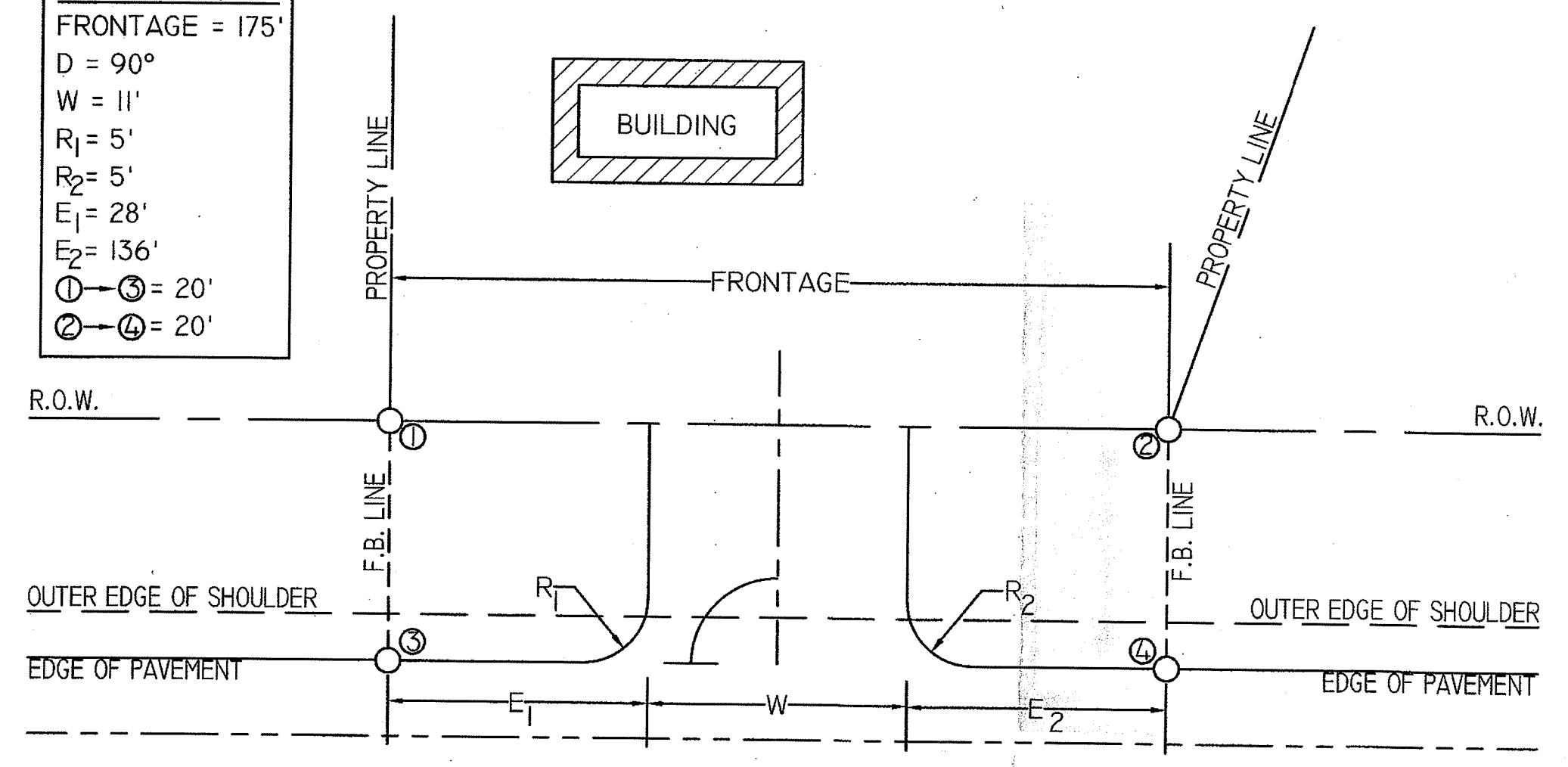
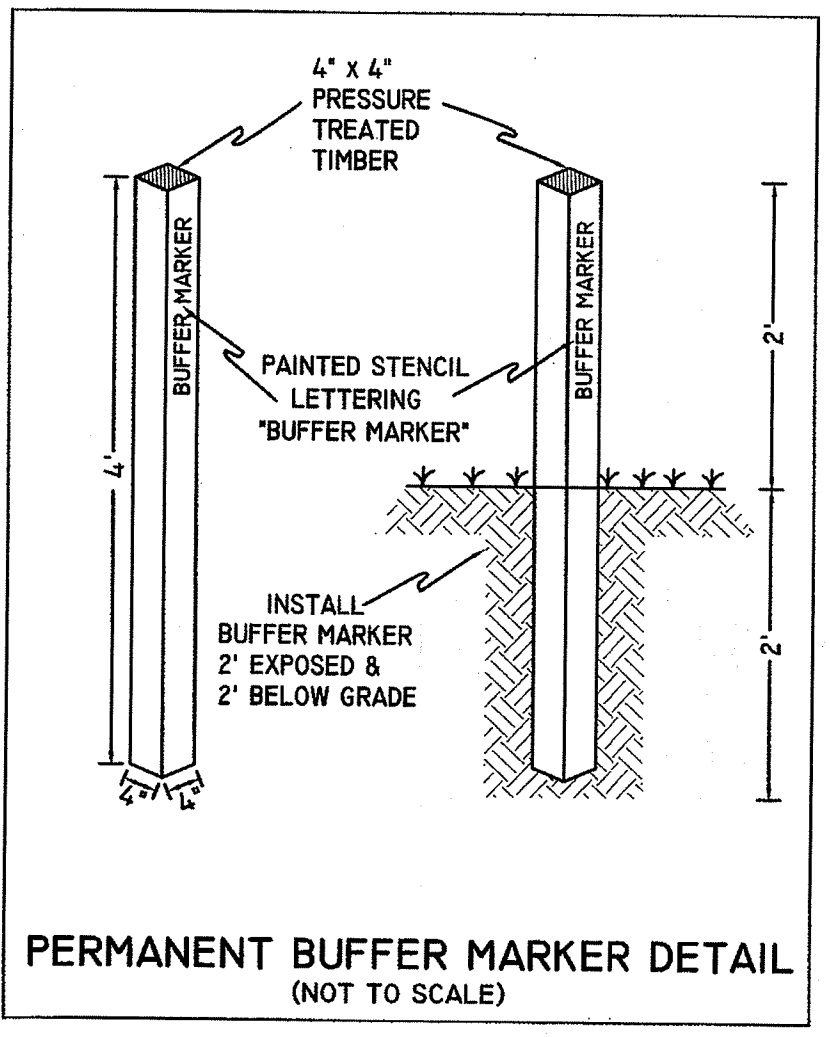


