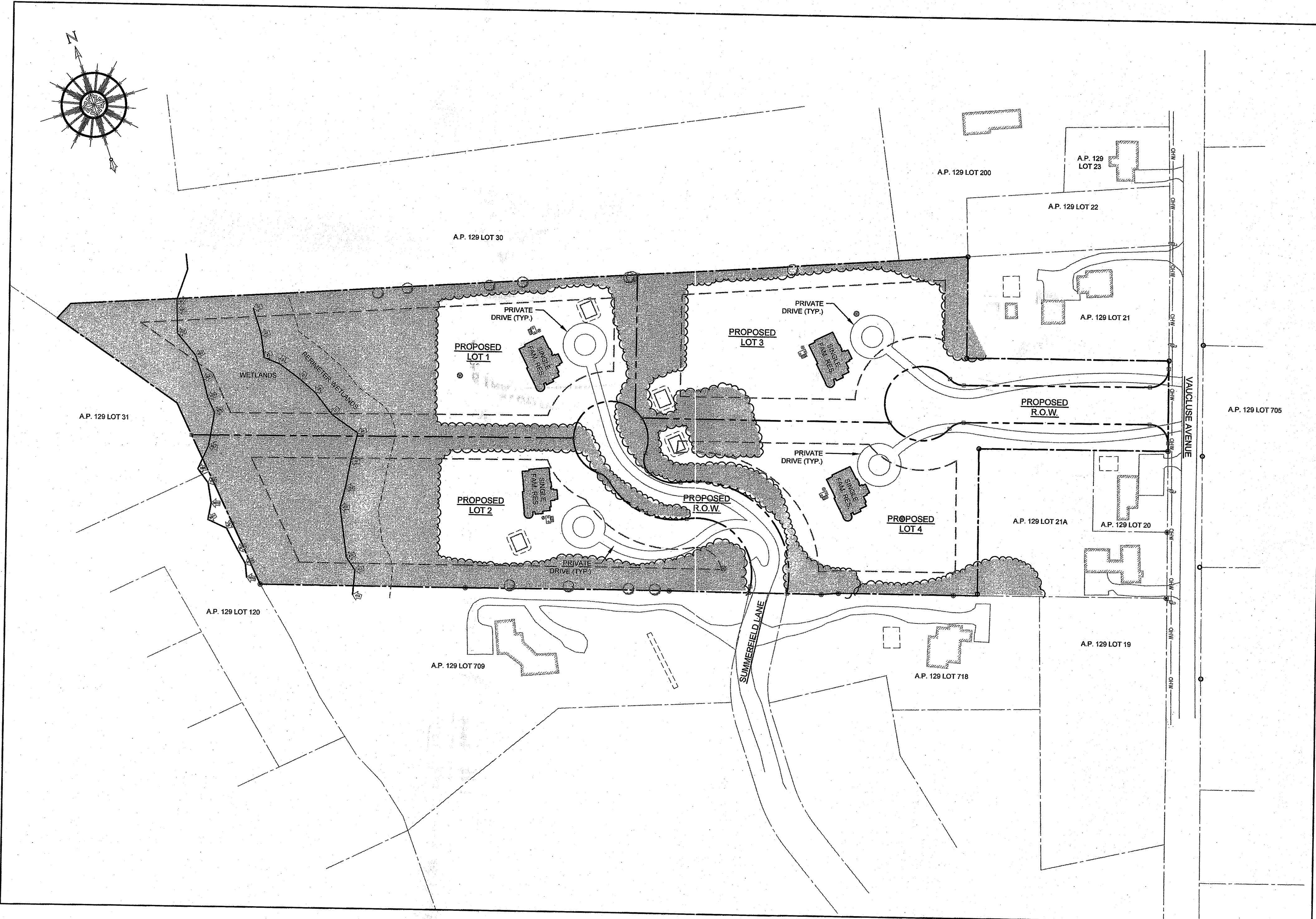


SUMMERFIELD / VAUCLUSE SUBDIVISION

**4 LOT RESIDENTIAL SUBDIVISION
ASSESSOR'S PLAT 129 LOT 210
VAUCLUSE AVENUE AND SUMMERFIELD LANE
MIDDLETOWN, RHODE ISLAND**

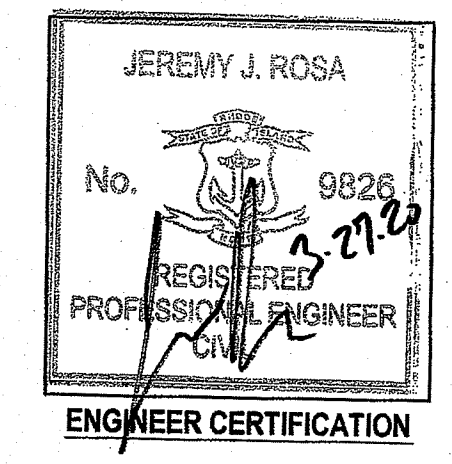
Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.



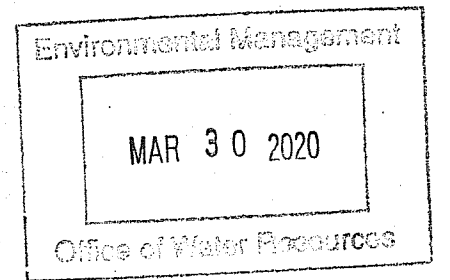
SITE PLAN

SCALE = 1"=80'

CIVIL ENGINEER: NORTHEAST ENGINEERS & CONSULTANTS, INC.
 8 VALLEY ROAD MIDDLETOWN RI 02842
 PHONE (401) 849-0810 FAX (401) 848-4169
 WWW.NORTHEASTENGINEERS.COM



OWNER: ERIC & MELISSA KIRTON
 99 SUMMERFIELD LANE
 MIDDLETOWN, RI 02842



DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 REVIEWED SITE PLAN APPLICATION NO.: 20-0036
 DATED APR 30 2020
 SEE LETTER OF SAME DATE.

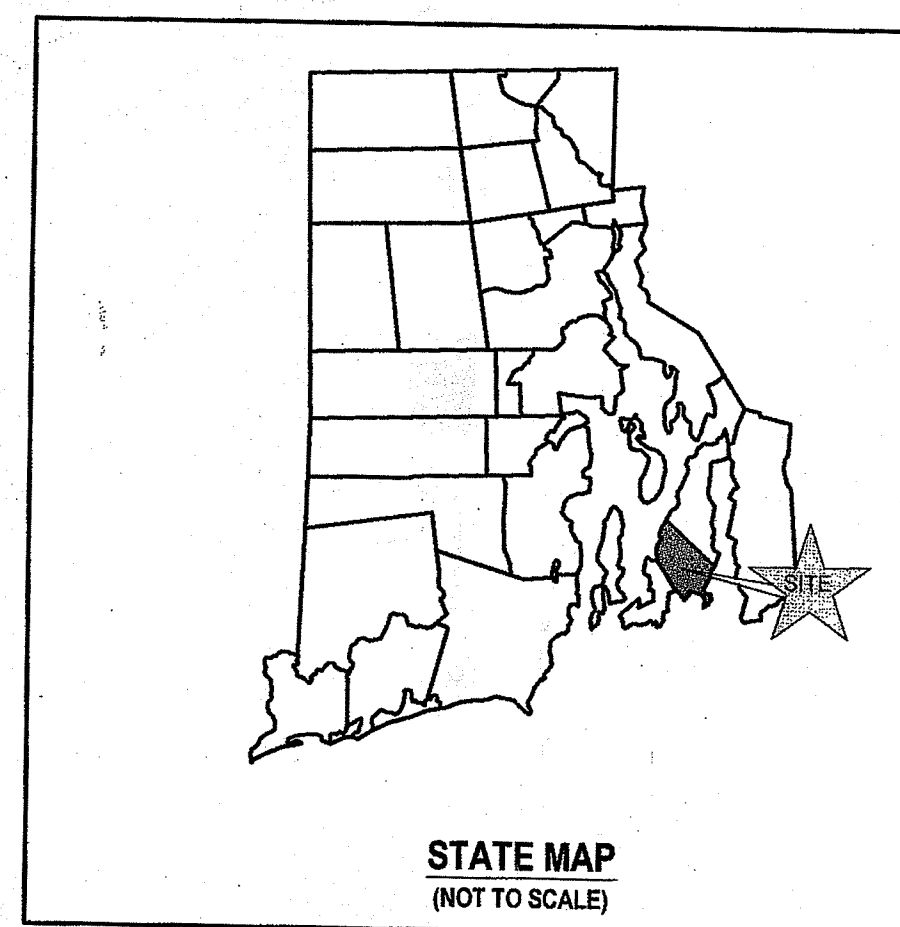
MARCH 27, 2020 PERMIT SET

PLAN INDEX

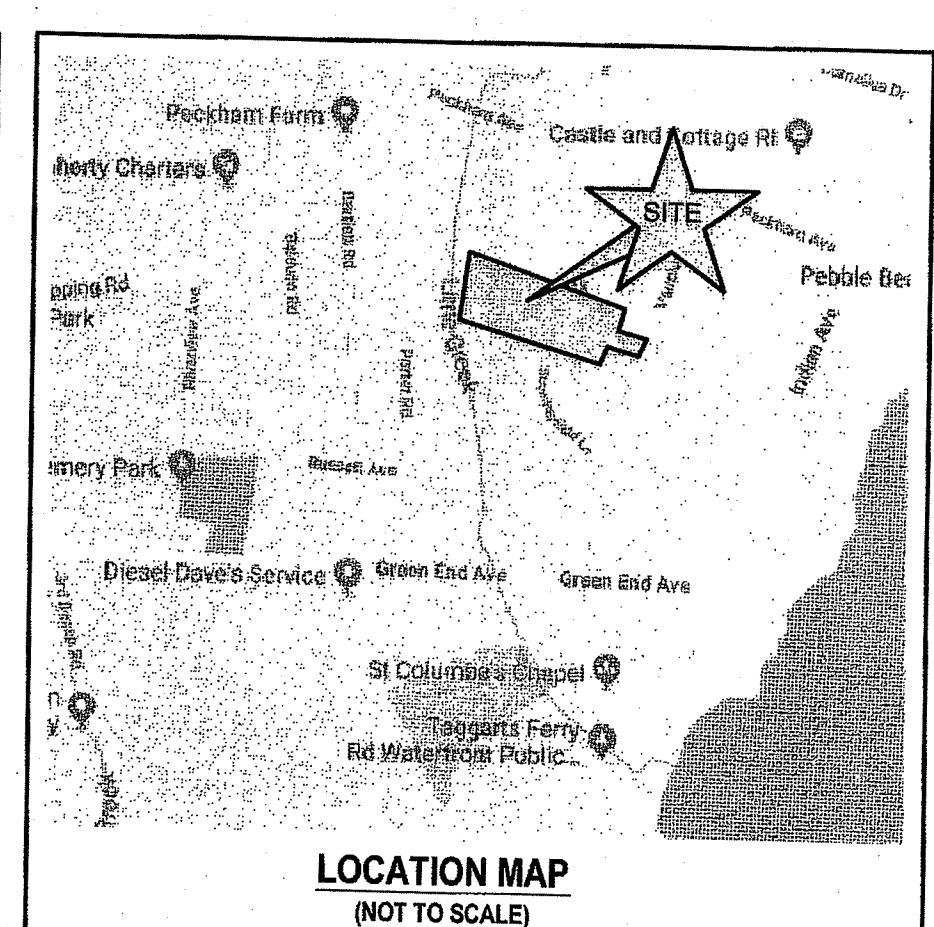
SITE/CIVIL ENGINEERING PLANS

- TITLE SHEET
- NOTES
- EXISTING CONDITIONS AND PROPERTY LINE PLAN
- PROPOSED SUBDIVISION PLAN
- PROPOSED LAYOUT PLAN AND UTILITY PLAN
- PROPOSED GRADING AND DRAINAGE PLAN
- PROPOSED SOIL EROSION AND SEDIMENT CONTROL PLAN
- PROPOSED DETAILS

- SHEET 1
- SHEET 2
- SHEET 3
- SHEET 4
- SHEET 5
- SHEET 6
- SHEET 7
- SHEETS 8-10



STATE MAP
(NOT TO SCALE)



LOCATION MAP
(NOT TO SCALE)

SUBMISSION AND REVISION SUMMARY

AGENCY OR REVISION	DATE:	COMMENTS:
TOWN OF MIDDLETOWN	AUG 5, 2019	MASTER PLAN SUBMISSION
TOWN OF MIDDLETOWN	SEPT 2, 2019	REVISED SUBDIVISION CONFIGURATION
TOWN OF MIDDLETOWN	NOV 20, 2019	PRELIMINARY SUBMISSION
TOWN OF MIDDLETOWN	MARCH 9, 2020	FINAL SUBMISSION
RIDEM	MARCH 27, 2020	RESPONSE TO COMMENTS

GENERAL NOTES

- PROPERTY LINES ARE THE RESULT OF A FIELD SURVEY BY NORTHEAST ENGINEERS & CONSULTANTS, INC. IN NOVEMBER 2019.
- TOPOGRAPHIC CONTOURS TAKEN FROM 2011 RIGIS LIDAR 2 FOOT CONTOUR DATA.
- HORIZONTAL DATUM SHOWN IS RHODE ISLAND STATE PLANE COORDINATES (ZONE 3800).
- SITE AND SITE ADJACENT FEATURES SCALED FROM AERIAL PHOTOGRAPHY.
- WETLAND EDGES DELINEATED BY GPS BY NATURAL RESOURCE SERVICES, INC. IN AUGUST 2019. WETLAND FLAGS A1 THROUGH A13 FIELD LOCATED BY NORTHEAST ENGINEERS & CONSULTANTS, INC. IN NOVEMBER 2019.
- SUBJECT SITE IS NOT SITUATED IN A 100-YEAR FLOOD ZONE AS SHOWN ON FEMA FIRM FOR NEWPORT COUNTY, PANEL 113 OF 226 LAST REVISED SEPTEMBER 4, 2013.
- THE CONTRACTOR SHALL VERIFY THE PROPOSED LAYOUT AND DETAILS WITH THEIR RELATIONSHIP TO THE EXISTING SITE SURVEY. CONTRACTOR SHALL ALSO VERIFY ALL DIMENSIONS, SITE CONDITIONS AND MATERIAL SPECIFICATIONS AND SHALL NOTIFY THE OWNER AND ENGINEER OF ANY ERRORS, OMISSIONS OR DISCREPANCIES BEFORE COMMENCING WORK.
- THE UNDERGROUND UTILITIES KNOWN TO EXIST BY THE ENGINEER FROM HIS SEARCH OF RECORDS ARE INDICATED ON THE PLANS. CONTRACTOR SHALL VERIFY THE LOCATIONS AND DEPTHS OF THE UTILITIES AND EXERCISE PROPER CARE IN EXCAVATING IN THE AREA. ALL DAMAGED PORTIONS SHALL BE REPLACED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE AFFECTED UTILITY COMPANY AND SHALL BE THE CONTRACTOR'S RESPONSIBILITY. PERSONAL INJURY RESULTING FROM CONTACT WITH EXISTING UTILITIES SHALL BE THE CONTRACTOR'S RESPONSIBILITY. WHEREVER CONNECTION OF NEW UTILITIES TO EXISTING UTILITIES ARE SHOWN ON THE PLANS, THE CONTRACTOR SHALL EXPOSE THE EXISTING LINES AT THE PROPOSED CONNECTIONS TO VERIFY THEIR LOCATIONS AND DEPTHS PRIOR TO EXCAVATION FOR NEW LINES. (PLEASE CALL DIG SAFE PRIOR TO CONSTRUCTION AT 1-888-DIG-SAFE AND ALL LOCAL UTILITY COMPANIES.)
- THE CONTRACTOR SHALL NOTIFY ALL AGENCIES TO VERIFY THE ACTUAL LOCATIONS OF ALL UTILITIES IN THE PROJECT AREA PRIOR TO EXCAVATING.
- THE CONTRACTOR SHALL RESTORE TO THEIR ORIGINAL CONDITION OR BETTER, ALL IMPROVEMENTS DAMAGED AS A RESULT OF THE CONSTRUCTION, INCLUDING PAVEMENTS, EMBANKMENTS, CURBS, SIGNS, LANDSCAPING, STRUCTURES, UTILITIES, WALLS, FENCES, ETC. UNLESS PROVIDED FOR SPECIFICALLY IN THE PROPOSAL.
- CONTRACTOR SHALL EXERCISE EXTREME CAUTION TO PRESERVE STREET MONUMENTS.
- STREET MONUMENTS THAT ARE DISTURBED SHALL BE RESTORED UNDER THE LICENSED LAND SURVEYOR'S DIRECTION. ANY NEW DATA SUCH AS ELEVATIONS SHALL BE CERTIFIED BY THE SURVEYOR, AND SUBMITTED TO THE TOWN OF PORTSMOUTH.
- DEVIATIONS OR CHANGES FROM THESE PLANS WILL NOT BE ALLOWED UNLESS APPROVED BY THE PROJECT ENGINEER, APPROPRIATE AGENCY AND OWNER.
- RELOCATION OF ANY UTILITIES SHALL BE AT THE OWNERS EXPENSE AND BE COMPLETED WITH THE UTILITY WORK. THE OWNER SHALL BE NOTIFIED AS TO THE RELOCATION REQUIRED PRIOR TO THE START OF CONSTRUCTION.
- AN APPROVED SET OF PLANS AND ALL APPLICABLE PERMITS MUST BE AVAILABLE AT THE CONSTRUCTION SITE AT ALL TIMES.
- CONTRACTOR AGREES THAT HE/SHE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF THE CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT TO BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEERS HARMLESS FROM ANY AND ALL LIABILITY, REAL AND ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM "THE SOLE NEGLIGENCE OF THE OWNER OR PROJECT ENGINEER."
- ALL TRAFFIC CONTROL SHALL CONFORM TO THE MANUAL FOR UNIFORM TRAFFIC CONTROL DEVICES LATEST EDITION INCLUDING ALL REVISIONS.
- EACH LOT IS SUBJECT TO PERMITTING THROUGH RIDEM OWTS FOR SEWAGE DISPOSAL. LOTS 1 AND 2 ARE SUBJECT TO FURTHER PERMITTING THROUGH RIDEM WETLANDS.
- LOTS SHALL BE SUBJECT TO THE TOWN'S DEVELOPMENT IMPACT FEES ORDINANCE.
- AT THE TIME OF DEVELOPMENT OF EACH LOT THE DEVELOPER WILL BE REQUIRED TO COMPLY WITH ALL APPLICABLE PROVISIONS OF THE TOWN'S CONSTRUCTION SITE RUNOFF AND EROSION CONTROL ORDINANCE (TOWN CODE CHAPTER 151) AND THE STORM WATER MANAGEMENT ORDINANCE (CHAPTER 153), INCLUDING COMPLIANCE WITH THE APPROVED STORM WATER MANAGEMENT PLAN FOR THE SUBDIVISION. THE NORTHWEST CORNER OF THE SITE IS LOCATED WITHIN A NATURAL HERITAGE AREA.
- THE SITE IS NOT LOCATED WITHIN AN AREA UNDER THE JURISDICTION OF A CRMC SPECIAL AREA MANAGEMENT PLAN.
- THE SITE IS NOT LOCATED WITHIN A PUBLIC DRINKING WATER SUPPLY WATERSHED.
- THE SITE IS NOT LOCATED WITHIN A WATERSHED PROTECTION DISTRICT.
- THE SITE IS NOT SITUATED IN A WELLHEAD PROTECTION AREA.
- THE SITE IS NOT CONSIDERED A GREENWAY/GREENSPACE PROPERTY.
- AT TIME OF CONSTRUCTION, EACH DRIVEWAY MUST BE REVIEWED AND APPROVED BY THE FIRE DEPARTMENT TO ENSURE ADEQUATE ACCESS FOR FIRE APPARATUS.
- DRIVEWAYS SHALL BE CONSTRUCTED TO PROVIDE A TURN-AROUND FOR EMERGENCY VEHICLES SUBJECT TO APPROVAL OF THE FIRE CHIEF AT THE TIME OF CONSTRUCTION.
- FINAL DESIGN OF THE SNOW REMOVAL AREA TO BE LOCATED AT THE END OF SUMMERFIELD LANE SHALL BE APPROVED BY THE DIRECTOR OF PUBLIC WORKS PRIOR TO CONSTRUCTION.

