

**LEGEND:**

- LOT LINE
- G.B.F. ⊗ GRANITE BOUND FOUND
- I.R.F. ⊗ IRON ROD FOUND
- I.P.F. ⊗ IRON PIPE FOUND
- 4 Δ WETLAND FLAG
- EX. EDGE OF PAVEMENT
- EX. CURB
- .330 EX. CONTOUR
- .43 EX. UTILITY POLE
- EX. MAILBOX
- EX. FENCE
- EX. DRAIN LINE
- EX. CATCH BASIN
- PR. CURB
- PR. SIDEWALK
- PR. ASPHALT APRON
- PR. CONTOUR
- SAWCUT PAVEMENT
- SILT SOCK / SILT FENCE
- INLET PROTECTION
- MTUC W11-2
- MTUC W16-9P

**NOTES:**

1. LOCATION AND DEPTH OF EXISTING UTILITIES ARE APPROXIMATE AND HAVE BEEN PLOTTED FROM THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL CHECK AND VERIFY LOCATIONS OF ALL EXISTING UTILITIES BOTH UNDERGROUND AND OVERHEAD. ANY DAMAGE TO EXISTING UTILITIES AS SHOWN OR NOT SHOWN ON THE PLANS SHALL BE THE CONTRACTOR'S RESPONSIBILITY. COSTS OF SUCH DAMAGE SHALL BE BORNE BY THE CONTRACTOR. NO EXCAVATION SHALL BE DONE UNTIL ALL INVOLVED UTILITY COMPANIES ARE NOTIFIED 72-HOURS IN ADVANCE. THE CONTRACTOR SHALL BE RESPONSIBLE TO NOTIFY DIG-SAFE (1-888-344-7233) A MINIMUM OF 72 WORKING HOURS, EXCLUDING WEEKENDS AND HOLIDAYS, PRIOR TO THE START OF ANY EXCAVATION AND/OR BLASTING WORK. THE NAME OF THE COMPANY PERFORMING THE EXCAVATION AND/OR BLASTING WORK MUST BE SUPPLIED TO DIG-SAFE, IF IT IS DIFFERENT FROM THE CALLER.
2. WORK SHOWN ON THE PLANS FOR WHICH THERE ARE NO PARTICULAR DETAILS OR SPECIFICATIONS DOES NOT RELIEVE THE CONTRACTOR FROM FINISHING AND INSTALLING THE WORK. THE CONTRACTOR SHALL THOROUGHLY EXAMINE THE CONTRACT DOCUMENTS AND PLANS AND INSPECT THE SITE, AND THE BID PRICE SHALL INCLUDE ALL SERVICES AND MATERIALS AS NECESSARY TO COMPLETE THE PROJECT. ANY CHANGES TO THE PROJECT OR THE INSTALLATION OF AN ITEM FOR WHICH NO PARTICULAR DETAIL OR SPECIFICATION WAS PROVIDED MUST BE REVIEWED BY AND ACCEPTABLE TO THE ENGINEER.
3. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO OBTAIN ANY AND ALL PERMITS REQUIRED BY THE STATE OF RHODE ISLAND, FEDERAL GOVERNMENT, AND THE TOWNS OF COVENTRY AND EAST GREENWICH PRIOR TO COMMENCING ANY WORK.
4. SOME OF THE WORK SHOWN ON THIS PLAN MAY REQUIRE COORDINATION AND PERMISSIONS FROM LAND OWNERS. IF GRADING RIGHTS CANNOT BE OBTAINED, A RETAINING WALL MAY BE REQUIRED.
5. PERMITTING FROM RIDEM MAY BE REQUIRED.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL TEMPORARY SEDIMENTATION AND EROSION CONTROLS.
7. THE CONTRACTOR SHALL RELOCATE ANY WATER SHUT-OFFS IMPACTED BY THE PROPOSED SIDEWALK. WATER SHUT-OFFS SHALL REMAIN ACCESSIBLE DURING AND AFTER CONSTRUCTION. REFERENCE THE KENT COUNTY WATER AUTHORITY RULES & REGULATIONS.
8. THE CONTRACTOR IS TO RELOCATE ANY MAILBOXES AS REQUIRED. MAILBOXES SHALL BE PLACED IN THE LANDSCAPED STRIP BETWEEN THE SIDEWALK AND THE PAVEMENT.
9. SIDEWALK RAMPS AND CROSS SLOPES SHALL BE ADA COMPLIANT. THE CONTRACTOR MAY RELOCATE PORTIONS OF THE SIDEWALK WHEN NECESSARY TO MAINTAIN A 3-FOOT TRAVEL WAY PER ADA. ANY FIELD CHANGES TO THE SIDEWALK SHALL BE REVIEWED AND APPROVED BY THE ENGINEER PRIOR TO CONSTRUCTION.
10. CONTRACTOR TO PREPARE A TRAFFIC MANAGEMENT PLAN FOR USE DURING CONSTRUCTION. THE TRAFFIC MANAGEMENT PLAN SHALL BE APPROVED BY THE TOWN PRIOR TO CONSTRUCTION.
11. ANY PAVEMENT MARKINGS DISTURBED DUE TO CONSTRUCTION TO BE REPLACED IN KIND. ALL PAVEMENT MARKINGS ARE TO BE REFLECTORIZED EPOXY AND SHALL BE IN ACCORDANCE WITH THE STATE OF RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
12. ANY DECORATIVE LANDSCAPE ELEMENTS, SUCH AS PLANTERS, WITHIN THE LIMITS OF THE NEW SIDEWALK SHALL BE RELOCATED AT THE DIRECTION OF THE OWNER(S).
13. ALL OVERHANGING TREES AND LIMBS SHALL BE PRUNED TO A HEIGHT OF AT LEAST 7 FEET ABOVE THE NEW SIDEWALK.

**REFERENCES:**

1. "TURNPIKE TERRACE, COVENTRY, R.I. OWNED BY NORMAN E. GILLESPIE ET UX, SCALE 1"=100' DATE: JUNE 1964, A.E. MCGUINNESS ENGR, SUBMITTED BY ROBERT B. BOYER & ASSOCIATES SEPTEMBER 1972, REVISED NOVEMBER 1972" AS RECORDED IN THE COVENTRY LAND EVIDENCE RECORDS IN PLAT BOOK 6, PAGE 88.
2. "FINAL FOR NOTTINGHAM ESTATES SECTION NO. 4 SITUATED IN WEST WARWICK, RHODE ISLAND (A.P. 12, LOTS 1, 27, 28, 31, & 32) OWNER/DEVELOPER TRI-TOWN ASSOCIATES BY W.R. D. ANDREWS DATED JUNE 1969" AS RECORDED IN THE WEST WARWICK LAND EVIDENCE RECORDS IN PLAT BOOK 3, PAGES 53-55.
3. "FINAL REPLAT OF LOTS 2, 3, 4 AND 5 NOTTINGHAM ESTATES LOCATED IN WEST WARWICK, RHODE ISLAND PREPARED FOR G.M. HOMES OF RI, INC & PROFILE CONSTRUCTION CO., INC. BY KIRK D. ANDREWS REVISED 4/3/91.
4. "PROPOSED CURB CUT PLAN FOR CROMPTON ESTATES, BEING EAST GREENWICH A.P. 13 LOT 25 AND COVENTRY A.P. 8 LOT 11.1 LOCATION EAST GREENWICH AND COVENTRY, R.I." PREPARED FOR TRI-TOWN CONSTRUCTION CO., INC. PREPARED BY AT'S SURVEY; SHEET 2: DATED 3-21-94.
5. "COMPILED PLAN ASSESSOR'S PLAT 8, LOTS 138, 133, 10, 9, 3 + 2; ASSESSOR'S PLAT 7, LOTS 25, 16, 133, 138; PREPARED FOR CARDI CONSTRUCTION SCALE: 1"=100' MARCH 22, 2000"
6. RHODE ISLAND STATE HIGHWAY PLAT 1686C.
7. "COVENTRY CROSSING ADMINISTRATIVE SUBDIVISION PLAN IN COVENTRY, RHODE ISLAND ASSESSOR'S PLAT 7 LOT 34 PREPARED BY VANASSE HAGEN BRUSTLIN INC. DATED FEBRUARY 5, 2008".
8. "CONSTRUCTION DRAWINGS FOR CROMPTON MEADOWS CROMPTON ROAD COVENTRY, RI: A.P. 8, LOT 11.1 EAST GREENWICH, RI: A.P. 13, LOT 25 PREPARED FOR CROMPTON MEADOWS, LLC PREPARED BY MILLSTONE ENGINEERING, PC JULY 2018" LAST REVISED 7/3/19, SHEETS 1-18 OF 18.