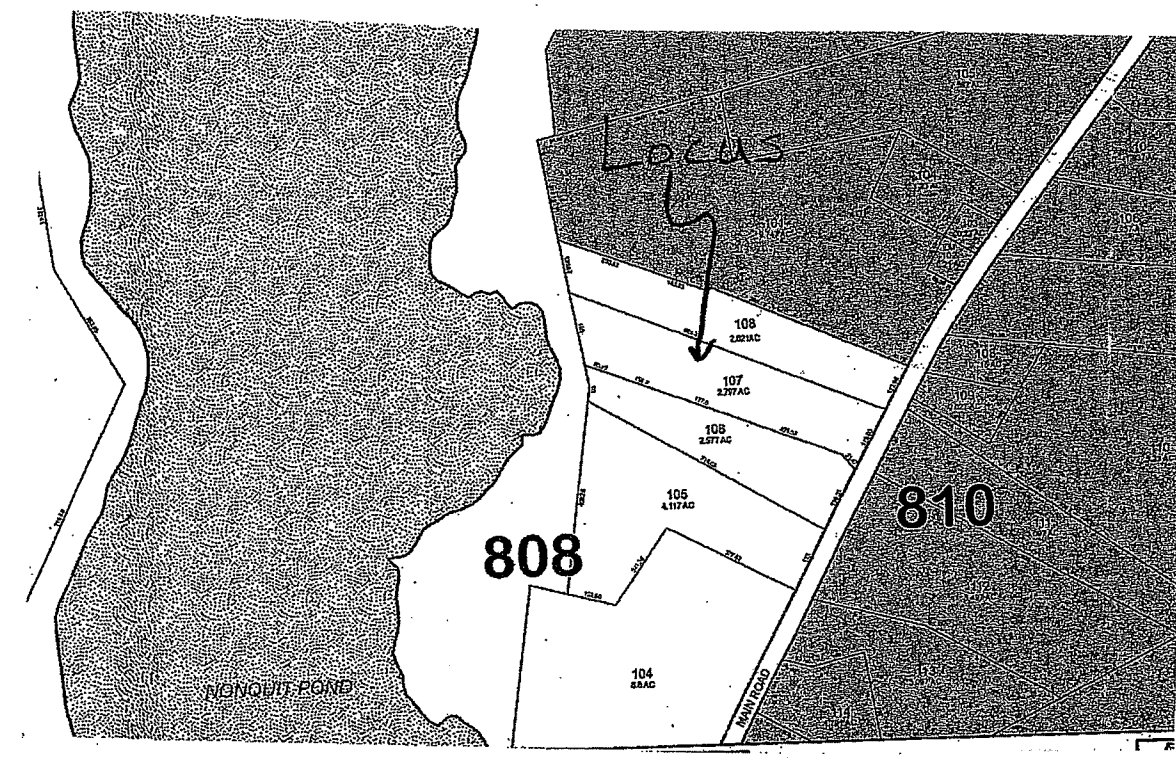
PAP DIMENSIONS
 FRONTAGE = 175'
 D = 90°
 W = 11'
 R₁ = 5'
 R₂ = 5'
 E₁ = 28'
 E₂ = 136'
 ①-③ = 20'
 ②-④ = 20'



NUMBERS DESCRIBE "BUFFER AREA"
 "F.B. LINE" IS FRONTAGE BOUNDARY LINE
FIGURE 1
PAP DETAIL
 (NOT TO SCALE)



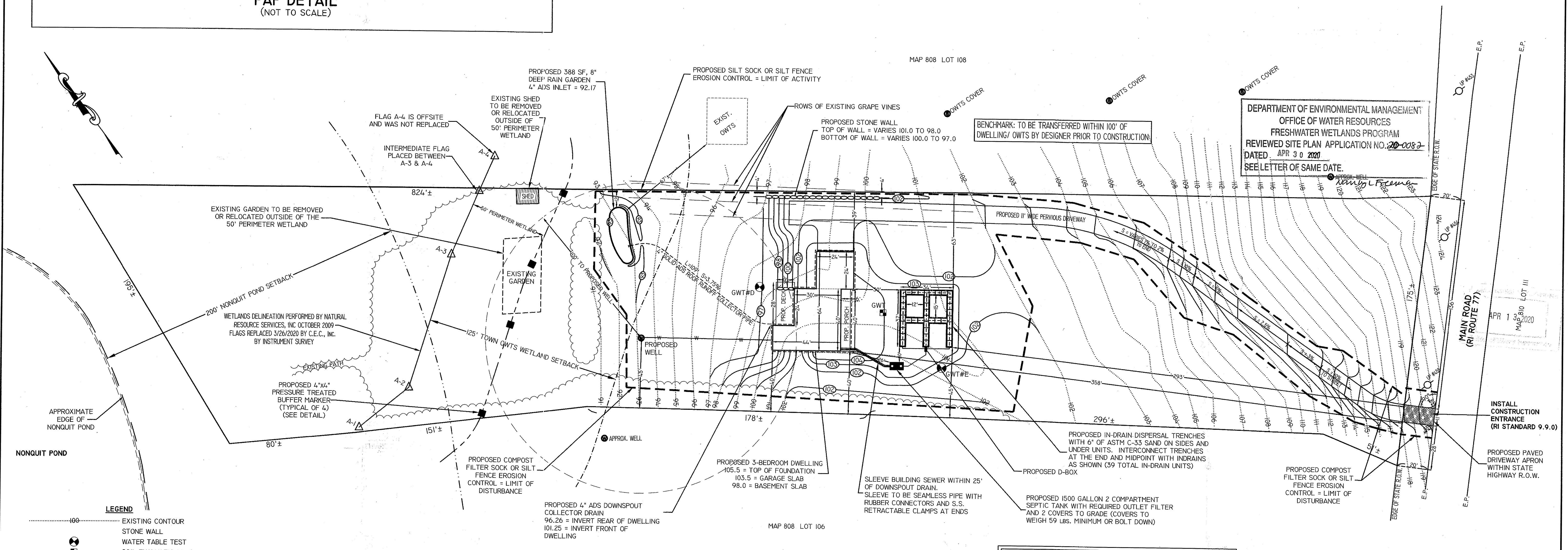
PERMANENT BUFFER MARKER DETAIL
 (NOT TO SCALE)



ASSESSOR'S MAP
 NOT TO SCALE



LOCUS MAP
 SCALE: 1" = 2080'±

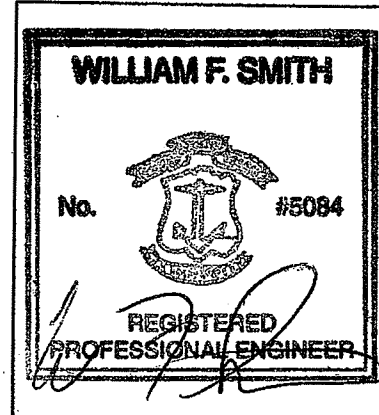
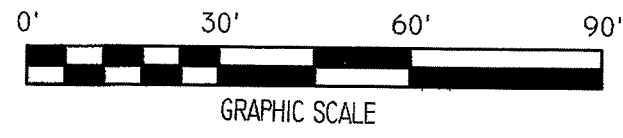


DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 REVIEWED SITE PLAN APPLICATION NO. 20-0082
 DATED APR 30 2020
 SEE LETTER OF SAME DATE.

