

KINGSTOWN ROAD ~ ROUTE 108
(PUBLIC - WIDTH VARIES)

R.I.H.B.
PT STA 43+68.52
LEFT 40.00'
SHP NO. 1412

A.P. 57-1 LOT 94
N/F
FMA, LLC

#721
MIDAS MUFFLER

A.P. 57-1 LOT 93
N/F
SCOTT SQUARED, LLC

#703
BOBBY G'S PUB

A.P. 57-1 LOT 92
N/F
703 KINGSTOWN ROAD LLC

A.P. 57-1 LOT 91
N/F
ROBERT S. GILARDETTI REVOC. TRUST

#691
ROBERT S. GILARDETTI DENTIST

ASSESSOR'S PLAT 57-2 LOT 76
N/F
RSP REALTY, LLC
AREA = 98,682± S.F.
= 2.265± ACRES

A.P. 57-2 LOT 69
N/F
INDIAN RUN VILLAGE RIH, LLC

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED SEP 23 2021 FILE # 20-01161
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Nancy L. Freeman

LEGEND:

- IR IRON ROD
- R.I.H.B. R.I. HIGHWAY BOUND
- P-2 UTILITY POLE
- PW 50' PERIMETER WETLAND
- BC CB EXIST. CATCH BASIN
- W WATER LINE
- S SEWER LINE
- U UTILITY LINE
- B5 Δ WETLAND FLAG
- EXIST. TREE LINE
- EXIST. TREE TO REMAIN
- RD PRECAST CATCH BASIN
- PROP. ROOF DRAIN
- PROP. PARKING LOT LIGHTS
- BUILDING SECURITY LIGHTING
- PROP. RIP-RAP
- PROP. GRASS PAVERS
- EROSION CONTROL/LOD

PROP. LOT COVERAGE

BUILDINGS	3,094 S.F.	3.1%
BIT. PAVEMENT	18,170 S.F.	18.4%
CONC. WALKS/PADS	1,245 S.F.	1.3%
GRASS PAVERS	1,620 S.F.	1.6%
LANDSCAPED/WOODS	74,552 S.F.	75.6%
TOTAL	98,682 S.F.	

EXIST. LOT COVERAGE

BUILDINGS	5,100 S.F.	5.2%
BIT. PAVEMENT	3,700 S.F.	3.7%
GRAVEL PAVEMENT	35,245 S.F.	35.7%
CONC. WALKS/PADS	1,245 S.F.	1.3%
LANDSCAPED/WOODS	53,392 S.F.	54.1%
TOTAL	98,682 S.F.	

ZONING DATA

EXIST. ZONE:	CH	20,000 S.F.
MIN. LOT AREA:		100'
MIN. LOT FRONTAGE:		100'
MIN. LOT WIDTH:		40'
MIN. YARDS:		
FRONT:		30'
SIDE:		40'
REAR:		40'
MAX. BUILDING COVERAGE:		30%
MAX. BUILDING HEIGHT:		35'

PARKING REQUIREMENTS

OFFICE/RETAIL USE: 1 P.S. PER 350 S.F.
 REQUIRED PARKING = 9 SPACES
 PROVIDED PARKING = 45 SPACES*
 PARKING SPACES TO BE 9'X18' TYPICAL
 HANDICAP SPACES TO BE 8'X18' WITH
 5' WIDE ACCESS AISLE
 *35 BIT. PAVEMENT & 10 GRASS PAVERS

GENERAL NOTES

- PROPERTY LINE AND TOPOGRAPHIC INFORMATION FROM PLANS PREPARED BY SCIUTATE SURVEYS, INC. ELEVATION DATUM IS NAVD 88.
- FRESHWATER WETLANDS DELINEATED BY NATURAL RESOURCE SERVICES, INC. RIVERBANK AND WETLAND EDGES LOCATED BY SCIUTATE SURVEYS, INC.
- FLOOD ZONES DEPICTED FROM FEMA FLOOD INSURANCE RATE MAP 44008C0203K DATED APRIL 3, 2020. THE DEVELOPMENT SITE LIES WITH AN AREA OF MINIMAL FLOOD HAZARD, ZONE X.
- LOCATION OF EXISTING UTILITIES IS APPROXIMATE ONLY. DIG SAFE AND APPROPRIATE UTILITY AUTHORITIES SHALL BE NOTIFIED PRIOR TO CONSTRUCTION.
- THE PROJECT SHALL BE SERVICED BY EXISTING UTILITIES LOCATED IN KINGSTOWN ROAD. SERVICES SHALL BE UPGRADED AS REQUIRED.
- FRESHWATER WETLAND APPROVAL IS REQUIRED FROM RIDEM. ALL SITE WORK SHALL COMPLY WITH THE REQUIREMENTS OF WETLAND PERMIT NO. 20-0161.
- ALL EXISTING BUILDINGS AND CONCRETE SLABS SHALL BE REMOVED FROM THE SITE AND DISPOSED IN ACCORDANCE WITH STATE AND FEDERAL REGULATIONS.
- ALL AREAS WITHIN THE LIMITS OF SITE DISTURBANCE NOT OTHERWISE DESIGNATED SHALL BE LANDSCAPED OR LOAMED & SEEDED. SEE LANDSCAPE ARCHITECT PLANS.
- TO THE EXTENT POSSIBLE, HEALTHY MATURE TREES AND UNDERSTORY VEGETATION ON THE SITE PERIMETER BANK SHALL BE PROTECTED AND PRESERVED. SELECTIVE PRUNING TO FACILITATE SITE WORK IS ALLOWED.
- A CONTINUOUS LINE OF EROSION CHECKS SHALL BE INSTALLED ALONG THE LIMITS OF SITE DISTURBANCE AND SHALL BE MAINTAINED UNTIL THE SITE IS FULLY STABILIZED.
- PARKING LOT AND BUILDING SECURITY LIGHTING SHALL HAVE CUT OFF TYPE FIXTURES THAT SHALL PREVENT LIGHT INTRUSION ONTO ADJUTING PROPERTIES OR TOWARDS WETLANDS.

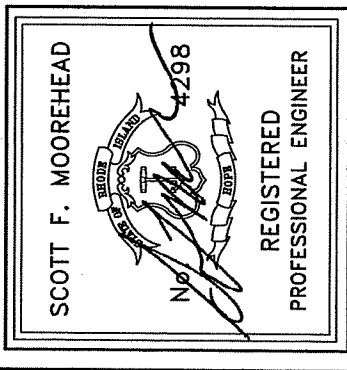
UTILITY NOTES

- LOCATIONS, MATERIALS & SIZES OF EXISTING UTILITIES ARE PLOTTED FROM BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY ALL INFORMATION WITH THE APPROPRIATE UTILITY AUTHORITY AND DIG SAFE PRIOR TO ANY CONSTRUCTION OR EXCAVATION.
- EXPLORATORY TEST PITS SHALL BE EXCAVATED TO CONFIRM THE LOCATION, SIZE & DEPTH AT ANY CONNECTION OR CRITICAL UTILITY AREA, AS REQUIRED.
- EXISTING UTILITY SERVICES TO THE BUILDINGS SHALL BE UTILIZED WHERE POSSIBLE AND UPGRADED AS REQUIRED BY THE UTILITY AUTHORITY OR ARCHITECT'S SPECS OR MEP PLANS.
- SEE BUILDING, PLUMBING & MECHANICAL PLANS FOR WATER, SEWER & GAS SERVICE LOCATION, SIZES AND DETAILS.
- SEE ELECTRICAL & LIGHTING PLANS FOR POWER SERVICE, COMMUNICATIONS, SITE LIGHTING, TELEPHONE, CABLE AND WIRING DETAILS.
- UTILITY SERVICE INSTALLATIONS SHALL BE APPROVED AND INSPECTED BY THE APPROPRIATE UTILITY COMPANY.

CIVIL SHEET INDEX

- C1 SITE DEVELOPMENT PLAN
- S2 BOUNDARY & EXISTING CONDITIONS SURVEY
- C3 SITE GRADING & DRAINAGE PLAN
- C4 SITE DRAINAGE DETAILS
- C5 SITE CONSTRUCTION DETAILS
- C6 EROSION CONTROL DETAILS
- L7 LANDSCAPE PLAN
- L8 LANDSCAPE DETAILS

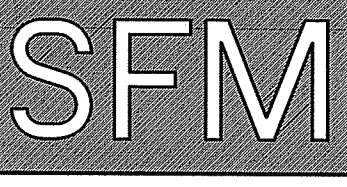
APPLICANT:
 RHODE ISLAND CARE CONCEPTS, INC.
 3263 POST ROAD
 WARWICK, RI 02886
 401-737-3050



OWNER
 RSP REALTY, LLC
 3205 POST ROAD
 WARWICK, RI 02879
 401-742-4146

PROPOSED COMPASSION CENTER
 RHODE ISLAND CARE CONCEPTS, INC.
 ASSESSOR'S PLAT 57-2 LOT 76
 711 KINGSTOWN ROAD
 SOUTH KINGSTOWN, RI

S.F.M. ENGINEERING ASSOCIATES
 410 TIOGUE AVENUE
 COVENTRY, RI 02916
 PHONE: 401-826-3736
 FAX: 401-826-1711
 SCOTT.F.SFM@TLAN.TIOGUE.NET



DRN. BY: SFM
 CHK. BY: JZL
 SCALE: 1" = 20'
 DATE: JUNE 15, 2020
 DWG: SFM882-SP-C
 SHEET 1 OF 8
 DEM. PERMITTING SUBMISSION

C1

KINGSTOWN ROAD ~ ROUTE 108
(PUBLIC - WIDTH VARIES)

R.I.H.B.
PT STA 43+68.52
LEFT 40.00'
SHP NO. 1412

A.P. 57-1 LOT 94
N/F
FMA, LLC

ASSESSOR'S PLAT 57-2 LOT 76
N/F
RSP REALTY, LLC
AREA = 98,682± S.F.
= 2.265± ACRES

A.P. 49-3 LOT 1
N/F
TOWN OF SOUTH KINGSTOWN

#721
MIDAS MUFFLER

A.P. 57-1 LOT 93
N/F
SCOTT SQUARED, LLC

PROPOSED DISPENSARY BUILDING
SLAB EL. +1.20

#703
BOBBY G'S PUB

A.P. 57-1 LOT 92
N/F
703 KINGSTOWN ROAD LLC

A.P. 57-1 LOT 91
N/F
ROBERT S. GILARDETTI REVOC. TRUST

#691
ROBERT S. GILARDETTI DENTIST

A.P. 57-2 LOT 69
N/F
INDIAN RUN VILLAGE RIH, LLC

DRAINAGE & GRADING NOTES

- CATCH BASINS SHALL BE 4' I.D. PRECAST CONC. WITH 4' SUMP RI STD. 4.4.0 WITH FRAME & GRATES RI STD. 6.3.2
- FRAME & GRATES SHALL BE SET 2" BELOW DESIGN GRADE UNTIL FINAL PAVEMENT COURSE IS TO BE INSTALLED. AT FINAL PAVING, RAISE FRAME AND GRATE TO DESIGN GRADE.
- DRAINAGE PIPING SHALL BE HDPE ADS-N-12 ST (SOIL TIGHT) OR SDR-35 PVC. BALE OR SILT SOCK PERIMETER EROSION CHECKS WHICH SHALL BE MAINTAINED AND REPLACED AS REQUIRED UNTIL THE SITE IS FULLY STABILIZED.
- SEDIMENT FOREBAYS AND BIO-RETENTION AREAS SHALL BE CONSTRUCTION STAKED BY THE PROJECT SURVEYOR TO INSURE ACCURATE LOCATION AND ELEVATION. THE PROJECT SURVEYOR SHALL AS-BUILT SURVEY THESE AREAS PRIOR TO SEEDING AND PROVIDE AN AS-BUILT PLAN TO S.F.M. ENGINEERING. ANY DISCREPANCIES SHALL BE CORRECTED PRIOR TO SEEDING.
- TO THE EXTENT POSSIBLE, HEALTHY MATURE TREES AND UNDERSTORY VEGETATION ON THE SITE PERIMETER BANK SHALL BE PROTECTED AND PRESERVED. SELECTIVE PRUNING TO FACILITATE SITE WORK IS ALLOWED.
- ELEVATIONS AT CURB ARE BOTTOM OF CURB UNLESS NOTED T.C. (TOP OF CURB) CURB REVEALS ARE 6" TYPICAL, 1/2" AT FLUSH CURB.
- GRADING AT ALL SIDEWALK RAMP SHALL COMPLY WITH RI STD. 43.3.0 OR 43.3.1 ALL WALKS SHALL HAVE A MAXIMUM SLOPE OF 5%.
- ALL CONSTRUCTION TRAFFIC SHALL ENTER VIA THE EXISTING DRIVEWAY FROM KINGSTOWN ROAD AND EXIT VIA THE SOUTH DRIVEWAY. A RIP-RAP CONSTRUCTION EXIT SHALL BE MAINTAINED UNTIL THE SITE IS READY FOR PAVING. SEE DETAIL ON SHEET C6.
- STOCKPILE AREAS FOR SOILS & OTHER ERODIBLE MATERIALS SHALL BE SURROUNDED BY A CONTINUOUS LINE OF EROSION CONTROLS.

DRAINAGE BASIN AREAS

BIO-RETENTION AREA #1		BIO-RET. AREAS	
SED. FOREBAY AREAS	12 S.F.		
36.5		38.0	320 S.F.
38.0	145	38.67	545
38.67	265	39.0	650
39.0	350	39.5	815
39.5	455	COMBINED	2900 S.F.
40.0			

BIO-RETENTION AREA #2		BIO-RET. AREAS	
SED. FOREBAY AREAS	7 S.F.		
37.0		37.5	320 S.F.
38.0	32	38.0	560
38.0	65	38.5	800
38.5	105	39.0	1040
39.0	152	COMBINED	2490 S.F.
39.5			

GROUND WATER & LEDGE DEPTH TABLE

TEST PIT	SHWT DEPTH	EXIST. GROUND	HTM DEPTH	SHWT ELEV.	LEDGE DEPTH	LEDGE ELEV.
1	66"	39.7	7.0'	34.2	8'+	31.7
2	78"	40.5	6.0'	34.0	7'+	33.5
3	84"	40.8	7.3'	33.8	9'+	31.8

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
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DATED SEP 23 2021 FILE # 20-0161
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Nancy L. Freeman

- LEGEND:**
- 40 --- EXISTING CONTOUR
 - 40 --- PROP. CONTOUR
 - EROSION CONTROL
 - IR --- IRON ROD
 - R.I.H.B. --- R.I. HIGHWAY BOUND
 - P-2 --- UTILITY POLE
 - PW --- 50' PERIMETER WETLAND
 - CB --- EXIST. CATCH BASIN
 - BSA --- WETLAND FLAG
 - --- EXIST. TREE LINE
 - --- EXIST. TREE TO REMAIN
 - RD --- PRECAST CATCH BASIN
 - --- PROP. ROOF DRAIN
 - --- EXIST. SPOT ELEVATION
 - --- PROP. SPOT ELEVATION
 - --- PROP. RIP-RAP
 - --- PROP. GRASS PAVERS
 - --- PROP. PARKING LOT LIGHTS

REVISION	DATE	TRC COMMENTS
	7-8-20	STOCKPILE AREAS & CONC. WASHOUT AREA
	8-23-21	

SCOTT F. MOOREHEAD
REGISTERED PROFESSIONAL ENGINEER

OWNER
RSP REALTY, LLC
3205 POST ROAD
WAKEFIELD, RI 02879
401-742-4146

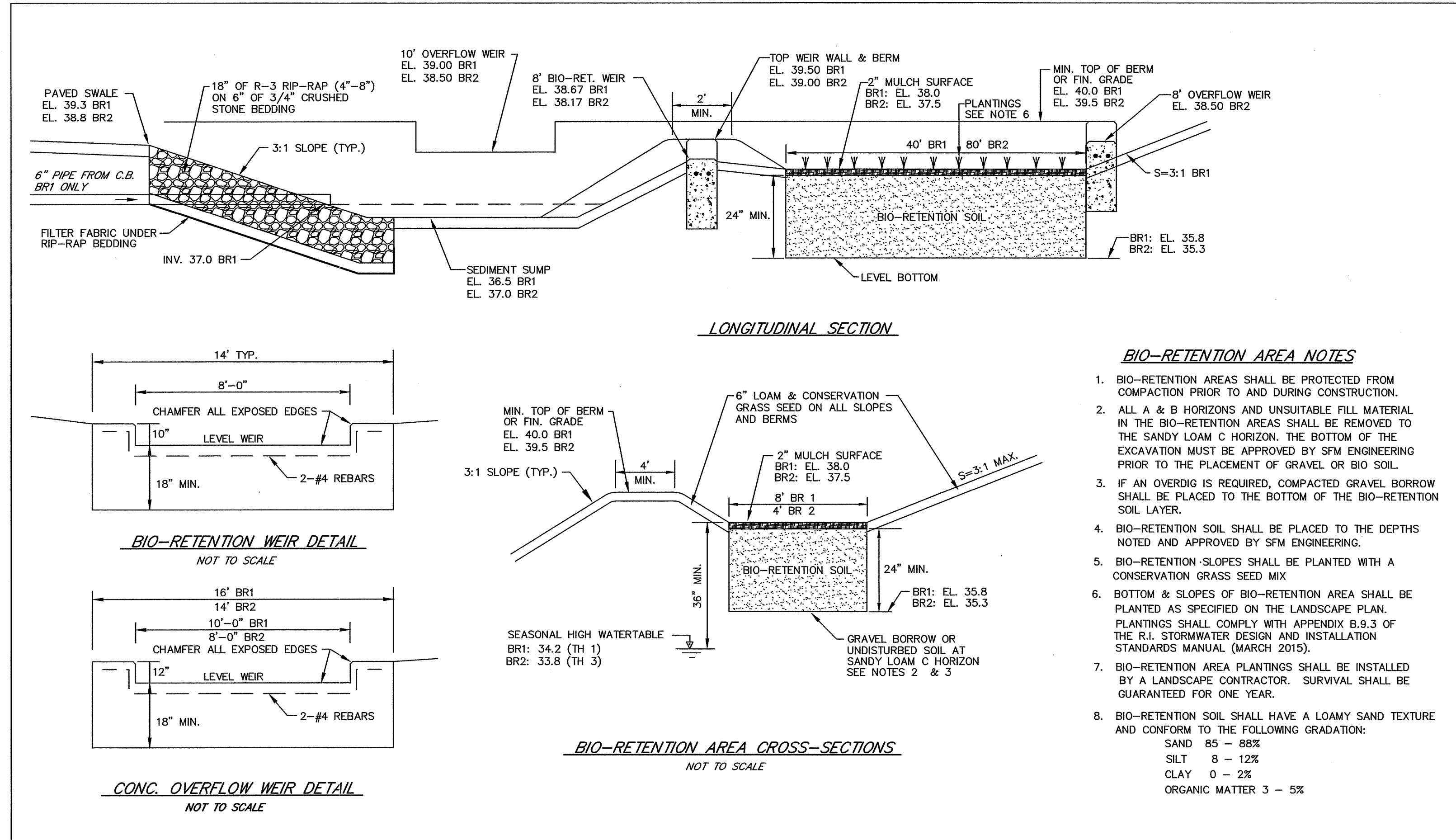
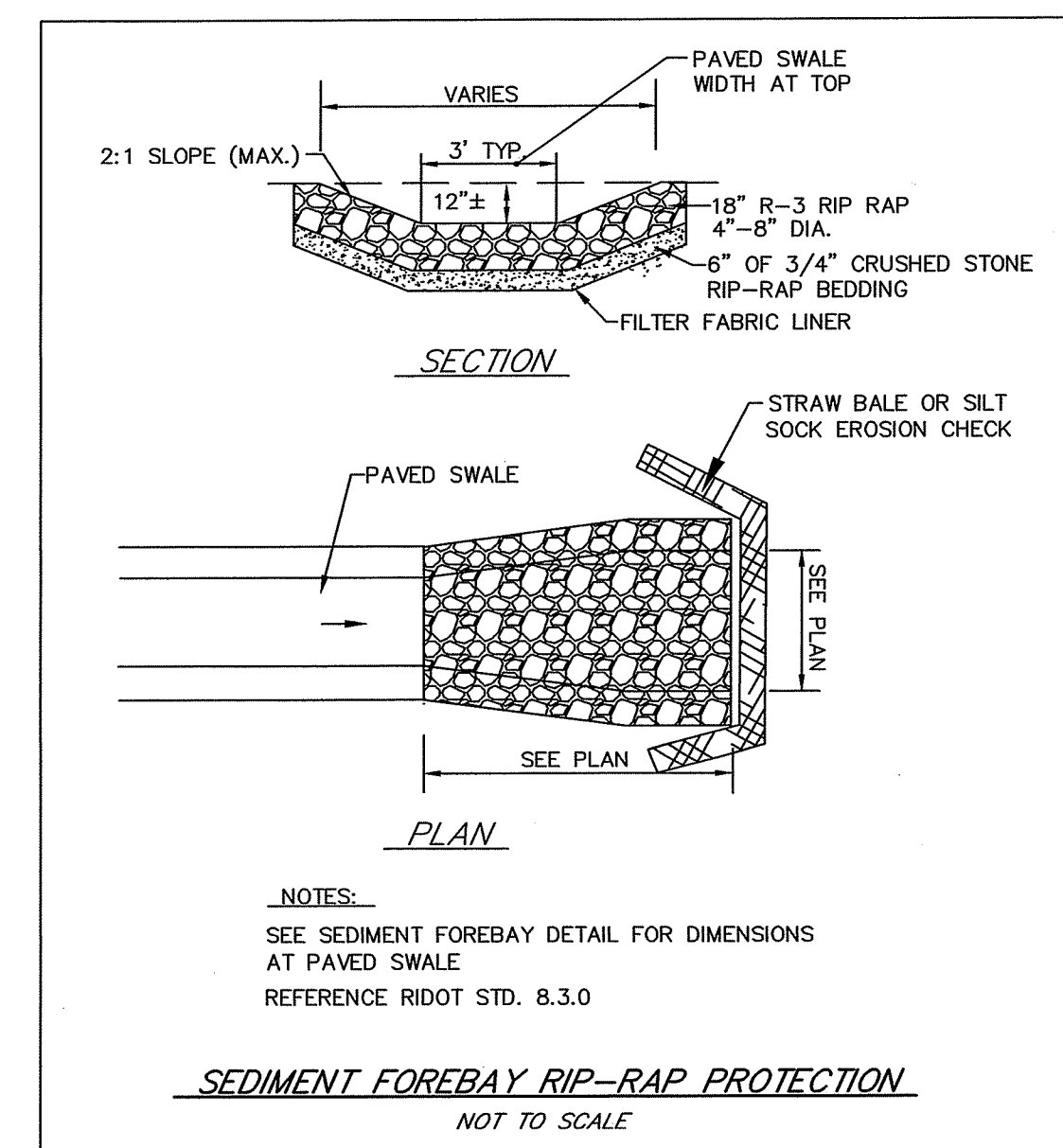
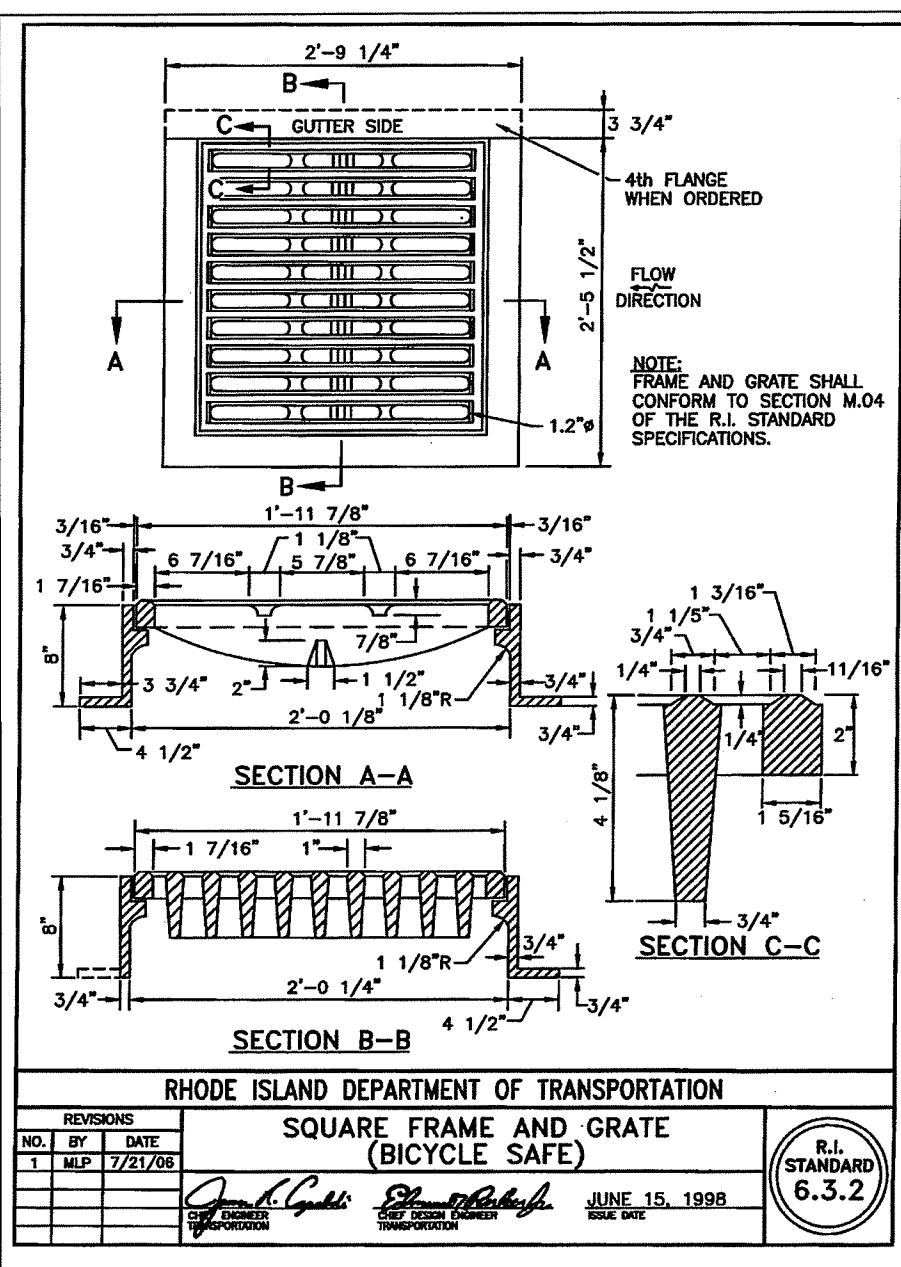
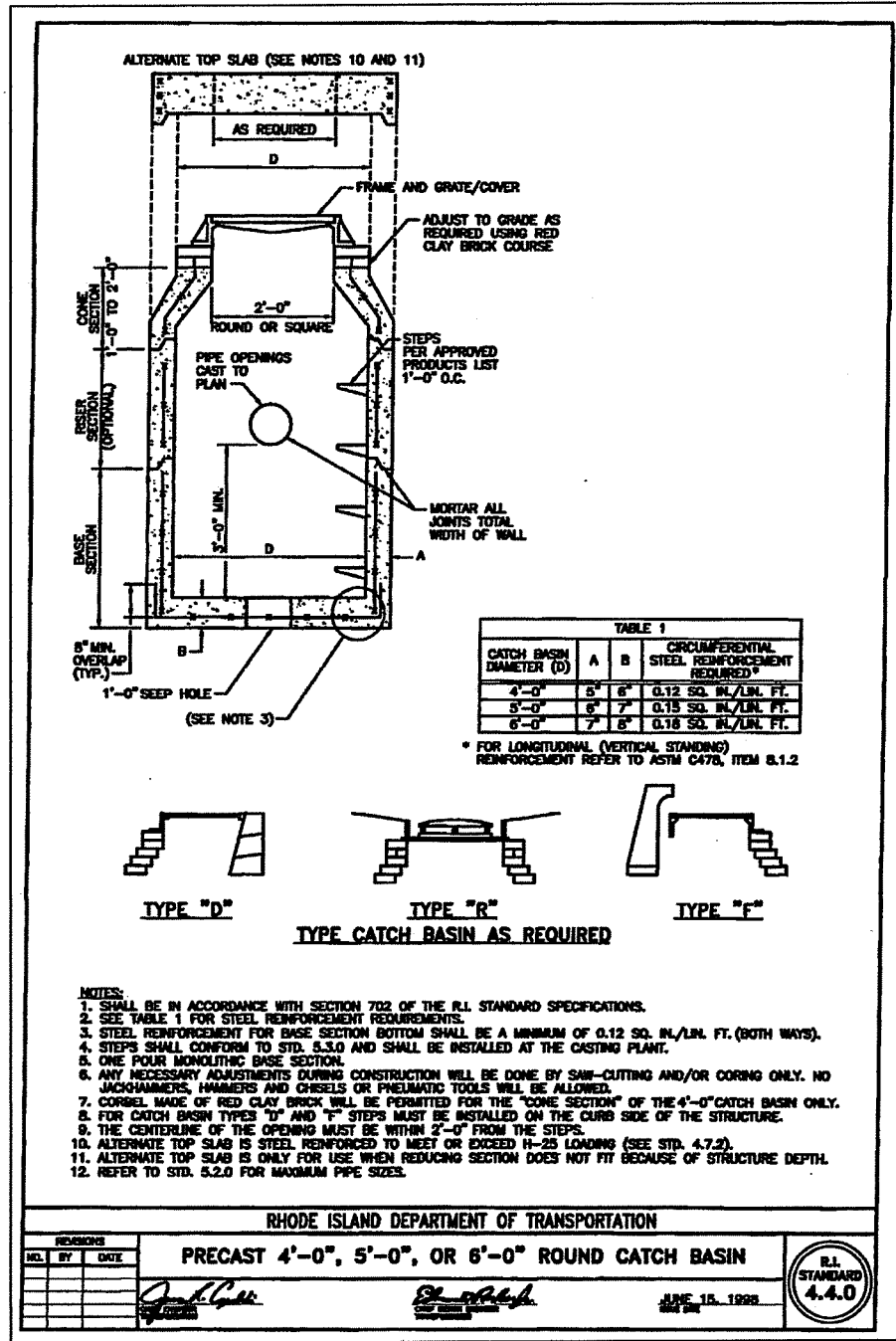
PROPOSED COMPRESSION CENTER
RHODE ISLAND CARE CONCEPTS, INC.
ASSESSOR'S PLAT 57-2 LOT 76
711 KINGSTOWN ROAD
SOUTH KINGSTOWN, RI