TIMOTHY H. KINDER  
No. 1974  
PROFESSIONAL LAND SURVEYOR

**CERTIFICATION:**

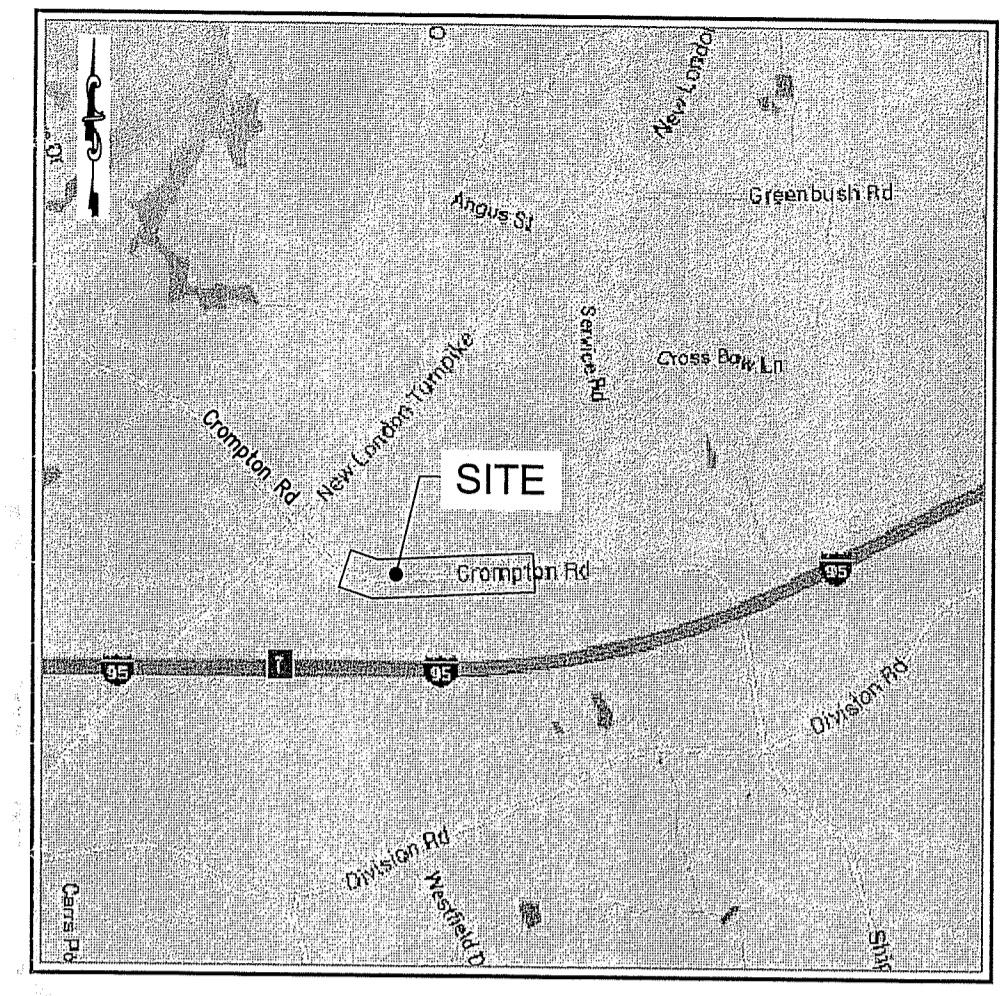
THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO 435-RICR-00-00-1.9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON APRIL 28, 2018, AS FOLLOWS:

TYPE OF BOUNDARY SURVEY: LIMITED BOUNDARY SURVEY  
MEASUREMENT SPECIFICATION: DATA ACCUMULATION SURVEY

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS:

TO PROVIDE AN ACCURATE EXISTING CONDITIONS PLAN AND LIMITED BOUNDARY SURVEY.

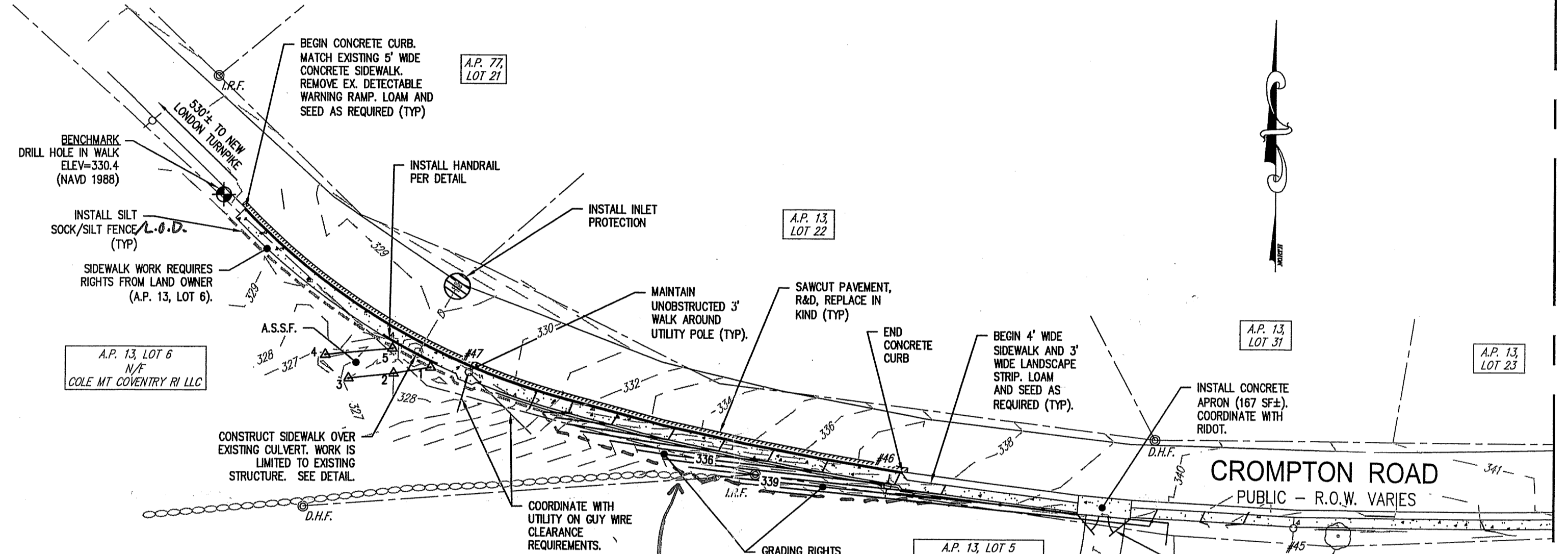
BY: *[Signature]* 5-6-2020  
TIMOTHY H. KINDER, PLS LICENSE NO. 1974 COA. NO. A-534 DATE



LOCATION MAP  
NOT TO SCALE

NO.	DATE	REVISION
1	3/22/19	TOWN COMMENTS-COVENTRY
2	5/6/20	SIDEWALK MODIFICATION

JEFFREY C. HANSON  
No. 5238  
PROFESSIONAL ENGINEER



**QUANTITIES ESTIMATE:**

CONCRETE CURB	296 LF
CONCRETE SIDEWALK	586 SY
CONCRETE DRIVEWAY APRON	19 SY
ASPHALT DRIVEWAY APRON	59 SY
RETAINING WALL (VARYING HEIGHT, 4' MAX)	157 LF
HANDRAIL	24 LF
	1 EA

\* TO BE VERIFIED BY CONTRACTOR

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS  
AS SPECIFIED IN THE LETTER OF APPROVAL  
DATED OCT 15 2020 FILE # 20-0122  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

*[Signature]*

**MILLSTONE ENGINEERING, P.C.**  
CIVIL ENGINEERING • LAND PLANNING  
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Medford, Rhode Island 02866  
www.MillstoneEng.com  
P. (401) 921-3944 F. (401) 921-3903

**SIDEWALK IMPROVEMENT PLAN**

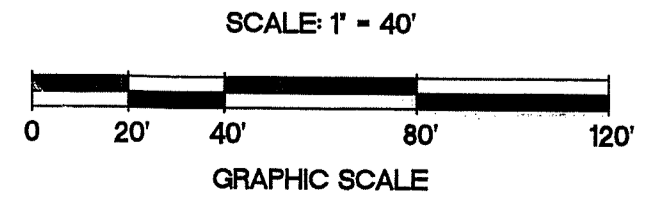
**OFFSITE IMPROVEMENTS**

EAST GREENWICH  
A.P. 13, LOT 25  
COVENTRY A.P. 8,  
LOT 11.1

PREPARED FOR:  
CROMPTON MEADOWS, LLC.

