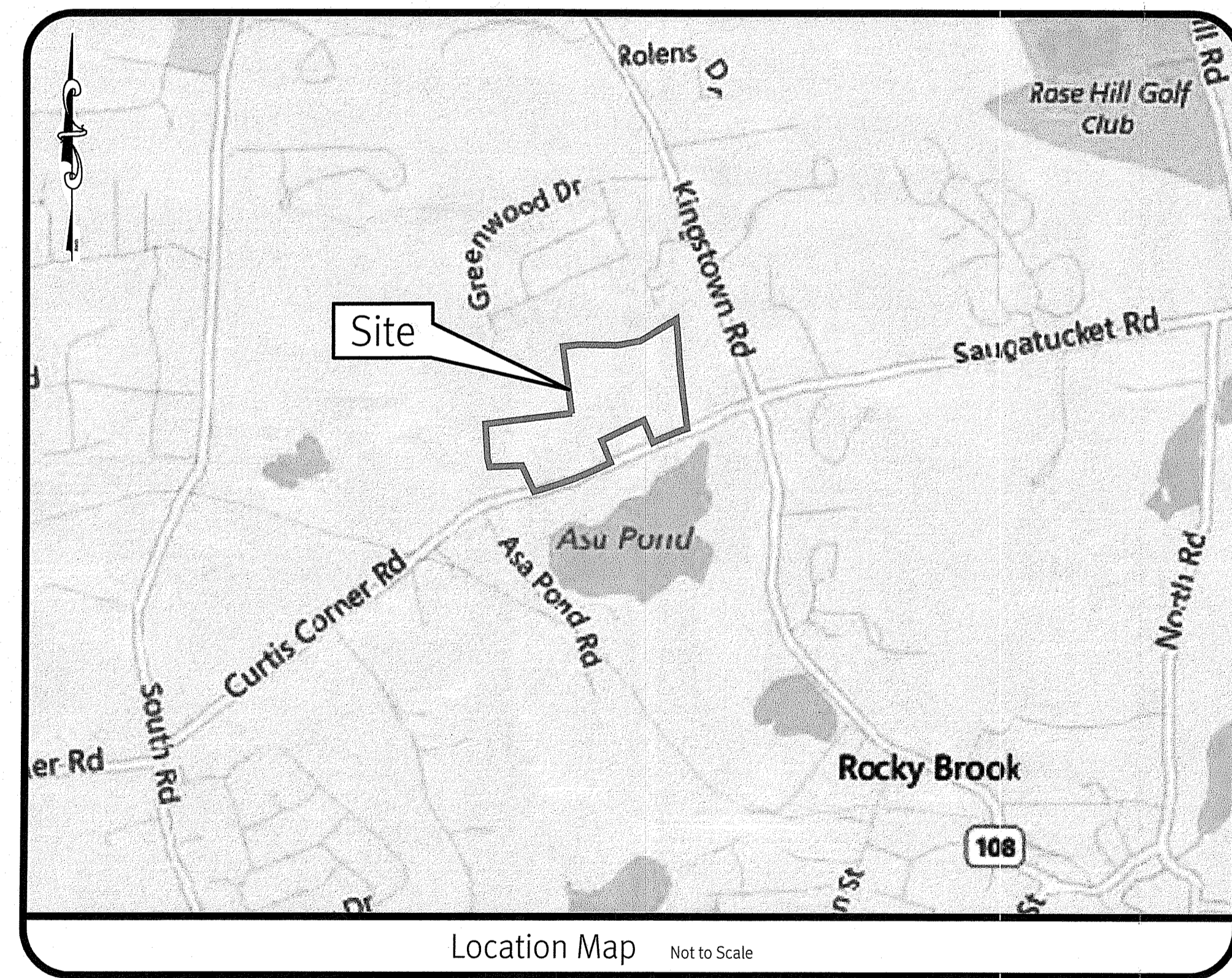


Preliminary Plan Submission

The Village at Curtis Corner

Curtis Corner Road
South Kingstown, Rhode Island

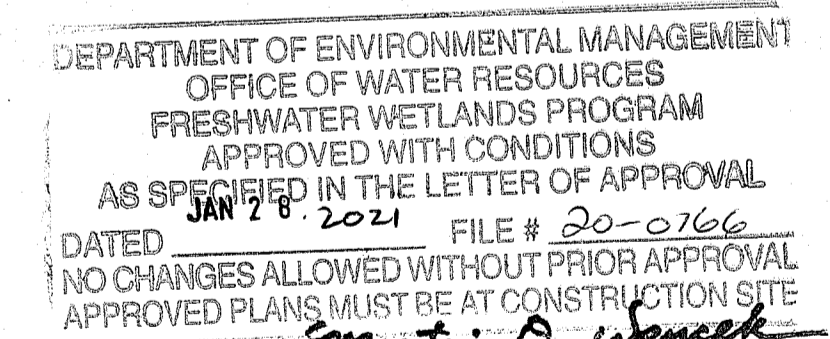
Assessor's Plat 40-4 Lot 55



Location Map Not to Scale

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Office of Water Resources
NOV 16 2020
Environmental Management

SESC / O&M

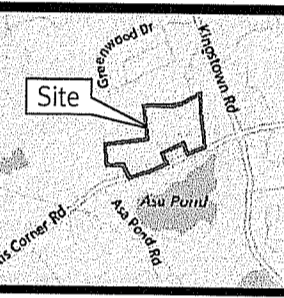
The Soil Erosion and Sediment Control Plan (SESC) and Stormwater Operation and Maintenance Plan (O&M) are required documents with this plan set and must be maintained by the contractor and owner on site.

DiPrete Engineering

Two Stafford Court Cranston, RI 02920
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Boston • Providence • Newport

KEVIN DEMERS
[Signature]
REGISTERED PROFESSIONAL ENGINEER CIVIL



LOCATION MAP N.T.S.

This regulatory submission set shall not be used for construction purposes unless stamped 'issued for Construction' and signed by a DiPrete Engineering representative.

The contractor is responsible for all of the means, methods, safety precautions and requirements, and O&M conformance in the implementation of this plan and design.

No.	Date	Description	Design By: C.H.D.
1	5/16/2020	Preliminary Submissions	
2	01/21/2024	Final Wetlands Submission	

Cover Sheet
The Village at Curtis Corner
Assessor's Plat 40-4, Lot 55
South Kingstown, Rhode Island
Applicant/Owner
SA Builders, LLC
150 Main Street, Narragansett, RI 02882

DC Job No: 0265-053 Copyright 2017 by DiPrete Engineering Associates, Inc.