S.F.M. ENGINEERING ASSOCIATES
410 TIGUE AVENUE
COVENTRY, RI 02816
PHONE: 401-828-3736
FAX: 401-828-1771
SCOTT.SFM@ATTN.TOCBB.NET

DRN. BY: SFM
CHK. BY: JZL
SCALE: 1" = 20'
DATE: JUNE 15, 2020
DWG: SFM882-GP-C
SHEET 3 OF 8
DEM PERMITTING SUBMISSION

APPLICANT:
RHODE ISLAND CARE CONCEPTS, INC.
2363 POST ROAD
WARWICK, RI 02886
401-737-3030

GRADING & DRAINAGE PLAN



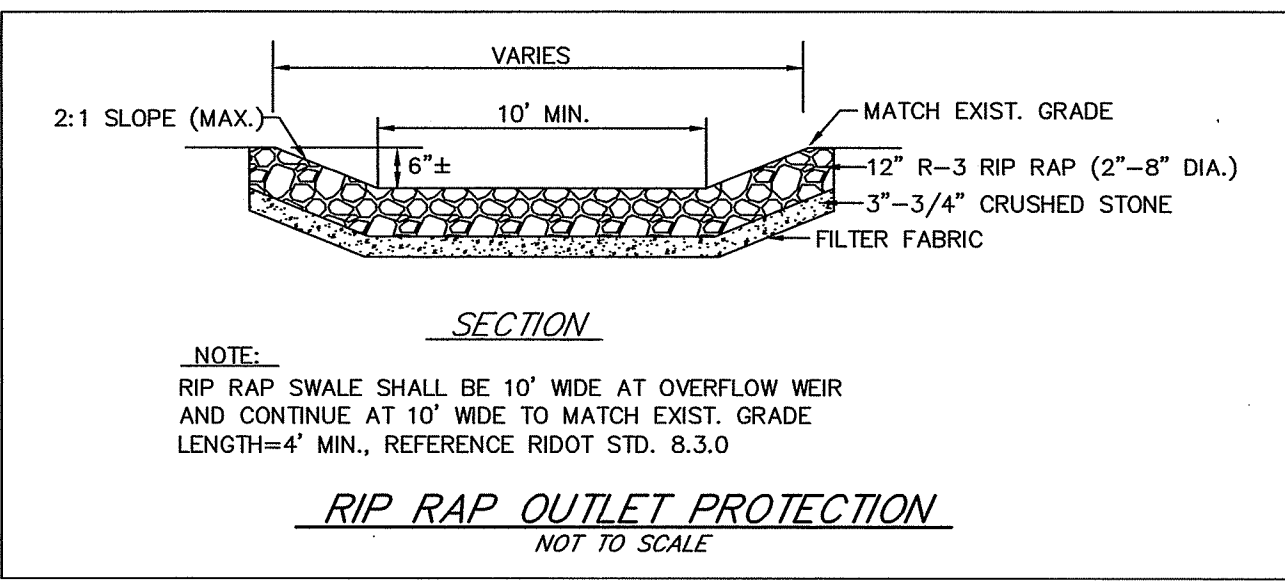
- BIO-RETENTION AREA NOTES**
- BIO-RETENTION AREAS SHALL BE PROTECTED FROM COMPACTION PRIOR TO AND DURING CONSTRUCTION.
 - ALL A & B HORIZONS AND UNSUITABLE FILL MATERIAL IN THE BIO-RETENTION AREAS SHALL BE REMOVED TO THE SANDY LOAM C HORIZON. THE BOTTOM OF THE EXCAVATION MUST BE APPROVED BY SFM ENGINEERING PRIOR TO THE PLACEMENT OF GRAVEL OR BIO SOIL.
 - IF AN OVERDIG IS REQUIRED, COMPACTED GRAVEL BORROW SHALL BE PLACED TO THE BOTTOM OF THE BIO-RETENTION SOIL LAYER.
 - BIO-RETENTION SOIL SHALL BE PLACED TO THE DEPTHS NOTED AND APPROVED BY SFM ENGINEERING.
 - BIO-RETENTION SLOPES SHALL BE PLANTED WITH A CONSERVATION GRASS SEED MIX
 - BOTTOM & SLOPES OF BIO-RETENTION AREA SHALL BE PLANTED AS SPECIFIED ON THE LANDSCAPE PLAN. PLANTINGS SHALL COMPLY WITH APPENDIX B.9.3 OF THE R.I. STORMWATER DESIGN AND INSTALLATION STANDARDS MANUAL (MARCH 2015).
 - BIO-RETENTION AREA PLANTINGS SHALL BE INSTALLED BY A LANDSCAPE CONTRACTOR. SURVIVAL SHALL BE GUARANTEED FOR ONE YEAR.
 - BIO-RETENTION SOIL SHALL HAVE A LOAMY SAND TEXTURE AND CONFORM TO THE FOLLOWING GRADATION:

SAND	85 - 88%
SILT	8 - 12%
CLAY	0 - 2%
ORGANIC MATTER	3 - 5%

SOIL TEXTURE NOTE:

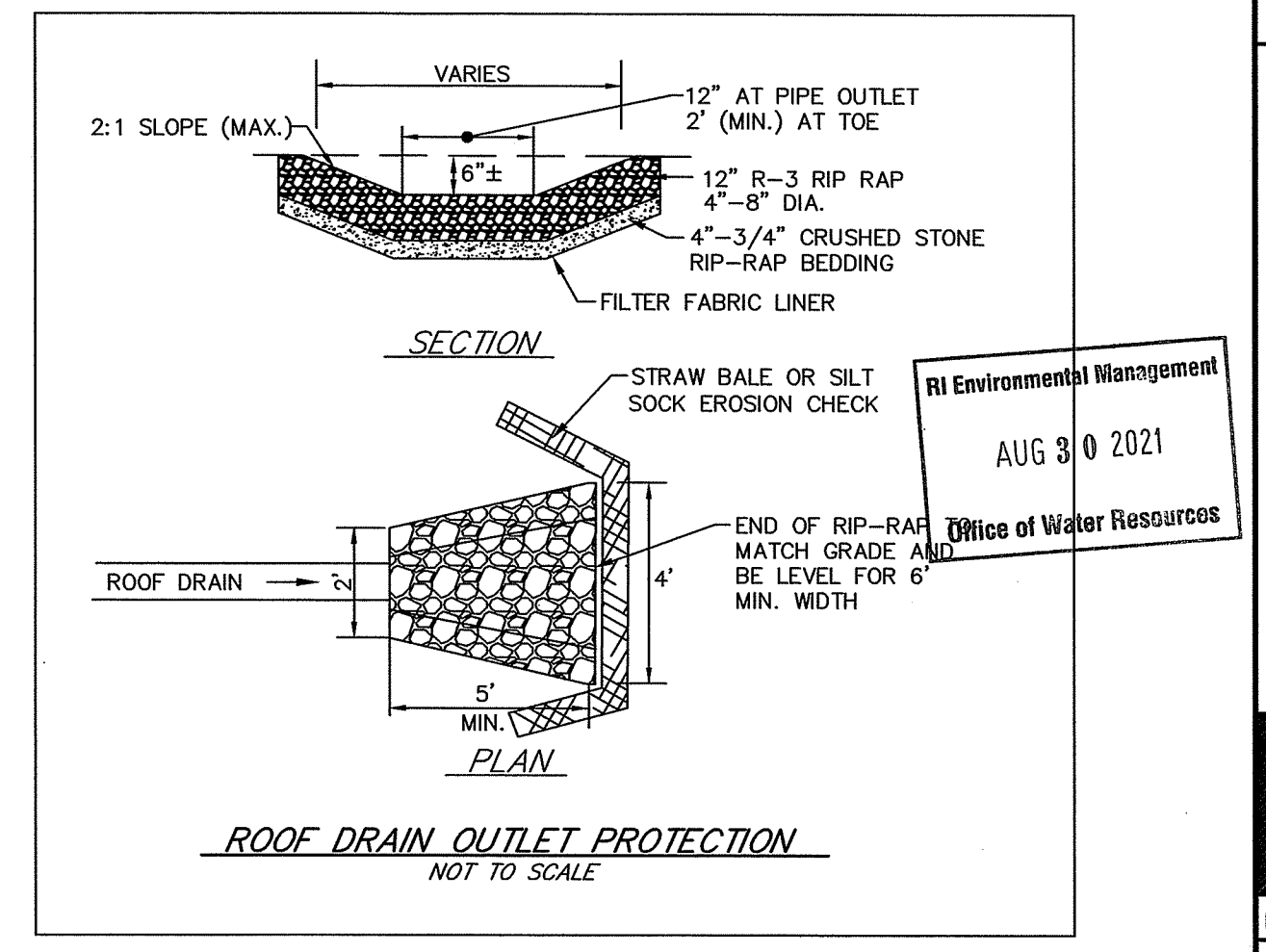
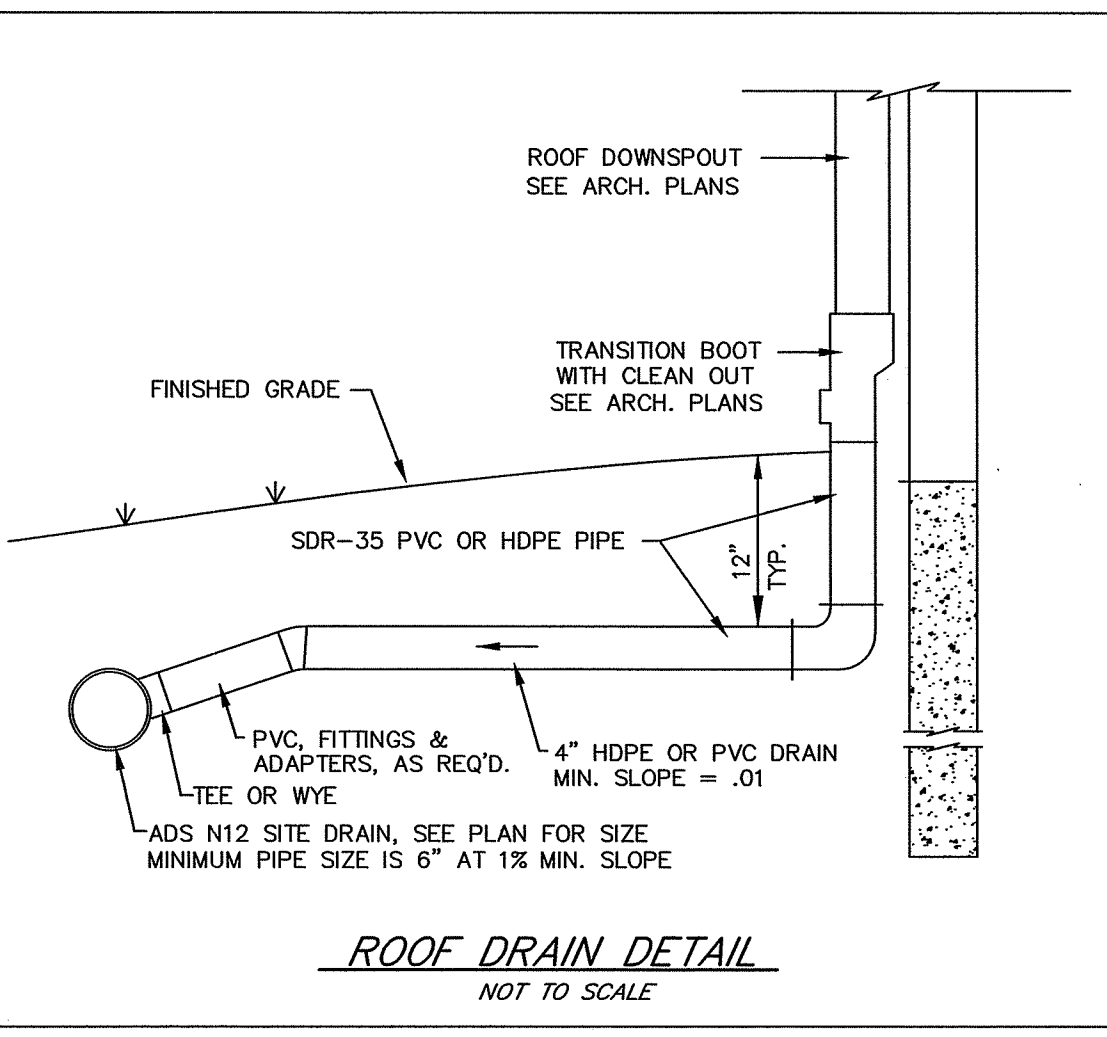
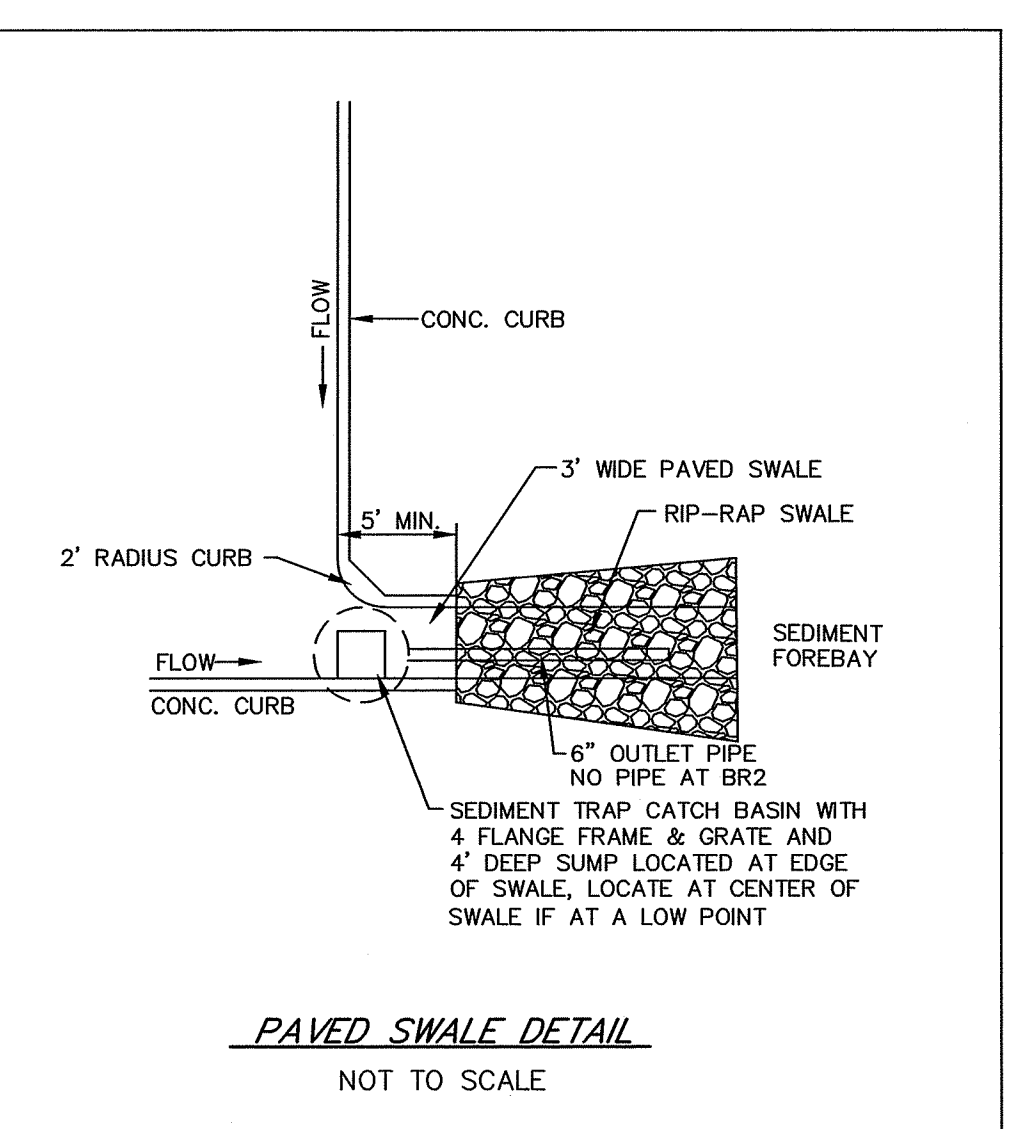
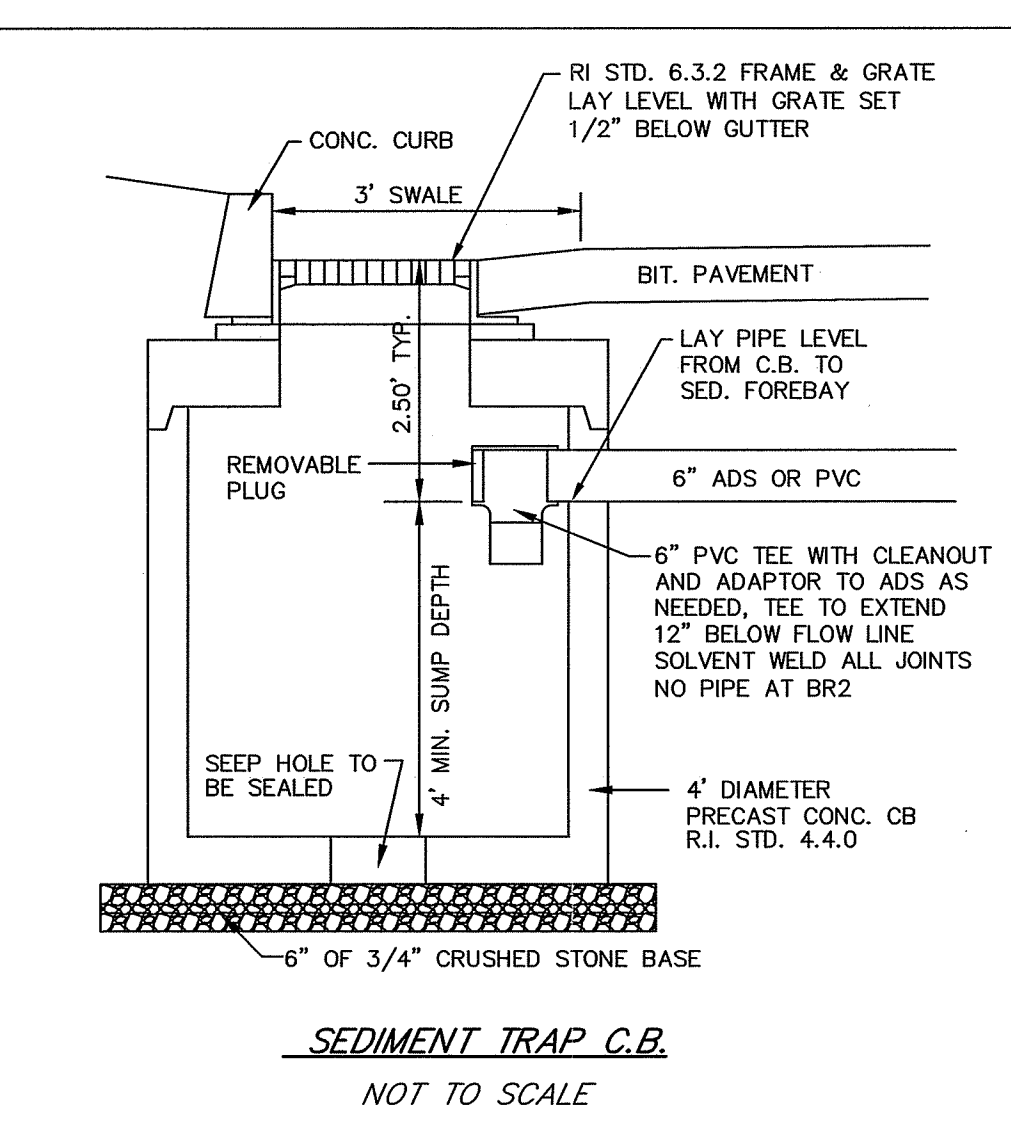
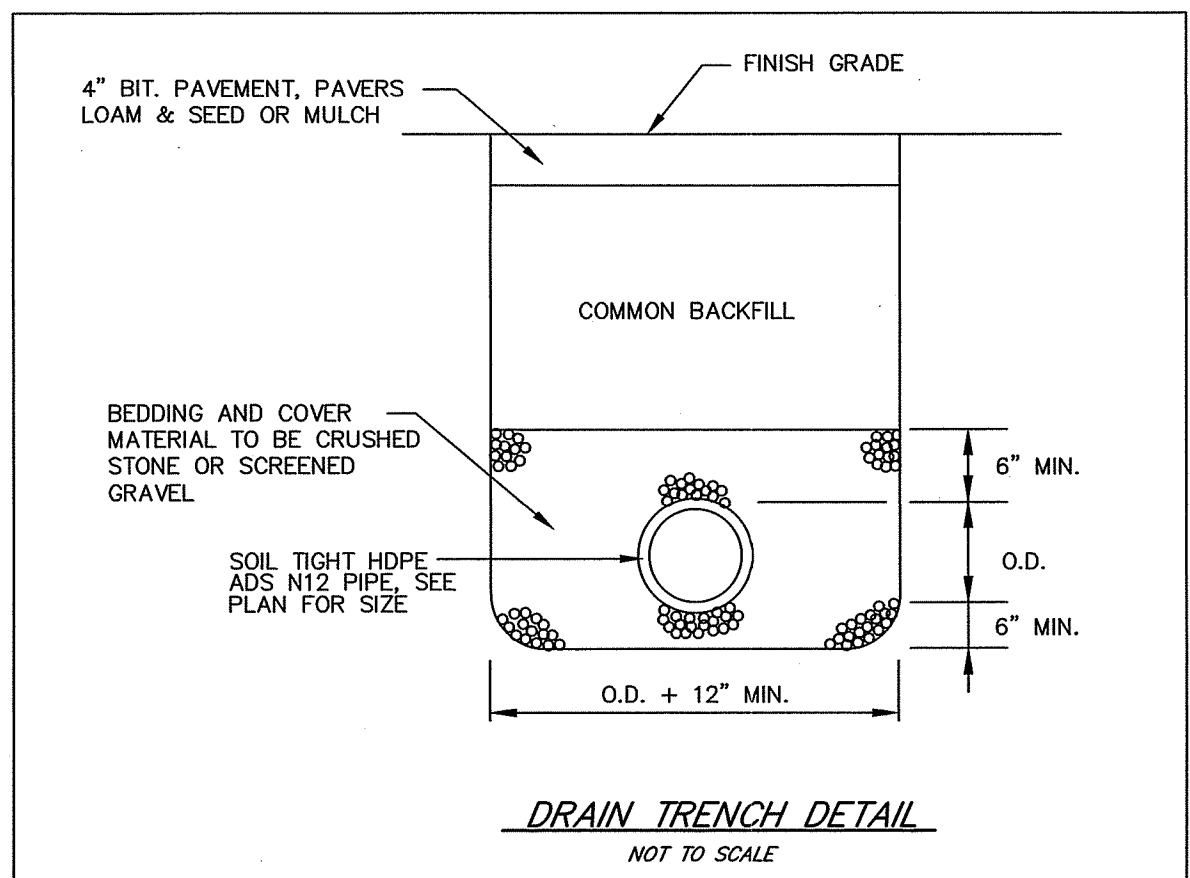
SANDY LOAM PER USDA TEXTURE CLASS:
 > 50% SAND
 > 30% < 50% SILT & CLAY
 < 20% CLAY

LOAMY SAND PER USDA TEXTURE CLASS:
 > 70% SAND
 > 10% < 30% SILT & CLAY
 < 15% CLAY



GROUND WATER & LEDGE DEPTH TABLE

TEST PIT	SHWT DEPTH	EXIST. GROUND	HTM DEPTH	SHWT ELEV.	LEDGE DEPTH	LEDGE ELEV.
1	66"	39.7	7.0'	34.2	8'+	31.7
2	78"	40.5	6.0'	34.0	7'+	33.5
3	84"	40.8	7.3'	33.8	9'+	31.8



- STORMWATER SYSTEM MAINTENANCE PLAN**
- THE SITE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SITE STORMWATER SYSTEM PROTECTION, INSPECTION AND MAINTENANCE PRIOR TO, DURING AND POST CONSTRUCTION UNTIL FINAL ACCEPTANCE OF CONSTRUCTION BY THE OWNER.
 - THE BIO-RETENTION AREA BOTTOMS SHALL BE PROTECTED PRIOR TO AND DURING SITE CONSTRUCTION TO PREVENT COMPACTION OF THE BOTTOM AREA.
 - SEDIMENT FOREBAYS SHALL BE MAINTAINED ACCORDING TO THE FOLLOWING SCHEDULE:
 - THE GRASS IN THE FOREBAY BOTTOM & SLOPES SHALL BE MOWED AT LEAST THREE (3) TIMES BETWEEN THE MONTHS OF MAY AND OCTOBER. MOWED HEIGHT OF VEGETATION SHALL NOT BE LESS THAN TWO INCHES. THE MAXIMUM HEIGHT OF VEGETATION SHALL BE 18" INCHES.
 - THE INLET & OUTLET STRUCTURES TO THE FOREBAYS SHALL BE KEPT CLEAN OF SILT AND DEBRIS. THE PIPES SHALL BE CLEANED AT THE THREE (3) MOWINGS AND ONCE DURING THE WINTER MONTHS.
 - SILT & DEBRIS SHALL BE REMOVED FROM THE SEDIMENT FOREBAYS EVERY YEAR OR WHEN THE ACCUMULATION EXCEEDS 6 INCHES IN DEPTH.
 - CATCH BASINS SHALL BE CLEANED & MAINTAINED AS NEEDED BY THE SITE CONTRACTOR DURING SITE CONSTRUCTION AND ANNUALLY BY THE OWNER AFTER ACCEPTANCE. ACCUMULATED SILT, SAND, DEBRIS & OIL SHALL BE REMOVED AND DISPOSED OF AT A LICENSED WASTE FACILITY.
 - ALL PAVED AREAS SHALL BE SWEEP AS NEEDED. ACCUMULATED SILT, SAND & DEBRIS SHALL BE REMOVED AND DISPOSED.
 - BIO-RETENTION AREAS SHALL BE MAINTAINED ACCORDING TO THE FOLLOWING SCHEDULE:
 - BIO-RETENTION AREAS SHALL BE INSPECTED TWICE PER YEAR.
 - SOIL EROSION GULLIES SHALL BE REPAIRED WHEN THEY OCCUR.
 - IF STANDING WATER REMAINS 48 HOURS AFTER A RAINFALL EVENT, THE BOTTOM SHALL BE ROTO-TILLED THEN RE-SEEDED.
 - PRUNING OR REPLACEMENT OF VEGETATION SHALL OCCUR WHEN DEAD OR DYING VEGETATION IS OBSERVED.
 - SILT AND DEBRIS SHALL BE REMOVED WHEN THE ACCUMULATION EXCEEDS ONE INCH.
 - DURING CONSTRUCTION AND THE FIRST 6 MONTHS OF OPERATION, THE BIO-RETENTION AREAS AND SEDIMENT FOREBAYS SHALL BE INSPECTED WITHIN 24 HOURS OF EACH RAINFALL EVENT THAT GENERATES .25 INCHES OF RAIN IN A 24 HOUR PERIOD. AFTER THE FIRST SIX MONTHS OF OPERATION, THE BIO-RETENTION AREAS SHALL BE INSPECTED AFTER ANY RAINFALL EVENT THAT GENERATES MORE THAN 2 INCHES OF RAIN IN A 24 HOUR PERIOD.
 - ANY INADVERTENT OR DELIBERATE DISCHARGE OF WASTE OIL OR ANY OTHER POLLUTANT TO THE STORMWATER DISPOSAL SYSTEM REQUIRES IMMEDIATE NOTIFICATION OF RI DEM.
 - ANY INCIDENT OF GROUNDWATER CONTAMINATION RESULTING FROM THE IMPROPER DISCHARGE OF CONTAMINANTS TO THE DISPOSAL SYSTEM SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER. THE RIDEM WILL REQUIRE THE PROPERTY OWNER TO REMEDIATE ANY INCIDENTS THAT MAY ADVERSELY IMPACT GROUNDWATER QUALITY.
 - UPON FINAL ACCEPTANCE OF THE CONSTRUCTION, THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR INSPECTION & MAINTENANCE OF THE PAVEMENT, DRAIN PIPES, OUTLET STRUCTURES, CATCH BASINS, ROOF DRAINS, SEDIMENT FOREBAYS AND BIO-RETENTION AREAS WITHIN THE SITE.

DRAINAGE BASIN AREAS

BIO-RETENTION AREA #1

SED. FOREBAY AREAS	BIO-RET. AREAS
36.5	12 S.F.
38.0	145
38.67	265
39.0	350
39.5	455
COMBINED	40.0 2900 S.F.

BIO-RETENTION AREA #2

SED. FOREBAY AREAS	BIO-RET. AREAS
37.0	7 S.F.
37.5	32
38.0	65
38.5	105
39.0	152
COMBINED	39.5 2490 S.F.