SCALE: 1" = 40'  
DATE: JANUARY 2019

Drawn By: BJC  
Checked By: JCH  
Sheet: JUN 1 2020  
of 3  
FILE NO.: 16.245.350



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SYSTEMS, WITHOUT THE WRITTEN CONSENT OF MILLSTONE ENGINEERING, P.C.

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- SOME OF THE WORK SHOWN ON THIS PLAN MAY REQUIRE COORDINATION AND PERMISSIONS FROM LAND OWNERS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL TEMPORARY SEDIMENTATION AND EROSION CONTROLS.
- THE CONTRACTOR SHALL LOCATE ANY WATER SHUT-OFFS. WATER SHUT-OFFS SHALL REMAIN ACCESSIBLE DURING AND AFTER CONSTRUCTION. REFERENCE THE KENT COUNTY WATER AUTHORITY RULES & REGULATIONS.
- THE MOST CURRENT EDITION OF THE STATE OF RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AND THE RHODE ISLAND STANDARD DETAILS ARE MADE A PART HEREOF AS FULLY AND COMPLETELY AS IF ATTACHED HERETO. THE CURRENT VERSION OF THE STANDARD SPECIFICATIONS MAY BE OBTAINED AT THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION, DIVISION OF PUBLIC WORKS. IN ADDITION, THE TOWN OF COVENTRY STANDARD SPECIFICATIONS ARE MADE A PART HEREOF AS FULLY AND COMPLETELY AS IF ATTACHED HERETO.
- ALL REQUIRED IMPROVEMENTS SHALL BE INSPECTED BY THE TOWN ENGINEER TO ENSURE SATISFACTORY COMPLETION. IN NO CASE SHALL THE INSTALLATION OF ANY IMPROVEMENTS BE STARTED UNTIL PRIOR NOTICE IS GIVEN TO THE TOWN ENGINEER. AT LEAST A 48-HOUR NOTICE SHALL BE GIVEN TO THE TOWN ENGINEER PRIOR TO ANY SUCH START OF CONSTRUCTION. A FINAL INSPECTION OF ALL SITE IMPROVEMENTS, UTILITIES AND GRADING WILL BE MADE TO DETERMINE WHETHER THE WORK IS SATISFACTORY AND IN SUBSTANTIAL AGREEMENT WITH THE APPROVED FINAL CONSTRUCTION DRAWING AND THE TOWN SPECIFICATIONS.
- STOCKPILES OF EARTH MATERIALS SHALL NOT BE LOCATED NEAR WATERWAYS, WETLANDS, OR ADJACENT TO DRAINAGE STRUCTURES.
- ALL MATERIAL FOR FILL SHALL BE CLEAN AND FREE OF MATTER WHICH COULD POLLUTE ANY DOWN STREAM WATERCOURSE.
- FILL MATERIAL SHALL BE COMPACTED IN ONE FOOT (MAXIMUM) LIFTS TO AT LEAST 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED IN ACCORDANCE WITH ASTM D-1557 (MODIFIED PROCTOR TEST).
- VERTICAL DATUM: NAVD 1988.

**SEDIMENTATION CONTROL PROGRAM:**

- EXTREME CARE SHALL BE EXERCISED SO AS TO PREVENT ANY UNSUITABLE MATERIAL FROM ENTERING DOWNSTREAM WATERCOURSES AND STORMWATER DRAINAGE SYSTEMS.
- DURING CONSTRUCTION, THE CONTRACTOR AND/OR DEVELOPER SHALL BE RESPONSIBLE FOR MAINTAINING DRAINAGE AND RUN-OFF FLOW DURING STORMS AND PERIODS OF RAINFALL.
- SEDIMENTATION CONTROL DEVICES SHALL BE INSPECTED CLOSELY AND MAINTAINED PROMPTLY AFTER EACH RAINFALL.
- CARE SHALL BE TAKEN SO AS NOT TO PLACE "REMOVED SEDIMENTS" WITHIN THE PATH OF EXISTING, NEWLY CREATED (BOTH TEMPORARY AND PERMANENT) OR PROPOSED WATERCOURSES OR THOSE AREAS SUBJECTED TO STORMWATER FLOWAGE.
- SEDIMENTATION TRAPS SHALL BE PROVIDED AT ALL DRAINAGE STRUCTURES DURING CONSTRUCTION.
- EROSION AND SEDIMENTATION CONTROLS SHALL BE INSTALLED AT THE SITE PRIOR TO THE START OF CONSTRUCTION AND BE PROPERLY MAINTAINED UNTIL ALL DISTURBED AREAS ARE STABILIZED INCLUDING:
  - THE INSTALLATION OF A CONTINUOUS LINE OF STAKED STRAWBALES, SILT FENCE, OR SIMILAR IN ALL LOCATIONS SHOWN ON THE APPROVED SITE PLANS AND WHERE OTHERWISE NECESSARY TO PREVENT SEDIMENTS FROM ENTERING DOWNSTREAM WATERCOURSES AND STORMWATER DRAINAGE SYSTEMS.
  - ALL DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED WITH APPROVED GROUND COVER PRIOR TO THE COMPLETION OF THE PROJECT. AREAS EXPOSED FOR EXTENDED PERIODS ARE TO BE COMPLETELY COVERED WITH SPREAD HAY MULCH.
  - CATCH BASINS SHALL BE PROTECTED WITH STRAWBALE OR SILT SACK FILTERS THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL ALL DISTURBED AREAS ARE THOROUGHLY STABILIZED. SUMPS ARE TO BE CLEANED IMMEDIATELY FOLLOWING INSTALLATION OF PERMANENT PAVEMENT.
  - OUTFALLS SHALL BE PROTECTED BY STRAWBALE FILTERS UNTIL DISTURBED AREAS ARE PERMANENTLY STABILIZED WITH APPROVED GROUND COVER.
  - ALL CONTROL MEASURES SHALL BE MAINTAINED IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD.
- THE LIMITS OF ALL CLEARING, GRADING AND DISTURBANCE SHALL BE KEPT TO A MINIMUM WITHIN THE PROPOSED AREA OF CONSTRUCTION. ALL AREAS OUTSIDE OF THE LIMITS OF DISTURBANCE SHALL REMAIN TOTALLY UNDISTURBED.
- IF AREAS OF 1-5 ACRES ARE TO BE DISTURBED AT ONE TIME, A TEMPORARY SEDIMENT TRAP SHALL BE DESIGNED AND SITED IN ACCORDANCE WITH THE RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK, SECTION 6 AND SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO LAND DISTURBANCE.