General Notes:

- 1. THE SITE IS LOCATED ON THE TOWN OF SOUTH KINGSTOWN ASSESSOR'S PLAT 40-4 LOT 55.
2. THE SITE IS APPROXIMATELY 28.06± ACRES AND IS ZONED R-20.
3. THE OWNER OF AP 40-4 LOT 55 IS: 5A BUILDERS, LLC 15 ROBERTSON ROAD NARRAGANSETT, RI 02882
4. THIS SITE IS LOCATED IN FEMA FLOOD ZONES X (SHADED) AND ZONE X (UNSHADED). REFERENCE FEMA FLOOD INSURANCE RATE MAP 44090C0184K MAP REVISED APRIL 3, 2020. (FLOOD PLAN DESCRIPTIONS SHOWN BELOW)
ZONE X (UNSHADED) - THIS SITE IS LOCATED IN FEMA FLOOD ZONE X. ZONE X ARE AREAS WHERE THERE IS MINIMAL FLOODING.
ZONE X (SHADED) - THIS SITE IS LOCATED IN FEMA FLOOD ZONE X. ZONE X ARE AREAS OF 0.2% ANNUAL CHANCE OF FLOOD; AREAS OF 1% ANNUAL CHANCE OF FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.
5. THE OVERALL PERIMETER LINE AS SHOWN ON THE ENGINEERING PLANS DEPICTS THE RESULTS OF A CLASS I BOUNDARY RETRACEMENT SURVEY AS PERFORMED BY DIPRETE ENGINEERING ASSOCIATES, INC. THESE PLANS ARE NOT TO BE CONSTRUED AS A CLASS I BOUNDARY RETRACEMENT SURVEY PLAN AND IS NOT SUITABLE FOR RECORDING AS A CLASS I STANDARD SURVEY PLAN.
6. CONTOUR DATA SHOWN ON THESE PLANS CONFORMS TO A T-2 DATA ACCUMULATION SURVEY (LIMITED) OBTAINED VIA SURVEY BY DIPRETE ENGINEERING ON OCTOBER 17, 2016, SUPPLEMENTED BY A T-4 TOPOGRAPHICAL SURVEY STANDARD AS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS; SAID DATA IS BASED ON ELEVATION INFORMATION THAT WAS COLLECTED WITH AIRBORNE LIDAR TECHNOLOGY FOR THE ENTIRE AREA OF RHODE ISLAND BETWEEN APRIL 22 AND MAY 6, 2011 AS PART OF THE NORTHEAST LIDAR PROJECT. THIS DATA'S POSITIONAL ACCURACY AND RELIABILITY HAS NOT BEEN VERIFIED BY DIPRETE ENGINEERING AND IS SUBJECT TO CHANGES AN AUTHORITY FIELD SURVEY MAY DISCLOSE.
7. ALL WORK PERFORMED HEREIN IS TO BE GOVERNED BY CURRENT EDITIONS OF THE RHODE ISLAND STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION, TOWN OF SOUTH KINGSTOWN STANDARD SPECIFICATIONS AND DETAILS AND SPECIFICATIONS INCLUDED AS PART OF THE DRAWINGS. IN AREAS OF CONFLICT BETWEEN THE DIFFERENT SPECIFICATIONS, THE DESIGN PLANS AND PROJECT SPECIFICATIONS WILL TAKE PRECEDENCE OVER THE GENERAL SPECIFICATIONS AND THE DESIGN ENGINEER WILL VERIFY THE CONSTRUCTION REQUIREMENT. THE CONTRACTOR IS ADVISED TO SUBMIT A REQUEST FOR INFORMATION (RFI) FOR ANY AREAS OF CONFLICT BEFORE COMMITTING TO CONSTRUCTION.
8. THE SITE IS WITHIN A NATURAL HERITAGE AREA (RIDEIM). THE NATURAL HERITAGE AREA IS MAPPED ON THE ENTIRETY OF THE SITE WITH THE EXCEPTION OF THE EXTREME NORTHEAST AREA OF THE SITE, BASED ON THE RIDEM ENVIRONMENTAL RESOURCES MAPS ON THE ARC GIS WEB VIEWER. THE RESOURCES OF STATE CONCERN IN THIS AREA ARE SWAYING RUSH (STATE THREATENED), REVERSED OR RESPINATE BLADDERWORT (STATE CONCERN), AND TRUMPET HONEY SUCKLE (STATE CONCERN). THE RESOURCE RADIUS IS CENTERED ON APPROXIMATELY THE SOUTHERN SHORE OF ASA POND.
9. THE FOLLOWING DOCUMENTS ARE CONSIDERED PART OF THE PROJECT PLANS AND THE CONTRACTOR/ OWNER MUST MAINTAIN THESE DOCUMENTS AS PART OF A FULL PLAN SET:
• SOIL EROSION AND SEDIMENT CONTROL PLAN (SESC). THE SESC CONTAINS THE FOLLOWING:
o EROSION CONTROL MEASURES
o SHORT TERM MAINTENANCE
o ESTABLISHMENT OF VEGETATIVE COVER
o CONSTRUCTION POLLUTION PREVENTION
o SEQUENCE OF CONSTRUCTION
• STORMWATER OPERATION AND MAINTENANCE PLAN (O&M). THE O&M CONTAINS:
o LONG TERM MAINTENANCE
o LONG TERM POLLUTION PREVENTION
10. THIS PLAN SET REFERENCES RIDOT STANDARD DETAILS (DESIGNATED AS RIDOT STD X.X.X.). RIDOT STANDARD DETAILS ARE AVAILABLE FROM RIDOT AND ONLINE AT: HTTP://WWW.DOT.RI.GOV/BUSINESS/CONTRACTORSANDCONSULTANTS.PHP.
11. THE SITE IS TO BE SERVICED BY PUBLIC WATER AND PUBLIC SEWER.
12. PROPOSED RIGHTS OF WAY ARE TO BE 40' WIDE WITH 24' WIDE PAVEMENT (11' TRAVEL LANES AND 1' CAPE COD BERM ON EACH SIDE) AND 4' WIDE CONCRETE SIDEWALK ON ONE SIDE.
13. THE DRAINAGE SYSTEM IS DESIGNED TO MEET THE TOWN OF SOUTH KINGSTOWN SUBDIVISION AND LAND DEVELOPMENT REGULATIONS WITH THE USE OF CATCH BASINS, CULVERTS, AND INFILTRATING BASINS. THE STORMWATER MANAGEMENT SYSTEM MEETS THE RIDEM BEST MANAGEMENT PRACTICES.
14. THE SITE IS PROPOSED TO BE BUILT IN 1 PHASE.
15. SOIL EVALUATIONS WERE COMPLETED BY DIPRETE ENGINEERING ON OCTOBER 17, 2016.
16. WETLANDS FLAGGED BY DIPRETE ENGINEERING AND LOCATED VIA SURVEY ON OCTOBER 17, 2016.
17. ANY PROPRIETARY PRODUCTS REFERENCED IN THIS PLAN SET ARE REPRESENTATIVE OF THE MINIMUM DESIGN REQUIREMENTS FOR THE PURPOSE IT PROPOSES TO SERVE. ALTERNATIVES TO ANY PROPRIETARY PRODUCT MAY BE SUBMITTED TO THE ENGINEER OF RECORD FOR CONSIDERATION, WHICH MUST BE ACCOMPANIED BY APPROPRIATE SPECIFICATION SHEETS/ DESIGN CALCULATIONS THAT DEMONSTRATE THE ALTERNATIVE(S) MEET THE MINIMUM DESIGN PARAMETERS OF THE PRODUCT SHOWN ON THE PLANS. NO ALTERNATIVES MAY BE USED WITHOUT THE WRITTEN APPROVAL OF THE ENGINEER OF RECORD.
18. THIS PLAN SET MAY REFERENCE AND/ OR INCLUDE REPRODUCTIONS OF PROPRIETARY PRODUCTS/ DETAILS BY OTHERS, AND/ OR THEIR ASSOCIATED SPECIFICATIONS. ANY REFERENCED OR REPRODUCED PROPRIETARY PRODUCT OR DETAIL BY OTHERS THAT IS SHOWN ON DIPRETE PLANS IS STRICTLY FOR INFORMATION/ SPECIFICATION PURPOSES ONLY. DIPRETE ENGINEERING DOES NOT WARRANT ANY PROPRIETARY PRODUCTS, DETAILS BY OTHERS OR THEIR RESPECTIVE DESIGNS. IF A DIPRETE ENGINEERING PLAN INCLUDES A PROPRIETARY PRODUCT/ DETAIL BY OTHERS (EITHER EXPLICITLY OR IMPLIED) AND IS STAMPED BY A REGISTERED PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING, SAID STAMP DOES NOT EXTEND TO ANY PORTION OF THE PROPRIETARY PRODUCT/ DETAIL BY OTHERS OR ITS DESIGN.
19. ALL UTILITIES SHALL BE FIELD LOCATED BY THE SURVEYOR DURING CONSTRUCTION AND AS-BUILT DRAWINGS BY A RI PROFESSIONAL ENGINEER SHALL BE ACCURATELY PREPARED PRIOR TO ACCEPTANCE OF THE ROAD. NO PLAN WILL BE ACCEPTED BY DPS THAT DOES NOT ACCURATELY SHOW FIELD VERIFIED INFORMATION.