GRADING NOTES

- ADEQUATE PROVISIONS SHALL BE MADE TO PREVENT SURFACE WATERS FROM DAMAGING THE CUT FACE OF AN EXCAVATION OR THE SLOPED SURFACES OF A FILL. FURTHERMORE, ADEQUATE PROVISIONS SHALL BE MADE TO PREVENT SEDIMENT RUNOFF FROM LEAVING THE SITE.
- ALL GRADED AREAS SHALL BE SODDED OR PLANTED IMMEDIATELY AFTER THE GRUBBING WORK HAS BEEN COMPLETED.
- THE TOWN SHALL BE INFORMED OF THE LOCATION OF THE DISPOSAL SITE, IF ANY, FOR THE PROJECT.
- NO GRADING WORK SHALL BE DONE ON SATURDAYS, SUNDAYS AND HOLIDAYS AT ANY TIME WITHOUT PRIOR NOTICE TO THE TOWN, PROVIDED SUCH GRADING WORK IS ALSO IN CONFORMANCE WITH THE COMMUNITY NOISE CONTROL STANDARDS.
- THE LIMITS OF THE AREA TO BE GRADED SHALL BE FLAGGED BEFORE THE COMMENCEMENT OF THE GRADING WORK.
- ALL GRADING OPERATIONS SHALL BE PERFORMED IN CONFORMANCE WITH THE APPLICABLE PROVISIONS OF THE DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND THE TOWN.
- WHERE APPLICABLE AND FEASIBLE THE MEASURES TO CONTROL EROSION AND OTHER POLLUTANTS SHALL BE IN PLACE BEFORE GRADING WORK IS INITIATED.
- TEMPORARY EROSION CONTROLS SHALL NOT BE REMOVED BEFORE PERMANENT EROSION CONTROLS ARE IN-PLACE AND ESTABLISHED.
- IF THE GRADING WORK INVOLVES CONTAMINATED SOIL, THEN ALL GRADING WORK SHALL BE DONE IN CONFORMANCE WITH APPLICABLE STATE AND FEDERAL REQUIREMENTS.
- NONCOMPLIANCE TO ANY OF THE ABOVE REQUIREMENTS SHALL MEAN IMMEDIATE SUSPENSION OF ALL WORK, AND REMEDIAL WORK SHALL COMMENCE IMMEDIATELY. ALL COSTS INCURRED SHALL BE BILLED TO THE VIOLATOR. FURTHERMORE, VIOLATORS SHALL BE SUBJECT TO ADMINISTRATIVE, CIVIL AND/OR CRIMINAL PENALTIES.

UTILITY NOTES

- THE LOCATIONS OF PROPOSED ELECTRICAL CONDUITS AND CONNECTIONS TO THE EXISTING OVERHEAD LINES IN VAUCLUSE AVENUE AND THE UNDERGROUND SERVICES IN SUMMERFIELD LANE ARE PRELIMINARY. FINAL DESIGN OF THE ELECTRICAL SERVICES ARE SUBJECT TO DESIGN REVIEW AND APPROVAL OF NATIONAL GRID.
- THE LOCATIONS OF WELLS ARE PRELIMINARY.
- ELECTRIC, TELEPHONE AND CABLE SERVICES SHALL BE INSTALLED UNDERGROUND. LOCATIONS OF SERVICES ARE PRELIMINARY AND ARE SUBJECT TO DESIGN AND REVIEW BY THE PROVIDING ENTITIES.
- PROPOSED ONSITE WASTEWATER TREATMENT SYSTEMS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL MANAGEMENT'S RULES ESTABLISHING MINIMUM STANDARDS RELATING TO LOCATION, DESIGN, CONSTRUCTION, AND MAINTENANCE OF ONSITE WASTEWATER TREATMENT SYSTEMS REVISED JULY 16, 2014. SEE GENERAL OWTS NOTES THIS SHEET.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL ASSUMPTIONS, DEDUCTIONS, OR CONCLUSIONS HE/SHE MAY MAKE OR DERIVE FROM THE SUBSURFACE INFORMATION OR DATA FURNISHED ON THE PLANS. THE CONTRACTOR MUST SATISFY HIMSELF/HERSELF THROUGH HIS/HER OWN INVESTIGATIONS AS TO WHAT SUBSURFACE CONDITIONS ARE TO BE ENCOUNTERED.
- IF THE CONTRACTOR ELECTS NOT TO EXPOSE AND VERIFY ALL EXISTING UNDERGROUND UTILITIES AND STRUCTURES AT CROSSINGS PRIOR TO PIPELINE EXCAVATION, HE/SHE FORFEITS HIS/HER RIGHTS FOR ANY CLAIMS FOR COMPENSATION CAUSED BY ANY CONFLICTS WITH EXISTING UTILITIES AND STRUCTURES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER DISPOSAL OF ALL EFFLUENT ASSOCIATED WITH THE CONSTRUCTION ACTIVITY AND THE DISINFECTION AND HYDROTESTING OPERATIONS TO SAFEGUARD PUBLIC HEALTH AND SAFETY IN ACCORDANCE WITH APPLICABLE DEPARTMENT OF HEALTH REQUIREMENTS. ALL PERMITS AND LICENSES FOR CONSTRUCTION WATER DISPOSAL, INCLUDING ALL APPLICATIONS, CHARGES, FEES, AND TAXES, ARE THE RESPONSIBILITY OF THE CONTRACTOR.
- ANY APPLICABLE UTILITY EASEMENTS SHALL BE ESTABLISHED PRIOR TO FINAL APPROVAL.
- THERE ARE NO NATURAL GAS MAINS IN THE VICINITY OF VAUCLUSE AVENUE OR SUMMERFIELD LANE PER NATIONAL GRID GAS.

DRAINAGE NOTES

- ALL DRAIN PIPES SHALL BE ADS-N12 TYPE IB SOILTIGHT PIPES UNLESS OTHERWISE NOTED ON THIS PLAN.
- INDIVIDUAL DRAINAGE SYSTEMS SHOWN ON THESE PERMIT PLANS ARE INTENDED TO TREAT AND DETAIN STORMWATER FROM THE INDIVIDUAL ROOFS. PLACEHOLDER SYSTEMS SHOWN ON THESE PLANS ARE DESIGNED FOR A 5,000 SQ. FT. ROOF. SHOULD FINAL IMPERVIOUS AREA PER LOT EXCEED THIS AMOUNT, THE SYSTEM DESIGNS MUST BE AMENDED BY A LICENSED PROFESSIONAL ENGINEER.

PUBLIC HEALTH SAFETY AND CONVENIENCE NOTES

- CONTRACTOR SHALL OBSERVE AND COMPLY WITH ALL FEDERAL, STATE, AND LOCAL LAWS REQUIRED FOR THE PROTECTION OF PUBLIC HEALTH, SAFETY AND ENVIRONMENTAL QUALITY.
- THE CONTRACTOR AT HIS/HER EXPENSE, SHALL KEEP THE PROJECT AREA AND SURROUNDING AREA FREE FROM RUBBISH, DUST, NOISE, EROSION, ETC. THE WORK SHALL BE DONE IN CONFORMANCE WITH THE AIR AND WATER POLLUTION CONTROL STANDARDS AND REGULATIONS OF ALL APPLICABLE FEDERAL, STATE AND LOCAL AGENCIES.
- NO CONTRACTOR SHALL PERFORM ANY CONSTRUCTION OPERATION SO AS TO CAUSE FALLING ROCKS, SILT OR DEBRIS IN ANY FORM TO FILL, SLIDE OR FLOW ONTO ADJOINING PROPERTIES, STREETS OR NATURAL WATERCOURSES. SHOULD SUCH VIOLATIONS OCCUR, THE CONTRACTOR MAY BE CITED AND THE CONTRACTOR SHALL IMMEDIATELY MAKE ALL REMEDIAL ACTIONS AS NECESSARY.
- THE CONTRACTOR SHALL PROVIDE, INSTALL AND MAINTAIN ALL NECESSARY SIGNS, LIGHTS, FLARES, BARRICADES, MARKERS, CONES, AND OTHER PROTECTIVE FACILITIES AND SHALL TAKE ALL NECESSARY PRECAUTIONS FOR THE PROTECTION, CONVENIENCE AND SAFETY OF THE PUBLIC.

SOIL EROSION AND SEDIMENT CONTROL NOTES (PER LOT)

- CONSTRUCTION SEQUENCE:
 - DO NOT BEGIN CONSTRUCTION UNTIL ALL LOCAL, STATE, AND FEDERAL PERMITS HAVE BEEN APPLIED FOR AND RECEIVED.
 - CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE LOCATED AS SHOWN ON PLANS. CONSTRUCTION TRAFFIC SHALL ENTER AND EXIT THE SITE VIA THIS ENTRANCE.
 - INSTALL SILT FENCES, SILT SACKS, CHECK DAMS AND/OR STRAW BALES AS INDICATED ON THE DRAWINGS TO CONTROL EROSION AND PREVENT SEDIMENT CONTAMINATION OF DOWNSTREAM WETLANDS PRIOR TO ANY EARTH MOVING ACTIVITIES.
 - REMOVE TREES ONLY WHERE NECESSARY. THE LIMITS OF CLEARING SHALL BE AS DEFINED ON THE SITE PLANS. ALL STUMPS TO BE GROUND OR DISPOSED OF OFF SITE.
 - ROUGH GRADE DRIVEWAY AND RESIDENCE BUILDING PAD.
 - BEGIN RESIDENCE CONSTRUCTION.
 - CONSTRUCT UTILITIES.
 - INSTALL ROOFTOP DRAINAGE SYSTEMS AND ESTABLISH A VEGETATIVE COVER.
 - LOAM AND SEED ANY AREAS OF FORMER PASTURE OR DIRT ROAD ACCESS.
 - INSTALL DRIVEWAY STONE AND GEOGRID.
 - MAINTAIN SITE IN ACCORDANCE WITH THE MAINTENANCE NOTES.
- NOTES:
 - DURING CONSTRUCTION AND THEREAFTER, EROSION CONTROL MEASURES ARE TO BE IMPLEMENTED AS NOTED. ONLY THE SMALLEST PRACTICAL AREA OF LAND SHOULD BE EXPOSED AT ANY ONE TIME. DURING DEVELOPMENT, WHEN LAND IS EXPOSED DURING DEVELOPMENT, THE EXPOSURE SHOULD BE KEPT TO THE SHORTEST PRACTICAL PERIOD OF TIME.
 - NO DRAINAGE AREAS SHALL BE USED FOR STOCKPILES OR STORAGE OF MATERIALS OR EQUIPMENT. THESE AREAS SHOULD BE DELINEATED IN THE FIELD PRIOR TO CONSTRUCTION.
 - ANY DISTURBED AREAS WHICH ARE TO BE LEFT TEMPORARILY AND WHICH WILL BE REGRADED LATER DURING CONSTRUCTION SHALL BE STABILIZED WITHIN FOURTEEN DAYS IN ACCORDANCE WITH TEMPORARY MEASURES IN THE VEGETATIVE PRACTICE NOTES.
 - AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED, AND STRIPPED OF TOP SOIL TO REMOVE VEGETATION, ROOTS, AND ANY OTHER OBJECTIONABLE MATERIAL.
 - ALL FILL SHALL BE COMPACTED TO 95% MAX. DENSITY TO REDUCE EROSION, SLIPPAGE, SETTLEMENT SUBSIDENCE, OR OTHER RELATED PROBLEMS.
 - FILL INTENDED TO SUPPORT BUILDING STRUCTURES AND CONDUITS, ETC., SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL CODES AND SPECIFICATIONS.
 - ALL FILL SHALL BE PLACED AND COMPACTED TO 95% MAX. DENSITY IN LAYERS NOT TO EXCEED 12" IN THICKNESS FILLS.
 - FILL MATERIAL SHALL BE FREE OF BRUSH, RUBBISH, ROCKS, LOGS, STUMPS, BUILDING DEBRIS, AND OTHER OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
 - FROZEN, SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIAL SHALL NOT BE INCORPORATED INTO FILLS.
 - FILL SHALL NOT BE PLACED ON A FROZEN FOUNDATION SUBGRADE.
 - SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER.
 - ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 14 DAYS OF FINISH GRADING IN ACCORDANCE WITH THE VEGETATIVE PRACTICE NOTES.
 - REMOVE TEMPORARY EROSION CONTROL MEASURES ONCE UPSLOPE AREAS HAVE BEEN PERMANENTLY STABILIZED AND VEGETATED AREAS HAVE RECEIVED TWO MOWINGS.
- VEGETATIVE PRACTICE:
PERMANENT MEASURES:
 - SLOPES SHALL NOT BE STEEPER THAN 1 VERTICAL TO 3 HORIZONTAL UNLESS OTHERWISE SPECIFIED.
 - LOAM AND SEED REQUIREMENTS ARE SPECIFIED IN RIDOT L 01 & L 02.
 - A MINIMUM OF 4 INCHES OF LOAM SHALL BE INSTALLED. THE LOAM SHALL BE GRADED TO A SMOOTH CONDITION AND STONES AND OTHER OBJECTS LARGER THAN 2 INCHES SHALL BE REMOVED.TEMPORARY MEASURES (FOR TEMPORARY PROTECTION OF DISTURBED AREAS)
 - LIMESTONE AND FERTILIZER SHALL BE APPLIED AT THE FOLLOWING RATE:
LIMESTONE: 3 TONS/ACRE
FERTILIZER: (10-10-10) 600 LBS/ACRE
 - E. SEED SHALL BE APPLIED AT THE FOLLOWING RATE:
WINTER RYE: 100 LBS/ACRE
F. STRAW MULCH SHALL BE APPLIED AT THE RATE OF 1.5 TONS/ACRE.
- MAINTENANCE
DURING THE PERIOD OF CONSTRUCTION AND/OR UNTIL LONG TERM VEGETATION IS ESTABLISHED, THE EROSION CONTROL MEASURES SHALL BE INSPECTED.
 - AT A MINIMUM THE SILT FENCING, STRAW BALES AND FILTER SOCK BARRIERS SHALL BE INSPECTED AND REPAIRED ONCE A WEEK AND / OR IMMEDIATELY FOLLOWING A SIGNIFICANT RAINFALL OR SNOWMELT. SEDIMENT TRAPPED BEHIND THE BARRIERS SHALL BE EXCAVATED WHEN IT REACHES A DEPTH OF 6" AND REGRADED ON THE SITE.
 - EROSION CONTROL BLANKETS SHALL BE INSPECTED ON A WEEKLY BASIS.
 - CONSTRUCTION ENTRANCES SHALL BE INSPECTED MONTHLY FOR EXCESSIVE ACCUMULATION OF SEDIMENT. IT MAY BE NECESSARY TO REMOVE STONES, EXCAVATE SEDIMENT, AND REPLACE STONES.
 - THE STABILIZED CONSTRUCTION ENTRANCES SHALL BE REMOVED PRIOR TO DRIVEWAY CONSTRUCTION. DURING CONSTRUCTION THE ENTRANCE SHALL BE INSPECTED WEEKLY, AND RE-ESTABLISHED AS NECESSARY.
 - SEEDED AREAS WILL BE FERTILIZED AND RESEEDED AS NECESSARY TO INSURE ESTABLISHMENT OF A VEGETATIVE GROWTH THAT MEETS THE APPROVAL OF THE TOWN ENGINEER.

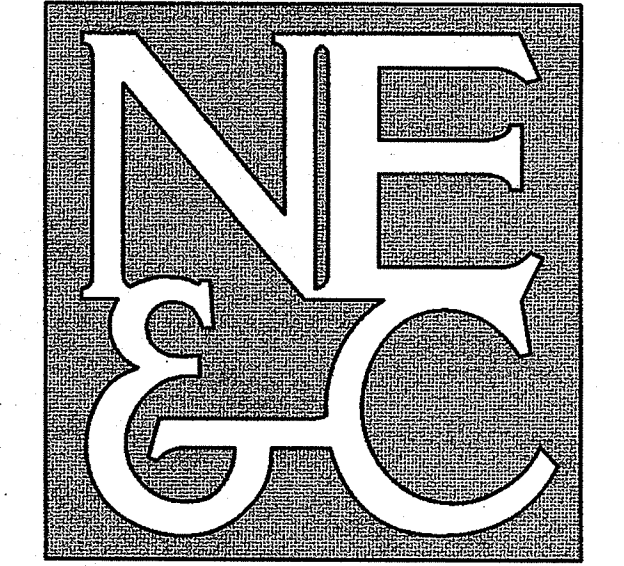
GENERAL OWTS NOTES

- ALL BRUSH AND TREES WILL BE CLEARED WITHIN 10 FT. OF BOTTOMLESS SAND FILTERS.
- A MINIMUM ELEVATION CORRESPONDING TO 2 FEET BELOW THE BOTTOM OF THE PEASTONE, SHOULD BE MAINTAINED WITHIN 5 FT. OF BOTTOMLESS SAND FILTERS.
- ALL EXISTING AND PROPOSED PRIVATE WELLS WITHIN 200 FT. OF OWTS ARE SHOWN. ALL PUBLIC WELLS EXISTING OR PROPOSED WITHIN 500' ARE SHOWN.
- NO DRAINS OR WATER LINES ARE KNOWN TO EXIST OR ARE TO BE CONSTRUCTED IN THE PROXIMITY OF THE SYSTEM WITHIN THE DISTANCES SPECIFIED IN RIDEM OWTS TABLE 22.1.
- THE SYSTEMS FOR THE SUBSURFACE DISPOSAL OF SANITARY SEWAGE SHOWN ON THESE PLANS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST REQUIREMENTS OF THE STATE OF RHODE ISLAND, DEPARTMENT ENVIRONMENTAL MANAGEMENT, "RULES ESTABLISHING MINIMUM STANDARDS RELATING TO LOCATION, DESIGN, CONSTRUCTION, AND MAINTENANCE OF ONSITE WASTEWATER TREATMENT SYSTEMS."
- THE DESIGN INTENT IS TO MEET THE STATE STANDARDS. SINCE THESE PLANS HAVE BEEN CREATED TO GAIN THE NECESSARY PERMITTING, NO CONSTRUCTION INSTALLATIONS HAVE COMMENCED. BECAUSE THIS IS NOT A "RECORD DRAWING OF AS-BUILT CONDITIONS" AND NOTHING HAS BEEN INSTALLED, THE ENGINEER SIGNING AND STAMPING THIS PLAN IS NOT GUARANTEEING THE OPERATION OF THE INSTALLED SEPTIC SYSTEMS. UPON THE APPROVED SYSTEM INSTALLATIONS, THE DESIGN ENGINEER WILL SUPERVISE, VERIFY, AND CERTIFY THAT THE SYSTEM WAS INSTALLED AS SPECIFIED ON THE APPROVED PLAN.
- ANTI-FLOATATION DEVICES AS PROVIDED BY THE MANUFACTURER SHALL BE USED FOR THE PROPOSED ADVANTEK PODS.
- LAND OWNERS MUST MINIMIZE SHADING OF THE BOTTOMLESS SAND FILTERS. THE RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL MANAGEMENT RECOMMENDS THAT BOTTOMLESS SAND FILTERS BE EXPOSED TO THE SUNLIGHT TO PREVENT FREEZING DURING THE WINTER MONTHS.
- NO FOUNDATION DRAIN LINES ARE TO BE CONSTRUCTED WITHIN 25 FT. OF THE OWTS OR BUILDING SEWERS.