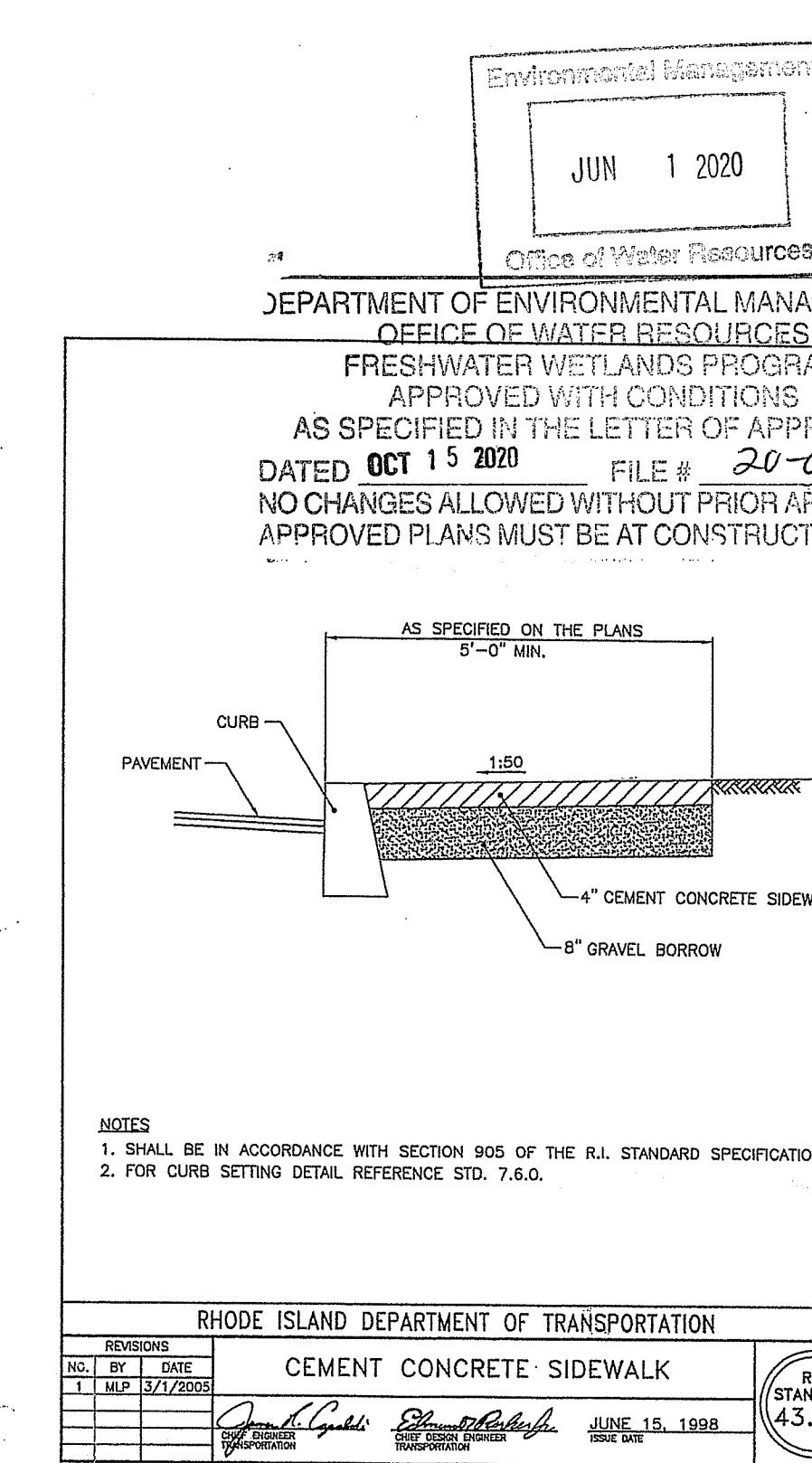
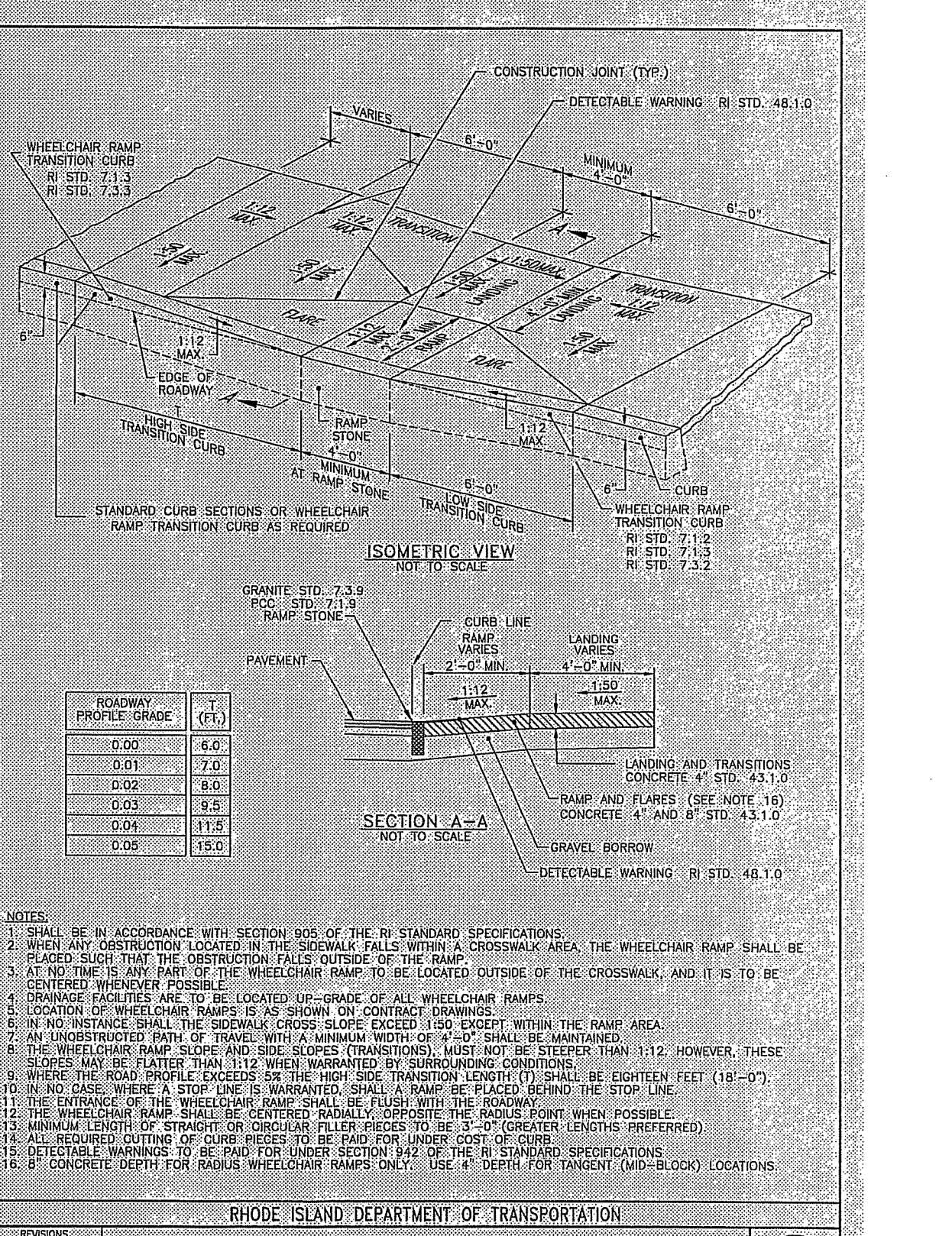
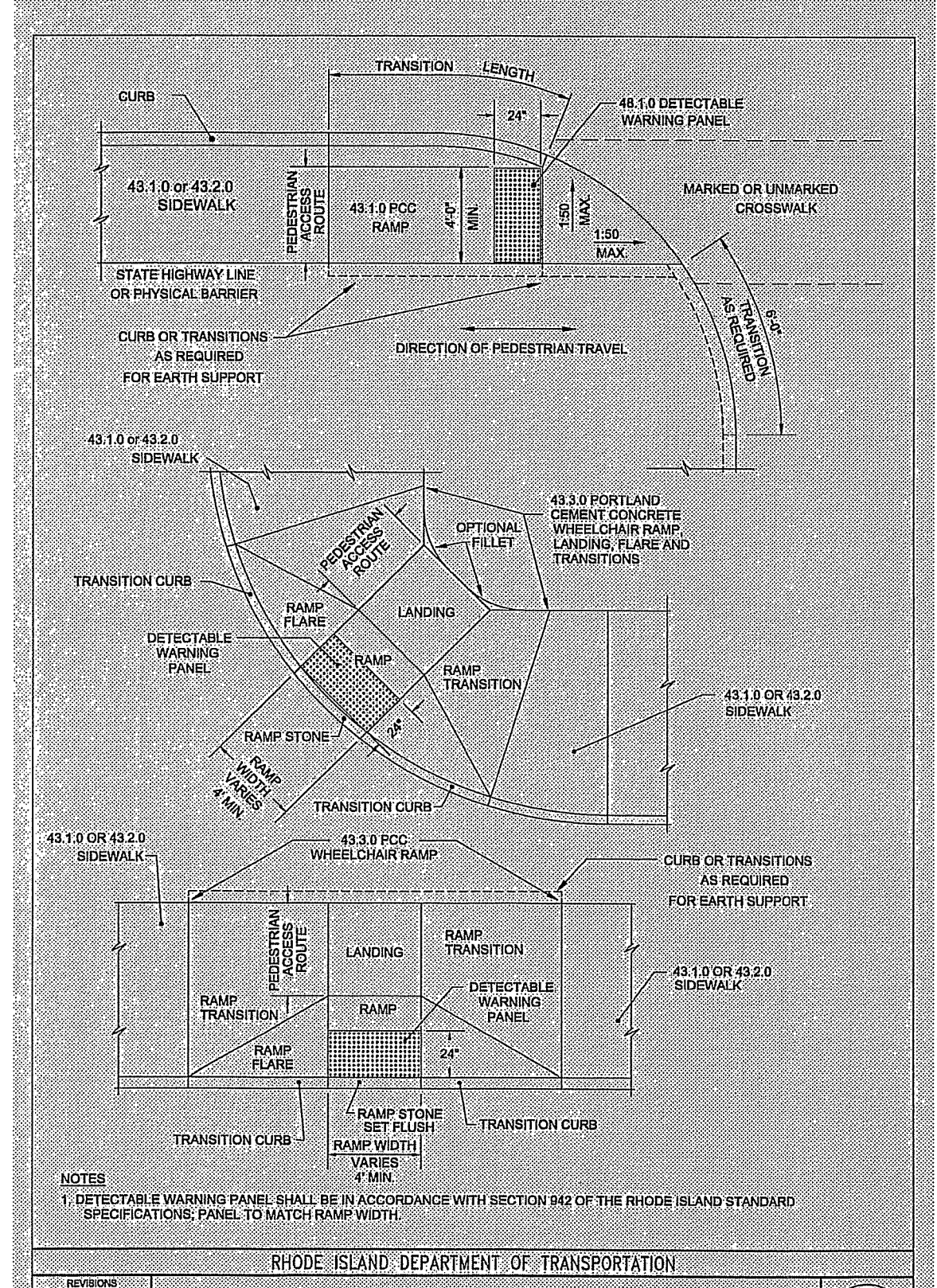
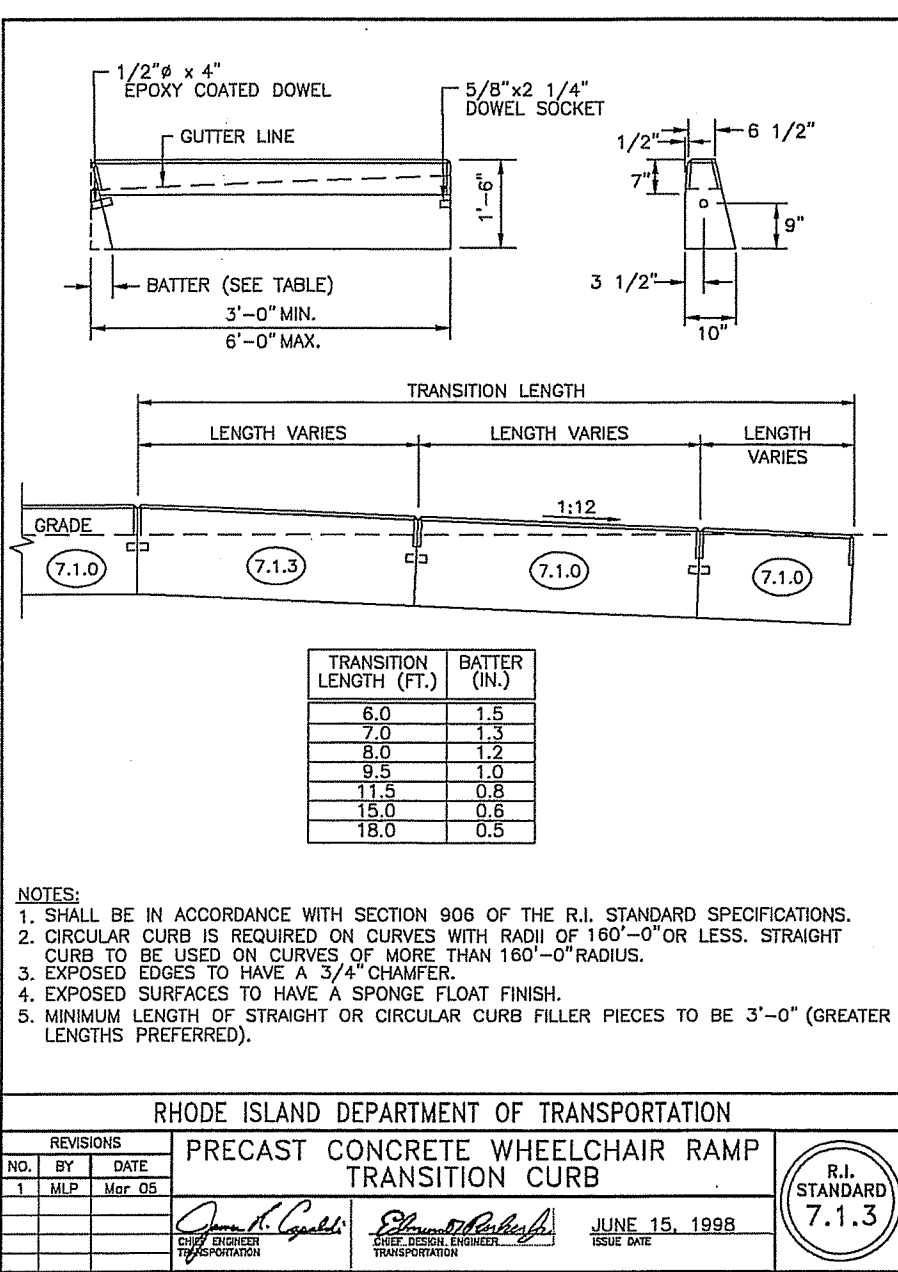
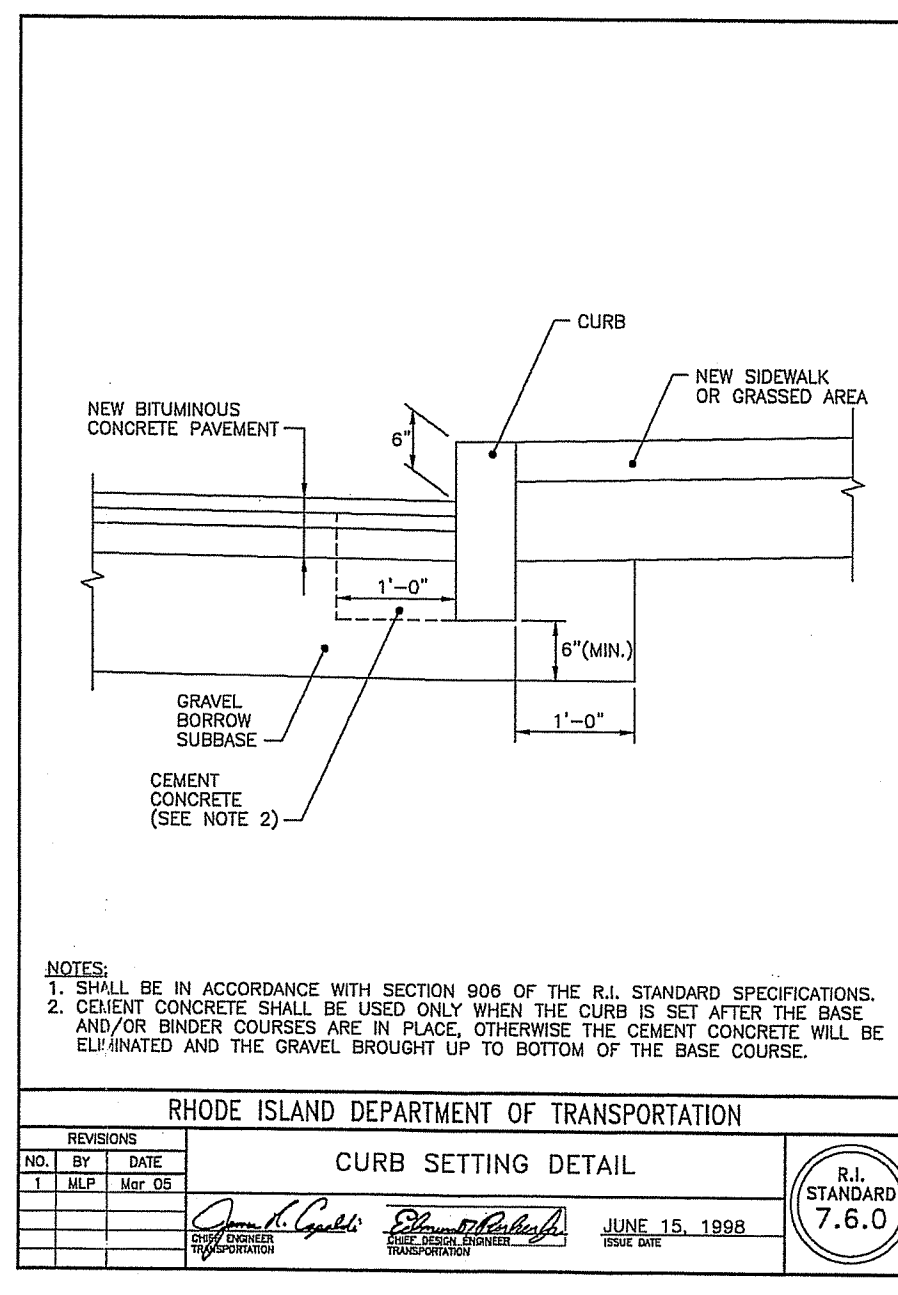
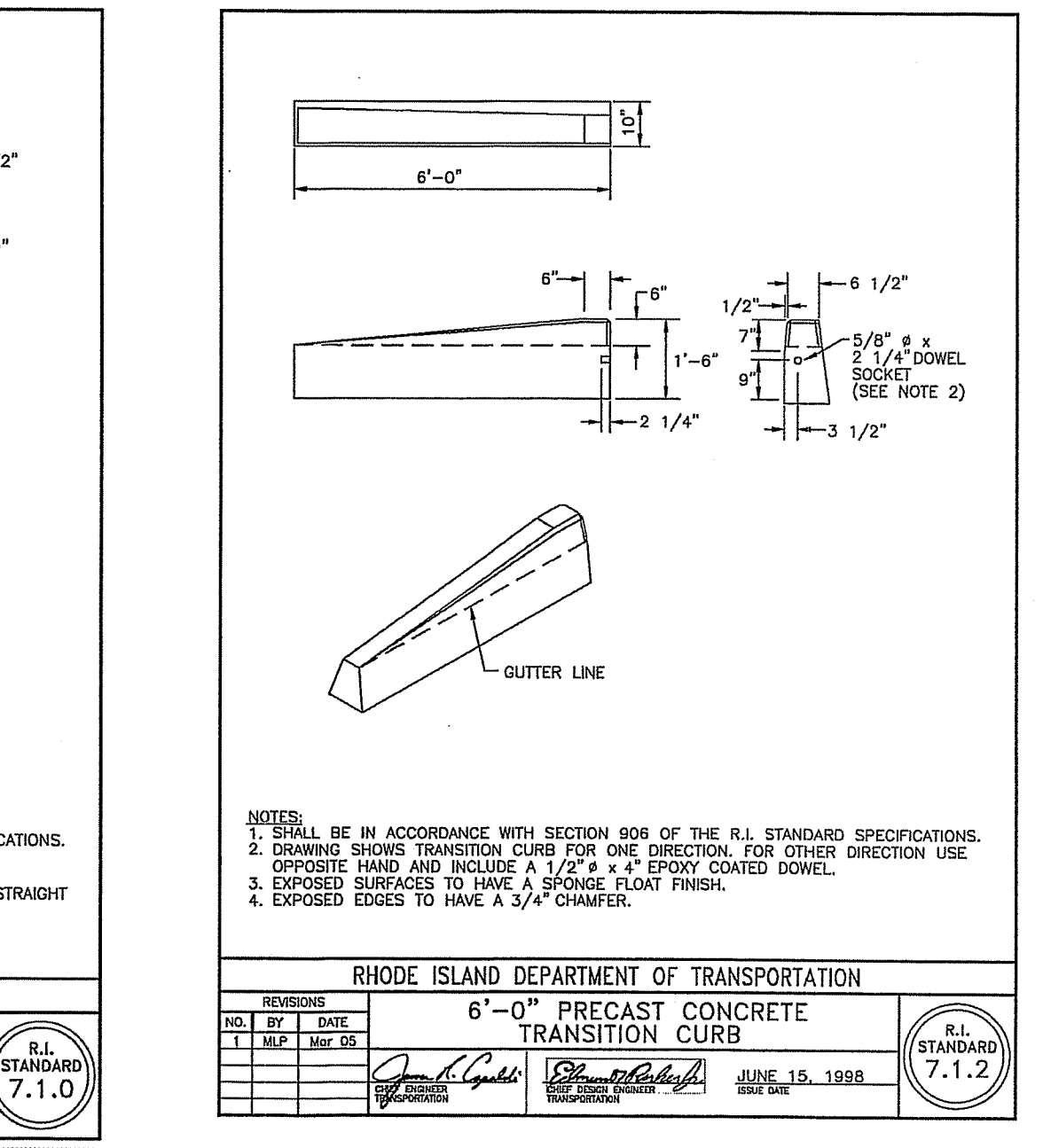