Soil Information:

(REFERENCE: SOIL MAPPING OBTAINED FROM RIGIS. SOIL GEOGRAPHIC DATA DEVELOPED BY THE RHODE ISLAND SOIL SURVEY PROGRAM IN PARTNERSHIP WITH THE NATIONAL COOPERATIVE SOIL SURVEY)

Table with 2 columns: SOIL NAME, DESCRIPTION. Rows include BmA, BmB, N6B, N6B*, N6B, Rf, SwA, WeB.

NOTE: *PRIME FARMLAND **FARMLAND OF STATEWIDE IMPORTANCE

Soil Erosion and Sedimentation Control Notes:

- 1. THE CONTRACTOR IS RESPONSIBLE FOR ALL SOIL EROSION AND SEDIMENT CONTROL ON SITE WHICH MUST BE MAINTAINED AND MONITORED IN ACCORDANCE WITH THE APPLICABLE REGULATIONS AND AUTHORITY HAVING JURISDICTION. THE CONTRACTOR IS TO NOTIFY THE DESIGN ENGINEER, THE DIRECTOR OF PUBLIC WORKS, THE TOWN ENGINEER, AND RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
2. ALL EROSION CONTROL INCLUDING (BUT NOT LIMITED TO) TEMPORARY SWALES, TEMPORARY SEDIMENT TRAPS, ETC. TO BE INSTALLED PER THE LATEST EDITION OF THE RHODE ISLAND SOIL EROSION AND SEDIMENTATION CONTROL (RISESC) HANDBOOK AND THE SOIL EROSION & SEDIMENTATION CONTROL PLAN(S). NOTE THE SOIL EROSION AND SEDIMENT CONTROL SHOWN ON THESE PLANS ARE THE MINIMUM QUANTITY/ TYPE OF EROSION CONTROL DEVICES AND MATERIALS DEMED REQUIRED BY DIPRETE ENGINEERING TO MEET THE OBJECTIVES OF THE RISESC HANDBOOK, BUT IS CONSIDERED A GUIDE ONLY. ADDITIONAL MEASURES/ ALTERNATE CONFIGURATIONS MAY BE REQUIRED IN ORDER TO MEET THE RISESC HANDBOOK BASED ON FACTORS INCLUDING (BUT NOT LIMITED TO) SITE PARAMETERS, WEATHER, INSPECTIONS AND UNIQUE FEATURES. THE SESC WILL CONTINUE TO EVOLVE THROUGHOUT CONSTRUCTION/PHASES. PURSUANT TO NOTE 1 ABOVE, SESC REMAINS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL THE SITE IS FULLY STABILIZED AND/ OR SESC RESPONSIBILITIES ARE ASSUMED BY THE OWNER IN WRITING.
3. TEMPORARY SWALES ARE TO BE USED TO CONTROL RUNOFF DURING CONSTRUCTION OF THE PROPOSED SITE WORKS. TEMPORARY SWALES TO BE VEGETATED AFTER CONSTRUCTION. EROSION CONTROL MATS ARE TO BE INSTALLED, IF NECESSARY, TO PREVENT EROSION AND SUPPORT VEGETATION AFTER CONSTRUCTION IS COMPLETE AND TRIBUTARY AREAS TO THE SWALES HAVE BEEN STABILIZED. THE TEMPORARY SWALES ARE TO BE CLEARED AND FINAL DESIGN, INCLUDING INSTALLATION OF THE GRASS SWALE TO BE PER THE DESIGN PLANS.
4. ONCE THE SEDIMENT TRAPS ARE NO LONGER REQUIRED AND ALL TRIBUTARY AREAS HAVE BEEN STABILIZED, THE TEMPORARY SEDIMENTATION BASIN TO BE CLEARED AND BROUGHT TO FINAL DESIGN GRADES.
5. INLET PROTECTION IS TO BE INSTALLED ON ALL CATCH BASINS ONCE CONSTRUCTED.
6. FOR SEQUENCE OF CONSTRUCTION, PROJECT PHASING AND CONSTRUCTION PHASING SEE SESC PLAN.
7. CONTRACTOR MAY MODIFY SEQUENCE OF CONSTRUCTION WITH APPROVAL FROM DESIGN ENGINEER AND OWNER.
8. IF CONCRETE TRUCKS ARE WASHED OUT ON SITE, ALL WASHOUT MUST BE COMPLETED IN THE DESIGNATED CONCRETE WASHOUT AREA.