REFER TO RIDEM FILE #9733-0763 FOR APPROVED
 OWTS PLAN APPROVED ON 12/3/2009 AND TOLLED
 THROUGH 7/1/2021

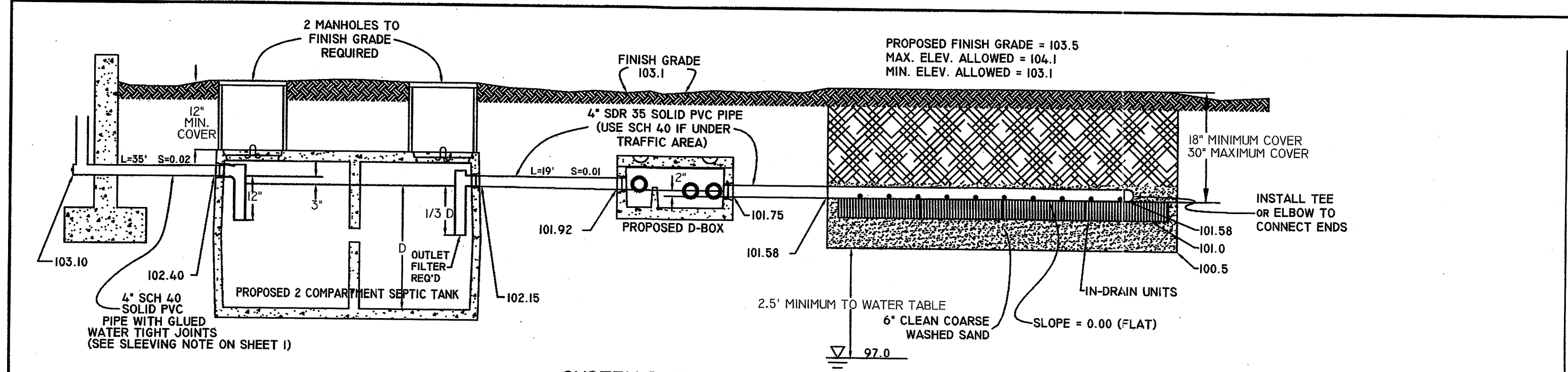
EXCAVATE BELOW AND BETWEEN IN-DRAIN TRENCHES
 TO ELEV. 97.0 OR TO SUITABLE MATERIAL AND BACKFILL
 WITH OWTS SAND AND GRAVEL TO ELEV. 102.1

- LEGEND**
- 100 --- EXISTING CONTOUR
 - STONE WALL
 - ⊙ WATER TABLE TEST
 - ⊙ SOIL EVALUATION TEST PIT
 - APPROXIMATE EDGE OF VEGETATION
 - 200' SETBACK FROM NONQUIT POND
 - DELINEATED WETLAND EDGE
 - 50' PERIMETER WETLAND
 - EXISTING ROW OF GRAPE VINES
 - EXISTING GARDEN
 - ⊙ UTILITY POLE
 - ⊙ OWTS COVER
 - ⊙ WELL (AS NOTED)
 - PROPOSED ROOF RUNOFF COLLECTOR PIPE
 - 125' TOWN OWTS WETLAND SETBACK
 - PROPOSED CONTOUR
 - PROPOSED COMPOST FILTER SOCK OR SILT FENCE
 - EROSION CONTROL = LIMIT OF DISTURBANCE
 - PROPOSED 4"x4" P.T. BUFFER MARKER

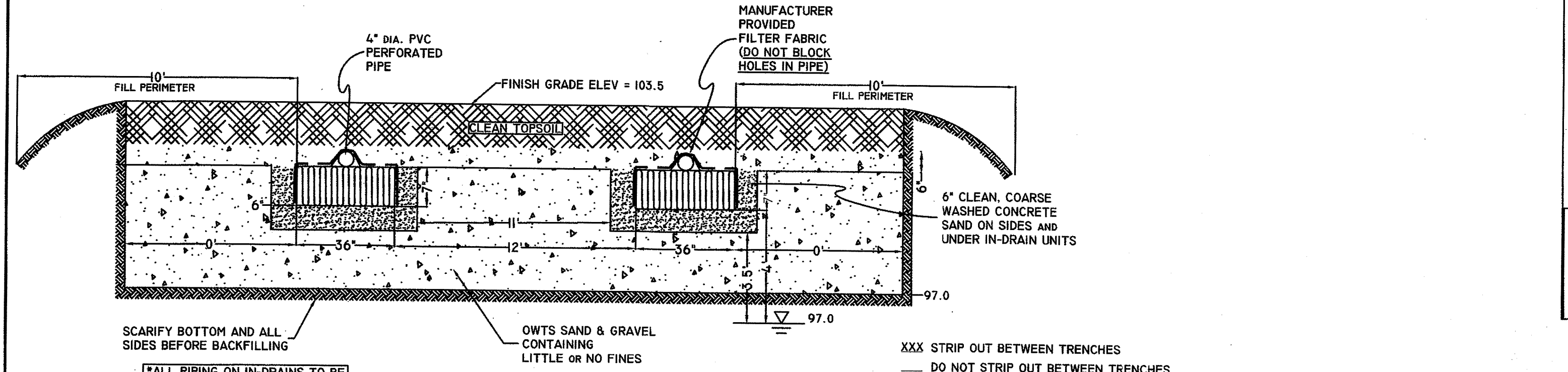


#1, 03/27/20; PER P.B. COMMENTS, REV. DRIVEWAY,
 ADD LEGEND, UPDATE FEATURES, ADD P.A.P. INFO
 REVISIONS:

REVISION TO OWTS NEW CONSTRUCTION PLAN
PATRICIA DOYLE
 c/o ORACLE HOMES
 ASSESSOR'S MAP 808 LOT 107
 MAIN ROAD
 TIVERTON, RHODE ISLAND
 SCALE: 1" = 30' DATE: JANUARY 16, 2020
Civil Engineering Concepts, Inc.
 34A MAIN STREET P.O. BOX 5323
 LITTLE COMPTON, RI 02857 PH: (401) 592-0177
 NEW BEDFORD, MA 02742 (508) 990-4900
 FAX: (401) 592-0178
 SHEET 1 OF 2 JOB#: 19-III

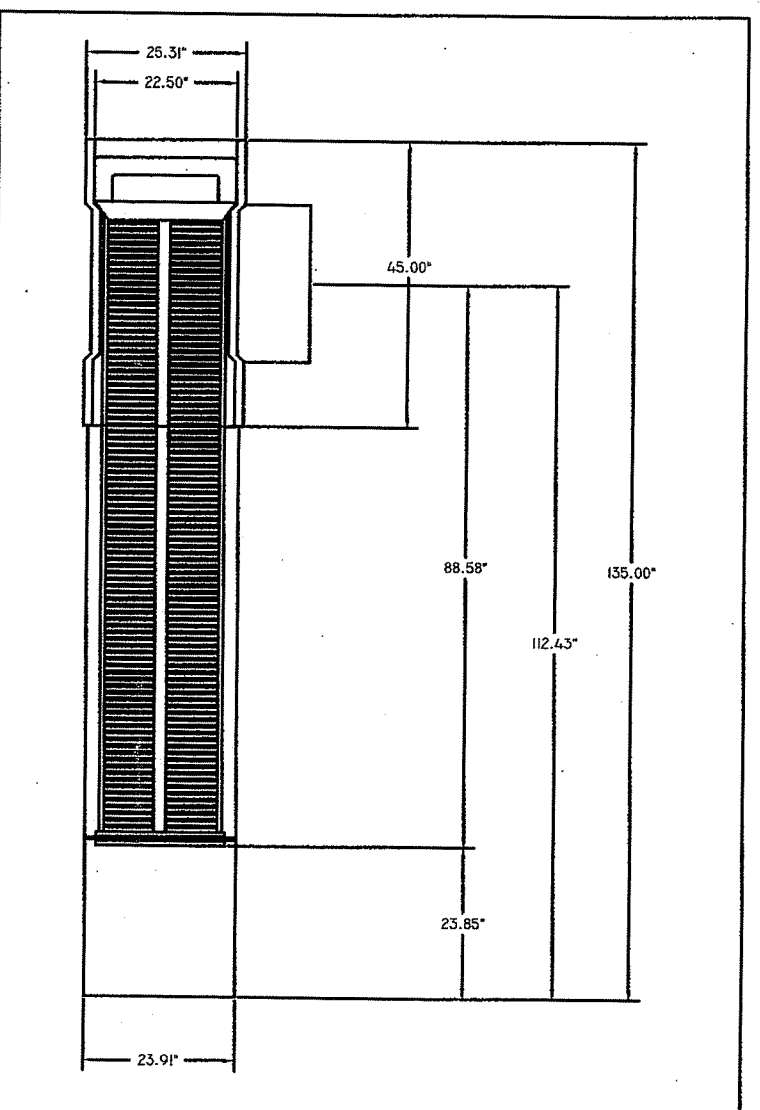


SYSTEM PROFILE
NOT TO SCALE



TYPICAL IN-DRAIN SECTION
NOT TO SCALE

IN-DRAIN UNIT SPECIFICATIONS				
TYPE	LENGTH	WIDTH	HEIGHT	WEIGHT
B	4'	3'	7"	22 LBS.