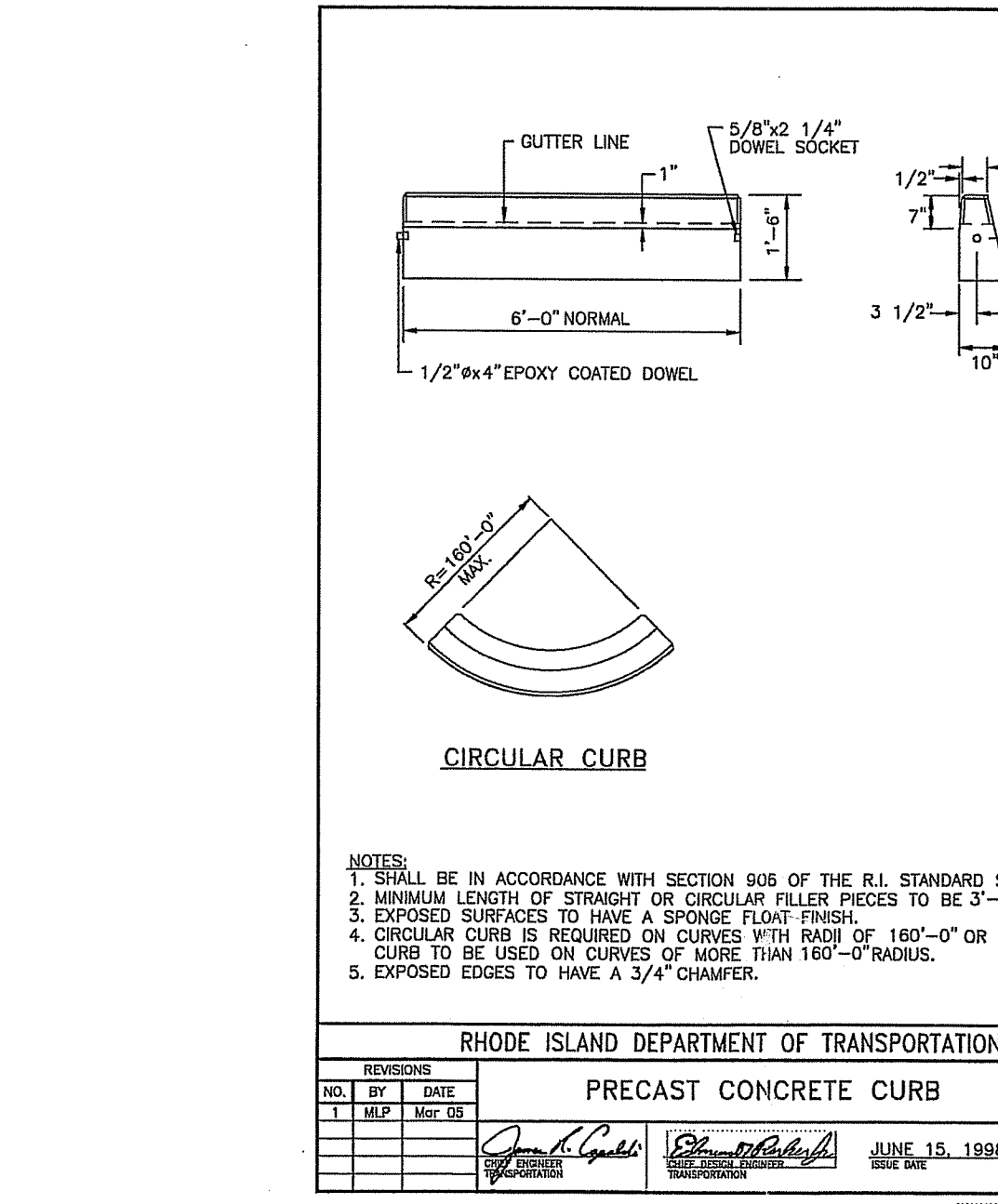
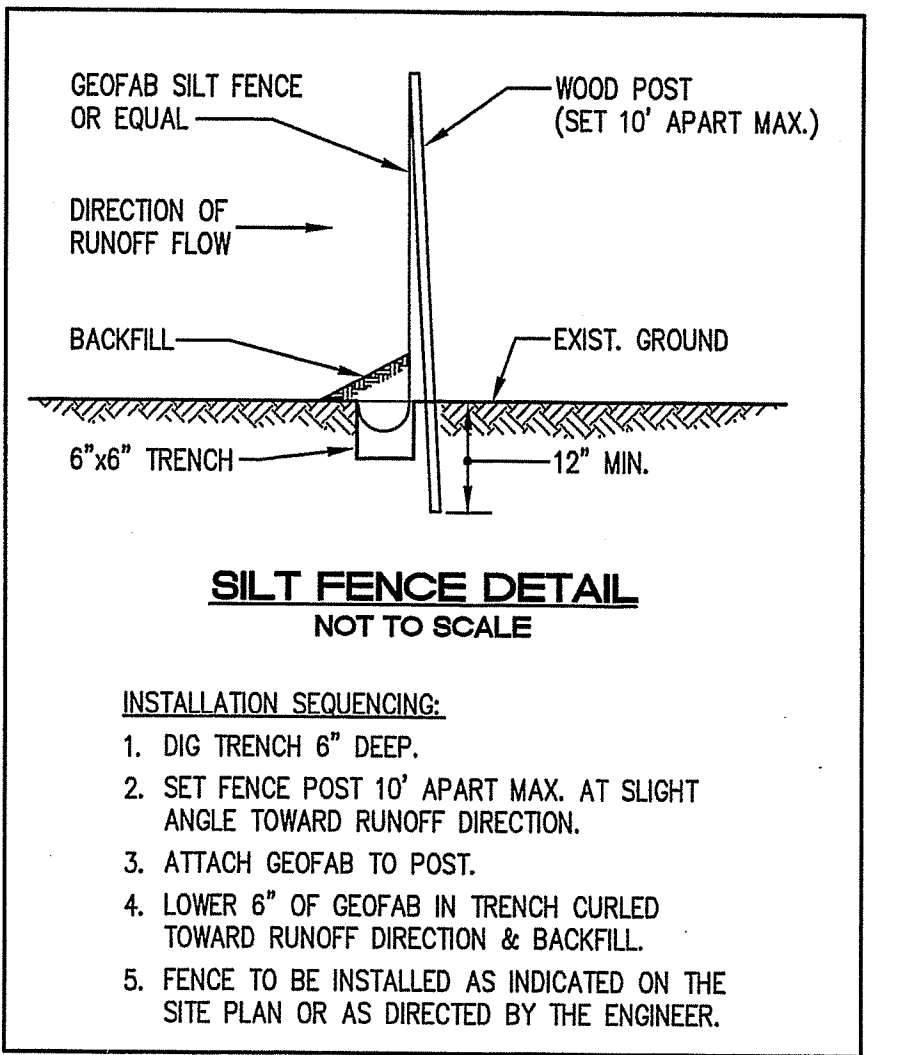
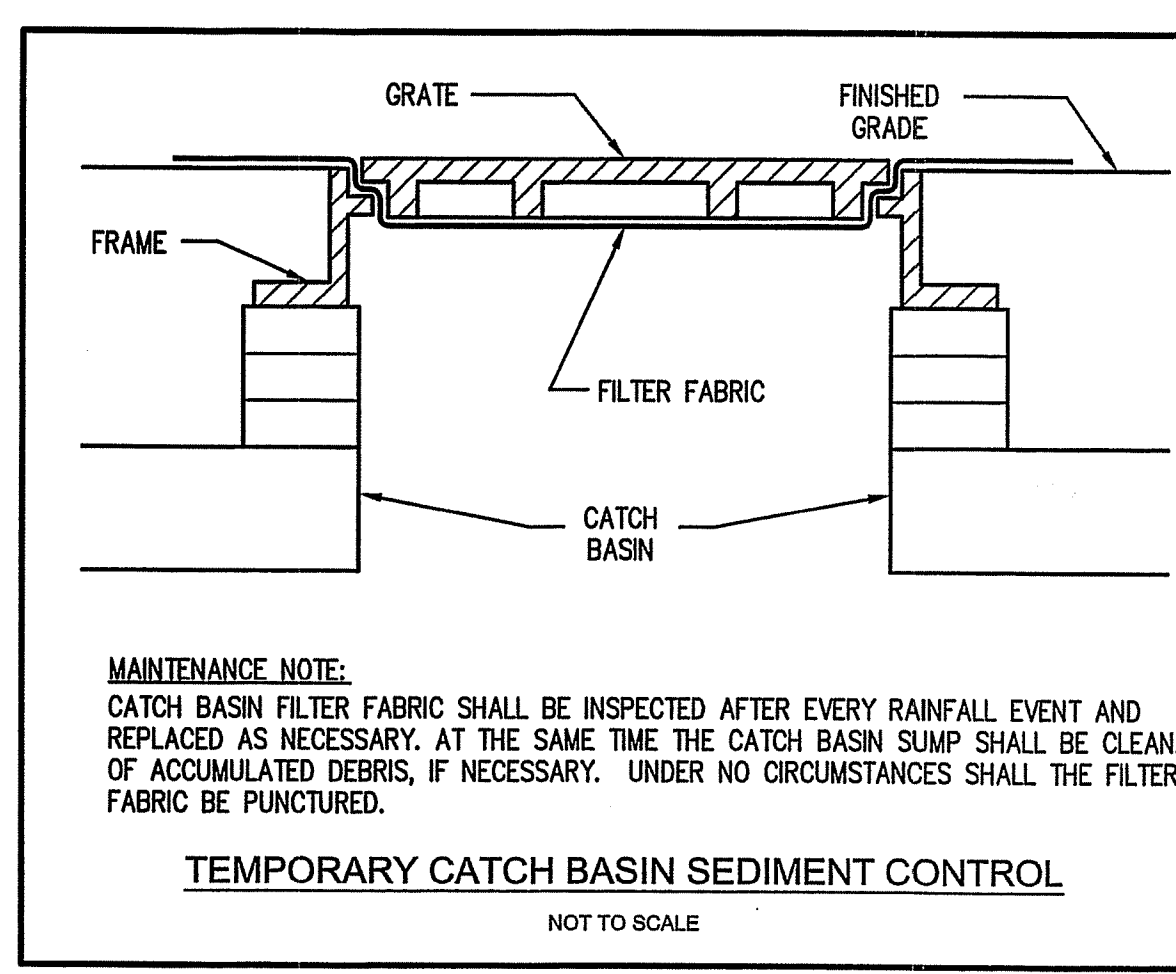
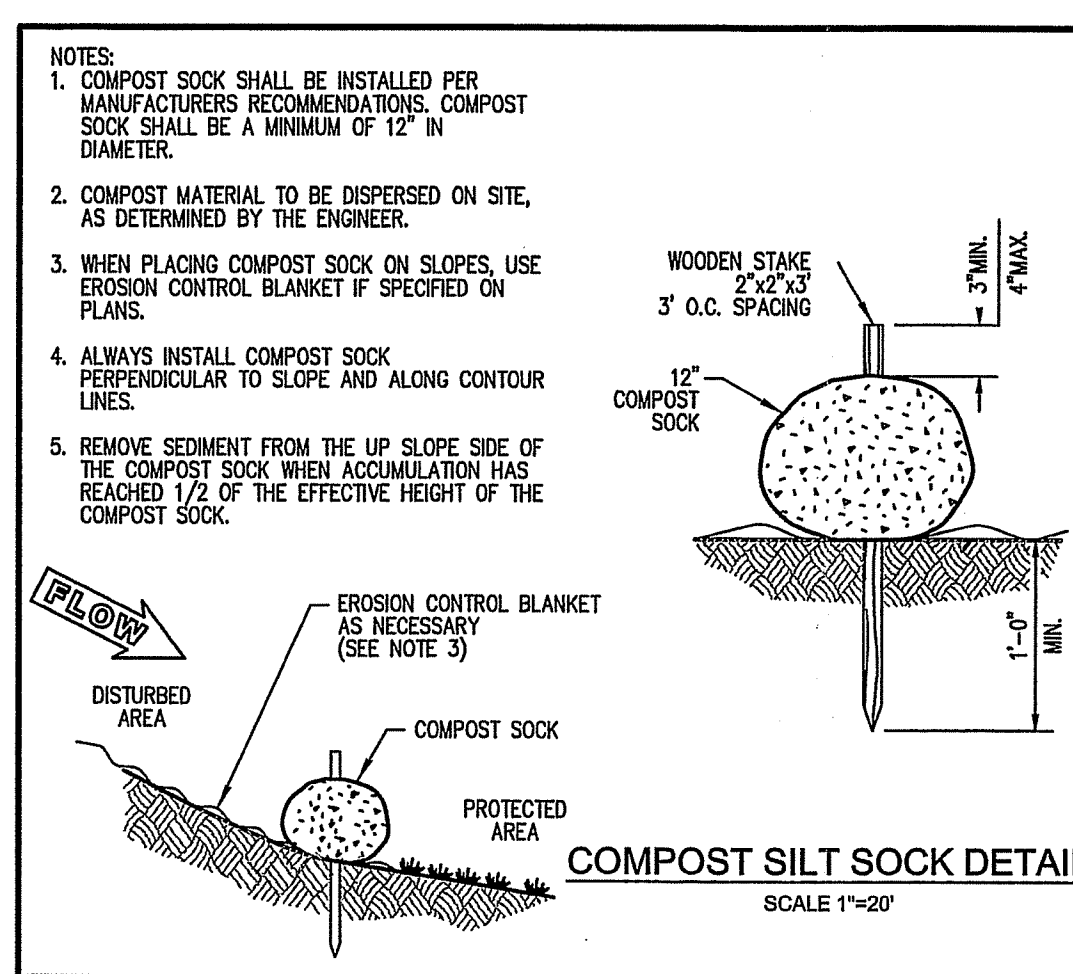
**EROSION CONTROL AND SOIL STABILIZATION PROGRAM:**