Demolition Notes:

- 1. CONTRACTOR TO OBTAIN ALL FEDERAL, STATE, AND MUNICIPAL APPROVALS PRIOR TO THE START OF CONSTRUCTION.
2. CONTRACTOR TO PERFORM DAILY SWEEPING AT CONSTRUCTION ENTRANCE DURING DEMOLITION AND CONSTRUCTION TO MINIMIZE SEDIMENTS ON EXTERNAL STREETS.
3. ANY EXISTING BUILDING(S) AND PROPERTY PROPOSED TO REMAIN WHICH ARE DAMAGED BY THE CONTRACTOR MUST BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
4. CONTRACTOR IS RESPONSIBLE FOR REMOVING AND LEGALLY DISPOSING (R&D) ALL MATERIALS INDICATED ON THE PLANS UNLESS SPECIFIED OTHERWISE HERE IN. R&D MATERIALS MUST INCLUDE BUT ARE NOT LIMITED TO PAVEMENT, GRAVEL, CATCH BASINS, MANHOLES, GRATES/FRAMES/COVERS, AND ANY EXCESS SOIL THAT IS NOT INCORPORATED INTO THE WORK.
5. IN ADDITION TO THOSE AREAS SPECIFICALLY DESIGNATED ON THE PLANS, ALL DISTURBED AREAS INCLUDING THE CONTRACTOR'S STOCKPILE AND STAGING AREAS WITHIN THE LIMIT OF WORK MUST BE RESTORED TO MATCH THE DESIGN PLANS.
6. CONTRACTOR MUST DOCUMENT LOCATION OF ALL SUBSURFACE UTILITIES REMAINING IN PLACE AFTER DEMOLITION (ACTIVE AND INACTIVE/ABANDONED). LOCATION MUST BE DOCUMENTED BY FIELD SURVEY OR SWING TIES. COPIES OF LOCATION DOCUMENTATION MUST BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF DEMOLITION AND PRIOR TO START OF NEW CONSTRUCTION. A MARKER MUST BE INSTALLED TO FINISH GROUND AT ALL INSTALLED CAPS/PLUGS. THE MARKER CAN BE A POST IN CONSTRUCTION AREAS OR PAINTED ON A PERMANENT SURFACE.

Traffic Notes:

- 1. ALL TRAFFIC CONTROL MUST CONFORM TO THE FEDERAL HIGHWAY ADMINISTRATION (FHWA) MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) CURRENT EDITION.
2. DURING CONSTRUCTION, TRAFFIC CONES ARE TO BE USED FOR SEPARATION OF ACTIVE TRAFFIC FROM WORK ZONE PER MUTCD REQUIREMENTS.
3. DURING CONSTRUCTION FLAGGERS MUST BE EMPLOYED TO ENSURE SAFETY FOR INTERACTION OF CONSTRUCTION VEHICLES AND ACTIVE TRAFFIC.
4. ALL SIGNS, FLAGGERS, TRAFFIC CONTROL DEVICES, AND TEMPORARY TRAFFIC ZONE ACTIVITIES MUST MEET THE REQUIREMENTS OF THE MANUAL ON UNIFORM TRAFFIC (MUTCD) LATEST EDITION AND SUBSEQUENT ADDENDA.
5. TEMPORARY CONSTRUCTION SIGNS MUST BE MOUNTED ON TOWN-APPROVED SUPPORTS AND MUST BE REMOVED OR COVERED WHEN NOT APPLICABLE.

As-Built Notes:

ALL COMPONENTS OF THE DRAINAGE, SEWER, AND WATER SYSTEMS MUST BE AS-BUILT PRIOR TO COVERING. ENGINEER TO BE NOTIFIED PRIOR TO COVERING TO SURVEY AS-BUILT LOCATIONS. ENGINEER WILL NOT ACCEPT FIELD MEASUREMENTS FROM THE SITE CONTRACTOR.

Layout and Materials:

- 1. DIMENSIONS ARE FROM THE FACE OF CURB, FACE OF BUILDING, FACE OF WALL, AND CENTER LINE OF PAVEMENT MARKINGS, UNLESS OTHERWISE NOTED.
2. CURBING TO BE BITUMINOUS BERM OR AS LABELED ON THE PLANS.
3. SIDEWALK TO BE CONCRETE OR AS LABELED ON THE PLANS.
4. SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THEIR ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR MUST REFER TO THE DETAIL SHEET DIMENSIONS, MANUFACTURERS' LITERATURE, SHOP DRAWINGS AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.
5. SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND DETAILS CONTIGUOUS TO THE BUILDING, INCLUDING SIDEWALKS, RAMPS, BUILDING ENTRANCES, STAIRWAYS, UTILITY PENETRATIONS, CONCRETE DOOR PADS, COMPACTOR PAD, LOADING DOCKS, BOLLARDS, ETC.
6. PROPOSED BOUNDS AND ANY EXISTING PROPERTY LINE MONUMENTATION DISTURBED DURING CONSTRUCTION MUST BE SET OR RESET BY A PROFESSIONAL LICENSED SURVEYOR.
7. CONTRACTOR MUST NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS, AND DATA FILES THAT ARE OBTAINED FROM THE DESIGNERS. CONTRACTOR MUST VERIFY LOCATION OF PROJECT FEATURES IN ACCORDANCE WITH THE STAMPED PAPER COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.

Grading and Utility Notes:

- 1. CONSTRUCTION TO COMMENCE FALL 2020 OR UPON RECEIPT OF ALL NECESSARY APPROVALS.
2. THE CONTRACTOR MUST COORDINATE WITH ALL OF THE APPROPRIATE UTILITY COMPANIES FOR AGREEMENTS TO SERVICE THE PROPOSED BUILDING. THIS MUST BE DONE PRIOR TO CONSTRUCTION. NO REPRESENTATIONS ARE MADE BY DIPRETE ENGINEERING THAT UTILITY SERVICE IS AVAILABLE.
3. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING FINISH GRADING AND DRAINAGE AROUND THE BUILDING TO ENSURE SURFACE WATER AND/OR GROUNDWATER ARE DIRECTED AWAY FROM THE STRUCTURE.
4. PRIOR TO START OF CONSTRUCTION, CONTRACTOR MUST VERIFY EXISTING PAVEMENT ELEVATIONS AT INTERFACE WITH PROPOSED PAVEMENTS, AND EXISTING GROUND ELEVATIONS ADJACENT TO DRAINAGE OUTLETS TO ASSURE PROPER TRANSITIONS BETWEEN EXISTING AND PROPOSED FACILITIES. CONTRACTOR MUST NOTIFY DESIGN ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
5. ALL PROPOSED UNDERGROUND UTILITIES SERVING THE SITE AND BUILDINGS TO BE COORDINATED WITH OWNER, ARCHITECT, AND ENGINEER PRIOR TO INSTALLATION.
6. ALL RETAINING WALLS AND STEEP SLOPES ARE SUBJECT TO FINAL STRUCTURAL DESIGN. DIPRETE ENGINEERING IS NOT PROVIDING THE STRUCTURAL DESIGN OF THESE ITEMS. ALL WALLS AND STEEP SLOPES ARE TO BE DESIGNED AND BUILT UNDER THE DIRECTION OF A RHODE ISLAND LICENSED PROFESSIONAL ENGINEER SUITABLY QUALIFIED IN GEOTECHNICAL ENGINEERING AND CERTIFIED TO THE OWNER PRIOR TO THE COMPLETION OF THE PROJECT. SHOP DRAWINGS TO BE SUBMITTED PRIOR TO CONSTRUCTION. FINAL STRUCTURAL DESIGN MUST INCORPORATE THE INTENT OF THE GRADING SHOWN ON THESE PLANS AND ALL WORK MUST BE WITHIN THE LIMIT OF DISTURBANCE SHOWN ON THE PLANS.
7. ALL CUT AND FILL AREAS ARE TO BE DONE UNDER THE DIRECTION OF A PROFESSIONAL GEOTECHNICAL ENGINEER WITH TESTING AND CERTIFICATION TO BE APPLIED TO THE DIRECTION OF A RHODE ISLAND LICENSED PROFESSIONAL ENGINEER. DIPRETE ENGINEERING IS NOT PROVIDING THE FILL SPECIFICATION, GEOTECHNICAL ENGINEERING, STRUCTURAL ENGINEERING SERVICES, OR SUPERVISION AS PART OF THESE DRAWINGS.
8. NO STOCKPILING OF MATERIAL TO BE LOCATED IN THE RIGHT OF WAY AND NO OPEN TRENCHES ARE TO BE LEFT OVERNIGHT.
9. ALL LOAM IN DISTURBED AREAS TO BE STOCKPILED FOR FUTURE USE.
10. ALL EXCESS SOIL, TREES, ROCKS, BOULDERS, AND OTHER REFUSE, MUST BE DISCARDED OFF SITE IN AN ACCEPTABLE MANNER AT AN APPROVED LOCATION. STUMPS MUST BE GROUND ON SITE OR REMOVED.
11. THE SITE WILL HAVE 3" BITUMINOUS BERM. SITE GRADING/CONTOURS SHOWN ON THE PLANS DO NOT NECESSARILY REFLECT THE APPROPRIATE BERM REVEAL. CONTRACTOR TO INSTALL CURBING WITH APPROPRIATE REVEAL UNLESS OTHERWISE NOTED.
12. NO STUMP DUMPS ARE PROPOSED ON SITE.