STORMWATER MAINTENANCE NOTES

- PERVIOUS DRIVEWAY MAINTENANCE:
 - PERVIOUS DRIVEWAY SHALL BE INSPECTED FOLLOWING AT LEAST THE FIRST TWO PRECIPITATION EVENTS OF AT LEAST 1.0 INCH TO ENSURE THAT THE SURFACE IS PERFORMING AS INTENDED. THEREAFTER, THE DRIVEWAY SURFACES SHOULD BE INSPECTED AT LEAST ANNUALLY AND AFTER STORM EVENTS OF GREATER THAN OR EQUAL TO THE 1-YEAR, 24-HOUR TYPE III PRECIPITATION EVENT (2.8 INCHES). OVERALL MAINTENANCE OBJECTIVES AND CARE ARE FOCUSED ON PRESERVING THE STRUCTURAL INTEGRITY OF THE DRIVEWAY SURFACE AND INCLUDE THE FOLLOWING:
 - MINIMIZE THE USE OF SAND AND SALT IN WINTER MONTHS.
 - ATTACH ROLLERS TO THE BOTTOM OF SNOWPLOW DURING WINTER PLOWING OPERATIONS TO PREVENT THEM FROM DISTURBING THE STONE SURFACE.
 - KEEP ANY ADJACENT LANDSCAPE AREAS WELL MAINTAINED AND STABILIZED. ANY GULLYING OR EROSION COULD CREATE A SEDIMENT LOAD ON THE DRIVEWAY SURFACE AND SHOULD BE ADDRESSED IMMEDIATELY.
 - THE FOLLOWING MAINTENANCE TASKS SHALL BE COMPLETED ON AN ANNUAL BASIS:
 - REMOVE ANY UNWANTED VEGETATIVE GROWTH FROM THE DRIVEWAY SURFACE.
 - REPLACE ANY STONE MATERIAL WHICH MAY HAVE BEEN TRANSPORTED AWAY.
 - REPLACE ANY DAMAGED GEOGRID STABILIZATION TEXTILE.
 - IN ADDITION, THE OWNER IS TO ENSURE THAT THE DRIVEWAY SURFACE IS NEVER PAVED.
- CONVEYANCE STRUCTURE MAINTENANCE:
 - ALL INLET / OUTFLOW PIPES ARE TO BE INSPECTED AT LEAST THREE TIMES IN THE FIRST SIX MONTHS OF OPERATION. EVIDENCE OF CLOGGING, OR RAPID RELEASE OF FLOW SHALL BE REPORTED TO THE PROJECT ENGINEER AND REMEDIATED IMMEDIATELY.
 - CONVEYANCE PIPES SHOULD BE INSPECTED BIANNUALLY. ANY STRUCTURAL FAULTS SHOULD BE REPAIRED AS NECESSARY FOR PROPER FUNCTION OF THE STRUCTURE.
 - ROOF RUNOFF STRUCTURES SUCH AS GUTTERS AND DOWNSPOUTS SHOULD BE CLEAN AND FREE OF OBSTRUCTIONS THAT REDUCE FLOW. A REGISTERED PROFESSIONAL ENGINEER SHOULD BE CONSULTED IF NECESSARY TO DETERMINE WHETHER A STRUCTURE HAS BEEN COMPROMISED.
- STORMWATER CHAMBER MAINTENANCE:
 - GENERAL INSPECTIONS SHOULD BE CONDUCTED AT LEAST ANNUALLY AND AFTER STORM EVENTS GREATER THAN OR EQUAL TO THE 1-YEAR, 24-HOUR TYPE III PRECIPITATION EVENT (2.8 INCHES). THE MAINTENANCE OBJECTIVES FOR THESE PRACTICES INCLUDE PRESERVING THE STRUCTURAL INTEGRITY OF THE SYSTEM. THESE INSPECTIONS TO INCLUDE:
 - SUBSURFACE INFILTRATION CHAMBERS SHALL BE INSPECTED VIA INSPECTION PORTS ANNUALLY FOR THE PRESENCE OF SEDIMENTS, OR EVERY SIX (6) MONTHS FOR THE FIRST YEAR OF OPERATION. SHOULD THE AVERAGE DEPTH OF SEDIMENT EXCEED 3 INCHES WITHIN THE INLET CHAMBER, CLEAN OUT SHOULD BE PERFORMED. THIS SHOULD BE ACCOMPLISHED BY VACUUM TRUCK.
 - STORMWATER INLETS STRUCTURES SHALL BE INSPECTED ON A YEARLY BASIS. SHOULD ACCUMULATED SEDIMENTS AND DEBRIS EXCEED 50% OF THE STRUCTURE SUMPS, MATERIAL SHALL BE REMOVED AND DISPOSED OF OFF SITE AT A LICENSED FACILITY. STRUCTURAL FAULTS SHALL BE REPAIRED AND GRATES INSPECTED FOR BLOCKAGE.
- MAINTENANCE OF THE STORMWATER SYSTEM DURING CONSTRUCTION OF THE PROJECT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- UPON COMPLETION OF THE CONSTRUCTION, MAINTENANCE OF THE STORMWATER SYSTEM SHALL BECOME THE RESPONSIBILITY OF THE OWNERS.

NORTHEAST ENGINEERS & CONSULTANTS, INC.



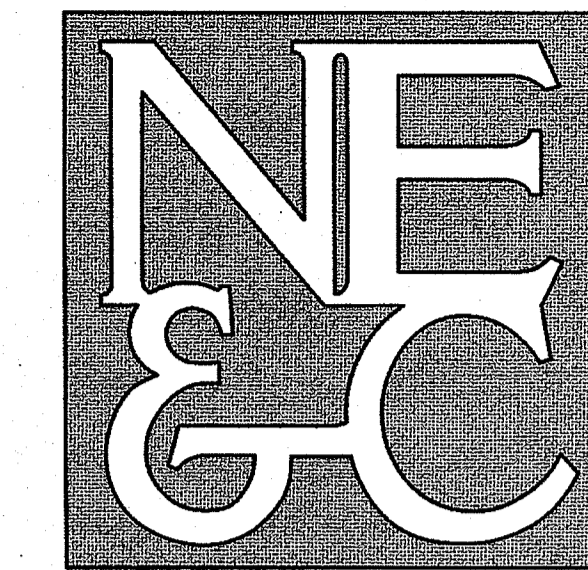
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SITE/CIVIL
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WATERFRONT
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ENVIRONMENTAL
TRANSPORTATION
STRUCTURAL

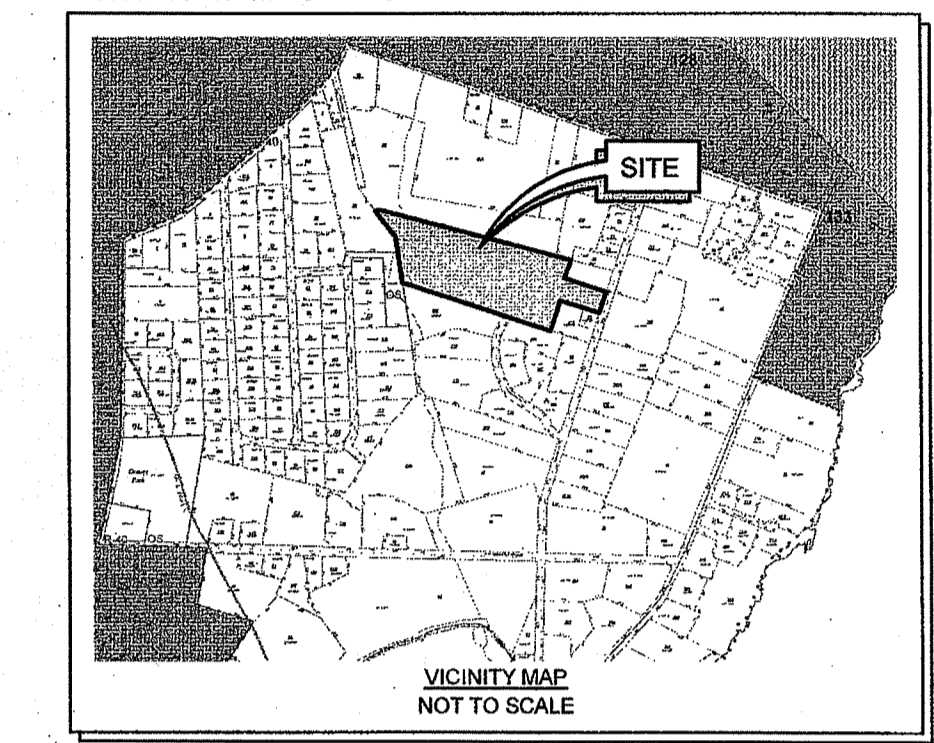
DEPARTMENT OF ENVIRONMENTAL MANAGEMENT	
OFFICE OF WATER RESOURCES	
FRESHWATER WETLANDS PROGRAM	
REVIEWED SITE PLAN APPLICATION NO.: 10-0036	
DATED APR 30 2020	
SEE LETTER OF SAME DATE.	

1	FINAL PLAN STIPULATIONS ADDED	09MAR20
No.	Revision	Date App.
Designed By:	Drawn by: JJR	Checked by: GES
Scale:	N/A	Date: 20NOV19
Project Title:		
SUMMERFIELD / VAUCLUSE SUBDIVISION A.P. 129 LOT 210 SUMMERFIELD LAND & VAUCLUSE AVENUE MIDDLETOWN RHODE ISLAND 02842		
Client/Owner:		
ERIC & MELISSA KIRTON 99 SUMMERFIELD LANE MIDDLETOWN, RI 02842		
Issued for:		
PERMITTING		
Drawing Title:		
PROJECT NOTES		
Drawing Number:		C-2
Sheet		2 of 10
Project Number:		19131.0
Survey Index:		-
OWNERSHIP AND USE OF DOCUMENTS: DRAWINGS AND SPECIFICATIONS, AS INSTRUMENTS OF PROFESSIONAL SERVICE, ARE AND SHALL REMAIN THE PROPERTY OF THE ENGINEER. THESE DOCUMENTS ARE NOT TO BE USED, IN WHOLE OR PART, FOR ANY OTHER PROJECTS OR PURPOSES, OR BY ANY OTHER PARTIES, THAN THOSE PROPERLY AUTHORIZED BY CONTRACT, WITHOUT THE EXPRESS AUTHORIZATION OF THE ENGINEER.		



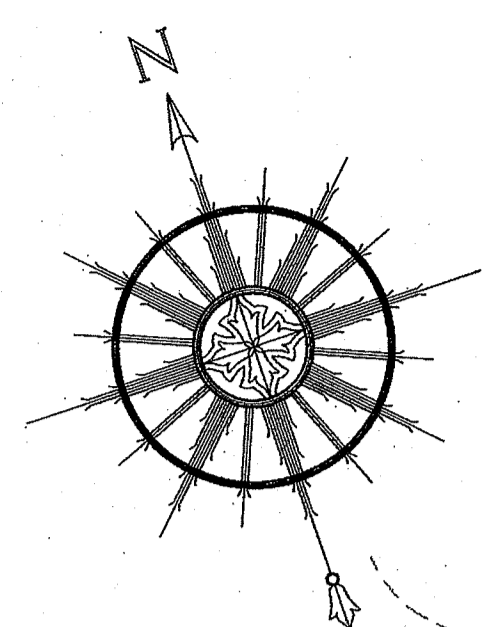
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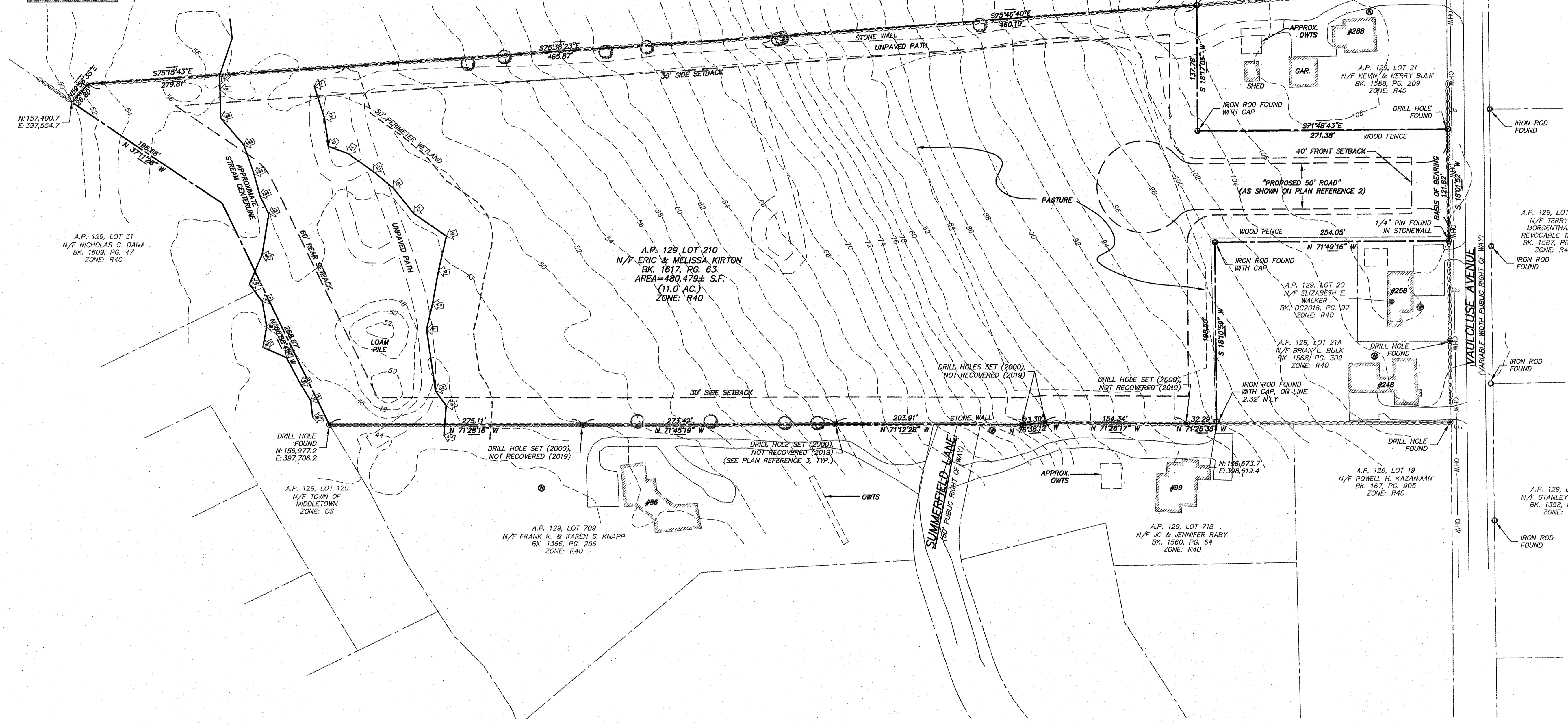


Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.

1	FINAL PLAN REVISIONS	09MAR20	
No.	Revision	Date	App.
Designed By:	Drawn by: JJR	Checked by: GES	
Scale:	1"=60'	Date:	20NOV19
Project Title:			
SUMMERFIELD / VAUCLUSE SUBDIVISION A.P. 129 LOT 210 SUMMERFIELD LANE & VAUCLUSE AVENUE MIDDLETOWN RHODE ISLAND 02842			
Client/Owner:			
ERIC & MELISSA KIRTON 99 SUMMERFIELD LANE MIDDLETOWN, RI 02842			
Issued for:			
PERMITTING			
Drawing Title:			
EXISTING PLAN OF LAND			
Drawing Number:		C-3	
Sheet		3 of 10	
Project Number:		19131.0	
Survey Index:		13 - 129 - 210	
OWNERSHIP AND USE OF DOCUMENTS: DRAWINGS AND SPECIFICATIONS, AS INSTRUMENTS OF PROFESSIONAL SERVICE, ARE AND SHALL REMAIN THE PROPERTY OF THE ENGINEER. THESE DOCUMENTS ARE NOT TO BE USED, IN WHOLE OR PART, FOR ANY OTHER PROJECTS OR PURPOSES, OR BY ANY OTHER PARTIES, THAN THOSE PROPERLY AUTHORIZED BY CONTRACT, WITHOUT THE EXPRESS AUTHORIZATION OF THE ENGINEER.			



SEE GENERAL NOTES #3



CERTIFICATION:
THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO 435-ROR-00-01-9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON APRIL 28, 2018, AS FOLLOWS:

SURVEY	TYPE	CLASS
BOUNDARY	COMPREHENSIVE (SEE NOTE 7)	I
DATA ACCUMULATION	PLANIMETRIC TOPOGRAPHIC (SEE NOTE 2)	III T-4

STATEMENT OF PURPOSE:
THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS:
TO DETERMINE AND MONUMENT THE LOCATIONS OF THE PROPERTY BOUNDARIES OF A.P. 129, LOT 210 AND TO SHOW EXISTING PHYSICAL FEATURES.

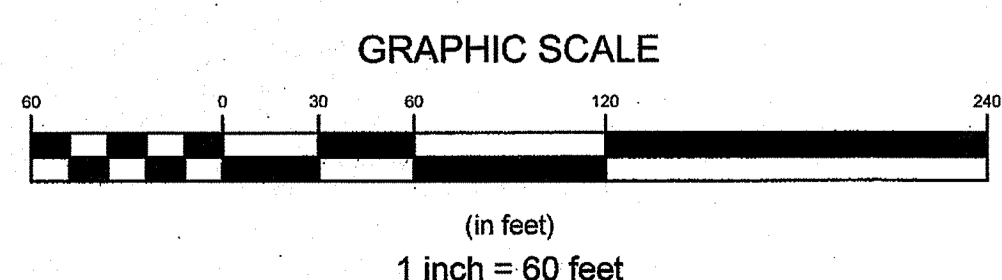
MARC S. THAYER
No. 1889
PROFESSIONAL LAND SURVEYOR
DATE: 5-13-2020
COP. NO. A356

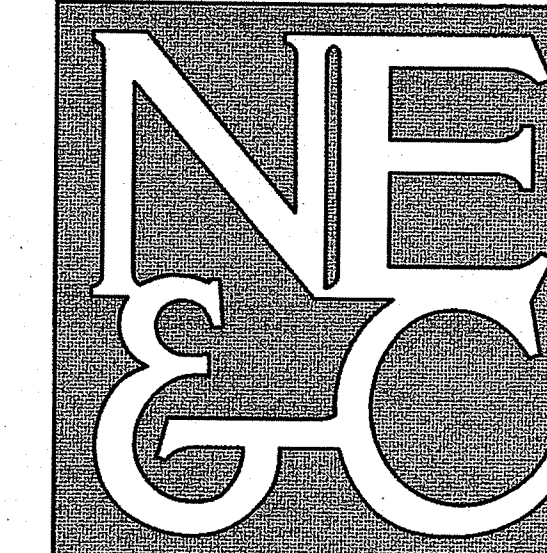
- PLAN REFERENCES:**
- PLAN ENTITLED "ADMINISTRATIVE SUBDIVISION A.P. 129, LOTS 709 & 710 SUMMERFIELD LANE MIDDLETOWN, RHODE ISLAND", PREPARED BY NORTHEAST ENGINEERS & CONSULTANTS, INC., SCALE 1"=50', DATED JANUARY 3, 2008, REVISED JANUARY 9, 2008.
 - PLAN ENTITLED "MINOR SUBDIVISION LAND BELONGING TO 288 VAUCLUSE LLC ASSESSOR'S PLAT 129 LOT 21 VAUCLUSE AVENUE MIDDLETOWN, RHODE ISLAND NOVEMBER 14, 2019", PREPARED BY M.J. GASTON & ASSOCIATES, LLC, SCALE 1"=40', DATED NOVEMBER 19, 2019.
 - PLAN ENTITLED "MINOR SUBDIVISION OF A.P. 129, LOT 154 INDIAN AVENUE MIDDLETOWN, R.I.", PREPARED BY NORTHEAST ENGINEERS & CONSULTANTS, INC., SCALE 1"=20', DATED APRIL 6, 2001.

- NOTES:**
- PROPERTY LINES ARE THE RESULT OF A FIELD SURVEY BY NORTHEAST ENGINEERS & CONSULTANTS, INC. IN NOVEMBER 2019.
 - TOPOGRAPHIC CONTOURS TAKEN FROM 2011 RIGIS LIDAR 2 FOOT CONTOUR DATA.
 - NORTH ARROW AND BASIS OF BEARING BASED ON RTK/GNSS OBSERVATION.
 - SITE AND SITE ADJACENT FEATURES SCALED FROM AERIAL PHOTOGRAPHY.
 - WETLAND EDGES DELINEATED BY GPS BY NATURAL RESOURCE SERVICES, INC. IN AUGUST 2019. WETLAND FLAGS A1 THROUGH A13 FIELD LOCATED BY NORTHEAST ENGINEERS & CONSULTANTS, INC. IN NOVEMBER 2019.
 - SUBJECT SITE IS NOT SITUATED IN A 100-YEAR FLOOD ZONE AS SHOWN ON FEMA FIRM FOR NEWPORT COUNTY, PANEL 113 OF 228 LAST REVISED SEPTEMBER 4, 2013.
 - THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT. NORTHEAST ENGINEERS & CONSULTANTS, INC. IS NOT RESPONSIBLE FOR ANY UNKNOWN OR UNRECORDED EASEMENTS, DEED OR CLAIMS THAT A TITLE REPORT WOULD DISCLOSE.
 - PROPERTY CORNER COORDINATES REFERENCE RI STATE PLANE.

- LEGEND:**
- PROPERTY LINE
 - - - ABUTTER'S PROPERTY LINE
 - STONE WALL
 - WOOD FENCE
 - - - WETLAND BOUNDARY
 - - - PERIMETER WETLAND BOUNDARY
 - WETLAND FLAG
 - 18" OR GREATER DIA. TREE
 - DRILL HOLE
 - IRON ROD/IRON PIPE
 - - - BUILDING SETBACK
 - - - TOPOGRAPHIC CONTOUR
 - OVERHEAD WIRE
 - UTILITY POLE

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
REVIEWED SITE PLAN APPLICATION NO. 20-0036
DATED APR 30 2020
SEE LETTER OF SAME DATE.

