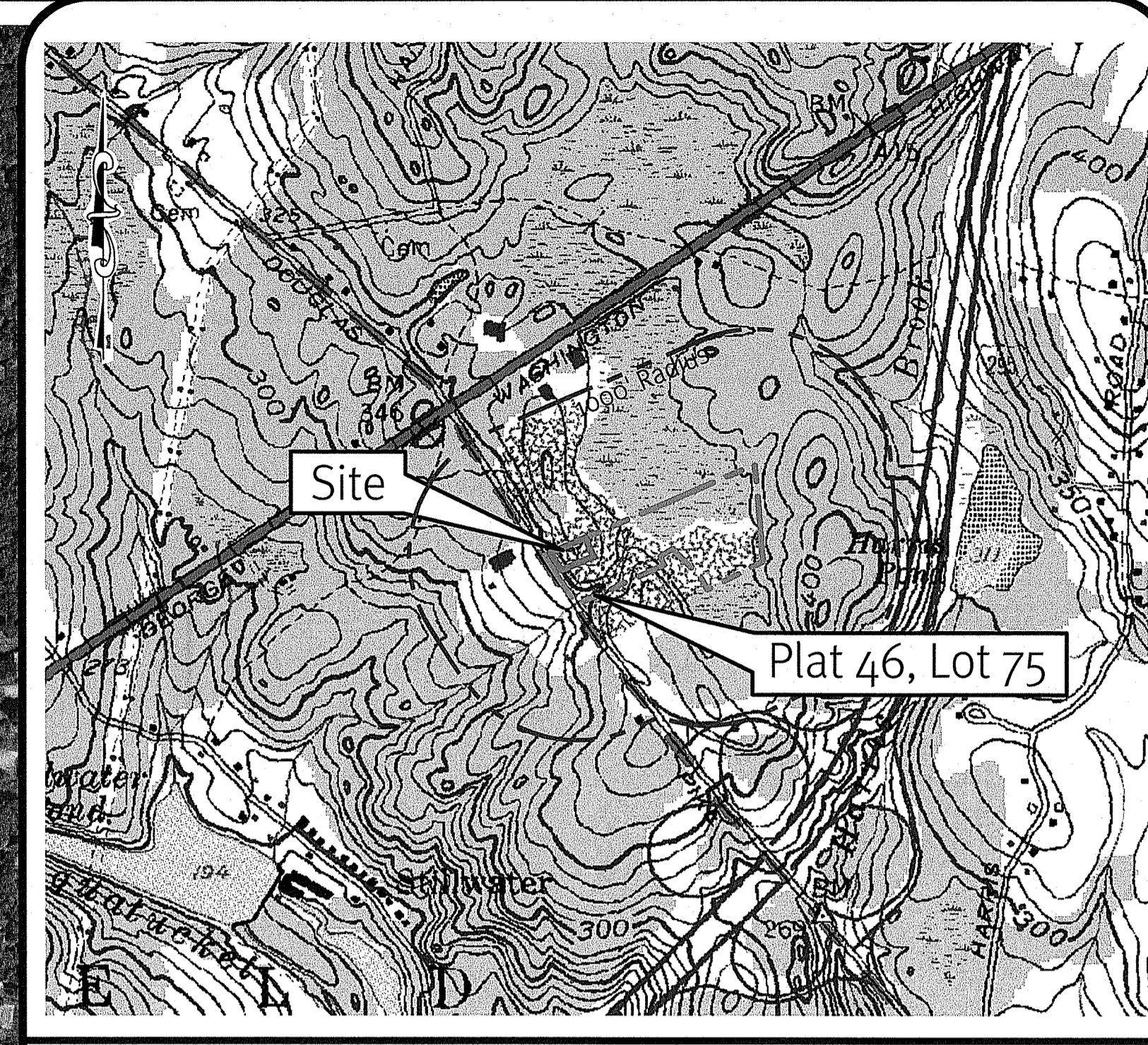
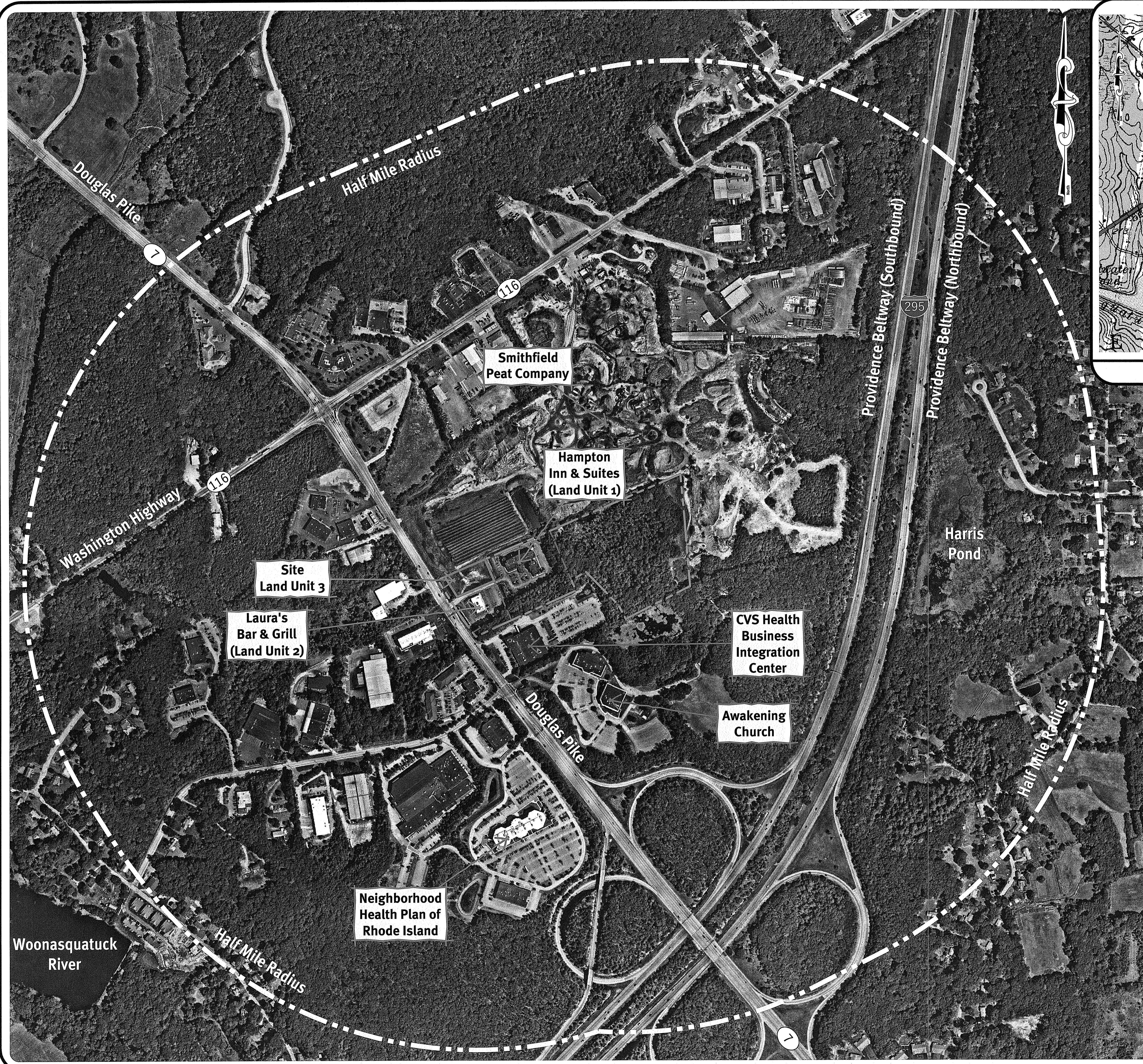
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NO.	DATE	DESCRIPTION	BY
2	4-16-2020	RIDEM Response to Comments	AS.M
1	2-24-2020	Building Use/Storm Set	AS.M
1	02-18-2020	Description	AS.M
			Design By: P.A.A.

Cover Sheet
Seasons Corner Market
Assessor's Plat 46 Lot 75 Land Unit 3
Prepared for
Colbea Enterprises, LLC
7 Starline Way, Cranston, Rhode Island 02921
tel. 401-943-0005 Fax 401-943-5309

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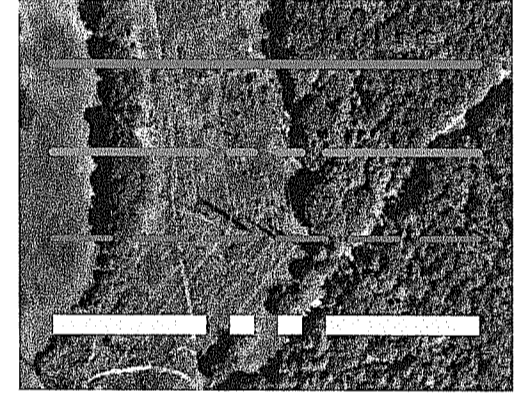
z:\main\projects\1873-003-001_douglas_pike_seasonal\autocad\drawings\1873-003-001-001.dwg Plotter: 4/24/2020



USGS Map Scale: 1"=1000'

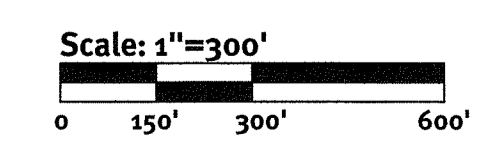
Legend:

- SITE PROPERTY LINE
- DEVELOPMENT PARCEL LINE
- INTERNAL "LAND UNIT"
- HALF MILE RADIUS



DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED JUN 18 2020 FILE # 20-0231
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE
Nancy T. Freeman

Orthophoto dated 08/09/2019 obtained from Nearmap



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This plan set must not be used for construction purposes without the approval of the registered Professional Engineer of Diprete Engineering.

Diprete Engineering only warrants plans on a project to the extent of the original Engineering of Diprete Engineering. Diprete Engineering does not warrant plans by any other party.

The contractor is responsible for all of the means, methods, safety precautions and requirements, and OSHA compliance in the implementation of this plan and design.

No.	Date	Description	By
1	4-16-2020	RD&M, Response to Comments	PAA
2	2-24-2020	Building Layout	PAA
3	03-20-20	Final Permit Set	PAA

Drawn By: A.S.M. Design By: PAA

Aerial & USGS Map
Seasons Corner Market
 Seasons Corner Market
 Smithfield, Rhode Island
 Prepared for
Colbea Enterprises, LLC
 7 Starline Way, Cranston, Rhode Island 02921
 Tel 401-943-0005 Fax 401-943-5599
 DE Job No: 1873-003-002 Copyright 2020 by Diprete Engineering Associates, Inc.

General Notes:

- 1. THE SITE IS LOCATED ON THE TOWN OF SMITHFIELD, RHODE ISLAND ASSESSOR'S PLAT 46 LOT 75 LAND UNIT 3.
2. THE SITE IS APPROXIMATELY 0.923+ ACRES AND IS ZONED HC.
3. THE OWNER OF PLAT 46 LOT 75 LAND UNIT 3 IS: COLBEA ENTERPRISES 2050 PLAINFIELD PIKE CRANSTON, RI 02921
4. THIS SITE IS LOCATED IN FEMA FLOOD ZONE X. REFERENCE FEMA FLOOD INSURANCE RATE MAP 4407C0167H, MAP REVISED OCTOBER 2, 2015. ZONE X (UNSHADED) - THIS SITE IS LOCATED IN FEMA FLOOD ZONE X. ZONE X ARE AREAS WHERE THERE IS MINIMAL FLOODING.
5. ALL WORK PERFORMED HEREIN IS TO BE GOVERNED BY CURRENT EDITIONS OF THE RHODE ISLAND STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION, TOWN OF SMITHFIELD STANDARD SPECIFICATIONS AND DETAILS AND SPECIFICATIONS INCLUDED AS PART OF THE DRAWINGS. IN AREAS OF CONFLICT BETWEEN THE DIFFERENT SPECIFICATIONS, THE DESIGN PLANS AND PROJECT SPECIFICATIONS WILL TAKE PRECEDENCE OVER THE GENERAL SPECIFICATIONS AND THE DESIGN ENGINEER WILL INTERPRET THE CONSTRUCTION REQUIREMENT. THE CONTRACTOR IS ADVISED TO SUBMIT A REQUEST FOR INFORMATION (RFI) FOR ANY AREAS OF CONFLICT BEFORE COMMITTING TO CONSTRUCTION.
6. THE SITE IS NOT WITHIN A: GROUNDWATER PROTECTION AREA (RIDEM) NATURAL HERITAGE AREAS (RIDEM) NARROW RIVER SPECIAL AREA MANAGEMENT PLAN (CRMC) SALT PONDS SPECIAL AREA MANAGEMENT PLAN (CRMC) GROUNDWATER PROTECTION OVERLAY DISTRICT (TOWN)
7. THE FOLLOWING DOCUMENTS ARE CONSIDERED PART OF THE PROJECT PLANS AND THE CONTRACTOR/ OWNER MUST MAINTAIN THESE DOCUMENTS AS PART OF A FULL PLAN SET:
- SOIL EROSION AND SEDIMENT CONTROL PLAN (SESC). THE SESC CONTAINS THE FOLLOWING:
o EROSION CONTROL MEASURES
o SHORT TERM MAINTENANCE
o ESTABLISHMENT OF VEGETATIVE COVER
o CONSTRUCTION POLLUTION PREVENTION
o SEQUENCE OF CONSTRUCTION
- STORMWATER OPERATION AND MAINTENANCE PLAN (O&M). THE O&M CONTAINS:
o LONG TERM MAINTENANCE
o LONG TERM POLLUTION PREVENTION
8. THIS PLAN SET REFERENCES RIDOT STANDARD DETAILS (DESIGNATED AS RIDOT STD X.X.X.). RIDOT STANDARD DETAILS ARE AVAILABLE FROM RIDOT AND ONLINE AT: HTTP://WWW.DOT.RI.GOV/BUSINESS/CONTRACTORSANDCONSULTANTS.PHP.
9. THE SITE IS TO BE SERVICED BY PUBLIC WATER AND PUBLIC SEWER.
10. THE DRAINAGE SYSTEM IS DESIGNED TO MEET THE TOWN OF SMITHFIELD SUBDIVISION AND LAND DEVELOPMENT REGULATIONS WITH THE USE OF CATCH BASINS, CULVERTS, AND UNDERGROUND TREATMENT SYSTEMS. THE STORMWATER MANAGEMENT SYSTEM MEETS THE RIDEM BEST MANAGEMENT PRACTICES.
11. BORINGS AND BORING LOGS, TEST PITS, SOIL EVALUATIONS, WERE COMPLETED BY ENVIRONMENTAL COMPLIANCE SERVICES, INC IN JANUARY 2014.
12. ANY PROPRIETARY PRODUCTS REFERENCED IN THIS PLAN SET ARE REPRESENTATIVE OF THE MINIMUM DESIGN REQUIREMENTS FOR THE PURPOSE IT PROPOSES TO SERVE. ALTERNATIVES TO ANY PROPRIETARY PRODUCT MAY BE SUBMITTED TO THE ENGINEER OF RECORD FOR CONSIDERATION, WHICH MUST BE ACCOMPANIED BY APPROPRIATE SPECIFICATION SHEETS/ DESIGN CALCULATIONS THAT DEMONSTRATE THE ALTERNATIVE(S) MEET THE MINIMUM DESIGN PARAMETERS OF THE PRODUCT SHOWN ON THE PLANS. NO ALTERNATIVES MAY BE USED WITHOUT THE WRITTEN APPROVAL OF THE ENGINEER OF RECORD.
13. THIS PLAN SET MAY REFERENCE AND/ OR INCLUDE REPRODUCTIONS OF PROPRIETARY PRODUCTS/ DETAILS BY OTHERS, AND/ OR THEIR ASSOCIATED SPECIFICATIONS. ANY REFERENCED OR REPRODUCED PROPRIETARY PRODUCT OR DETAIL BY OTHERS THAT IS SHOWN ON DIPRETE PLANS IS STRICTLY FOR INFORMATION/ SPECIFICATION PURPOSES ONLY. DIPRETE ENGINEERING DOES NOT WARRANT ANY PROPRIETARY PRODUCTS, DETAILS BY OTHERS OR THEIR RESPECTIVE DESIGNS. IF A DIPRETE ENGINEERING PLAN INCLUDES A PROPRIETARY PRODUCT/ DETAIL BY OTHERS (EITHER EXPLICITLY OR IMPLIED) AND IS STAMPED BY A REGISTERED PROFESSIONAL ENGINEER AND/OR REGISTERED LANDSCAPE ARCHITECT OF DIPRETE ENGINEERING, SEAL STAMP DOES NOT EXTEND TO ANY PORTION OF THE PROPRIETARY PRODUCT/ DETAIL BY OTHERS OR ITS DESIGN.

Soil Information:

(REFERENCE: SOIL MAPPING OBTAINED FROM RIGIS. SOIL GEOGRAPHIC DATA DEVELOPED BY THE RHODE ISLAND SOIL SURVEY PROGRAM IN PARTNERSHIP WITH THE NATIONAL COOPERATIVE SOIL SURVEY)

Table with 2 columns: SOIL NAME, DESCRIPTION. Row 1: UDOTHERENTS-URBAN LAND COMPLEX

Americans with Disabilities Act Notes:

- 1. ALL IMPROVEMENTS MUST COMPLY WITH THE "AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG)" BY THE DEPARTMENT OF JUSTICE (CURRENT EDITION).
2. MAXIMUM RUNNING SLOPE ALONG ALL ACCESSIBLE PATHS OF TRAVEL MUST BE 4.5% (0.045 FT/FT), AND MAXIMUM CROSS SLOPE ACROSS ALL ACCESSIBLE PATHS OF TRAVEL MUST BE 1.5% (0.015 FT/FT).
3. ADA PARKING SPACES AND LOADING AREAS: THE STEEPEST SLOPE OF THE SPACE, MEASURED IN ANY DIRECTION (INCLUDING DIAGONAL), MUST BE LESS THAN OR EQUAL TO 2% (0.02 FT/FT). DIPRETE ENGINEERING GENERALLY RECOMMENDS A MAXIMUM OF 1.4% (0.014 FT/FT) BE USED FOR BOTH RUNNING AND CROSS SLOPES IN ORDER TO COMPLY.
4. A MINIMUM 5'x5' LANDING MUST BE PROVIDED IN FRONT OF ALL PUBLICLY ACCESSIBLE BUILDING ENTRANCES/ EGRESSES. THE STEEPEST SLOPE OF THE LANDING, MEASURED IN ANY DIRECTION (INCLUDING DIAGONAL), MUST BE LESS THAN OR EQUAL TO 2% (0.02 FT/FT). DIPRETE ENGINEERING GENERALLY RECOMMENDS A MAXIMUM OF 1.4% (0.014 FT/FT) BE USED FOR BOTH RUNNING AND CROSS SLOPES IN ORDER TO COMPLY.
5. FOR EVERY 6 (OR FRACTION OF 6) ADA PARKING SPACES, AT LEAST ONE MUST BE A VAN PARKING SPACE. FOR EXAMPLE, IF 7 ADA PARKING SPACES ARE REQUIRED, A MINIMUM OF 2 MUST BE VAN SPACES.
6. NOTWITHSTANDING THE NOTES LISTED ABOVE, TOWN OR STATE-SPECIFIC STANDARDS MAY BE MORE STRINGENT AND OVERRULE. IT IS THE RESPONSIBILITY OF THE USER OF THIS PLAN SET TO MAINTAIN COMPLIANCE WITH THE CONTROLLING STANDARD.
7. NOTE THAT THE GRADING/ PLAN VIEWS AND DETAILS CONTAINED WITHIN THIS PLAN SET MAY NOT SHOW THE DETAIL NECESSARY TO CONSTRUCT WALKWAYS, RAMPS AND SPACES TO COMPLY WITH THE ABOVE REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE THE LEVEL OF CARE NECESSARY TO BE CERTAIN THAT THE CONSTRUCTED PRODUCT MEETS ADA/ CONTROLLING STANDARDS. IN THE EVENT OF ANY NON COMPLIANCE THE CONTRACTOR MUST NOTIFY THE DESIGNER BEFORE CONSTRUCTION FOR ADVICE IN FINDING A RESOLUTION.

Soil Erosion and Sedimentation Control Notes:

- 1. THE CONTRACTOR IS RESPONSIBLE FOR ALL SOIL EROSION AND SEDIMENT CONTROL ON SITE WHICH MUST BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE APPLICABLE REGULATIONS AND AUTHORITY HAVING JURISDICTION. THE CONTRACTOR IS TO NOTIFY THE DESIGN ENGINEER, THE DIRECTOR OF PUBLIC WORKS, THE TOWN ENGINEER, AND RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
2. ALL EROSION CONTROL INCLUDING (BUT NOT LIMITED TO) TEMPORARY SWALES, TEMPORARY SEDIMENT TRAPS, ETC. TO BE INSTALLED PER THE LATEST EDITION OF THE RHODE ISLAND SOIL EROSION AND SEDIMENTATION CONTROL (RISESC) HANDBOOK AND THE SOIL EROSION & SEDIMENTATION CONTROL PLAN(S). NOTE THE SOIL EROSION AND SEDIMENT CONTROL SHOWN ON THESE PLANS ARE THE MINIMUM QUANTITY/ TYPE OF EROSION CONTROL DEVICES AND MATERIALS DEEMED REQUIRED BY DIPRETE ENGINEERING TO MEET THE OBJECTIVES OF THE RISESC HANDBOOK, BUT IS CONSIDERED A GUIDE ONLY. ADDITIONAL MEASURES/ ALTERNATE CONFIGURATIONS MAY BE REQUIRED IN ORDER TO MEET THE RISESC HANDBOOK BASED ON FACTORS INCLUDING (BUT NOT LIMITED TO) SITE PARAMETERS, WEATHER, INSPECTIONS AND UNIQUE FEATURES. THE SESC WILL CONTINUE TO EVOLVE THROUGHOUT CONSTRUCTION/PHASES. PURSUANT TO NOTE 1 ABOVE, SESC REMAINS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL THE SITE IS FULLY STABILIZED AND/ OR SESC RESPONSIBILITIES ARE ASSUMED BY THE OWNER IN WRITING.
3. TEMPORARY SWALES ARE TO BE USED TO CONTROL RUNOFF DURING CONSTRUCTION OF THE PROPOSED DEVELOPMENT. TEMPORARY SWALES TO BE VEGETATED AFTER CONSTRUCTION. ADDITIONAL EROSION CONTROL DEVICES ARE TO BE INSTALLED, IF NECESSARY, TO PREVENT EROSION AND SUPPORT VEGETATION. AFTER CONSTRUCTION IS COMPLETE AND TRIBUTARY AREAS TO THE SWALES HAVE BEEN STABILIZED, THE TEMPORARY SWALES ARE TO BE CLEARED AND FINAL DESIGN TO BE PER THE DESIGN PLANS.
4. ONCE THE SEDIMENT TRAP IS NO LONGER REQUIRED AND ALL TRIBUTARY AREAS HAVE BEEN STABILIZED, THE TEMPORARY SEDIMENTATION TRAP TO BE CLEARED AND BROUGHT TO FINAL DESIGN GRADES.
5. INLET PROTECTION IS TO BE INSTALLED ON ALL CATCH BASINS ONCE CONSTRUCTED.
6. FOR SEQUENCE OF CONSTRUCTION, PROJECT PHASING AND CONSTRUCTION PHASING SEE SESC PLAN.
7. CONTRACTOR MAY MODIFY SEQUENCE OF CONSTRUCTION WITH APPROVAL FROM DESIGN ENGINEER AND OWNER.
8. IF CONCRETE TRUCKS ARE WASHED OUT ON SITE, ALL WASHOUT MUST BE COMPLETED IN THE DESIGNATED CONCRETE WASHOUT AREA.
9. ADDITIONAL EROSION CONTROL DEVICES ARE TO BE INSTALLED, IF NECESSARY, TO PREVENT EROSION AND SUPPORT VEGETATION. EROSION CONTROL MATS (ECM), HYDROSEED BONDED FIBRE MATRIX (BFM), EROSION CONTROL MULCH (ECM), OR FLEXIBLE GROWTH MEDIUM (FGM) MAY BE USED SO LONG AS THEY ARE SELECTED AS BEST SUITED TO THE IN SITU SOIL PARAMETERS AS ASSESSED BY THE GEOTECHNICAL ENGINEER.

Traffic Notes:

- 1. ALL TRAFFIC CONTROL MUST CONFORM TO THE FEDERAL HIGHWAY ADMINISTRATION (FHWA) MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) CURRENT EDITION.
2. DURING CONSTRUCTION, TRAFFIC CONES ARE TO BE USED FOR SEPARATION OF ACTIVE TRAFFIC FROM WORK ZONE PER MUTCD REQUIREMENTS.
3. DURING CONSTRUCTION FLAGGERS MUST BE EMPLOYED TO ENSURE SAFETY FOR INTERACTION OF CONSTRUCTION VEHICLES AND ACTIVE TRAFFIC.
4. ALL SIGNS, FLAGGERS, TRAFFIC CONTROL DEVICES, AND TEMPORARY TRAFFIC ZONE ACTIVITIES MUST MEET THE REQUIREMENTS OF THE MANUAL ON UNIFORM TRAFFIC (MUTCD) LATEST EDITION AND SUBSEQUENT ADDENDA.
5. TEMPORARY CONSTRUCTION SIGNS MUST BE MOUNTED ON RIDOT APPROVED SUPPORTS AND MUST BE REMOVED OR COVERED WHEN NOT APPLICABLE.

As-Built Notes:

ALL COMPONENTS OF THE DRAINAGE, SEWER, AND WATER SYSTEMS MUST BE ASBUILT PRIOR TO COVERING. ENGINEER TO BE NOTIFIED PRIOR TO COVERING TO SURVEY ASBUILT LOCATIONS. ENGINEER WILL NOT ACCEPT FIELD MEASUREMENTS FROM THE SITE CONTRACTOR.

RIDOT Notes:

- 1. ALL WORK TO BE DONE WITHIN THE STATE RIGHT OF WAY MUST CONFORM TO RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AMENDED MARCH 2019 WITH ALL REVISIONS AND ADDENDA. STANDARD DETAILS FOR THIS WORK ARE RHODE ISLAND STANDARD DETAILS DATED JUNE 21, 2019 WITH ALL REVISIONS.
2. ALL TRAFFIC CONTROL MUST CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION, INCLUDING ALL REVISIONS.
3. NO LANE OR SHOULDER CLOSURES MUST BE PERFORMED WITHIN THE STATE'S RIGHT OF WAY DURING PEAK TRAFFIC HOURS.
4. SEWER AND WATER CONNECTIONS WITHIN THE STATE RIGHT OF WAY WILL REQUIRE A SEPARATE RIDOT UTILITY PERMIT. CONTRACTOR TO OBTAIN BEFORE CONSTRUCTION.
5. THE DRAINAGE SYSTEM IS DESIGNED TO DECREASE BOTH STORMWATER RUNOFF RATE DISCHARGE, AND STORMWATER RUNOFF VOLUME TO THE STATE RIGHT OF WAY RUNOFF TO THE STATE RIGHT OF WAY FROM THE PROPOSED DEVELOPMENT.

Layout and Materials:

- 1. DIMENSIONS ARE FROM THE FACE OF CURB, FACE OF BUILDING, FACE OF WALL, AND CENTER LINE OF PAVEMENT MARKINGS, UNLESS OTHERWISE NOTED.
2. CURBING TO BE PRECAST CONCRETE OR AS LABELED ON THE PLANS.
3. SIDEWALK TO BE CONCRETE OR AS LABELED ON THE PLANS.
4. SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THEIR ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR MUST REFER TO THE DETAIL SHEET DIMENSIONS, MANUFACTURERS' LITERATURE, SHOP DRAWINGS AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.
5. SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND DETAILS CONTIGUOUS TO THE BUILDING, INCLUDING SIDEWALKS, RAMPS, BUILDING ENTRANCES, STAIRWAYS, UTILITY PENETRATIONS, CONCRETE DOOR PADS, COMPACTOR PAD, LOADING DOCKS, BOLLARDS, ETC.
6. PROPOSED BOUNDS AND ANY EXISTING PROPERTY LINE MONUMENTATION DISTURBED DURING CONSTRUCTION MUST BE SET OR RESET BY A PROFESSIONAL LICENSED SURVEYOR.
7. CONTRACTOR MUST NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS, AND DATA FILES THAT ARE OBTAINED FROM THE DESIGNERS. CONTRACTOR MUST VERIFY LOCATION OF PROJECT FEATURES IN ACCORDANCE WITH THE STAMPED PAPER COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.