SEPTIC TANK OUTLET FILTER

OZABEL ENVIRONMENTAL TECHNOLOGY
1000 WEST 10TH STREET, DENVER, CO 80202

MODEL: A1800 STANDARD FILTER

SIZE: 18" DIA. X 48" HGT.

SCALE: 1/4" = 1'-0"

BASIS OF SANITARY DESIGN

NUMBER OF BEDROOMS: 4
 GARBAGE GRINDER: NOT ALLOWED
 ESTIMATED SEWAGE FLOW: 460 GALLONS PER DAY
 SIZE OF SEPTIC TANK: 1500 GALLONS 2 COMPARTMENT
 DESIGN PERCOLATION RATE: 20 MIN/INCH
 LEACHING AREA PROVIDED: 3 IN-DRAIN LEACHING TRENCHES AT 37' LONG
 = 1092 SF (59 UNITS TOTAL) (885 SF REQUIRED)

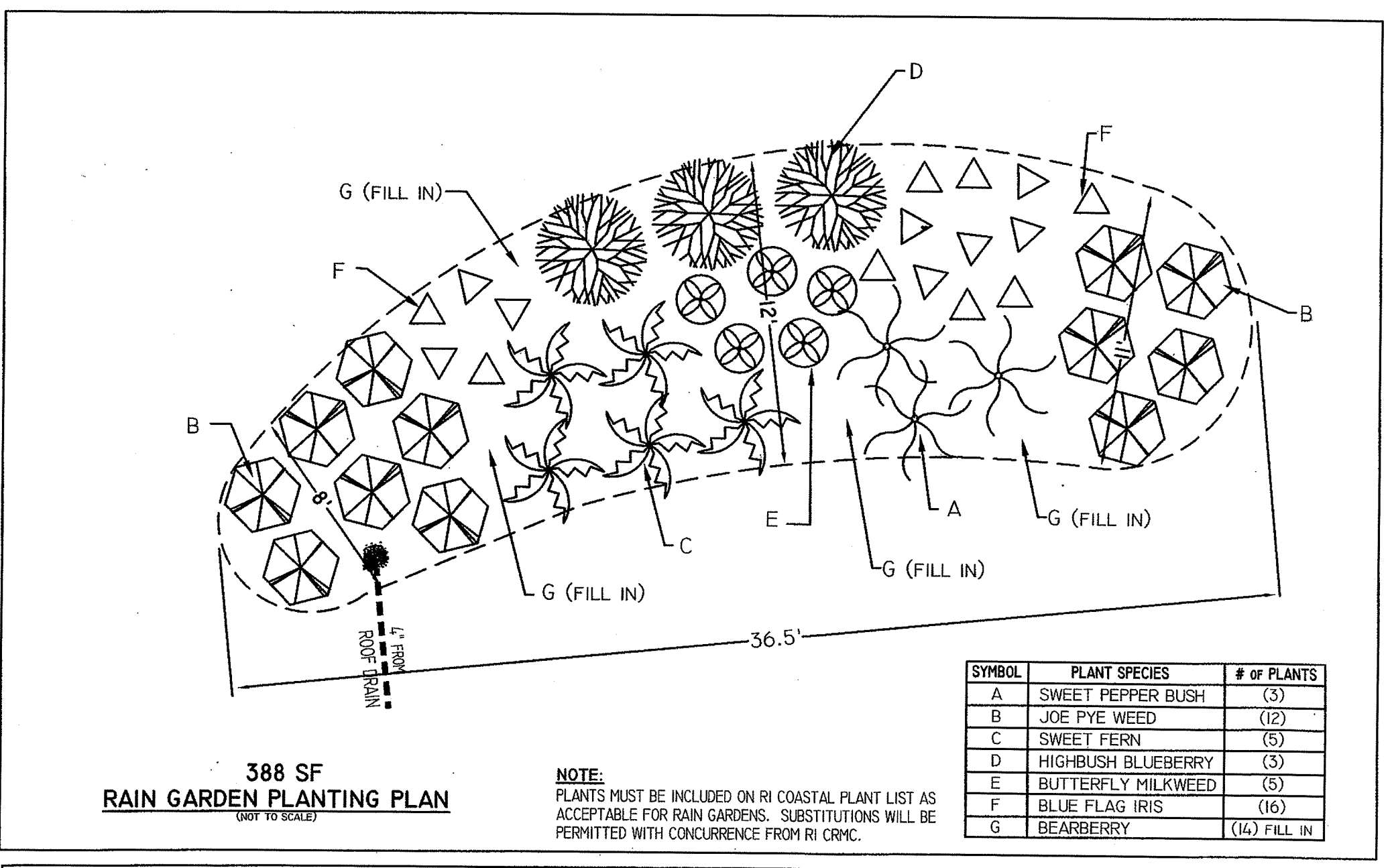
SYSTEM CAPACITY: 1092 SF X 0.52 GALLONS/SF/DAY
 = 567 GALLONS PER DAY

FINISHED FIRST FLOOR: 106.52
TOP OF FOUNDATION: 105.50
FINISHED BASEMENT FLOOR: 98.00
FINISHED GARAGE FLOOR: 103.50
INVERT AT DWELLING: 103.10
INVERT INTO SEPTIC TANK: 102.40
INVERT OUT OF SEPTIC TANK: 102.15
INVERT INTO D-BOX: 101.92
INVERT OUT OF D-BOX: 101.75
INVERT AT BEGINNING OF TRENCH: 101.58
INVERT AT END OF TRENCH: 101.58
BOTTOM OF IN-DRAIN: 101.0
BOTTOM OF COARSE SAND: 100.5
BOTTOM OF OWTS SAND & GRAVEL: 97.0
ELEVATION OF WATER TABLE: 97.0
EXISTING AVERAGE GRADE AT OWTS: 101.0

****NOTE: ELEVATIONS ARE BASED ON CONVENTIONAL DWELLING. NOTIFY DESIGNER OF ANY DISCREPANCIES PRIOR TO ANY WORK. DESIGN DOES NOT PERMIT TOILETS IN BASEMENT AREA.**

ALL EXISTING AND PROPOSED WELLS WITHIN 200' OF PROPOSED OWTS ARE SHOWN. NO EXISTING OR PROPOSED PUBLIC WELLS WERE OBSERVED WITHIN 500' OF PROPOSED OWTS. NO EXISTING OR PROPOSED SEPTIC SYSTEMS WITHIN 100' OF PROPOSED WELL. MAINTAIN ELEVATION 101.6 WITHIN 10' OF PROPOSED OWTS. NO UPGRADIENT DRAINS ALLOWED WITHIN 100' OF PROPOSED OWTS. NO DOWNGRADIENT DRAINS ALLOWED WITHIN 100' OF PROPOSED OWTS. BRING SEPTIC TANK COVERS TO GRADE. COVER TO BE 18" MIN AND CAPABLE OF WITHSTANDING H-20 LOADING. COVERS TO WEIGH 59 LBS. MINIMUM OR BOLT DOWN. ALL OWTS PIPE TO BE 4" DIAMETER, PVC SDR 35 (MIN) PERFORATED OR SOLID AS REQUIRED. OUTLET FILTER TO BE INSPECTED SEMI-ANNUALLY TO ENSURE PROPER FUNCTIONING. BUILDING SEWER TO BE 4" SCH 40 PVC WITH GLUED, WATERTIGHT JOINTS. SLEEVE BUILDING SEWER IN WATERTIGHT PVC ATTACHED WITH RUBBER SEALS AND FASTENED WITH STAINLESS STEEL RETRACTABLE CLAMPS.