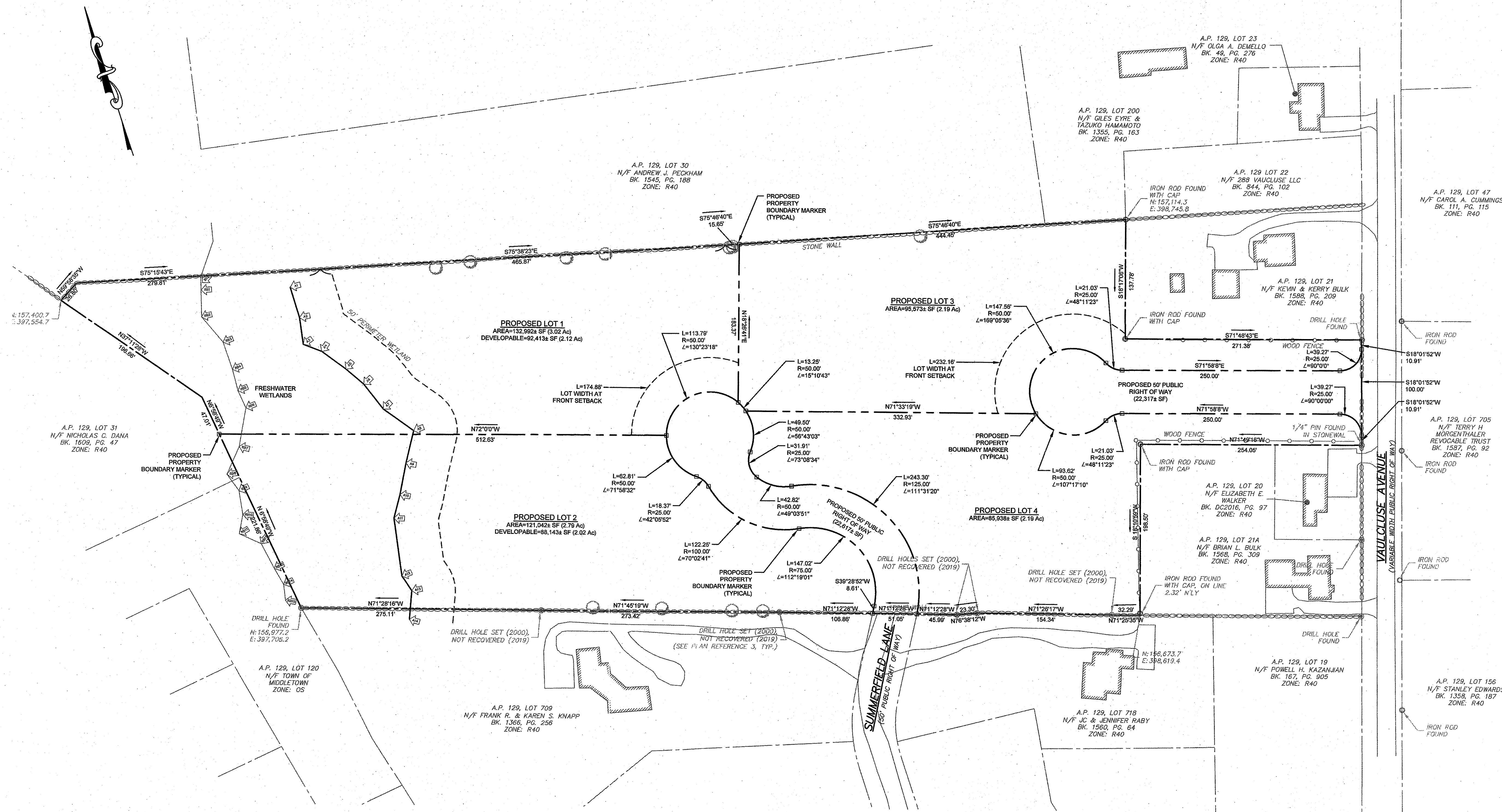




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Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
REVIEWED SITE PLAN APPLICATION NO. 80-0034
DATED APR 30 2020
SEE LETTER OF SAME DATE.

No.	Revision	Date	App.
1	FINAL PLAN REVISIONS	09MAR20	

Designed By: JJR Drawn by: JJR Checked by: GES
Scale: 1"=60' Date: 20NOV19

Project Title:
SUMMERFIELD / VAUCLUSE SUBDIVISION
A.P. 129 LOT 210
SUMMERFIELD LANE & VAUCLUSE AVENUE
MIDDLETOWN
RHODE ISLAND
02842

Client/Owner:
ERIC & MELISSA KIRTON
99 SUMMERFIELD LANE
MIDDLETOWN, RI 02842

Issued for:
PERMITTING

Drawing Title:
PROPOSED MINOR SUBDIVISION

Drawing Number:	C-4
Sheet	4 of 10
Project Number:	19131.0
Survey Index:	

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CERTIFICATION:
THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO 435-RICR-00-00-1.9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON APRIL 28, 2016, AS FOLLOWS:

SURVEY:	TYPE:	CLASS:
BOUNDARY	COMPREHENSIVE (SEE NOTE 7)	I
DATA ACCUMULATION	PLANIMETRIC	III

STATEMENT OF PURPOSE:
THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS:
TO CREATE A FOUR (4) LOT SUBDIVISION OF LOT 210 OF MIDDLETOWN TAX ASSESSOR'S PLAT MAP 129 BASED ON A COMPREHENSIVE BOUNDARY SURVEY PREPARED BY NORTHEAST ENGINEERS & CONSULTANTS, INC.

MARC S. THAYER
No. 1889
PROFESSIONAL LAND SURVEYOR
DATE: 3-17-2020
COA NO. A356

AREA TABLE

A.P. 129 LOT 210 LAND AREA	SF
LOT 1	132,992± SF
LOT 2	121,042± SF
LOT 3	95,573± SF
LOT 4	85,938± SF
ROW 1 (VAUCLUSE)	22,317± SF
ROW 2 (SUMMERFIELD)	22,817± SF
TOTAL	480,478± SF

LEGEND:

	PROPERTY LINE
	ABUTTER'S PROPERTY LINE
	STONE WALL
	WOOD FENCE
	WETLAND BOUNDARY
	PERIMETER WETLAND BOUNDARY
	WETLAND FLAG
	18" OR GREATER DIA. TREE
	DRILL HOLE
	IRON ROD/IRON PIPE
	PROPOSED SUBDIVISION LINE

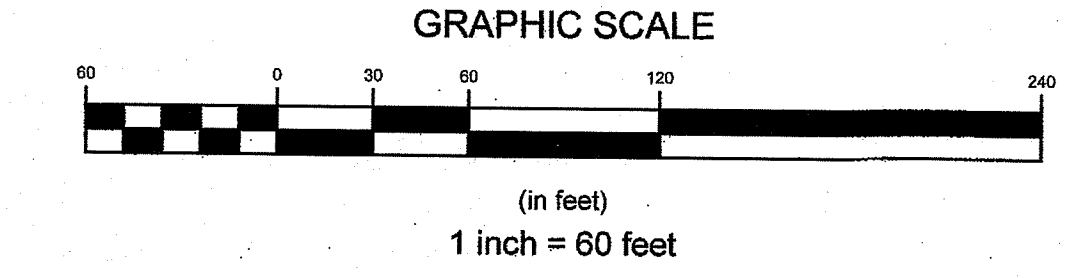
DEVELOPABLE LAND AREA

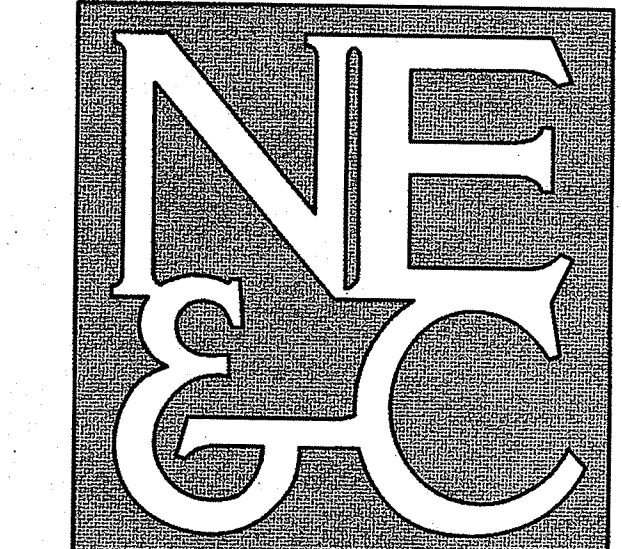
TOTAL LAND AREA	480,478 SF
AREA TO BE EXCLUDED	
WETLAND AREA	73,479 SF
FLOOD ZONE	0 SF
STREET R.O.W.	44,934 SF
DRAINAGE/EASEMENTS	0 SF
TOTAL	118,413 SF
DEVELOPABLE LAND AREA	362,065 SF
MAXIMUM YIELD	
DEVELOPABLE AREA	362,065 SF
MAXIMUM NUMBER OF UNITS (CONVENTIONAL)	9.1 UNITS
362,065 / 40,000 SF	
NUMBER OF LOTS PROPOSED	4 UNITS

ZONING DATA TABLE
R-40 ZONE (STANDARD SUBDIVISION)

MINIMUM LOT AREA	40,000 SQ. FT.
MINIMUM LOT WIDTH	150 FT.
MINIMUM SETBACKS	
FRONT LINE	40 FT.
SIDE LINE	30 FT.
REAR LINE	30 FT.
ACCESSORY SIDE	30 FT.
ACCESSORY REAR	15 FT.
MAXIMUM LOT COVERAGE	15%
MAXIMUM BUILDING HEIGHT	35 FT.

- NOTES:**
- PROPERTY LINES ARE THE RESULT OF A FIELD SURVEY BY NORTHEAST ENGINEERS & CONSULTANTS, INC. IN NOVEMBER 2019.
 - TOPOGRAPHIC CONTOURS TAKEN FROM 2011 RIGIS LIDAR 2 FOOT CONTOUR DATA.
 - NORTH ARROW AND BASIS OF BEARING BASED ON RTK/GNSS OBSERVATION.
 - SITE AND SITE ADJACENT FEATURES SCALED FROM AERIAL PHOTOGRAPHY.
 - WETLAND EDGES DELINEATED BY GPS BY NATURAL RESOURCE SERVICES, INC. IN AUGUST 2019. WETLAND FLAGS A1 THROUGH A13 FIELD LOCATED BY NORTHEAST ENGINEERS & CONSULTANTS, INC. IN NOVEMBER 2019.
 - SUBJECT SITE IS NOT SITUATED IN A 100-YEAR FLOOD ZONE AS SHOWN ON FEMA FIRM FOR NEWPORT COUNTY, PANEL 113 OF 226 LAST REVISED SEPTEMBER 4, 2013.
 - THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT. NORTHEAST ENGINEERS & CONSULTANTS, INC. IS NOT RESPONSIBLE FOR ANY UNKNOWN OR UNRECORDED EASEMENTS, DEED OR CLAIMS THAT A TITLE REPORT WOULD DISCLOSE.





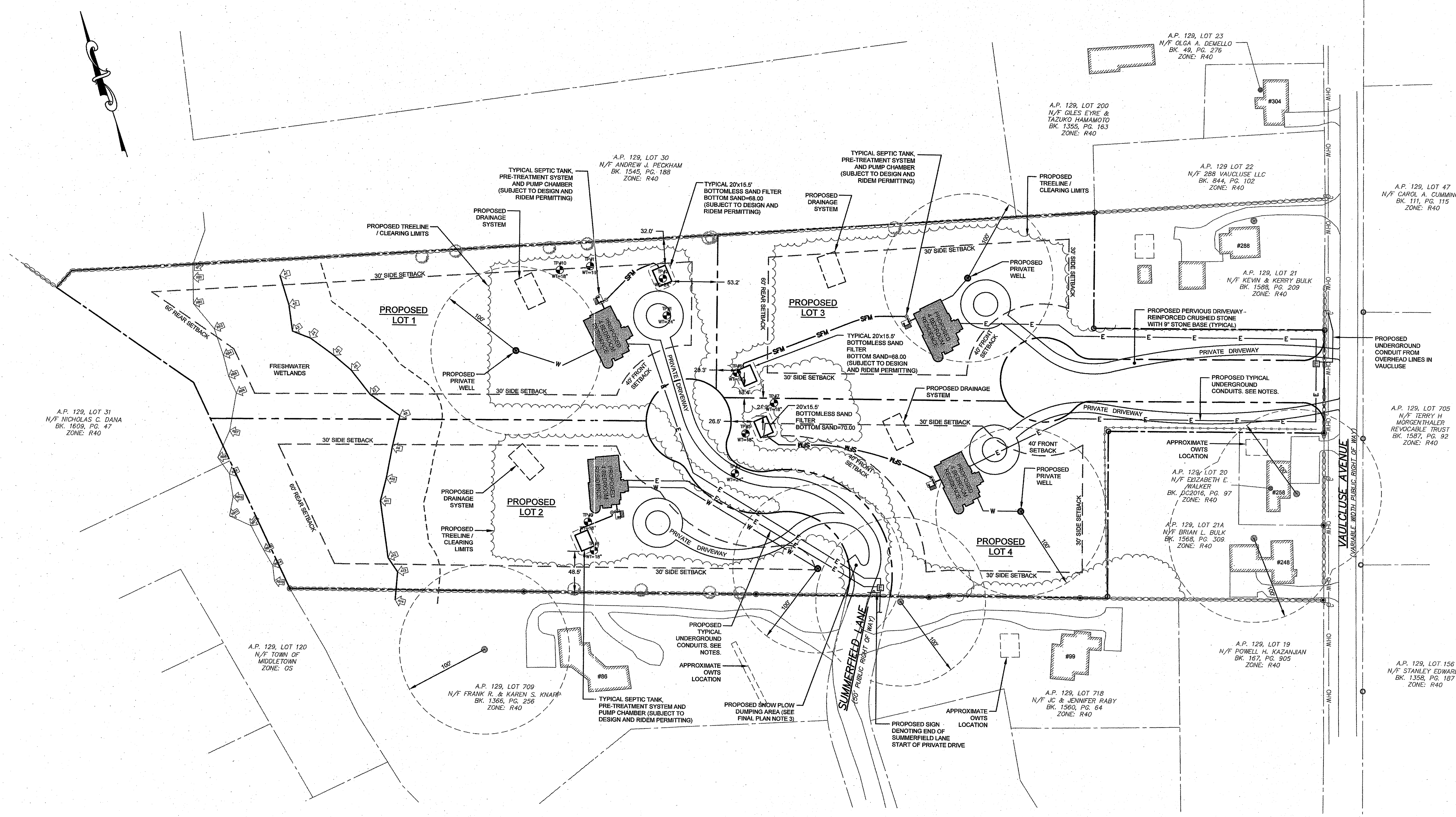
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DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
REVIEWED SITE PLAN APPLICATION NO. 20-0036
DATED APR 30 2020
SEE LETTER OF SAME DATE.

1	FINAL PLAN REVISIONS	09/02/20
No.	Revision	Date
Designed By:	Drawn by: JUR	Checked by: GES
Scale:	1"=60'	Date: 20NOV19
Project Title:		
SUMMERFIELD / VAUCLUSE SUBDIVISION A.P. 129 LOT 210 SUMMERFIELD LANE & VAUCLUSE AVENUE MIDDLETOWN RHODE ISLAND 02842		
Client/Owner:		
ERIC & MELISSA KIRTON 99 SUMMERFIELD LANE MIDDLETOWN, RI 02842		
Issued for:		
PERMITTING		
Drawing Title:		
PROPOSED LAYOUT AND UTILITY PLAN		
Drawing Number:		C-5
Sheet		5 of 10
Project Number:		19131.0
Survey Index:		
<p>OWNERSHIP AND USE OF DOCUMENTS: DRAWINGS AND SPECIFICATIONS, AS INSTRUMENTS OF PROFESSIONAL SERVICE, ARE AND SHALL REMAIN THE PROPERTY OF THE ENGINEER. THESE DOCUMENTS ARE NOT TO BE USED, IN WHOLE OR PART, FOR ANY OTHER PROJECTS OR PURPOSES, OR BY ANY OTHER PARTIES, THAN THOSE PROPERLY AUTHORIZED BY CONTRACT, WITHOUT THE EXPRESS AUTHORIZATION OF THE ENGINEER.</p>		



LEGEND:

	PROPERTY LINE
	ABUTTER'S PROPERTY LINE
	STONE WALL
	WOOD FENCE
	WETLAND BOUNDARY
	PERIMETER WETLAND BOUNDARY
	WETLAND FLAG
	18" OR GREATER DIA. TREE
	DRILL HOLE
	IRON ROD/IRON PIPE
	BUILDING SETBACK
	OVERHEAD WIRE
	UTILITY POLE
	PROPOSED CLEARING LIMIT
	PROPOSED SUBDIVISION LINE
	PROPOSED PRIVATE WELL
	PROPOSED ELEC./COMM SERVICES

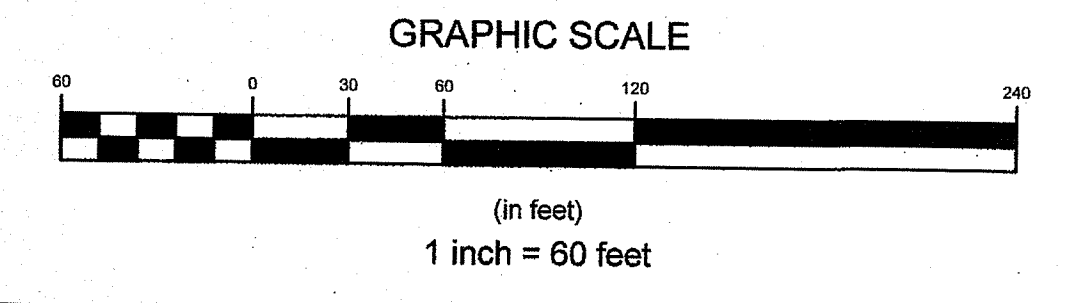
- LAYOUT AND UTILITY NOTES:**
- PROPOSED OWTS SHOWN ARE SUBJECT TO DESIGN AND APPROVAL SUBJECT TO REVIEW AND APPROVAL BY RIDEM. SUITABLE SOIL EVALUATIONS HAVE BEEN PERFORMED ON ALL PROPOSED RESIDENTIAL LOTS. SOIL EVALUATIONS PERFORMED ON 8/5/19 BY A LICENSED RI SOIL EVALUATOR.
 - PROPOSED WELL LOCATIONS ARE PRELIMINARY AND ARE SHOWN TO DEMONSTRATE THAT SUFFICIENT SEPARATION DISTANCES ARE FEASIBLE TO ALL PROPOSED OWTS AND DRAINAGE COMPONENTS.
 - PROPOSED PRIVATE DRIVEWAYS SHALL INCLUDE A 9-INCH CRUSHED STONE BASE WITH SUITABLE SURFACE REINFORCEMENT. REFER TO DETAIL PROVIDED.
 - LOCATIONS OF PROPOSED ELECTRICAL AND COMMUNICATIONS CONDUITS ARE SUBJECT TO DESIGN AND REVIEW BY THE RESPECTIVE PROVIDERS.

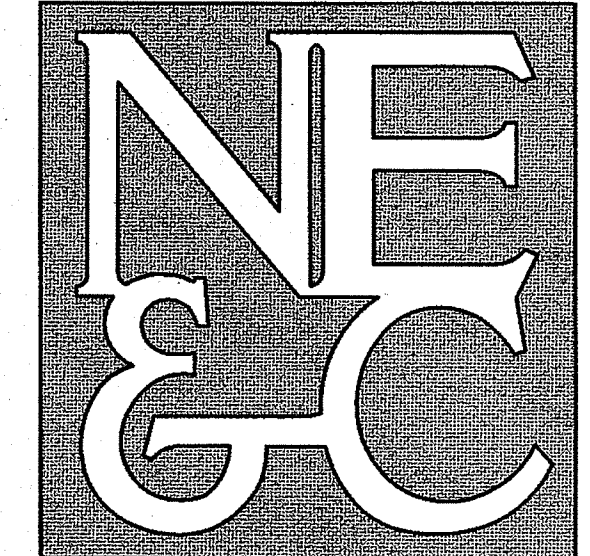
- FINAL PLAN NOTES:**
- AT TIME OF CONSTRUCTION, THE DESIGN OF EACH DRIVEWAY MUST BE APPROVED BY THE FIRE DEPARTMENT TO ENSURE ADEQUATE ACCESS FOR FIRE APPARATUS.
 - DRIVEWAYS SHALL BE CONSTRUCTED TO PROVIDE A TURN-AROUND FOR EMERGENCY VEHICLES SUBJECT TO THE APPROVAL OF THE FIRE CHIEF AT TIME OF CONSTRUCTION.
 - THE FINAL DESIGN OF THE SNOW REMOVAL AREA TO BE LOCATED AT THE END OF SUMMERFIELD LANE SHALL BE APPROVED BY THE DIRECTOR OF PUBLIC WORKS PRIOR TO CONSTRUCTION.