Grading and Utility Notes:

- 1. CONSTRUCTION TO COMMENCE SPRING 2020 OR UPON RECEIPT OF ALL NECESSARY APPROVALS.
2. THE CONTRACTOR MUST COORDINATE WITH ALL OF THE APPROPRIATE UTILITY COMPANIES FOR AGREEMENTS TO SERVICE THE PROPOSED BUILDING. THIS MUST BE DONE PRIOR TO CONSTRUCTION. NO REPRESENTATIONS ARE MADE BY DIPRETE ENGINEERING THAT UTILITY SERVICE IS AVAILABLE.
3. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING FINISH GRADING AND DRAINAGE AROUND THE BUILDING TO ENSURE SURFACE WATER AND/OR GROUNDWATER ARE DIRECTED AWAY FROM THE STRUCTURE.
4. PRIOR TO START OF CONSTRUCTION, CONTRACTOR MUST VERIFY EXISTING PAVEMENT ELEVATIONS AT INTERFACE WITH PROPOSED PAVEMENTS, AND EXISTING GROUND ELEVATIONS ADJACENT TO DRAINAGE OUTLETS TO ASSURE PROPER TRANSITIONS BETWEEN EXISTING AND PROPOSED FACILITIES. CONTRACTOR MUST NOTIFY DESIGN ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
5. ALL PROPOSED UNDERGROUND UTILITIES SERVING THE SITE AND BUILDINGS TO BE COORDINATED WITH OWNER, ARCHITECT, AND ENGINEER PRIOR TO INSTALLATION.
6. ALL STEEP SLOPES ARE SUBJECT TO FINAL STRUCTURAL DESIGN. DIPRETE ENGINEERING IS NOT PROVIDING THE STRUCTURAL DESIGN OF THESE ITEMS. ALL STEEP SLOPES ARE TO BE DESIGNED AND BUILT UNDER THE DIRECTION OF A PROFESSIONAL GEOTECHNICAL ENGINEER AND CERTIFIED TO THE OWNER PRIOR TO THE COMPLETION OF THE PROJECT. SHOP DRAWINGS TO BE SUBMITTED PRIOR TO CONSTRUCTION. FINAL STRUCTURAL DESIGN MUST INCORPORATE THE INTENT OF THE GRADING SHOWN ON THESE PLANS AND ALL WORK MUST BE WITHIN THE LIMIT OF DISTURBANCE SHOWN ON THE PLANS.
7. ALL CUT AND FILL AREAS ARE TO BE DONE UNDER THE DIRECTION OF A PROFESSIONAL GEOTECHNICAL ENGINEER WITH TESTING AND CERTIFICATION TO BE PROVIDED TO THE APPLICANT AT THE COMPLETION OF THE PROJECT. DIPRETE ENGINEERING IS NOT PROVIDING THE FILL SPECIFICATION, GEOTECHNICAL ENGINEERING, STRUCTURAL ENGINEERING SERVICES, OR SUPERVISION AS PART OF THESE DRAWINGS.
8. NO STOCKPIILING OF MATERIAL TO BE LOCATED IN THE RIGHT OF WAY AND NO OPEN TRENCHES ARE TO BE LEFT OVERNIGHT.
9. ALL LOAM IN DISTURBED AREAS TO BE STOCKPILED FOR FUTURE USE.
10. ALL EXCESS SOIL, TREES, ROCKS, BOULDERS, AND OTHER REFUSE, MUST BE DISCARDED OFF SITE IN AN ACCEPTABLE MANNER AT AN APPROVED LOCATION. STUMPS MUST BE GROUND ON SITE OR REMOVED.
11. THE SITE WILL HAVE 6" CONCRETE CURBING, SITE GRADING/CONTOURS SHOWN ON THE PLANS DO NOT NECESSARILY REFLECT THE APPROPRIATE CURBING REVEAL. CONTRACTOR TO INSTALL CURBING WITH APPROPRIATE REVEAL UNLESS OTHERWISE NOTED.
12. NO STUMP DUMPS ARE PROPOSED ON SITE.

DRAINAGE

ALL DRAINAGE PIPING TO BE HIGH-DENSITY POLYETHYLENE (HDPE) WITH WATERTIGHT JOINTS WHERE INSTALLED WITHIN THE SEASONAL HIGH GROUNDWATER, UNLESS NOTED OTHERWISE ON THE PLANS OR IN THE SPECIFICATIONS. ALL STORMWATER PIPE WITHIN THE STATE'S RIGHT OF WAY TO BE REINFORCED CONCRETE PIPE (RCP) PIPE.

DRAINAGE STRUCTURES TO BE AS FOLLOWS (UNLESS OTHERWISE NOTED ON PLANS):

- CATCH BASINS ALONG CURBING TO BE RIDOT STD. 4.4.0, TYPE F FRAME, 4' DIAMETER WITH APRON STONE.
- CATCH BASINS NOT ALONG CURBING TO BE RIDOT STD 4.4.0, 4' DIAMETER
- CATCH BASINS TO HAVE 3' SUMPS WITHOUT WEEPHOLES.
- SINGLE FRAME CATCHBASIN GRATES TO BE RIDOT STD. 6.3.2
- DOUBLE FRAME CATCHBASIN GRATES TO BE RIDOT STD. 6.3.2
- HIGH CAPACITY CATCHBASIN GRATES TO BE RIDOT STD 6.3.4 AND INSTALLED ANYWHERE GRADES ARE 6% AND STEEPER
- MANHOLES TO BE RIDOT STD. 4.2.0, 4.2.1 OR 4.2.2 AS REQUIRED
- DRAINAGE MANHOLE COVERS TO BE RIDOT STD 6.2.1
- DROP INLETS TO BE RIDOT STD. 4.5.0, 4.5.1 OR 4.5.2.
- APRON STONE, WHERE REQUIRED, TO BE RIDOT STD 7.1.7 OR 7.1.8.
- HEADWALLS TO BE RIDOT STD 2.1.0.

ALL DRAINAGE STRUCTURES MUST BE WATERTIGHT.

DRAINAGE CONNECTIONS FROM ALL YARD DRAINS (YD), AREA DRAINS (AD), TRENCH DRAINS (TD), FRENCH DRAINS (FD), WALL DRAINS (WD), AND DOWNSPOUTS (DS) ARE SHOWN FOR SCHEMATIC PURPOSES ONLY. THE LEVEL OF DETAIL SHOWN DOES NOT INCLUDE ALL JOINTS THAT MAY BE REQUIRED FOR CONSTRUCTION. ALL FITTINGS & PIPE SLOPES TO THE MAIN TRUNK LINE TO BE FIELD FIT BY CONTRACTOR.

SANITARY SEWER

ALL SANITARY SEWER PIPING TO BE SDR 35 UNLESS NOTED OTHERWISE ON THE PLANS OR IN THE SPECIFICATIONS. ALL SEWER IMPROVEMENTS MUST COMPLY WITH THE SMITHFIELD SEWER AUTHORITY AND ANY APPLICABLE AUTHORITY HAVING JURISDICTION, INCLUDING (BUT NOT LIMITED TO) MATERIALS, DIMENSIONS AND ACCESS COVERS. CONTRACTOR MUST SUBMIT SHOP DRAWINGS FOR APPROVAL BY ENGINEER OF RECORD PRIOR TO CONSTRUCTION.

WATER

ALL WATER MAINS TO BE CONCRETE LINED DUCTILE IRON PIPE (CLDIP). ALL WATER MAIN IMPROVEMENTS MUST COMPLY WITH THE SMITHFIELD WATER SUPPLY BOARD REGULATIONS AND ANY APPLICABLE AUTHORITY HAVING JURISDICTION, INCLUDING (BUT NOT LIMITED TO) MATERIALS, DIMENSIONS AND ACCESS COVERS. CONTRACTOR TO PROVIDE SHOP DRAWINGS AND SUBMITTALS TO THE ENGINEER OF RECORD FOR APPROVAL FOR ALL WATER IMPROVEMENTS AND APPURTENANCES INCLUDING BUT NOT LIMITED TO PIPES, VALVES, FITTINGS, HEAT ENCLOSURES, AND BACKFLOWS. ALL COMPONENTS OF THE WATER SYSTEM TO BE ASBUILT PER TOWN OF SMITHFIELD REQUIREMENTS. ALL COMPONENTS OF THE WATER SYSTEM TO BE INSPECTED BY SMITHFIELD WATER SUPPLY BOARD. CONTRACTOR TO COORDINATE ALL IMPROVEMENTS WITH SMITHFIELD WATER SUPPLY BOARD TO ENSURE INSPECTOR IS ON SITE.

ELECTRIC/TELECOM/GAS

PROPOSED GAS, ELECTRIC, CABLE AND DATA UTILITIES ARE SHOWN SCHEMATICALLY AND ARE PROPOSED TO BE UNDERGROUND. OWNER & CONTRACTOR TO COORDINATE FINAL DESIGN WITH APPROPRIATE UTILITY COMPANIES. ALL WORK TO BE IN ACCORDANCE WITH EACH UTILITY COMPANY'S STANDARDS AND DETAILS AS WELL AS LOCAL AND FEDERAL REGULATIONS. THIS INCLUDES BUT IS NOT LIMITED TO, POLES, TRANSFORMERS, PULL BOXES, CONCRETE PADS, CONCRETE ENCASEMENTS AND CONDUITS. CONNECTION POINTS FOR ELECTRIC AND TELECOM UTILITIES, AT THE EXISTING INFRASTRUCTURE, ARE CURRENTLY SHOWN AS UNDERGROUND UTILITIES. THESE UTILITIES MAY BE UNDERGROUND OR OVERHEAD AND WILL BE COORDINATED WITH NATIONAL GRID PRIOR TO CONSTRUCTION.

SITE LIGHTING

SITE LIGHTING (TEMPORARY AND PERMANENT) MUST BE DIRECTED AWAY FROM AND SHIELDED FROM ENVIRONMENTALLY SENSITIVE AREAS AND ADJUTING LANDS. EXACT LOCATIONS OF LIGHT POLE TO BE COORDINATED WITH OTHER UTILITIES. FINAL LIGHTING AND CONDUIT LOCATIONS BY OTHERS.

Abbreviations Legend

Table with 2 columns: Abbreviation, Description. Includes ADA, AHJ, AP, BC, PR, BDS, BT, BIT, BIO, BOW, BW, CB, (C), (CA), CLDIP, CO, CONC, (D), DCB, DMH, DP, ELEV, EOP, ESC, EX, FES, FFE, GS, GW, GWT, HW, HC, HDPE, ID, INV, IP, LF, LOD, LP, (M), N/F, etc.

Demolition Notes:

- 1. CONTRACTOR TO OBTAIN ALL FEDERAL, STATE, AND MUNICIPAL APPROVALS PRIOR TO THE START OF CONSTRUCTION.
2. CONTRACTOR TO PERFORM DAILY SWEEPING AT CONSTRUCTION ENTRANCE DURING DEMOLITION AND CONSTRUCTION TO MINIMIZE SEDIMENTS ON EXTERNAL STREETS.
3. ANY EXISTING BUILDING(S) AND PROPERTY PROPOSED TO REMAIN WHICH ARE DAMAGED BY THE CONTRACTOR MUST BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
4. CONTRACTOR IS RESPONSIBLE FOR REMOVING AND LEGALLY DISPOSING (R&D) ALL MATERIALS INDICATED ON THE PLANS UNLESS SPECIFIED OTHERWISE HERE IN. R&D MATERIALS MUST INCLUDE BUT ARE NOT LIMITED TO PAVEMENT, GRAVEL, CATCH BASINS, MANHOLES, GRATES/FRAMES/COVERS, AND ANY EXCESS SOIL THAT IS NOT INCORPORATED INTO THE WORK.
5. IN ADDITION TO THOSE AREAS SPECIFICALLY DESIGNATED ON THE PLANS, ALL DISTURBED AREAS INCLUDING THE CONTRACTOR'S STOCKPILE AND STAGING AREAS WITHIN THE LIMIT OF WORK MUST BE RESTORED TO MATCH THE DESIGN PLANS.
6. CONTRACTOR MUST DOCUMENT LOCATION OF ALL SUBSURFACE UTILITIES REMAINING IN PLACE AFTER DEMOLITION (ACTIVE AND INACTIVE/ABANDONED). LOCATION MUST BE DOCUMENTED BY FIELD SURVEY OR SWING TIES. COPIES OF LOCATION DOCUMENTATION MUST BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF DEMOLITION AND PRIOR TO START OF NEW CONSTRUCTION. A MARKER MUST BE INSTALLED TO FINISH GROUND AT ALL INSTALLED CAPS/PLUGS. THE MARKER CAN BE A POST IN CONSTRUCTION AREAS OR PAINTED ON A PERMANENT SURFACE.

Site Callouts Legend

- (4W) 4" PAINTED WHITE MARKINGS
(6W) 6" WHITE EPOXY RESIN PAVEMENT MARKINGS
(12W) STOP LINE (REFERENCE MUTCD SECTION 3B.16)

Existing Legend

(AS SHOWN ON PROPOSED PLANS) NOT ALL ITEMS SHOWN WILL APPEAR ON PLANS

Table with 2 columns: Symbol, Description. Includes symbols for PROPERTY LINE, BUILDING, BRUSHLINE, TREELINE, FENCE, RETAINING WALL, STONE WALL, MINOR CONTOUR LINE, MAJOR CONTOUR LINE, WATER LINE, SEWER LINE, SEWER FORCE MAIN, GAS LINE, ELECTRIC LINE, OVERHEAD WIRES, DRAINAGE LINE, SOILS LINES, 50' PERIMETER WETLAND, 100' RIVERBANK WETLAND, 200' RIVERBANK WETLAND, FEMA BOUNDARY, STREAM, WETLAND LINE & FLAG, STATE HIGHWAY LINE, STATE FREEWAY LINE, etc.

Proposed Legend

NOT ALL ITEMS SHOWN WILL APPEAR ON PLANS

Table with 2 columns: Symbol, Description. Includes symbols for PROPERTY LINE, BUILDING SETBACKS, CHAINLINK FENCE, RETAINING WALL, MINOR CONTOUR LINE, MAJOR CONTOUR LINE, SPOT ELEVATION, EDGE OF PAVEMENT, BITUMINOUS BERM, CONCRETE CURB (RIDOT STD 7.1.0), CONCRETE CURB (MONOLITHIC), BUILDING FOOTPRINT, BUILDING OVERHANG, ASPHALT PAVEMENT, HEAVY DUTY ASPHALT PAVEMENT, HEAVY DUTY CONCRETE, CONCRETE, ASPHALT SIDEWALK, SAWCUT LINE, SIGN (RIDOT STD 24.6.2 AS APPLICABLE), SINGLE LIGHT, DOUBLE LIGHT, OVERHANGING LIGHT, ACCESSIBLE PARKING SPACE SYMBOLS, BUILDING INGRESS/EGRESS, DRAINAGE LINE, PERFORATED SUBDRAIN, SWALE, SEWER FORCE MAIN, GAS LINE, WATER LINE, HYDRANT ASSEMBLY, WATER SHUT OFF, WATER VALVE, THRUST BLOCK, SEWER LINE, OVERHEAD WIRE, ELECTRIC, TELEPHONE, CABLE LINE, LIMIT OF DISTURBANCE/ LIMIT OF CLEARING, SEDIMENTATION BARRIER, SPLIT FENCE (RIDOT STD 9.2.0), COMPOST SOCK OR APPROVED EQUAL, SLOPES STEEPER THAN 3:1 (2:1 OR 1:1 SLOPES), POND ACCESS, RIPRAP, SAND FILTER, BIO RETENTION, CATCH BASIN, DOUBLE CATCH BASIN, MANHOLE, FLARED END SECTION

Professional Engineer Seal for Eric M. Drive, No. 8662, Registered Professional Engineer Civil. Includes text: 'This plan set must not be used for construction purposes unless stamped "Issued for Construction" and stamped by a registered Professional Engineer of Diprete Engineering. Diprete Engineering only warrants plans as a Diprete Engineering title block stamped by registered Professional Engineer of Diprete Engineering, Diprete Engineering does not warrant plans by any other party. The contractor is responsible for all of the means, methods, safety, precautions and requirements, and OSHA compliance in the implementation of this plan and design.' Includes date: JUN 18 2020, FILE # 20-0031, and signature: Nancy L. Stemen.

Utility Note:

ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THESE PLANS WERE PROVIDED BY OTHERS AND ARE APPROXIMATE ONLY. LOCATIONS MUST BE DETERMINED IN THE FIELD BEFORE EXCAVATION, BLASTING, UTILITY INSTALLATION, BACKFILLING, GRADING, PAVEMENT RESTORATION, AND ALL OTHER SITE WORK. ALL UTILITY COMPANIES, PUBLIC AND PRIVATE, MUST BE CONTACTED INCLUDING THOSE IN CONTROL OF UTILITIES NOT SHOWN ON THESE DOCUMENTS. CONTACT DIG SAFE A MINIMUM OF 72 WORKING HOURS PRIOR TO ANY CONSTRUCTION AT 811. DIG SAFE IS RESPONSIBLE FOR CONTACTING MEMBER UTILITY COMPANIES. DIG SAFE MEMBER UTILITY COMPANIES ARE RESPONSIBLE TO MARK ONLY THE FACILITIES THAT THEY OWN OR MAINTAIN. NON DIG SAFE MEMBER COMPANIES ARE NOT NOTIFIED BY DIG SAFE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INVESTIGATE AND NOTIFY IF ANY PRIVATELY OWNED OR NON DIG SAFE MEMBER UTILITIES ARE IN THE AREA.

PER THE CODE OF FEDERAL REGULATIONS - TITLE 29, PART 1926 IT IS THE SITE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ACCURATE UNDERGROUND UTILITY LINE LOCATIONS FROM THE UTILITY COMPANIES, UTILITY OWNERS AND, OR VIA UNDERGROUND UTILITY LOCATION EQUIPMENT AS NEEDED TO ESTABLISH ACCURATE LOCATIONS PRIOR TO ANY EXCAVATION. THE USE OF PROFESSIONAL UTILITY LOCATING COMPANIES PRIOR TO ANY EXCAVATION IS RECOMMENDED.

DIPRETE ENGINEERING IS NOT A PROFESSIONAL UTILITY LOCATION COMPANY, AND IS NOT RESPONSIBLE FOR UNDERGROUND UTILITIES, DEPICTED OR NOT, EITHER IN SERVICE OR ABANDONED. ANY SIZES, LOCATIONS, EXISTENCE, OR LACK OF EXISTENCE OF UTILITIES SHOWN ON THESE PLANS SHOULD BE CONSIDERED APPROXIMATE UNTIL VERIFIED BY A PROFESSIONAL UTILITY LOCATION COMPANY. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED.

DiPrete Engineering logo and contact information: Two Stafford Court Cranston, RI 02920, tel 401-943-1000 fax 401-464-6006 www.diprete-eng.com. Boston Providence Newport.

Professional Engineer Seal for Eric M. Drive, No. 8662, Registered Professional Engineer Civil.

Professional Engineer Seal for Eric M. Drive, No. 8662, Registered Professional Engineer Civil. Includes text: 'This plan set must not be used for construction purposes unless stamped "Issued for Construction" and stamped by a registered Professional Engineer of Diprete Engineering. Diprete Engineering only warrants plans as a Diprete Engineering title block stamped by registered Professional Engineer of Diprete Engineering, Diprete Engineering does not warrant plans by any other party. The contractor is responsible for all of the means, methods, safety, precautions and requirements, and OSHA compliance in the implementation of this plan and design.'

Table with 2 columns: Description, Date. Includes entries for RISESC, RIDOT, and other standards.

General Notes & Legend Seasons Corner Market Colbea Enterprises, LLC. Includes contact information: Assessor's Plat 46 Lot 75 Land Unit 3, 7 Starline Way, Cranston Rhode Island 02921, tel 401-943-0005 fax 401-943-2309. Design By: P.A.A.

General Notes

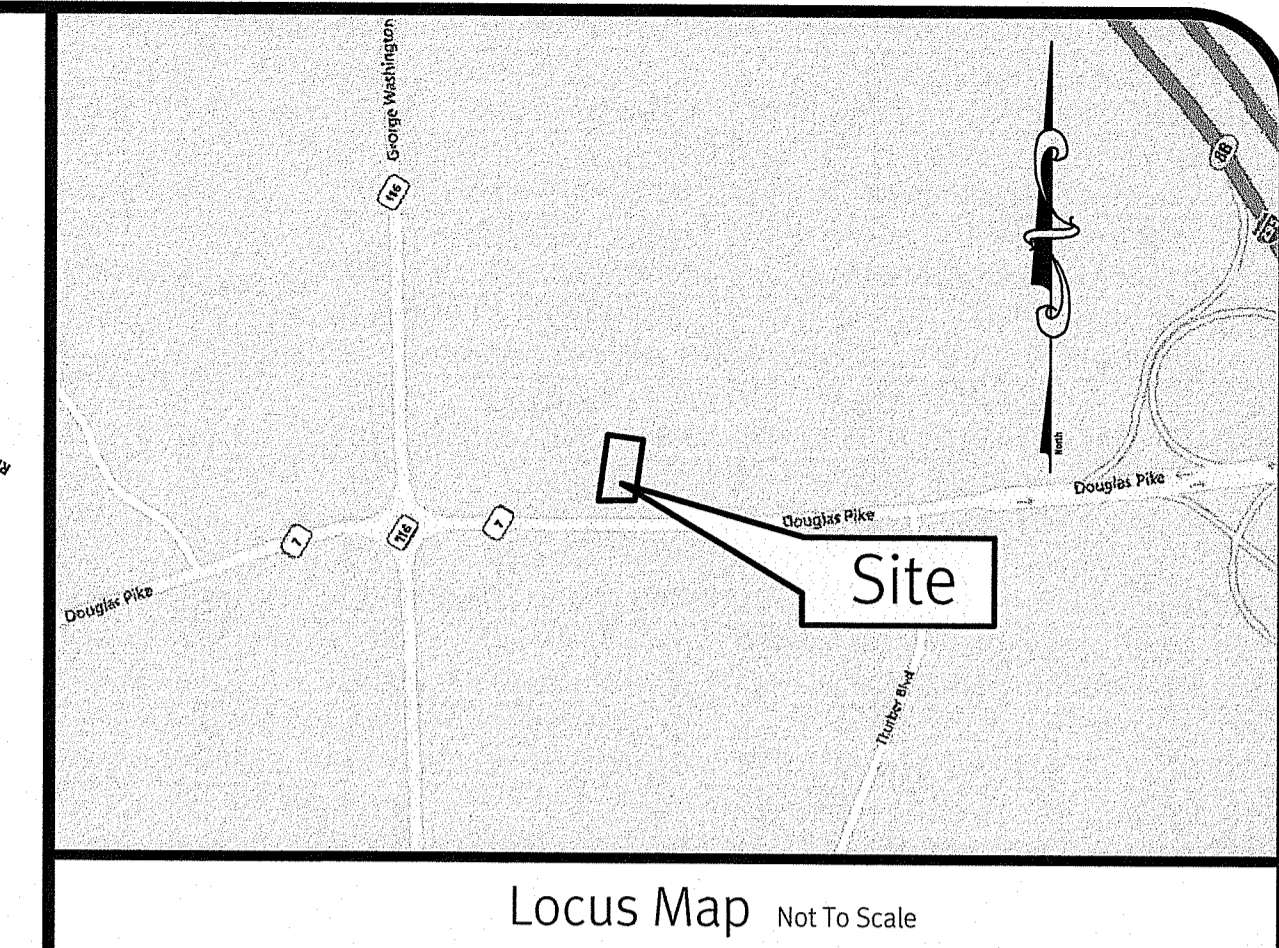
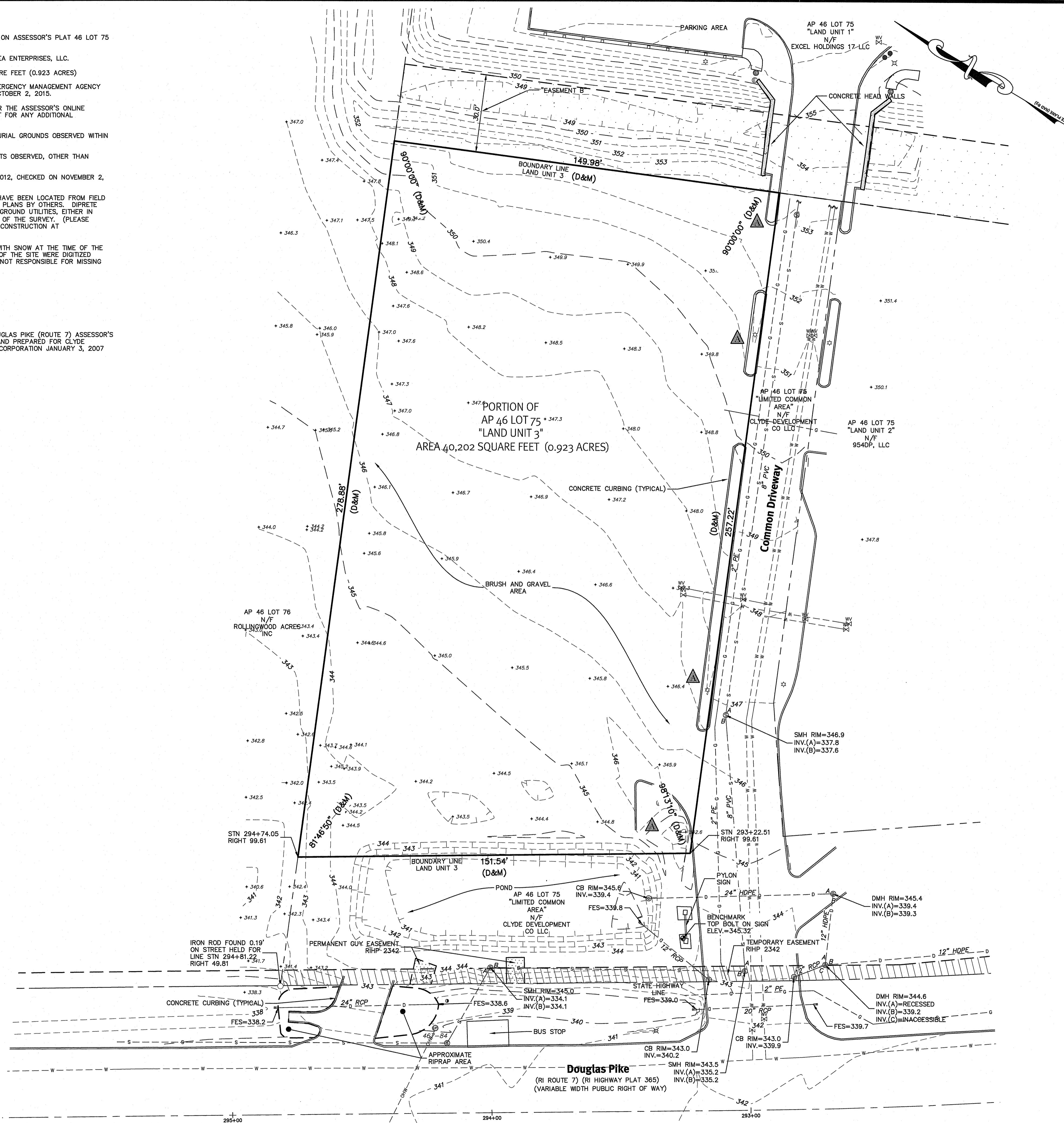
1. THE PARCEL IS LOCATED IN THE TOWN OF SMITHFIELD ON ASSESSOR'S PLAT 46 LOT 75 UNIT 3.
2. THE OWNER PER DEED BOOK 1246 PAGE 209 IS COLBEA ENTERPRISES, LLC.
3. THE SURVEYED AREA OF THE PARCEL IS 40,202 SQUARE FEET (0.923 ACRES)
4. THE PARCEL IS LOCATED IN ZONE X PER FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP 44007C0167H, DATED OCTOBER 2, 2015.
5. THE PARCEL IS ZONED HIGHWAY COMMERCIAL (HC) PER THE ASSESSOR'S ONLINE DATABASE. PLEASE CONTACT THE ZONING DEPARTMENT FOR ANY ADDITIONAL INFORMATION OR FOR A CERTIFICATE OF ZONING.
6. THERE WERE NO CEMETERIES, GRAVE SITES AND OR BURIAL GROUNDS OBSERVED WITHIN THE LIMITS OF THE SURVEY.
7. THERE WERE NO VISIBLE ABOVEGROUND ENCROACHMENTS OBSERVED, OTHER THAN SHOWN ON SURVEY.
8. FIELD SURVEY PERFORMED ON SEPTEMBER 24 & 25, 2012, CHECKED ON NOVEMBER 2, 2019.
9. ALL UNDERGROUND UTILITIES SHOWN ON THIS PLAN HAVE BEEN LOCATED FROM FIELD SURVEY OBSERVATIONS ONLY TOGETHER WITH EXISTING PLANS BY OTHERS. DIPRETE ENGINEERING IS NOT RESPONSIBLE FOR MISSING UNDERGROUND UTILITIES, EITHER IN SERVICE OR ABANDONED, NOT OBSERVED AT THE TIME OF THE SURVEY. (PLEASE CONTACT DISSAFE 72 WORKING HOURS PRIOR TO ANY CONSTRUCTION AT 1-800-344-7233).
10. SUBSTANTIAL PORTIONS OF THE SITE WERE COVERED WITH SNOW AT THE TIME OF THE FIELD SURVEY. DUE TO THIS SNOW COVER PORTIONS OF THE SITE WERE DIGITIZED FROM AERIAL PHOTOGRAPHS. DIPRETE ENGINEERING IS NOT RESPONSIBLE FOR MISSING OR INACCURATE INFORMATION DUE TO SNOW COVER.

Plan References:

1. RHODE ISLAND HIGHWAY PLAT 365
2. RHODE ISLAND HIGHWAY PLAT 2342
3. "ADMINISTRATIVE SUBDIVISION CLYDE CONDOMINIUM DOUGLAS PIKE (ROUTE 7) ASSESSOR'S PLAT 46, LOT 75 SITUATED IN SMITHFIELD, RHODE ISLAND PREPARED FOR CLYDE DEVELOPMENT CO., LLC PREPARED BY JOHN P. CAITO CORPORATION JANUARY 3, 2007 SCALE: 1"=60"

List of Possible Encroachments:

- ▲ CONCRETE CURBING/GRASS INLANDS OVER PROPERTY LINE



Legend

BUILDING	[Symbol]	▲/△	NAIL FOUND/SET
ASPHALT	[Symbol]	●/◎	DRILL HOLE FOUND/SET
AP	ASSESSOR'S PLAT	⊙/⊚	IRON ROD/PIPE FOUND/SET
N/F	NOW OR FORMERLY	■/□	BOUND FOUND/SET
(D)	DEED	⊕	SIGN
(M)	MEASURED	⊙ CB	BOLLARD
(C)	CALCULATED	⊙ DCB	SOIL EVALUATION
(CA)	CHORD ANGLE	⊙ DMH	CATCH BASIN
HC	HANDICAPPED	⊙ FES	DOUBLE CATCH BASIN
PROPERTY LINE	[Symbol]	⊙ GUY	DRAINAGE MANHOLE
ASSESSOR'S LINE	[Symbol]	⊙ EMH	FLARED END SECTION
TREELINE	[Symbol]	⊙ UP	ELECTRIC MANHOLE/HANDHOLE
GUARDRAIL	[Symbol]	⊙ L	UTILITY/POWER POLE
FENCE	[Symbol]	⊙ SMH	LIGHTPOST
RETAINING WALL	[Symbol]	⊙	SEWER/SEPTIC MANHOLE
STONE WALL	[Symbol]	⊙	SEWER VALVE
MINOR CONTOUR LINE	[Symbol]	⊙	CLEANOUT
MAJOR CONTOUR LINE	[Symbol]	⊙	HYDRANT
WATER LINE	[Symbol]	⊙	IRRIGATION VALVE
SEWER LINE	[Symbol]	⊙	WATER VALVE
SEWER FORCE MAIN	[Symbol]	⊙	WELL
GAS LINE	[Symbol]	⊙	MONITORING WELL
ELECTRIC LINE	[Symbol]	⊙	UNKNOWN MANHOLE
OVERHEAD WIRES	[Symbol]	⊙	GAS VALVE
DRAINAGE LINE	[Symbol]	⊙	WETLAND FLAG
		⊙	BENCH MARK
		⊙	BUSH
		⊙	TREE

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
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 DATED JUN 18 2020 FILE # 20-002
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

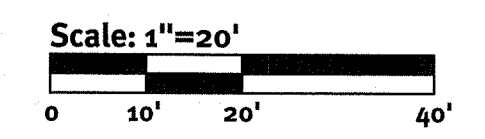
***Zoning Note**
 General note is based on information from the Town of Smithfield's assessor's database and their zoning ordinance only. Any special permits or variances specific to this site are not taken into consideration. Please contact the town of Smithfield's Zoning Department for any additional information or for a certificate of zoning.