DRAINAGE

- ALL DRAINAGE PIPING WITHIN THE (FUTURE) TOWN RIGHT OF WAY SHALL BE REINFORCED CONCRETE (RCP).
DRAINAGE STRUCTURES TO BE AS FOLLOWS (UNLESS OTHERWISE NOTED ON PLANS):
• CATCH BASINS ALONG CURBING TO BE RIDOT STD. 4.4.0, TYPE F FRAME, 4' DIAMETER WITH APRON STONE.
• CATCH BASINS NOT ALONG CURBING TO BE RIDOT STD 4.4.0, 4' DIAMETER
• CATCH BASINS TO HAVE 3" SUMP WITHOUT WEEPHOLES.
• SINGLE FRAME CATCHBASIN GRATES TO BE RIDOT STD. 6.3.2
• DOUBLE FRAME CATCHBASIN GRATES TO BE RIDOT STD. 6.3.2
• HIGH CAPACITY CATCHBASIN GRATES TO BE RIDOT STD 6.3.4 AND INSTALLED ANYWHERE GRADES ARE 6% AND STEEPER
• MANHOLES TO BE RIDOT STD. 4.2.0, 4.2.1 OR 4.2.2 AS REQUIRED
• DRAINAGE MANHOLE COVERS TO BE RIDOT STD 6.2.1
• DROP INLETS TO BE RIDOT STD. 4.5.0, 4.5.1 OR 4.5.2.
• APRON STONE, WHERE REQUIRED, TO BE RIDOT STD 7.1.7 OR 7.1.8.
• HEADWALLS TO BE RIDOT STD 2.1.0.

ALL DRAINAGE STRUCTURES MUST BE WATERTIGHT.

DRAINAGE CONNECTIONS FROM ALL DOWNSPOUTS (DS) ARE SHOWN FOR SCHEMATIC PURPOSES ONLY. THE LEVEL OF DETAIL SHOWN DOES NOT INCLUDE ALL JOINTS THAT MAY BE REQUIRED FOR CONSTRUCTION. FITTINGS AND PIPE SLOPES TO THE INTO MAIN TRUNK LINE OR DRYWELLS TO BE FIELD FIT BY CONTRACTOR.

SANITARY SEWER

ALL SANITARY SEWER PIPING TO BE SDR 35 UNLESS NOTED OTHERWISE ON THE PLANS OR IN THE SPECIFICATIONS. ALL SEWER IMPROVEMENTS MUST COMPLY WITH THE SOUTH KINGSTOWN WASTEWATER ORDINANCE AND ANY APPLICABLE AUTHORITY HAVING JURISDICTION, INCLUDING (BUT NOT LIMITED TO) MATERIALS, DIMENSIONS AND ACCESS COVERS. CONTRACTOR MUST SUBMIT SHOP DRAWINGS FOR APPROVAL BY ENGINEER OF RECORD PRIOR TO CONSTRUCTION.

WATER

ALL WATER MAINS TO BE CONCRETE LINED DUCTILE IRON PIPE (CLDIP). ALL WATER MAIN IMPROVEMENTS MUST COMPLY WITH THE SOUTH KINGSTOWN WATER ORDINANCE AND ANY APPLICABLE AUTHORITY HAVING JURISDICTION, INCLUDING (BUT NOT LIMITED TO) MATERIALS, DIMENSIONS AND ACCESS COVERS. CONTRACTOR TO PROVIDE SHOP DRAWINGS AND SUBMITTALS TO THE ENGINEER OF RECORD FOR APPROVAL FOR ALL WATER IMPROVEMENTS AND APPURTENANCES INCLUDING BUT NOT LIMITED TO PIPES, VALVES, FITTINGS, HEAT ENCLOSURES, AND BACKFLOWS. ALL COMPONENTS OF THE WATER SYSTEM TO BE ASBUILT PER THE SOUTH KINGSTOWN WATER ORDINANCE. ALL COMPONENTS OF THE WATER SYSTEM TO BE INSPECTED BY SUEZ WATER. CONTRACTOR TO COORDINATE ALL IMPROVEMENTS WITH SUEZ WATER TO ENSURE INSPECTOR IS ON SITE.

IN THE CASE OF ANY NEW HYDRANT INSTALLED IN OR NEXT TO AN EXISTING SIDEWALK, THE CONTRACTOR MUST INCREASE THE WIDTH OF THE SIDEWALK, AS NECESSARY, TO MAINTAIN A MINIMUM OF 3'-0" CLEAR WIDTH FROM THE OUTERMOST COMPONENTS OF THE HYDRANT TO THE EDGE OF THE SIDEWALK. THE 3'-0" SIDEWALK WIDTH IS REQUIRED ONLY ON ONE SIDE OF THE HYDRANT TO PROVIDE A CLEAR PATH ON THE SIDEWALK.

ELECTRIC/TELECOM/GAS

PROPOSED GAS, ELECTRIC, CABLE AND DATA UTILITIES ARE SHOWN SCHEMATICALLY AND ARE PROPOSED TO BE UNDERGROUND. OWNER & CONTRACTOR TO COORDINATE FINAL DESIGN WITH APPROPRIATE UTILITY COMPANIES. ALL WORK TO BE IN ACCORDANCE WITH EACH UTILITY COMPANY'S STANDARDS AND DETAILS AS WELL AS LOCAL AND FEDERAL REGULATIONS. THIS INCLUDES BUT IS NOT LIMITED TO POLES, TRANSFORMERS, PULL BOXES, CONCRETE PADS, CONCRETE ENCASEMENTS AND CONDUITS. CONNECTION POINTS FOR ELECTRIC AND TELECOM UTILITIES, AT THE EXISTING INFRASTRUCTURE, ARE CURRENTLY SHOWN AS UNDERGROUND UTILITIES. THESE UTILITIES MAY BE UNDERGROUND OR OVERHEAD AND WILL BE COORDINATED WITH NATIONAL GRID PRIOR TO CONSTRUCTION.