**ZONING DATA TABLE
R-40 ZONE (STANDARD SUBDIVISION)**

MINIMUM LOT AREA	40,000 SQ. FT.
MINIMUM LOT WIDTH	150 FT.
MINIMUM SETBACKS	
FRONT LINE	40 FT.
SIDE LINE	30 FT.
REAR LINE	60 FT.
ACCESSORY SIDE	30 FT.
ACCESSORY REAR	15 FT.
MAXIMUM LOT COVERAGE	15%
MAXIMUM BUILDING HEIGHT	35 FT.

- GENERAL NOTES:**
- PROPERTY LINES ARE THE RESULT OF A FIELD SURVEY BY NORTHEAST ENGINEERS & CONSULTANTS, INC IN NOVEMBER 2019.
 - TOPOGRAPHIC CONTOURS TAKEN FROM 2011 RIGIS LIDAR 2 FOOT CONTOUR DATA.
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 - SUBJECT SITE IS NOT SITUATED IN A 100-YEAR FLOOD ZONE AS SHOWN ON FEMA FIRM FOR NEWPORT COUNTY, PANEL 113 OF 226 LAST REVISED SEPTEMBER 4, 2015.





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 TRANSPORTATION
 STRUCTURAL

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DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 REVIEWED SITE PLAN APPLICATION NO.: 20-002
 DATED APR 30 2020
 SEE LETTER OF SAME DATE.

No.	Revision	Date	App.
1	FINAL PLAN REVISIONS	09MAR20	

Designed By: _____ Drawn by: JJR Checked by: GES
 Scale: 1"=60' Date: 20NOV19

Project Title:
SUMMERFIELD / VAUCLUSE SUBDIVISION
 A.P. 129 LOT 210
 SUMMERFIELD LANE & VAUCLUSE AVENUE
 MIDDLETOWN
 RHODE ISLAND
 02842

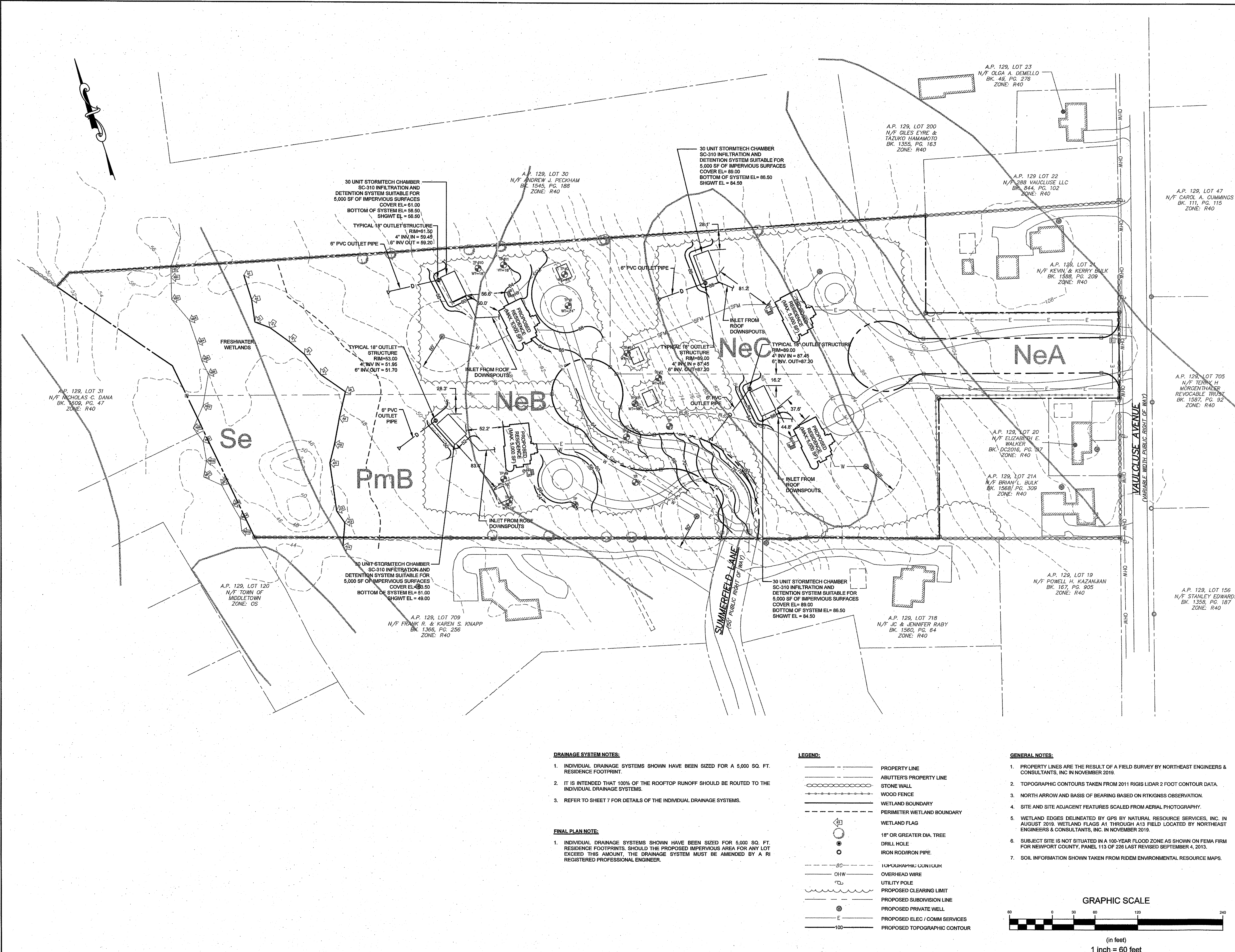
Client/Owner:
ERIC & MELISSA KIRTON
 99 SUMMERFIELD LANE
 MIDDLETOWN, RI 02842

Issued for:
PERMITTING

Drawing Title:
PROPOSED GRADING AND DRAINAGE PLAN

	Drawing Number:	C-6
	Sheet	6 of 10
	Project Number:	19131.0
	Survey Index:	

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DRAINAGE SYSTEM NOTES:

- INDIVIDUAL DRAINAGE SYSTEMS SHOWN HAVE BEEN SIZED FOR A 5,000 SQ. FT. RESIDENCE FOOTPRINT.
- IT IS INTENDED THAT 100% OF THE ROOFTOP RUNOFF SHOULD BE ROUTED TO THE INDIVIDUAL DRAINAGE SYSTEMS.
- REFER TO SHEET 7 FOR DETAILS OF THE INDIVIDUAL DRAINAGE SYSTEMS.

FINAL PLAN NOTE:

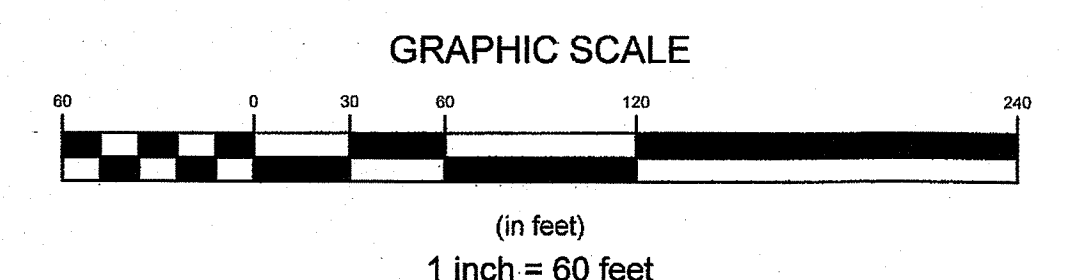
- INDIVIDUAL DRAINAGE SYSTEMS SHOWN HAVE BEEN SIZED FOR 5,000 SQ. FT. RESIDENCE FOOTPRINTS. SHOULD THE PROPOSED IMPERVIOUS AREA FOR ANY LOT EXCEED THIS AMOUNT, THE DRAINAGE SYSTEM MUST BE AMENDED BY A REGISTERED PROFESSIONAL ENGINEER.

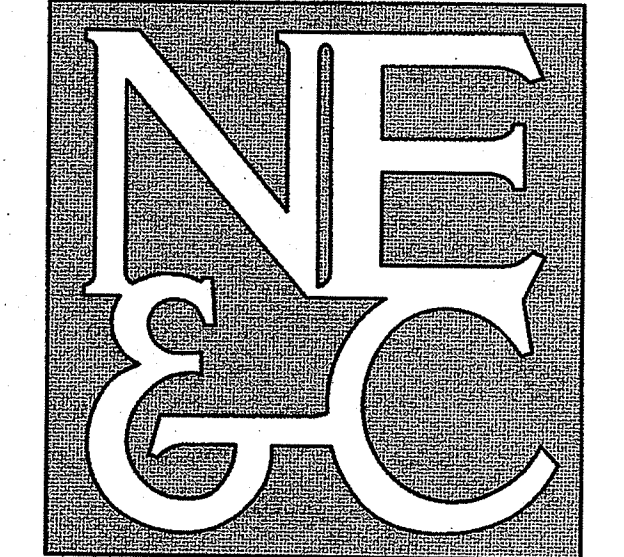
LEGEND:

- PROPERTY LINE
- ABUTTER'S PROPERTY LINE
- STONE WALL
- WOOD FENCE
- WETLAND BOUNDARY
- PERIMETER WETLAND BOUNDARY
- WETLAND FLAG
- 18" OR GREATER DIA. TREE
- DRILL HOLE
- IRON ROD/IRON PIPE
- TOPOGRAPHIC CONTOUR
- OHW OVERHEAD WIRE
- UTILITY POLE
- PROPOSED CLEARING LIMIT
- PROPOSED SUBDIVISION LINE
- PROPOSED PRIVATE WELL
- PROPOSED ELEC. / COMM SERVICES
- 100' PROPOSED TOPOGRAPHIC CONTOUR

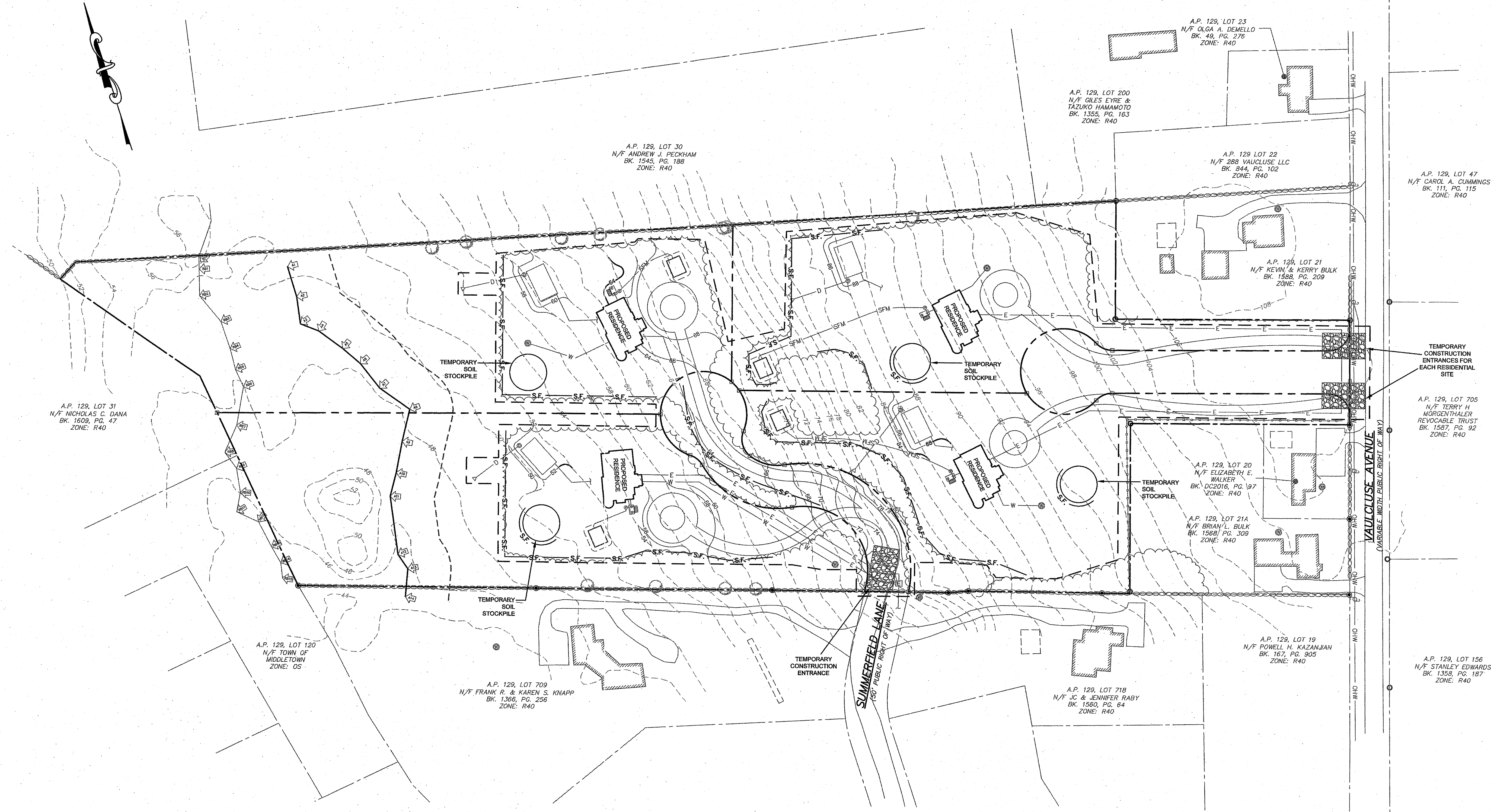
GENERAL NOTES:

- PROPERTY LINES ARE THE RESULT OF A FIELD SURVEY BY NORTHEAST ENGINEERS & CONSULTANTS, INC. IN NOVEMBER 2019.
- TOPOGRAPHIC CONTOURS TAKEN FROM 2011 RIGIS LIDAR 2 FOOT CONTOUR DATA.
- NORTH ARROW AND BASIS OF BEARING BASED ON RTK/GNSS OBSERVATION.
- SITE AND SITE ADJACENT FEATURES SCALED FROM AERIAL PHOTOGRAPHY.
- WETLAND EDGES DELINEATED BY GPS BY NATURAL RESOURCE SERVICES, INC. IN AUGUST 2019. WETLAND FLAGS AT THROUGH A13 FIELD LOCATED BY NORTHEAST ENGINEERS & CONSULTANTS, INC. IN NOVEMBER 2019.
- SUBJECT SITE IS NOT SITUATED IN A 100-YEAR FLOOD ZONE AS SHOWN ON FEMA FIRM FOR NEWPORT COUNTY, PANEL 113 OF 228 LAST REVISED SEPTEMBER 4, 2015.
- SOIL INFORMATION SHOWN TAKEN FROM RIDEM ENVIRONMENTAL RESOURCE MAPS.





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PHONE (401) 849-0810 FAX (401) 846-4169
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Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
REVIEWED SITE PLAN APPLICATION NO.: 20-003
DATED APR 30 2020
SEE LETTER OF SAME DATE.

No.	Revision	Date	App.
1	FINAL PLAN REVISIONS	09MAR20	

Designed By: Drawn by: JJR Checked by: GES
Scale: 1"=60' Date: 20NOV19

Project Title:
SUMMERFIELD / VAUCLUSE SUBDIVISION
A.P. 129 LOT 210
SUMMERFIELD LANE & VAUCLUSE AVENUE
MIDDLETOWN
RHODE ISLAND
02842

Client/Owner:
ERIC & MELISSA KIRTON
99 SUMMERFIELD LANE
MIDDLETOWN, RI 02842

Issued for:
PERMITTING

Drawing Title:

SOIL EROSION AND SEDIMENT CONTROL

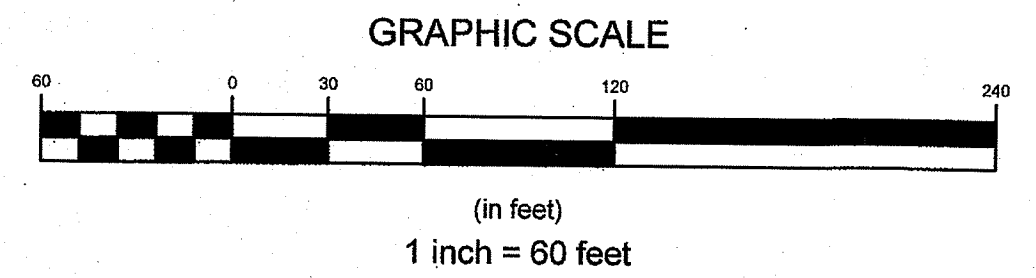
1. PROPERTY LINES ARE THE RESULT OF A FIELD SURVEY BY NORTHEAST ENGINEERS & CONSULTANTS, INC IN NOVEMBER 2019.
2. TOPOGRAPHIC CONTOURS TAKEN FROM 2011 RIGIS LIDAR 2 FOOT CONTOUR DATA.
3. NORTH ARROW AND BASIS OF BEARING BASED ON RTK/GNSS OBSERVATION.
4. SITE AND SITE ADJACENT FEATURES SCALED FROM AERIAL PHOTOGRAPHY.
5. WETLAND EDGES DELINEATED BY GPS BY NATURAL RESOURCE SERVICES, INC. IN AUGUST 2019. WETLAND FLAGS A1 THROUGH A13 FIELD LOCATED BY NORTHEAST ENGINEERS & CONSULTANTS, INC. IN NOVEMBER 2019.
6. SUBJECT SITE IS NOT SITUATED IN A 100-YEAR FLOOD ZONE AS SHOWN ON FEMA FIRM FOR NEWPORT COUNTY, PANEL 113 OF 228 LAST REVISED SEPTEMBER 4, 2013.

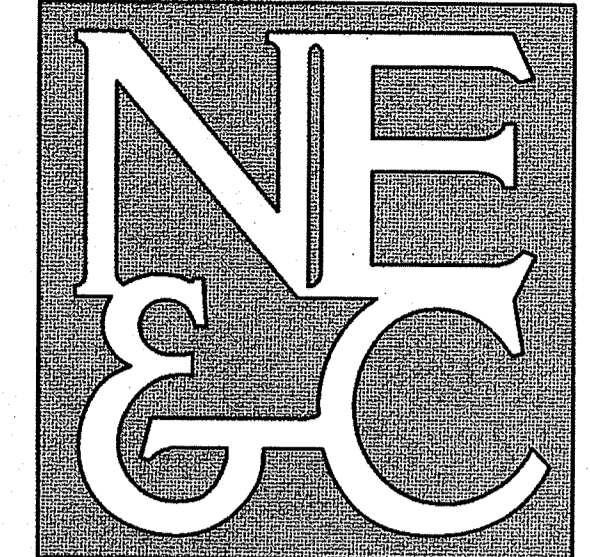
	Drawing Number:	C-7
	Sheet	7 of 10
	Project Number:	19131.0
	Survey Index:	

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- GENERAL SESC NOTES (REFER TO SHEET 2 FOR FULL NOTES):**
- AT THE TIME OF DEVELOPMENT OF EACH LOT, THE DEVELOPER WILL BE REQUIRED TO COMPLY WITH ALL APPLICABLE PROVISIONS OF THE TOWN'S CONSTRUCTION SITE RUNOFF AND EROSION CONTROL ORDINANCE (TOWN CODE CHAPTER 151) AND THE STORM WATER MANAGEMENT ORDINANCE (CHAPTER 153), INCLUDING COMPLIANCE WITH THE APPROVED STORM WATER MANAGEMENT PLAN FOR THE SUBDIVISION.
 - TEMPORARY EROSION CONTROLS SHALL NOT BE REMOVED BEFORE PERMANENT EROSION CONTROLS ARE IN PLACE AND ESTABLISHED.