This Plan Should Be Indexed By The Following Streets:
 • Douglas Pike

Certification
 THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:
 TYPE OF SURVEY: COMPREHENSIVE BOUNDARY SURVEY
 MEASUREMENT SPECIFICATION: CLASS 1
 DATA ACCUMULATION SURVEY (LIMITED) CLASS T-2
 THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS:
 PERIMETER RETRACEMENT PERFORMED BY DIPRETE ENGINEERING FOR THE PURPOSE OF SITE ENGINEERING AND PERMITTING.

ROBERT G. BABCOCK
 No. 2504
 PROFESSIONAL LAND SURVEYOR

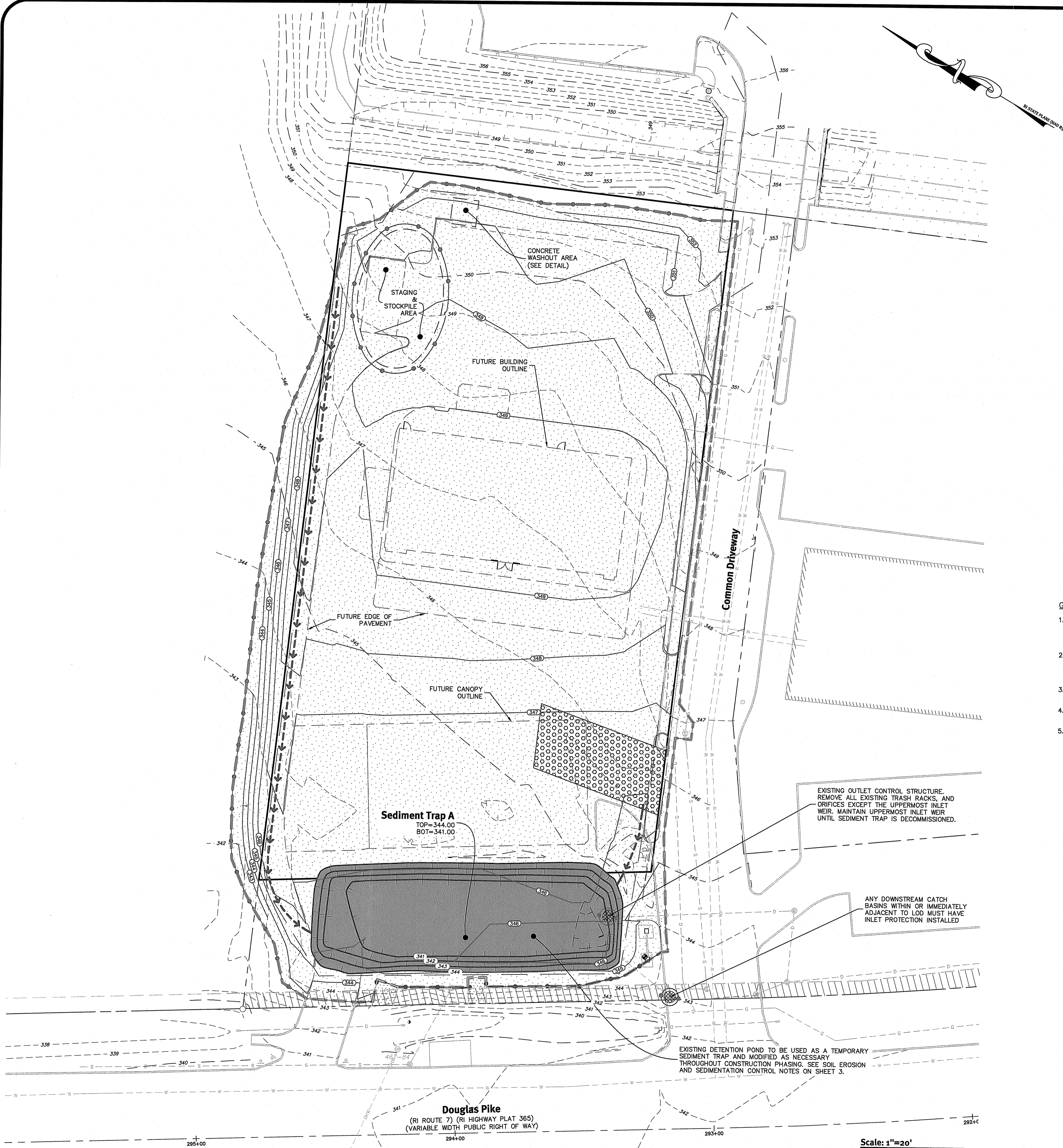
ROBERT G. BABCOCK, RIPLS #2504, COA #S.000A160
 12/16/19



Existing Conditions Survey
 Seasons Corner Market
 Client: Colbea Enterprises, LLC
 Assessor's Plat 46 Lot 75-903
 Smithfield, Rhode Island
 7 Starline Way, Cranston, RI 02921
 Tel: (401) 943-2009 Fax: (401) 943-2509
 DE Job No: 1872-009-001 Copyright 2012 by Diprete Engineering Associates, Inc.

Diprete Engineering
 Two Stafford Court Cranston, RI 02920
 Tel: (401) 943-1000 Fax: (401) 464-6006 www.Diprete-Eng.com
 Engineers • Planners • Surveyors

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Soil Erosion Control Legend:

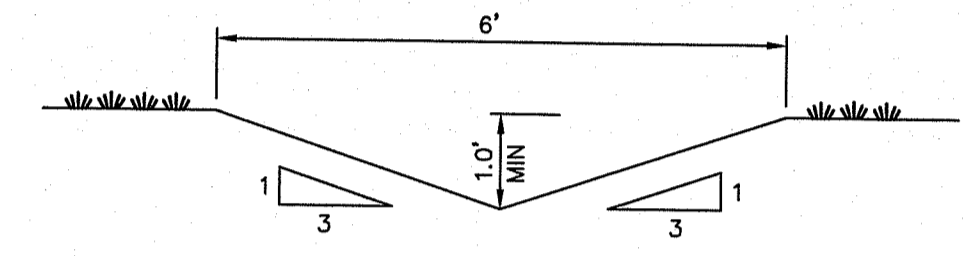
- DIVERSION RUNOFF CONVEYANCE MEASURE (SWALE AND/OR BERM)
- TEMPORARY SEDIMENT TRAP
- EROSION CONTROL (COMPOST SOCK, SILT FENCE (RI STD 9.2.0) OR APPROVED EQUAL)
- LIMIT OF DISTURBANCE (WITH EROSION CONTROL)
- LIMIT OF DISTURBANCE (WITH CLASS C SILT FENCE)
- LIMIT OF DISTURBANCE (NO EROSION CONTROL)
- TRIBUTARY AREA TO SESC BMP
- CONSTRUCTION ENTRANCE (RIDOT STD 9.9.0)
- FINAL CONTOUR GRADE
- INLET SEDIMENT CONTROL

Soil Erosion Control Implementation Phasing

- Phase IA - INSTALL EROSION CONTROL SILT FENCE & STONE CONSTRUCTION ENTRANCE.
- Phase IB - INSTALL TEMPORARY SEDIMENTATION TRAP.
- Phase IC - CONSTRUCT PROPOSED TEMPORARY DIVERSION CHANNEL.
- Phase IIA - CLEAR AND GRUB IMPERVIOUS AREAS. CONSTRUCT PROPOSED BUILDING & INSTALL UTILITIES WITH ROADWAYS. INSTALL DRAINAGE NETWORK WORKING FROM THE DOWN GRADIENT BASINS UP TO THE START OF NETWORK. INSTALL ASPHALT PAVING.
- Phase IIB - STABILIZE ALL DISTURBED AREAS, DE-CONSTRUCT DIVERSIONS AND TEMPORARY SEDIMENTATION TRAPS.

Note - SOIL EROSION CONTROL IMPLEMENTATION PHASING SHOULD NOT BE MISCONSTRUED WITH CONSTRUCTION PHASING/ SEQUENCING. ALL MEASURES DEPICTED ON THIS PLAN ARE TO BE INSTALLED WITH THE FIRST PHASE OF CONSTRUCTION.

SEDIMENT TRAP DIMENSIONS*	TRAP A
TRIBUTARY DRAINAGE AREA	1,088 ac
WET STORAGE DEPTH (Dw)	1.00 ft
DRY STORAGE DEPTH (Dd)	2.00 ft
TOTAL DEPTH (D)	3.00 ft
BOTTOM OF TRAP AREA (Ab)	2,766 sq.ft
WETTED SURFACE AREA (Aw)	3,558 sq.ft
SURFACE AREA AT OUTLET (Aa)	4,877 sq.ft



Temporary Diversion Channel
NOT TO SCALE

GENERAL NOTES:

1. THE TEMPORARY SEDIMENT TRAP SHALL MEET ALL REQUIREMENTS FOR TEMPORARY SEDIMENT TRAPS OUTLINED IN THE RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK (LATEST REVISION) SECTION SIX: SEDIMENT CONTROL MEASURES
2. THE TEMPORARY SEDIMENT TRAP MUST PROVIDE A STORAGE VOLUME FOR ONE INCH OF RUNOFF FROM THE CONTRIBUTING AREA. HALF OF THE STORAGE MUST BE PROVIDED IN THE FORM OF WET STORAGE. SEE DETAIL BELOW SECTION 6 OF THE RISESCH.
3. ALL CUT AND FILL SLOPES MUST BE 2:1 OR FLATTER EXCEPT FOR THE EXCAVATED WET STORAGE AREA WHERE SLOPES MUST NOT EXCEED 1.5:1.
4. THE OUTLET MUST BE LOCATED AT THE MOST DISTANT HYDRAULIC POINT FROM THE INLET.
5. THE OUTLET CONSISTS OF AN EXISTING OUTLET CONTROL MANHOLE. ALL ORIFICES AND OPENINGS MUST BE BLOCKED/DECOMMISSIONED EXCEPT THE UPPERMOST OUTFLOW WEIR CLOSEST TO THE RIM

INSPECTION, MAINTENANCE, AND REMOVAL REQUIREMENTS:

1. INSTALL "SEDIMENT STORAGE" STAKE WITH A MARKER AT ONE HALF OF THE WET STORAGE VOLUME.
2. INSPECT THE TEMPORARY SEDIMENT TRAP AT LEAST ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A STORM WITH A RAINFALL AMOUNT OF 0.25 INCH OR GREATER.
3. CHECK THE OUTLET TO ENSURE THAT IT IS STRUCTURALLY SOUND AND HAS NOT BEEN DAMAGED BY EROSION OR CONSTRUCTION EQUIPMENT.
4. CHECK FOR SEDIMENT ACCUMULATION AND FILTRATION PERFORMANCE.
5. WHEN SEDIMENTS HAVE ACCUMULATED TO ONE HALF THE MINIMUM REQUIRED VOLUME OF THE WET STORAGE, DEWATER THE TRAP AS NEEDED, REMOVE SEDIMENTS AND RESTORE THE TRAP TO ITS ORIGINAL DIMENSIONS.
6. DISPOSE OF THE SEDIMENT REMOVED FROM THE BASIN IN A SUITABLE AREA AS DESIGNATED BY THE GEOTECHNICAL ENGINEER.
7. THE TEMPORARY SEDIMENT TRAP MAY BE REMOVED AFTER THE CONTRIBUTING DRAINAGE AREA IS STABILIZED.

EXISTING OUTLET CONTROL STRUCTURE. REMOVE ALL EXISTING TRASH RACKS, AND ORIFICES EXCEPT THE UPPERMOST INLET WEIR. MAINTAIN UPPERMOST INLET WEIR UNTIL SEDIMENT TRAP IS DECOMMISSIONED.

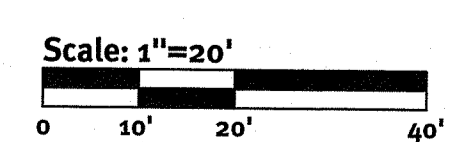
ANY DOWNSTREAM CATCH BASINS WITHIN OR IMMEDIATELY ADJACENT TO LOD MUST HAVE INLET PROTECTION INSTALLED

EXISTING DETENTION POND TO BE USED AS A TEMPORARY SEDIMENT TRAP AND MODIFIED AS NECESSARY THROUGHOUT CONSTRUCTION PHASING. SEE SOIL EROSION AND SEDIMENTATION CONTROL NOTES ON SHEET 3.

Sediment Trap A
TOP=344.00
BOT=341.00

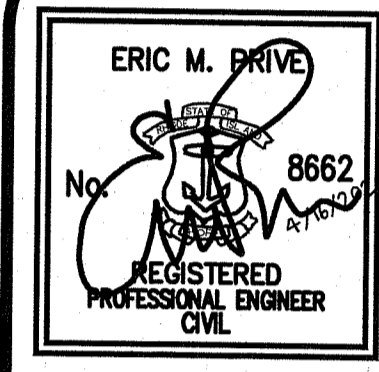
Douglas Pike
(RI ROUTE 7) (RI HIGHWAY PLAT 365)
(VARIABLE WIDTH PUBLIC RIGHT OF WAY)

Common Driveway



Note: This Plan Must Be Reproduced In Color

Diprete Engineering
Two Stafford Court, Cranston, RI 02920
tel 401-943-1000 fax 401-664-6006 www.diprete-eng.com



This plan was prepared for the purposes of the project and is not to be used for any other purposes unless stamped issued for Construction purposes by a registered Professional Engineer of Diprete Engineering.

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The contractor is responsible for all of the means, methods, safety precautions and requirements, and OSHA conformance in the implementation of this plan and design.

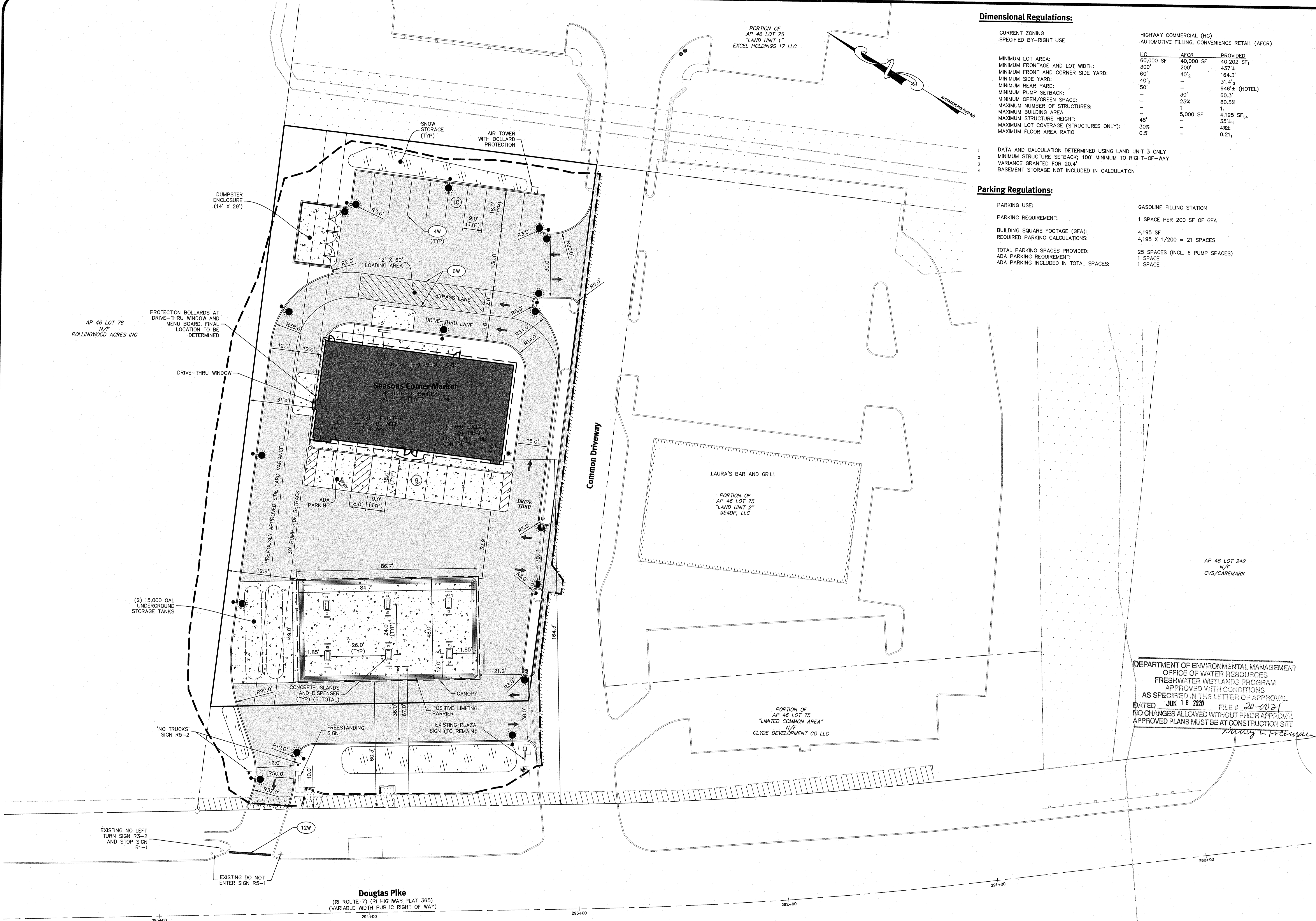
No.	Date	Description	By: A.S.M.	Design By: P.A.A.
1	04-26-2020	RDIM Response to Comments		
2	05-15-2020	Special Use Permit Set		

Drawn By: A.S.M.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED JUN 18 2020 FILE # 20-002
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE
Nancy C. Freeman

Soil Erosion & Sediment Control Plan
Seasons Corner Market
Assessor's Plat 46 Lot 75 Unit 3
Smythfield, Rhode Island
Colbea Enterprises, LLC
7 Staffin Way, Cranston Rhode Island 02921
tel 401-943-0005 fax 401-943-5309
DE Job No: 1873-003-802 Copyright 2020 by Diprete Engineering, Associates, Inc.

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Dimensional Regulations:

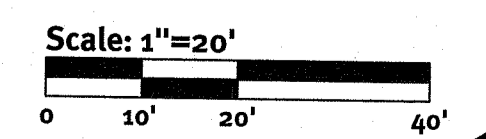
CURRENT ZONING SPECIFIED BY-RIGHT USE	HIGHWAY COMMERCIAL (HC)	AUTOMOTIVE FILLING, CONVENIENCE RETAIL (AFCR)
MINIMUM LOT AREA:	60,000 SF	40,000 SF
MINIMUM FRONTAGE AND LOT WIDTH:	300'	200'
MINIMUM FRONT AND CORNER SIDE YARD:	60'	40'
MINIMUM SIDE YARD:	40'	30'
MINIMUM REAR YARD:	50'	30'
MINIMUM PUMP SETBACK:	-	30'
MINIMUM OPEN/GREEN SPACE:	-	25%
MAXIMUM NUMBER OF STRUCTURES:	-	1
MAXIMUM BUILDING AREA:	-	5,000 SF
MAXIMUM STRUCTURE HEIGHT:	48'	35'±
MAXIMUM LOT COVERAGE (STRUCTURES ONLY):	30%	4%
MAXIMUM FLOOR AREA RATIO:	0.5	0.21

1. DATA AND CALCULATION DETERMINED USING LAND UNIT 3 ONLY
2. MINIMUM STRUCTURE SETBACK: 100' MINIMUM TO RIGHT-OF-WAY
3. VARIANCE GRANTED FOR 20.4'
4. BASEMENT STORAGE NOT INCLUDED IN CALCULATION

Parking Regulations:

PARKING USE:	GASOLINE FILLING STATION
PARKING REQUIREMENT:	1 SPACE PER 200 SF OF GFA
BUILDING SQUARE FOOTAGE (GFA):	4,195 SF
REQUIRED PARKING CALCULATIONS:	4,195 X 1/200 = 21 SPACES
TOTAL PARKING SPACES PROVIDED:	25 SPACES (INCL. 6 PUMP SPACES)
ADA PARKING REQUIREMENT:	1 SPACE
ADA PARKING INCLUDED IN TOTAL SPACES:	1 SPACE

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
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 APPROVED PLANS MUST BE AT CONSTRUCTION SITE



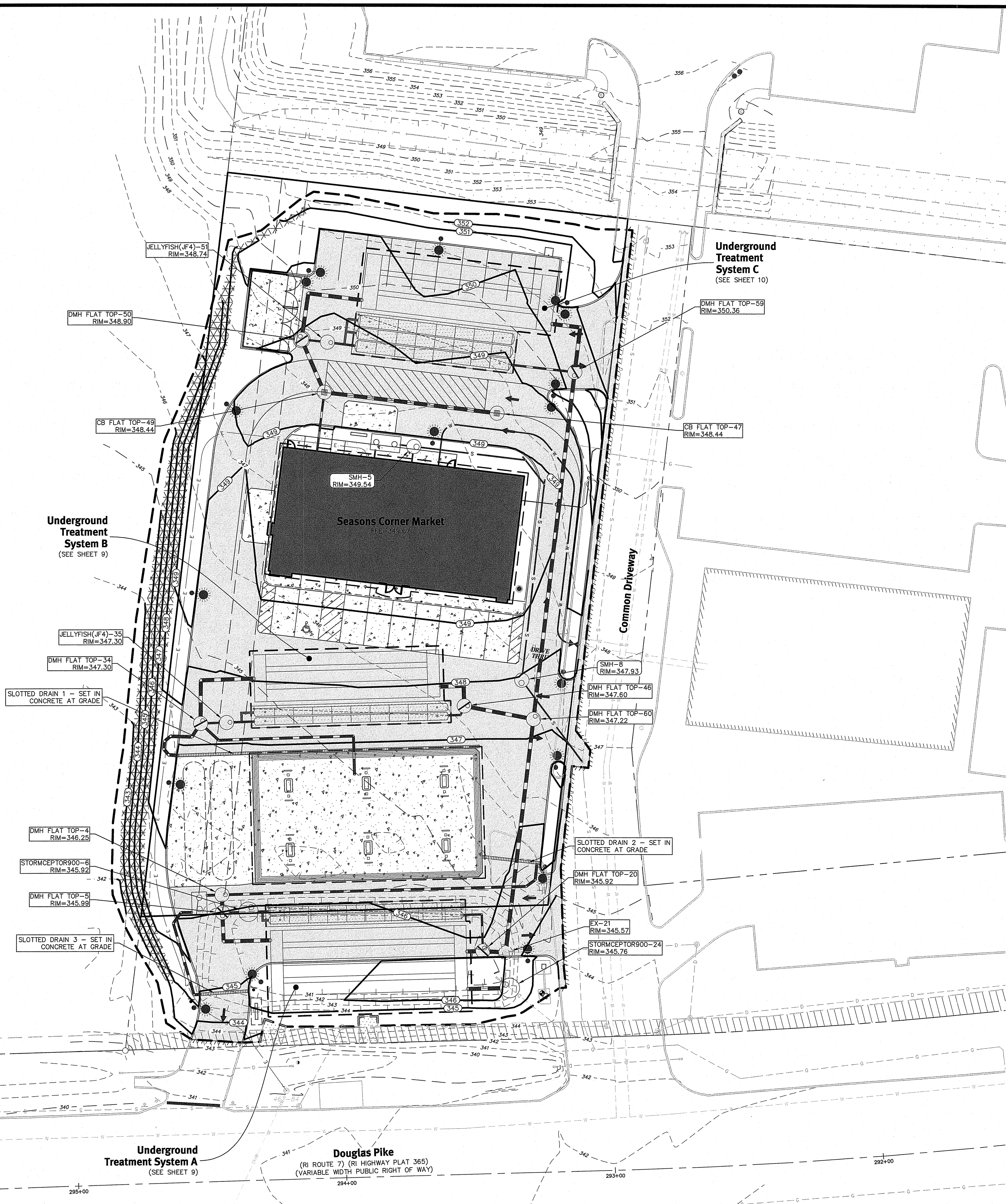
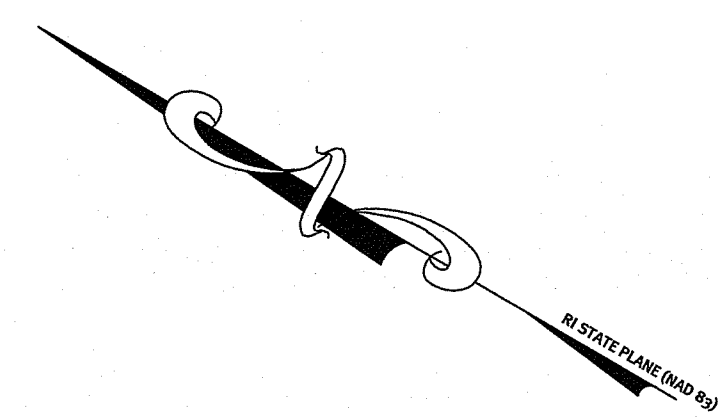
DiPrete Engineering
 Two Stafford Court, Cranston, RI 02920
 tel 401-943-0000 fax 401-664-6006 www.diprete-eng.com

ERIC M. DRIVE
 No. 8662
 REGISTERED PROFESSIONAL ENGINEER CIVIL

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NO.	DATE	DESCRIPTION	DESIGN BY: P.A.A.
1	04/24/2020	Initial Design	
2	04/24/2020	Revised Design	
3	04/24/2020	Final Design	

Site Layout Plan
Seasons Corner Market
 4600 S. Plainfield Road, Cranston, RI 02910
Colbea Enterprises, LLC
 7 Stratford Way, Cranston Rhode Island 02921
 tel 401-943-0005 fax 401-943-5309
 DE Job No: 1873-003-002 Copyright 2020 by DiPrete Engineering, Associates, Inc.



Underground Treatment System C (SEE SHEET 10)

Underground Treatment System B (SEE SHEET 9)

Underground Treatment System A (SEE SHEET 9)

Douglas Pike (RI ROUTE 7) (RI HIGHWAY PLAT 365) (VARIABLE WIDTH PUBLIC RIGHT OF WAY)

Common Driveway

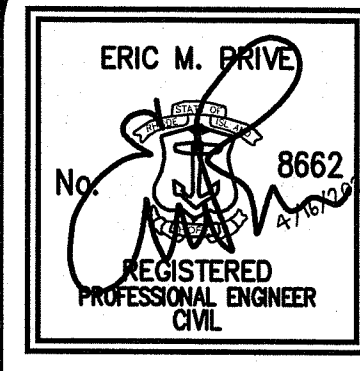
Seasons Corner Market

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED JUN 18 2020 FILE # 20-0021
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE
Mary C. Freeman

Scale: 1"=20'
0 10' 20' 40'

Grading & Surface Drainage Plan
Seasons Corner Market

Prepared for:
Assessor's Plat 46 Lot 75 Land Unit 3
Smithfield, Rhode Island
Colbea Enterprises, LLC
7 Starline Way, Cranston Rhode Island 02921
tel 401-943-0005 fax 401-943-5309
DE Job No: 1873-003-802 Copyright 2020 by DiPrete Engineering Associates, Inc.