SITE LIGHTING

SITE LIGHTING (TEMPORARY AND PERMANENT) MUST BE DIRECTED AWAY FROM AND SHIELDED FROM ENVIRONMENTALLY SENSITIVE AREAS AND ABUTTING LANES. EXACT LOCATIONS OF LIGHT POLE TO BE COORDINATED WITH OTHER UTILITIES AND TO BE LOCATED WITHIN THE STREET RIGHTS OF WAY. FINAL LIGHTING AND CONDUIT LOCATIONS BY OTHERS.

Abbreviations Legend

Table with 3 columns: Abbreviation, Description, Abbreviation, Description. Includes ADA, AHJ, AP, BC, BT, BIT, BIO, BS, BW, CB, (C), CL, (CA), CLDIP, CO, CONC, (D), DCB, DI, DIP, DMH, DP, ELEV, EOP, ESC, EX, FES, FFE, GS, GWT, HW, HC, HDPE, ID, INV, IP, LF, LOD, LP, (M), N/F.

Americans with Disabilities Act Notes:

- 1. ALL IMPROVEMENTS MUST COMPLY WITH THE "AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG)" BY THE DEPARTMENT OF JUSTICE (CURRENT EDITION).
2. MAXIMUM RUNNING SLOPE ALONG ALL ACCESSIBLE PATHS OF TRAVEL MUST BE 4.5% (0.045 FT/FT), AND MAXIMUM CROSS SLOPE ACROSS ALL ACCESSIBLE PATHS OF TRAVEL MUST BE 1.5% (0.015 FT/FT).
3. ADA PARKING SPACES AND LOADING AREAS: THE STEEPEST SLOPE OF THE SPACE, MEASURED IN ANY DIRECTION (INCLUDING DIAGONAL), MUST BE LESS THAN OR EQUAL TO 2% (0.02 FT/FT). DIPRETE ENGINEERING GENERALLY RECOMMENDS A MAXIMUM OF 1.4% (0.014 FT/FT) BE USED FOR BOTH RUNNING AND CROSS SLOPES IN ORDER TO COMPLY.
4. NOTWITHSTANDING THE NOTES LISTED ABOVE, TOWN OR STATE-SPECIFIC STANDARDS MAY BE MORE STRINGENT AND OVERRULE. IT IS THE RESPONSIBILITY OF THE USER OF THIS PLAN SET TO MAINTAIN COMPLIANCE WITH THE CONTROLLING STANDARD.
5. NOTE THAT THE GRADING/ PLAN VIEWS AND DETAILS CONTAINED WITHIN THIS PLAN SET MAY NOT SHOW THE DETAIL NECESSARY TO CONSTRUCT WALKWAYS, RAMPS AND SPACES TO COMPLY WITH THE ABOVE REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE THE LEVEL OF CARE NECESSARY TO BE CERTAIN THAT THE CONSTRUCTED PRODUCT MEETS ADA/ CONTROLLING STANDARDS. IN THE EVENT OF ANY NON COMPLIANCE THE CONTRACTOR MUST NOTIFY THE DESIGNER BEFORE CONSTRUCTION FOR ADVICE IN FINDING A RESOLUTION.

Site Callouts Legend

- (7.1.0) RIDOT STD PRECAST CONCRETE CURB
(7.1.2) RIDOT STD 6'-0" PRECAST CONCRETE TRANSITION CURB
(4.3.1.0) RIDOT STD CEMENT CONCRETE SIDEWALK
(12W) STOP LINE (REFERENCE MUTCD SECTION 3B.16)

Existing Legend

Table with 3 columns: Symbol, Description, Symbol, Description. Includes PROPERTY LINE, ASSESSOR'S LINE, BUILDING, BRUSHLINE, TREE LINE, GUARDRAIL, FENCE, RETAINING WALL, STONE WALL, MINOR CONTOUR LINE, MAJOR CONTOUR LINE, WATER LINE, SEWER LINE, SEWER FORCE MAIN, GAS LINE, ELECTRIC LINE, OVERHEAD WIRES, DRAINAGE LINE, SOILS LINES, 50' PERIMETER WETLAND, 100' RIVERBANK WETLAND, 200' RIVERBANK WETLAND, FEMA BOUNDARY, STREAM, WETLAND LINE & FLAG, STATE HIGHWAY LINE, STATE FREEWAY LINE.

Proposed Legend

Table with 3 columns: Symbol, Description, Symbol, Description. Includes PROPERTY LINE, BUILDING SETBACKS, CHAINLINK FENCE, STONE OR LANDSCAPE DIVIDER, RETAINING WALL, MINOR CONTOUR LINE, MAJOR CONTOUR LINE, SPOT ELEVATION, EDGE OF PAVEMENT, BITUMINOUS BERM, CONCRETE CURB, BUILDING FOOTPRINT, BUILDING OVERHANG, ASPHALT PAVEMENT, HEAVY DUTY ASPHALT PAVEMENT, HEAVY DUTY CONCRETE, CONCRETE, ASPHALT SIDEWALK, SAWCUT LINE, SIGN, SINGLE LIGHT, DOUBLE LIGHT, OVERHANGING LIGHT, ACCESSIBLE PARKING SPACE SYMBOLS, BUILDING INGRESS/EGRESS, DRAINAGE LINE, PERFORATED SUBDRAIN, SWALE, SEWER FORCE MAIN, GAS LINE, WATER LINE, HYDRANT ASSEMBLY, WATER SHUT OFF, WATER VALVE, THRUST BLOCK, SEWER LINE, OVERHEAD WIRE, ELECTRIC, TELEPHONE, CABLE LINE, LIMIT OF DISTURBANCE/LIMIT OF CLEARING, SEDIMENTATION BARRIER, SILT FENCE, UNDERGROUND INFILTRATION OUTLINE, POND ACCESS, RIPRAP, SAND FILTER, BIO RETENTION, CATCH BASIN, DOUBLE CATCH BASIN, MANHOLE, FLARED END SECTION, HEADWALL, CLEAN CHECK VALVE (SEWER), SEWER CLEANOUT.

Utility Note:

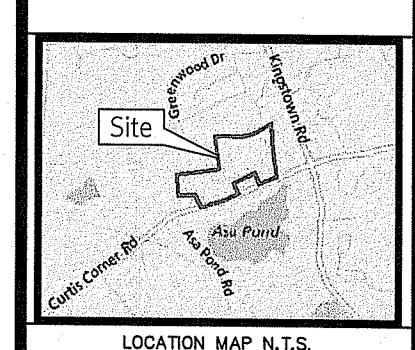
ALL UNDERGROUND UTILITIES SHOWN ON THESE PLANS WERE PROVIDED BY OTHERS AND ARE APPROXIMATE ONLY. LOCATIONS MUST BE DETERMINED IN THE FIELD BEFORE EXCAVATION, BLASTING, UTILITY INSTALLATION, BACKFILLING, GRADING, PAVEMENT RESTORATION, AND ALL OTHER SITE WORK. ALL UTILITY COMPANIES, PUBLIC AND PRIVATE, MUST BE CONTACTED INCLUDING THOSE IN CONTRAST OF UTILITIES NOT SHOWN ON THESE DOCUMENTS. CONTACT DIG SAFE A MINIMUM OF 72 WORKING HOURS PRIOR TO ANY CONSTRUCTION AT 811. DIG SAFE IS RESPONSIBLE FOR CONTACTING UTILITY COMPANIES. DIG SAFE MEMBER UTILITY COMPANIES ARE RESPONSIBLE TO MARK ONLY THE FACILITIES THAT THEY OWN OR MAINTAIN. NON DIG SAFE MEMBER COMPANIES ARE NOT NOTIFIED BY DIG SAFE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INVESTIGATE AND NOTIFY IF ANY PRIVATELY OWNED OR NON DIG SAFE MEMBER UTILITIES ARE IN THE AREA.