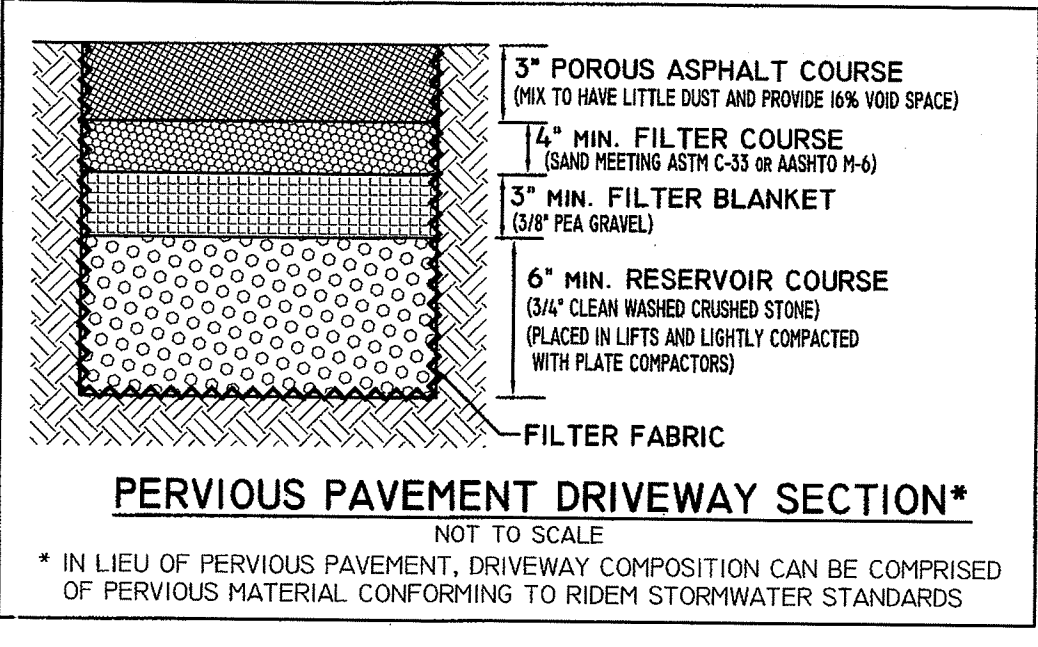
- NOTES:**
- ALL CONSTRUCTION SHALL CONFORM TO THE STATE OF RHODE ISLAND AND PROVIDENCE PLANTATIONS DEPARTMENT OF ENVIRONMENTAL MANAGEMENT- RULES AND REGULATIONS ESTABLISHING MINIMUM STANDARDS RELATING TO LOCATION, DESIGN, CONSTRUCTION AND MAINTENANCE OF ON-SITE WASTEWATER TREATMENT SYSTEMS MOST RECENTLY AMENDED.
 - ALL WORK SHALL BE DONE IN A WORKMANLIKE MANNER WITH LINES LAID AS STRAIGHT AS POSSIBLE AND JOINTS MADE WATERTIGHT. ALL WORK TO BE DONE BY AN INSTALLER LICENSED IN THE STATE OF RHODE ISLAND.
 - SEPTIC TANK TO BE JOLLEY PRECAST 1500 GALLON TWO COMPARTMENT SEPTIC TANK. TWO SEPTIC TANK COVERS TO BE BROUGHT TO FINISH GRADE. OUTLET FILTER REQUIRED.
 - DISTRIBUTION BOX TO BE BCP 5 OUTLET D-BOX OR APPROVED EQUALS. ALL DISTRIBUTION LINES FROM BOX ONE FOOT INTO START OF TRENCH TO BE MINIMUM SOLID SDR-35. A DROP OF 2" IS REQUIRED FROM THE D-BOX TO THE START OF THE TRENCHES. BAFFLES OR INLET TEE REQUIRED IN D-BOX.
 - LEACHING AREA EXCAVATION SHALL BE LEVEL AND SCARIFIED. CARE SHALL BE TAKEN TO AVOID COMPACTION OF THE LEACHING AREA. EXCAVATION SHALL BE STRIPPED OF ALL BRUSH, TREES, TOPSOIL, SUBSOIL AND OTHER UNDESIRABLE MATERIAL AND BACKFILLED WITH CLEAN COARSE SAND, GRAVEL OR STONE, AS DESIGNATED ON THE PLAN. SAND AND GRAVEL TO HAVE A MINIMUM PERCOLATION RATE OF 5 MIN/INCH. MAX STONE SIZE IS 6". LIMIT 10% OF 2" - 6" STONES.
 - ALL BACKFILL MATERIAL PLACED OVER THE SEPTIC SYSTEM SHALL BE FREE OF LARGE STONES, RUBBISH, OR OTHER DELETERIOUS MATERIALS. HEAVY EQUIPMENT SHALL NOT BE ALLOWED TO RUN OVER THE LEACHING AREA.
 - THE SYSTEM IS NOT DESIGNED TO ACCOMMODATE A GARBAGE GRINDER, WATER SOFTENER, OR JACUZZI.
 - FOR PROPER OPERATION, THE SEPTIC TANK SHALL BE INSPECTED ANNUALLY AND PUMPED AT NO GREATER THAN 2 YEAR INTERVALS. OUTLET FILTER TO BE INSPECTED AND CLEANED SEMI-ANNUALLY.
 - NO PARKING IS PERMITTED IN THE VICINITY OF THE OWTS.
 - DIG SAFE NOTIFICATION IS REQUIRED PRIOR TO ANY EXCAVATION.
 - CONTRACTOR TO INSTALL 12" MINIMUM COVER OVER OWTS. CONTRACTOR IS TO INSURE 6" LOAM AND SEED OVER ALL DISTURBED AREAS UNLESS OTHER ARRANGEMENTS HAVE BEEN MADE FOR FINISH LANDSCAPING.
 - PROPERTY LINES AS DEPICTED ON THIS PLAN ARE APPROXIMATE ONLY AND ARE NOT THE RESULT OF A BOUNDARY SURVEY.
 - CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL SAFETY AND BUILDING CODES ARE FOLLOWED.
 - DESIGNER TO BE NOTIFIED 72 HOURS (3 WORKING DAYS) PRIOR TO THE START OF OWTS CONSTRUCTION. CONTRACTOR IS TO INSURE THAT DESIGNER IS NOTIFIED 2 WORKING DAYS IN ADVANCE OF REQUIRED INSPECTIONS SO PROPER NOTIFICATION TO RIDEM CAN BE MADE. FAILURE TO PROVIDE ADVANCE NOTICE WILL RESULT IN DELAYS TO THE CONTRACTOR. WORK SHALL NOT CONTINUE UNTIL VARIOUS STAGE IS APPROVED.
 - RI DOT PHYSICAL ALTERATION PERMIT IS REQUIRED PRIOR TO START OF CONSTRUCTION
 - THIS SITE IS LOCATED WITHIN THE PRIMARY WATERSHED OF NONQUIT POND. AN ENVIRONMENTAL REVIEW BY THE TIVERTON PLANNING BOARD IS REQUIRED PRIOR TO ISSUANCE OF A BLDG PERMIT. REVIEW BY THE TIVERTON ZONING OFFICER IS REQUIRED TO INSURE COMPLIANCE WITH THE WATERSHED ZONING REQUIREMENTS.