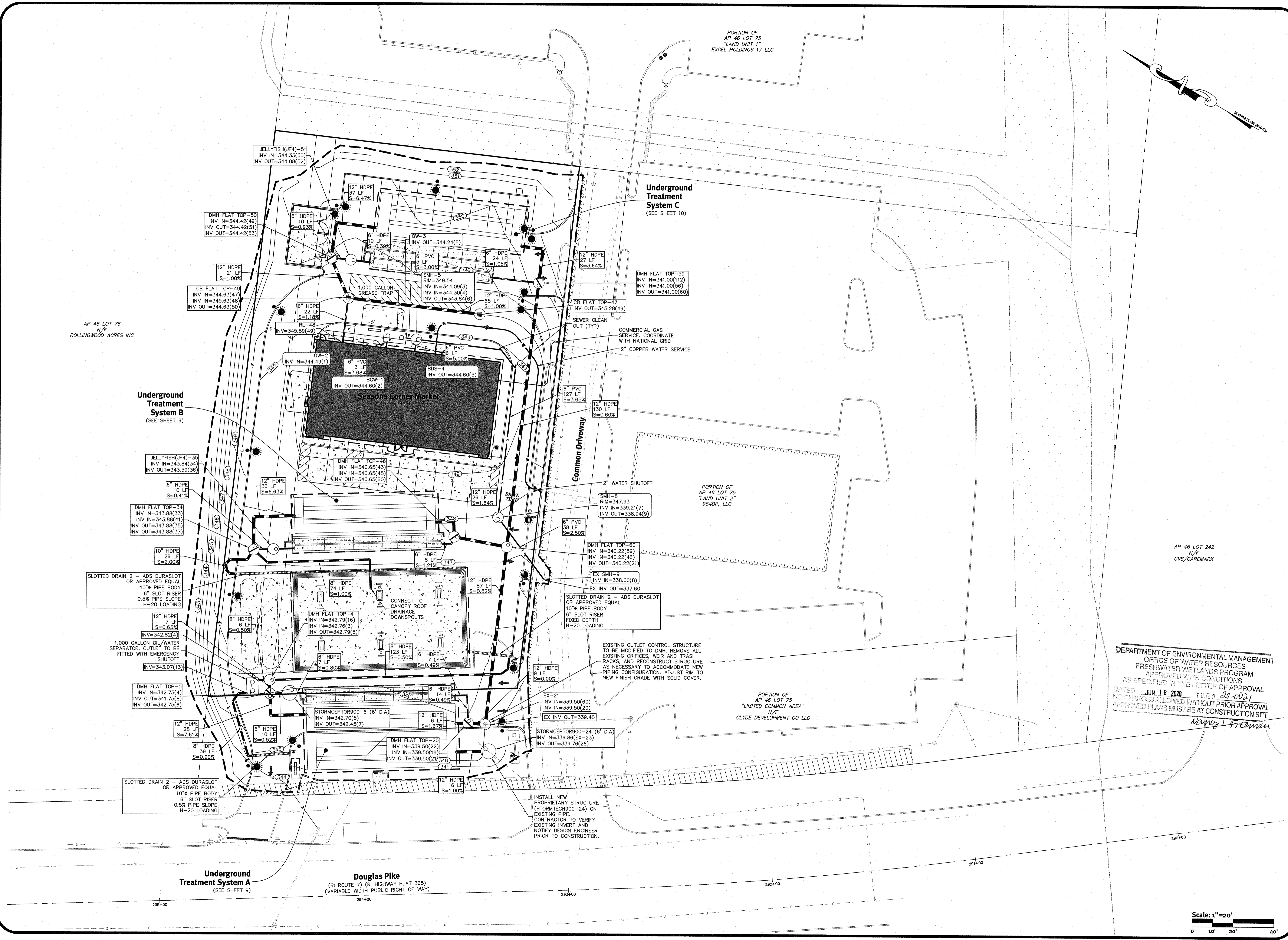


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NO.	DATE	DESCRIPTION	BY
1	03-15-2020	Special Use Permit Set	A.S.M.
2	04-16-2020	RODEM Response to Comments	A.S.M.
3	05-29-2020	Building Update	A.S.M.
4	05-29-2020	Special Use Permit Set	A.S.M.

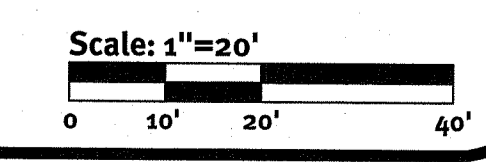
Drawn By: A.S.M.
Design By: P.A.A.

DiPrete Engineering
Two Stafford Court Cranston, RI 02920
tel 401-943-1000 fax 401-464-6006 www.diprete-eng.com
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Nancy L. Freeman



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 REGISTERED PROFESSIONAL ENGINEER
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No.	Date	Description	Design By: P.A.A.
1	06/18/2020	Initial Issue	
2	06/22/2020	Revised to Comments	
3	06/24/2020	Final Issue	

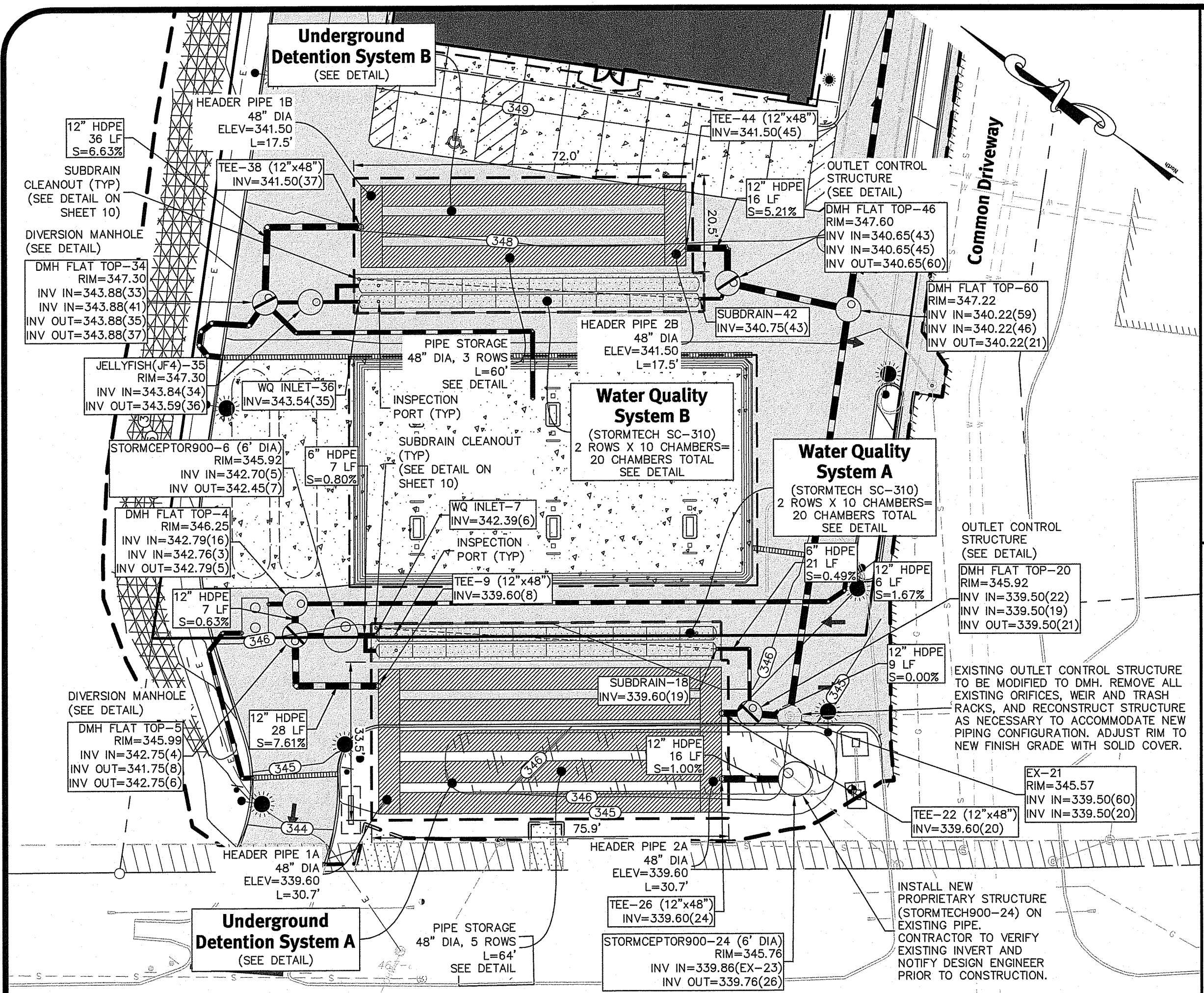
Drainage & Utilities Plan
Seasons Corner Market
 Assessor's Plat 46 Lot 75 Land Unit 3
 Smithfield, Rhode Island

Colbea Enterprises, LLC
 7 Satellite Way, Cranston Rhode Island 02921
 Tel: 401-943-0005 Fax: 401-943-5359

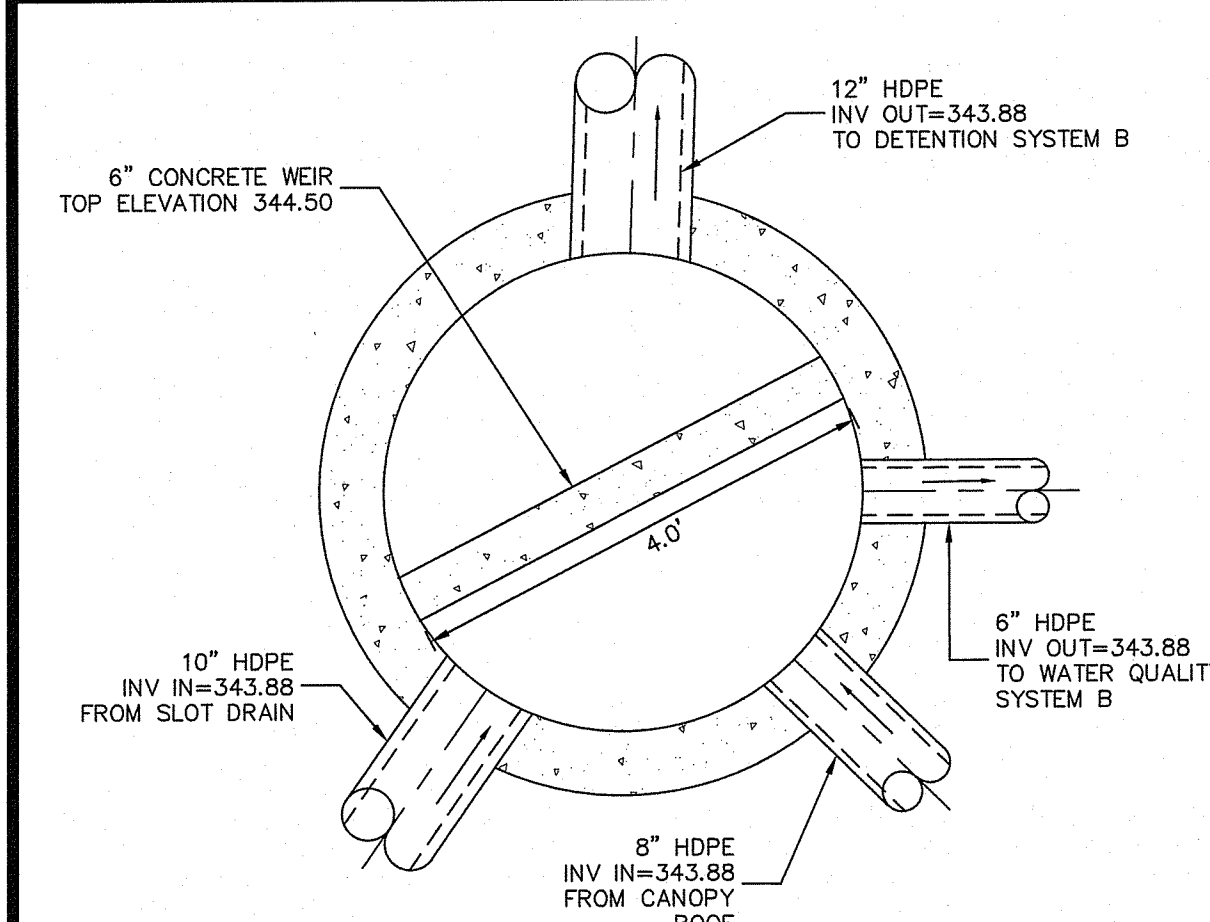
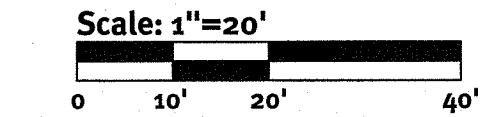
Prepared for
 Smithfield, Rhode Island

Scale: 1"=20'

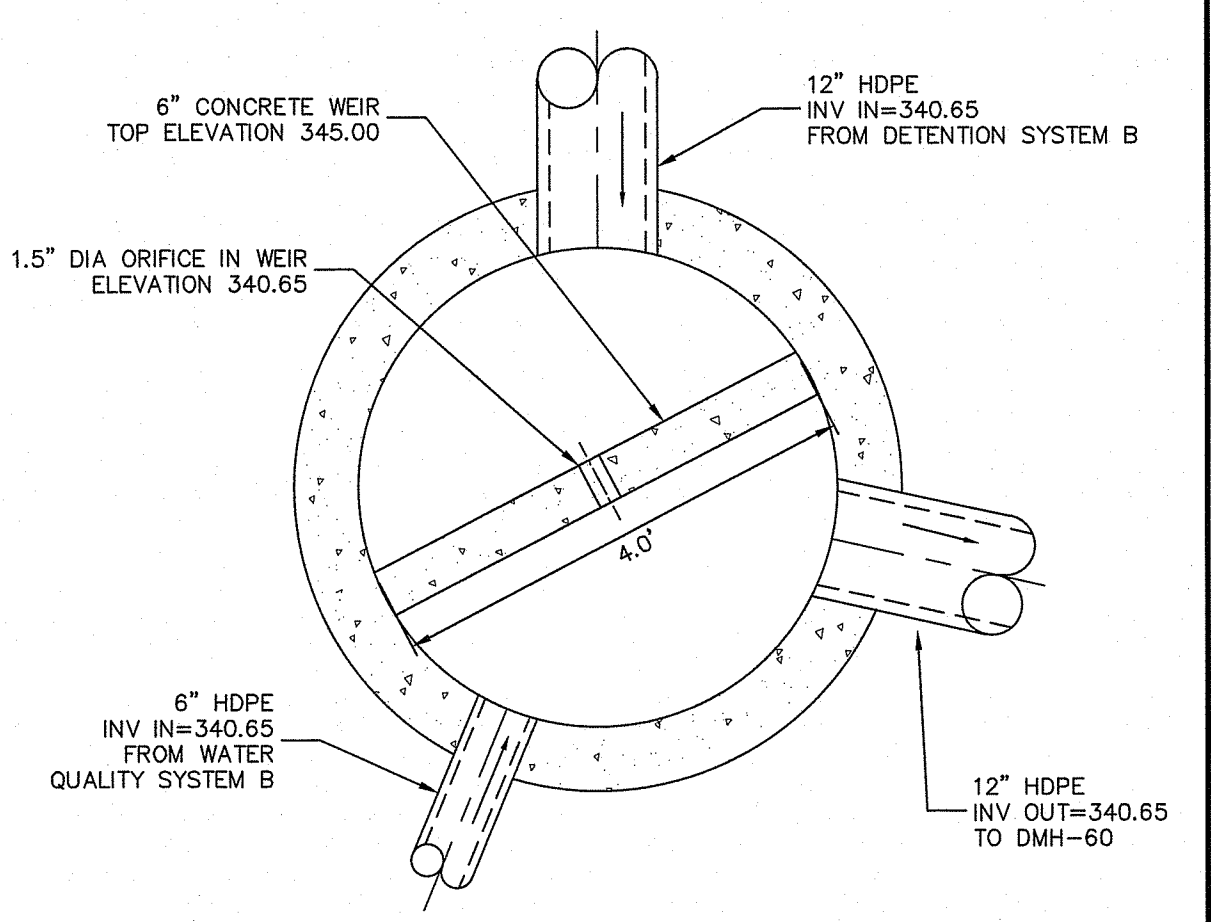
SHEET 8 OF 12



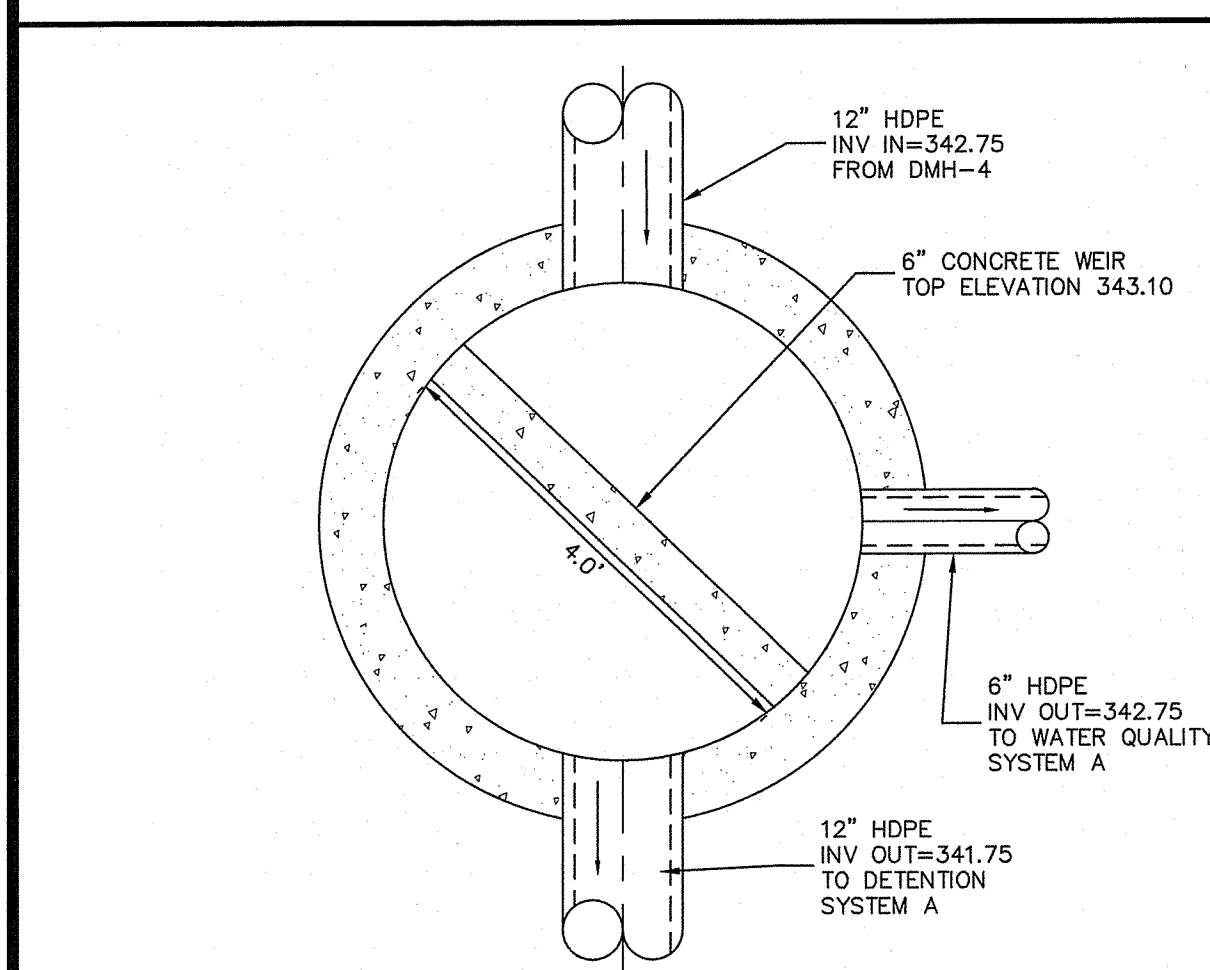
Underground Stormwater Treatment Systems A & B



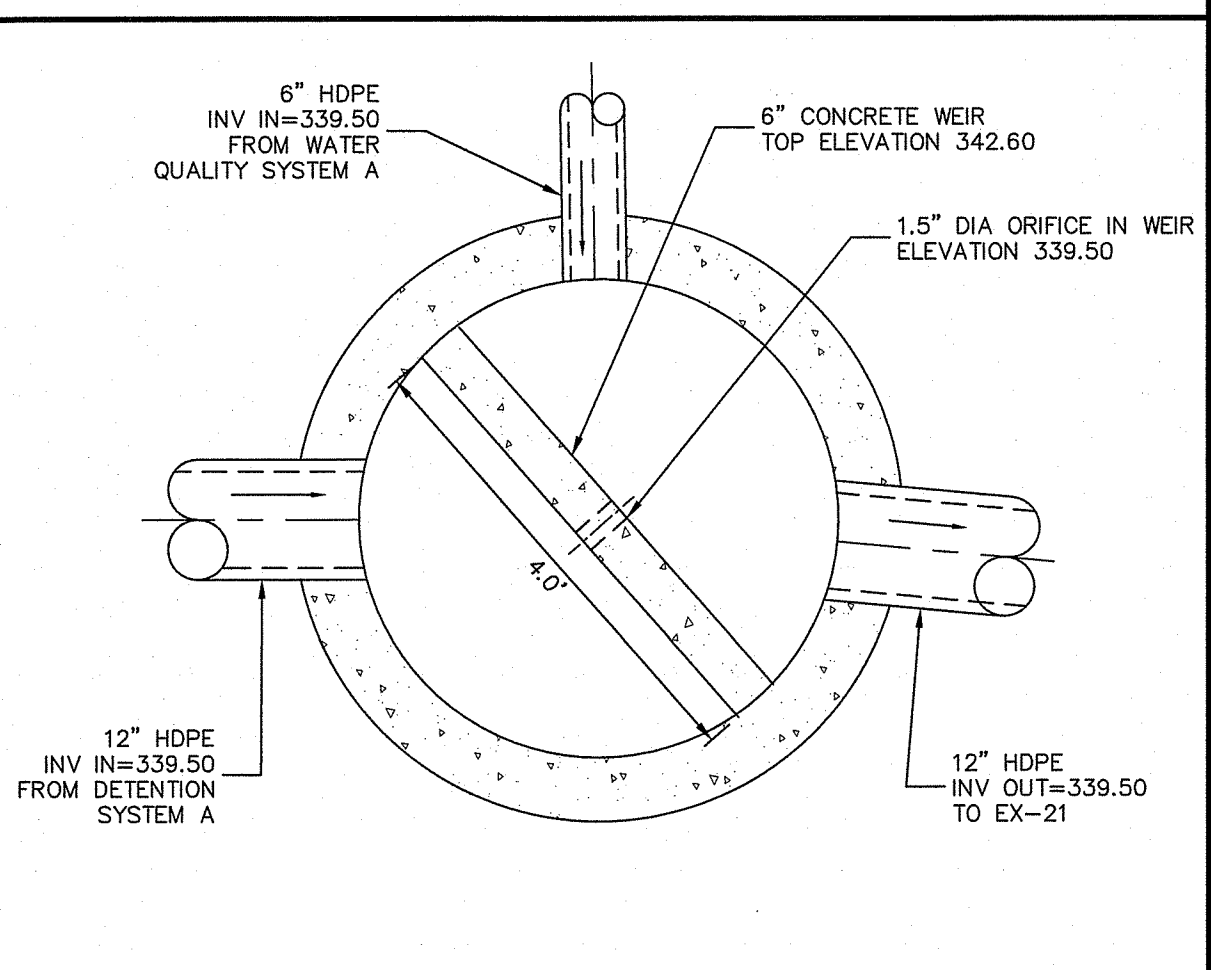
UTs Diversion Manhole - DMH Flat Top-34 (4'Ø)



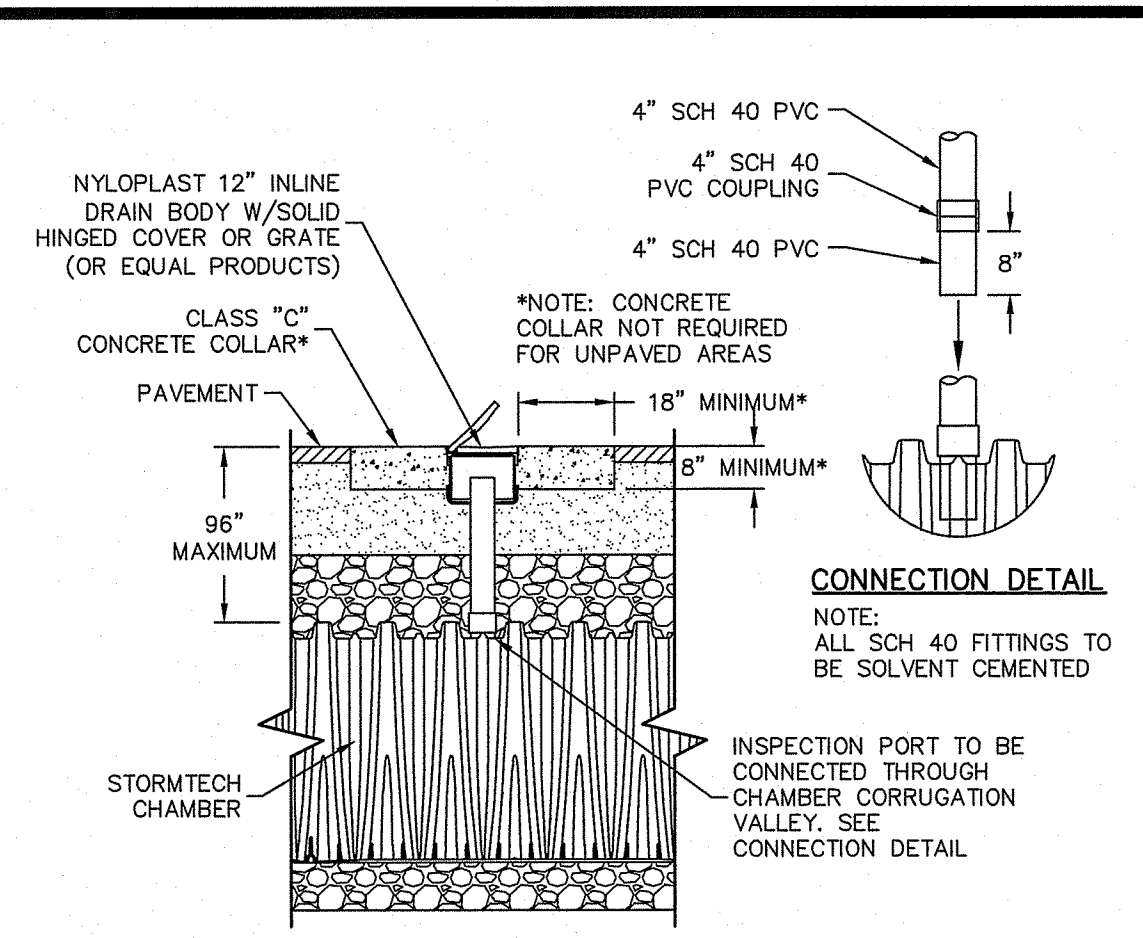
Outlet Control Structure - DMH Flat Top-46 (4'Ø)



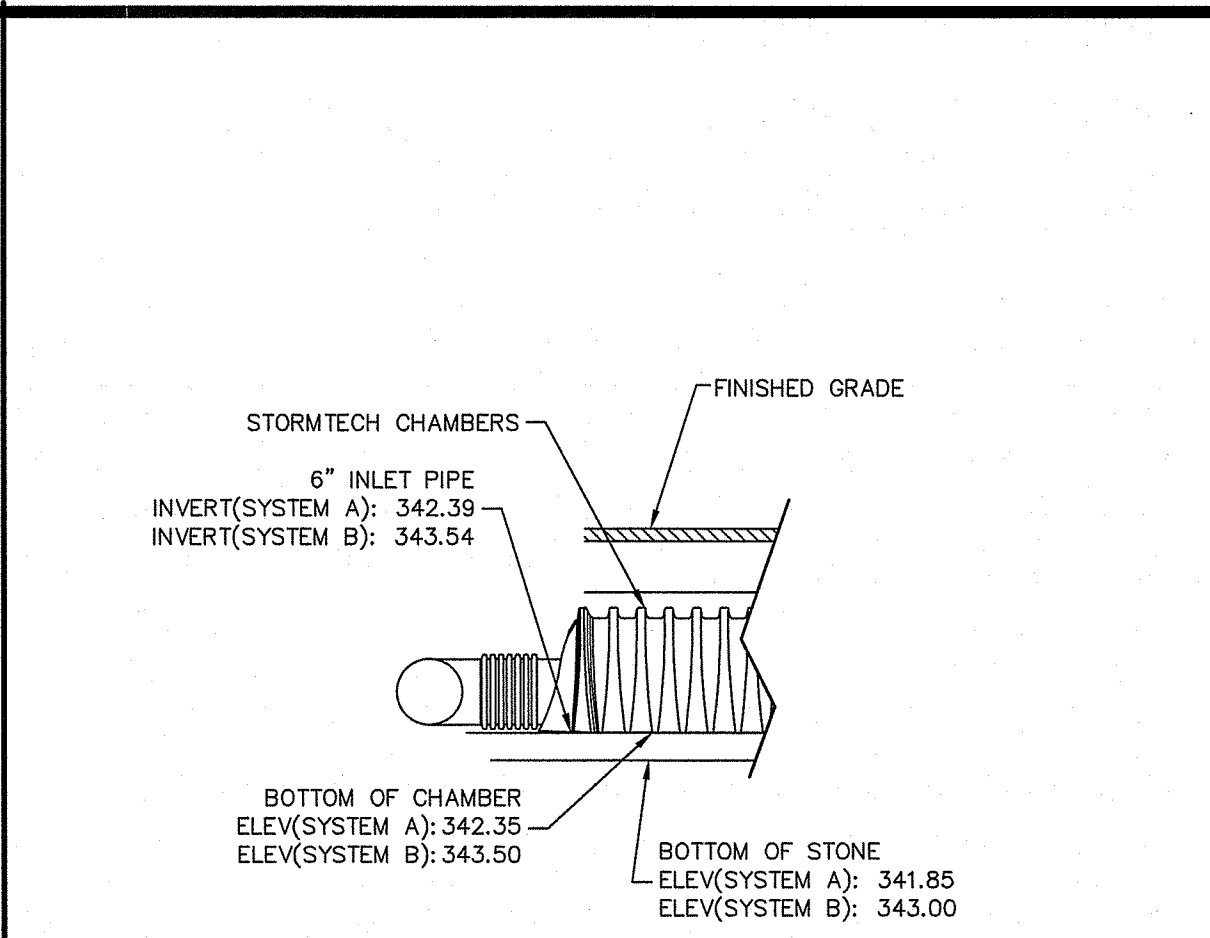
UTs Diversion Manhole - DMH Flat Top-5 (4'Ø)