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 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Nancy L. Freeman

REVISION

DATE

7-8-20

TRC COMMENTS

SCOTT F. MOOREHEAD
 REGISTERED PROFESSIONAL ENGINEER

OWNER
 RSP REALTY, LLC
 32063 POST ROAD
 WAKEFIELD, RI 02887

PROPOSED COMPASSION CENTER
 RHODE ISLAND CARE CONCEPTS, INC.
 ASSESSOR'S PLAT 57-2 LOT 76
 711 KINGSTOWN ROAD
 SOUTH KINGSTOWN, RI

SITE DRAINAGE DETAILS

S.F.M. ENGINEERING ASSOCIATES
 410 TIGOLE AVENUE
 COVENTRY, RI 02816
 PHONE: 401-826-3736
 FAX: 401-826-1711
 SCOTT.SFM@TLANTCBB.NET

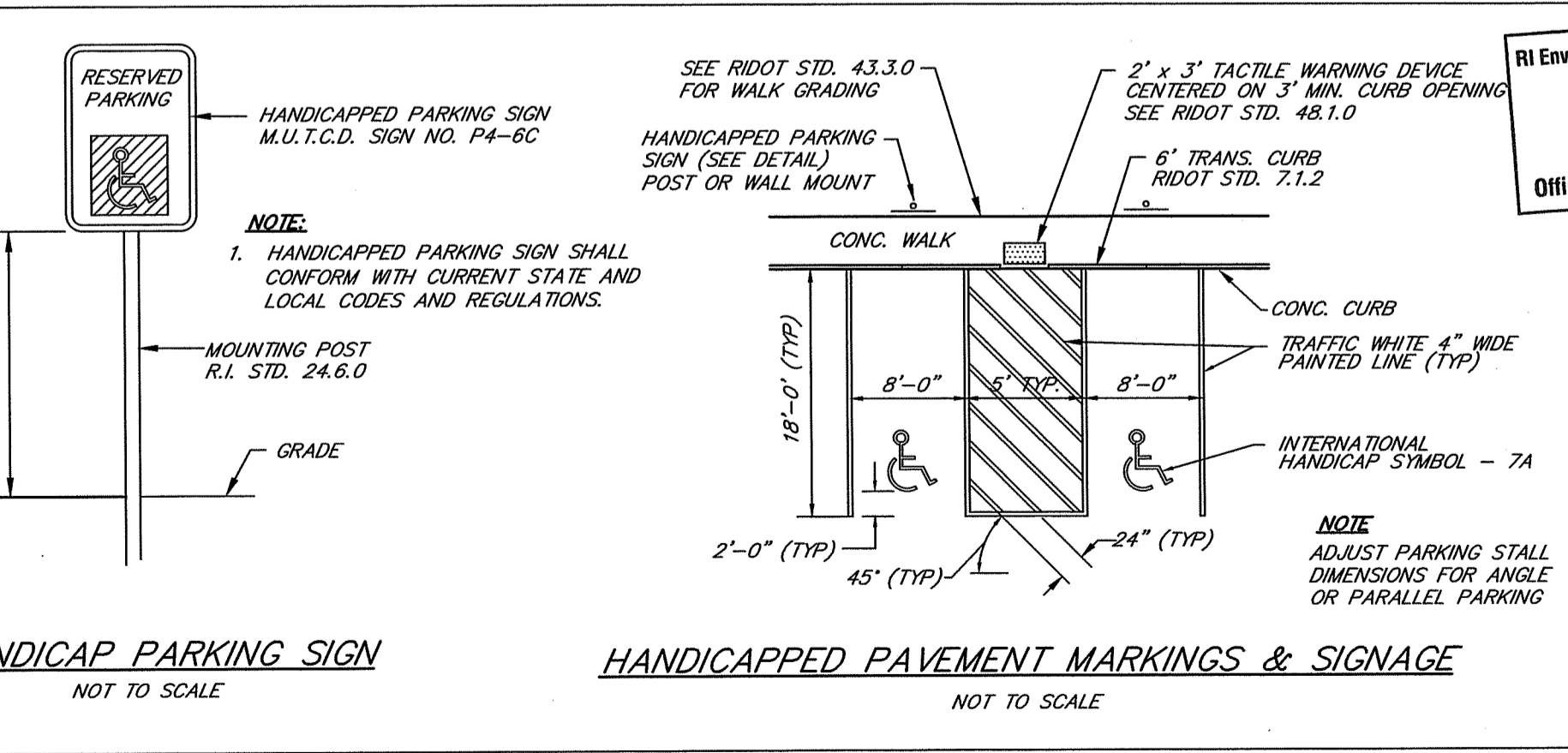
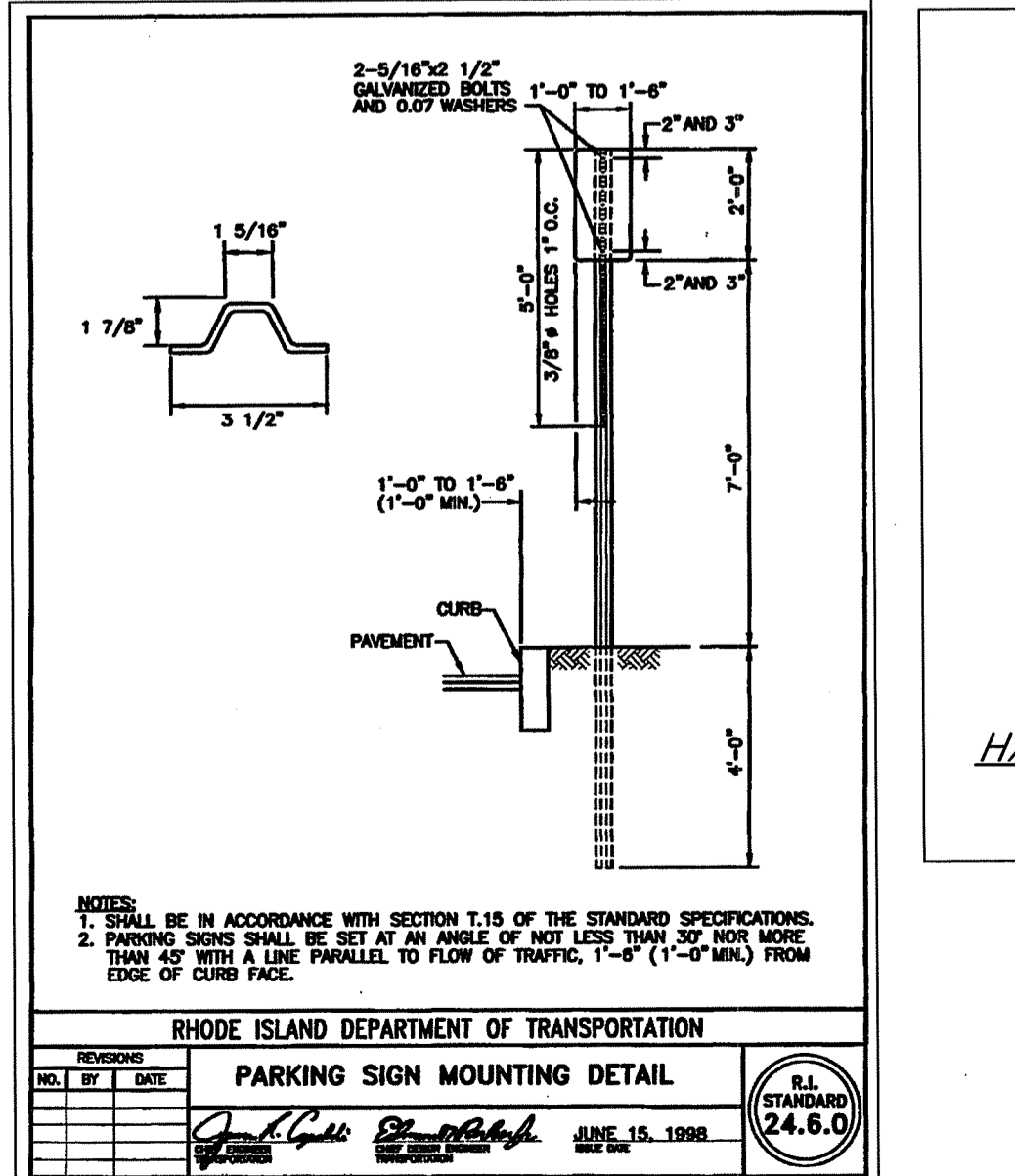