388 SF RAIN GARDEN PLANTING PLAN
NOT TO SCALE

SYMBOL	PLANT SPECIES	# OF PLANTS
A	SWEET PEPPER BUSH	(3)
B	JOE PYE WEED	(12)
C	SWEET FERN	(5)
D	HIGHBUSH BLUEBERRY	(3)
E	BUTTERFLY MILKWEED	(5)
F	BLUE FLAG IRIS	(16)
G	BEARBERRY	(14) (FILL IN)

NOTE:
PLANTS MUST BE INCLUDED ON RI COASTAL PLANT LIST AS ACCEPTABLE FOR RAIN GARDENS. SUBSTITUTIONS WILL BE PERMITTED WITH CONCURRENCE FROM RI CRMC.



PERVIOUS PAVEMENT DRIVEWAY SECTION*
NOT TO SCALE

* IN LIEU OF PERVIOUS PAVEMENT, DRIVEWAY COMPOSITION CAN BE COMPRISED OF PERVIOUS MATERIAL CONFORMING TO RIDEM STORMWATER STANDARDS

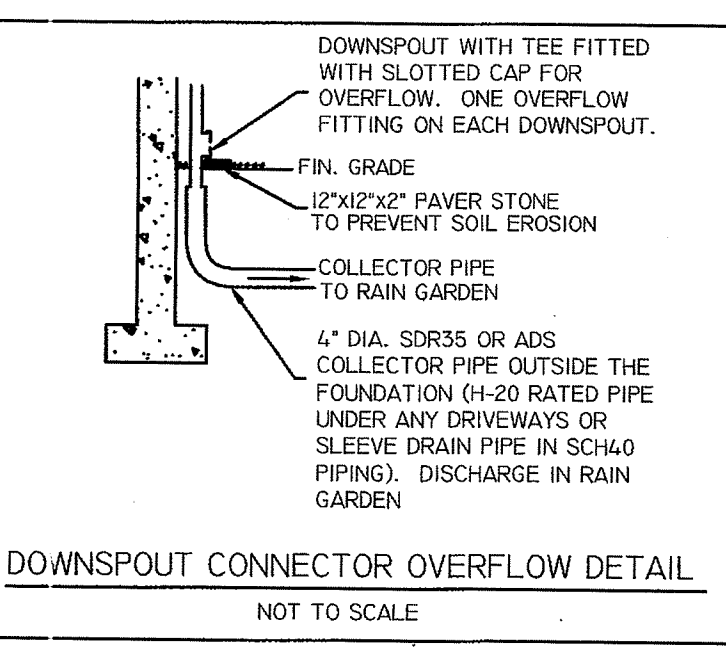
PROPOSED IMPERVIOUS COVERAGE:
 2,000 SF PROPOSED DWELLING
 240 SF PROPOSED PORCH
 0 SF PROP. DECK (OPEN JOINTED FLOOR - NO ROOF)

2,400 SF TOTAL IMPERVIOUS COVERAGE PROPOSED (DRIVEWAY TO BE PERVIOUS GRAVEL)

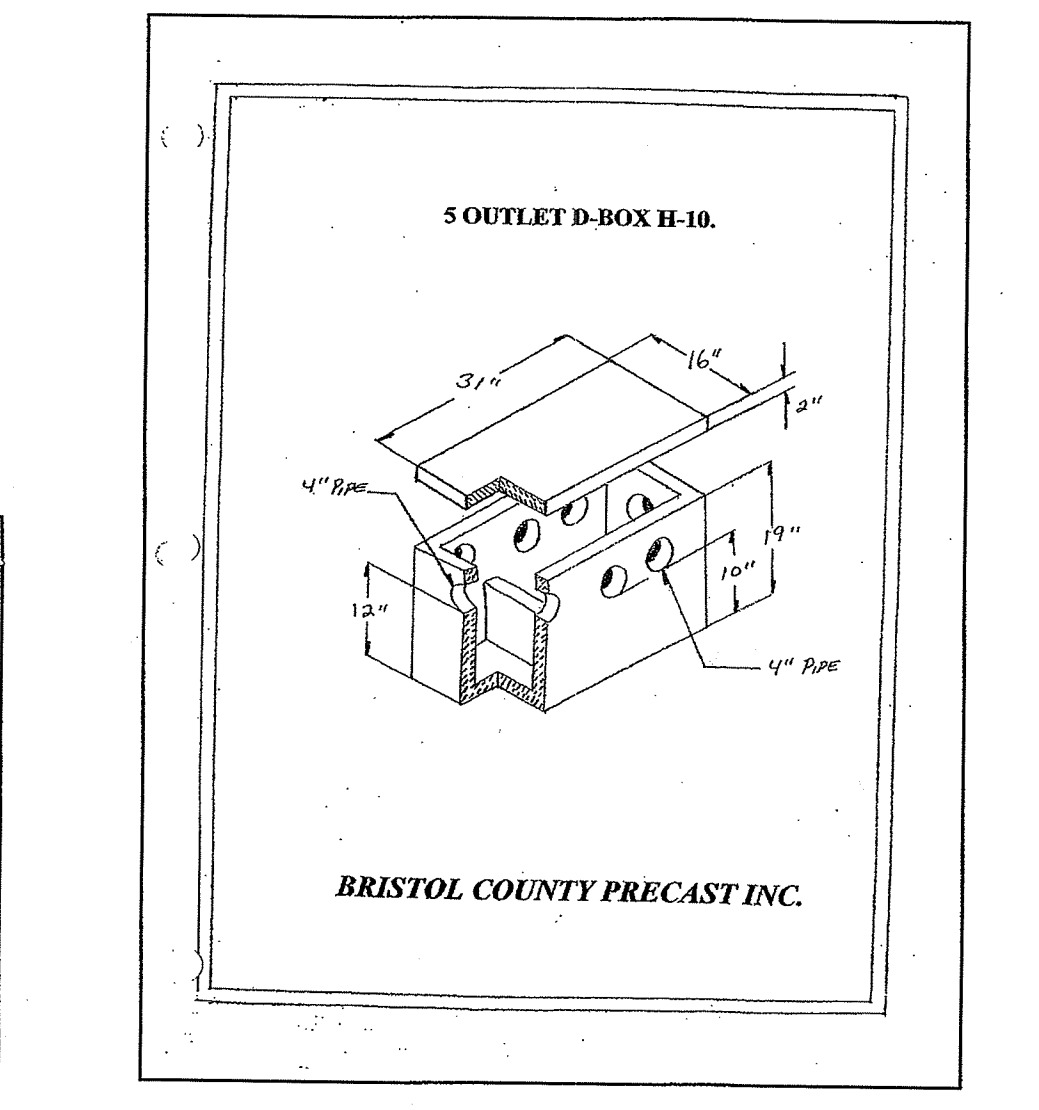
PER RI STORMWATER MANAGEMENT GUIDELINES FOR INDIVIDUAL SINGLE FAMILY RESIDENTIAL LOT DEVELOPMENT, TABLES 7 AND 8, RAIN GARDEN SIZING:

2,400 SF OF DRAINAGE AREA IN SILTY SOILS REQUIRES 288 SF OF RAIN GARDEN AT 8" DEEP
 [150 (SF/1000 SF) X 2.4 = 360 SF req'd]