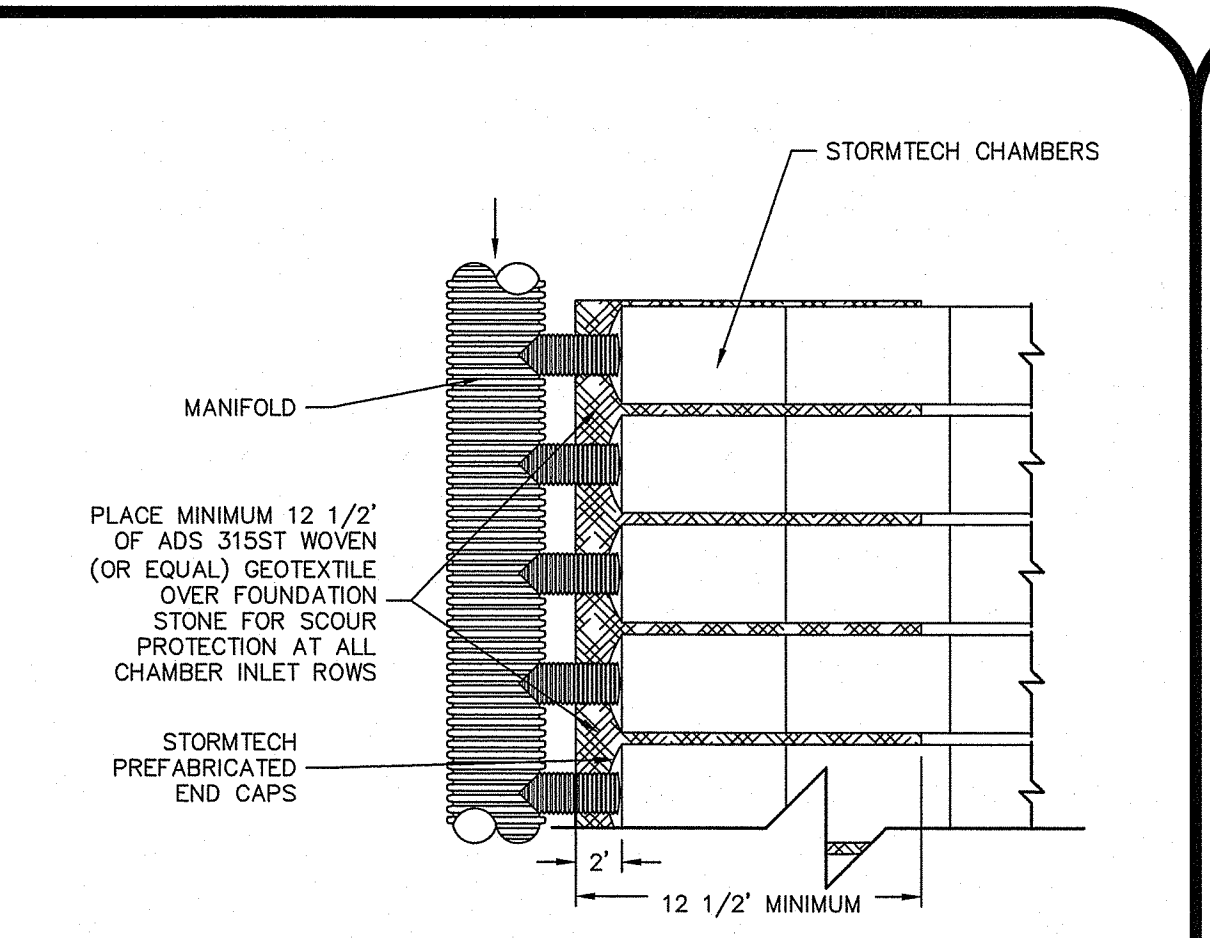
Outlet Control Structure - DMH Flat Top-20 (4'Ø)



Stormtech General Inspection Port Detail



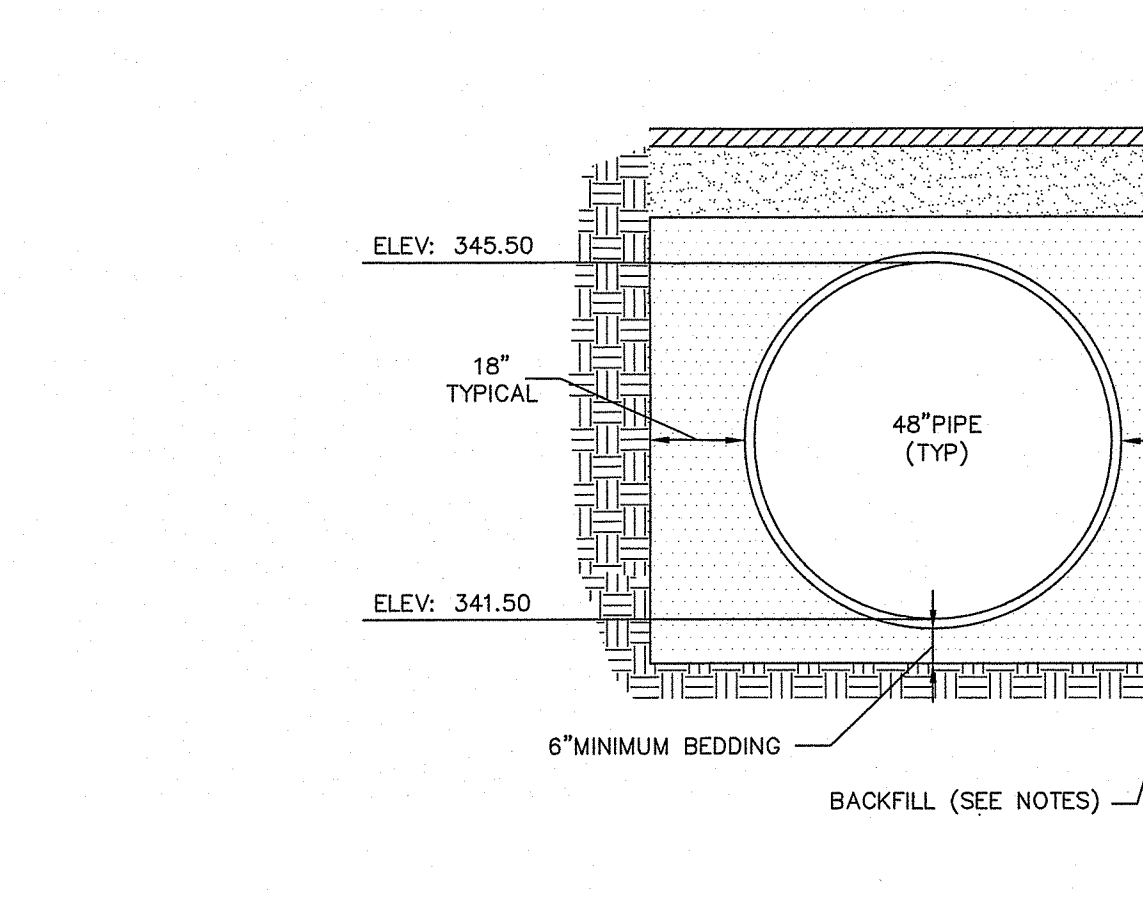
Stormtech Elevation (Detention Chambers)



Stormtech Manifold Detail (Typ)

SYSTEM B

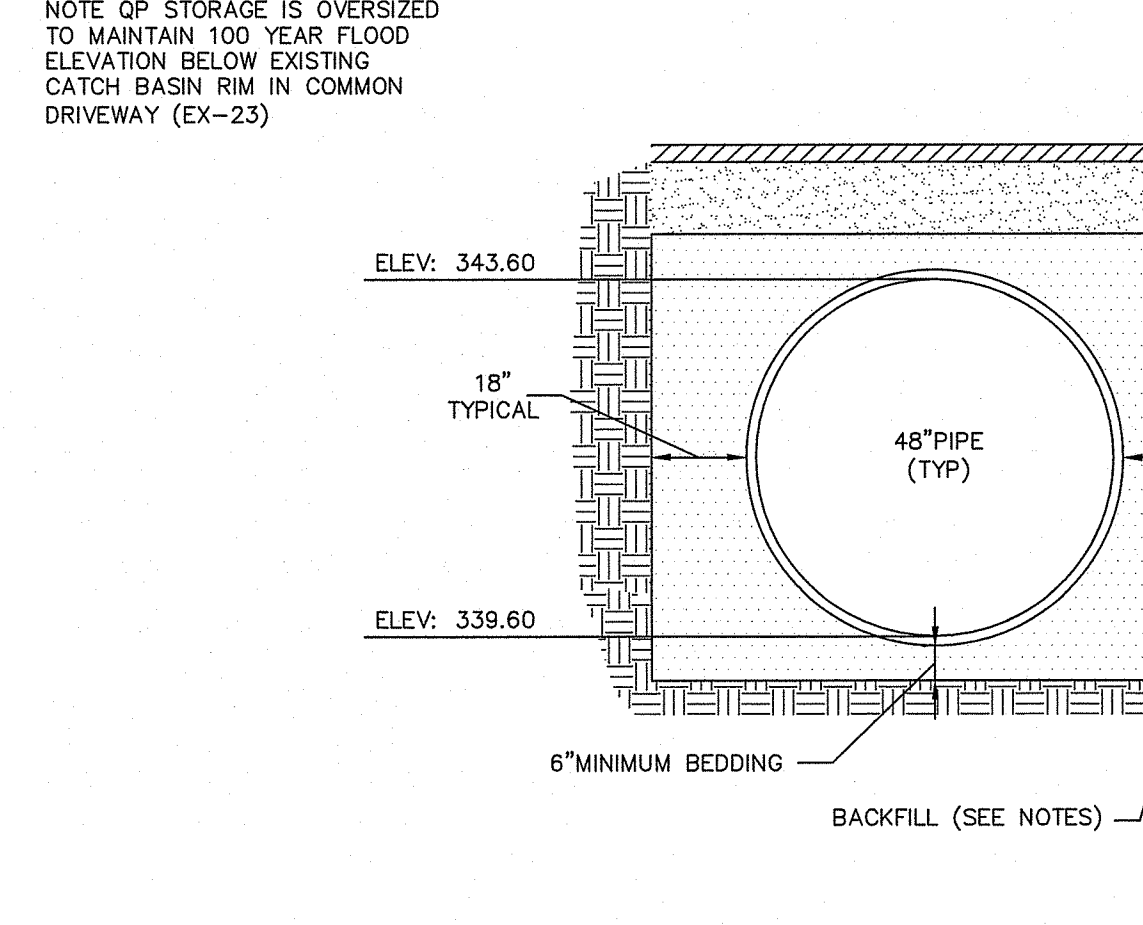
DESCRIPTION	WQ	QP
TOP OF STORAGE ELEVATION	345.33	345.50
BOTTOM OF STORAGE ELEVATION	341.50	341.50
100 YEAR STORM ELEVATION	344.89	344.90
25 YEAR STORM ELEVATION	344.68	343.38
10 YEAR STORM ELEVATION	344.60	342.72
WQ STORM ELEVATION	342.12	341.50
SEASONAL HIGH GWT ELEVATION	N/A	N/A
SOIL EVALUATION	N/A	N/A



Underground Stormwater Treatment System B - Typical Cross Section
48" HDPE Pipe Storage & Stormtech SC-310

SYSTEM A

DESCRIPTION	WQ	QP
TOP OF STORAGE ELEVATION	344.18	343.60
BOTTOM OF STORAGE ELEVATION	340.10	339.60
100 YEAR STORM ELEVATION	343.36	342.49
25 YEAR STORM ELEVATION	343.17	341.29
10 YEAR STORM ELEVATION	343.11	340.79
WQ STORM ELEVATION	340.77	339.75
SEASONAL HIGH GWT ELEVATION	N/A	N/A
SOIL EVALUATION	N/A	N/A



Underground Stormwater Treatment System A - Typical Cross Section
48" HDPE Pipe Storage & Stormtech SC-310 Typical Cross Section

- STORMTECH NOTES:
- THIS CROSS SECTION DETAILS THE REQUIREMENTS NECESSARY TO SATISFY THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS SECTION 12.12 FOR EARTH AND LIVE LOADS USING STORMTECH CHAMBERS. SEE APPLICABLE STORMTECH CONSTRUCTION GUIDES AND ALL APPLICABLE DOCUMENTS FOR SPECIFIC MATERIAL REQUIREMENTS.
 - SEE LATEST STORMTECH DESIGN MANUAL.
 - ALL STORMTECH CHAMBERS MUST BE INSTALLED PER MANUFACTURER RECOMMENDATIONS AND THESE PLANS. CONTRACTOR TO NOTIFY DESIGN ENGINEER OF ANY DISCREPANCIES PRIOR TO INSTALLATION.

- PIPE STORAGE NOTES:
- STRUCTURAL BACKFILL MATERIAL: SELECT MATERIALS SUCH AS BANK RUN GRAVEL OR OTHER PROCESSED GRANULAR MATERIALS LESS THAN 3 IN. MAXIMUM WITH EXCELLENT STRUCTURAL CHARACTERISTICS IS REQUIRED. CONTRACTOR TO PROVIDE SIEVE ANALYSIS OF BACKFILL MATERIAL TO DESIGN ENGINEER PRIOR TO CONSTRUCTION.
 - STRUCTURAL BACKFILL PLACEMENT: STRUCTURAL BACKFILL SHALL BE PLACED IN LAYERS FROM 6 TO 12 IN. IN DEPTH DEPENDING ON THE TYPE OF MATERIAL AND COMPACTION EQUIPMENT OR METHOD. EACH LAYER OR "LIFT" SHALL BE COMPACTED TO 95% PROCTOR DENSITY BEFORE ADDING THE NEXT.
 - PIPE SHALL BE HDPE OR ALUMINIZED TYPE 2. ALL PIPE MUST BE WATER TIGHT. CONTRACTOR TO PROVIDE SHOP DRAWINGS TO DESIGN ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.
 - HEADER PIPE CAN BE CUSTOM MANUFACTURED OR CONSTRUCTED USING PIPE FITTINGS. CONTRACTOR TO PROVIDE SHOP DRAWINGS TO DESIGN ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.

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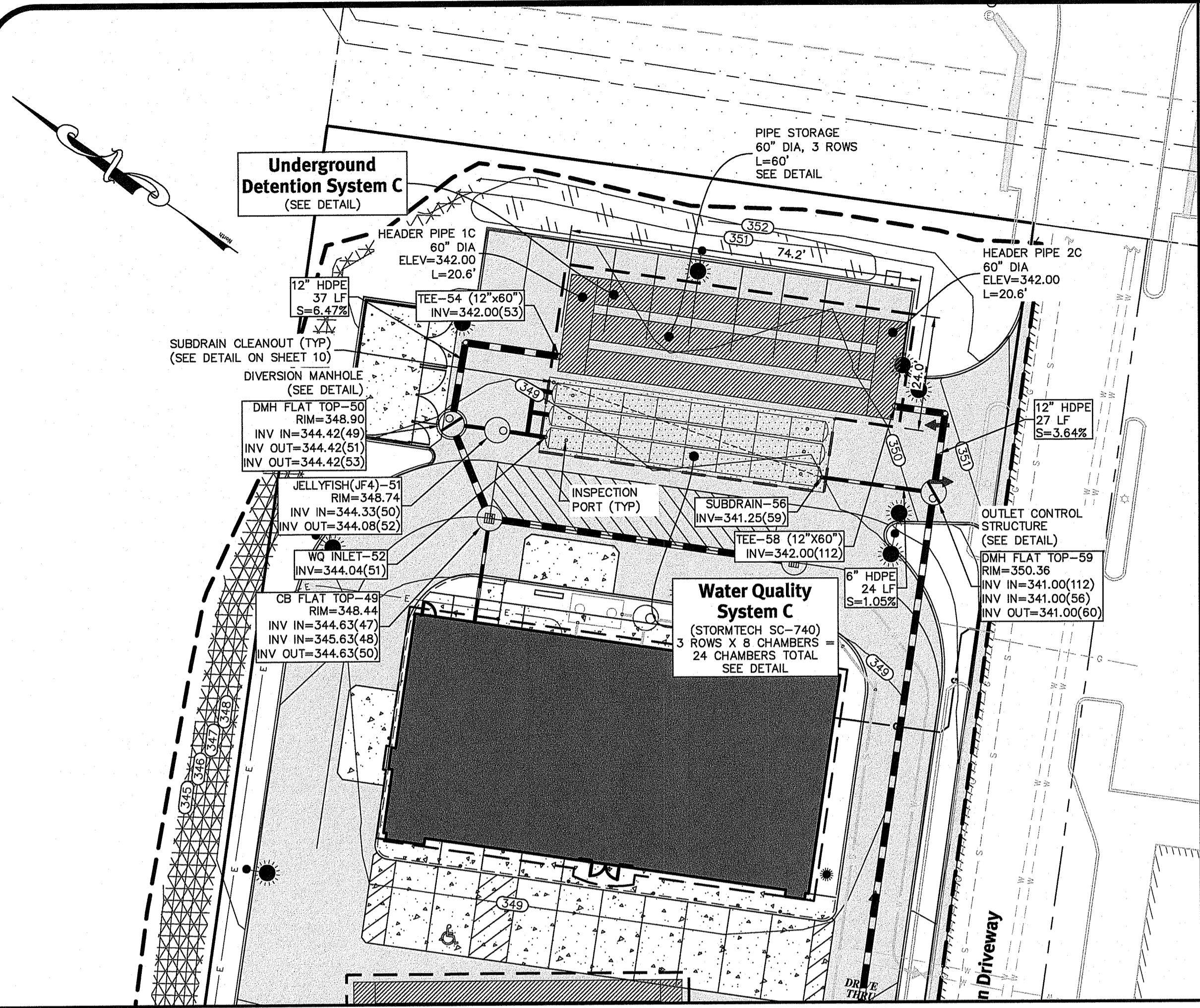
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CIVIL
No. 8662

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No.	Date	Description	By:	Design By: P.A.A.
1	06/18/2020	Initial Issue	AS.M.	
2	06/18/2020	Revised	AS.M.	
3	06/18/2020	Revised	AS.M.	

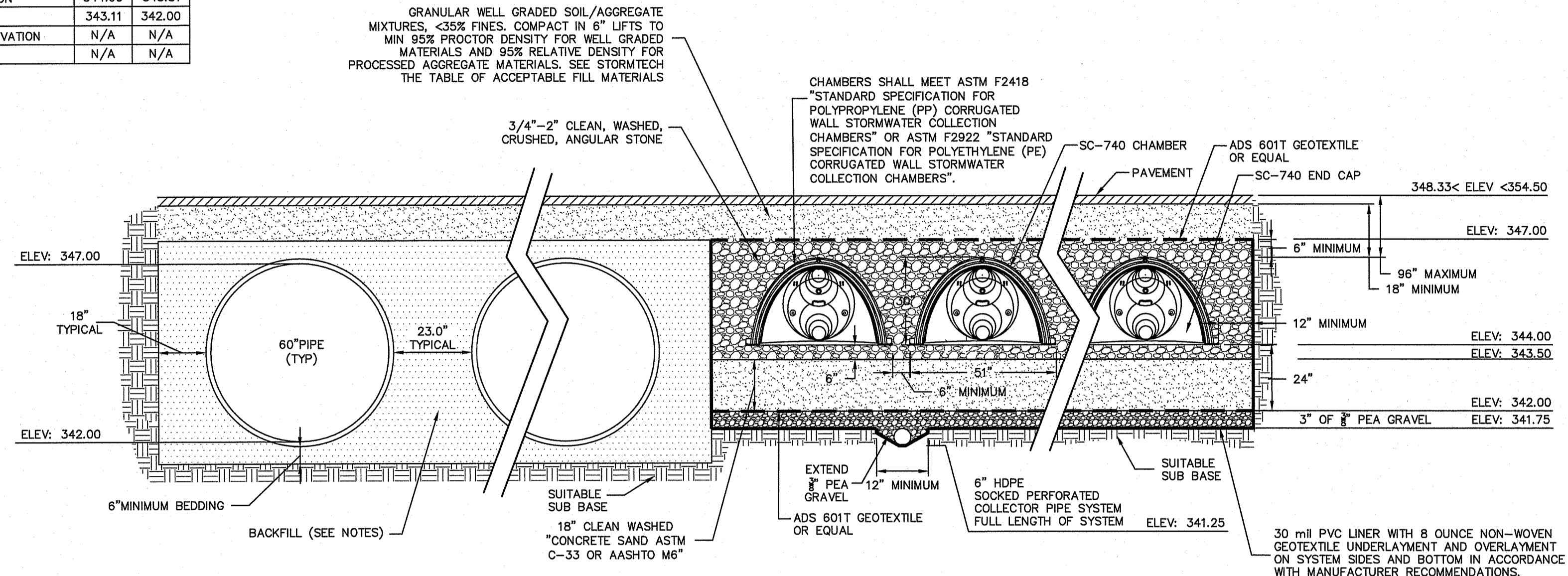
Underground Treatment Systems A & B
Seasons Corner Market
Assessor's Plat. 46 Lot 75 Land Unit 3
Smithfield, Rhode Island
Prepared for
Colbea Enterprises, LLC
7 Starline Way, Cranston Rhode Island 02921
Tel: 401-943-0000 Fax: 401-943-5509
DE Job No: 1873-009-002 Copyright: 2020 by Diprete Engineering, Associates, Inc.



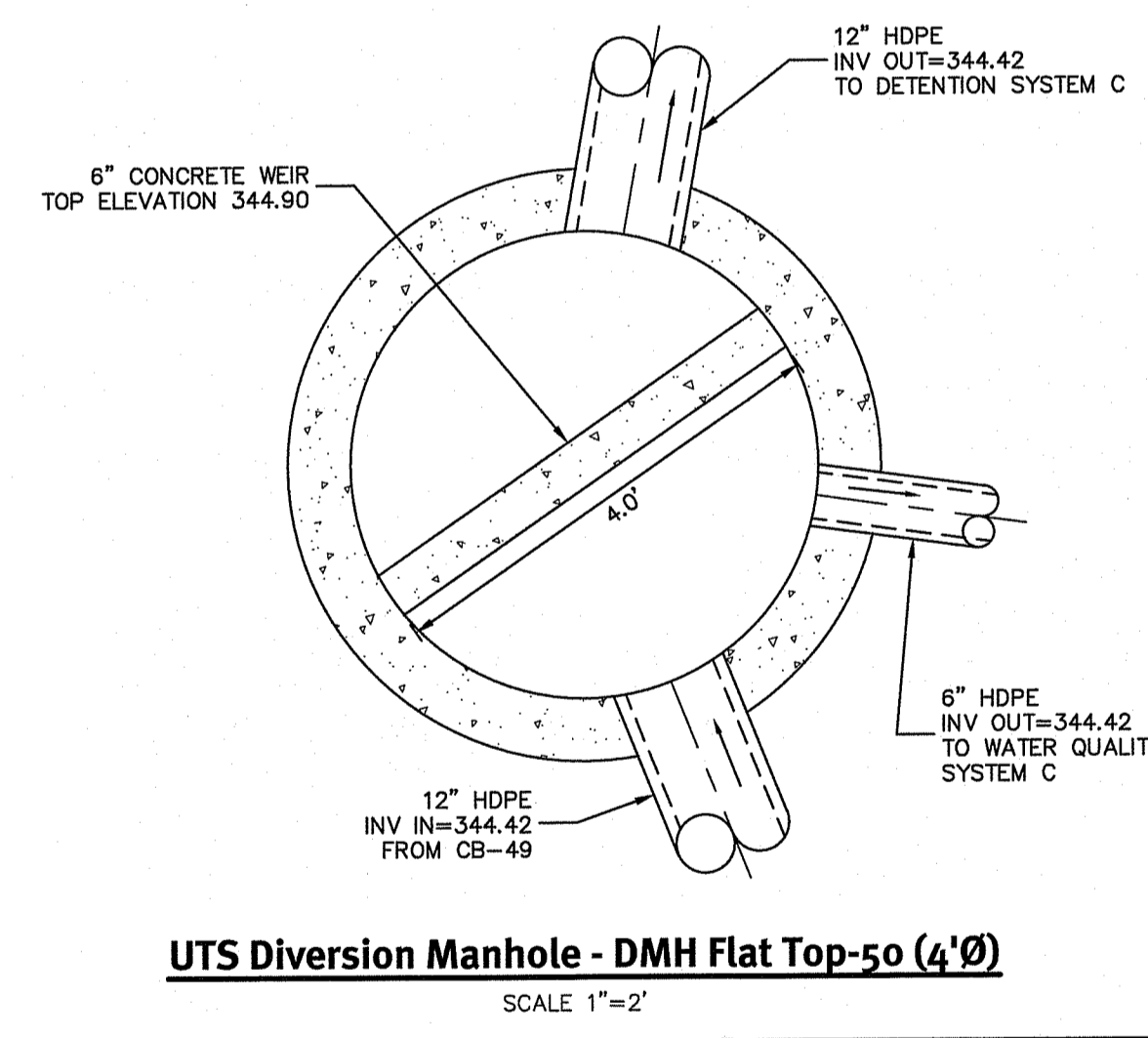
Underground Stormwater Treatment System C
Scale: 1"=20'

SYSTEM C

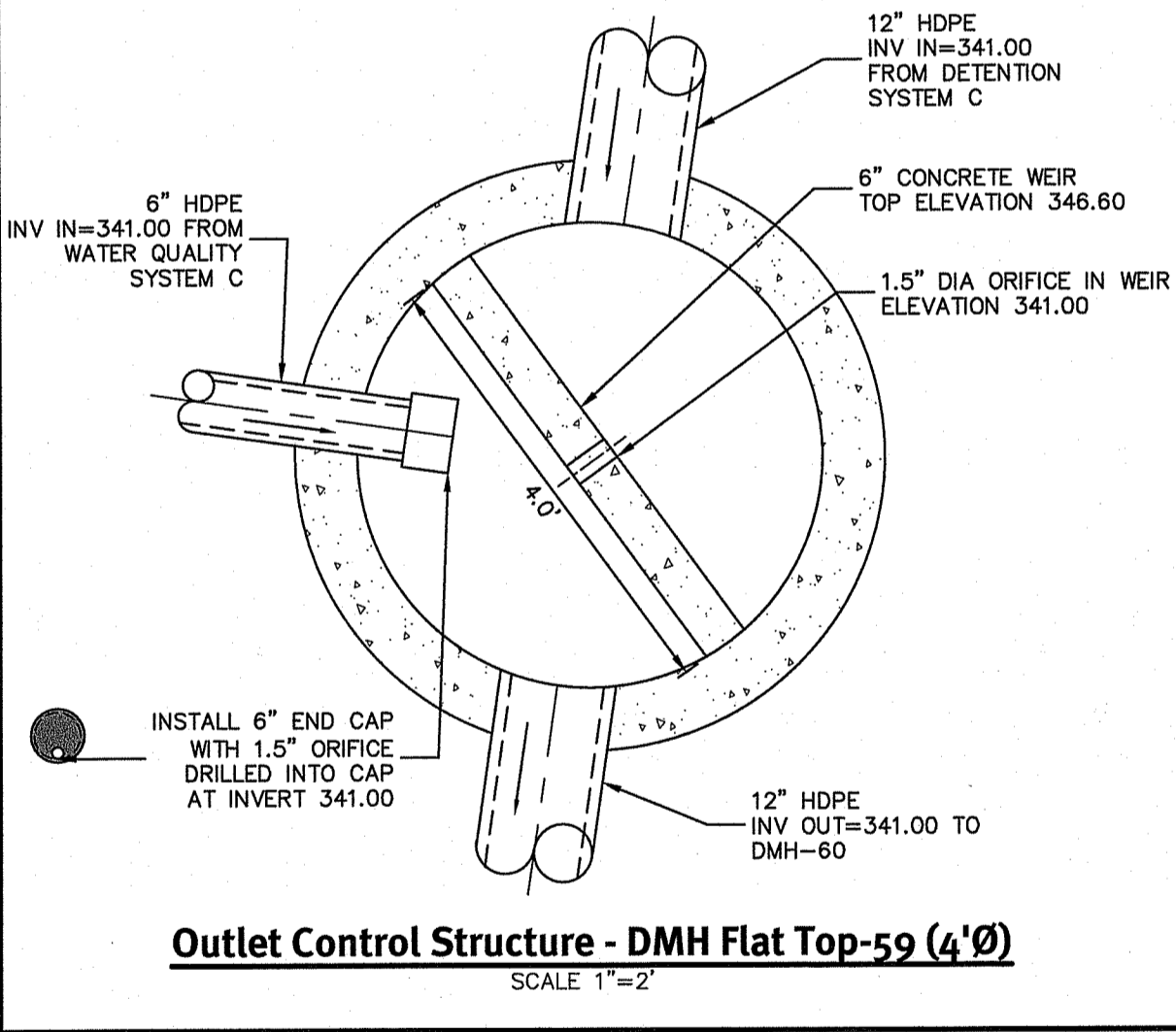
DESCRIPTION	WQ	QP
TOP OF STORAGE ELEVATION	347.00	347.00
BOTTOM OF STORAGE ELEVATION	342.00	342.00
100 YEAR STORM ELEVATION	346.54	346.56
25 YEAR STORM ELEVATION	345.08	344.81
10 YEAR STORM ELEVATION	344.99	343.81
WQ STORM ELEVATION	343.11	342.00
SEASONAL HIGH GWT ELEVATION	N/A	N/A
SOIL EVALUATION	N/A	N/A