PER THE CODE OF FEDERAL REGULATIONS - TITLE 29, PART 1926 IT IS THE SITE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ACCURATE UNDERGROUND UTILITY LINE LOCATIONS FROM THE UTILITY COMPANIES, UTILITY OWNERS AND, OR VIA UNDERGROUND UTILITY LOCATION EQUIPMENT AS NEEDED TO ESTABLISH ACCURATE LOCATIONS PRIOR TO ANY EXCAVATION. THE USE OF PROFESSIONAL UTILITY LOCATING COMPANIES PRIOR TO ANY EXCAVATION IS RECOMMENDED.

DIPRETE ENGINEERING IS NOT A PROFESSIONAL UTILITY LOCATION COMPANY, AND IS NOT RESPONSIBLE FOR UNDERGROUND UTILITIES, DEPICED OR NOT, EITHER IN SERVICE OR ABANDONED. ANY SIZE LOCATIONS EXISTENCE, OR LACK OF EXISTENCE OF UTILITIES SHOWN ON THESE PLANS SHOULD BE CONSIDERED APPROXIMATE UNTIL VERIFIED BY A PROFESSIONAL UTILITY LOCATION COMPANY. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED.

DiPrete Engineering logo and contact information: Two Stafford Court Cranston, RI 02909, tel: 401-943-1000 fax: 401-464-6066 www.diprete-eng.com

KEVIN DEMERS REGISTERED PROFESSIONAL ENGINEER CIVIL stamp



This regulatory submission set shall not be used for construction purposes unless stamped, licensed for construction and signed by a DiPrete Engineering representative. The contractor is responsible for all of the means, methods, safety precautions and requirements, and OSHA compliance in the implementation of this plan and design.

Table with 4 columns: No., Date, Description, Drawn By: J.M.F., Design By: C.H.D. Includes entries for Preliminary Submittal, Final Plan/Sheet/Variant Submission, and As-Built.

General Notes And Legend The Village at Curtis Corner 5A Builders, LLC logo and address: 5A Builders, LLC 220 Knowlseyway Extension Narragansett, RI 02882

General Notes

- THE PARCEL IS FOUND ON ASSESSOR'S PLAT 40-4, LOT 55 IN THE TOWN OF SOUTH KINGSTOWN, WASHINGTON COUNTY, RHODE ISLAND.
- THE OWNER PER DEED BOOK 1680, PAGE 270 IS SA BUILDERS, LLC.
- THE PARCEL IS LOCATED IN ZONE X & X SHADED PER FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP 440090184J, DATED OCTOBER 16, 2013.
- THE PARCEL IS ZONED R20 PER THE ASSESSOR'S ONLINE DATABASE. PLEASE CONTACT THE ZONING DEPARTMENT FOR ANY ADDITIONAL INFORMATION OR FOR A CERTIFICATE OF ZONING.
- THERE WERE NO CEMETRIES, GRAVE SITES AND OR BURIAL GROUNDS OBSERVED WITHIN THE LIMITS OF THE SURVEY.
- FIELD SURVEY PERFORMED BY DIPRETE ENGINEERING ON OCTOBER 17, 2018. THIS PLAN REFLECTS ON THE GROUND CONDITIONS AS OF THAT DATE.
- ALL UNDERGROUND UTILITIES SHOWN ON THIS PLAN HAVE BEEN LOCATED FROM FIELD SURVEY OBSERVATIONS ONLY. DIPRETE ENGINEERING IS NOT RESPONSIBLE FOR MISSING UNDERGROUND UTILITIES, EITHER IN SERVICE OR ABANDONED, NOT OBSERVED AT THE TIME OF THE SURVEY. (PLEASE CONTACT DISSAFE 72 WORKING HOURS PRIOR TO ANY CONSTRUCTION AT 1-888-344-7233).
- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT. DIPRETE ENGINEERING IS NOT RESPONSIBLE FOR ANY UNKNOWN OR UNRECORDED EASEMENTS, DEEDS OR CLAIMS THAT A TITLE REPORT WOULD DISCLOSE.
- THIS PARCEL IS LOCATED WITHIN A TMDL WATERSHED FOR FECAL COLIFORM ASSOCIATED WITH ROCKY BROOK AND TRIBUTARIES, AS IDENTIFIED BY THE RIDEM ENVIRONMENTAL RESOURCE MAP.
- THE SITE IS WITHIN A: NATIONAL HERITAGE AREA (RIDEM)
- THE SITE IS NOT WITHIN A: GROUNDWATER PROTECTION AREA (RIDEM) NARROW RIVER SPECIAL AREA MANAGEMENT PLAN (CRMC) SALT PONDS SPECIAL AREA MANAGEMENT PLAN (CRMC) GROUNDWATER PROTECTION OVERLAY DISTRICT (TOWN) OWTS CRITICAL RESOURCE AREA (RIDEM) DRINKING WATER SUPPLY WATERSHED (RIDEM) TMDL WATERSHED (RIDEM/TOWN)
- THE SUBDIVISION PARCEL AND ANY BUILDINGS WITHIN THE PARCEL ARE NOT LISTED ON THE NATIONAL REGISTER OF HISTORIC PLACES.
- THERE IS NO ACTIVE AGRICULTURAL USE PRESENT ON THE SITE.