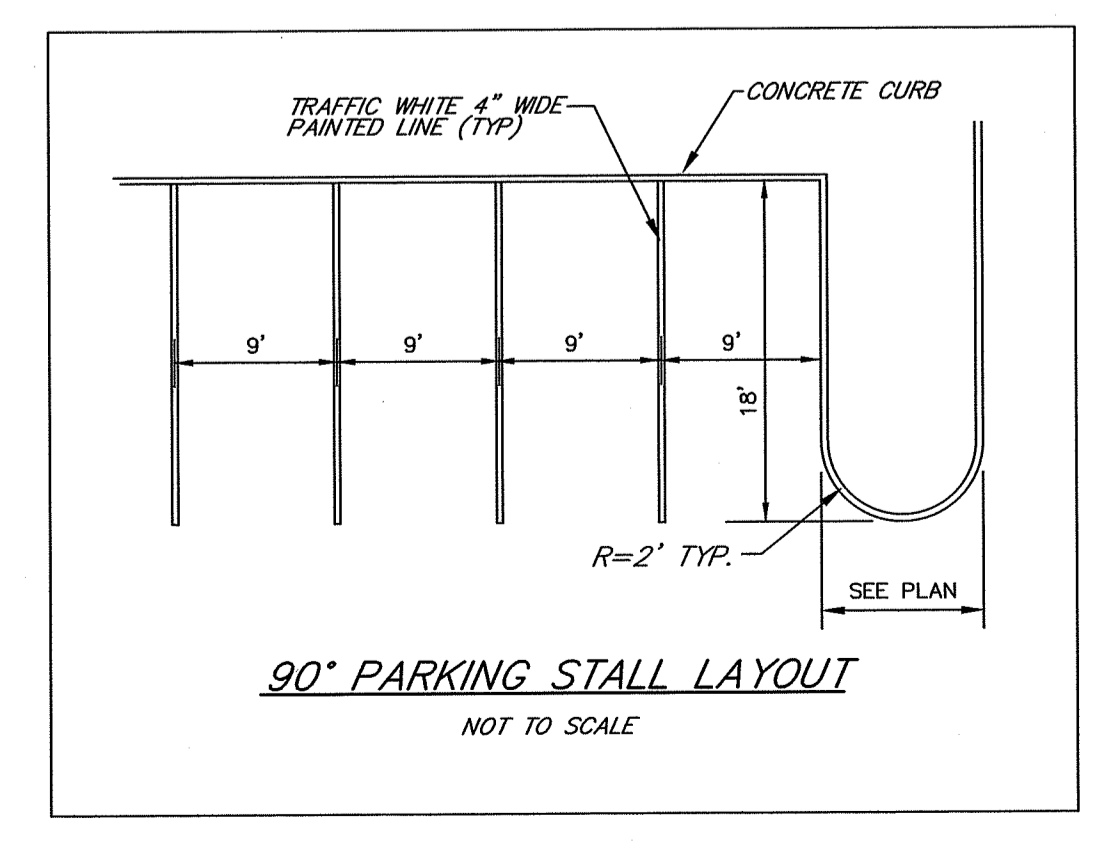
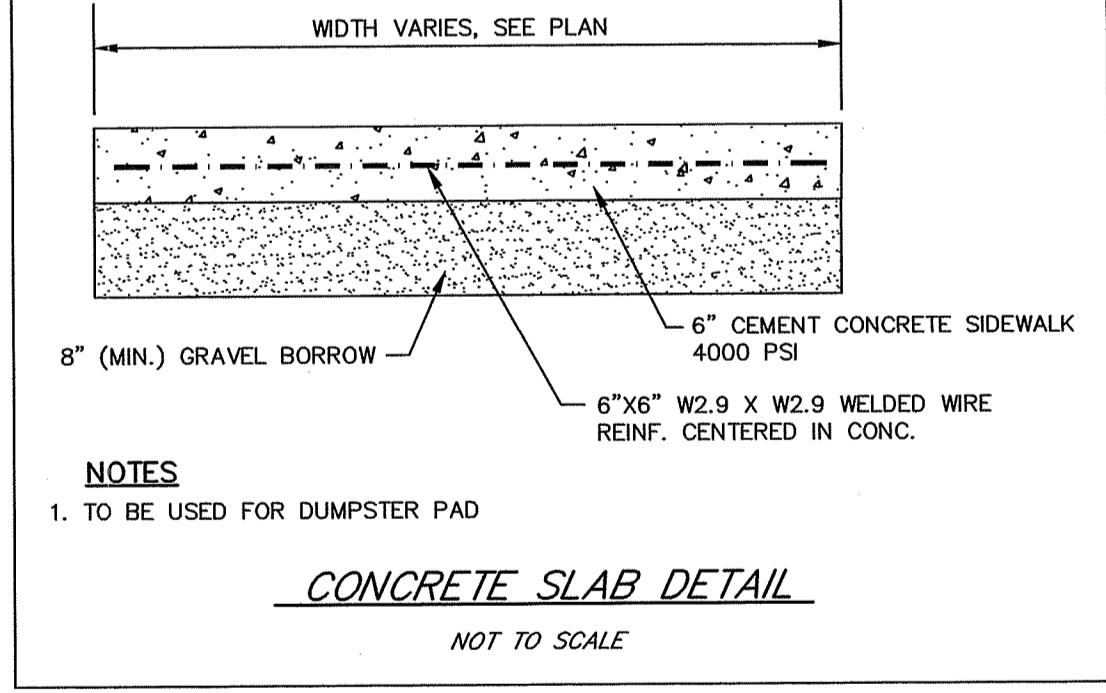
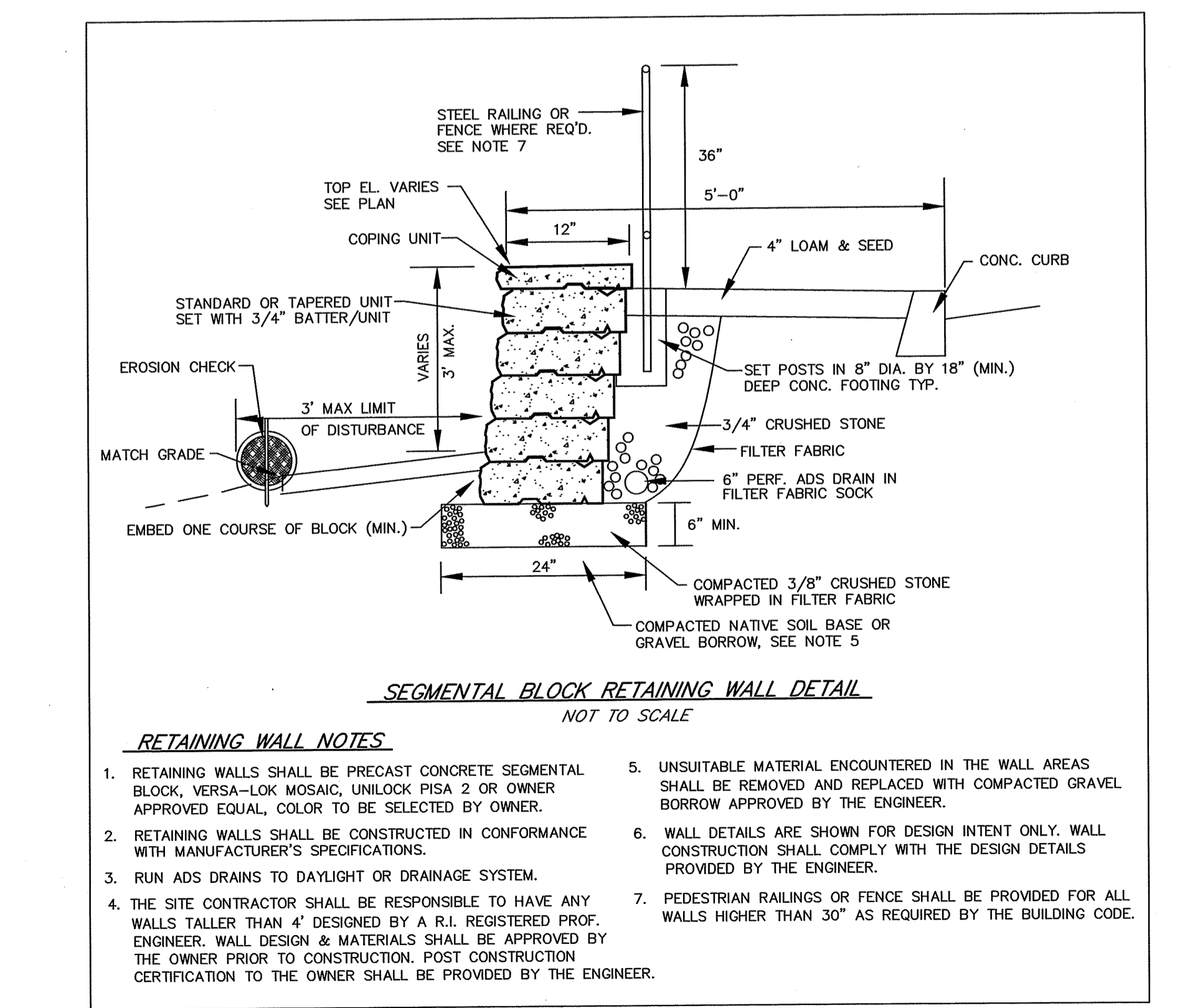
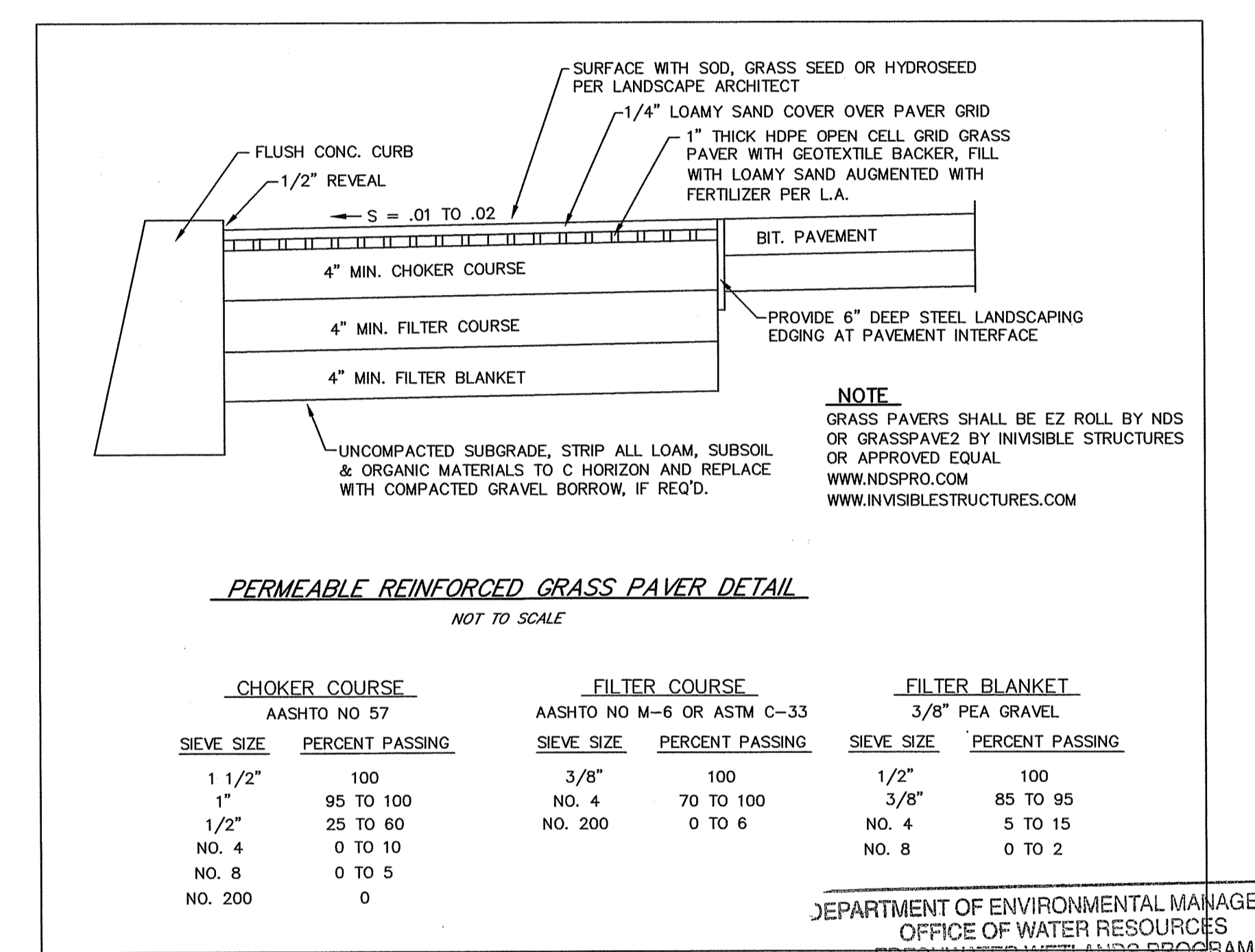
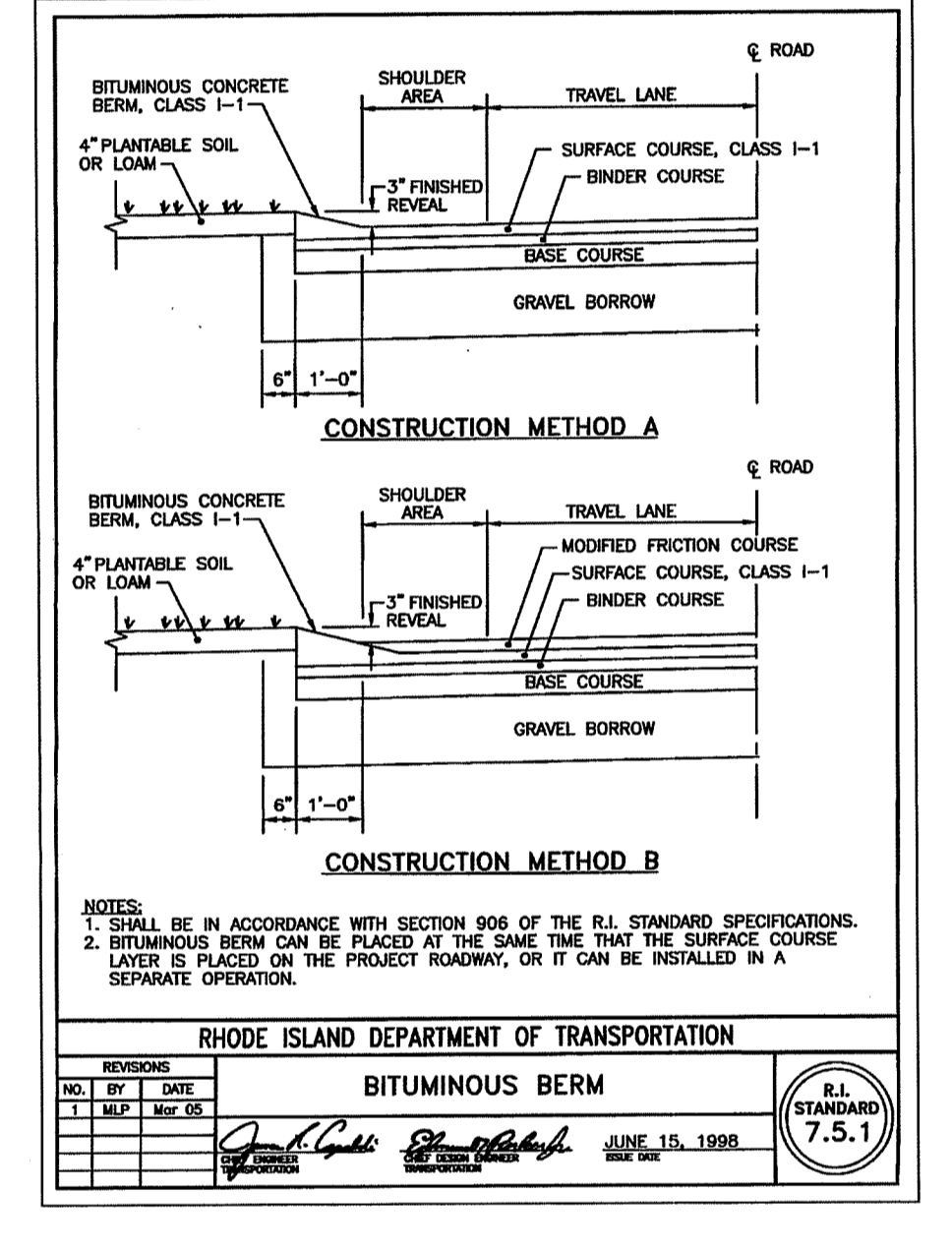
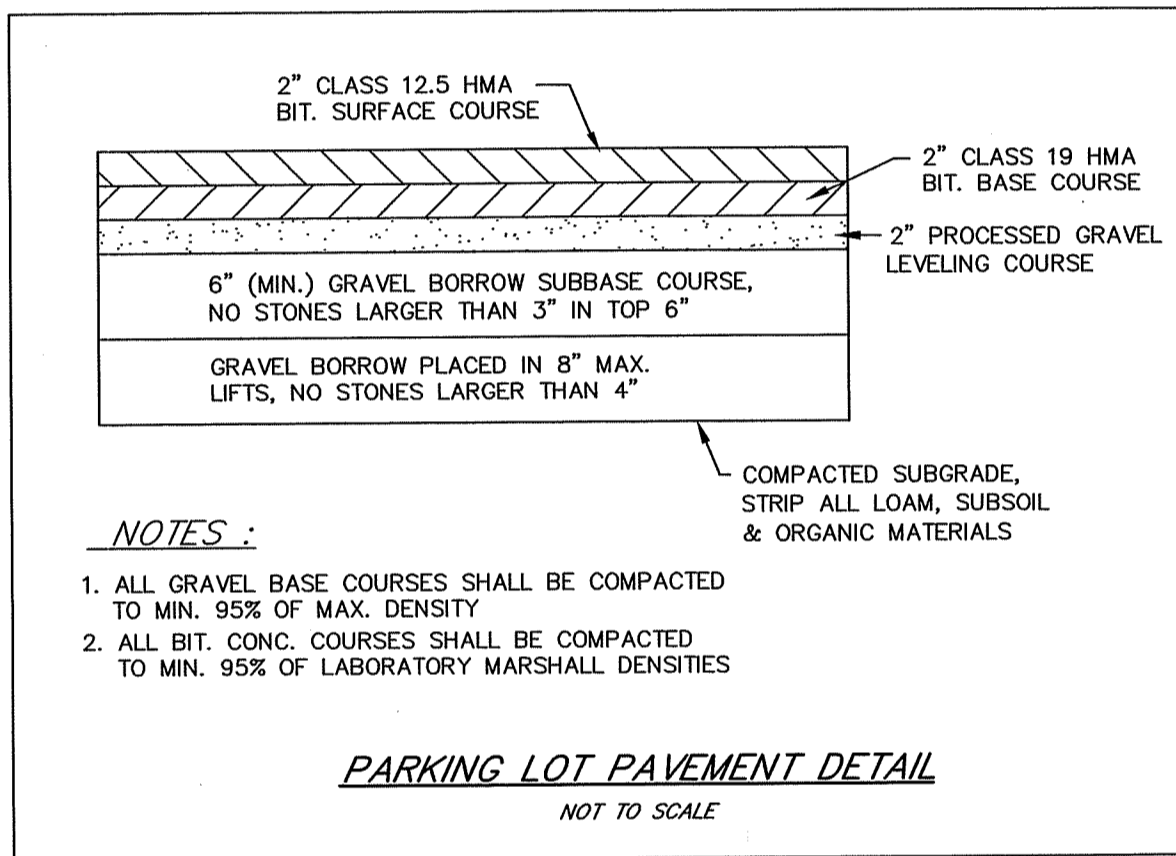
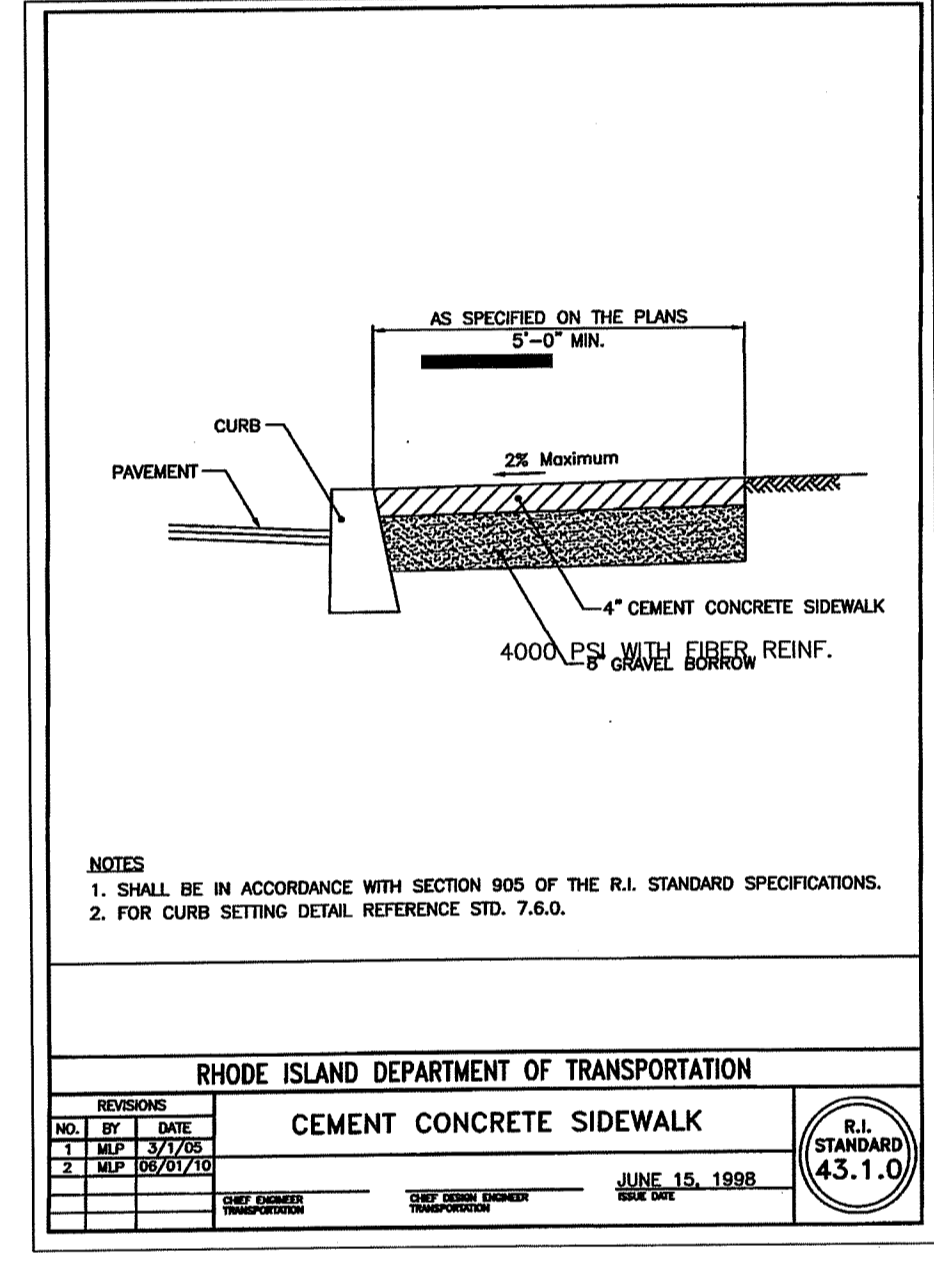
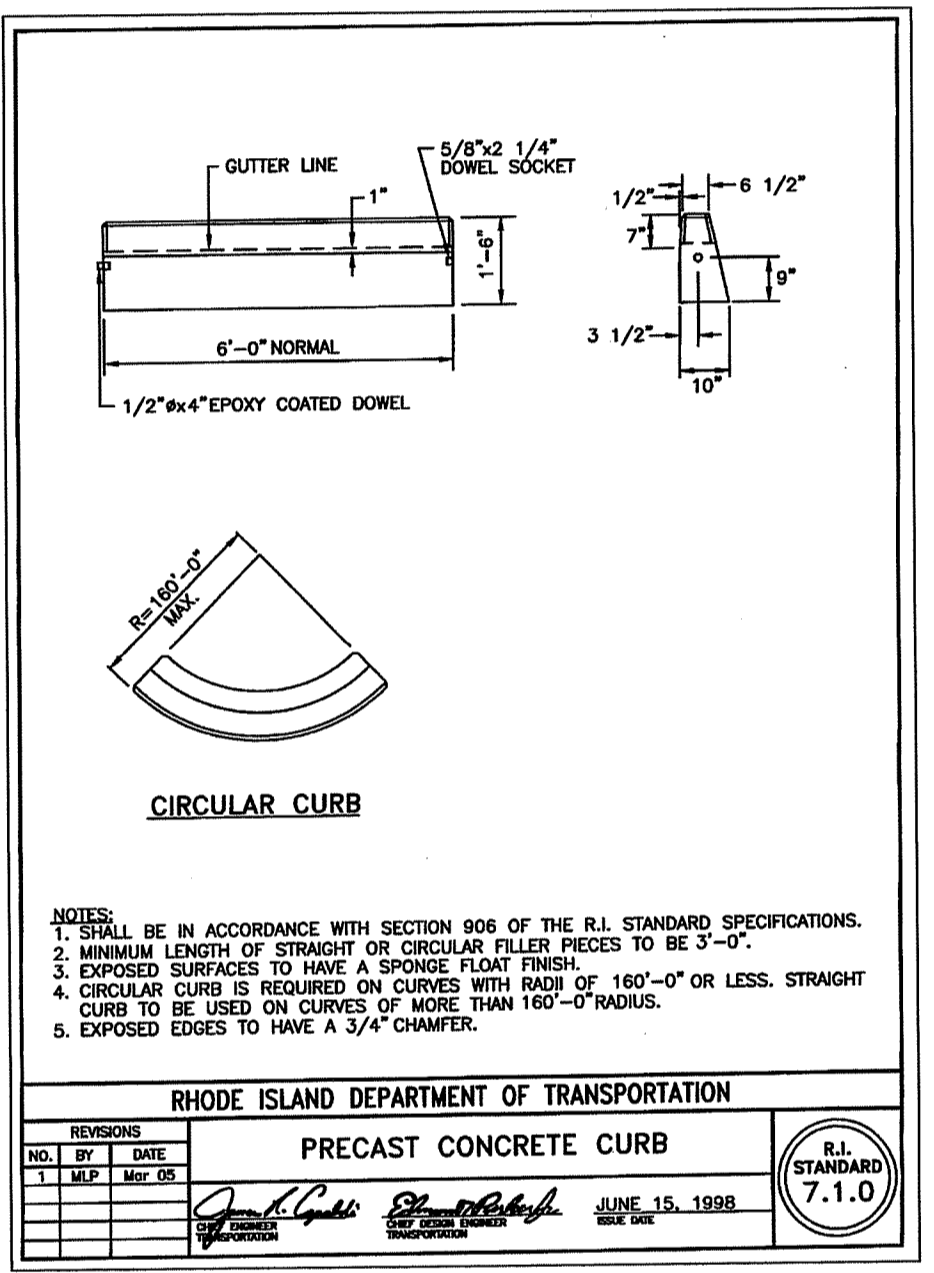
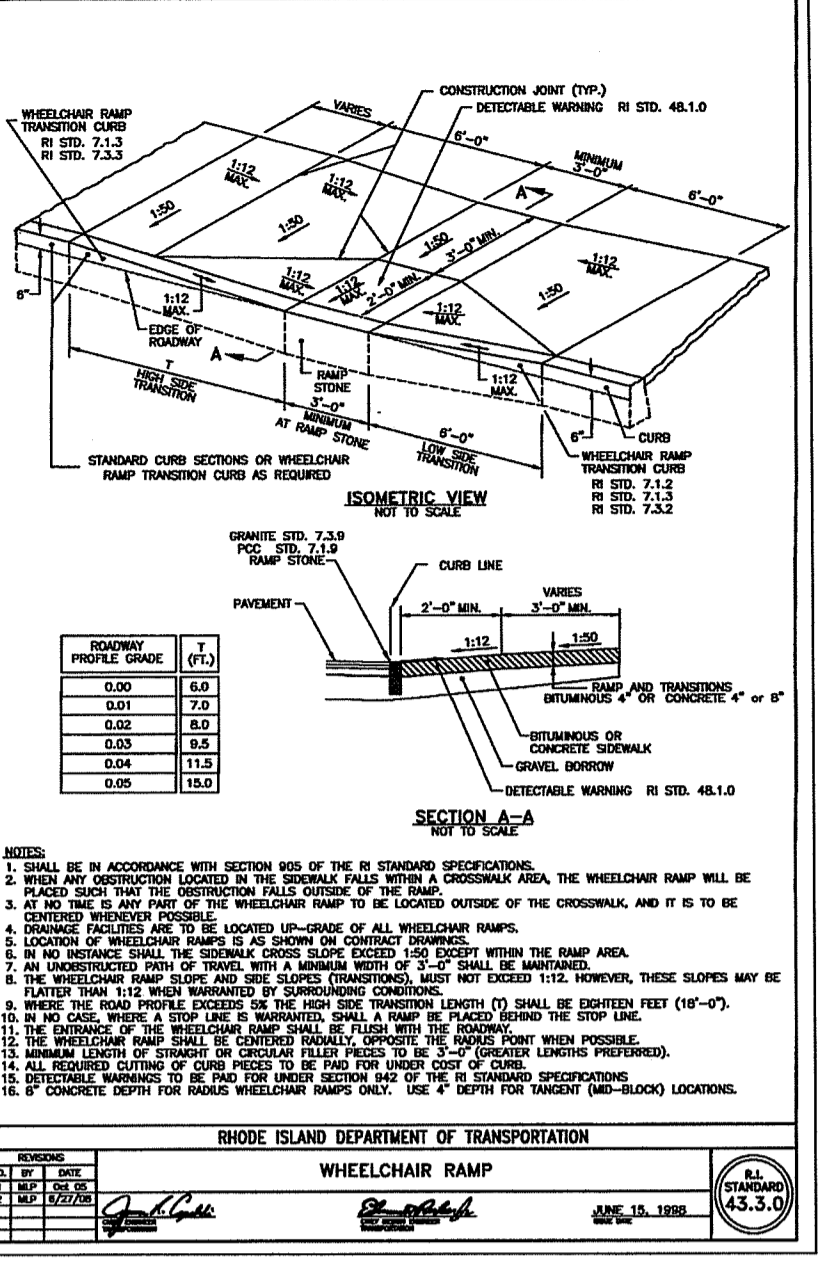
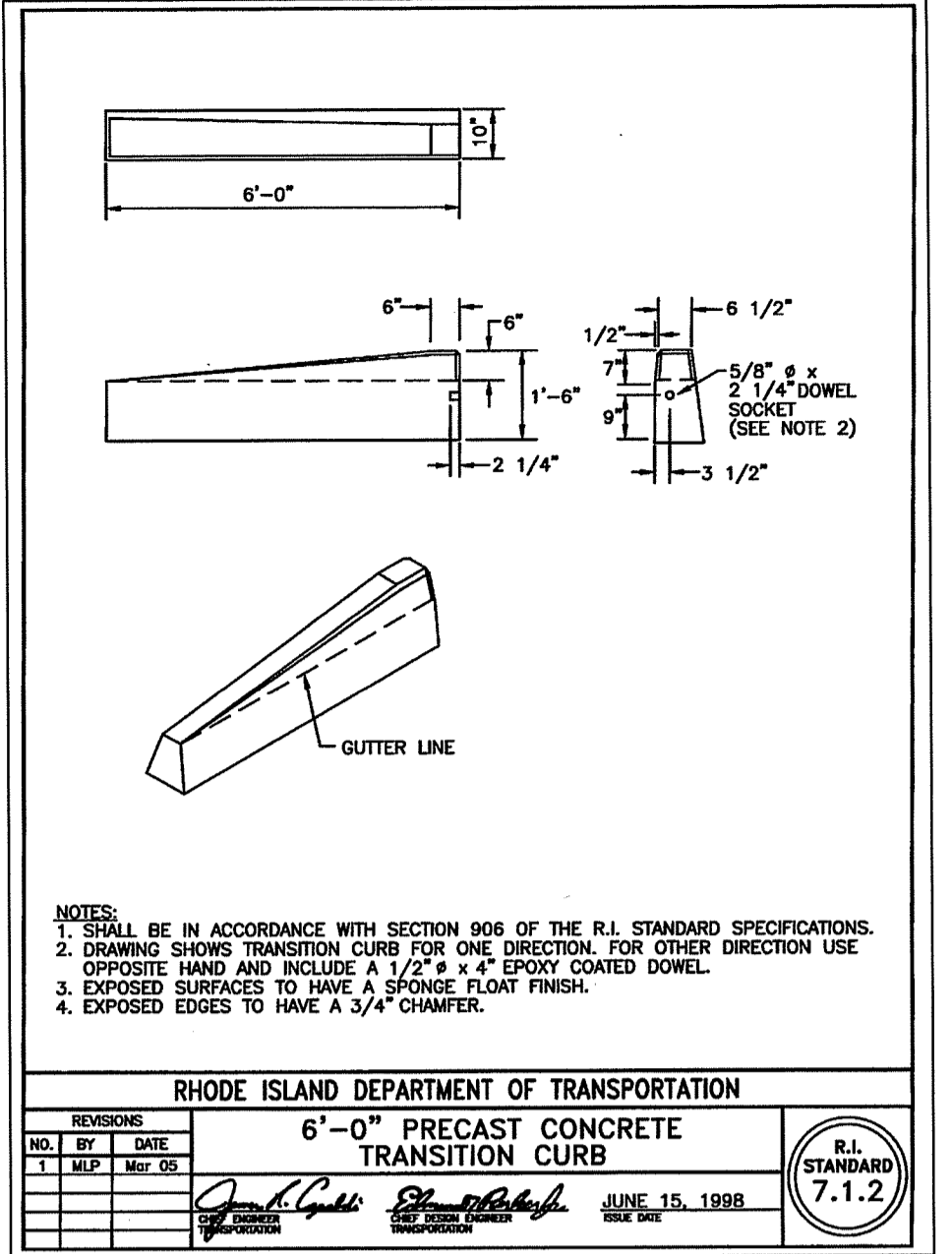
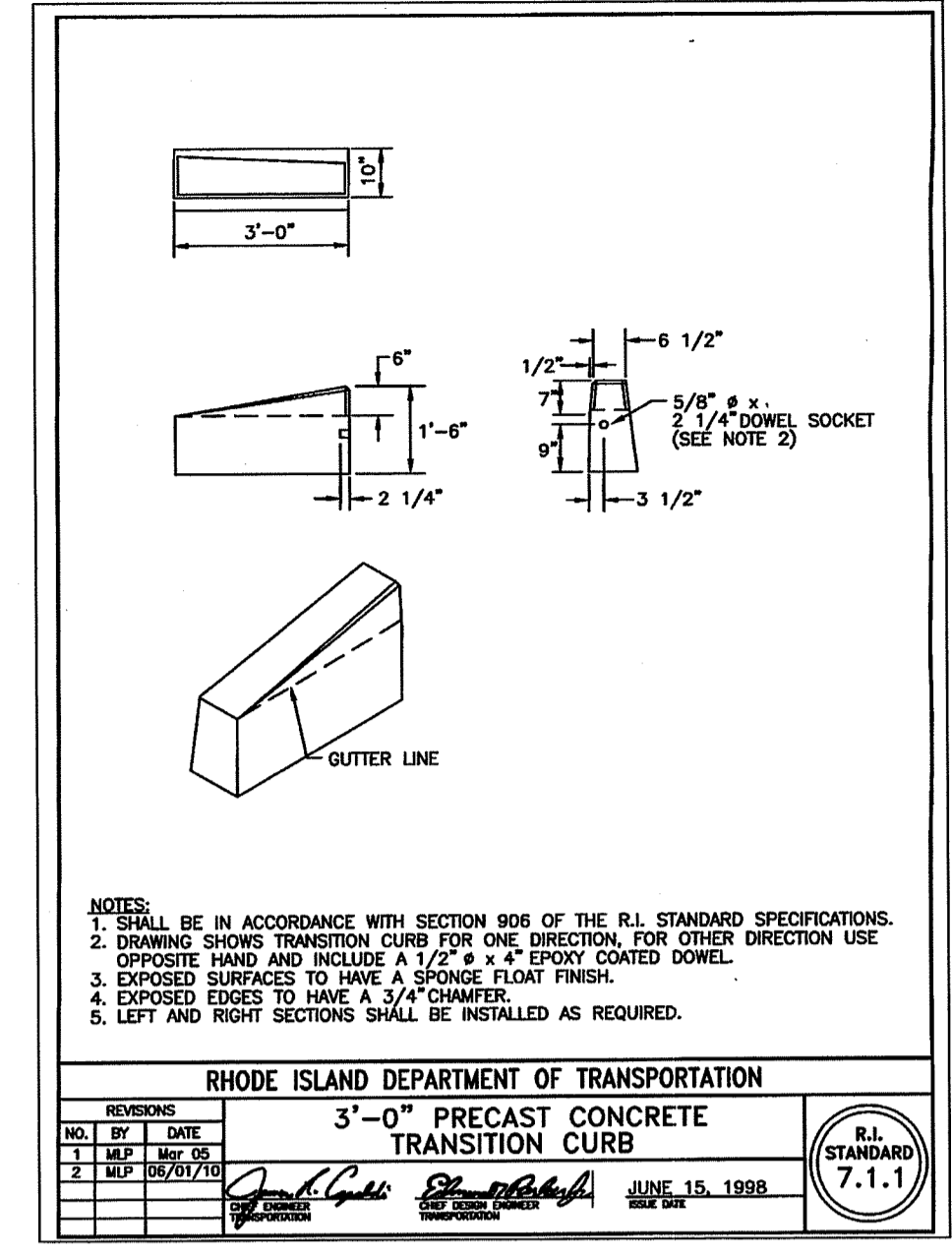
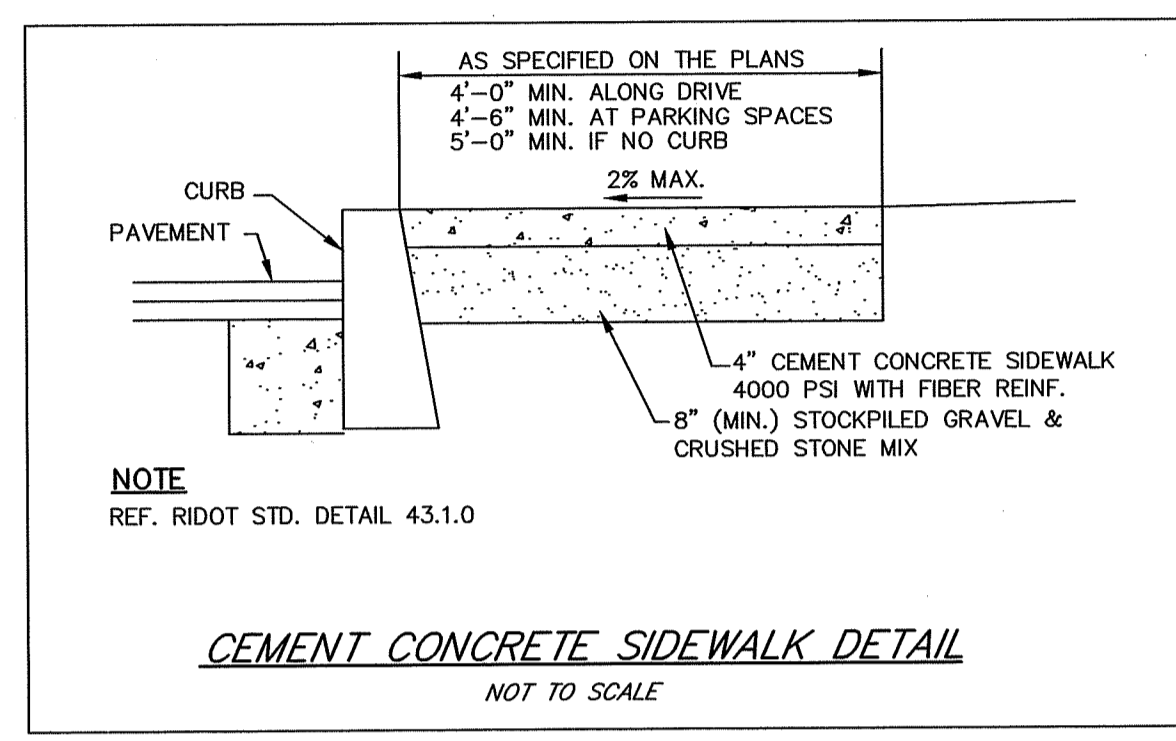
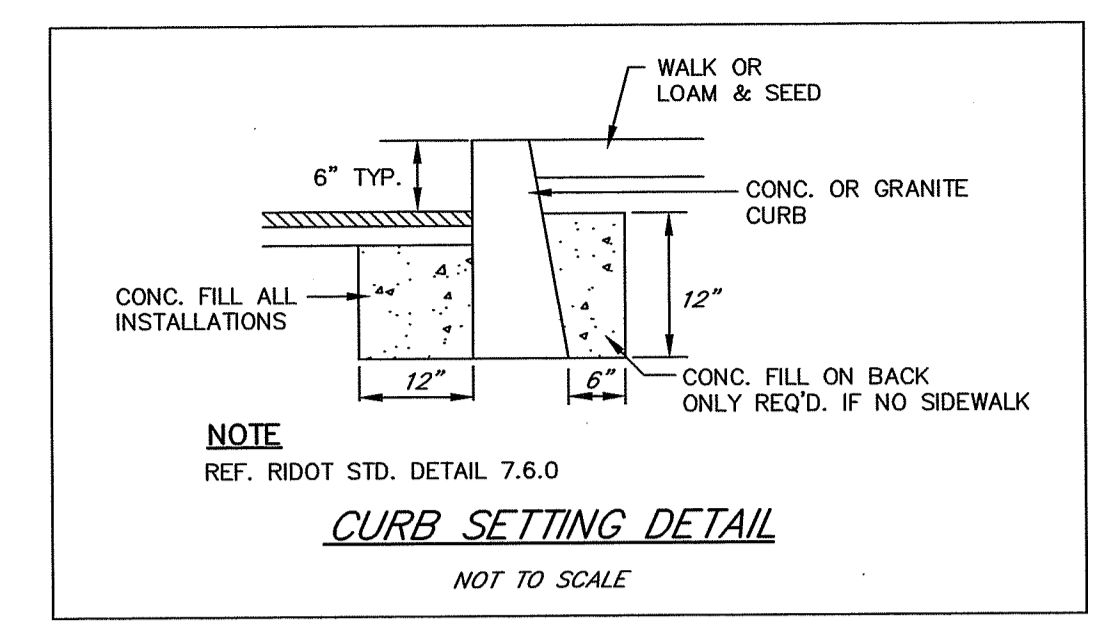
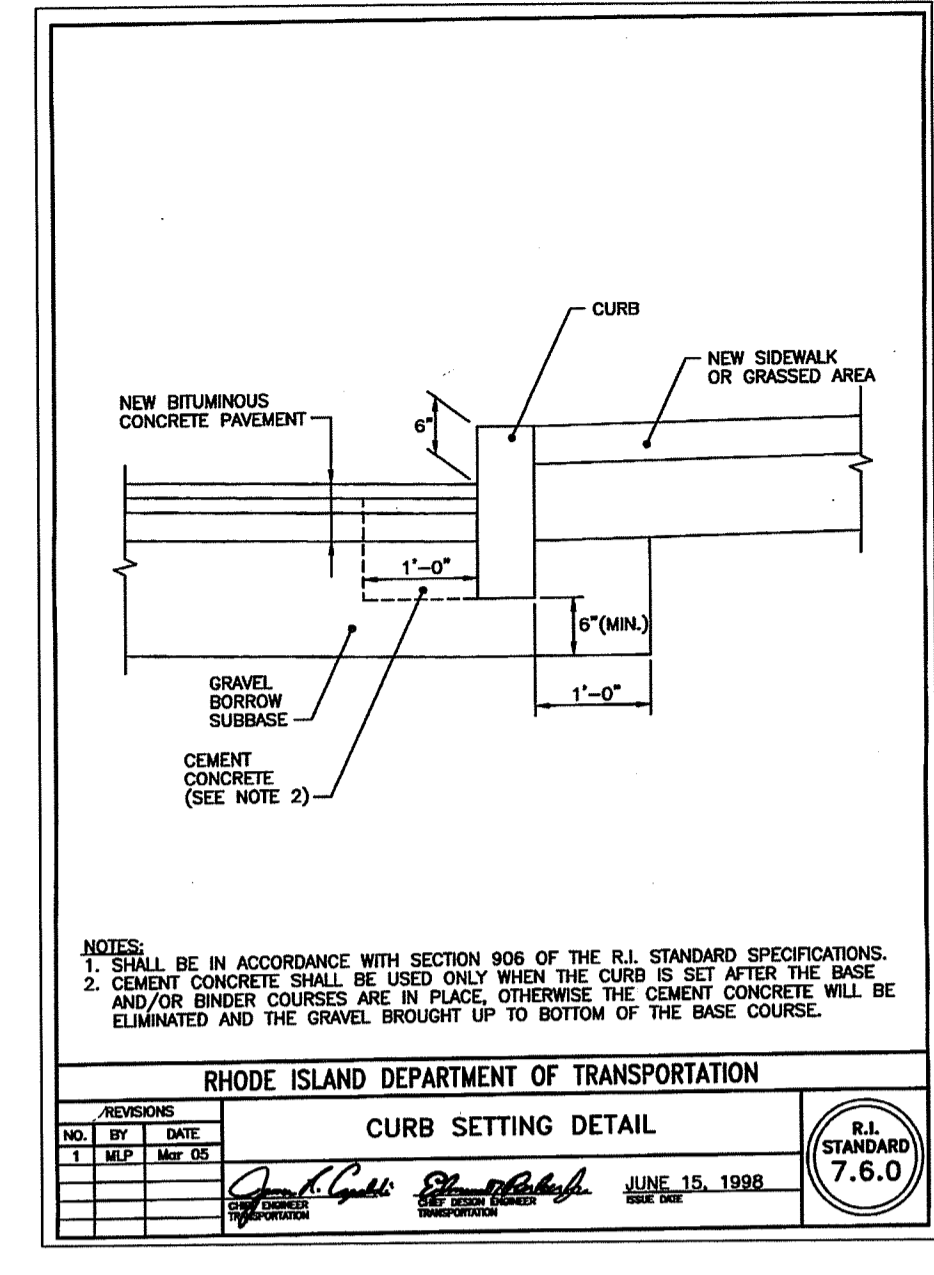
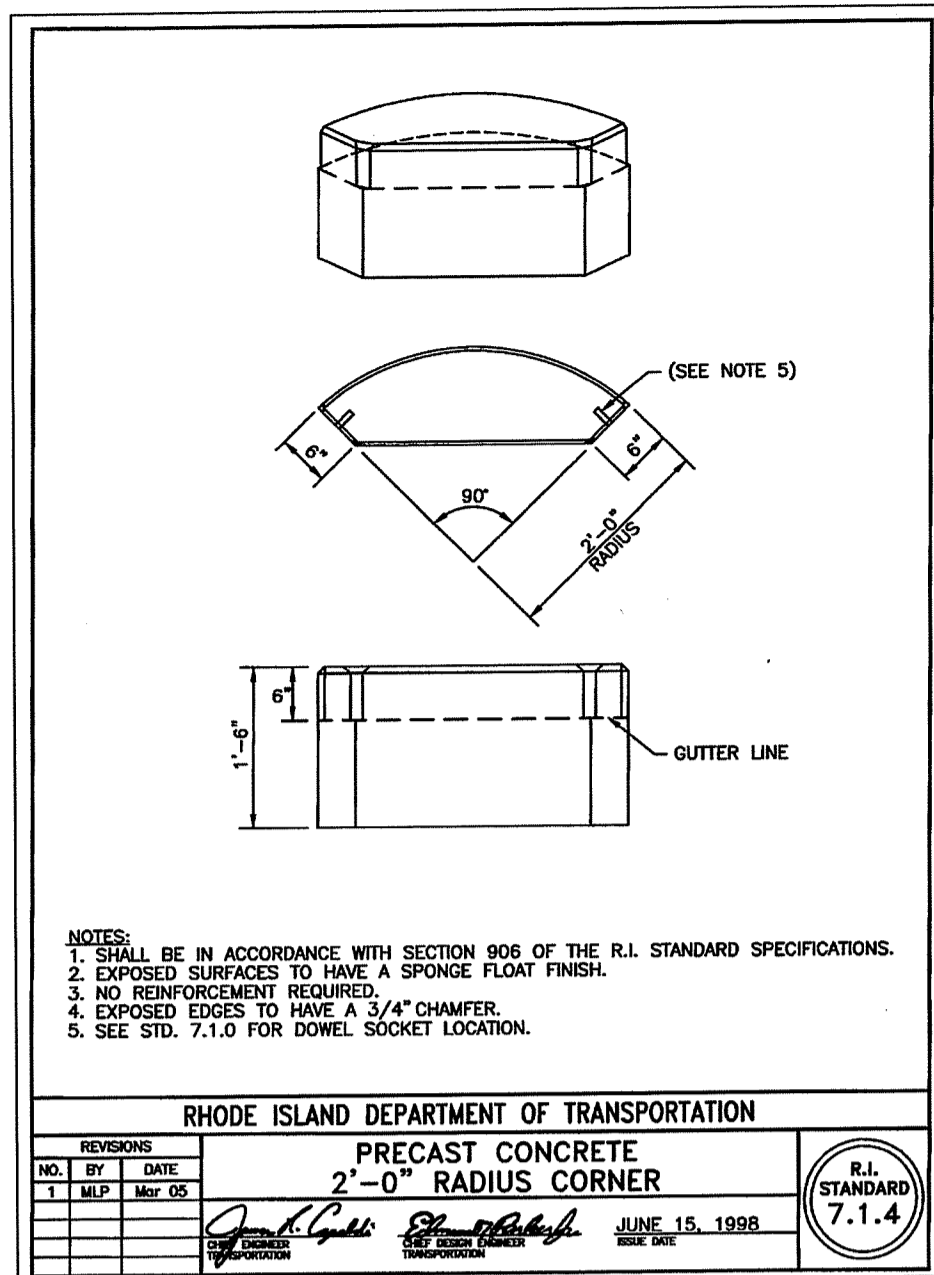
RI Environmental Management
 AUG 30 2021
 Office of Water Resources