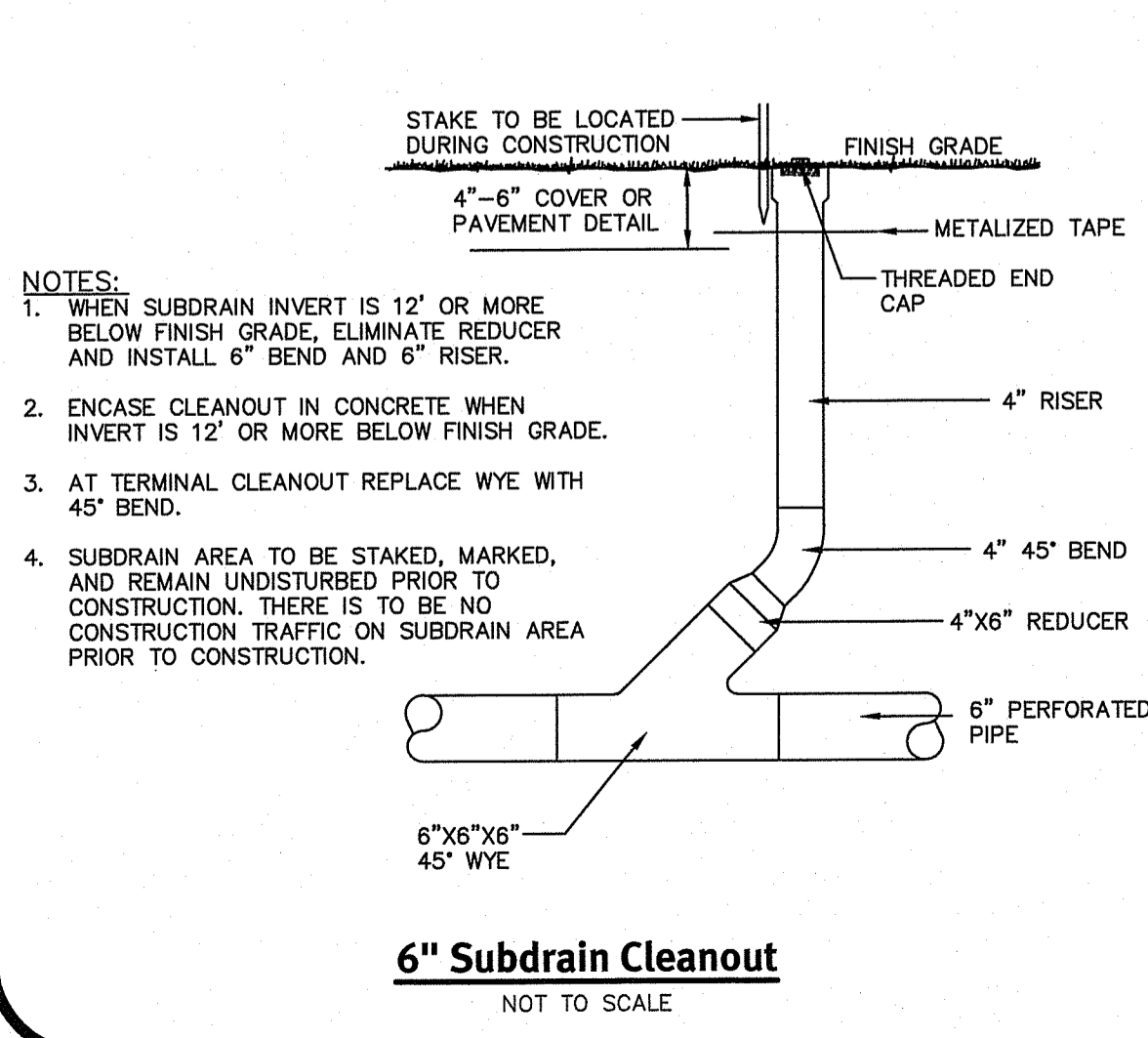
Underground Stormwater Treatment System C - Typical Cross Section
60" HDPE Pipe Storage & Stormtech SC-740
NOT TO SCALE



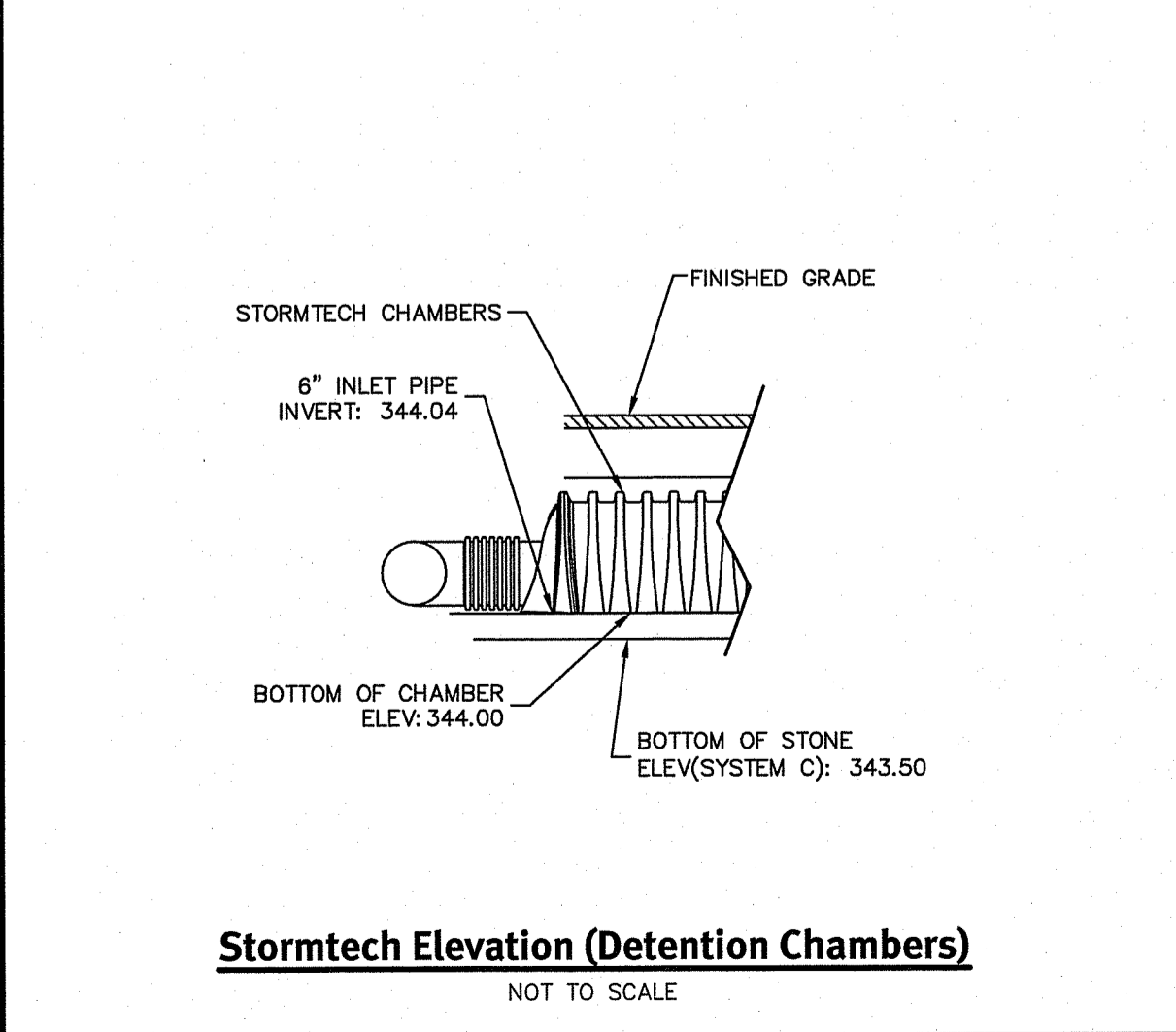
UTs Diversion Manhole - DMH Flat Top-50 (4'Ø)
SCALE 1"=2'



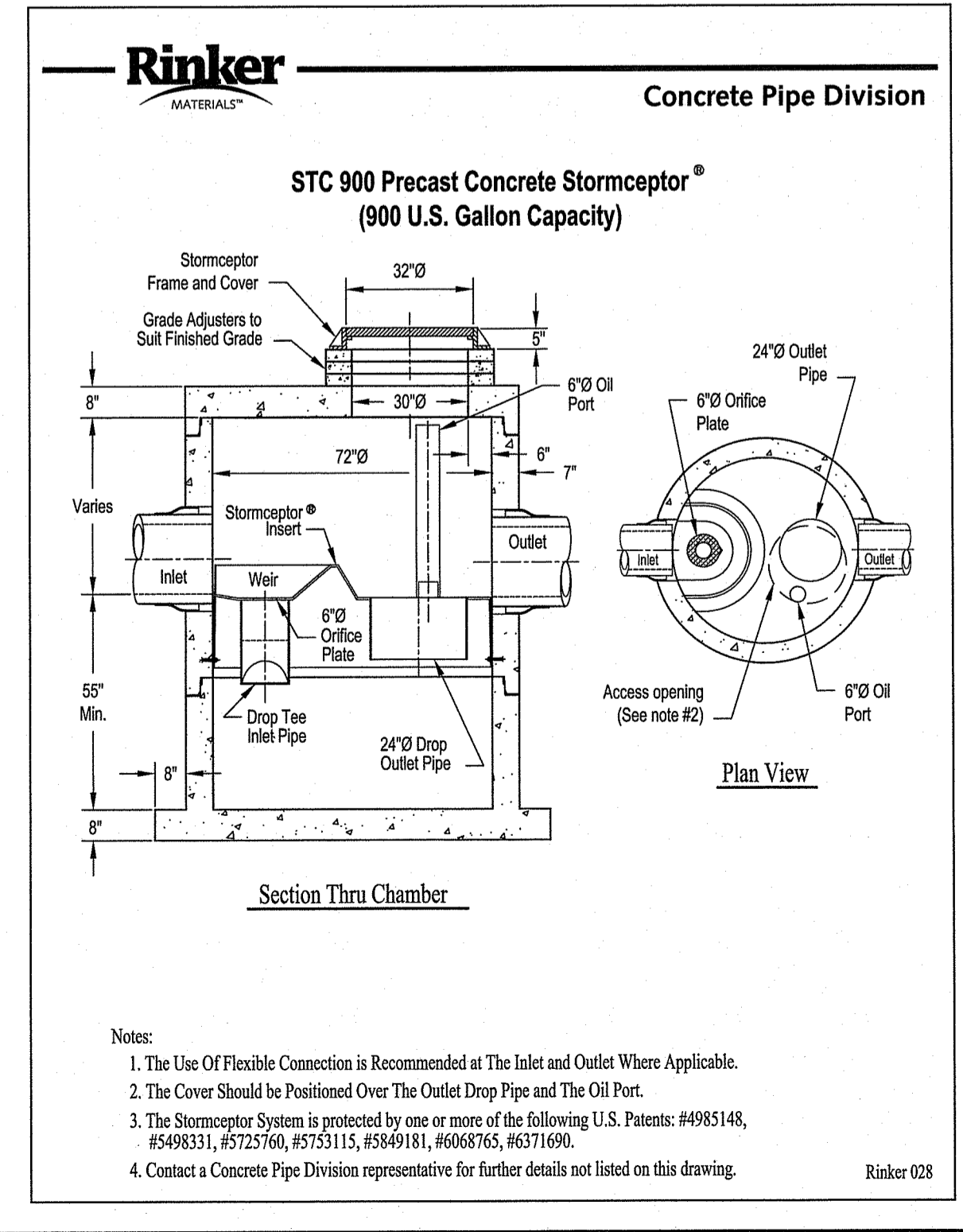
Outlet Control Structure - DMH Flat Top-59 (4'Ø)
SCALE 1"=2'



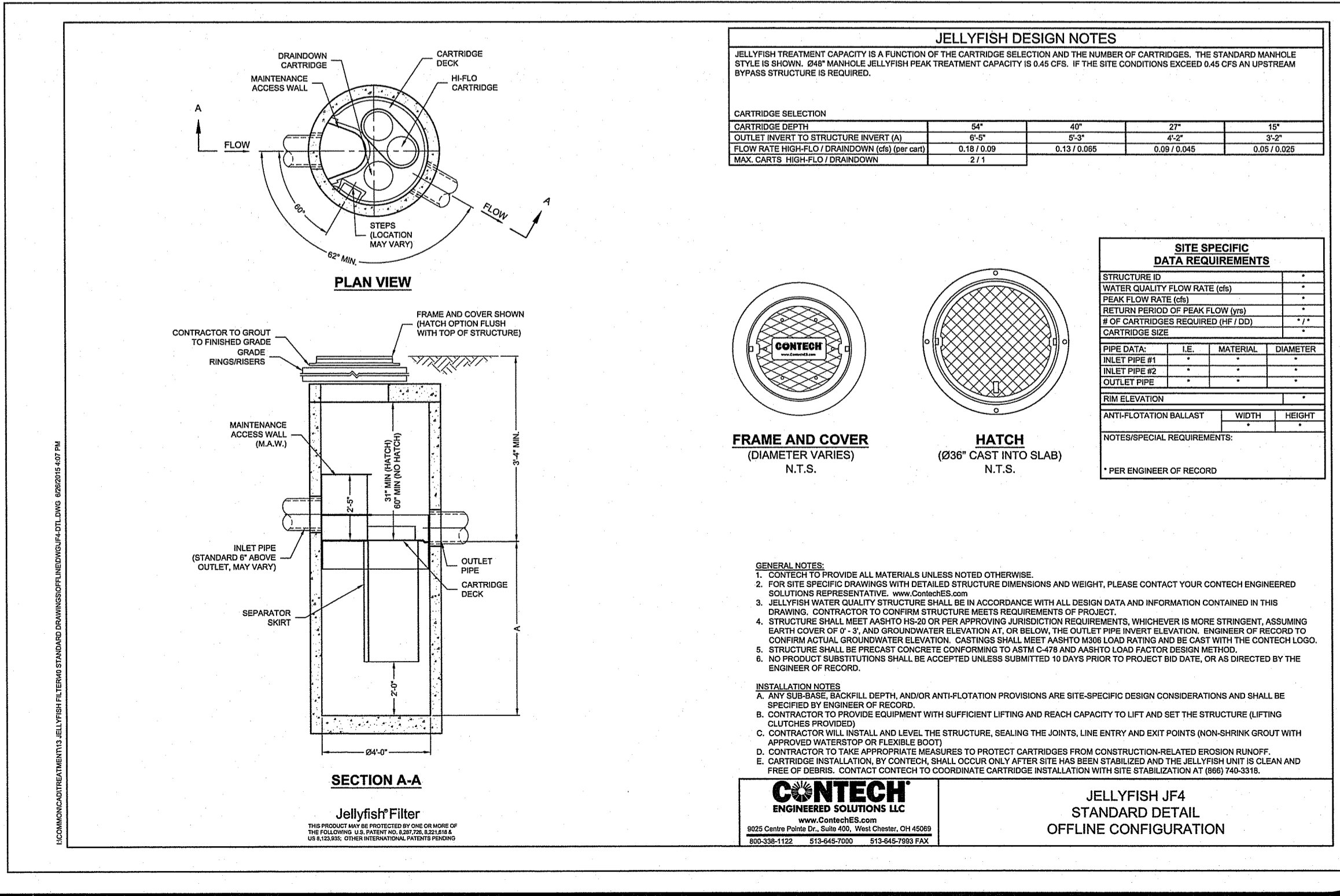
6\"/>



Stormtech Elevation (Detention Chambers)
NOT TO SCALE



Notes:
1. The Use Of Flexible Connection is Recommended at The Inlet and Outlet Where Applicable.
2. The Cover Should be Positioned Over The Outlet Drop Pipe and The Oil Port.
3. The Stormceptor System is protected by one or more of the following U.S. Patents: #4961548, #5498331, #5725760, #5753115, #5949181, #6068765, #6371090.
4. Contact a Concrete Pipe Division representative for further details not listed on this drawing.



JELLYFISH DESIGN NOTES

JELLYFISH TREATMENT CAPACITY IS A FUNCTION OF THE CARTRIDGE SELECTION AND THE NUMBER OF CARTRIDGES. THE STANDARD MANHOLE STYLE IS SHOWN. 8\"/>

CARTRIDGE SELECTION	4\"/>
CARTRIDGE DEPTH	8\"/>
OUTLET HEIGHT TO STRUCTURE INVERT (ft)	8\"/>
FLOW RATE HIGH FLOW (GPM) (SEE NOTE 1)	0.19 / 0.09
MAX. GALLONS HIGH FLOW (GALLONS)	0.11

SITE SPECIFIC DATA REQUIREMENTS

STRUCTURE ID	INLET QUALITY FLOW RATE (GPM)	PEAK FLOW RATE (GPM)	DESIGN PERCENT OF PEAK FLOW RATE	# OF CARTRIDGES REQUIRED (IF 100%)	CARTRIDGE SIZE

GENERAL NOTES:
1. ANY SUBSTITUTIONS SHALL BE APPROVED BY THE ENGINEER OF RECORD.
2. CONTRACTOR SHALL PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
3. FOR SITE SPECIFIC DATA REQUIREMENTS AND WEIGHT, PLEASE CONTACT YOUR CONTECH ENGINEER.
4. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND WEIGHTS WITH ALL DESIGN DATA AND INFORMATION CONTAINED BY THIS DRAWING. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF PROJECT.
5. STRUCTURE SHALL MEET AASHTO H-15 OR PER APPROVED SUBSTITUTION REQUIREMENTS. HOWEVER, IS MORE STRINGENT, ASSASSING SOUTH COVER OF P-2 AND GROUNDWATER ELEVATION AT OR BELOW THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CONTRACTOR SHALL MEET AASHTO H-15 LOAD RATING AND BE GAT WITH THE CONTECH LOG.
6. STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C-493 AND AASHTO LOAD FACTOR DESIGN METHOD.
7. NO PRODUCT SUBSTITUTIONS SHALL BE ACCEPTED UNLESS SUBMITTED TO PROJECT PRIOR TO PROJECT BID DATE, OR AS DIRECTED BY THE ENGINEER OF RECORD.

STORMTECH NOTES:

- THIS CROSS SECTION DETAILS THE REQUIREMENTS NECESSARY TO SATISFY THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS SECTION 12.12 FOR EARTH AND LIVE LOADS USING STORMTECH CHAMBERS. SEE APPLICABLE STORMTECH CONSTRUCTION GUIDES AND ALL APPLICABLE DOCUMENTS FOR SPECIFIC MATERIAL REQUIREMENTS.
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Diprete Engineering
Two Stafford Court, Cranston, RI 02920
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DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
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DATED JUN 18 2020 FILE # 20-002
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Nancy L. Freeman

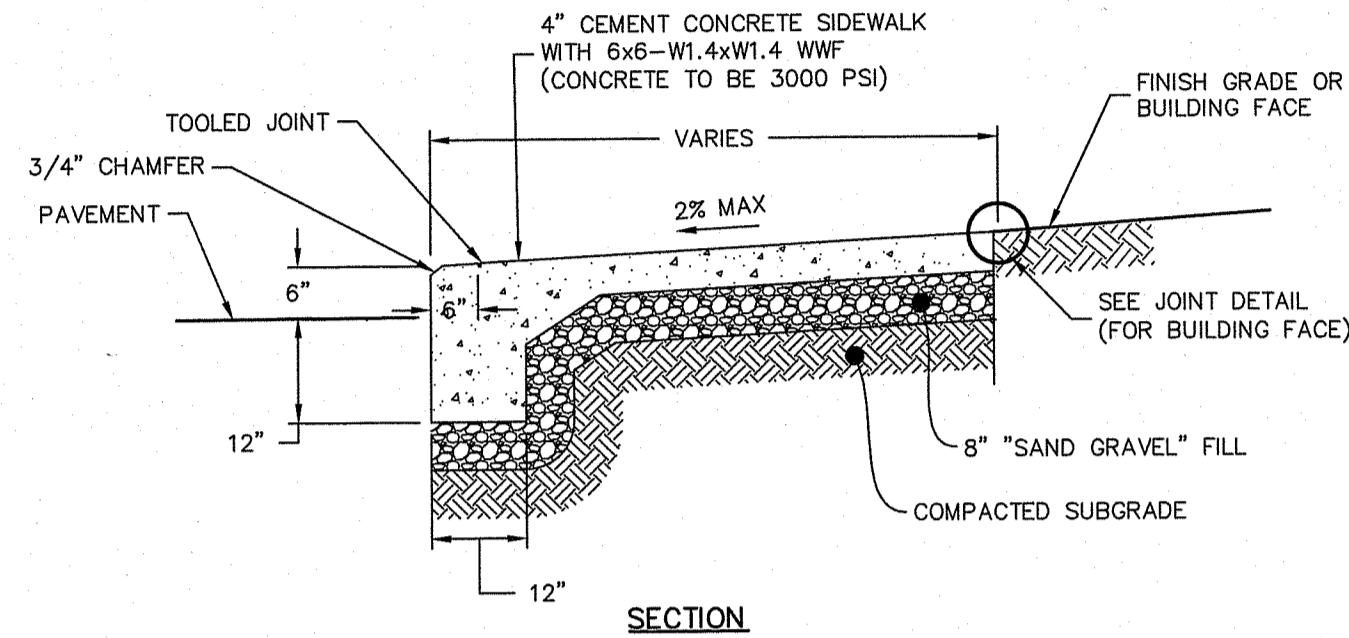
DATE	BY	DESCRIPTION
6-16-2020	AS/A	REVISION TO COMMENTS
6-24-2020	AS/A	REVISION TO COMMENTS
7-1-2020	AS/A	REVISION TO COMMENTS

Drawn By: A.S.M.
Design By: P.A.A.

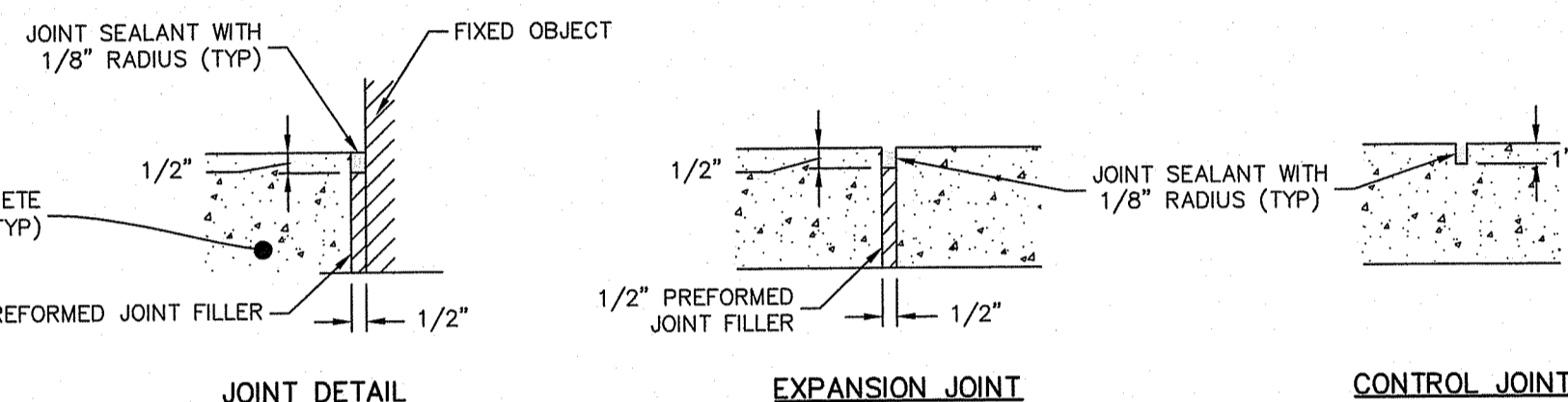
Underground Treatment System C
Seasons Corner Market
Assessor's Plat 06 Lot 75 Land Unit 3
Smethfield, Rhode Island
Prepared for
Colbea Enterprises, LLC
7 Starline Way, Cranston, Rhode Island 02921
Tel: 401-943-1000 Fax: 401-943-3939
DE Job No: 1873-003-802 Copyright 2020 by Diprete Engineering Associates, Inc.

NOTE:

1. SEE SITE PLAN FOR SIDEWALK WIDTH AND GRADES.
2. SURFACE TEXTURE SHALL BE A LIGHT BROOMING, TRANSVERSE TO THE LENGTH OF THE WALK. CARE SHALL BE TAKEN TO ASSURE A UNIFORM GRADE, FREE OF SAGS AND SHORT GRADE CHANGES.
3. ALL IMPROVEMENTS SHALL COMPLY WITH THE "AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG)" BY THE DEPARTMENT OF JUSTICE.
4. PROVIDE EXPANSION JOINTS AT MIN. 16 FT. O.C. WITH PREFORMED JOINT FILLER AND SEALANT.
5. PROVIDE CONTROL JOINTS AT 5' O.C.
6. SHALL BE IN ACCORDANCE WITH THE R.I. STANDARD SPECIFICATIONS.



SECTION



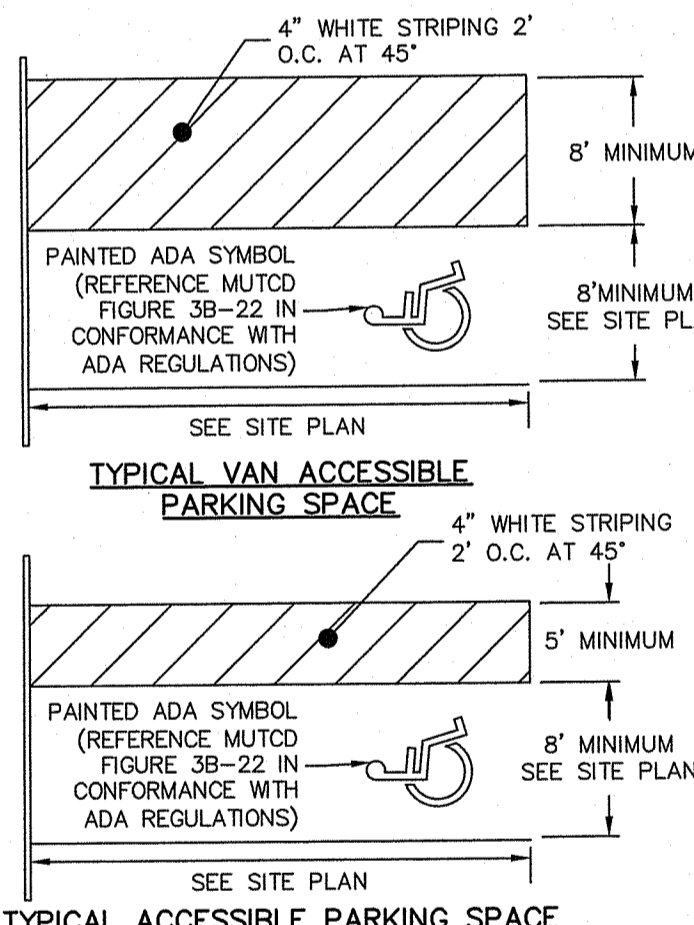
JOINT DETAIL

EXPANSION JOINT

CONTROL JOINT

Monolithic Concrete Sidewalk

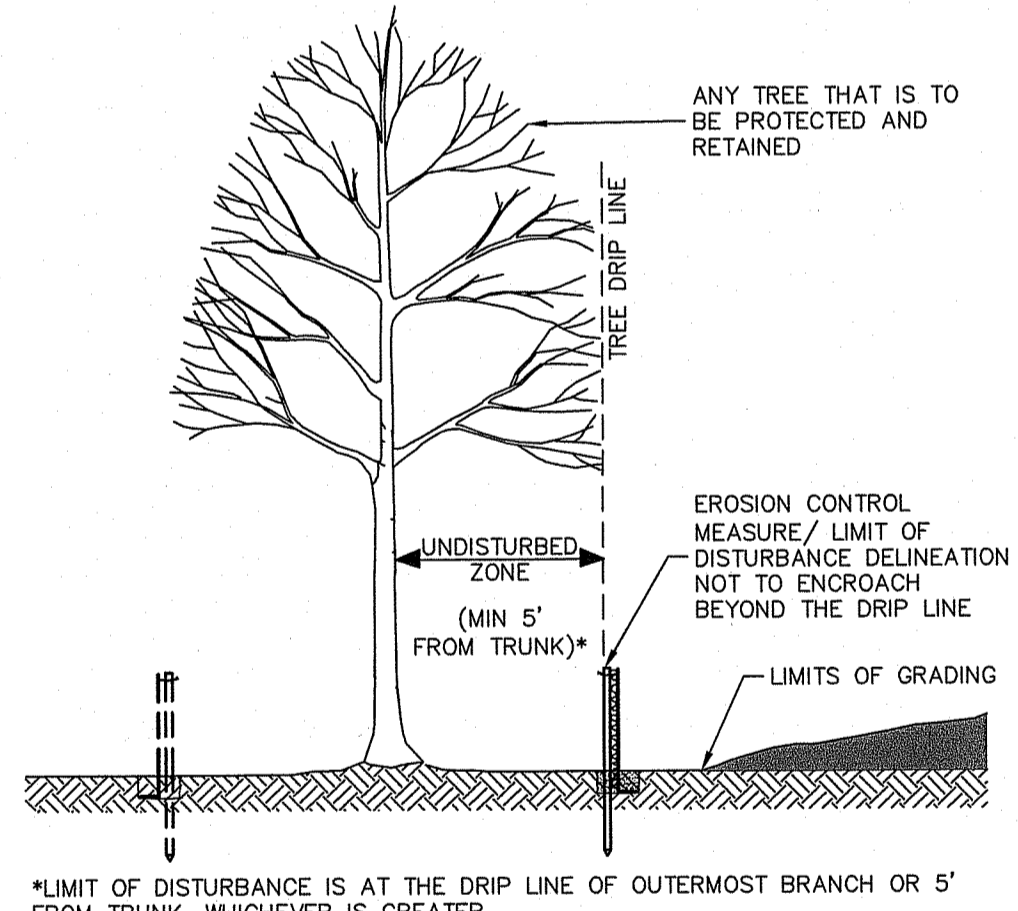
NOT TO SCALE



- NOTES:**
1. ALL PAINT MUST BE FAST DRYING TRAFFIC PAINT, MEETING THE REQUIREMENTS OF AASHTO M248 TYPE F. PAINT MUST BE APPLIED AS SPECIFIED BY THE MANUFACTURER.
 2. APPLY 2 COATS OF TRAFFIC TYPE PAINT. APPLY THE FIRST COAT NOT LESS THAN FIVE DAYS AFTER THE PLACING OF BITUMINOUS PAVEMENT. ALLOW FOR MINIMUM CURE TIME OF 24 HOURS BETWEEN APPLICATIONS.
 3. FOR REDEVELOPMENT SITES, PAINT COLOR AND SIZE/STENCILING OF PAINTED ADA SYMBOL MUST MATCH ADJACENT SPACES, SO LONG AS THEY COMPLY WITH THE CURRENT EDITIONS OF ALL APPLICABLE STANDARDS AND REGULATIONS.