- DENUDED SLOPES SHALL NOT BE LEFT EXPOSED FOR EXCESSIVE PERIODS OF TIME, SUCH AS THE INACTIVE WINTER SEASONS.
- TEMPORARY TREATMENTS SHALL CONSIST OF STRAW, FIBER MULCH OR PROTECTIVE COVERS SUCH AS A MAT OR FIBER LINING (BURLAP, JUTE, FIBERGLASS NETTING, EXCELSIOR BLANKETS). THEY SHALL BE INCORPORATED INTO THE WORK AS WARRANTED OR AS ORDERED BY THE ENGINEER.
- STRAW APPLICATIONS SHOULD BE IN THE AMOUNT OF 2000 LBS/ACRE.
- ALL STRAWBALES OR TEMPORARY PROTECTION SHALL REMAIN IN-PLACE UNTIL AN ACCEPTABLE STAND OF GRASS, RIP-RAP OR APPROVED GROUND COVER IS ESTABLISHED.
- THE TOPSOIL SHALL 4" DEEP AND HAVE A SANDY LOAM TEXTURE RELATIVELY FREE OF SUBSOIL MATERIAL, STONES, ROOTS, LUMPS OF SOIL, TREE LIMBS, TRASH OR CONSTRUCTION DEBRIS AND SHALL CONFORM WITH RHODE ISLAND STANDARD SPECIFICATION M.18.02.
- THE DESIGN MIX UTILIZED IN ALL DISTURBED AREAS TO BE SEEDED SHALL BE COMPRISED OF THE FOLLOWING:
 