- LEGEND:**
- PROPERTY LINE
 - ABUTTER'S PROPERTY LINE
 - STONE WALL
 - WOOD FENCE
 - WETLAND BOUNDARY
 - PERIMETER WETLAND BOUNDARY
 - WETLAND FLAG
 - 18" OR GREATER DIA. TREE
 - DRILL HOLE
 - IRON ROD/IRON PIPE
 - TOPOGRAPHIC CONTOUR
 - OHW
 - UTILITY POLE
 - PROPOSED CLEARING LIMIT
 - PROPOSED SUBDIVISION LINE
 - PROPOSED PRIVATE WELL
 - PROPOSED ELEC / COMM SERVICES
 - PROPOSED TOPOGRAPHIC CONTOUR
 - S.F. PROPOSED EROSION CONTROL BARRIER
 - PROPOSED LIMIT OF DISTURBANCE

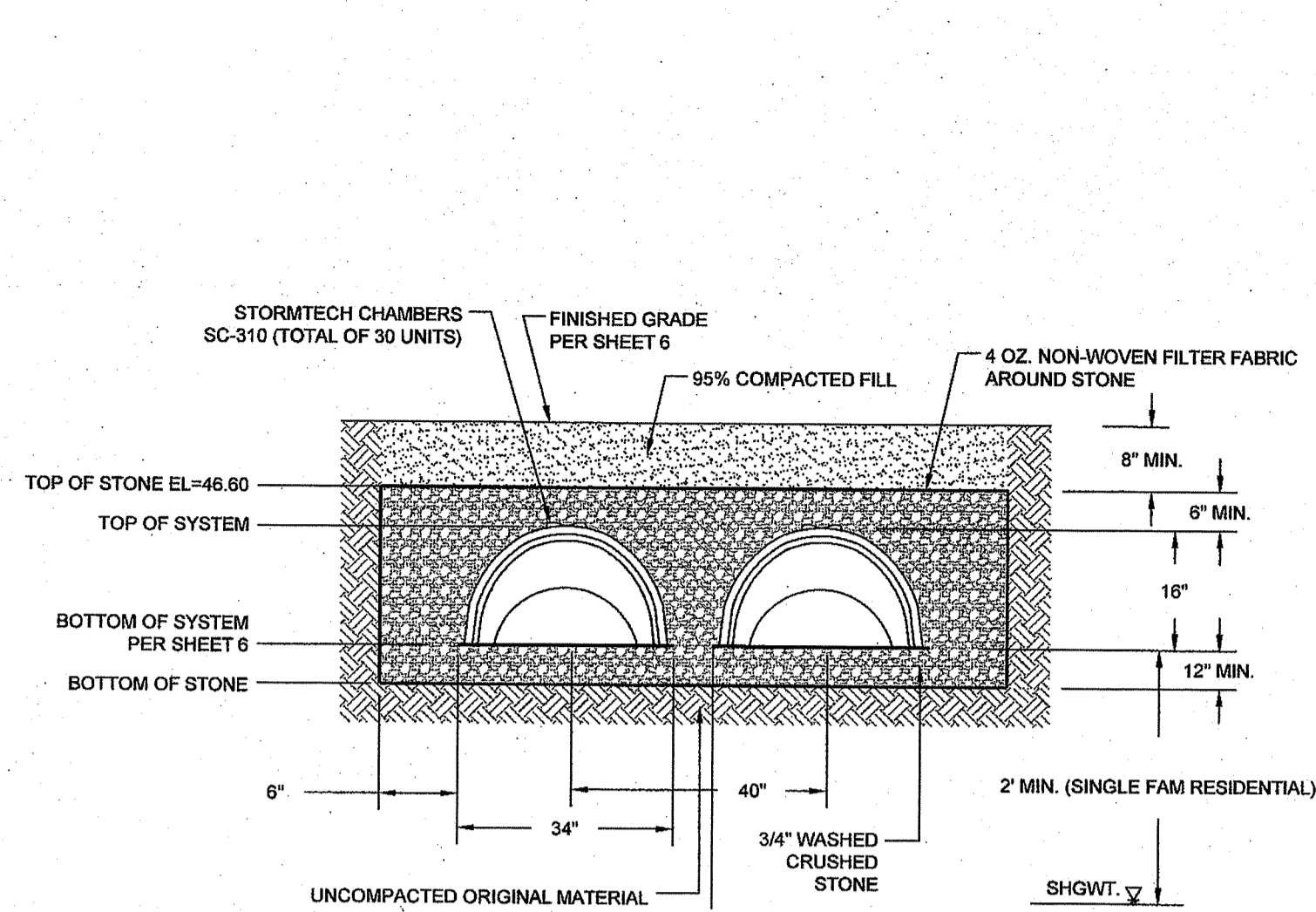




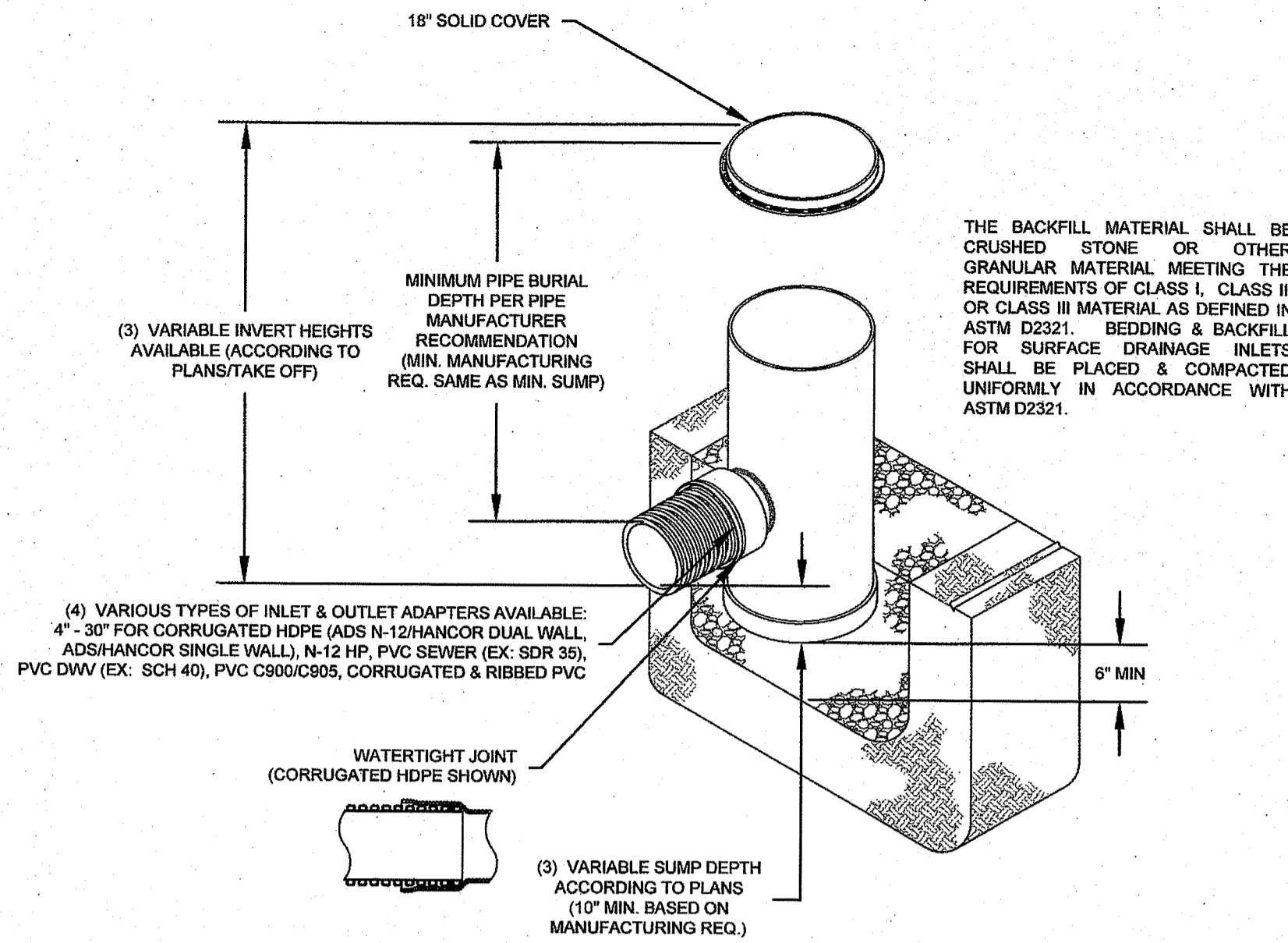
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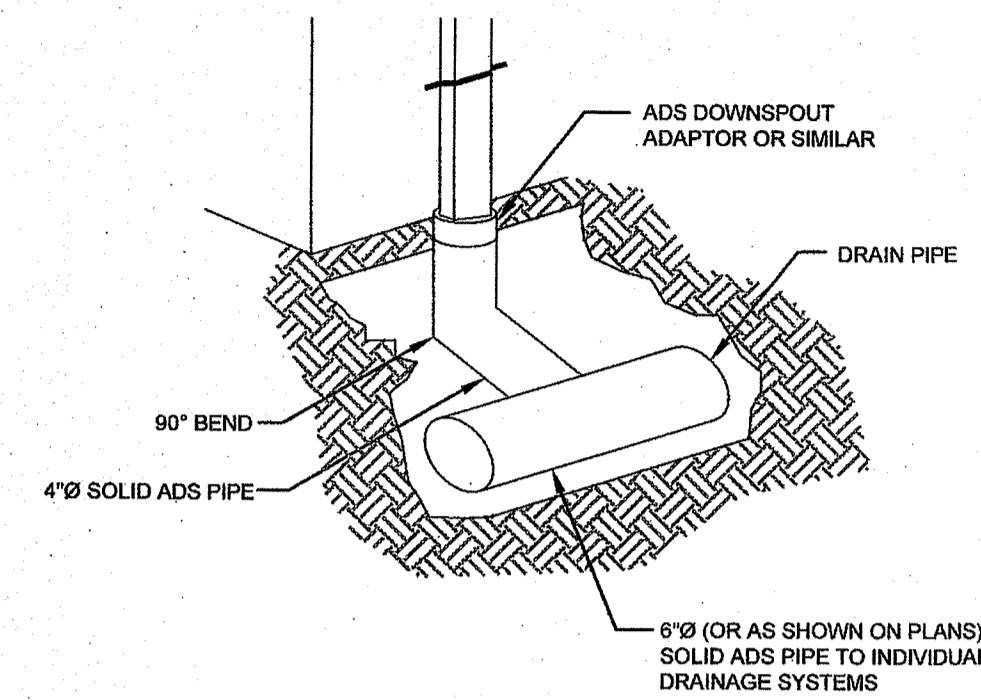


TYPICAL STORMTECH INFILTRATION CHAMBER SECTION
 SCALE: NOT TO SCALE

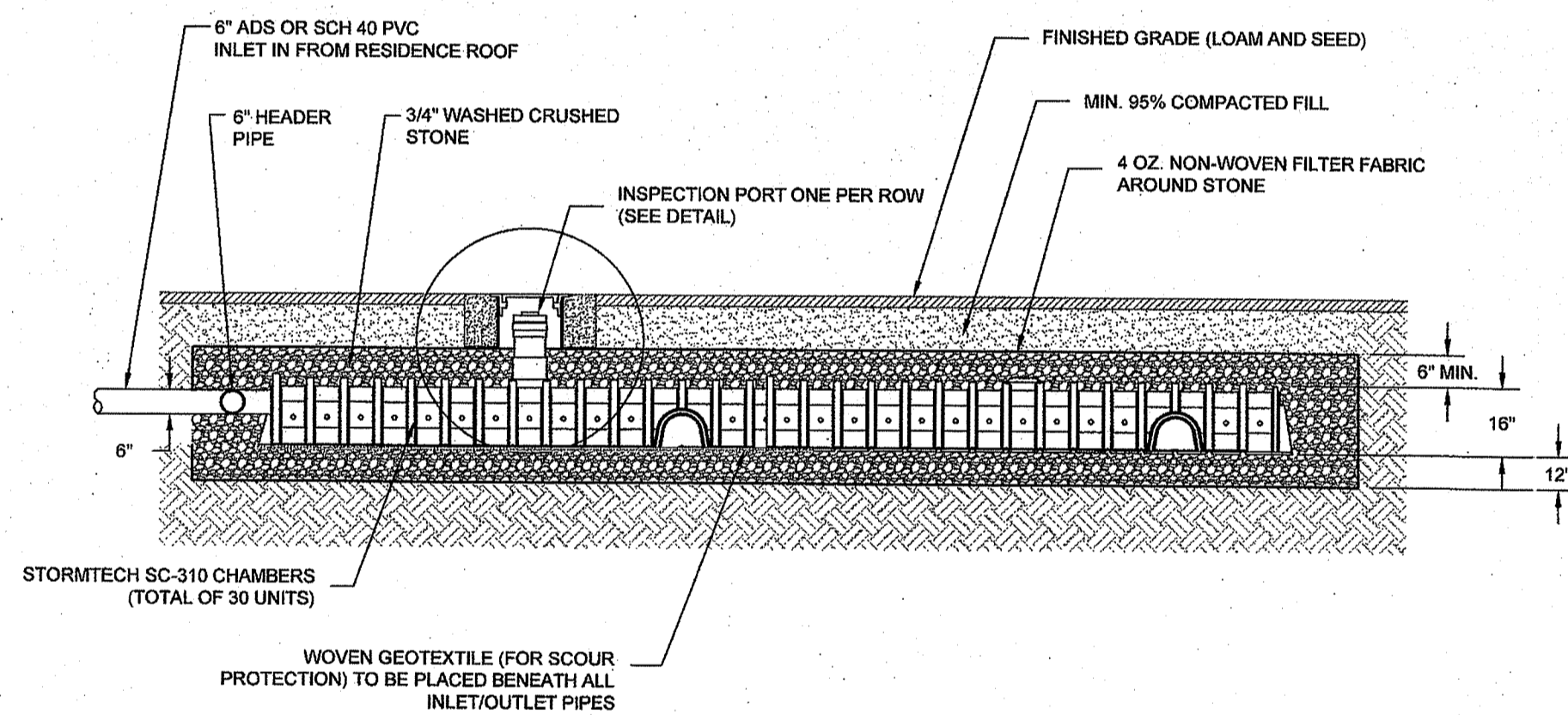


- NOTES:**
1. GRATES/SOLID COVER SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05.
 2. FRAMES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05.
 3. DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS. RISERS ARE NEEDED FOR BASINS OVER 84" DUE TO SHIPPING RESTRICTIONS.
 4. DRAINAGE CONNECTION STUB JOINT TIGHTNESS SHALL CONFORM TO ASTM D3212 FOR CORRUGATED HDPE (ADS N-12/HANCOR DUAL WALL), N-12 HP, & PVC SEWER (4" - 24").

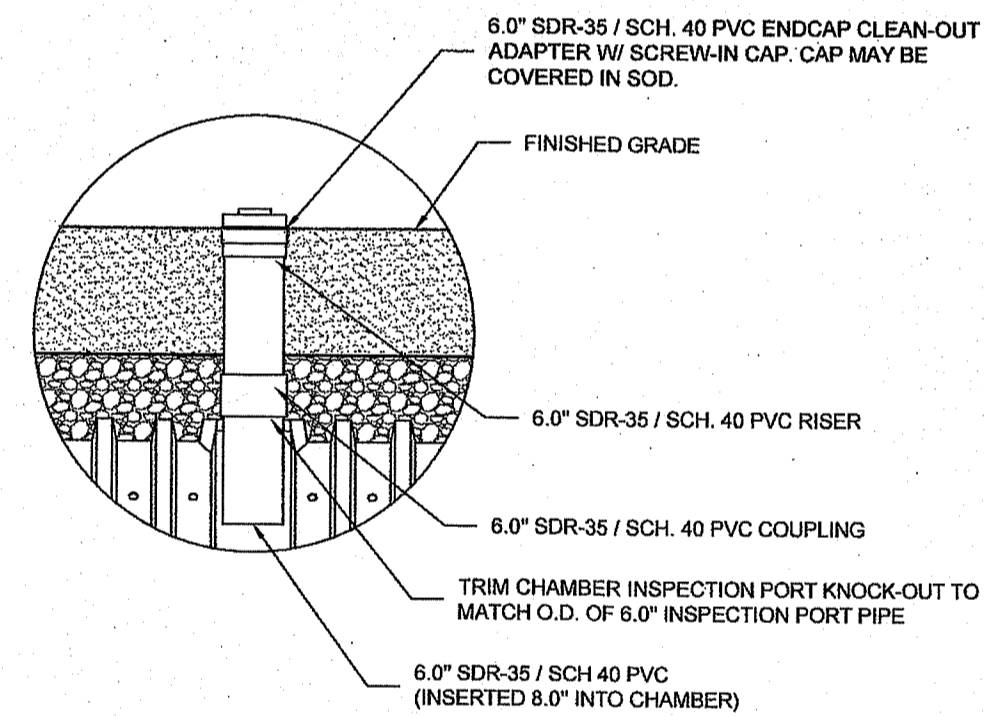
18" ADS DRAIN BASIN OUTLET STRUCTURE DETAIL
 SCALE: NOT TO SCALE



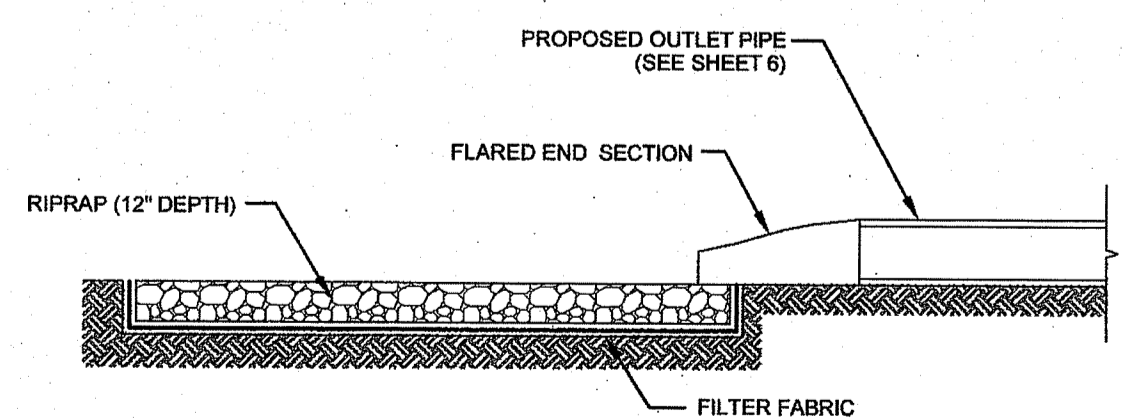
TYPICAL ROOF DOWNSPOUT CONNECTION DETAIL
 ARCHITECT MAY SPECIFY ALTERNATE
 SCALE: NOT TO SCALE



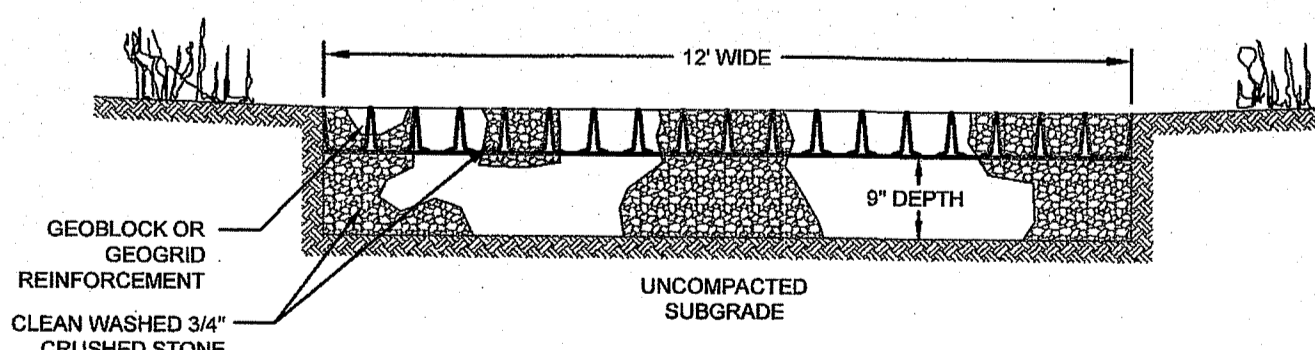
TYPICAL INFILTRATION CHAMBER SYSTEM PROFILE
 SCALE: NOT TO SCALE



TYPICAL INSPECTION PORT (UNPAVED APPLICATION)
 SCALE: NOT TO SCALE



FLARED END SECTION OUTLET FROM RESIDENCE OUTLET STRUCTURES
 SCALE: NOT TO SCALE



- NOTES:**
1. 3/4" CRUSHED ROCK SHALL CONFORM TO THE DIMENSIONAL REQUIREMENTS OF COLUMN III TABLE 1 RIDOT M.01.09. STONE SHALL BE CLEAN AND WASHED PER RIDEM.
 2. SHOULD THE SUBGRADE BE INCIDENTALLY COMPACTED BY CONSTRUCTION VEHICLES, THIS MATERIAL WILL BE TILLED PRIOR TO THE PLACEMENT OF THE DRIVEWAY STONE. DESIGN ENGINEER SHALL ASSESS THE SUBGRADE PRIOR TO STONE PLACEMENT.