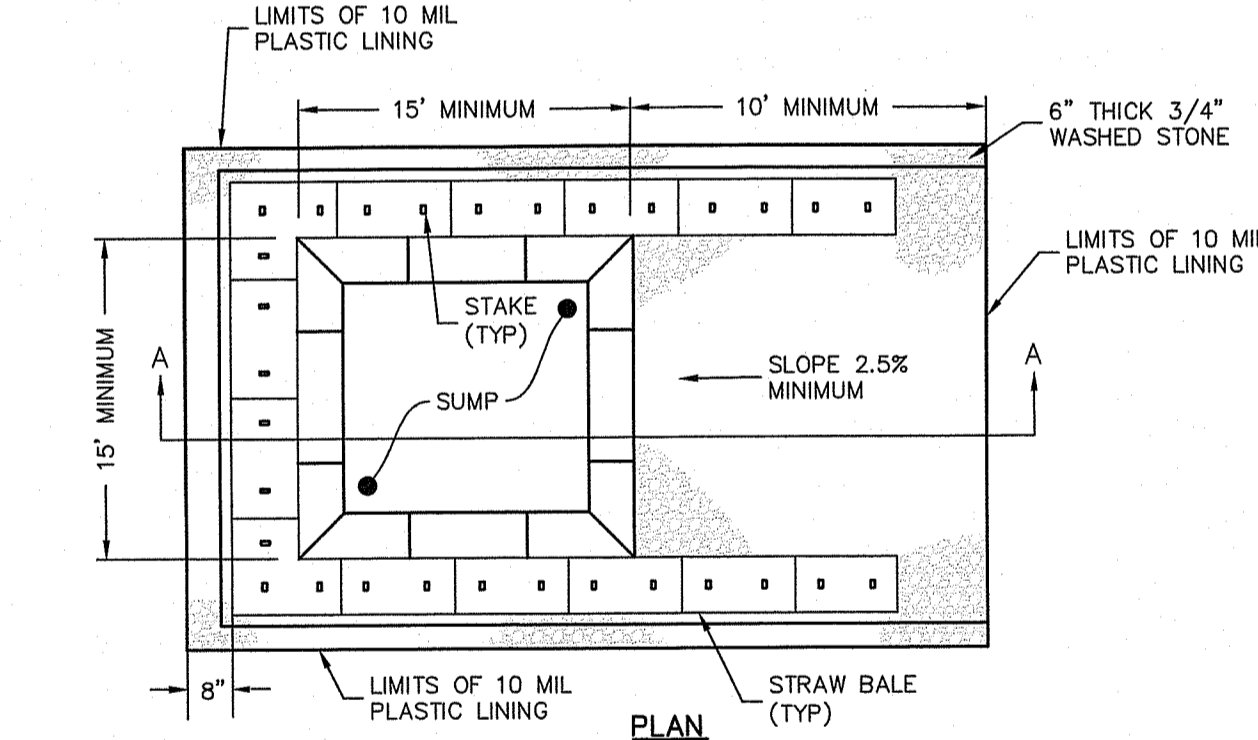
Typical Accessible Parking Spaces

NOT TO SCALE

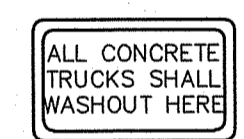


Tree Protection Detail

NOT TO SCALE



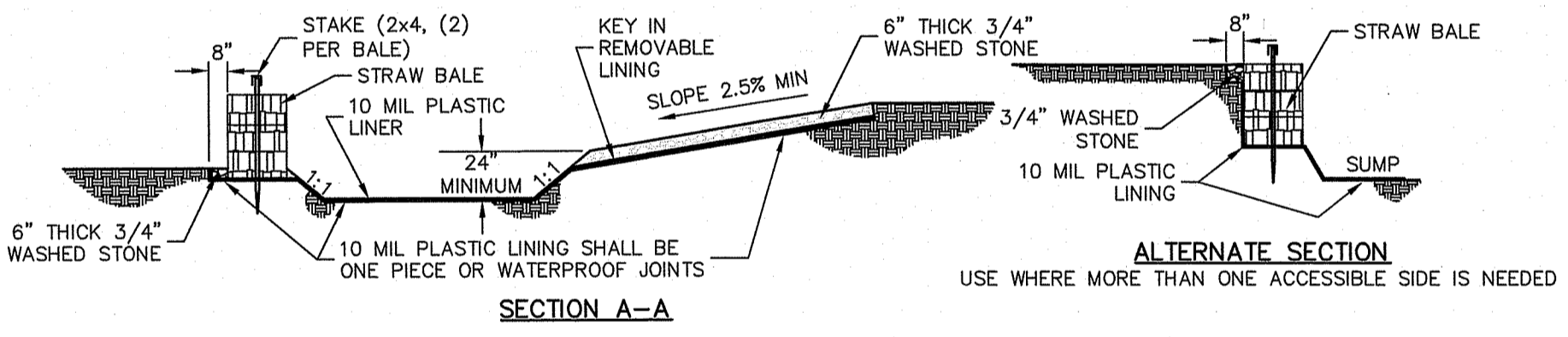
PLAN



WASHOUT SIGN

Concrete Washout Area

NOT TO SCALE

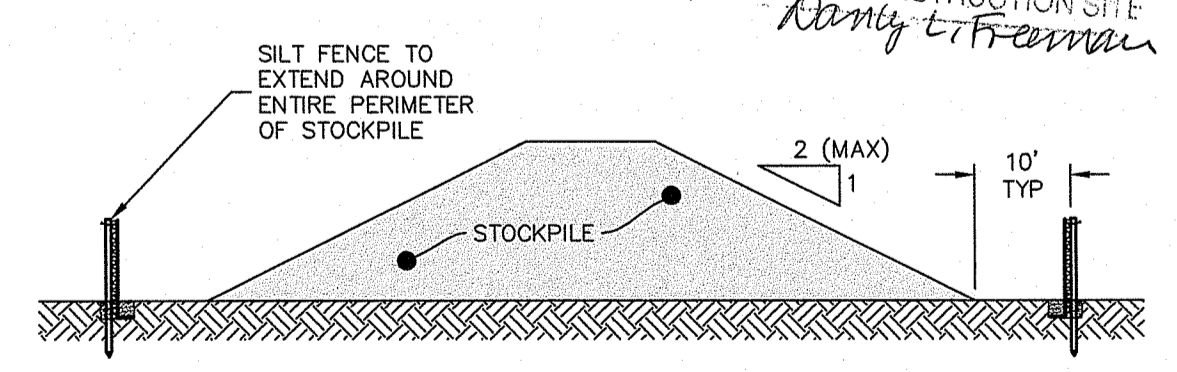


SECTION A-A

NOTES:

1. PIT IS SPECIFICALLY DESIGNATED, DIKED AND IMPERVIOUS CONTAINMENT TO PREVENT CONTACT BETWEEN CONCRETE WASH AND STORMWATER.
2. WASH WATER SHALL NOT BE ALLOWED TO FLOW TO SURFACE WATER.
3. FACILITY MUST HOLD SUFFICIENT VOLUME TO CONTAIN CONCRETE WASTE WITH A MINIMUM FREEBOARD OF 12".
4. FACILITY SHALL NOT BE FILLED BEYOND 95% CAPACITY UNLESS A NEW FACILITY IS CONSTRUCTED.
5. SAWCUT PORTLAND CEMENT CONCRETE, RESIDUE FROM SAWCUTTING TO BE DISPOSED OF IN THE PIT.
6. CONCRETE WASHOUTS SHALL BE LOCATED A MINIMUM OF 100' FROM DRAINAGE WAYS, INLETS, SUBURBANE MANAGEMENT FRESH WATER WETLANDS, BROOKS OR STREAMS.
7. MANUFACTURED CONCRETE WASHOUT DEVICES MAY BE USED IF REMOVED FROM THE SITE WHEN 95% FULL CAPACITY IS REACHED. APPROVED PLANS MUST BE AT CONSTRUCTION SITE.

DATED JUN 18 2020
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE
 APPROVED BY: *Adam J. Ferraro*

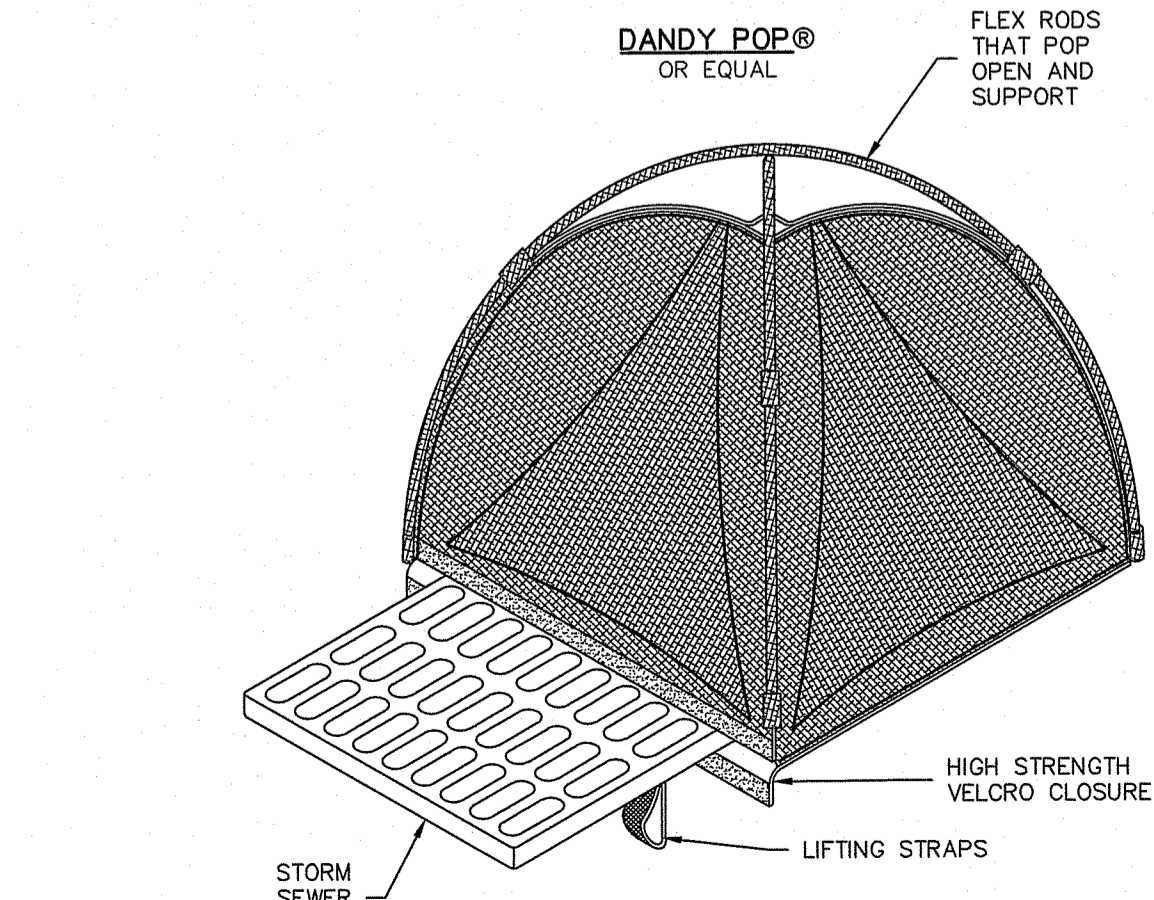


NOTES:

1. ALL STOCKPILES MUST BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH SECTION 3 "STOCKPILE AND STAGING AREA MANAGEMENT" OF THE RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK (CURRENT EDITION).
2. DIVERT ALL STORMWATER AWAY FROM STOCKPILES.
3. SOIL STOCKPILES THAT ARE NOT TO BE USED WITHIN 30 DAYS MUST BE SEED AND MULCHED IMMEDIATELY AFTER FORMATION OF THE STOCKPILE WITH SEED MIX COMPATIBLE WITH THE SOIL TYPE.
4. STOCKPILE AND SILT FENCE MUST BE INSPECTED AT LEAST ONCE PER WEEK AND AFTER RAIN EVENTS IN EXCESS OF 1/2" OF RAINFALL. REPAIR/ REPLACE SILT FENCE (AND STOCKPILE COVERS WHERE APPLICABLE) AS NEEDED TO KEEP THEM FUNCTIONING ADEQUATELY.
5. SEDIMENT TRAPPED BY SILT FENCES MUST BE REMOVED AND PROPERLY DISPOSED OF WHENEVER SIGNIFICANT ACCUMULATION OCCURS.

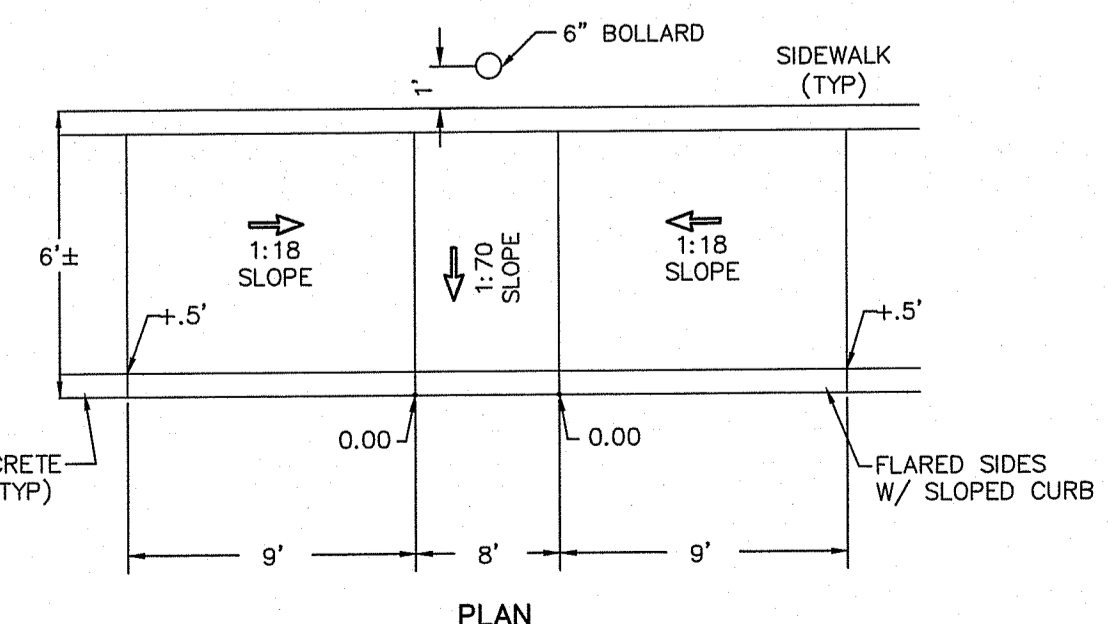
Stockpile Protection

NOT TO SCALE



Inlet Sediment Control Devices

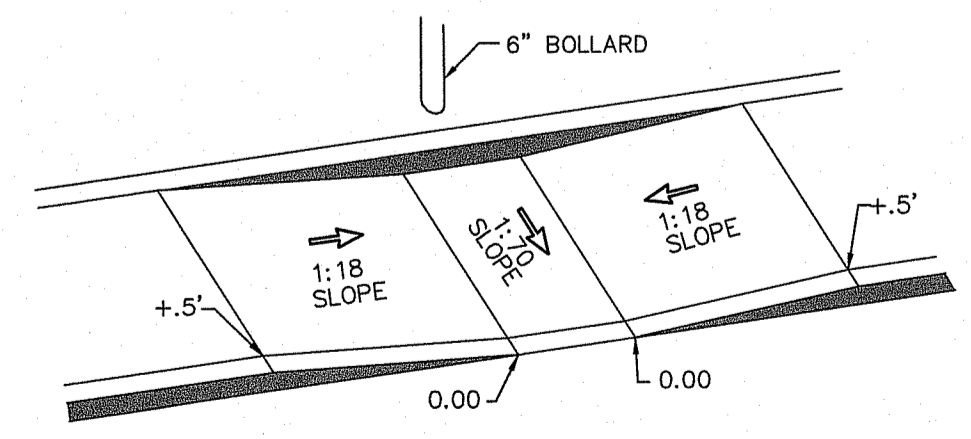
NOT TO SCALE



PLAN

Typical Accessible Curb Ramp

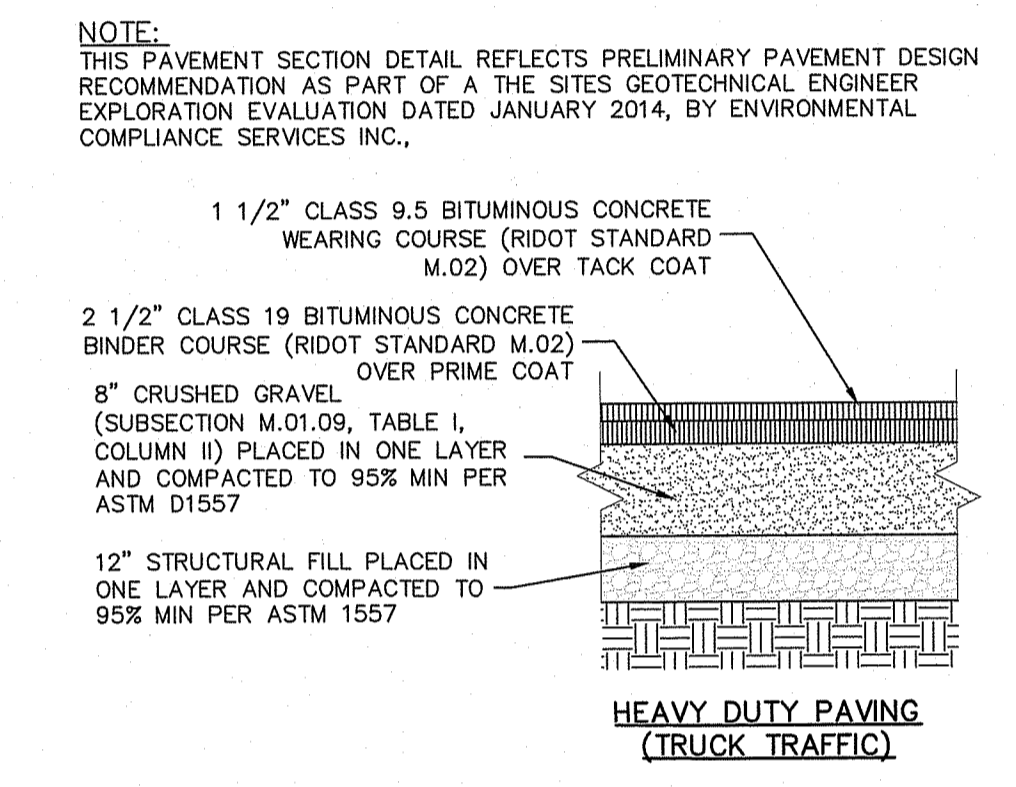
NOT TO SCALE



PERSPECTIVE VIEW

Pavement Tie-In Detail

NOT TO SCALE



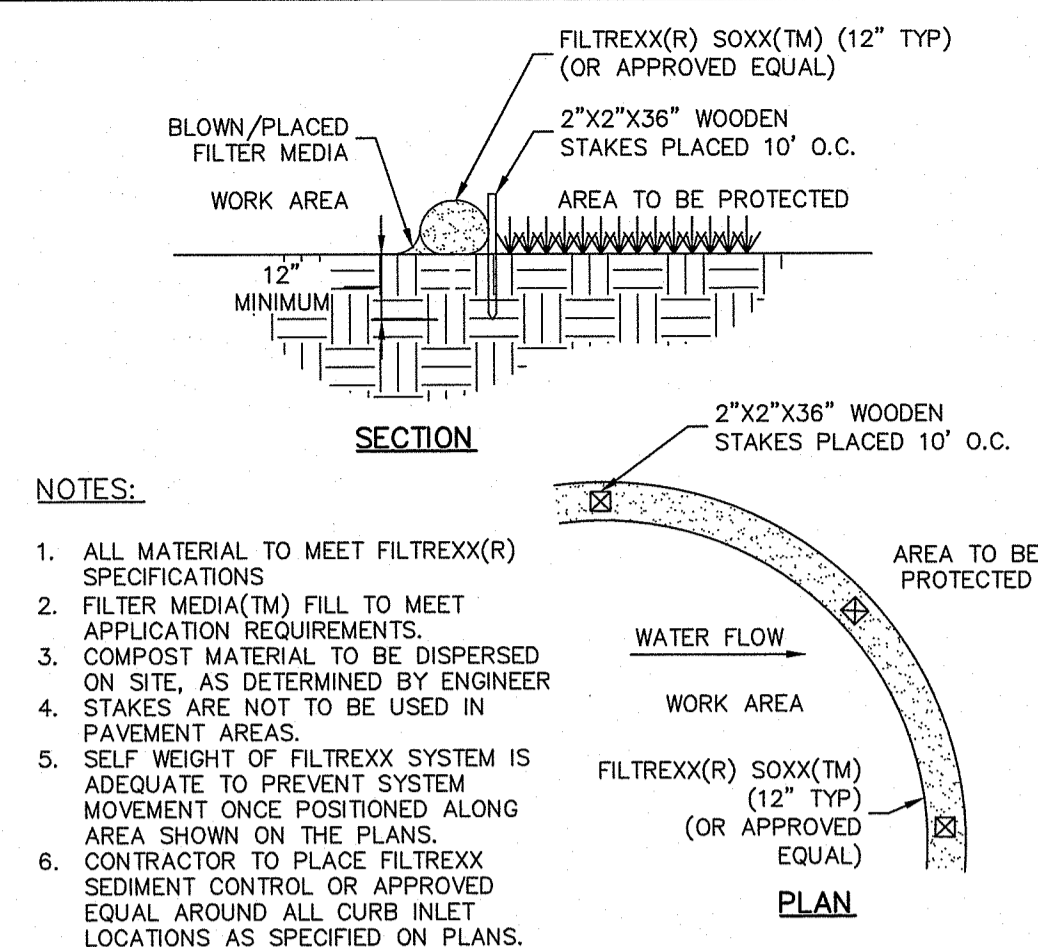
Typical Pavement Section

NOT TO SCALE

NOTE:
 THIS PAVEMENT SECTION DETAIL REFLECTS PRELIMINARY PAVEMENT DESIGN RECOMMENDATION AS PART OF A THE SITES GEOTECHNICAL ENGINEER EXPLORATION EVALUATION DATED JANUARY 2014, BY ENVIRONMENTAL COMPLIANCE SERVICES INC.,

Filtrexx Sediment Control (or Approved Equal)

NOT TO SCALE

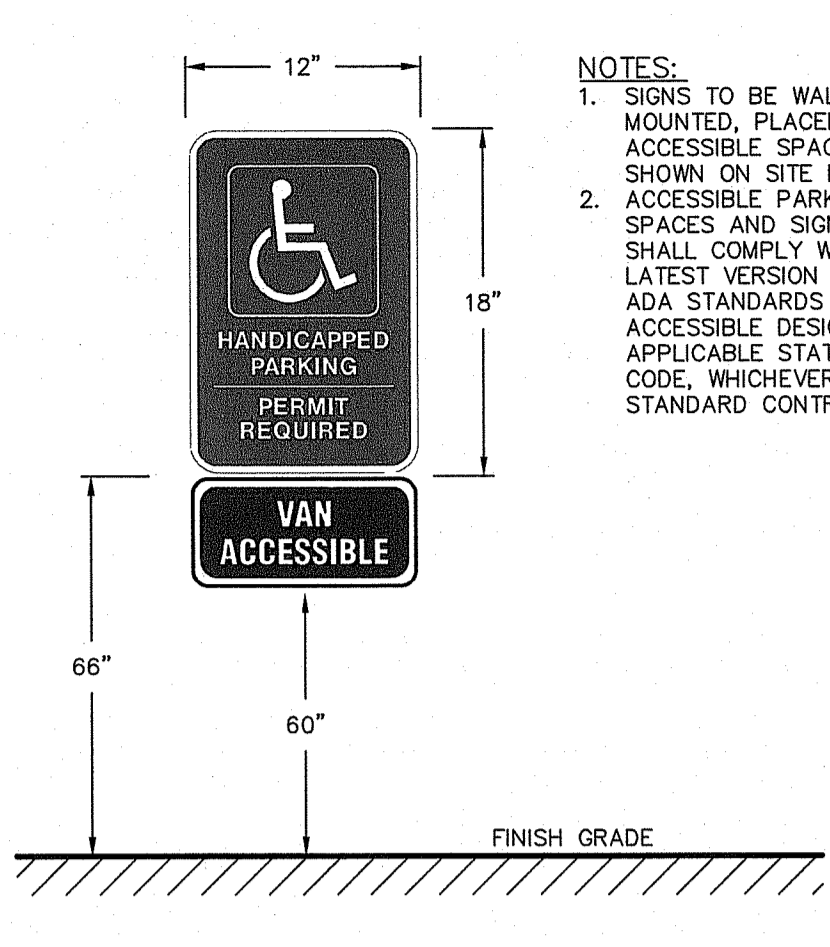


NOTES:

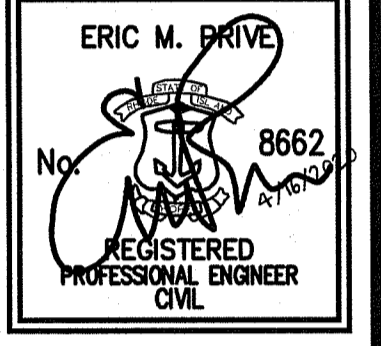
1. ALL MATERIAL TO MEET FILTREXX(R) SPECIFICATIONS
2. FILTER MEDIA(TM) FILL TO MEET APPLICATION REQUIREMENTS.
3. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER
4. STAKES ARE NOT TO BE USED IN PAVEMENT AREAS.
5. SELF WEIGHT OF FILTREXX SYSTEM IS ADEQUATE TO PREVENT SYSTEM MOVEMENT ONCE POSITIONED ALONG AREA SHOWN ON THE PLANS.
6. CONTRACTOR TO PLACE FILTREXX SEDIMENT CONTROL OR APPROVED EQUAL AROUND ALL CURB INLET LOCATIONS AS SPECIFIED ON PLANS.

ADA Sign Detail

NOT TO SCALE



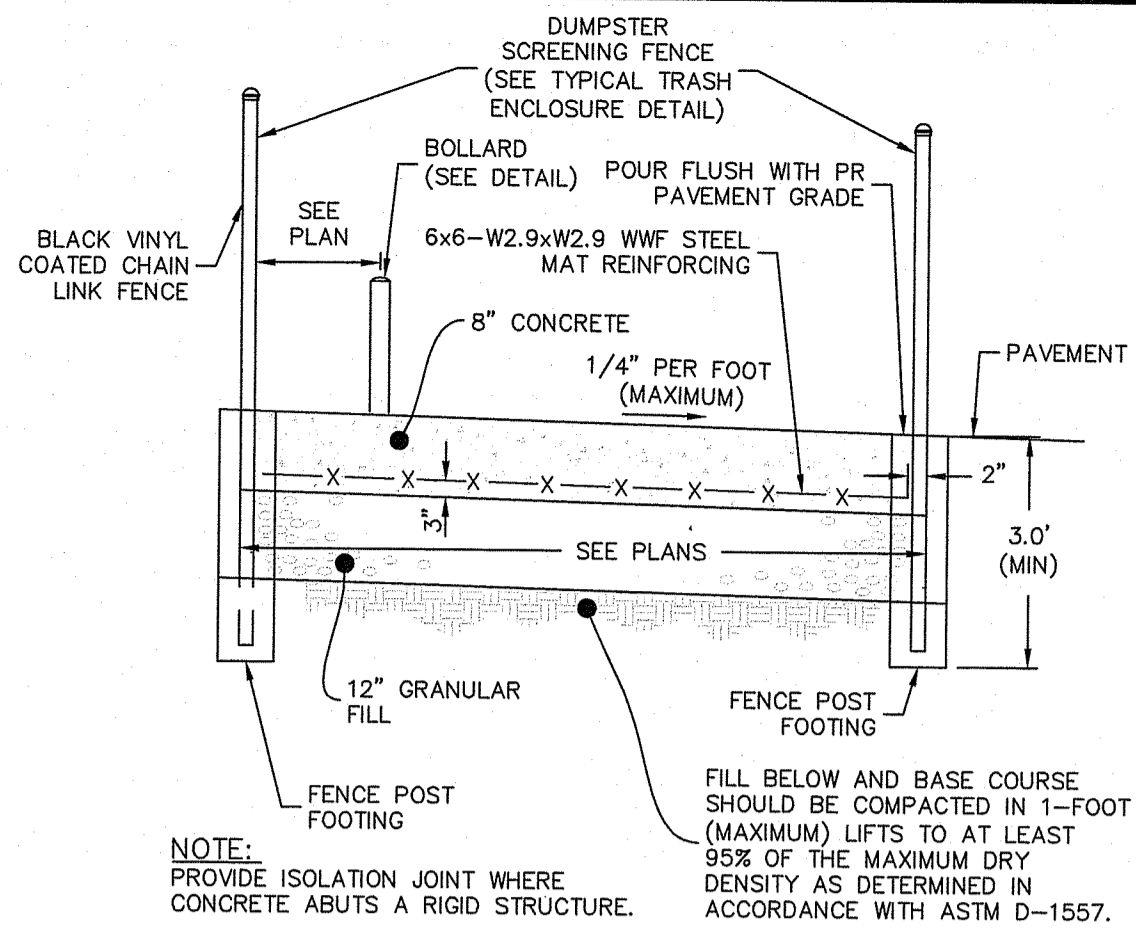
- NOTES:**
1. SIGNS TO BE WALL MOUNTED, PLACED BEHIND ACCESSIBLE SPACES AS SHOWN ON SITE PLAN.
 2. ACCESSIBLE PARKING SPACES AND SIGNAGE SHALL COMPLY WITH LATEST VERSION OF THE ADA STANDARDS FOR ACCESSIBLE DESIGN OR THE APPLICABLE STATE BUILDING CODE, WHICHEVER STANDARD CONTROLS.