DRN. BY: SFM
 CHK. BY: JZL
 SCALE: AS NOTED
 DATE: JUNE 15, 2020
 DWG: SFM882-DD-A
 SHEET 4 OF 8

DEM PERMITTING SUBMISSION

APPLICANT:
 RHODE ISLAND CARE CONCEPTS, INC.
 2363 POST ROAD
 WARWICK, RI 02886

SFM



DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED SEP 23 2021 FILE # 20-0161
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Nancy L. Freeman

REVISION
 7-8-20 TRC COMMENTS

DATE: JUNE 15, 2020
 SCALE: AS NOTED
 DATE: JUNE 15, 2020
 DWG: SFM882-CD-A
 SHEET 5 OF 8
 DEM PERMITTING SUBMISSION

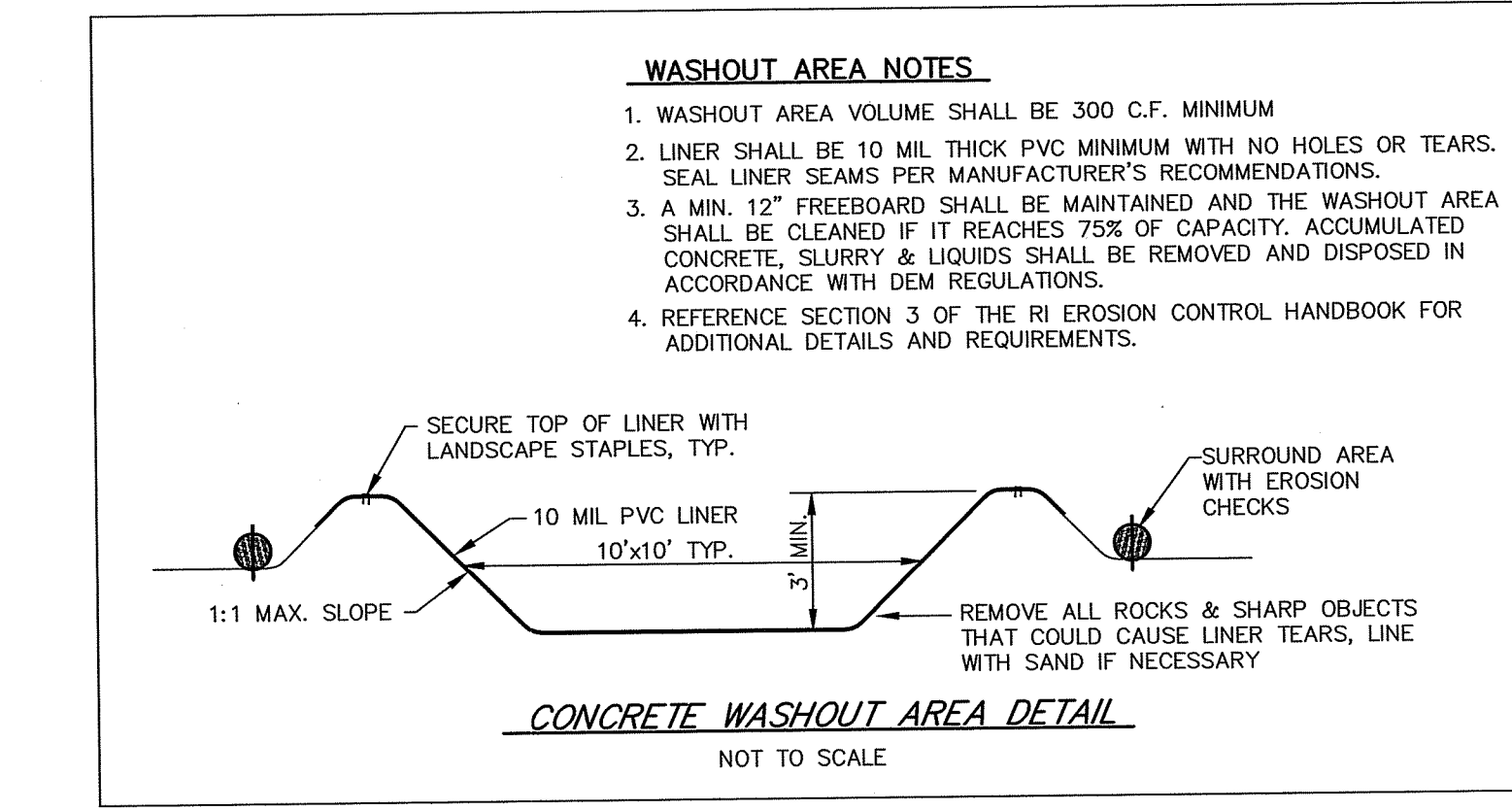
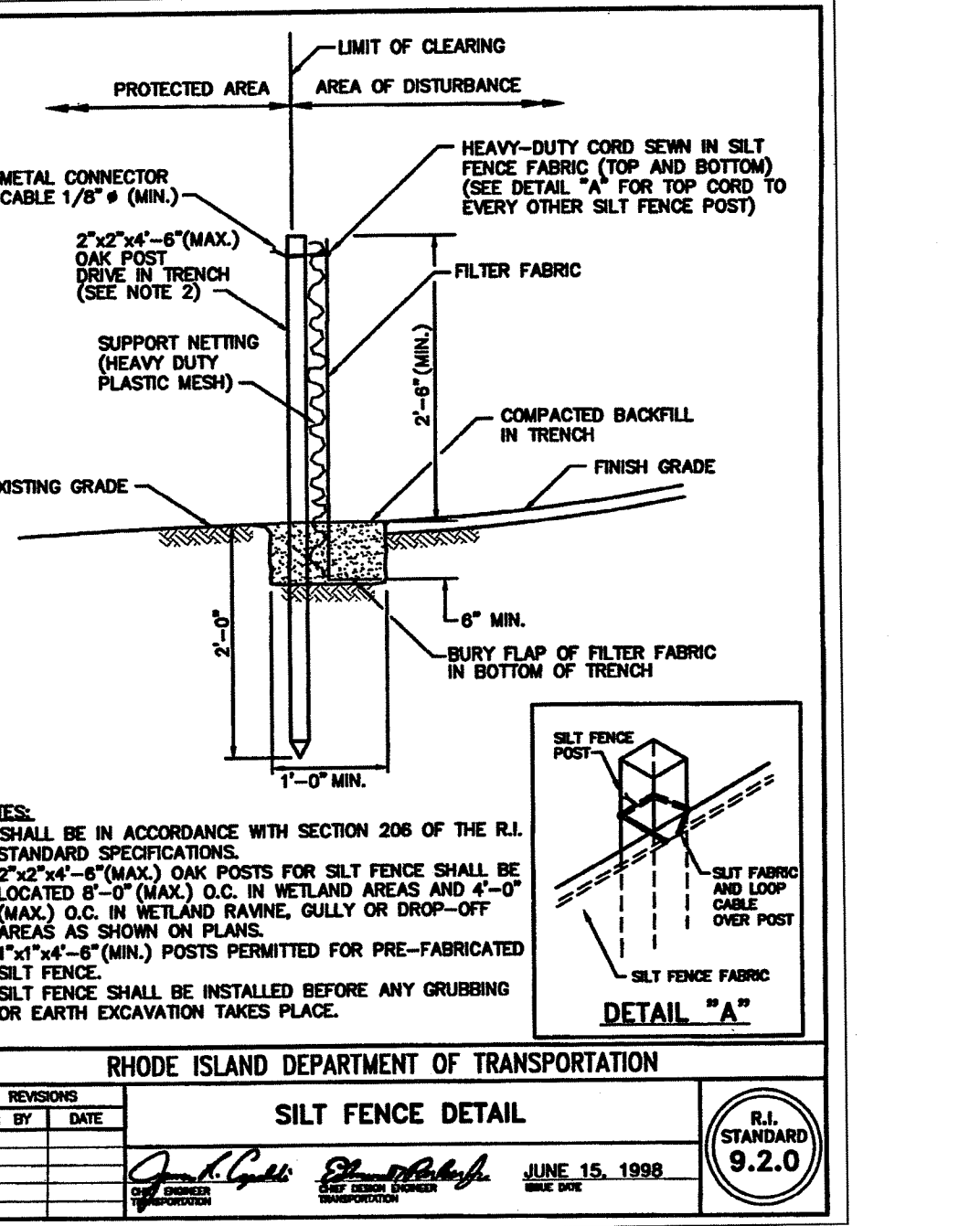
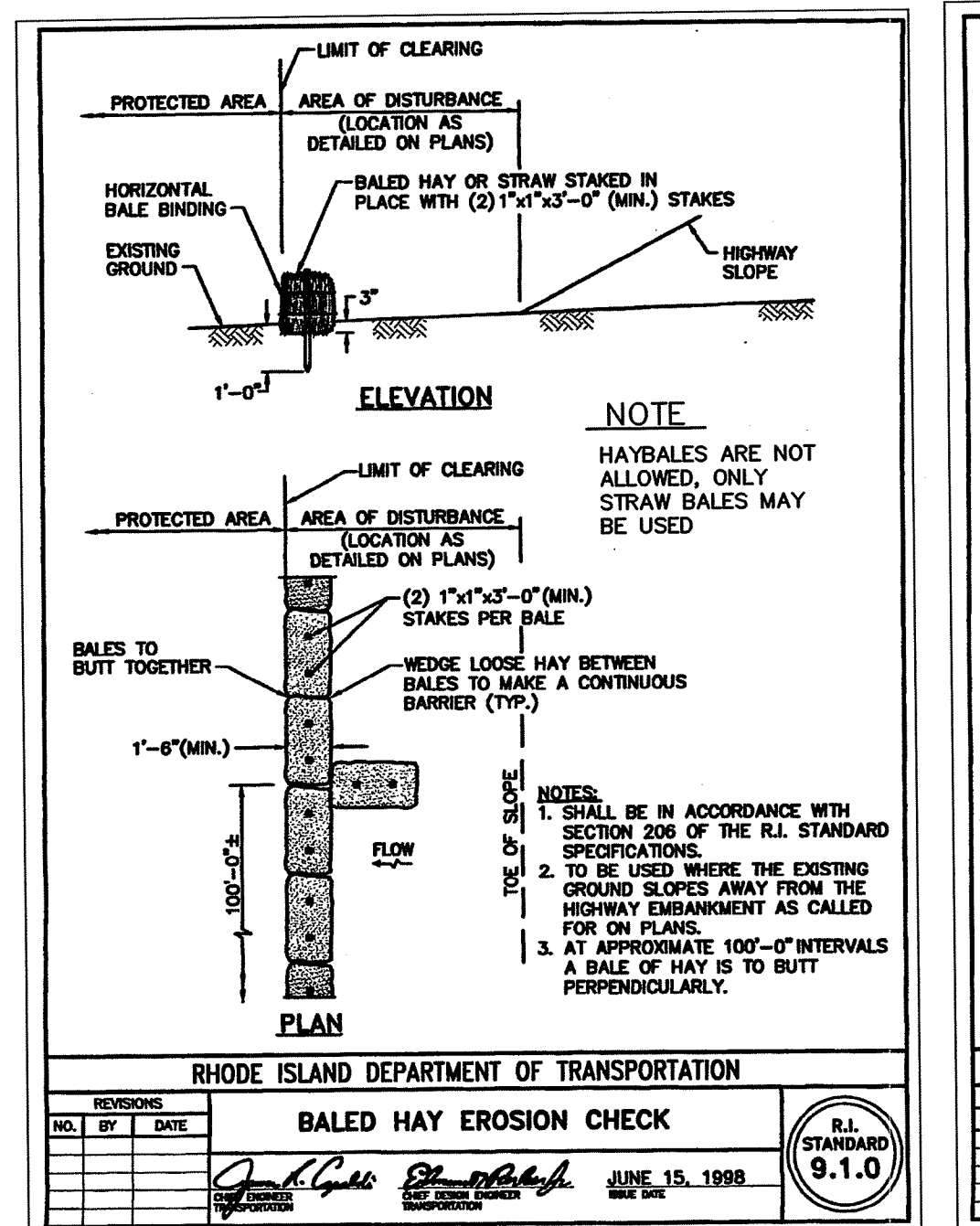
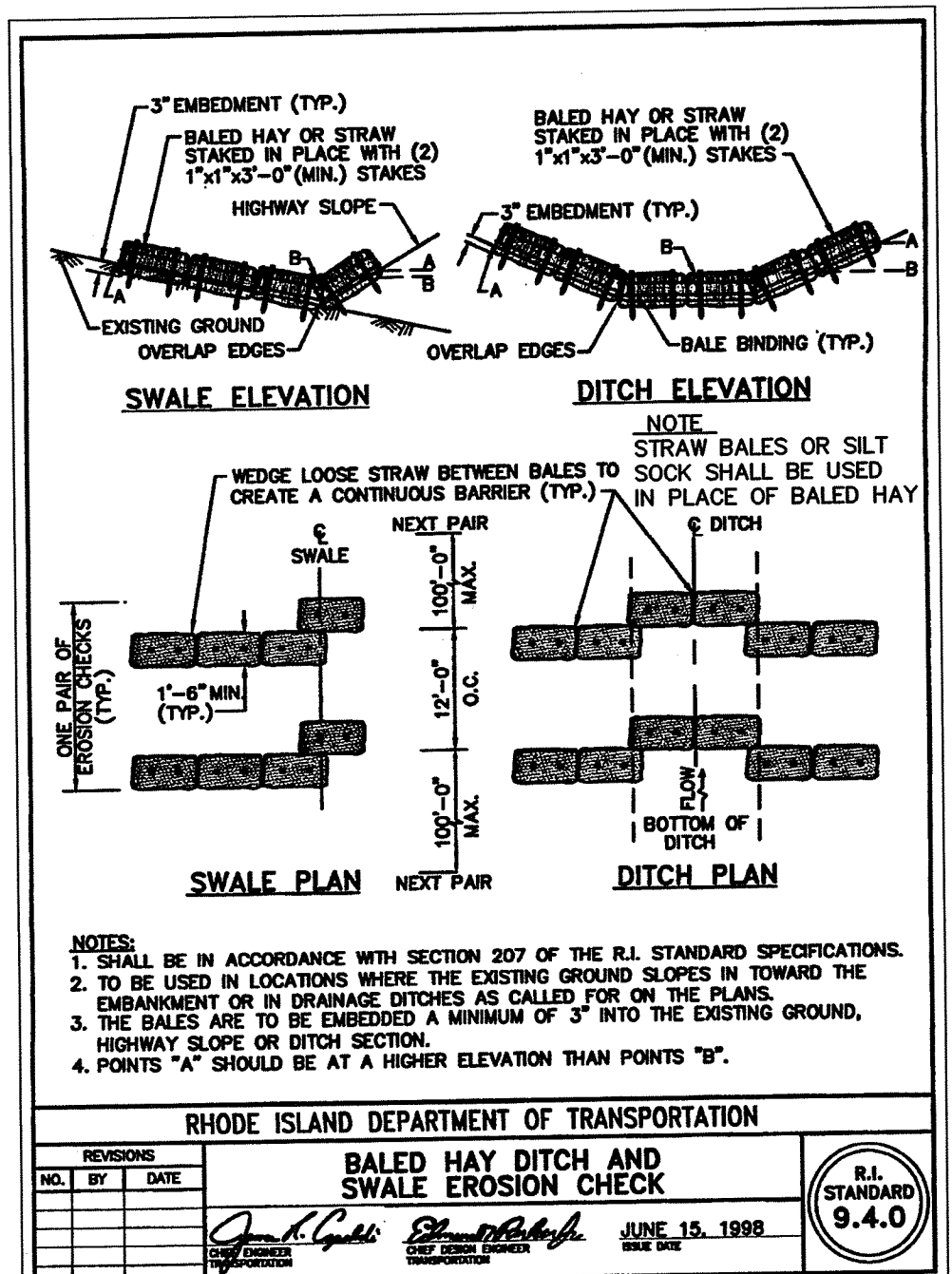
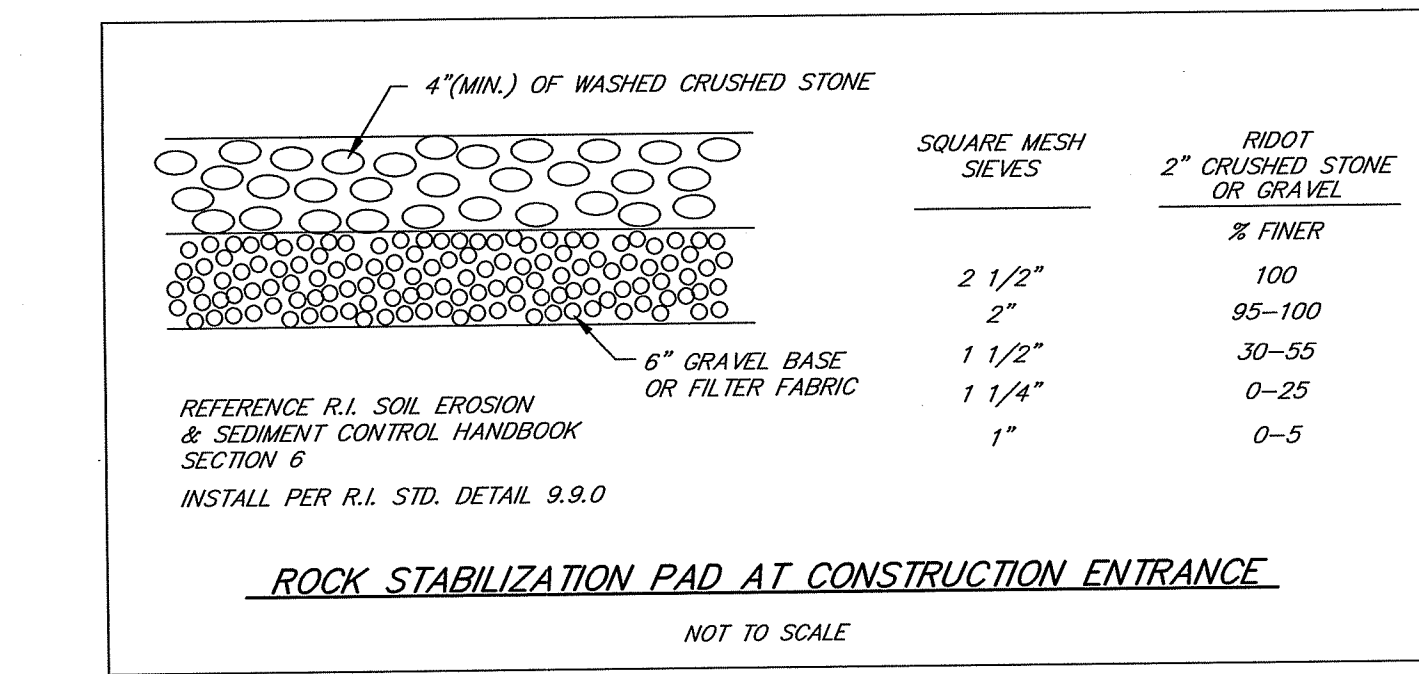
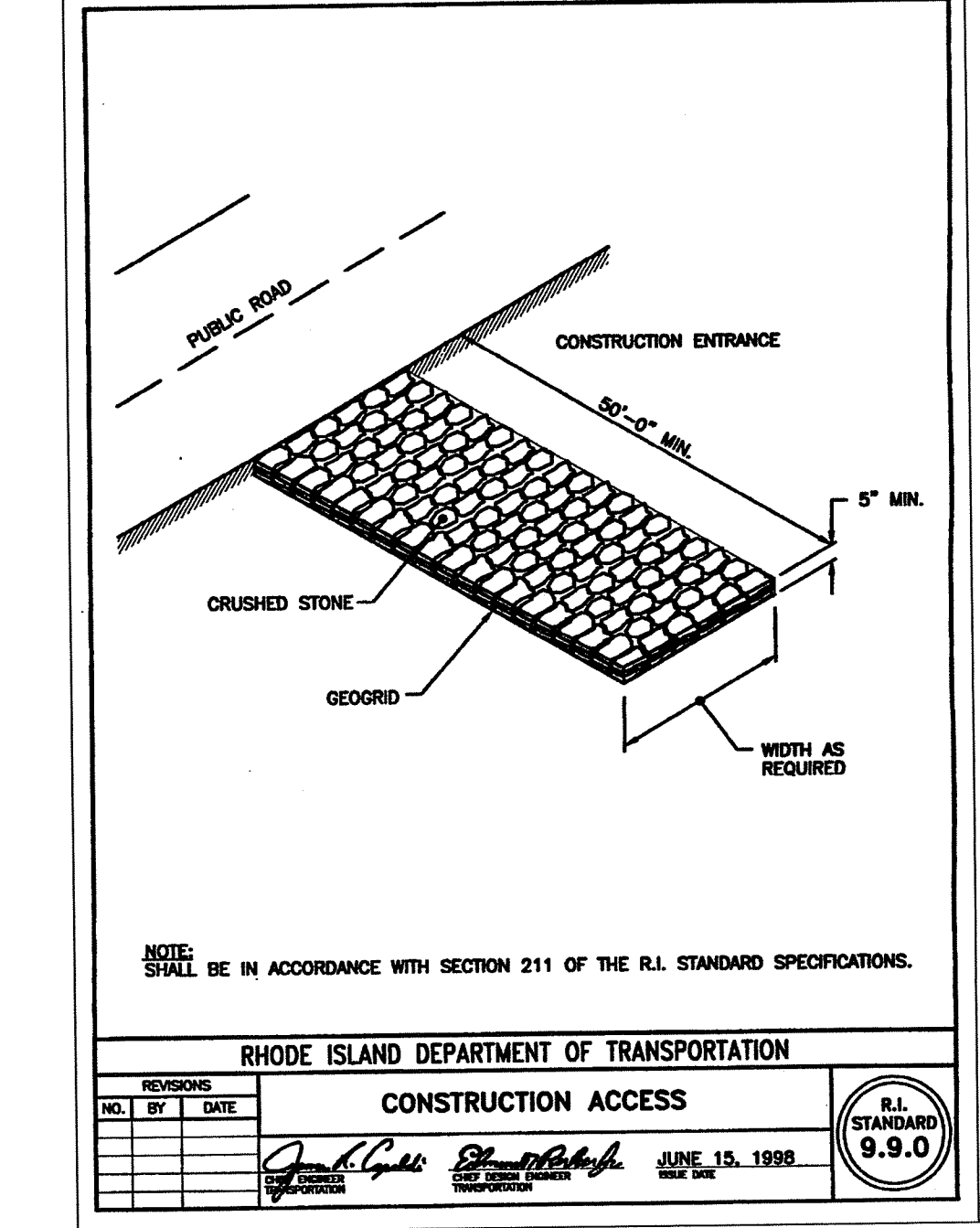
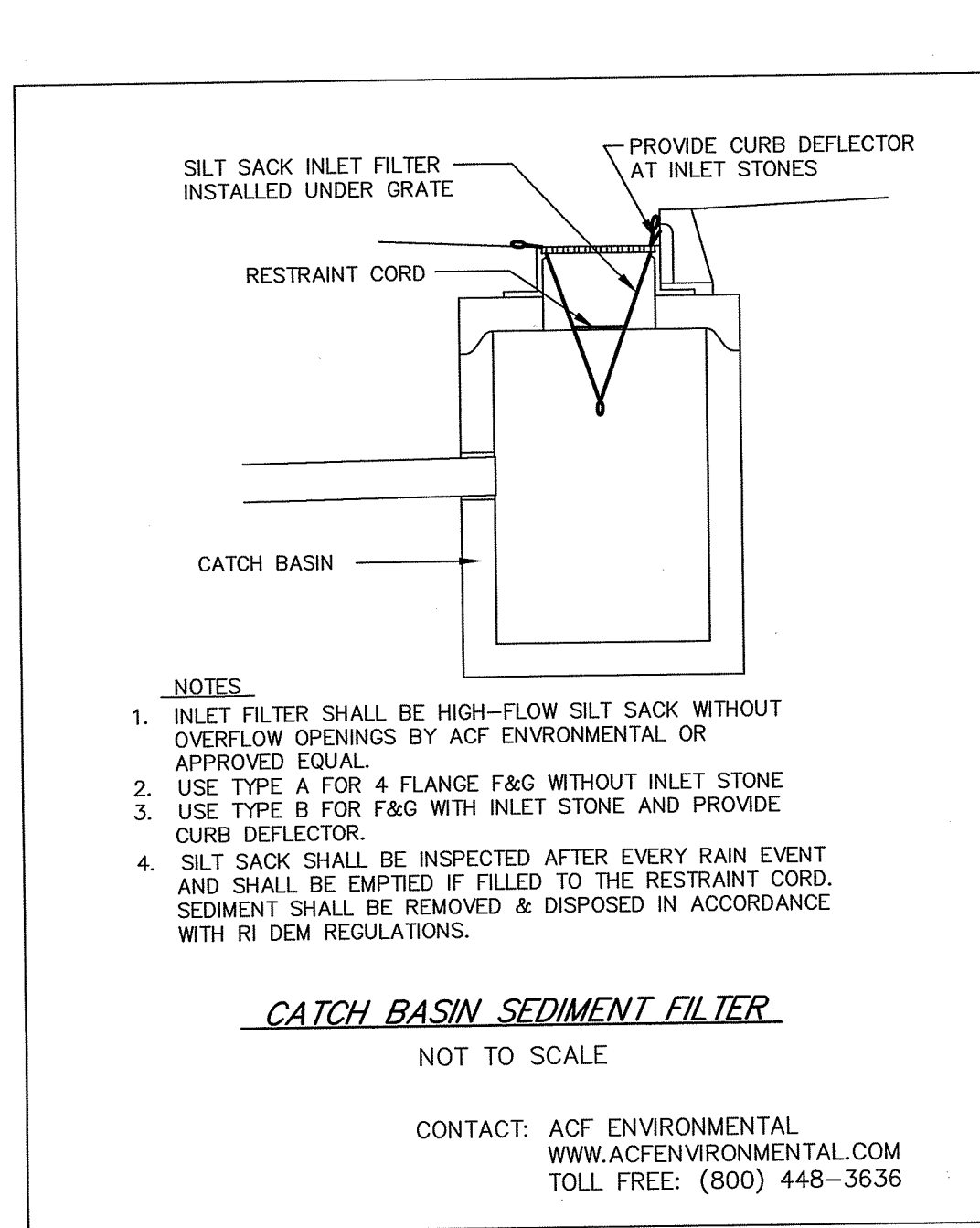
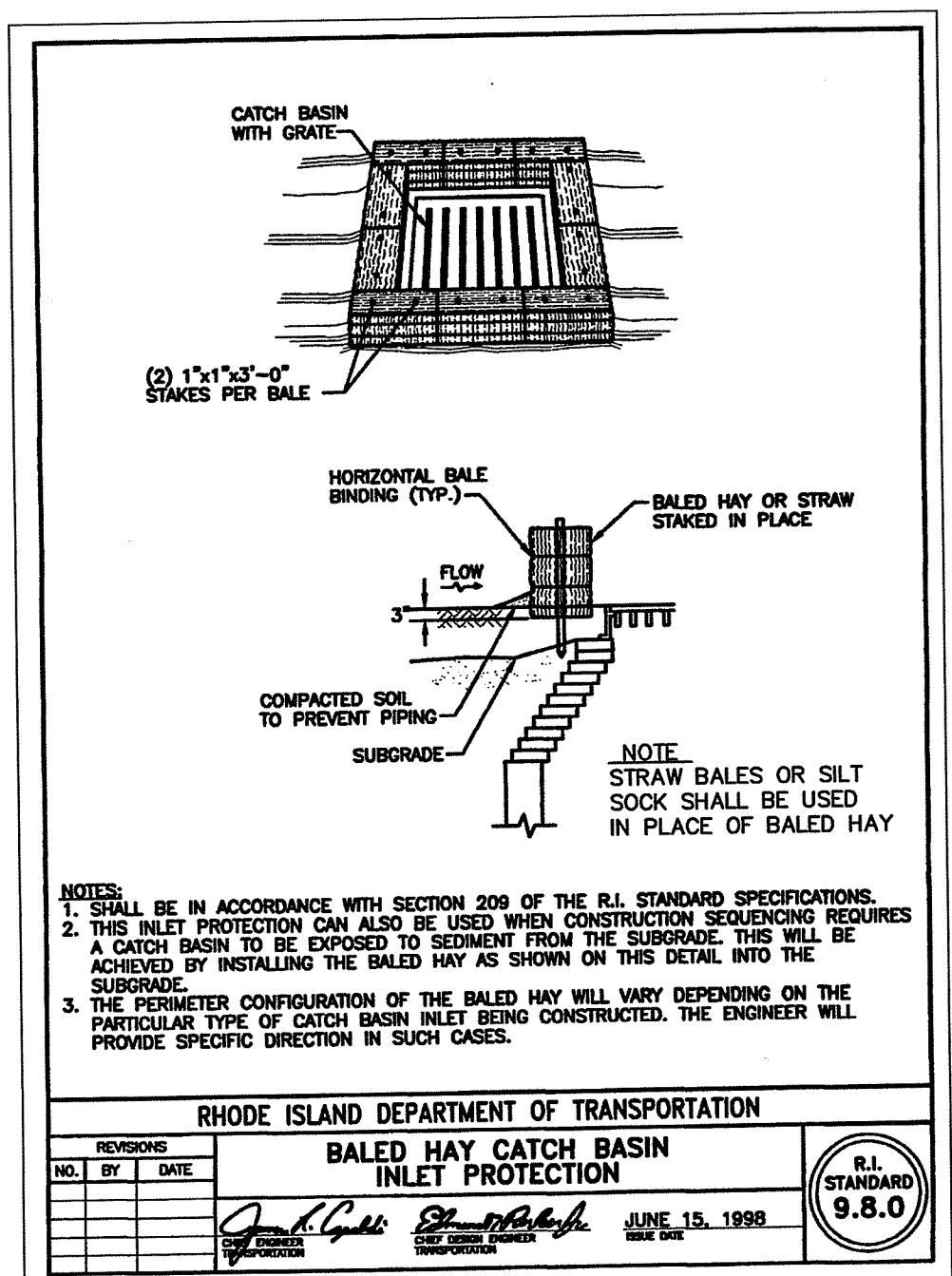
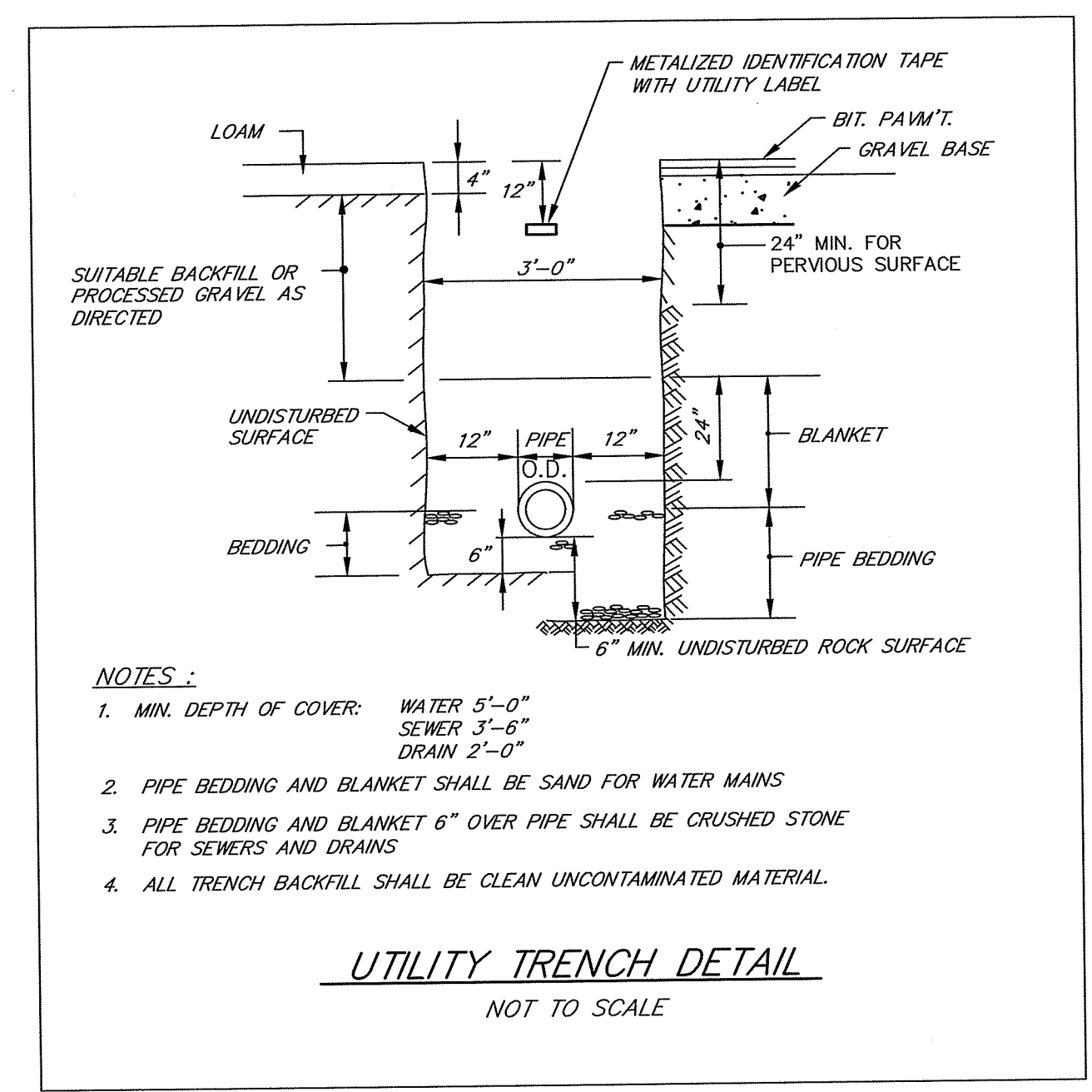
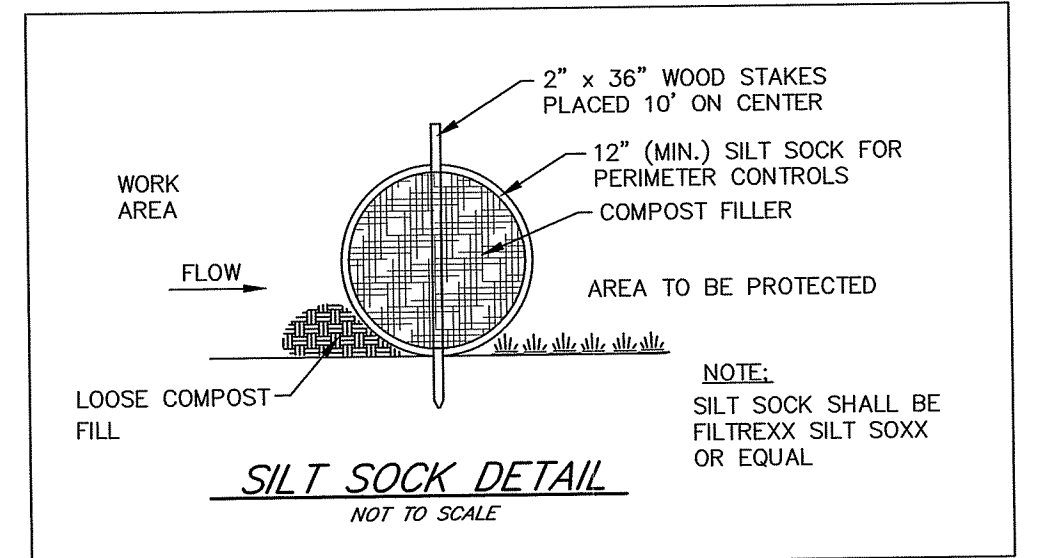
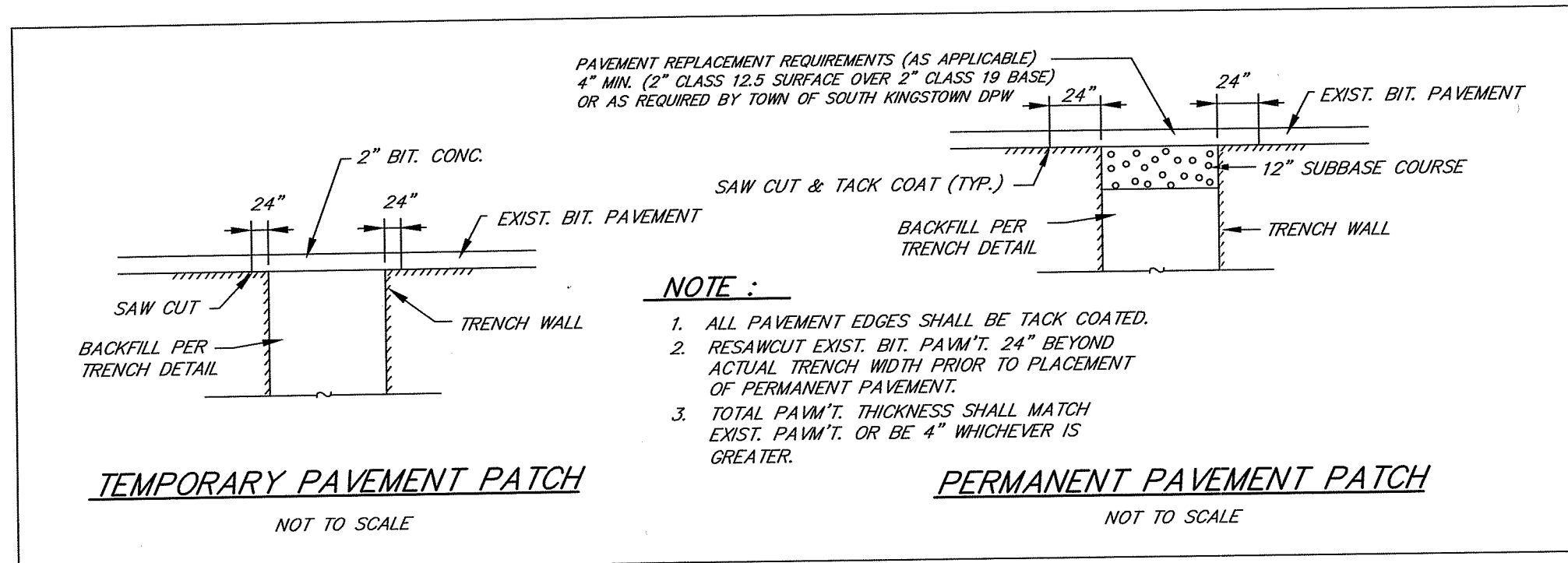
OWNER
 RSP REALTY, LLC
 3205 POST ROAD
 WAKEFIELD, RI 02886