TYPE	% BY WEIGHT
CREeping RED FESCUE	70
ASTORIA BENTGRASS	5
BIRDFOOT TREFOIL	15
PERENNIAL RyEGRASS	10
APPLICATION RATE	100 LBS/ACRE
- THE CONTRACTOR MUST REPAIR AND/OR RESEED ANY AREAS THAT DO NOT DEVELOP WITHIN THE PERIOD OF ONE YEAR, AND SHALL DO SO AT NO ADDITIONAL EXPENSE.
- THE NORMAL ACCEPTABLE SEASONAL SEEDING DATES ARE APRIL 1ST THROUGH OCTOBER 15TH.
- STABILIZATION OF ONE FORM OR ANOTHER AS DESCRIBED ABOVE SHALL BE ACHIEVED WITHIN FIFTEEN (15) DAYS OF FINAL GRADING.
- STOCKPILES OF TOPSOIL AND EARTH MATERIALS SHALL NOT BE LOCATED NEAR WATERWAYS. THEY SHALL HAVE SIDE SLOPES NO GREATER THAN THIRTY PERCENT (30%), SHALL ALSO BE SEEDED AND/OR STABILIZED AND SHALL BE COMPLETELY ENCLOSED WITH STAKED HAY BALES AND/OR SILT FENCE. (SEE DETAIL)
- ON BOTH STEEP AND LONG SLOPES, CONSIDERATION SHOULD BE GIVEN TO "CRIMPING" OR "TRACKING" TO TACK DOWN MULCH APPLICATIONS.
- TREES TO BE RETAINED SHALL BE FENCED OR ROPED OFF TO PROTECT THEM FROM CONSTRUCTION EQUIPMENT.
- ALL PROPOSED PLANTINGS AND PLACEMENT OF RIP-RAP MUST BE ACCOMPLISHED AS EARLY AS POSSIBLE UPON COMPLETION OF GRADING AND CONSTRUCTION, AND AT LEAST PRIOR TO ANY ON-SITE OCCUPANCY.
- ALL DISTURBED AREAS MUST BE SEED, PLANTED OR RIP-RAPPED WITHIN THE CONSTRUCTION SEASON.
- TEMPORARY SEEDING MUST BE COMPLETED WITHIN ONE (1) MONTH AFTER DISTURBANCE.
- ALL DISTURBED AREAS MUST BE PERMANENTLY SEED, PLANTED OR RIP-RAPPED BEFORE OCTOBER 1ST, IF NOT THEY MUST BE TEMPORARILY SEED.