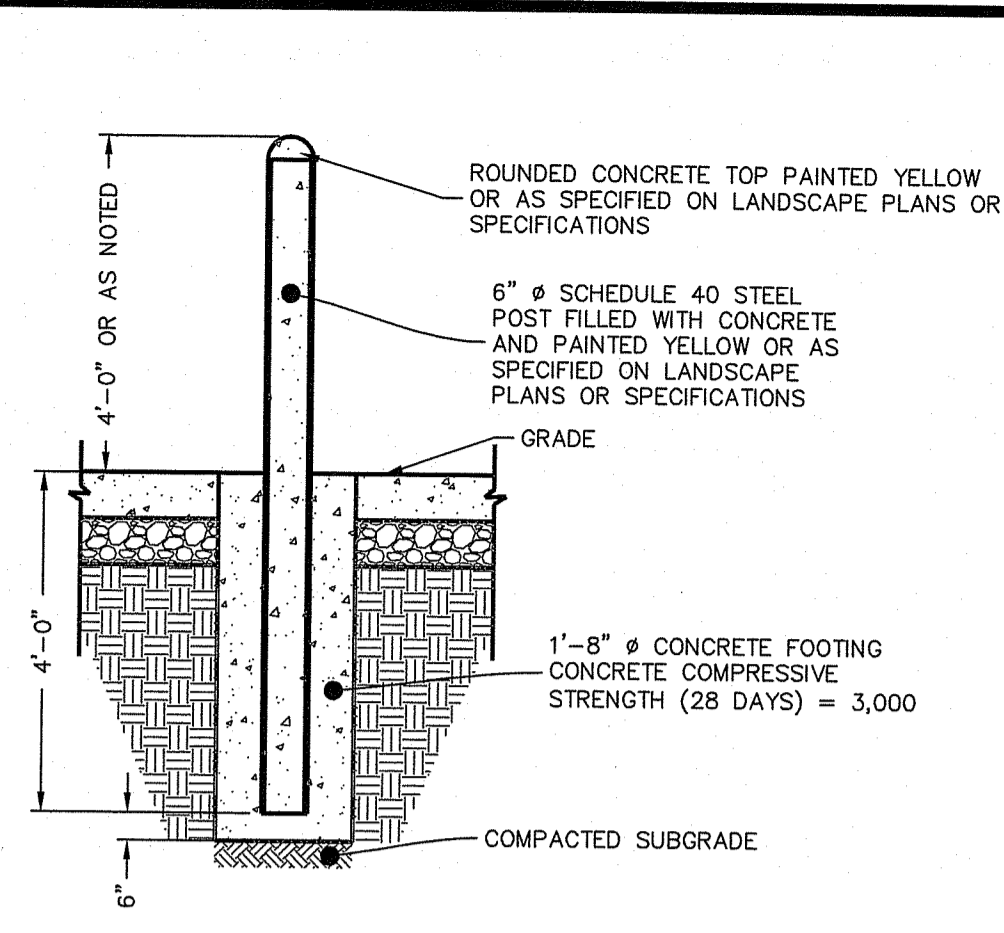
This plan set must not be used for construction purposes unless stamped 'Issued for Construction' and stamped by a registered Professional Engineer of Diprete Engineering.
 Diprete Engineering only warrants plans on a Diprete Engineering title block stamped by registered Professional Engineer. Diprete Engineering does not warrant plans by any other party.
 The contractor is responsible for all of the means, methods, and materials used in the construction of the project and for the conformance in the implementation of this plan and design.

NO.	DATE	DESCRIPTION	BY	DESIGN BY: P.A.A.
1	09-20-2020	ISSUED FOR CONSTRUCTION	E.M.D.	
2	09-25-2020	REVISION TO COMMENTS	E.M.D.	
3	09-25-2020	BUILDING DEPARTMENT PERMIT SET	E.M.D.	
4	09-25-2020	SPECIAL USE PERMIT SET	E.M.D.	
5	09-25-2020	NO. DATE		

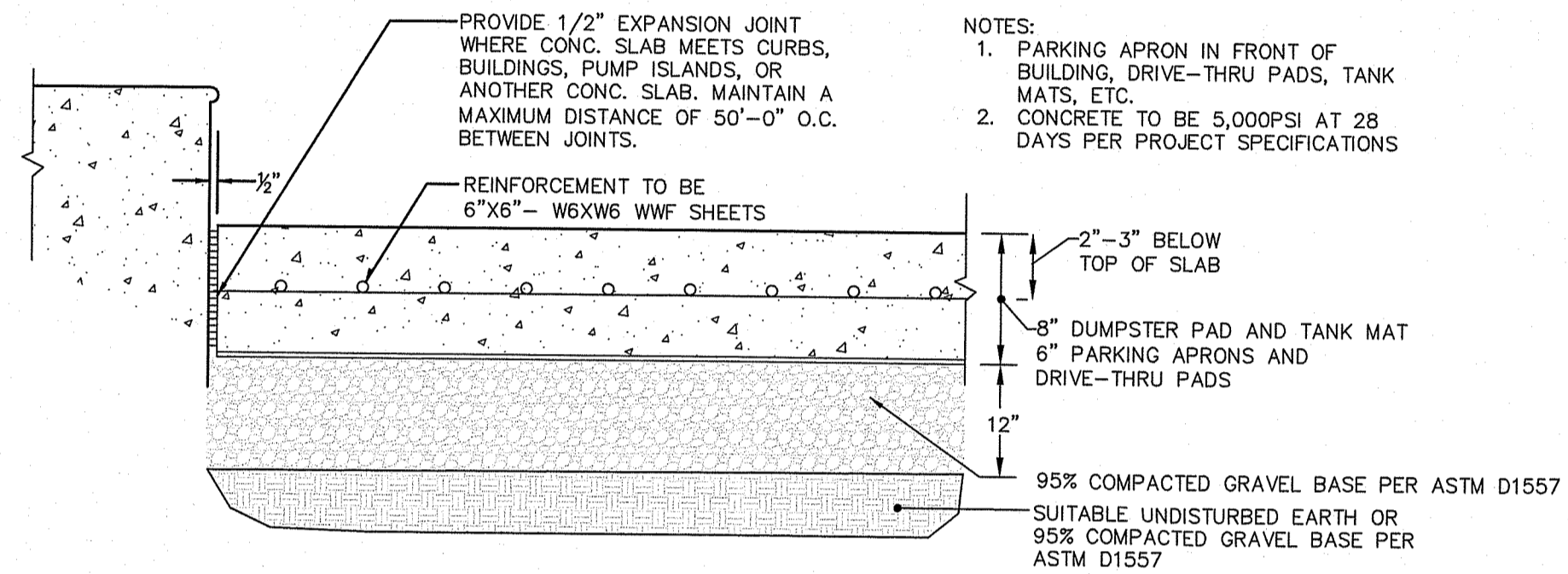
Detail Sheet - 1
Seasons Corner Market
 Assessor's Plat 46 Lot 75 Land Unit 3
 Smithfield, Rhode Island
 Prepared for
Colbea Enterprises, LLC
 7 Starline Way, Cranston Rhode Island 02921
 tel:402-943-0005 fax:402-943-5309



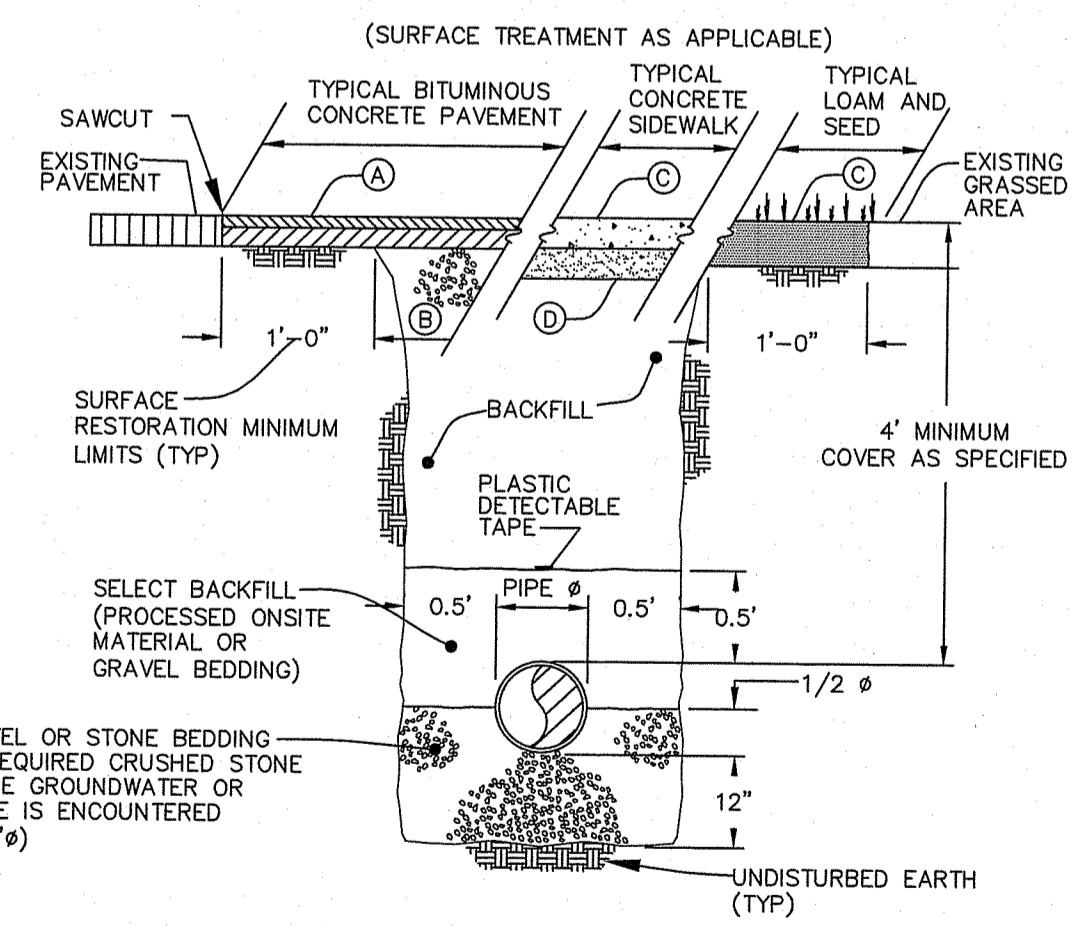
Concrete Trash Enclosure Pad with Bollards and Fence
NOT TO SCALE



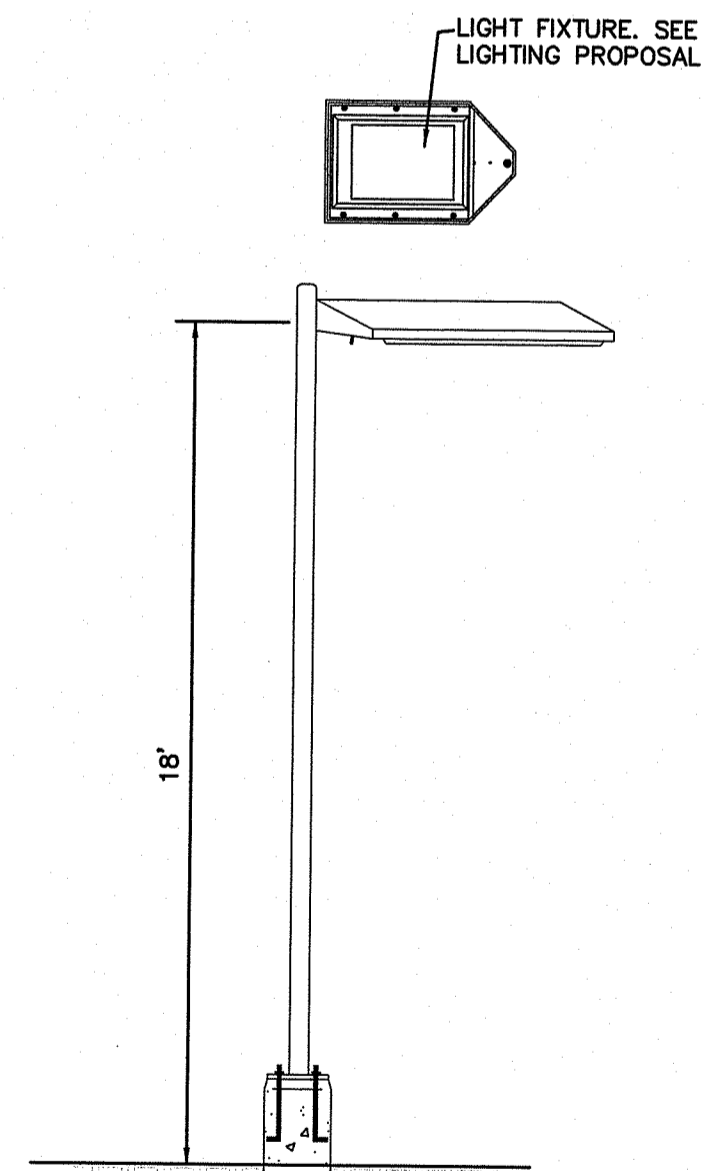
Bollard Detail
NOT TO SCALE



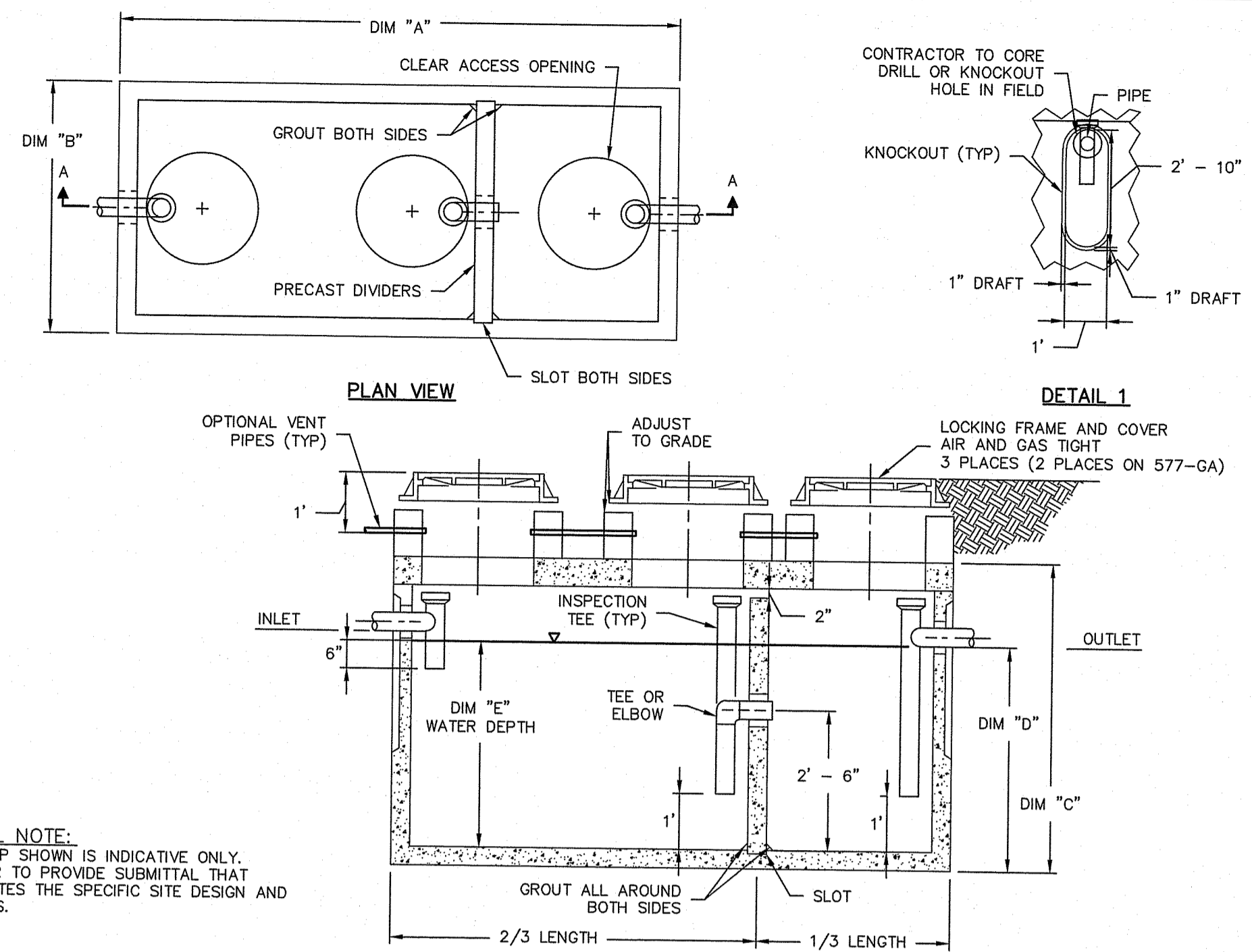
Concrete Apron Pad/Mat Detail
NOT TO SCALE



Typical Water And Drainage Trench
NOT TO SCALE



Site Light
NOT TO SCALE

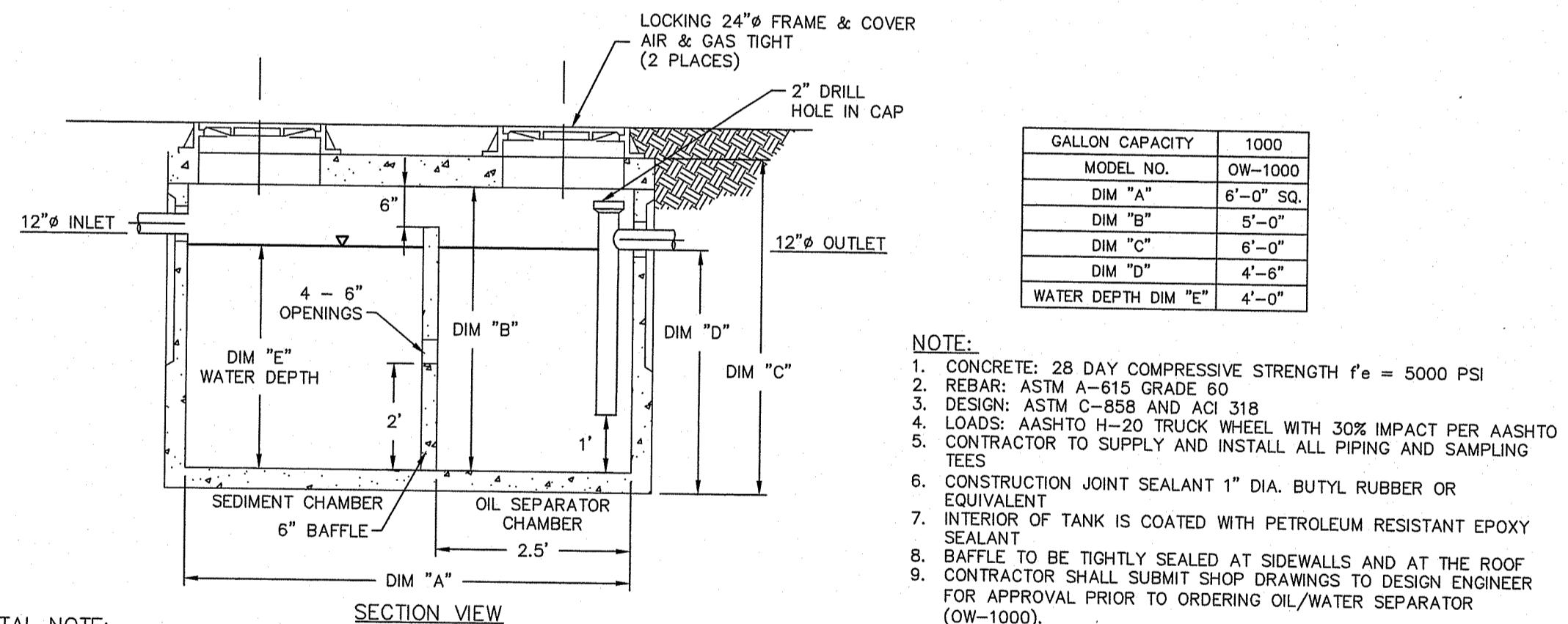


SECTION VIEW A-A

GALLON CAPACITY	600	800	1000	1500	2000	2500	3000	4000	5000	6000	7000
UV MODEL NO.	577-GA	577-GA	4484-GA	5106-GA	612-GA	612-GA	712-GA	712-GA	814-GA	818-GA	818-GA
DIM "A"	7'-0"	7'-0"	9'-0"	11'-2"	12'-8"	12'-8"	13'-1"	13'-1"	15'-7"	19'-11"	19'-11"
DIM "B"	4'-8"	4'-8"	5'-0"	5'-8"	6'-8"	6'-8"	8'-0"	8'-0"	9'-7"	9'-11"	9'-11"
DIM "C"	7'-0"	7'-0"	7'-2"	7'-2"	8'-0"	8'-0"	8'-2"	8'-2"	10'-0 1/2"	10'-5"	10'-5"
DIM "D"	3'-7"	4'-8"	4'-2"	4'-3"	4'-7"	5'-6 1/2"	5'-1"	6'-8"	7'-4"	7'-1"	8'-0"
WATER DEPTH DIM "E"	3'-3"	4'-4"	3'-10"	3'-11"	3'-9 1/2"	4'-9"	4'-8"	6'-3"	6'-1"	5'-8"	6'-7"

- NOTE:**
1. CONCRETE: 28 DAY COMPRESSIVE STRENGTH F'C = 4500 PSI
 2. REBAR: ASTM A-615 GRADE 60
 3. MESH: ASTM A-185 GRADE 65
 4. DESIGN: ACI-318-02 BUILDING CODE, ASTM C-857 "MINIMUM STRUCTURAL DESIGN LOADING FOR UNDERGROUND PRECAST CONCRETE UTILITY STRUCTURES"
 5. LOADS: H-20 TRUCK WHEEL WITH 30% IMPACT PER AASHTO
 6. FILL WITH CLEAN WATER PRIOR TO START-UP OF SYSTEM
 7. CONTRACTOR TO SUPPLY AND INSTALL ALL PIPING AND SAMPLING TEES
 8. GRAY WATER ONLY, BLACK WATER SHALL BE CARRIED BY SEPARATE SIDE SEWER

Grease Interceptor
NOT TO SCALE



SECTION VIEW

1,000 Gallon Oil/Water Separator
(Old Castle Precast or Approved Equal)

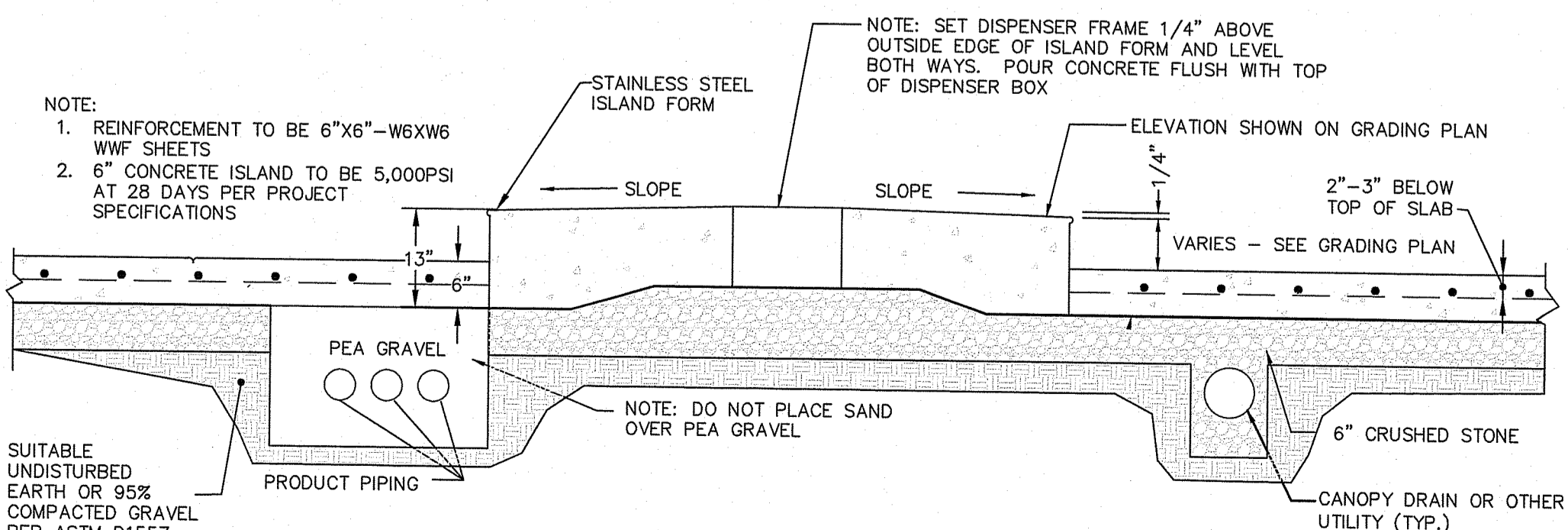
NOT TO SCALE

GALLON CAPACITY	1000
MODEL NO.	OW-1000
DIM "A"	6'-0" SQ.
DIM "B"	5'-0"
DIM "C"	6'-0"
DIM "D"	4'-6"
WATER DEPTH DIM "E"	4'-0"

- NOTE:**
1. CONCRETE: 28 DAY COMPRESSIVE STRENGTH f'c = 5000 PSI
 2. REBAR: ASTM A-615 GRADE 60
 3. DESIGN: ASTM C-858 AND ACI 318
 4. LOADS: AASHTO H-20 TRUCK WHEEL WITH 30% IMPACT PER AASHTO
 5. CONTRACTOR TO SUPPLY AND INSTALL ALL PIPING AND SAMPLING TEES
 6. CONSTRUCTION JOINT SEALANT 1" DIA. BUTYL RUBBER OR EQUIVALENT
 7. INTERIOR OF TANK IS COATED WITH PETROLEUM RESISTANT EPOXY SEALANT
 8. BAFFLE TO BE TIGHTLY SEALED AT SIDEWALLS AND AT THE ROOF
 9. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO DESIGN ENGINEER FOR APPROVAL PRIOR TO ORDERING OIL/WATER SEPARATOR (OW-1000).

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL

DATED: 11/18/2021 FILE # 20-0021
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE
Abigail Freeman



Section Thru Pump Island
NOT TO SCALE

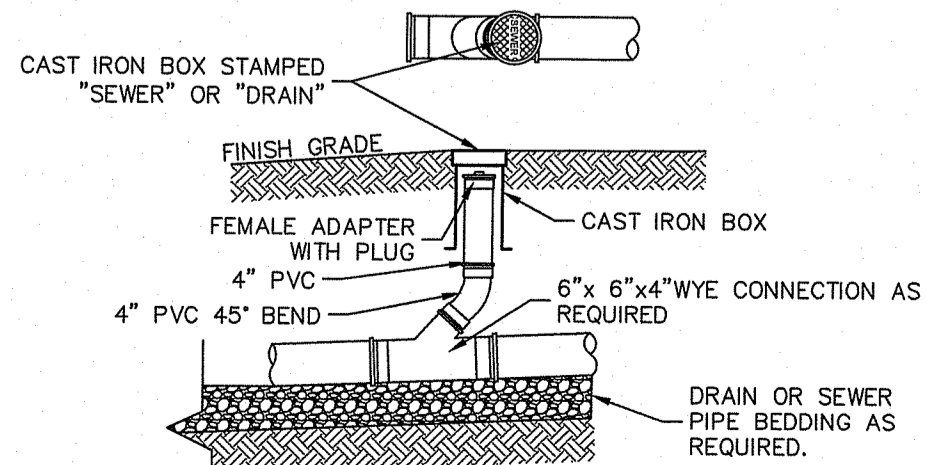
- NOTE:**
1. REINFORCEMENT TO BE 6"x6"-W6XW6 WWF SHEETS
 2. 6" CONCRETE ISLAND TO BE 5,000PSI AT 28 DAYS PER PROJECT SPECIFICATIONS

SUITABLE UNDISTURBED EARTH OR 95% COMPACTED GRAVEL PER ASTM D1557

NOTE: DO NOT PLACE SAND OVER PEA GRAVEL

ELEVATION SHOWN ON GRADING PLAN
VARIES - SEE GRADING PLAN

- NOTES:**
1. ALL PIPE AND FITTINGS SHALL BE SCH-35 PVC FOR SEWER, OR HDPE PIPE FOR DRAINAGE.
 2. PIPE BEDDING AND BACKFILL FOR CLEANOUTS SHALL MEET APPLICABLE DRAINAGE AND SEWER SPECIFICATIONS UNLESS OTHERWISE NOTED BY ENGINEER.
 3. FOR SEWER CLEANOUTS, A MINIMUM OF ONE CLEANOUT SHALL BE PLACED ON EACH LATERAL, 5' FROM THE STRUCTURE. FOR LONGER RUNS, CLEANOUTS SHALL BE LOCATED EVERY 100'. FOR DRAIN CLEANOUTS SEE PLANS FOR LOCATION AS REQUIRED.
 4. ALL CLEANOUTS SHALL BE SLEEVED WITH A CAST-IRON BOX SET FLUSH WITHIN THE FINAL GRADE OF GRASS, HARDSCAPE, ROADWAYS OR CONCRETE AREAS. CAST IRON BOX NOT REQUIRED FOR STORMWATER BMP AREAS. COVERS SHALL BE INSCRIBED WITH THE WORD "SEWER," OR "DRAIN" ACCORDINGLY. FOR ROADWAY APPLICATIONS, THE CAST-IRON BOX MUST MEET H-20 LOADING.



Cleanout
NOT TO SCALE

- 1-1/2" BITUMINOUS CONCRETE TYPE I-1 WEARING SURFACE, ON 2-1/2" BITUMINOUS CONCRETE MODIFIED BINDER COURSE
- 12" COMPACTED GRAVEL BASE
- PORTLAND CEMENT CONCRETE SIDEWALK
- 4" COMPACTED SAND BASE.
- 6" LOAM AND SEED

SUITABLE UNDISTURBED EARTH OR 95% COMPACTED GRAVEL PER ASTM D1557

CONCRETE FOUNDATION & REINFORCEMENT PER MANUFACTURER'S RECOMMENDATIONS

Diprete Engineering
Two Stafford Court Cranston, RI 02920
tel 401-943-3000 fax 401-664-6006 www.diprete-eng.com

Boston • Providence • Newport

ERIC M. PRIVE
No. 8662
REGISTERED PROFESSIONAL ENGINEER
CIVIL

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REV.	DATE	DESCRIPTION	BY
1	07/15/2020	Special User Name Set	AS.M
2	04/16/2021	RIPRA Response to Comments	AS.M
3	07/15/2020	Building Update	AS.M

Design By: P.A.A.

Detail Sheet - 2

Seasons Corner Market
Assessor's Plat 06 lot 75 Land Unit 3
Prepared for
Smithfield, Rhode Island

Colbea Enterprises, LLC
7 Shalme Way, Cranston Rhode Island 02921
tel 401-943-3000 fax 401-943-3309

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