PROPOSED COMPASSION CENTER
 RHODE ISLAND CARE CONCEPTS, INC.
 ASSESSOR'S PLAT 57-2 LOT 76
 711 KINGSTOWN ROAD
 SOUTH KINGSTOWN, RI

SITE CONSTRUCTION DETAILS

S.F.M. ENGINEERING ASSOCIATES
 410 TIOGUE AVENUE
 COVENTRY, RI 02816
 PHONE: 401-826-3736
 FAX: 401-826-1771
 SCOTT.SFM@TIAN.TIOGUE.NET

DRN. BY: SFM
 CHK. BY: JZL
 SCALE: AS NOTED
 DATE: JUNE 15, 2020
 DWG: SFM882-CD-A
 SHEET 5 OF 8
 DEM PERMITTING SUBMISSION



- GENERAL NOTES**
1. ALL WORK PERFORMED HEREIN SHALL BE GOVERNED BY THE R.I. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (REVISION OF 12-2010) WITH ALL CORRECTIONS AND ADDENDA AND THE 12-1-2010 R.I. STANDARD DETAILS WITH ALL CORRECTIONS AND ADDENDA.
 2. EMBANKMENT SLOPES AND ALL DISTURBED AREAS ARE TO RECEIVE 4" OF TOPSOIL AND SEED. SEE EROSION CONTROL PROGRAM.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL TEMPORARY SEDIMENTATION AND EROSION CONTROLS.
 4. IN ALL EXCAVATION AND REPLACEMENT OF FILL, THE CONTRACTOR SHALL PERFORM THE WORK IN FULL COMPLIANCE WITH THE R.I. STANDARD SPECIFICATION SECTION 202.
 5. ALL EXCESS SOIL, STUMPS, TREES, ROCKS, BOULDERS AND OTHER REFUSE SHALL BE DISCARDED OFF SITE OUTSIDE OF ALL WETLANDS AND WETLANDS SETBACK AREAS UNLESS OTHERWISE SPECIFIED.
 6. CONSTRUCTION WASTE SHALL BE COLLECTED, REMOVED AND DISPOSED OF OFFSITE IN ACCORDANCE WITH ALL STATE AND TOWN REQUIREMENTS. TRASH SHALL BE COLLECTED ROUTINELY AND REMOVED FROM SITE FOR DISPOSAL.
 7. A SOIL AND EROSION CONTROL PERMIT WILL BE REQUIRED FROM THE TOWN OF SOUTH KINGSTOWN. INSPECTIONS SHALL BE SCHEDULED AS REQUIRED.
 8. ALL WORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH THE REQUIREMENTS OF ALL RI DEM AND TOWN REGULATIONS AND PERMITS.

- SEDIMENTATION CONTROL PROGRAM**
1. EXTREME CARE SHALL BE EXERCISED SO AS TO PREVENT ANY SEDIMENTS FROM ENTERING THE WETLANDS OR ADJOINING PROPERTIES.
 2. BANKS OR SLOPES OVER 5 PERCENT SHALL BE SEED AS SOON AS POSSIBLE AND SHALL BE PROTECTED WITH A HAY, STRAW OR FIBER MULCH.
 3. DURING CONSTRUCTION, THE CONTRACTOR AND/OR DEVELOPER SHALL BE RESPONSIBLE FOR MAINTAINING DRAINAGE AND RUNOFF FLOW DURING STORMS AND PERIODS OF RAINFALL.
 4. SEDIMENTATION CONTROL DEVICES SHALL BE INSPECTED CLOSELY AND MAINTAINED PROMPTLY AFTER EACH RAINFALL.
 5. CARE SHALL BE TAKEN SO NOT TO PLACE "REMOVED SEDIMENTS" WITHIN THE PATH OF EXISTING, NEWLY CREATED (BOTH TEMPORARY AND PERMANENT) OR PROPOSED WATERCOURSES OR THOSE AREAS SUBJECTED TO STORM WATER FLOW.
 6. ADDITIONAL STRAW BALES, SILT FENCE OR SILT SOCKS SHALL BE LOCATED AS CONDITIONS WARRANT OR AS DIRECTED BY THE ENGINEER.
 7. REFERENCE THE "R.I. EROSION AND SEDIMENT CONTROL HANDBOOK" PREPARED BY THE RI STATE CONSERVATION COMMITTEE, ISSUED 1989 REVISED 2014, UPDATED 2016 AS A GUIDE.

- ORDER OF PROCEDURE**
1. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION OR EXCAVATION, THE SITE CONTRACTOR SHALL PHYSICALLY MARK THE ENTIRE LIMIT OF DISTURBANCE. EROSION CHECKS SHALL BE ESTABLISHED AT ALL DOWN GRADIENT LIMITS OF DISTURBANCE AND AS DEPICTED ON THE SITE PLANS. TEMPORARY EROSION CHECKS SHALL BE INSTALLED AT LIMIT OF WORK ACTIVITY IF CONSTRUCTION IS TO BE DONE IN PHASES.
 2. SITE CONTRACTOR SHALL PROVIDE A BARRIER AROUND THE SAND FILTER AREAS & THE INFILTRATION BASIN TO PROTECT THEM FROM SOIL COMPACTION.
 3. ONLY AREAS THAT CAN BE REASONABLY EXPECTED TO HAVE ACTIVE CONSTRUCTION WORK BEING PERFORMED WITHIN 14 DAYS OF DISTURBANCE SHALL BE CLEARED AND GRUBBED AT ONE TIME. IF CONSTRUCTION ACTIVITY HAS TEMPORARILY OR PERMANENTLY CEASED FOR MORE THAN 14 DAYS, STABILIZATION PRACTICES SHALL BE INITIATED. REFERENCE THE EROSION CONTROL & SEDIMENTATION PROGRAMS FOR TEMPORARY CONTROLS.
 4. ALL EROSION AND SEDIMENTATION CONTROL STRUCTURES SHALL BE PERIODICALLY MAINTAINED AS PER THE RESPECTIVE PROGRAMS FOR TEMPORARY CONTROL.
 5. EROSION CHECKS ALONG AND AT THE ENDS OF ROADWAYS MAY ALSO BE REMOVED AFTER FINAL SOIL STABILIZATION HAS BEEN ACHIEVED AND APPROVED.
 6. EROSION CHECKS LOCATED AT DRAINAGE INLETS OR OUTLETS MUST REMAIN UNTIL SUCH TIME THAT A DESIRABLE STAND OF GRASS OR GROUND COVER HAS BEEN ESTABLISHED AND THE PROJECT RECEIVES A FAVORABLE APPROVAL FOR FINAL ACCEPTANCE FROM THE ENGINEER.

- EROSION CONTROL & SOIL STABILIZATION PROGRAM**
1. DENUEDED SLOPES SHALL NOT BE UNATTENDED OR EXPOSED FOR EXCESSIVE PERIODS OF TIME SUCH AS THE INACTIVE WINTER SEASON.
 2. ALL DISTURBED SLOPES, EITHER NEWLY CREATED OR EXPOSED PRIOR TO OCTOBER 15, SHALL BE SEED OR PROTECTED BY THAT DATE FOR ANY WORK COMPLETED DURING EACH CONSTRUCTION YEAR.
 3. THE TOP SOIL SHALL HAVE A SANDY LOAM TEXTURE RELATIVELY FREE OF SUBSOIL MATERIAL, STONES, ROOTS, LUMPS OF SOIL, TREE LIMBS, TRASH OR CONSTRUCTION DEBRIS AND SHALL CONFORM WITH R.I. STANDARD SPECIFICATION M. 20.
 4. THE SEED MIX SHALL BE INOCULATED WITHIN 24 HOURS BEFORE MIXING AND PLANTING, WITH APPROPRIATE INOCULUM FOR EACH VARIETY.
 5. SEEDING SPECIFICATIONS SHALL BE IN ACCORDANCE WITH THE LANDSCAPE ARCHITECT'S PLANS. FOR AREAS NOT DESIGNATED BY THE L.A., THE DESIGN MIX SHALL COMPLY WITH THE FOLLOWING:

A. MOWED AREA (ALL FLATS OR SLOPES LESS THAN 3:1)

MIXTURE	% BY WT.	SEEDING DATES
CREeping RED FESCUE	70	APRIL 1-MAY 31
KENTUCKY BLUEGRASS	15	APRIL 1-MAY 31
COLONIAL BENTGRASS	5	AUG. 15-OCT. 15
PERENNIAL RYEGRASS	10	
TOTAL	150 LBS/AC	

B. UNMOWED AREA OR INFREQUENTLY MOWED (FLAT OR SLOPES GREATER THAN 3:1)

MIXTURE	% BY WT.	SEEDING DATES
CREeping RED FESCUE	60	APRIL 1-MAY 31
COLONIAL BENTGRASS	5	AUG. 15-OCT. 15
PERENNIAL RYEGRASS	10	
BIROSOFT TREFOIL	15	
TOTAL	150 LBS/AC	

OR NEW ENGLAND EROSION CONTROL/RESTORATION MIX (FOR DRY OR WET SITES AS APPROPRIATE) BY NEW ENGLAND WETLAND PLANTS, INC.

C. CONSERVATION SEEDING AREAS

MIXTURE	% BY WT.	SEEDING DATES
SWITCH GRASS	20	APRIL 1-MAY 31
LITTLE BLUE STEM	20	AUG. 15-OCT. 15
PERENNIAL RYEGRASS	20	
WILDFLOWER MIX	20	
HARD FESCUE	20	
TOTAL	60 LBS/AC	

OR NEW ENGLAND CONSERVATION/WILDLIFE MIX BY NEW ENGLAND WETLAND PLANTS, INC.

6. TEMPORARY TREATMENTS SHALL CONSIST OF A HAY, STRAW, OR FIBER MULCH OR PROTECTIVE COVERS SUCH AS A MAT OR FIBER LINING (BURLAP, JUTE, FIBERGLASS NETTING, EXCESSOR BLANKETS) THEY SHALL BE INCORPORATED INTO THE WORK AS WARRANTED OR AS ORDERED BY THE ENGINEER.
 7. HAY OR STRAW APPLICATIONS SHOULD BE IN THE AMOUNT OF 3,000-4,000 LBS/AC.
 8. ALL STRAW BALES OR TEMPORARY PROTECTION SHALL REMAIN IN PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED. IF NEEDED, TEMPORARY SEEDING CAN HELP TO MINIMIZE EROSION. A TEMPORARY SEEDING GUIDE MUST BE INCLUDED AS A REFERENCE. THE FOLLOWING SPECIES ARE RECOMMENDED:
- | SPECIES | LBS./1,000 S.F. | LBS./AC. | SEEDING DATES |
|--------------------|-----------------|----------|---------------|
| ANNUAL RYEGRASS | 1.0 - 1.5 | 40 - 60 | 3/1 - 6/1 |
| PERENNIAL RYEGRASS | 1.0 - 1.5 | 40 - 60 | 3/1 - 6/1 |
| SUDAN GRASS | 0.7 - 1.0 | 30 - 40 | 5/15 - 8/15 |
| MILLET | 0.7 - 1.0 | 30 - 40 | 5/15 - 6/15 |
| WINTER RYE | 3 | 120 | 4/15 - 6/15 |
- OR RIDOT TEMPORARY SEED MIX AT 75 LBS/AC
9. THE CONTRACTOR MUST REPAIR AND/OR RESEED ANY AREAS THAT DO NOT DEVELOP WITHIN THE PERIOD OF ONE YEAR AND HE SHALL DO SO AT NO ADDITIONAL EXPENSE.
 10. THE NORMAL ACCEPTABLE SEASONAL SEEDING DATES ARE APRIL 1 - OCTOBER 15.
 11. ALL FILL SHALL BE THOROUGHLY COMPACTED UPON PLACEMENT IN STRICT CONFORMANCE WITH THE R.I.D.P.W. STD. SPECIFICATIONS SECTION 202.
 12. STABILIZATION OF ONE FORM OR ANOTHER AS DESCRIBED ABOVE SHALL BE ACHIEVED WITHIN 15 DAYS OF FINAL GRADING.
 13. STOCKPILES OF TOPSOILS SHALL NOT BE LOCATED NEAR WATERWAYS. THEY SHALL HAVE SIDE SLOPES NO GREATER THAN 30% AND STOCKPILES SHALL ALSO BE SEED AND/OR STABILIZED.
 14. ON BOTH STEEP AND LONG SLOPES, CONSIDERATION SHOULD BE GIVEN TO "CRIMMING" OR "TRACKING" TO TACK DOWN MULCH APPLICATIONS.
 15. REFERENCE THE SEDIMENTATION CONTROL PROGRAM AND ORDER OF PROCEDURE FOR PROPER COORDINATION.

NOTE

BAALED HAY SHALL ONLY BE USED FOR SHORT TERM EROSION CONTROL OF THREE MONTHS OR LESS. PERIMETER EROSION CONTROLS SHALL BE STRAW BALE, SILT FENCE, SILT SOCK OR COMBINATION THEREOF.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED SEP 23 2021 FILE # 20-0116
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Nancy L. Freeman

Office of Water Resources
AUG 30 2021

REVISION

DATE

CONC. WASHOUT AREA & CONST. ENTRANCE DETAILS

8-23-21

SCOTT F. MOOREHEAD REGISTERED PROFESSIONAL ENGINEER

OWNER
RSP REALTY, LLC
3205 POST ROAD
WAKEFIELD, RI 02879

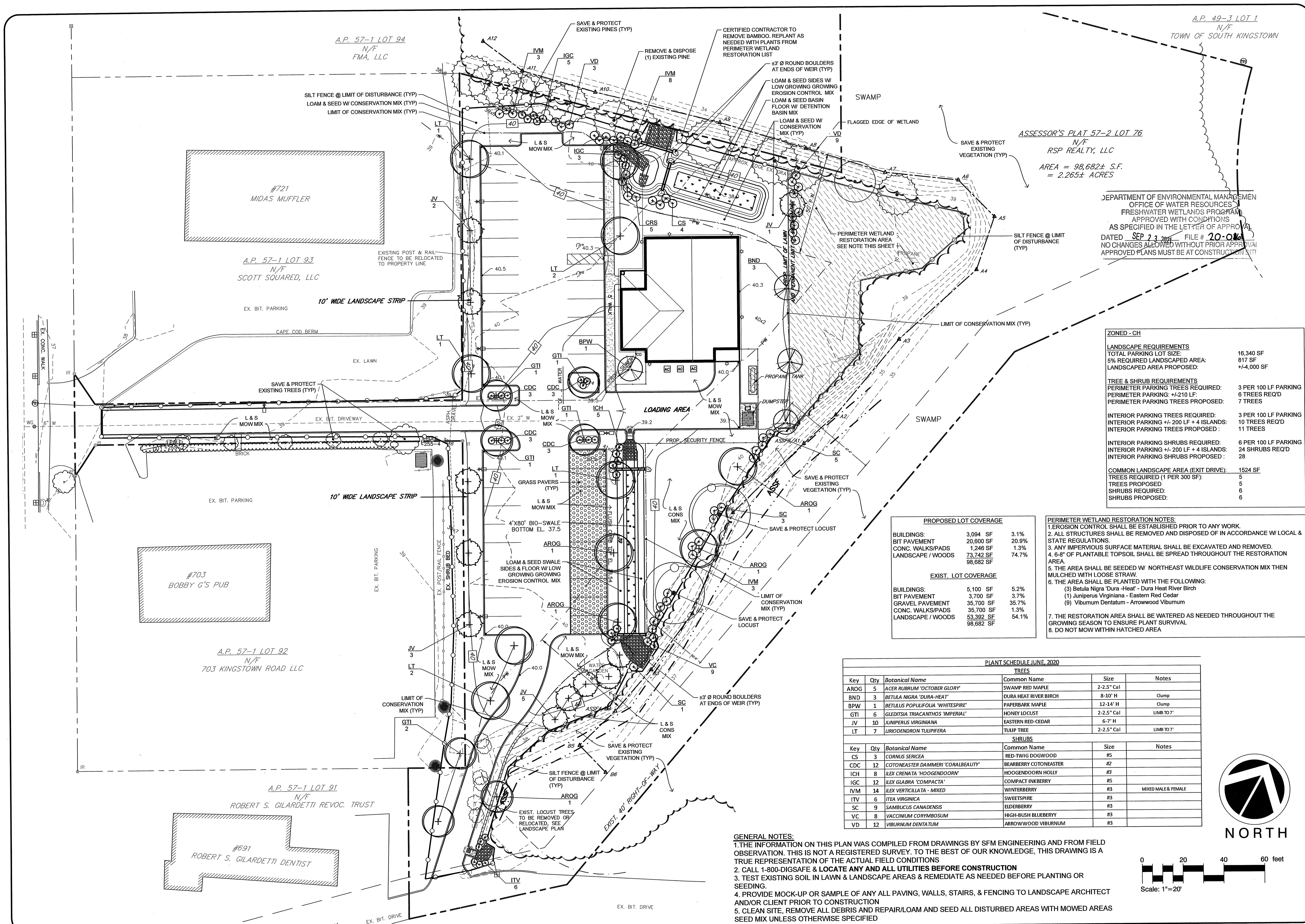
PROPOSED COMPASSION CENTER
RHODE ISLAND CARE CONCEPTS, INC.
ASSESSOR'S PLAT 57-2 LOT 76
711 KINGSTOWN ROAD
SOUTH KINGSTOWN, RI

EROSION CONTROL DETAILS

S.F.M. ENGINEERING ASSOCIATES
410 TIGOLE AVENUE
COVENTRY, RI 02816
PHONE: 401-826-3736
FAX: 401-826-1711
SCOTT.SFM@TLANTCBB.NET

DRN. BY: SFM
CHK. BY: JZL
SCALE: AS NOTED
DATE: JUNE 15, 2020
DWG: SFM882-ER-C
SHEET 6 OF 8
DEM PERMITTING SUBMISSION

C6



ZONED - CH

LANDSCAPE REQUIREMENTS

TOTAL PARKING LOT SIZE:	16,340 SF
5% REQUIRED LANDSCAPED AREA:	817 SF
LANDSCAPED AREA PROPOSED:	+4,000 SF

TREE & SHRUB REQUIREMENTS

PERIMETER PARKING TREES REQUIRED:	3 PER 100 LF PARKING
PERIMETER PARKING TREES PROPOSED:	6 TREES REQ'D
PERIMETER PARKING TREES PROPOSED:	7 TREES
INTERIOR PARKING TREES REQUIRED:	3 PER 100 LF PARKING
INTERIOR PARKING TREES PROPOSED:	10 TREES REQ'D
INTERIOR PARKING TREES PROPOSED:	11 TREES
INTERIOR PARKING SHRUBS REQUIRED:	6 PER 100 LF PARKING
INTERIOR PARKING SHRUBS PROPOSED:	24 SHRUBS REQ'D
INTERIOR PARKING SHRUBS PROPOSED:	28

COMMON LANDSCAPE AREA (EXIT DRIVE): 1524 SF

TREES REQUIRED (1 PER 300 SF): 5
 TREES PROPOSED: 6
 SHRUBS REQUIRED: 6
 SHRUBS PROPOSED: 6

PROPOSED LOT COVERAGE

BUILDINGS:	3,094 SF	3.1%
BIT PAVEMENT:	20,600 SF	20.9%
CONC. WALKS/PADS:	1,246 SF	1.3%
LANDSCAPE / WOODS:	73,742 SF	74.7%
	98,682 SF	

EXIST. LOT COVERAGE

BUILDINGS:	5,100 SF	5.2%
BIT PAVEMENT:	3,700 SF	3.7%
GRAVEL PAVEMENT:	35,700 SF	35.7%
CONC. WALKS/PADS:	35,700 SF	1.3%
LANDSCAPE / WOODS:	53,392 SF	54.1%
	98,682 SF	

PERIMETER WETLAND RESTORATION NOTES:

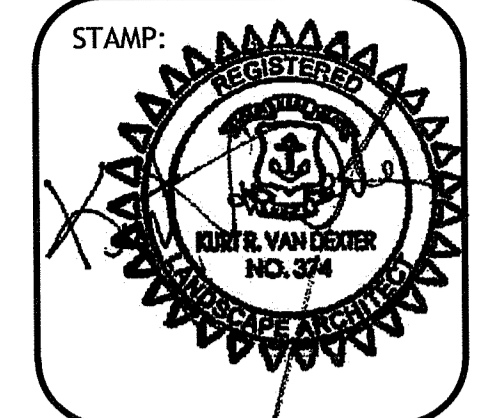
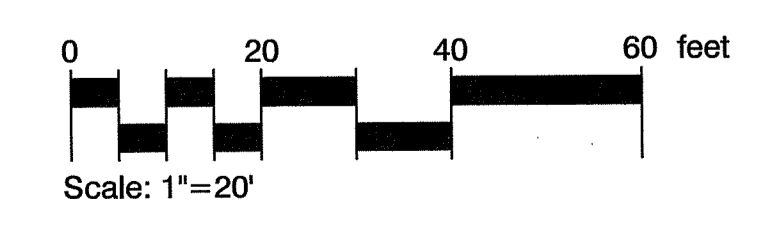
- EROSION CONTROL SHALL BE ESTABLISHED PRIOR TO ANY WORK.
- ALL STRUCTURES SHALL BE REMOVED AND DISPOSED OF IN ACCORDANCE W/ LOCAL & STATE REGULATIONS.
- ANY IMPERVIOUS SURFACE MATERIAL SHALL BE EXCAVATED AND REMOVED.
- 6-8" OF PLANTABLE TOPSOIL SHALL BE SPREAD THROUGHOUT THE RESTORATION AREA.
- THE AREA SHALL BE SEEDED W/ NORTHEAST WILDLIFE CONSERVATION MIX THEN MULCHED WITH LOOSE STRAW.
- THE AREA SHALL BE PLANTED WITH THE FOLLOWING:
 (3) Betula Nigra 'Dura-Heat' - Dura Heat River Birch
 (1) Juniperus Virginiana - Eastern Red Cedar
 (9) Viburnum Dentatum - Arrowwood Viburnum
- THE RESTORATION AREA SHALL BE WATERED AS NEEDED THROUGHOUT THE GROWING SEASON TO ENSURE PLANT SURVIVAL.
- DO NOT MOW WITHIN HATCHED AREA.

PLANT SCHEDULE JUNE, 2020

TREES					
Key	Qty	Botanical Name	Common Name	Size	Notes
AROG	5	ACER RUBRUM 'OCTOBER GLORY'	SWAMP RED MAPLE	2-2.5" Cal	
BND	3	BETULA NIGRA 'DURA-HEAT'	DURA HEAT RIVER BIRCH	8-10" H	Clump
BPW	1	BETULUS POPULIFOLIA 'WHITESPIRE'	PAPERBARK MAPLE	12-14" H	Clump
GTI	6	GLEDITSIA TRIACANTHOS 'IMPERIAL'	HONEY LOCUST	2-2.5" Cal	LUMB TO 7'
JVI	10	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	6-7" H	
LT	7	LIRIODENDRON TULIPIFERA	TULIP TREE	2-2.5" Cal	LUMB TO 7'
SHRUBS					
Key	Qty	Botanical Name	Common Name	Size	Notes
CS	3	CORNUS SERICEA	RED-TWIG DOGWOOD	#5	
CDC	12	COTONEASTER DAMMERI 'CORALBEAUTY'	BEARBERRY COTONEASTER	#2	
ICH	8	ILEX CRENATA 'HOOGENDOORN'	HOOGENDOORN HOLLY	#3	
IGC	12	ILEX GLABRA 'COMPACTA'	COMPACT INKBERRY	#5	
IVM	14	ILEX VERTICILLATA - MIXED	WINTERBERRY	#3	MIXED MALE & FEMALE
ITV	6	ITEA VIRGINICA	SWEETSPIRE	#3	
SC	9	SAMBUCUS CANADENSIS	ELDERBERRY	#3	
VC	8	VACCINIUM CORYMBOSUM	HIGH-BUSH BLUEBERRY	#3	
VD	12	VIBURNUM DENTATUM	ARROWWOOD VIBURNUM	#3	

GENERAL NOTES:

- THE INFORMATION ON THIS PLAN WAS COMPILED FROM DRAWINGS BY SFM ENGINEERING AND FROM FIELD OBSERVATION. THIS IS NOT A REGISTERED SURVEY. TO THE BEST OF OUR KNOWLEDGE, THIS DRAWING IS A TRUE REPRESENTATION OF THE ACTUAL FIELD CONDITIONS.
- CALL 1-800-DIGSAFE & LOCATE ANY AND ALL UTILITIES BEFORE CONSTRUCTION.
- TEST EXISTING SOIL IN LAWN & LANDSCAPE AREAS & REMEDIATE AS NEEDED BEFORE PLANTING OR SEEDING.
- PROVIDE MOCK-UP OR SAMPLE OF ANY ALL PAVING, WALLS, STAIRS, & FENCING TO LANDSCAPE ARCHITECT AND/OR CLIENT PRIOR TO CONSTRUCTION.
- CLEAN SITE, REMOVE ALL DEBRIS AND REPAIR/LOAM AND SEED ALL DISTURBED AREAS WITH MOWED AREAS SEED MIX UNLESS OTHERWISE SPECIFIED.