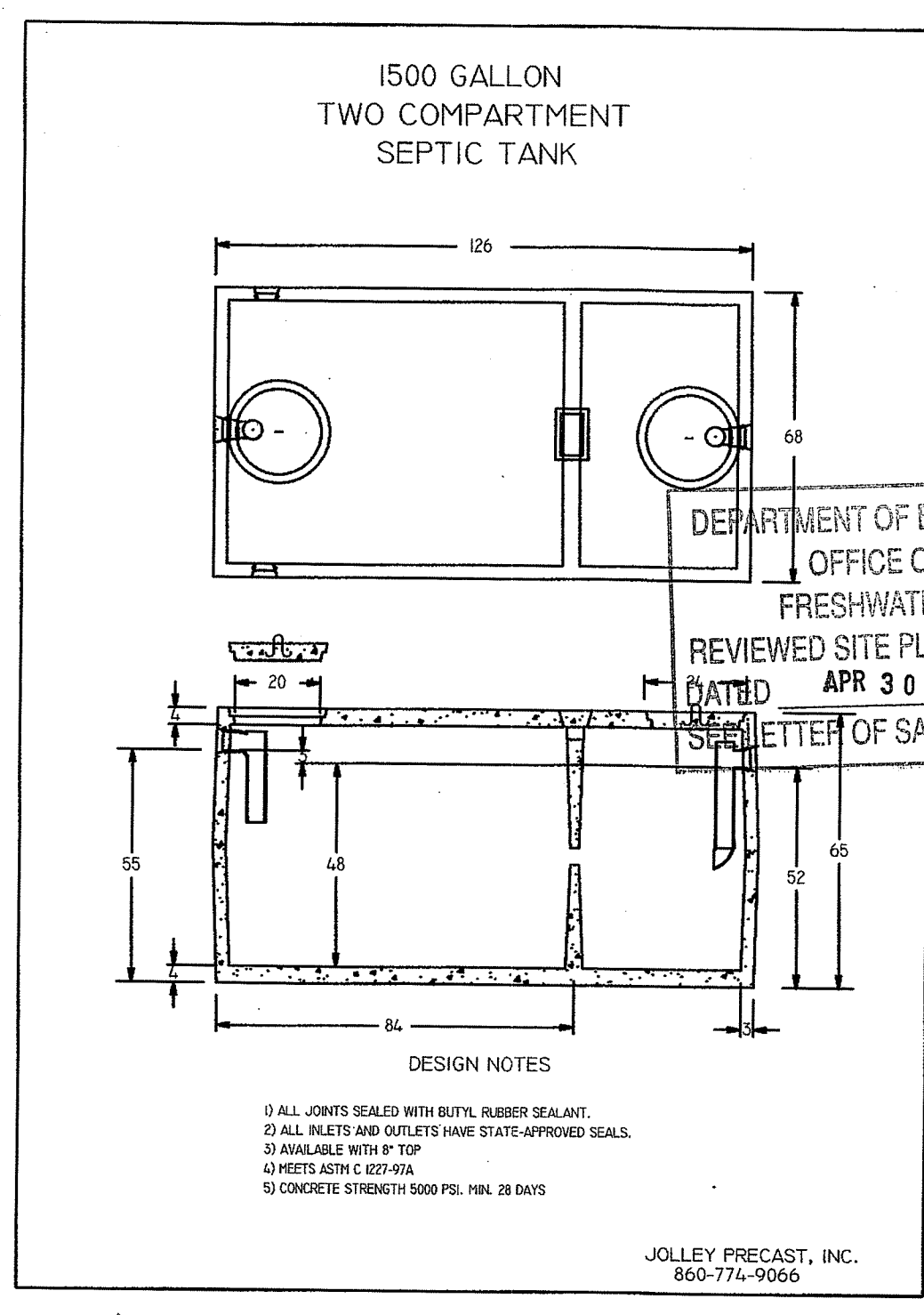
PROPOSED: 388 SF OF RAIN GARDEN, 8" DEEP (MINIMUM)



DOWNSPOUT CONNECTOR OVERFLOW DETAIL
NOT TO SCALE

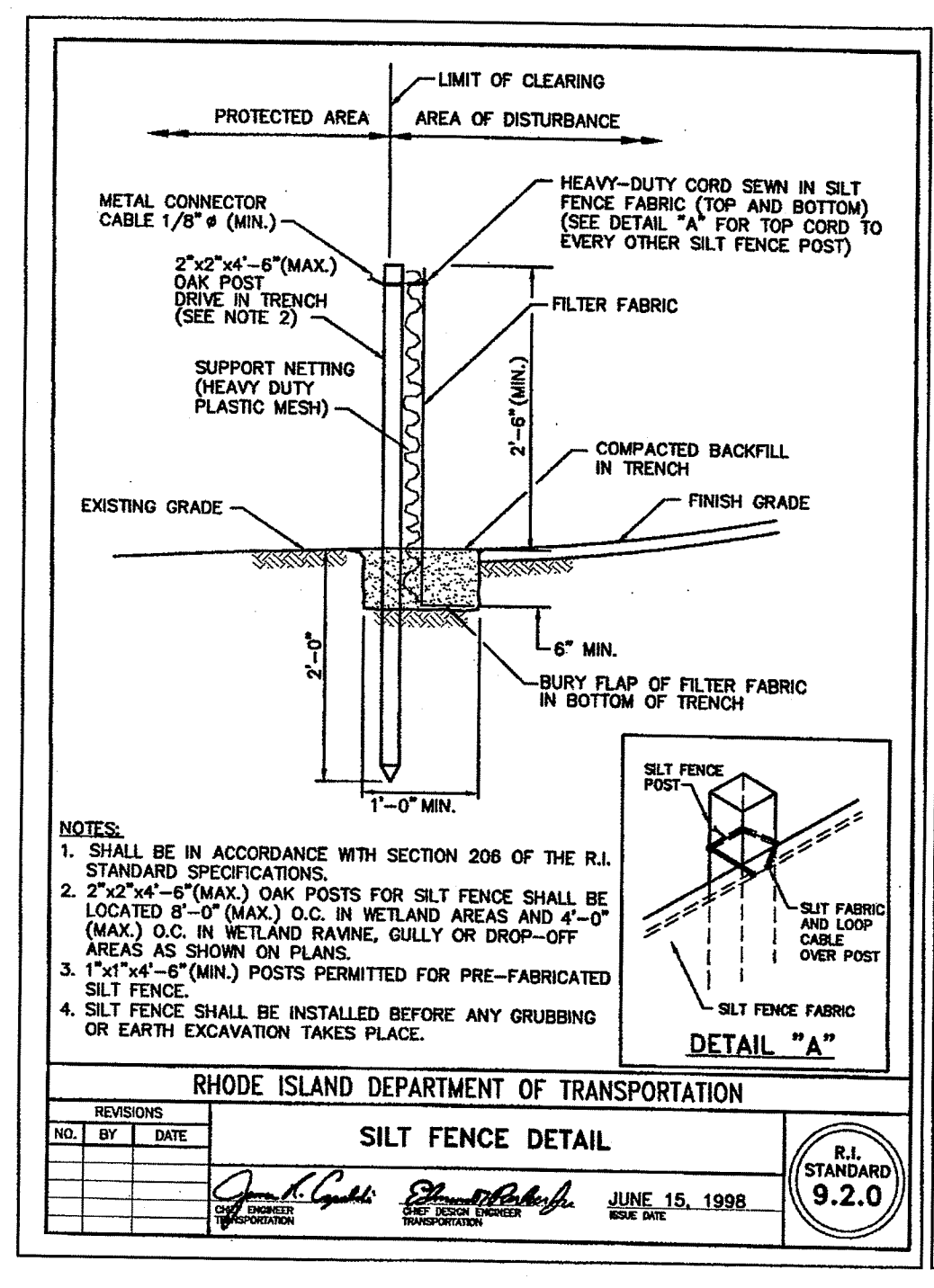


BRISTOL COUNTY PRECAST INC.