PERVIOUS CRUSHED STONE DRIVEWAY
 SCALE: NOT TO SCALE

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 REVIEWED SITE PLAN APPLICATION NO.: 20-022
 DATED APR. 3.0. 2020
 SEE LETTER OF SAME DATE.

2	RIDEM REVISIONS	27MAR20	
1	FINAL PLAN REVISIONS	09MAR20	
No.	Revision	Date	App.
Designed By:	Drawn by: JJR	Checked by: GES	
Scale:	AS SHOWN	Date:	20NOV19

Project Title:
SUMMERFIELD / VAUCLUSE SUBDIVISION
 A.P. 129 LOT 210
 SUMMERFIELD LANE & VAUCLUSE AVENUE
 MIDDLETOWN
 RHODE ISLAND
 02842

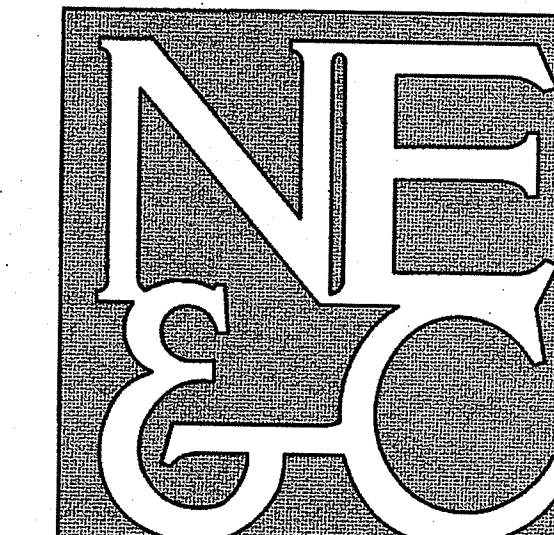
Client/Owner:
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 99 SUMMERFIELD LANE
 MIDDLETOWN, RI 02842

Issued for:
PERMITTING

Drawing Title:
SITE DETAILS PLAN

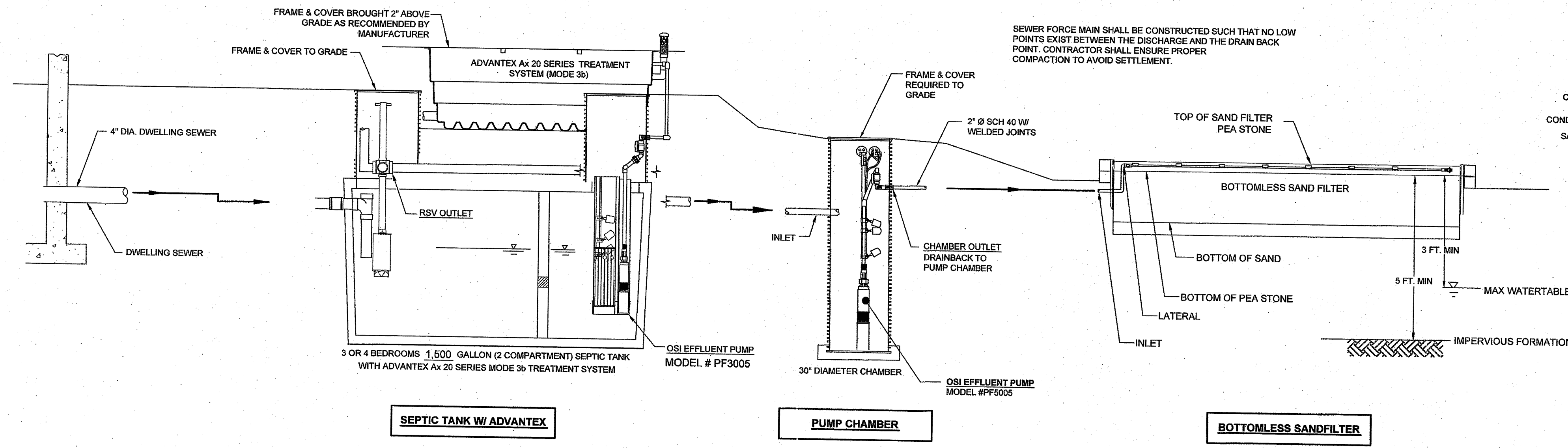
Drawing Number: C-8
Sheet 8 of 10
Project Number: 19131.0
Survey Index: -

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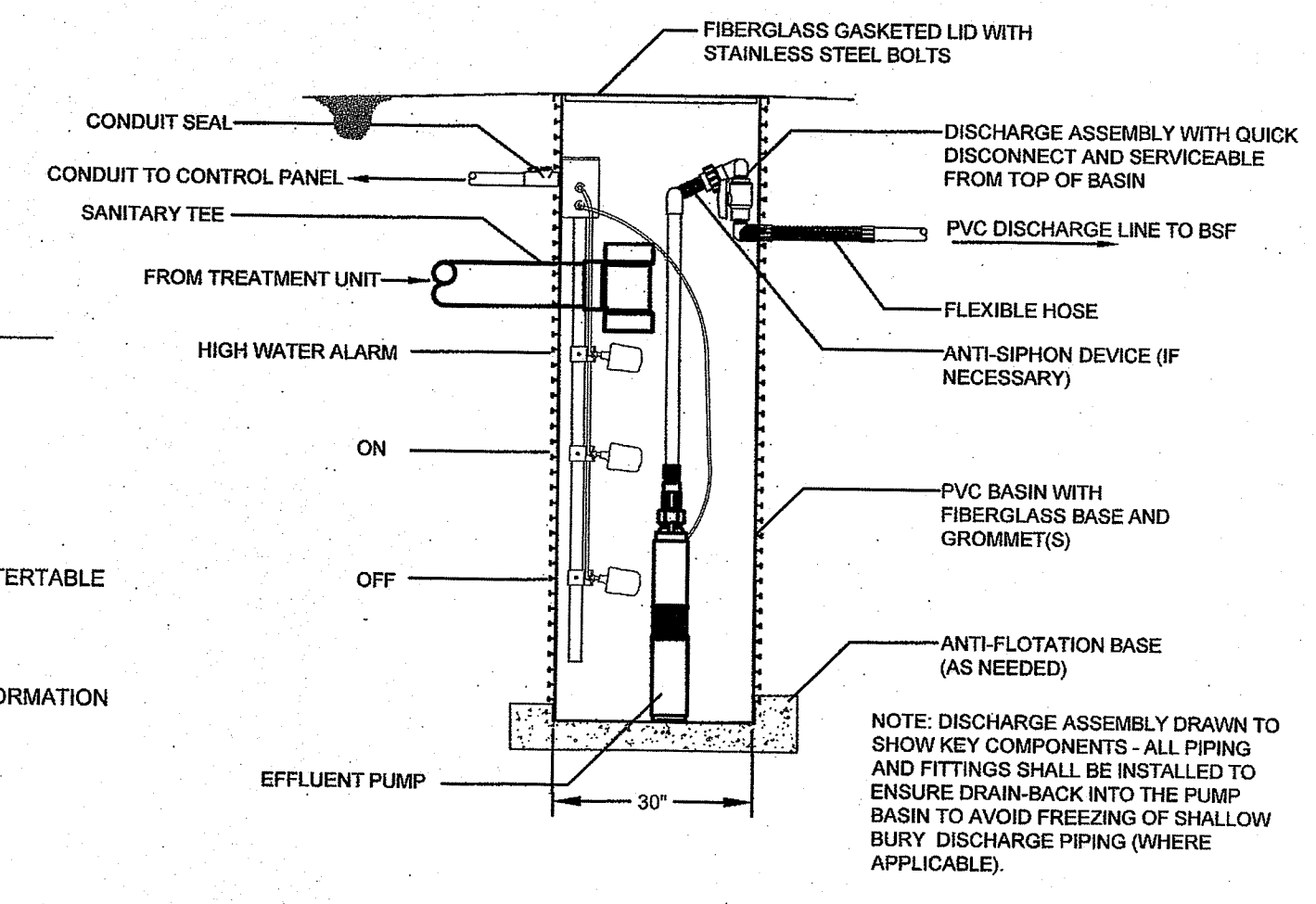


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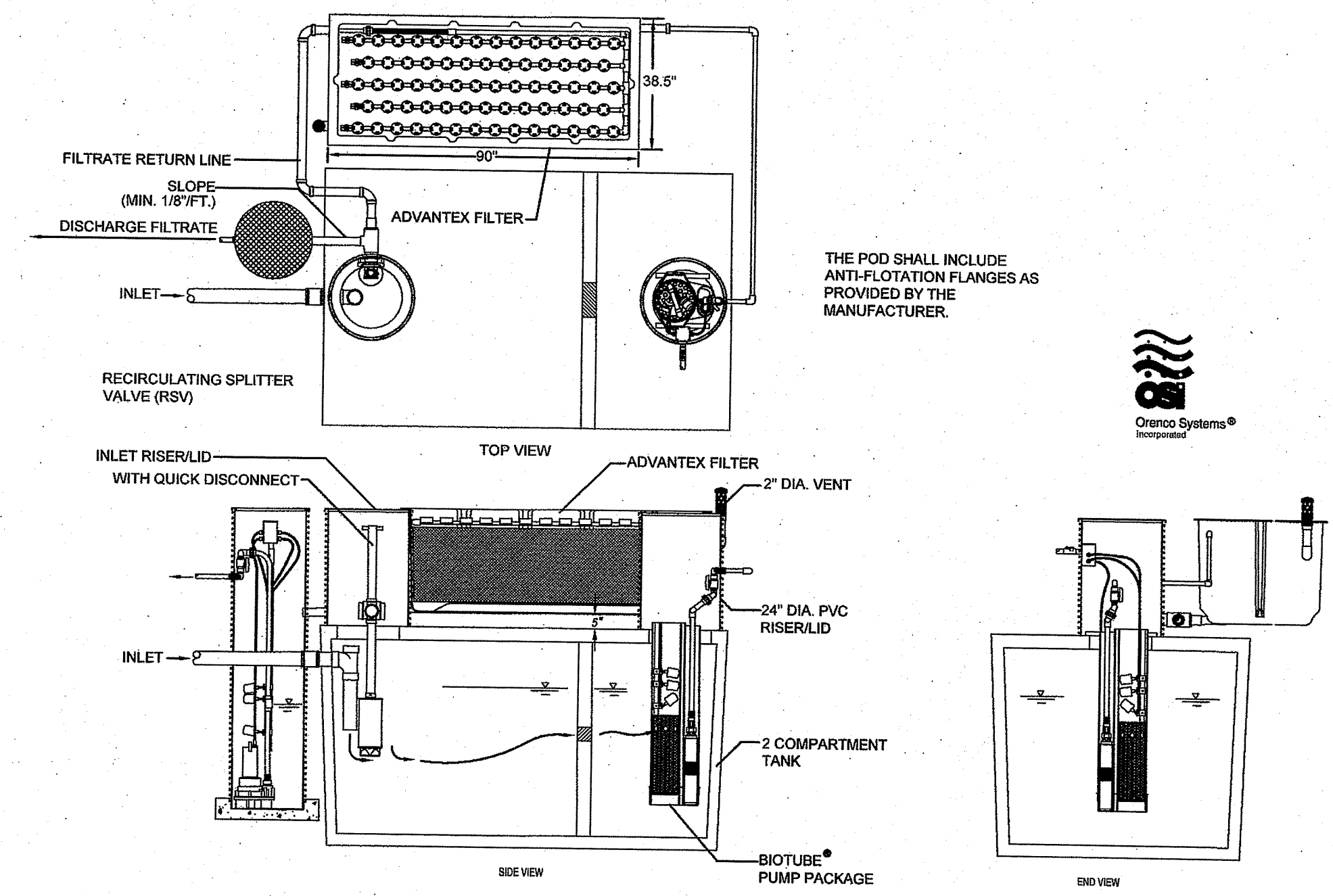
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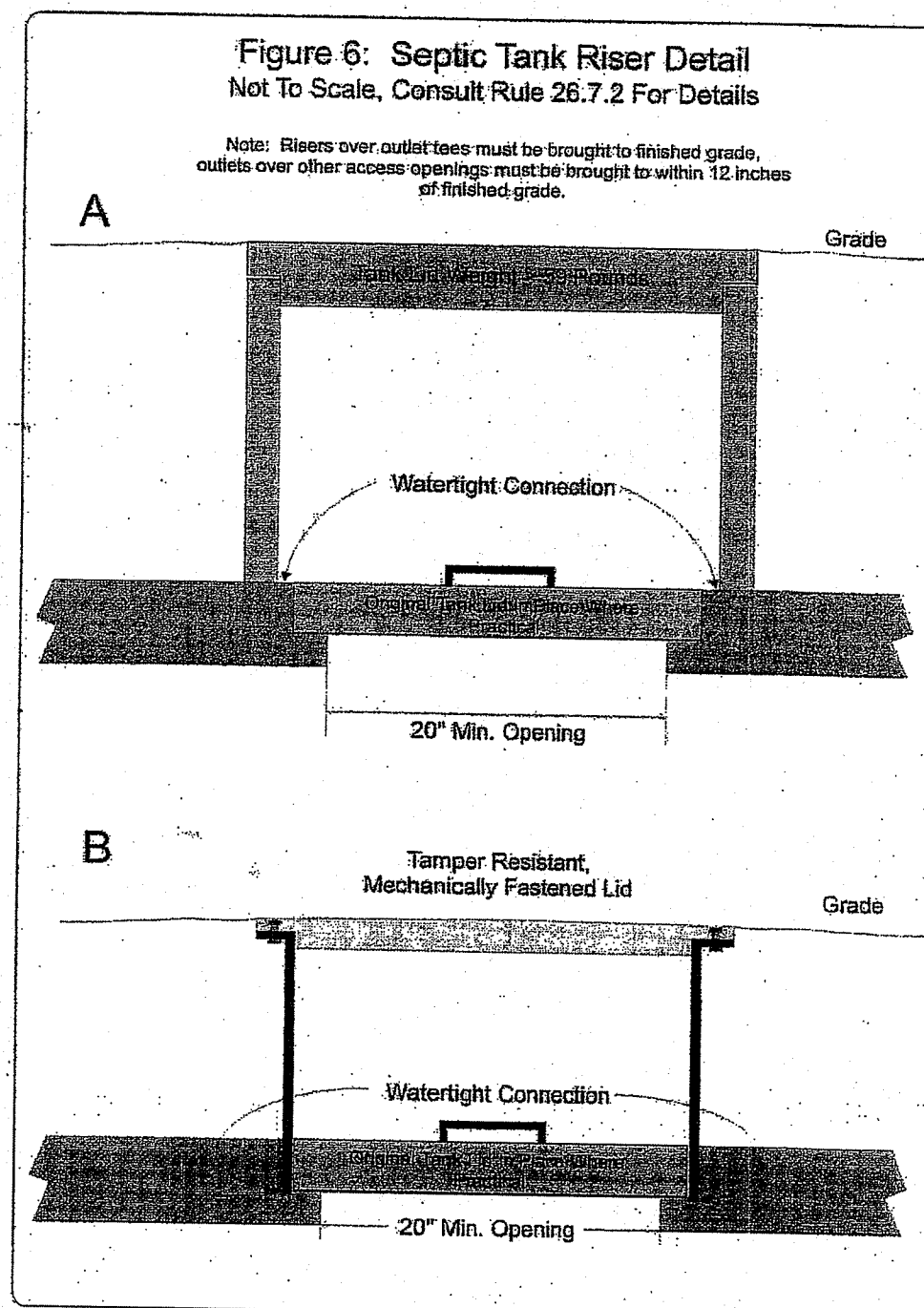
TYPICAL SEWER PROFILE
 SCALE: NOT TO SCALE



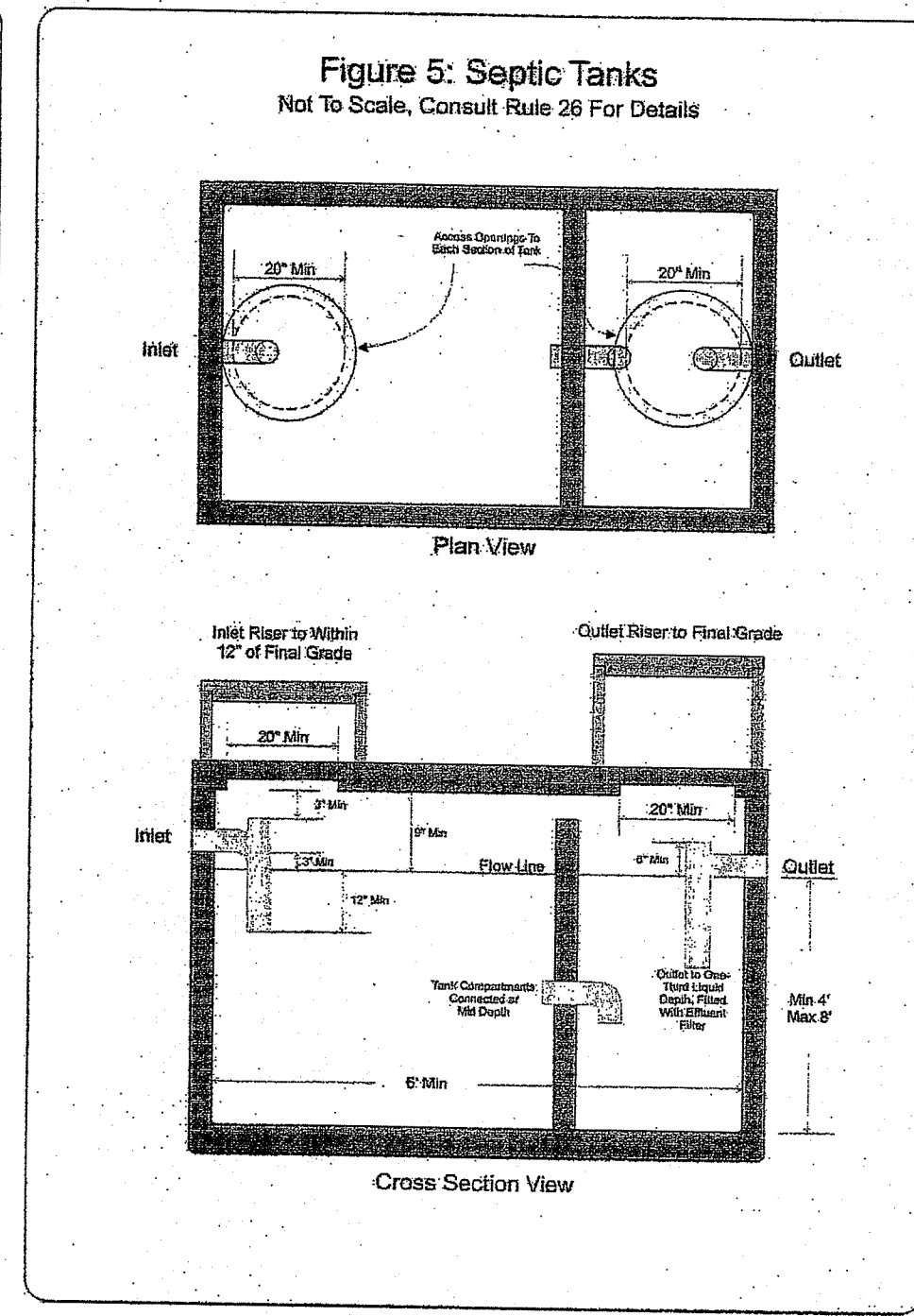
TYPICAL PUMP CHAMBER WITH HIGH HEAD PUMP
 SCALE: NOT TO SCALE



ADVANTEK TREATMENT SYSTEM (ADVANTEK - AX 20 MODE 3B)
 SCALE: NOT TO SCALE



TYPICAL SEPTIC TANK
 SCALE: NOT TO SCALE



DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 REVIEWED SITE PLAN APPLICATION NO. 20-0036
 DATED APR 3 0 2020
 SEE LETTER OF SAME DATE.