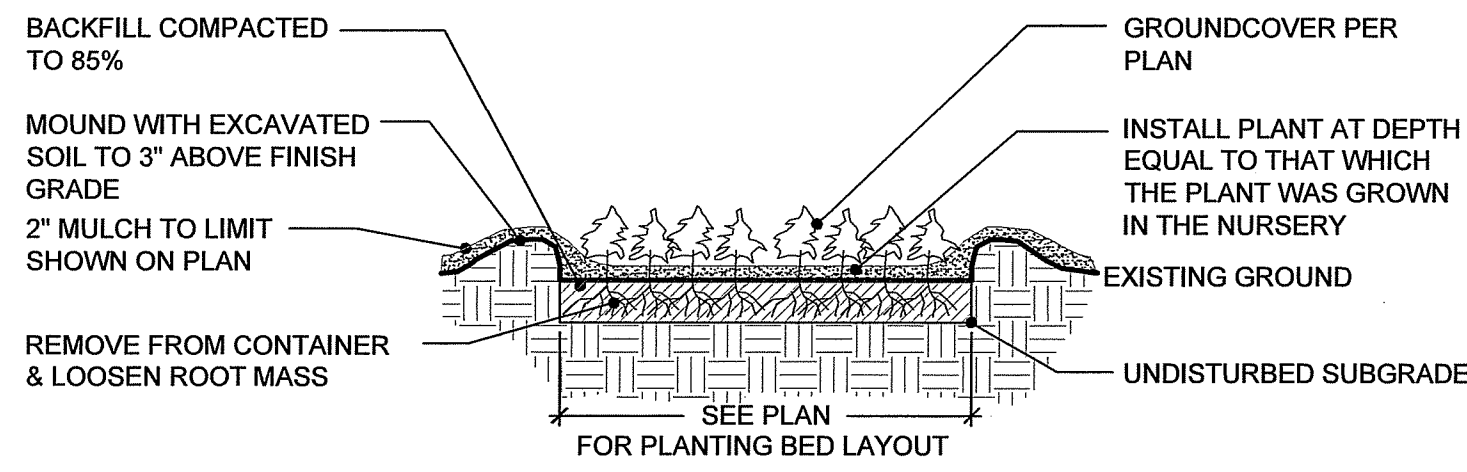


HALI BECKMAN, LTD.
 23 Brown Street, Suite 206, Wickford, RI 02852
 Tel. 401.294.1664 - www.halibeckman.com
 Estate Planning - Landscape Architecture

LANDSCAPE PLAN
PROPOSED COMPASSION CENTER, INC
RHODE ISLAND CARE CONCEPTS, INC
AP 57-2, LOT 76
711 KINGSTOWN RD SOUTH KINGSTOWN, RI

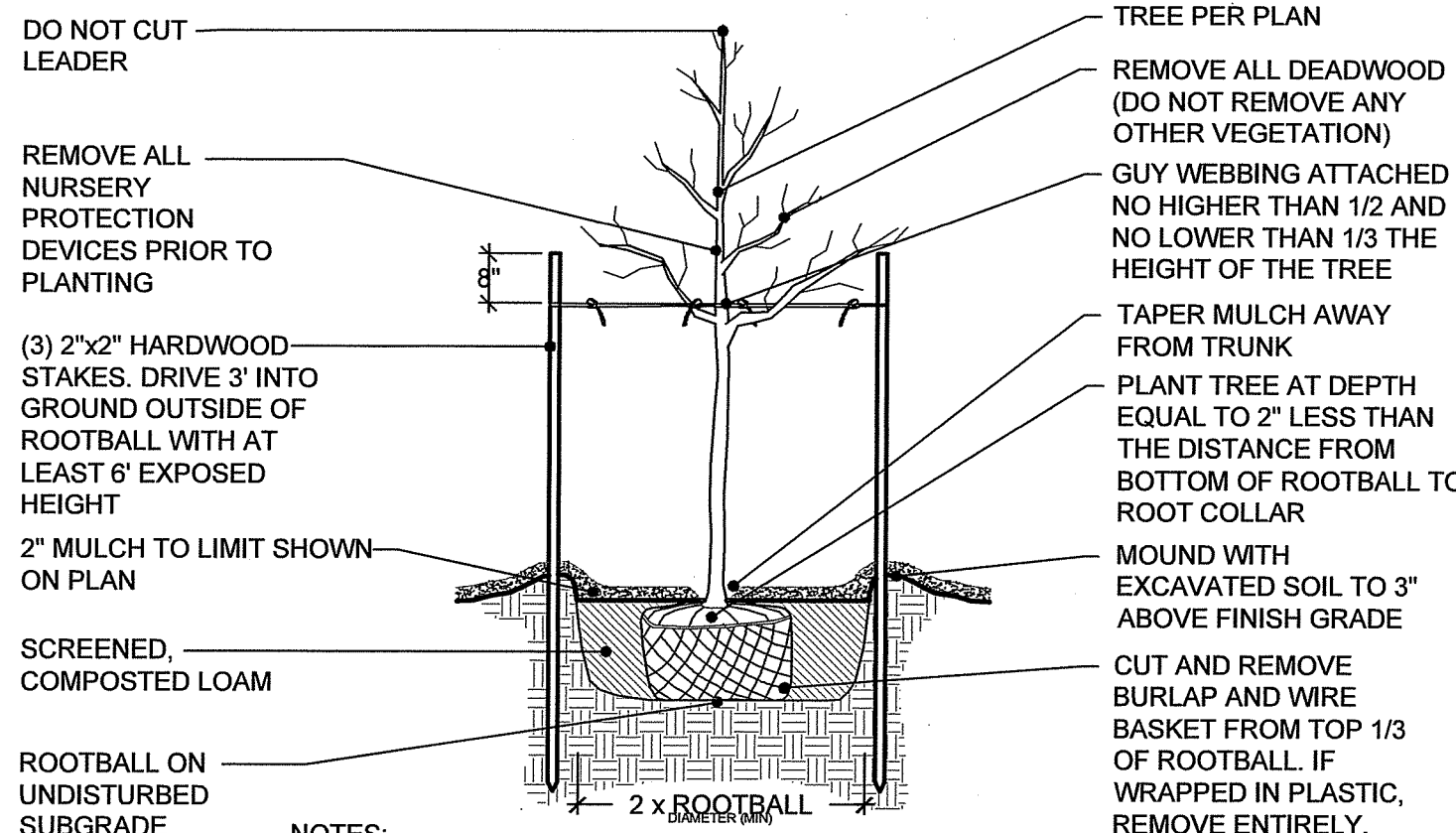
RI Environmental Management

DATE	7.16.20	DATE	AUG 30 2021
REVISION DESCRIPTION	REVISED PLANTING ADJACENT TO DRIVE	DATE	JUNE 24, 2020
SWALE, ADDED TREES TO BE PLANTED		DRAWN BY:	SGG
TREE-TOWN-DETAIL		SCALE:	AS SHOWN
		JOB NO:	486
		SHEET NO.:	7 OF 8
		SHEET	L-1



GROUND COVER PLANTING DETAIL

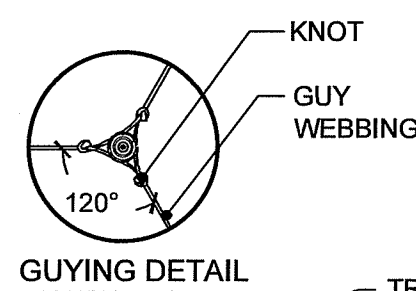
SCALE: NTS



NOTES:
1. AFTER THE GUARANTEE PERIOD THE CONTRACTOR WILL BE RESPONSIBLE FOR THE REMOVAL OF STAKES AND GUY WEBBING.
2. USE THIS DETAIL FOR 'POCKET PLANTING' OF DECIDUOUS TREES

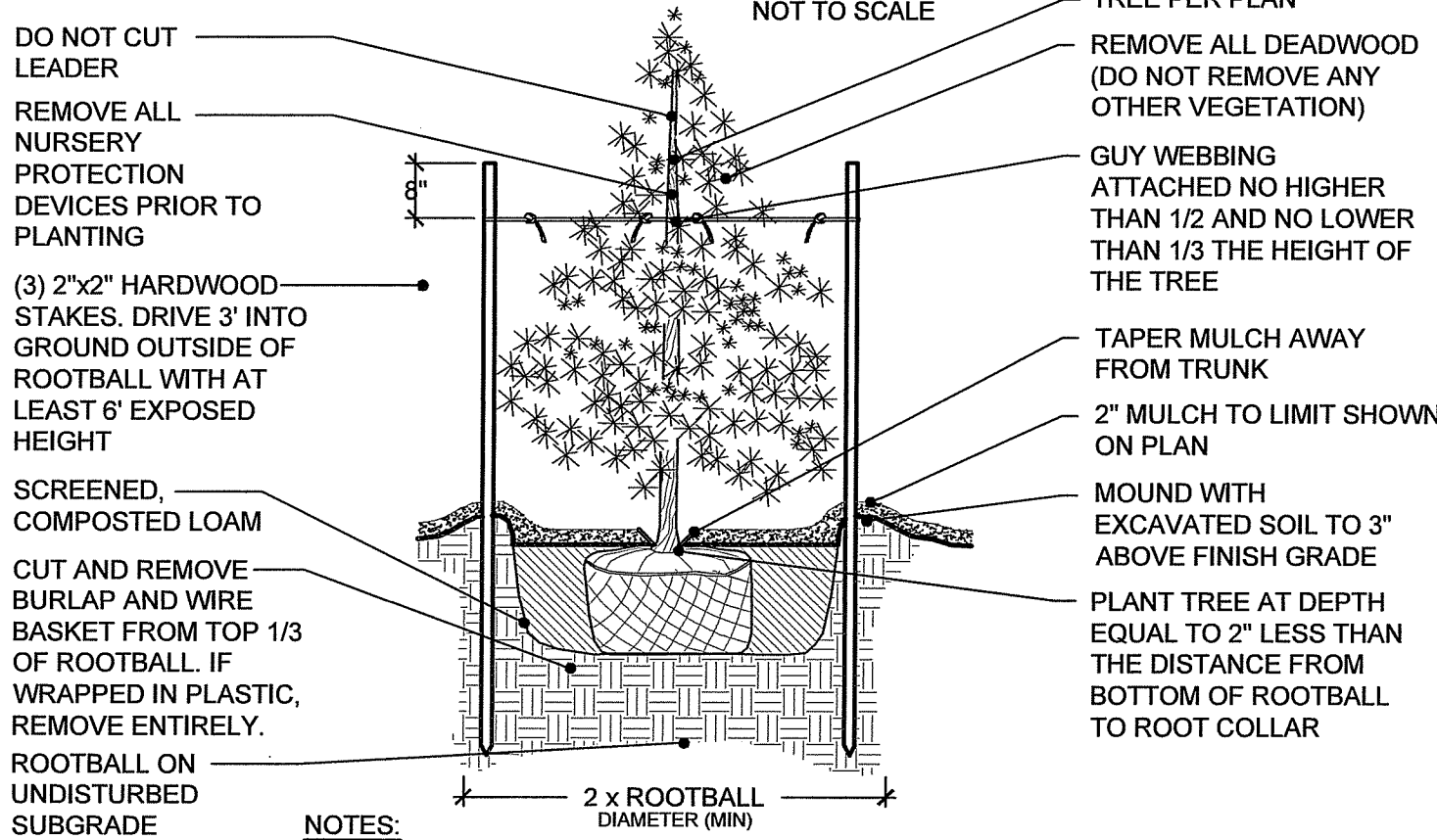
DECIDUOUS TREE PLANTING DETAIL

SCALE: NTS



GUYING DETAIL

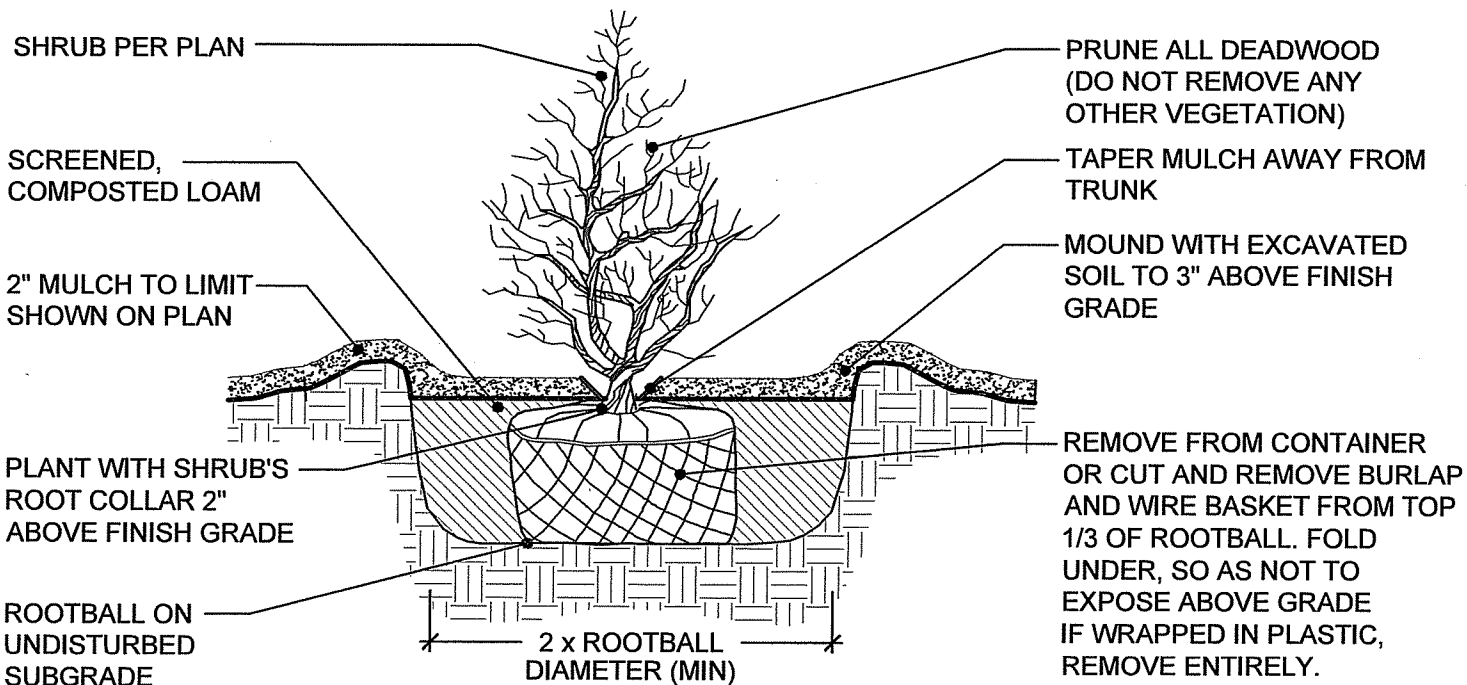
NOT TO SCALE



NOTES:
1. AFTER THE GUARANTEE PERIOD THE CONTRACTOR WILL BE RESPONSIBLE FOR THE REMOVAL OF STAKES AND GUY WEBBING.
2. USE THIS DETAIL FOR 'POCKET PLANTING' OF EVERGREENS

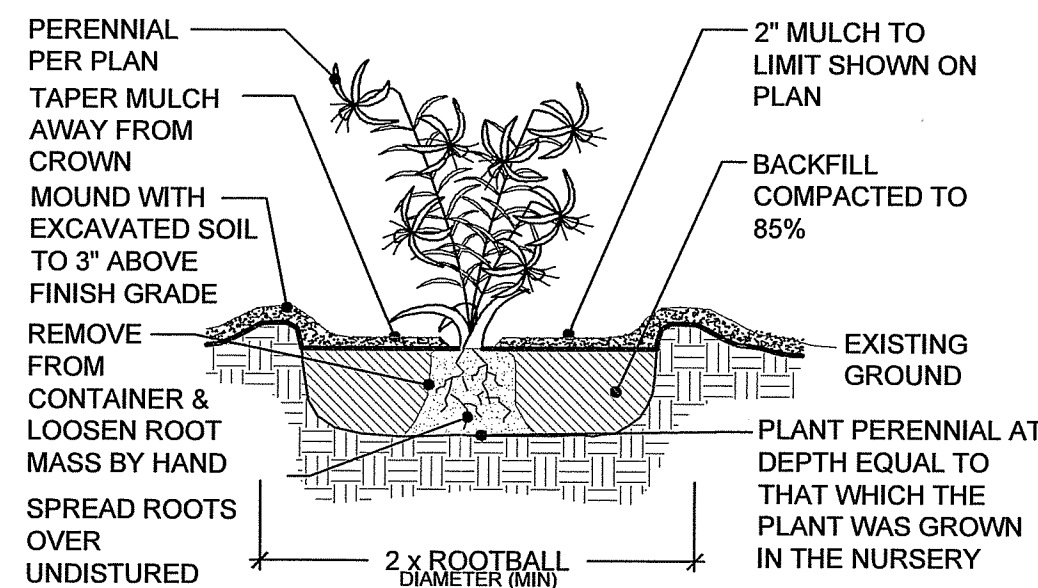
EVERGREEN TREE PLANTING DETAIL

SCALE: NTS



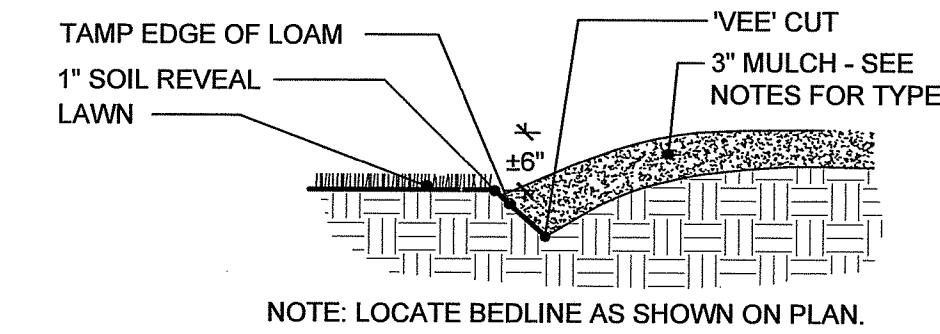
SHRUB PLANTING DETAIL

SCALE: NTS



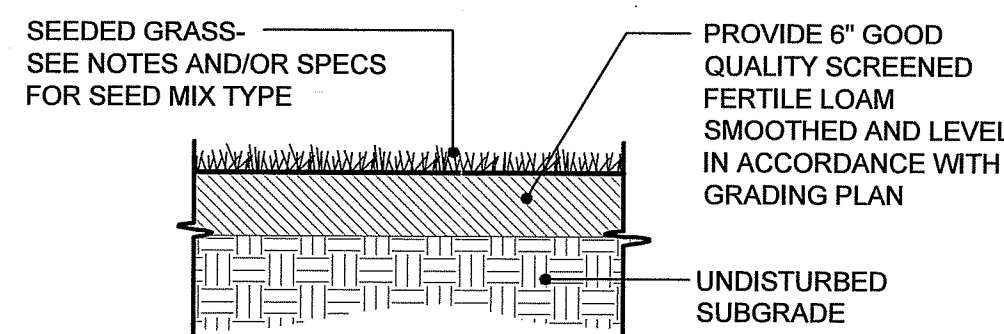
PERENNIAL PLANTING DETAIL

SCALE: NTS



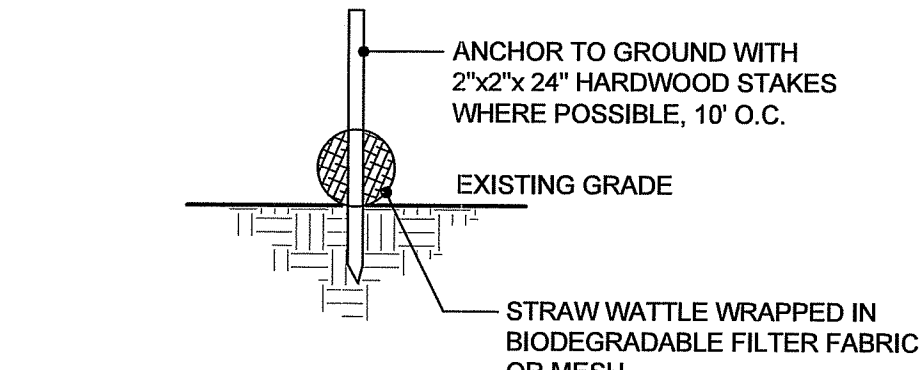
BEDLINE EDGE DETAIL

SCALE: NTS



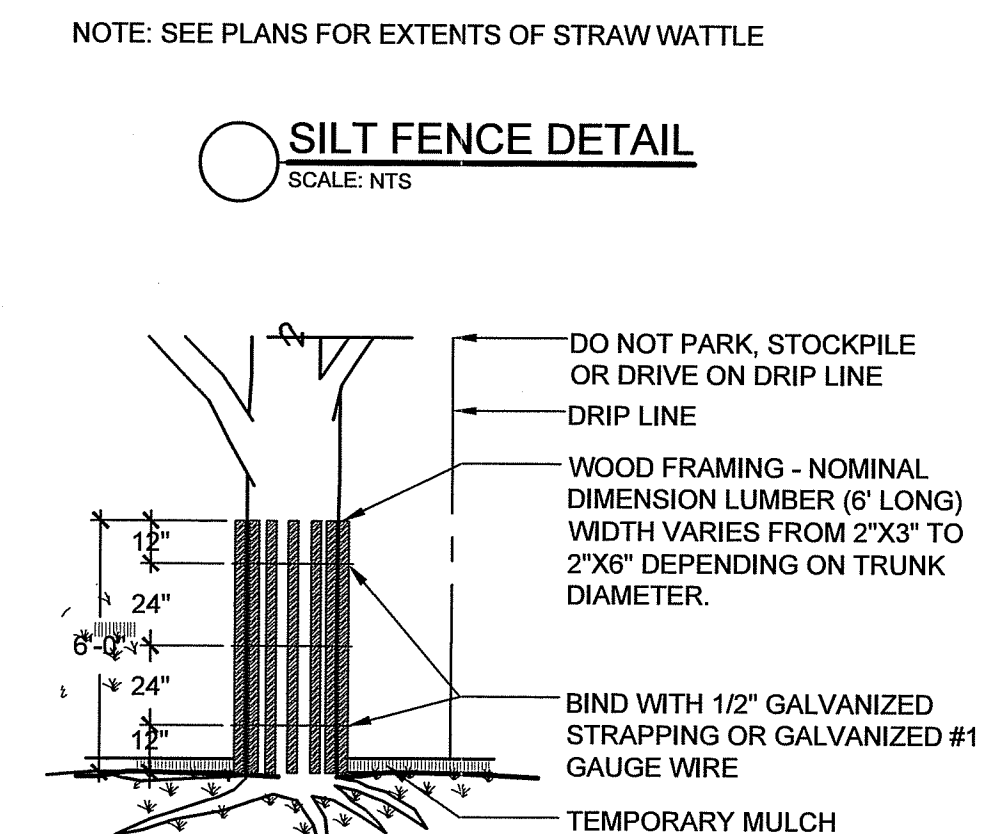
LOAM & SEED DETAIL

SCALE: NTS



SILT FENCE DETAIL

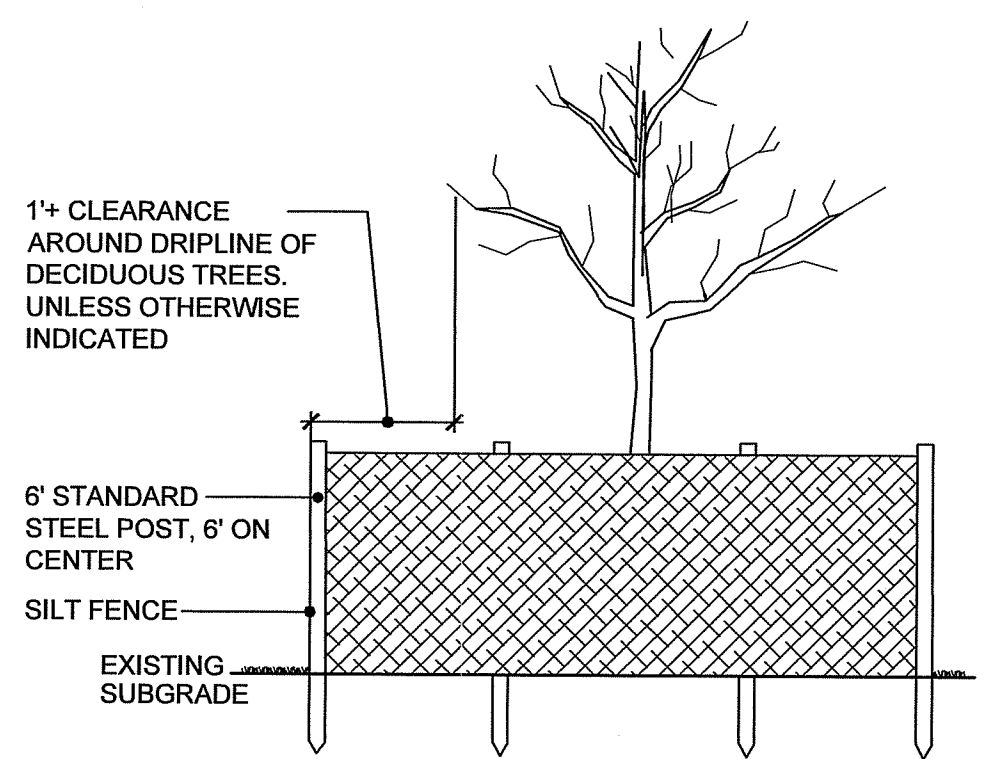
SCALE: NTS



NOTE: THIS DETAIL SHALL BE USED TO PROTECT THE TREE'S TRUNK IN SITUATIONS WHERE CONSTRUCTION IS IN CLOSE PROXIMITY.