DESIGN NOTES:
 1) ALL JOINTS SEALED WITH BUTYL RUBBER SEALANT.
 2) ALL INLETS AND OUTLETS HAVE STATE-APPROVED SEALS.
 3) AVAILABLE WITH FT TOP.
 4) PRETS WITH C-102-47A.
 5) CONCRETE STRENGTH 5000 PSI MIN. 28 DAYS

JOLLEY PRECAST, INC.
860-774-9056



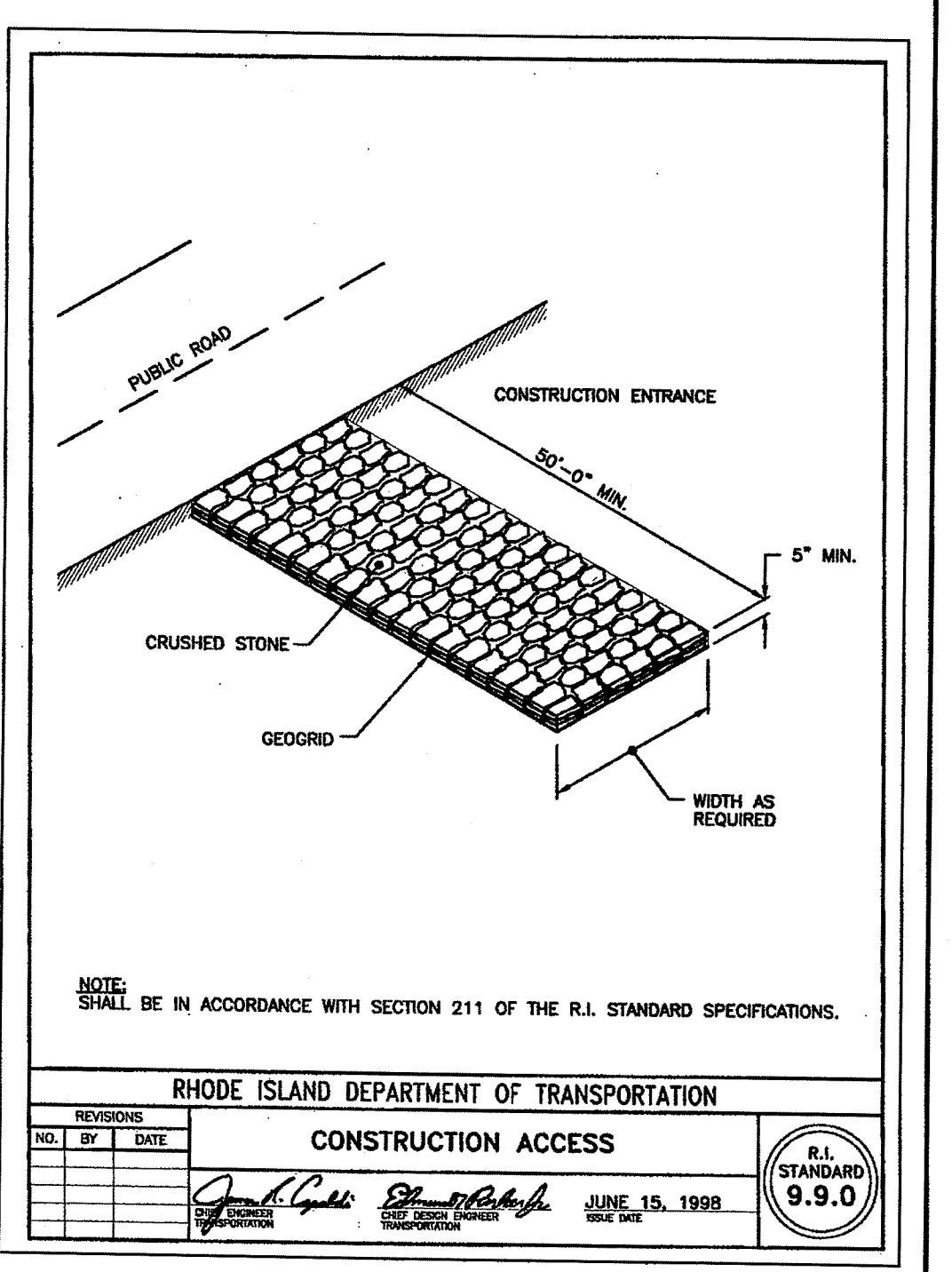
NOTES:
 1. SHALL BE IN ACCORDANCE WITH SECTION 206 OF THE R.I. STANDARD SPECIFICATIONS.
 2. 2"x2"x4'-6" (MAX.) OAK POSTS FOR SILT FENCE SHALL BE LOCATED 8'-0" (MAX.) O.C. IN WETLAND AREAS AND 4'-0" (MAX.) O.C. IN WETLAND BAYNE, GULLY OR DROP-OFF AREAS AS SHOWN ON PLANS.
 3. 1"x1"x4'-6" (MIN.) SILT FENCE PERMITTED FOR PRE-FABRICATED SILT FENCE.
 4. SILT FENCE SHALL BE INSTALLED BEFORE ANY GRUBBING OR EARTH EXCAVATION TAKES PLACE.

RHODE ISLAND DEPARTMENT OF TRANSPORTATION

SILT FENCE DETAIL

DATE: JUNE 15, 1998

R.I. STANDARD 9.2.0



NOTE:
SHALL BE IN ACCORDANCE WITH SECTION 211 OF THE R.I. STANDARD SPECIFICATIONS.

RHODE ISLAND DEPARTMENT OF TRANSPORTATION

CONSTRUCTION ACCESS

DATE: JUNE 15, 1998

R.I. STANDARD 9.9.0

COMPOST FILTER SOCK SPECIFICATION:

COMPOST FILTER SOCK SHALL COMPLY WITH SECTION 206.01.4, 206.02.04 AND 206.03.4 OF THE RIDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AMENDED 2013, WITH ALL REVISIONS, AS FOLLOWS:
 COMPOST FILTER SOCK MATERIAL AND COMPOST MATERIAL SHALL BE IN ACCORDANCE WITH AASHTO DESIGNATION: MP 9-06 (2007 OR LATEST EDITION). COMPOST SHALL ALSO MEET ALL APPLICABLE FEDERAL AND STATE REGULATIONS. FOR COMPOST FILTER SOCKS 18 INCHES OR LESS IN DIAMETER, WOODEN STAKES SHALL BE 1 INCH BY 1 INCH, AT 10 FOOT INTERVALS ON CENTER, AND OF A LENGTH THAT SHALL PROJECT INTO THE SOIL 1 FOOT LEAVING 3 INCHES TO 4 INCHES PROTRUDING ABOVE THE FILTER SOCK.

WILLIAM F. SMITH

REGISTERED PROFESSIONAL ENGINEER

No. 65084

#1: 03/27/20: PER P.B. COMMENTS, REV. DRIVEWAY.
 ADD LEGEND, UPDATE FEATURES, ADD P.A.P. INFO

REVISION TO OWTS NEW CONSTRUCTION PLAN

PATRICIA DOYLE
 c/o ORACLE HOMES

ASSESSOR'S MAP 808 LOT 107
 MAIN ROAD
 TIVERTON, RHODE ISLAND

SCALE: 1" = 30'
 DATE: JANUARY 16, 2020

Civil Engineering Concepts, Inc.
 34A MAIN STREET
 LITTLE COMPTON, RI 02837
 PH: (401) 592-0177
 FAX: (401) 592-0178

P.O. BOX 5323
 NEW BEDFORD, MA 02742
 (508) 990-4900

SHEET 2 OF 2

JOB#: 19-111