No.	Revision	Date	App.
1	FINAL PLAN REVISIONS	09MAR20	

Designed By: AS SHOWN
 Drawn by: JJR
 Checked by: GES
 Date: 20NOV19

Project Title:
SUMMERFIELD / VAUCLUSE SUBDIVISION
 A.P. 129 LOT 210
 SUMMERFIELD LANE & VAUCLUSE AVENUE
 MIDDLETOWN
 RHODE ISLAND
 02842

Client/Owner:
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OWTS DETAILS PLAN

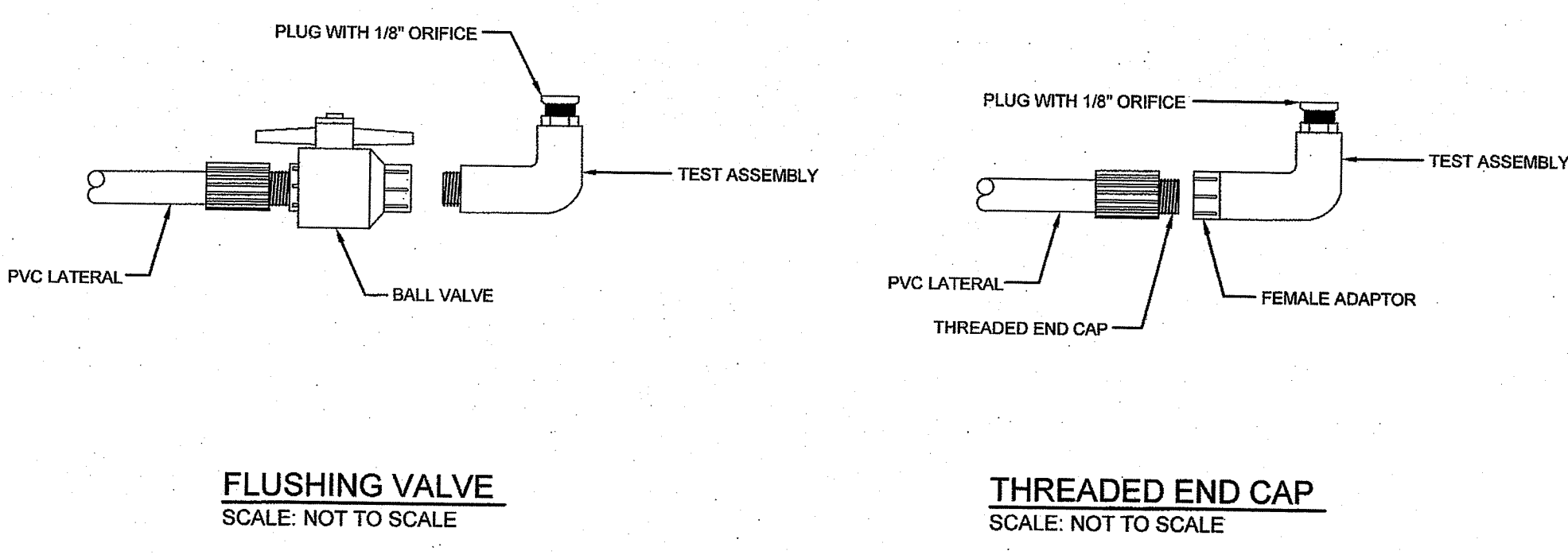
Drawing Number:
C-9

Sheet **9** of **10**

Project Number:
19131.0

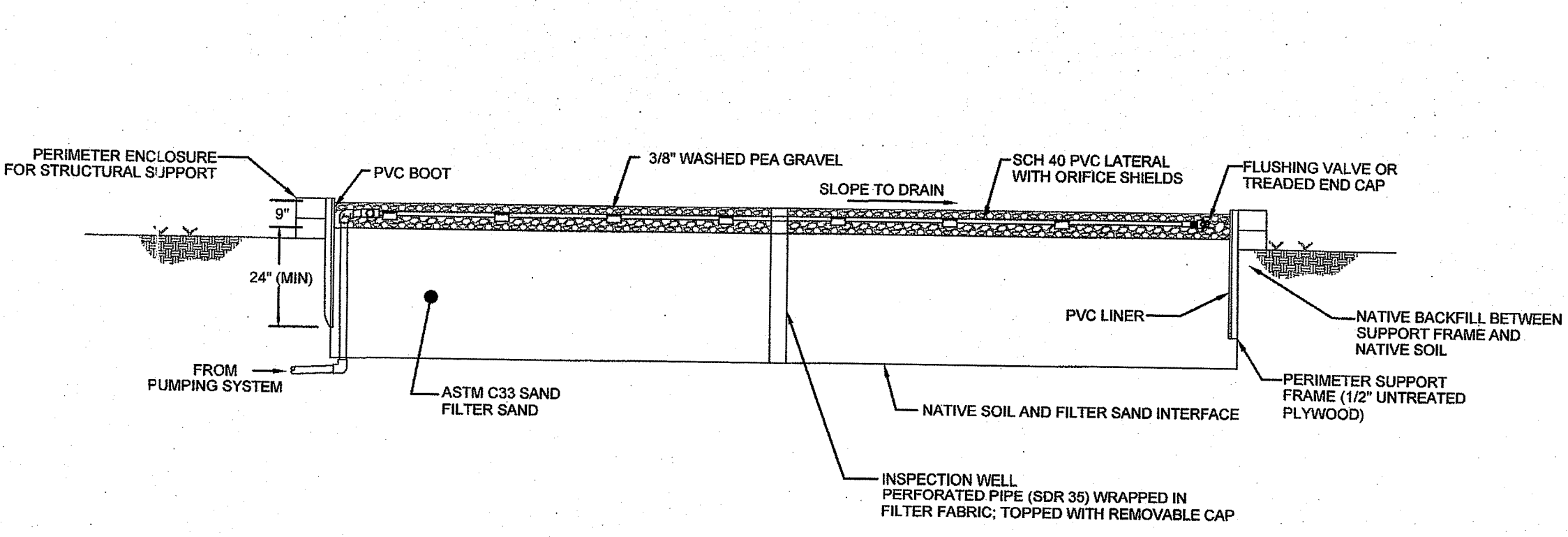
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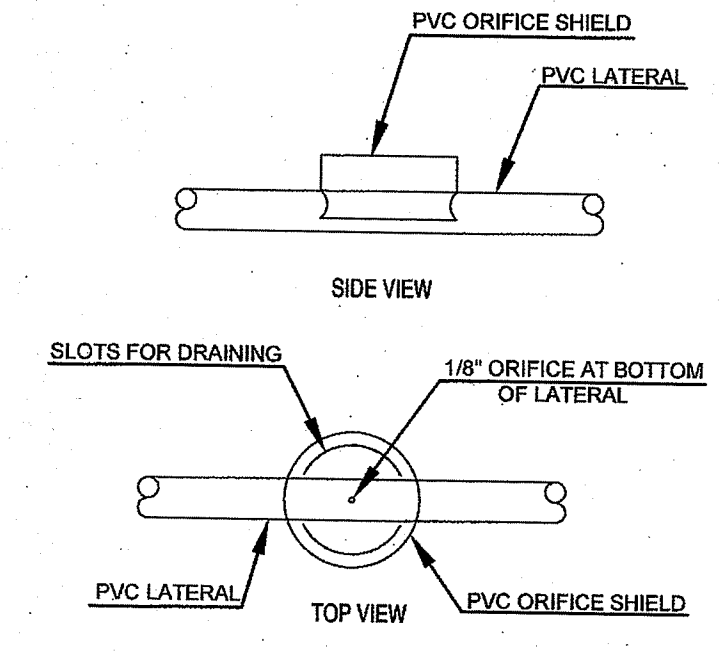


FLUSHING VALVE
 SCALE: NOT TO SCALE

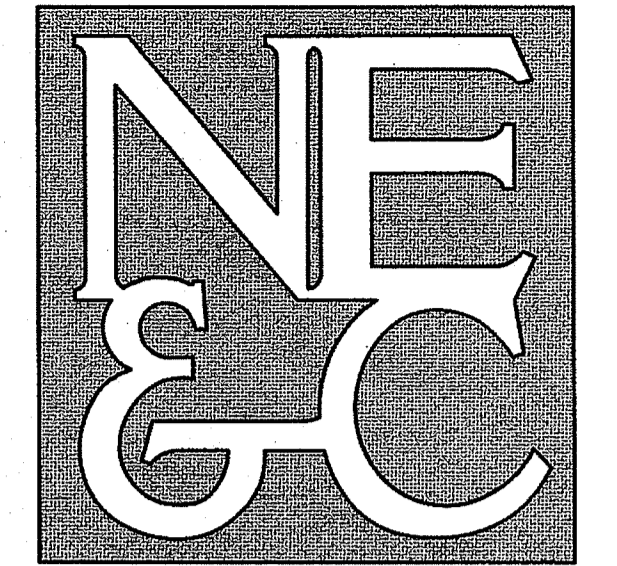
THREADED END CAP
 SCALE: NOT TO SCALE



TYPICAL BOTTOMLESS SAND FILTER (CROSS SECTION)
 SCALE: NOT TO SCALE



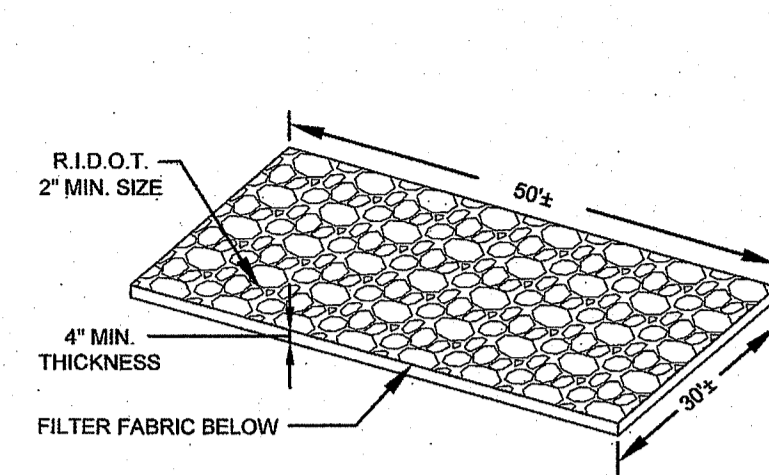
STANDARD COLD WEATHER ORIFICE SHIELD
 SCALE: NOT TO SCALE



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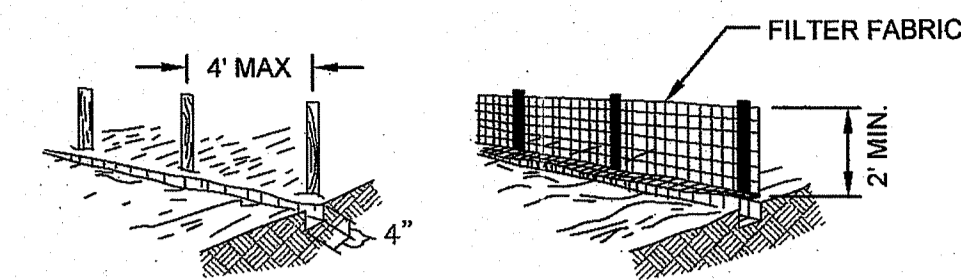
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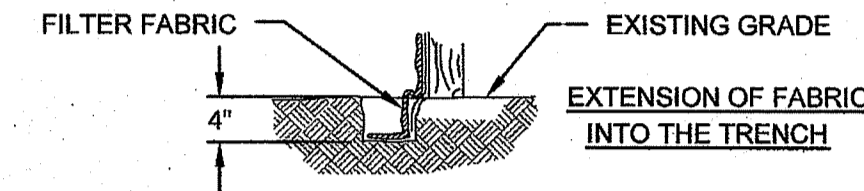


NOTE: CONSTRUCTION ENTRANCES SHALL BE INSTALLED PER DETAIL PROVIDED ON A LOT-BY-LOT BASIS DURING DEVELOPMENT.

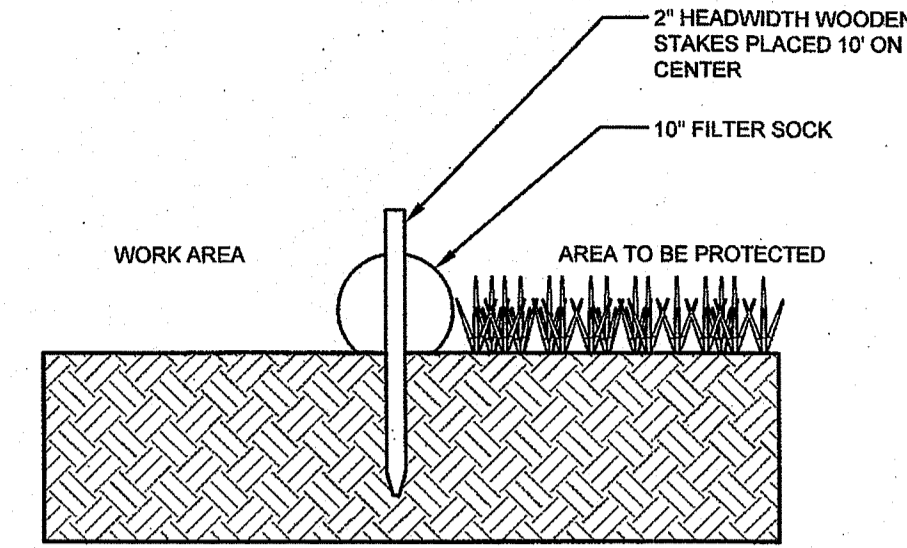
CONSTRUCTION ENTRANCE
 SCALE: NOT TO SCALE



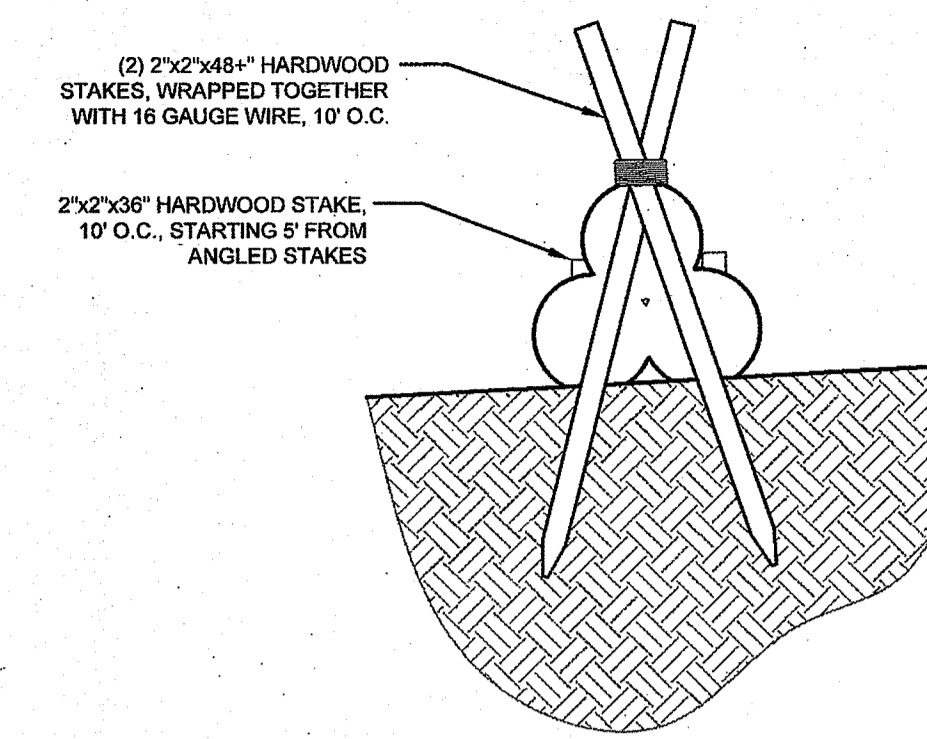
1. SET POSTS AND EXCAVATE A 4" X 4" TRENCH UPSLOPE ALONG THE LINE OF POSTS.
2. STAPLE FILTER FABRIC TO THE POSTS AND EXTEND INTO TRENCH.
3. BACK FILL AND COMPACT THE EXCAVATED SOIL INTO THE TRENCH.



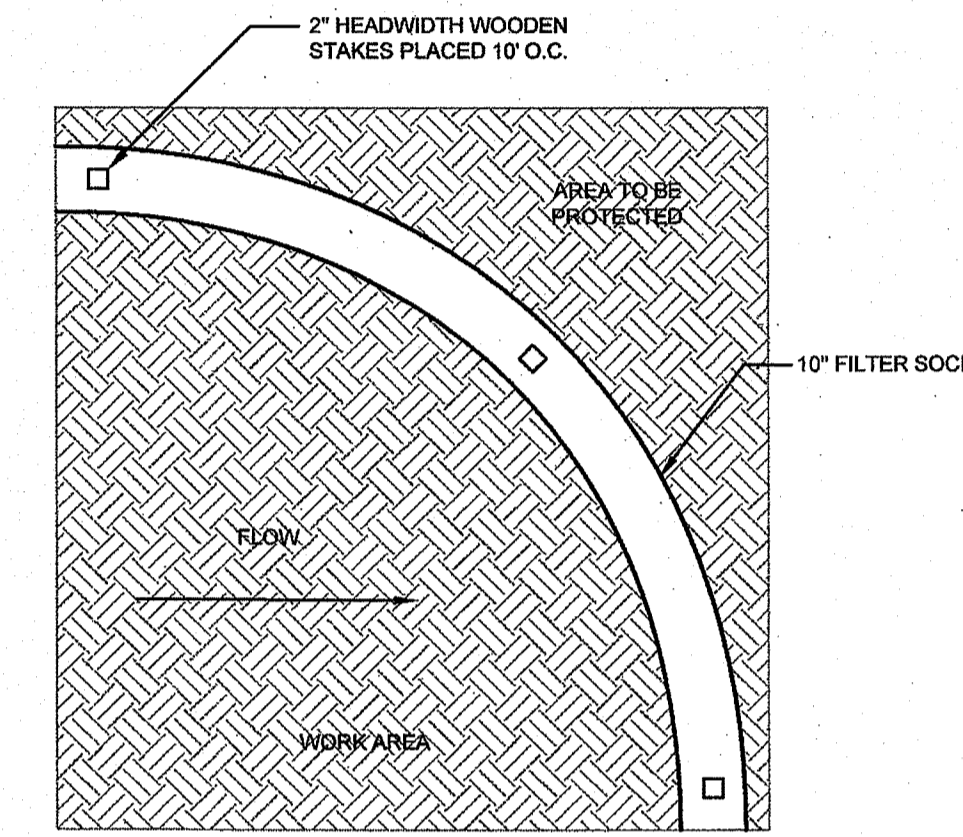
SILT FENCE
 SCALE: NOT TO SCALE



SECTION VIEW

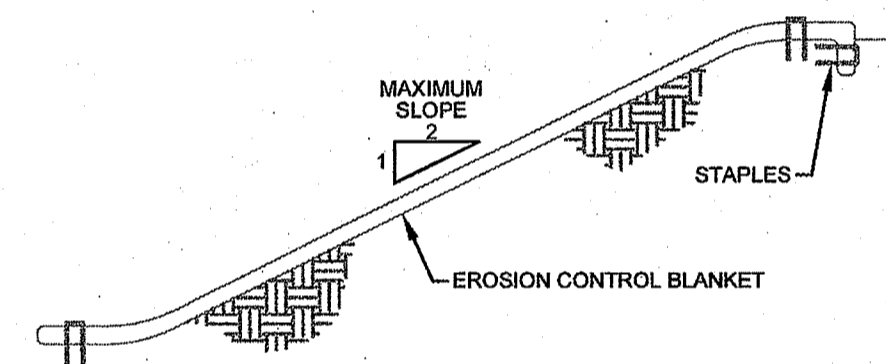


PYRAMID SECTION VIEW (FOR HIGH FLOW CONDITIONS)



TOP VIEW

10" FILTER SOCK DETAIL
 SCALE: NOT TO SCALE



CROSS SECTION

NOTES:

1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF LIME, FERTILIZER, AND SEED.
2. ANCHORING THE BLANKET IN A 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
3. ROLL THE BLANKETS DOWN THE SLOPE IN THE DIRECTION OF THE WATER FLOW.
4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2" OVERLAP.
5. WHEN BLANKETS MUST BE SPLICED DOWN THE SLOPE, PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH APPROXIMATELY 6" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART.

EROSION CONTROL BLANKET
 SCALE: NOT TO SCALE

1	FINAL PLAN REVISIONS	08MAR20	
No.	Revision	Date	App.
Designed By:	Drawn by: JJR	Checked by: GES	
Scale:	AS SHOWN	Date:	20NOV19
Project Title:			
SUMMERFIELD / VAUCLUSE SUBDIVISION A.P. 129 LOT 210 SUMMERFIELD LANE & VAUCLUSE AVENUE MIDDLETOWN RHODE ISLAND 02842			
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ERIC & MELISSA KIRTON 99 SUMMERFIELD LANE MIDDLETOWN, RI 02842			
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