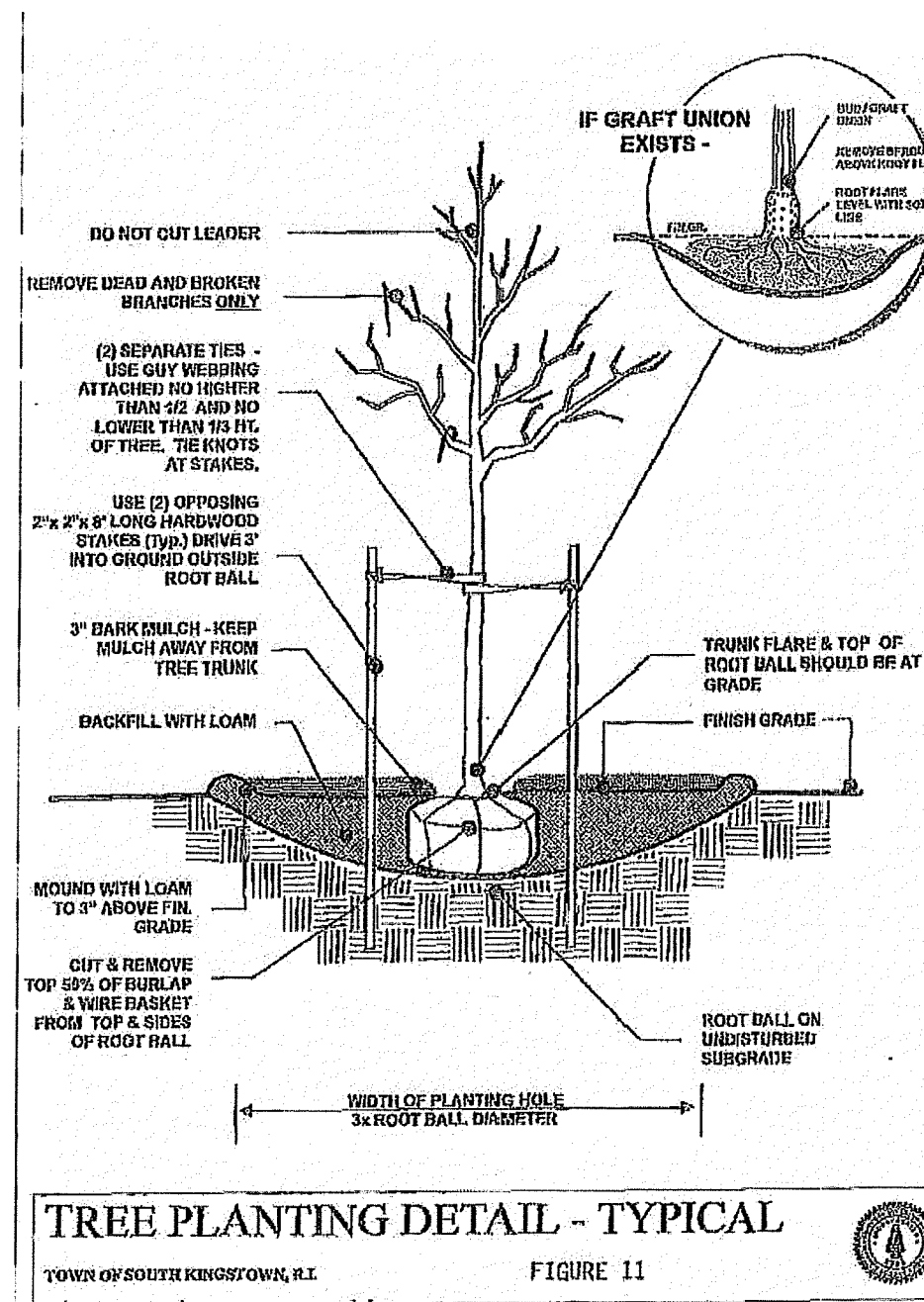
TREE TRUNK PROTECTION DETAIL

SCALE: NTS



DRIPLINE TREE PROTECTION DETAIL

SCALE: NTS



TREE PLANTING DETAIL - TYPICAL

FIGURE 11

TOWN OF SOUTH KINGSTOWN, R.I.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED SEP 23 2021 FILE # 20-0110
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Nancy J. Freeman

STREET TREE PLANTING DETAIL

SCALE: NTS

SEEDING NOTES:

- LOAM SHALL BE SPREAD TO A MINIMUM DEPTH OF 6" OVER ALL AREA DESIGNATED ON PLANS.
- ON-SITE LOAM TO BE TESTED BY A CERTIFIED PROFESSIONAL SOIL SCIENTIST FOR ORGANIC MATTER, PH AND NUTRIENTS. AMEND AS NEEDED TO MEET RECOMMENDED STANDARDS FOR SEEDING.
- SHAPE AND SMOOTH THE SURFACE TO THE LINES AND GRADES AS SHOWN ON PLANS.
- FERTILIZE WITH 10-10-10 OR EQUIVALENT ANALYSIS. AT LEAST 40% OF THE FERTILIZER NITROGEN SHALL BE IN A SLOW RELEASE FORM. INCORPORATE THE FERTILIZER INTO THE TOP 3 TO 4 INCHES OF THE PLANTING SOIL. APPLY AT THE RATE OF 8 POUNDS PER 1,000 SQ. FT. AT SEEDING.
- LIME: SPREAD EVENLY AND WORK INTO THE SOIL DURING PREPARATION OF SEED BED AT THE RATE OF ONE TON PER ACRE INCORPORATE INTO THE SOIL BY DICING OR OTHER APPROVED METHOD. DISTRIBUTE LIME UNIFORMLY AND WORK INTO TOP 4 INCHES OF TOP SOIL (MINIMUM) AND UNIFORMLY BLEND BY DICING OR ROTOTILLING.
- ANY LOAM EXPOSED FOR ONE WEEK SHALL BE PLANTED WITH ANNUAL RYE GRASS SEED & SEED MIX #1. ALL LOAM STOCKPILES TO BE SEED IMMEDIATELY.
- APPLICATION OF SEED:
 - RATE OF APPLICATION OF SEED SHALL BE 8 POUNDS PER 1,000 SQ. FT. OR AS INDICATED ON PLANS.
 - SEEDING SHALL BE DONE IN ACCORDANCE WITH SECTION L.02.03 OF THE RI STANDARD SPECIFICATIONS AND ONLY DURING THE FOLLOWING DATES:
SPRING SEEDING: APRIL 1 TO MAY 31
FALL SEEDING: AUGUST 15 TO OCTOBER 15
 - THE CONTRACTOR SHALL KEEP ALL SEEDED AREAS WATERED AND IN GOOD CONDITION, RESEEDING IF AND WHEN NECESSARY FOR AN 8-WEEK PERIOD OR UNTIL A GOOD, HEALTHY, UNIFORM GROWTH IS ESTABLISHED OVER THE ENTIRE AREA. THE CONTRACTOR SHALL LEAVE THESE AREAS IN GOOD CONDITION, ALSO MAINTAIN THESE AREAS IN GOOD CONDITION UNTIL PROVISIONAL ACCEPTANCE.
 - DURING THIS PERIOD, WATER TURF AS NECESSARY TO MAINTAIN AN ADEQUATE SUPPLY OF MOISTURE, THE EQUIVALENT OF ONE INCH OF ABSORBED WATER PER WEEK THAT IS DELIVERED AT WEEKLY INTERVALS IN THE FORM OF NATURAL RAIN OR IS AUGMENTED AS REQUIRED BY PERIODIC WATERINGS IS REQUIRED.
 - OVERSEED WHEN NECESSARY TO PROMOTE GRASS GROWTH.
 - REPLANT AREAS VOID OF TURF ONE SQUARE FOOT OR LARGER.
 - SEED ALL AREAS DESIGNATED ON PLAN AS WELL AS ALL DISTURBED EXISTING AREAS WITH THE FOLLOWING SEED MIX:

**SEED MIX A
MOWED AREAS SEED MIX**

TYPE	% BY WEIGHT
IMPROVED PER. RYE	30
TURF TYPE TALL FESCUE	30
JAMESTOWN CHEWINGS FESCUE	30
KY BLUEGRASS 98/85	10

APPLICATION RATE = 280 LBS. / ACRE

**SEED MIX B
CONSERVATION MIX**

TYPE	% BY WEIGHT
CREeping RED FESCUE	25
PERENNIAL RYE GRASS	25
ANNUAL RYE GRASS	25
TALL FESCUE	17
KENTUCKY BLUEGRASS	5
COLONIAL BENTGRASS	1
REDTOP	1
WHITE CLOVER	1

APPLICATION RATE = 220 LBS. / ACRE
MOW TWICE YEARLY

**SEED MIX C
LOW-GROWING EROSION CONTROL MIX**

TYPE	% BY WEIGHT
MARCO POLO SHEEP FESCUE	47
VIKING H20 HARD FESCUE	45
MUSKET COLONIAL BENTGRASS	5
DUTCH WHITE CLOVER	3

APPLICATION RATE = 4 LBS. / 1,000 SF

ALL SEED MIXES AVAILABLE FROM ALLEN'S SEED STORE: 800-527-3898
693 SOUTH COUNTY TRAIL EXETER, RI 02832

BIO-SWALE SOIL NOTES

PREPARE THE INFILTRATION BED WITH THE FOLLOWING SOIL MIX:

- LOAMY SAND TO A SANDY LOAM
- 85-88% SAND
- 8-12% SILT
- 0-2% CLAY
- ADDED ORGANIC MATTER (20% OF MINERAL SOIL MIX BY VOLUME).

CONSTRUCTION NOTES:

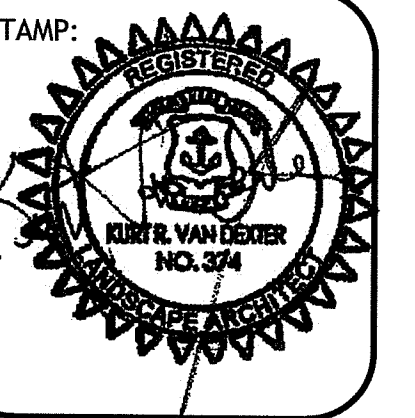
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND GRADES ON SITE AND SHALL IMMEDIATELY REPORT ANY DISCREPANCIES OR DEVIATIONS FROM THE CONSTRUCTION PLANS TO THE LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL ALSO REPORT ANY CONDITIONS UNCOVERED IN THE WORK THAT ARE NOT REFLECTED WITHIN THE PLANS.
- THE CONTRACTOR SHALL, UNDER THE DIRECTION OF THE OWNER, ESTABLISH CONSTRUCTION LIMITS ON THE SITE BY ACCEPTABLE VISIBLE MARKERS PLACED AT EYE LEVEL. ALL WORK AND EQUIPMENT SHALL BE CONFINED TO WITHIN THESE LIMITS. THE CONTRACTOR SHALL REMOVE ALL MARKERS WHEN DIRECTED BY THE OWNER.
- THE SITE SHALL BE "ROUGH GRADED" TO THE ELEVATIONS AND CONTOURS SET FORTH ON THE PLANS, ALLOWING FOR GRAVEL LOAMING AND FINAL GRADING.
- THE CONTRACTOR SHALL STRIP AND STOCKPILE EXISTING LOAM FROM THOSE AREAS THAT ARE TO BE EXCAVATED OR FILLED AND TO WITHIN THE PROJECT LIMITS. STOCKPILED LOAM SHALL NOT BE MIXED WITH ANY SUBSOIL OR OTHER UNSUITABLE MATERIAL UNLESS DIRECTED BY OWNER. ALL EXCESS SOIL REMAINS THE PROPERTY OF THE OWNER. EARTH EXCAVATION SHALL BE LIMITED TO THE DIMENSIONS AND REQUIREMENTS SHOWN ON THE DRAWINGS.
- THE INTENTION OF THE OWNER IS TO MAINTAIN THE BOUNDARIES OF THE SITE IN ITS EXISTING CONDITION AND THEREFORE THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONFINING THE WORK TO WITHIN THE CONSTRUCTION LIMITS.
- ALL EXISTING VEGETATION (TREES, SHRUBS, GRASSES, ETC.) TO REMAIN SHALL BE PROTECTED BY INJURY. INDIVIDUAL TREES AND SHRUBS TO BE SAVED WITHIN THE DESIGNATED WORK AREA SHALL BE ADEQUATELY PROTECTED BY THE CONTRACTOR. THE CONTRACTOR SHALL REMOVE ALL PROTECTIVE BARRIERS AS DIRECTED BY THE OWNER.
- ALL EXISTING GRASSED AREAS NOT ADEQUATELY PROTECTED AND THEREFORE DAMAGED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR IS RESPONSIBLE FOR ADHERING TO ALL WETLANDS, COASTAL, CITY/TOWN, AND STATE REGULATIONS.
- ALL PLANTINGS SHALL BE MAINTAINED IN A MANNER SO AS TO PROMOTE OPTIMUM GROWTH OF PLANT MATERIALS.
- ALL TREES, SHRUBS, GROUND COVERS, AND OTHER PLANT MATERIALS MUST BE REPLACED IF THEY DIE OR BECOME UNHEALTHY BECAUSE OF ACCIDENTS, DRAINAGE PROBLEMS, DISEASE, OR OTHER CAUSES. ALL SUCH REPLACEMENTS SHALL CONFORM TO ALL STANDARDS THAT GOVERNED THE ORIGINAL INSTALLATION. WHERE NO SUCH STANDARDS EXIST, NEW PLANTINGS SHALL MATCH THE REPLACED MATERIALS IN TYPE, SPECIES, AND QUANTITY.
- SOIL OR LOAM THAT IS STORED OR STOCKPILED DURING CONSTRUCTION SHOULD ALSO BE MULCHED OR COVERED WITH A MAT OF LOOSE HAY AND CAN BE SEED WITH A TEMPORARY SEED MIX. STOCKPILES SHOULD ALSO BE ENCLOSED WITH SILT OR HAYBALES.
- ENTRANCE TO CONSTRUCTION SITE SHOULD BE COVERED WITH GRAVEL TO TRAP SEDIMENT FROM THE TIRES OF VEHICLES EXISTING ON THE SITE.

PLANTING NOTES:

- FURNISH AND INSTALL ALL PLANTS SHOWN ON THE DRAWINGS SPECIFIED HEREIN, AND IN THE QUANTITIES LISTED ON THE PLANT LIST. NO SUBSTITUTIONS WILL BE PERMITTED, UNLESS APPROVED BY THE LANDSCAPE ARCHITECT AND PROJECT ADMINISTRATOR.
- LOAM TO BE GOOD QUALITY, FERTILE, FREE OF WEEDS, STICKS STONES OVER 3/4", AND ROOTS. SPREAD TO A MINIMUM OF 4" OVER ALL PLANTED AREAS AND 12" IN ALL AREAS DESIGNATED. ON-SITE LOAM TO BE TESTED BY A CERTIFIED PROFESSIONAL SOIL SCIENTIST FOR ORGANIC MATTER, PH AND NUTRIENTS. AMEND AS NEEDED TO MEET RECOMMENDED STANDARDS FOR PLANTING.
- NURSERY STOCK SHALL MEET THE STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN AS TO GRADING AND QUALITY.
- ONLY NURSERY-GROWN PLANTS, GROWN IN ACCORDANCE WITH ACCEPTED HORTICULTURAL PRACTICES AND GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST (2) YEARS, WILL BE ACCEPTED.
- SET PLANTS PLUMBS AND AT A LEVEL THAT AFTER SETTLEMENT THEY BEAR THE SAME RELATION TO THE SURROUNDING GROUND AS THEY BORE TO THE GROUND FROM WHICH THEY WERE DUG. SETTLE BACKFILL MATERIAL FOR PLANTS, THOROUGHLY AND PROPERLY BY FIRING OR TAMPING FORM SAUCERS CAPABLE OF HOLDING WATER ABOUT INDIVIDUAL PLANTS. BY PLACING RIDGES OF PLANTING SOIL AROUND EACH.
- STREET TREES SHALL BE SECURELY TRIPLE-STAKED WITH STAKES OF A MINIMUM SIZE OF TWO INCHES BY TWO INCHES BY SIX FEET.
- TREES IN OPEN AREAS TO HAVE A NATURALIZED BRANCHING HABIT
- ALL STREET TREES ADJACENT TO SIDEWALKS AND ROADS MUST HAVE A MINIMUM CLEARANCE HEIGHT OF (7' FEET) TO THE FIRST BRANCH
- WATERING: WATER ALL PLANTS WITHIN 48 HOURS AFTER PLANTING IF CONDITIONS WARRANT, AND AS MANY TIMES THEREAFTER TO SUSTAIN HEALTHY CONDITIONS. SATURATE THE SOIL AROUND EACH PLANT THOROUGHLY AT EACH WATERING, WHICH EVER IS REQUIRED BY SITE CONDITIONS.
- PRUNING-PRUNE PLANTS, AS DIRECTED BY OWNER, AT THE PROJECT SITE BEFORE OR IMMEDIATELY AFTER PLANTING IN ACCORDANCE WITH THE BEST HORTICULTURAL PRACTICE. CUT BROKEN, DEAD OR INJURED BRANCHES FLUSH WITH THE TRUNK OR THE LIMB. PRUNE ALL BROKEN ROOTS ON THE PLANT SIDE OF THE BREAK. PRUNING SHALL FOLLOW THE TYPICAL SHAPE OR SYMMETRY OF THE PLANT AND SHALL NOT REDUCE THE HEIGHT BY MORE THAN ONE-THIRD. DO NOT CUT BACK THE LEADER OF THE PLANT UNLESS DIRECTED BY THE LANDSCAPE ARCHITECT.
- FERTILIZING: FERTILIZE SHRUB BEDS WITH 10-6-4 FERTILIZER AT A RATE OF THREE POUNDS PER 100 SQUARE FEET OF SURFACE AREA. BROAD CAST. APPLY THE FERTILIZER UNIFORMLY TO THE SURFACE BEDS AND WORK INTO THE UPPER TWO INCHES OF SOIL. FERTILIZE INDIVIDUAL TREES AT THE RATE OF ONE AGRIFORM PELLET PER INCH OF TRUNK DIAMETER (FOLLOW MANUFACTURER'S WRITTEN INSTRUCTIONS). APPLY A SECOND APPLICATION OF FERTILIZER TO ALL PLANT ITEMS AT THE SAME SPECIFIED RATES OVER THE MULCH AT THE END OF AN EIGHT WEEK PERIOD.
- MULCHING: COVER ALL PLANTED AREAS WITH 3" DARK BROWN PINE BARK MULCH WITHIN A SEVENTY - TWO HOUR PERIOD AFTER PLANTING. NO RED MULCH ACCEPTED.
- GUARANTEE: ALL PLANTS FURNISHED BY THE CONTRACTOR SHALL BE GUARANTEED FOR A PERIOD OF TWO (2) YEARS AFTER PRELIMINARY INSPECTION AND SHALL BE ALIVE AND IN SATISFACTORY GROWTH AT THE END OF THE GUARANTEE PERIOD. ALL DEAD OR DYING PLANT MATERIAL SHALL BE REPLACED AT ONCE BY THE CONTRACTOR, FREE OF CHARGE.
- ALL TREES ARE TO HAVE ONE MAIN LEADER.
- CONTRACTOR IS RESPONSIBLE FOR CHECKING THE IRRIGATION AND WATER AMOUNTS FOR THE FIRST YEAR.

DIG SAFE

- RHODE ISLAND LAW REQUIRES THAT DIG SAFE AND ALL UTILITY COMPANIES BE NOTIFIED BY THE CONTRACTOR A MINIMUM OF 48 HOURS - 2 BUSINESS DAYS - PRIOR TO ANTICIPATED EXCAVATION. THIS DOES NOT INCLUDE WEEKENDS OR LEGAL HOLIDAYS. DIG SAFE MAY BE CONTACTED BY CALLING 1-888-344-7233 MONDAY THRU FRIDAY FROM 6 A.M. TO 6 P.M.
- STATE LAW REQUIRES ALL EXCAVATORS TO PRE-MARK THE AREA OF EXCAVATION BEFORE NOTIFYING DIG SAFE. PRE-MARKING IS DEFINED AS MARKING OUT THE SCOPE OF THE PROPOSED EXCAVATION AREA, USING STAKES, PAINT OR FLAGS.
- LOCATE AND RECORD ALL BURIED UTILITIES AND CONFORM TO REQUIREMENTS GOVERNING EXCAVATION AND CHANGES IN THIS AREA.
- THE DEPTH OF UNDERGROUND FACILITIES IS VARIABLE, THEREFORE STATE LAW REQUIRES EXCAVATORS TO USE NON-MECHANICAL MEANS WHEN DIGGING WITHIN 18" OF A MARKED UNDERGROUND FACILITY. THE CURRENT DEPTH OF A FACILITY MIGHT NOT BE THE SAME AS WHEN IT WAS ORIGINALLY INSTALLED, DUE TO SOIL EROSION, GRADING AND MANY OTHER FACTORS. TO ENSURE THE SAFETY OF EXCAVATORS AND TO AVOID DISRUPTION, IT MAKES SENSE TO HAND DIG WHEN NEAR AND UNDERGROUND FACILITY.
- IF DAMAGE OCCURS TO A UTILITY LINE, AND THERE IS A POSSIBILITY THAT THE DAMAGE MAY POSE A THREAT TO THE HEALTH AND SAFETY OF THE PUBLIC, CALL 911 IN ORDER TO DISPATCH LOCAL OFFICIALS WHO WILL DETERMINE WHETHER THE COMMUNITY IS IN IMMEDIATE DANGER. NEXT, ACCORDING TO STATE LAW, IT IS THE RESPONSIBILITY OF THE EXCAVATOR TO NOTIFY THE AFFECTED UTILITY COMPANY DIRECTLY AFTER DAMAGE OCCURS. STATE LAW PROHIBITS THE CONTRACTOR FROM ATTEMPTING TO REPAIR THE LINE, OR BACKFILLING BEFORE THE LINE HAS BEEN REPAIRED BY THE UTILITY COMPANY. FAMILIARIZE YOURSELF WITH YOUR LOCAL UTILITY COMPANIES' SAFETY PROCEDURES AND PROTOCOL IN THE EVENT OF UTILITY LINE DISRUPTION.
- A DIG SAFE PERMIT SHOULD BE PROCESSED ONLY IF YOU INTEND TO EXCAVATE WITHIN 30 DAYS.

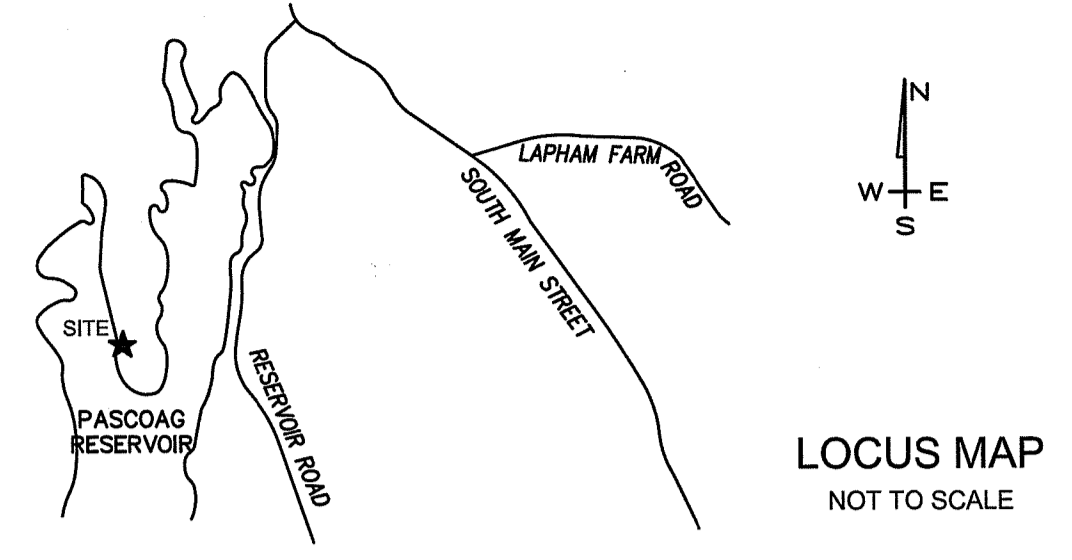


HAL BECKMAN, LTD.
23 Brown Street, Suite 206, Wickford, RI 02892
Tel. 401.294.1684 - www.halbeckman.com
Estate Planning - Landscape Architecture

PLANTING DETAILS & NOTES
PROPOSED COMPASSION CENTER
RHODE ISLAND CARE CONCEPTS, INC
AP 57-2, LOT 76
711 KINGSTOWN RD SOUTH KINGSTOWN, RI

DATE: 7-16-20	REVISION DESCRIPTION
DATE: JUNE 24, 2020	REVISED PLANTING ADJACENT TO BIO SWALE - ADDED TREES TO EXIST DRIVE, TREE FOUND DETAIL
DRAWN BY: SGG	
SCALE: AS SHOWN	
JOB NO: 486	
SHEET NO. 8 OF 8	
SHEET	

NOTE:
EXISTING HOUSE TO BE RAZED: 577 SF
PROPOSED HOUSE: 812 SF



LEGEND

- 100 --- EXISTING CONTOUR
- A1 ▲ WETLAND FLAG

ZONING DISTRICT: R-20
MINIMUM LOT AREA: 20,000 SF
MINIMUM LOT FRONTAGE: 125'
MINIMUM SETBACKS: FRONT: 30'
REAR: 30'
SIDE: 10'

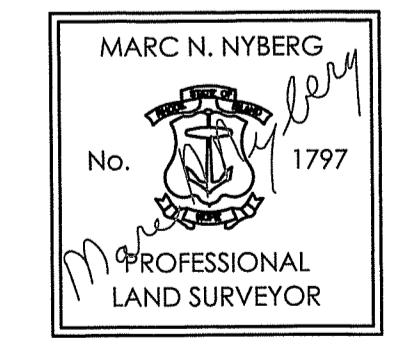
PLAN REFERENCE:
"EDDY PLAT RESERVOIR ROAD, BURRILLVILLE, RI SURVEYED AND PLATTED OCTOBER 1932 BY ROSCOE W. BAKER, SURVEYOR SCALE: 1"=50".

SITE PLAN
for
MARILYN McALLISTER
PLAT 227, LOT 43
433 RESERVOIR ROAD
BURRILLVILLE, RHODE ISLAND
MAY, 2021
SCALE 1"= 10'
REVISED: JUNE 29, 2021
SHEET 1 of 1



CERTIFICATION
THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:
LIMITED CONTENT BOUNDARY SURVEY: CLASS I
TOPOGRAPHIC T-4
STATEMENT OF PURPOSE
THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND THE PREPARATION OF THE PLAN IS AS FOLLOWS: PROPOSED HOUSE.
By: *Marc N. Nyberg*
MARC N. NYBERG License No. 1797 COA No.: A52

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED 30 JUL 15 2021 FILE # 21-0161
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE
Danby Freeman

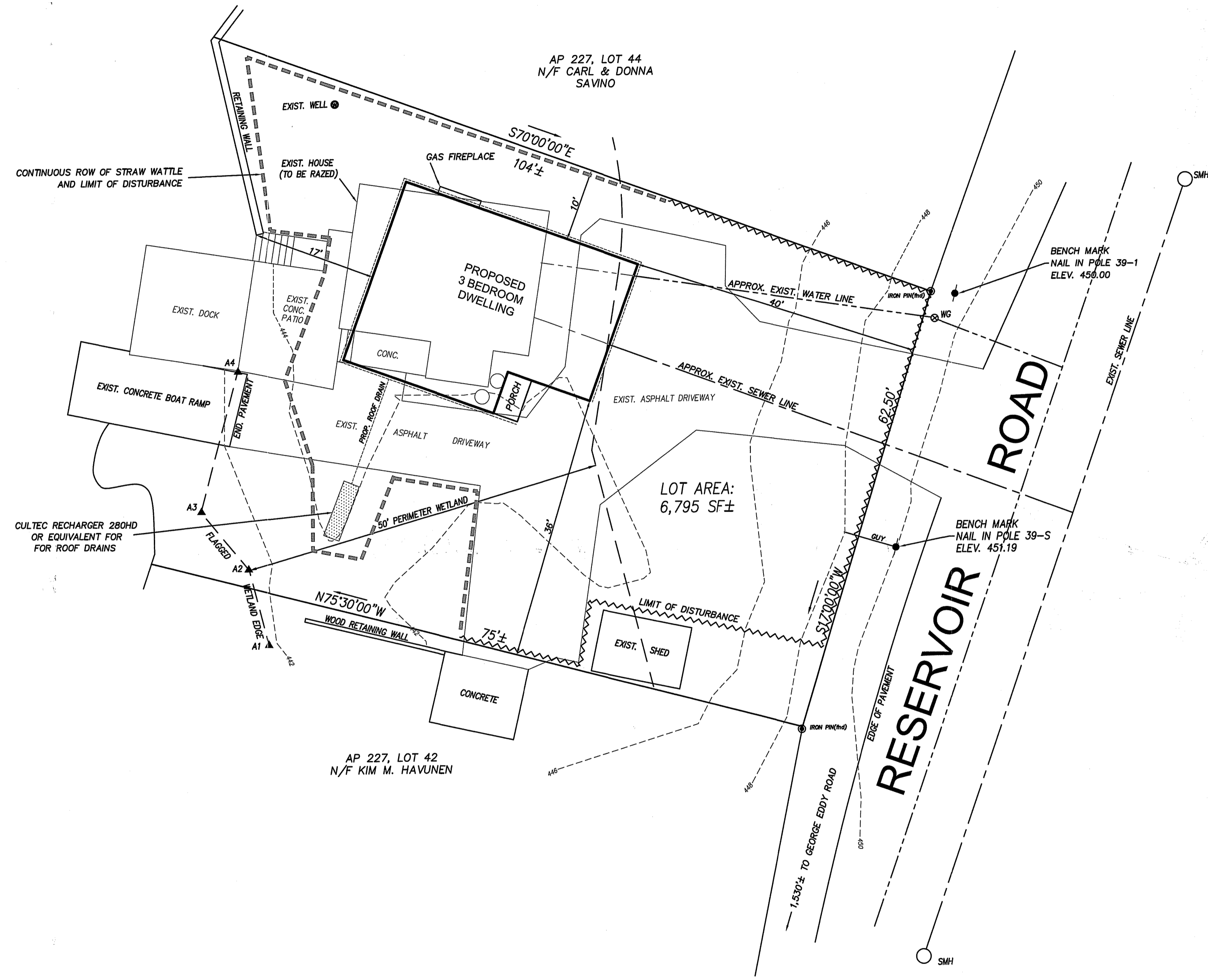


Environmental Management
JUL 02 2021
Office of Water Resources

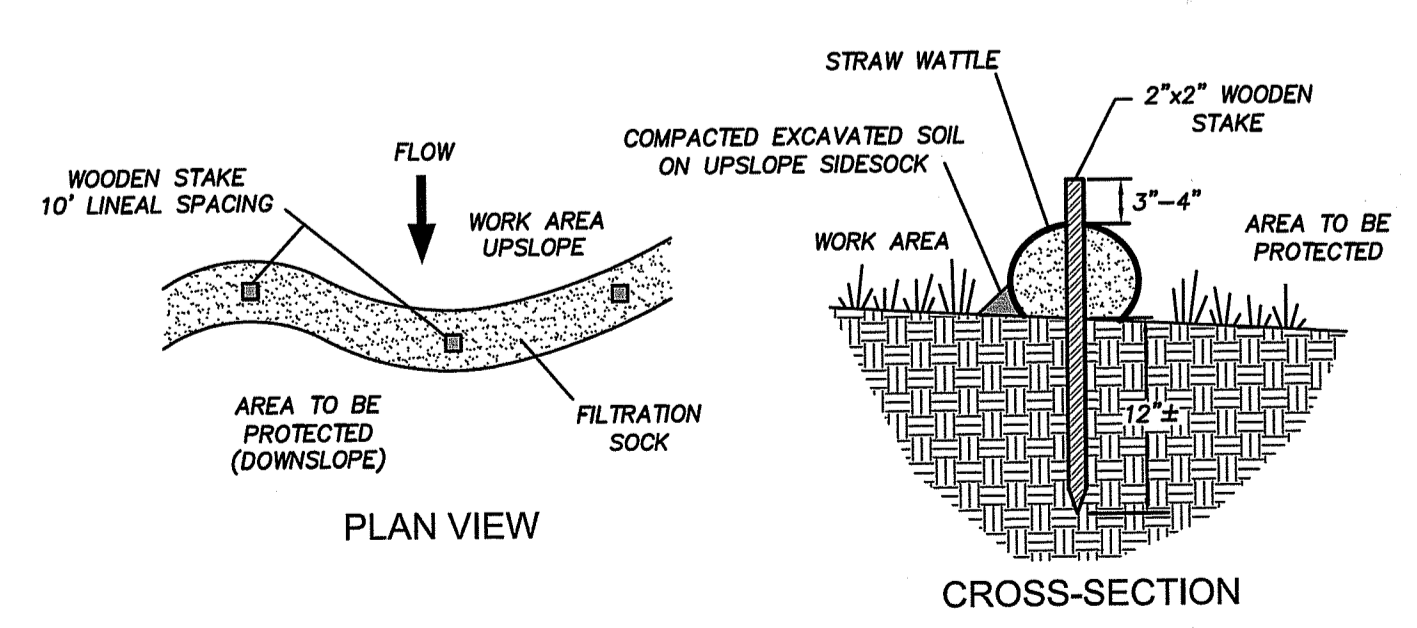
INSITE Engineering Services, LLC
PROFESSIONAL ENGINEERS | LAND SURVEYORS
Precision. Clarity. Certainty.
501 Great Road, Unit 104
North Smithfield, Rhode Island 02896
Phone: (401) 762-2870 Fax: (401) 401-762-2871
Web Address: InsiteEngineers.com

PASCOAG RESERVOIR

AP 209, LOT 143
N/F SEACONKE
WAMPANOAG
& TOWN OF BURRILLVILLE



STRAW WATTLE DETAIL
NOT TO SCALE



ROOF DRAINAGE SYSTEM
NOT TO SCALE