**CONSTRUCTION MAINTENANCE:**

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTION, MAINTENANCE AND REPAIR TO ALL DRAINAGE STRUCTURES AND RELATED APPURTENANCES ON THE SITE DURING CONSTRUCTION AND FOR A MAXIMUM OF ONE (1) YEAR FOLLOWING COMPLETION OF CONSTRUCTION, AT WHICH TIME THE DRAINAGE STRUCTURES AND APPURTENANCES ARE TO BE ACCEPTED BY THE ENGINEER AND THE OWNER, AS FOLLOWS:
- ALL CATCH BASINS AND STORM DRAIN PIPES SHALL BE CLEANED OF SEDIMENT. STORMWATER BASINS SHALL BE CLEANED OF SEDIMENT TO THE DESIGN GRADES INDICATED ON THE CONSTRUCTION DRAWINGS.
  - INSPECTION OF THE BASINS AND ALL INLET AND OUTLET STRUCTURES SHALL BE PERFORMED ON A WEEKLY BASIS, PREFERABLY DURING A STORM EVENT TO INSURE FOR PROPER FUNCTIONALITY OF THE FACILITY.
  - GRASSES MUST BE PLANTED AROUND AND WITHIN THE STORMWATER BASIN IMMEDIATELY FOLLOWING CONSTRUCTION TO STABILIZE THE SLOPES AND PREVENT EROSION.
  - SEDIMENTS SHALL BE REMOVED FROM DRAINAGE STRUCTURES AND THE STORMWATER BASIN IMMEDIATELY FOLLOWING SITE STABILIZATION AND DURING THE FIRST (INITIAL) YEAR OF OPERATION.
  - ALL COSTS INCURRED FOR MAINTENANCE, CLEANING, AND INSPECTION ARE THE RESPONSIBILITY OF THE CONTRACTOR DURING CONSTRUCTION AND THE PROPERTY OWNER UPON ACCEPTANCE.
  - ANY INADVERTENT OR DELIBERATE DISCHARGE OF WASTE OIL OR ANY OTHER POLLUTANT TO THE STORMWATER DISPOSAL SYSTEM REQUIRES IMMEDIATE NOTIFICATION OF THE RIDEM.
  - ALL TRASH AND LITTER AND OTHER DEBRIS SHALL BE REMOVED FROM ANY STORMWATER FACILITY DAILY, INCLUDING INLET AND OUTLET STRUCTURES.
  - REPAIRS OR REPLACEMENT OF INLET/OUTLET STRUCTURES, RIP-RAP CHANNELS, FENCES, OR OTHER ELEMENTS OF THE FACILITY DURING CONSTRUCTION SHALL BE DONE WITHIN 30 DAYS OF DEFICIENCY REPORTS.
  - PAVEMENT SWEEPING SHALL BE PERFORMED UPON COMPLETION OF THE PROJECT.
  - WATER SHALL BE USED TO MOISTEN EXPOSED SOIL SURFACES PERIODICALLY. AN ADEQUATE AMOUNT SHOULD BE USED TO CONTROL DUST.



NO.	DATE	REVISION
1	3/22/19	TOWN COMMENTS-COVENTRY
2	5/6/20	SIDEWALK MODIFICATION

**JEFFREY C. HANSON**  
 No. 5238  
 5/16/20  
 REGISTERED PROFESSIONAL ENGINEER

**ILLSTONE ENGINEERING, P.C.**  
 CIVIL ENGINEERING • LAND PLANNING  
 799 Aquidneck Avenue, Building B  
 Middletown, Rhode Island 02882  
 www.IllstoneEng.com  
 (401) 921-3344  
 (401) 921-3303

**DETAILS -1**

**OFFSITE IMPROVEMENTS**

**EAST GREENWICH A.P. 13, LOT 25 COVENTRY A.P. 8, LOT 11.1**

PREPARED FOR:  
**CROMPTON MEADOWS, LLC.**

SCALE: AS NOTED  
 DATE: JANUARY 2019

Drawn By: BJC  
 Checked By: JCH  
 Sheet

**2**  
 of 3

FILE NO.: 16.245.350