Soil Information:

(REFERENCE: SOIL MAPPING OBTAINED FROM RIGIS. SOIL GEOGRAPHIC DATA DEVELOPED BY THE RHODE ISLAND SOIL SURVEY PROGRAM IN PARTNERSHIP WITH THE NATIONAL COOPERATIVE SOIL SURVEY)

SOIL NAME	DESCRIPTION
BmA*	BRIDGEHAMPTON SILT LOAM, TILL SUBSTRATUM, 0 TO 3 PERCENT SLOPES
BmB**	BRIDGEHAMPTON SILT LOAM, TILL SUBSTRATUM, 3 TO 8 PERCENT SLOPES
NbB*	NARRAGANSETT SILT LOAM, 3 TO 8 PERCENT SLOPES
NbB	NARRAGANSETT VERY STONY SILT LOAM, 0 TO 8 PERCENT SLOPES
Rf	RIDGEBURY, WHITMAN, AND LEICESTER EXTREMELY STONY FINE SANDY
SwA	SWANSEA MUCK
WcB	WAPPING VERY STONY SILT LOAM, 0 TO 8 PERCENT SLOPES

NOTE: *PRIME FARMLAND
**FARMLAND OF STATEWIDE IMPORTANCE

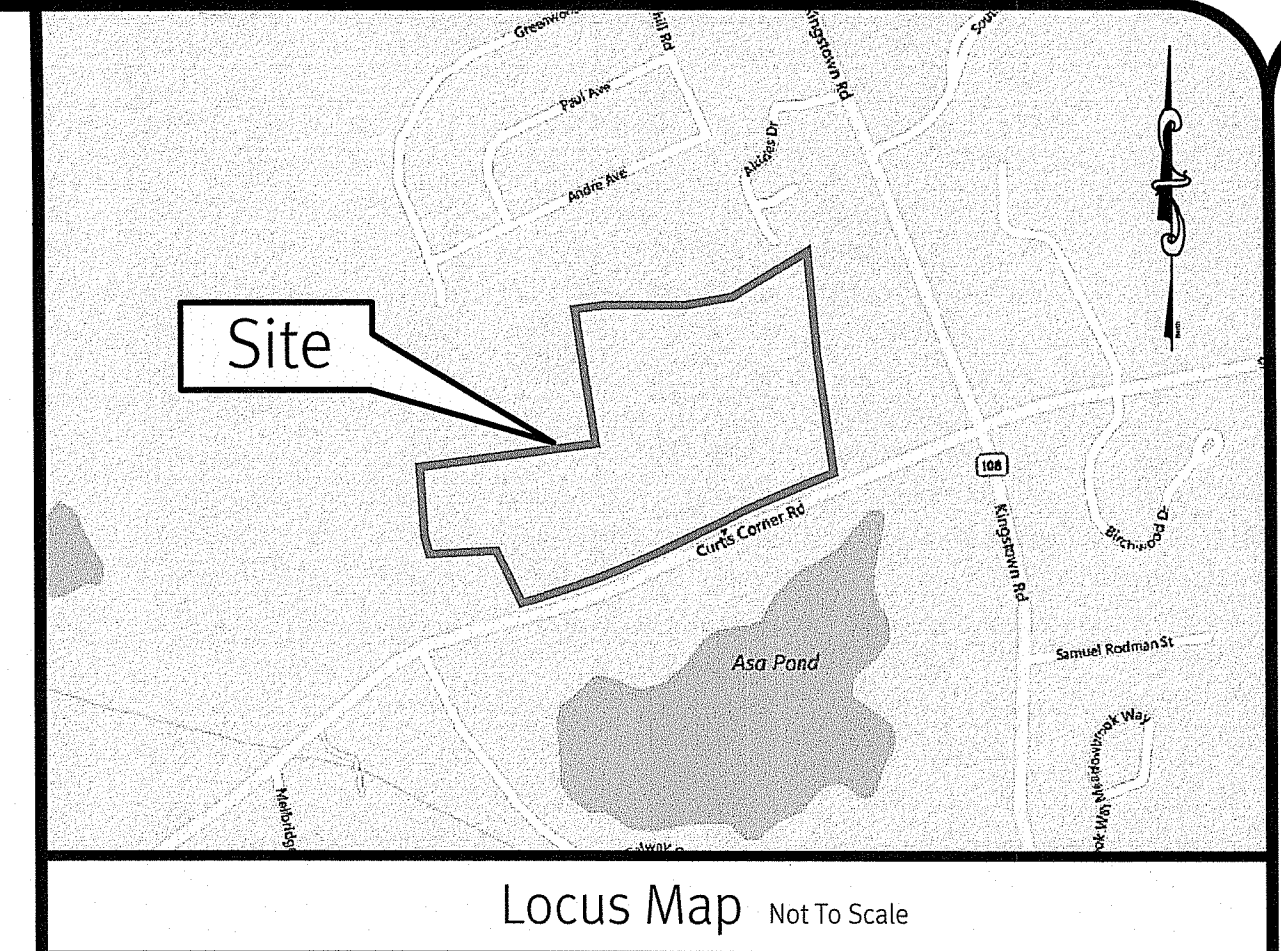
Plan References:

- "PLAT OF LAND IN SOUTH KINGSTOWN, RHODE ISLAND SURVEYED FOR ESTATE OF SAMUEL A. RODMAN" SCALE 1"=100' DATED FEBRUARY 24, 1950 PLAN BY: LEON L. HOLLAND.
- "SECTION FIVE, ROLLING ACRES, TOWN OF SOUTH KINGSTOWN, R.I., PROPERTY OF BOISVERTS AND FORTIN REALTY CO." SCALE: 1"=50' DATED: APRIL 1973, FILED: MAY 1, 1973. RECORDED IN TOWN OF SOUTH KINGSTOWN LAND EVIDENCE RECORDS IN BOOK 16, PAGE 1398.
- "PLAT OF LAND NEAR CURTIS CORNER KNOWN AS LEWIS P. DIMON PROPERTY" SCALE 1"=160', RECORDED IN TOWN OF SOUTH KINGSTOWN LAND EVIDENCE RECORDS IN PLAT BOOK 14, PAGE 1051.
- "PLAN SHOWING LAND OF BOISVERT & FORTIN REALTY CO. SOUTH KINGSTOWN, RHODE ISLAND" PLAN BY W&W LAND SURVEYORS INC. SCALE: 1"=50' DATED: AUGUST 1981. RECORDED IN TOWN OF SOUTH KINGSTOWN LAND EVIDENCE RECORDS IN PLAT BOOK 17, PAGE 1587.
- "ADMINISTRATIVE SUBDIVISION FOR AP 40-1 LOTS 3, 125 & 126 KINGSTOWN ROAD (ROUTE 108) IN SOUTH KINGSTOWN, RHODE ISLAND" OWNED BY SOUTH SHORE MENTAL HEALTH CENTER, INC. BY: COMMONWEALTH ENGINEERS & CONSULTANTS, INC. SCALE 1"=30' REVISED: MAY 25, 2010 RECORDED IN TOWN OF SOUTH KINGSTOWN LAND EVIDENCE RECORDS IN PLAT BOOK C2010, PAGE 31.
- "FINAL PLAN OPEN SPACE USE PLAN ROLLING ACRES SECTION 7 A.P. 40-1, LOT 2 SOUTH KINGSTOWN, RHODE ISLAND" OWNER BOISVERT & FORTIN REALTY COMPANY. BY: ENVIRONMENTAL PLANNING & SURVEYING, INC. REVISED: DECEMBER 14, 1999 RECORDED IN TOWN OF SOUTH KINGSTOWN LAND EVIDENCE RECORDS IN PLAT BOOK C2000, PAGE 60.
- "FINAL PLAN DEFINITIVE PLAN FOR ROLLING ACRES SECTION 7 A.P. 40-1, LOT 2 SOUTH KINGSTOWN, RHODE ISLAND" OWNER BOISVERT & FORTIN REALTY COMPANY. BY: ENVIRONMENTAL PLANNING & SURVEYING, INC. REVISED: MARCH 23, 2000 RECORDED IN TOWN OF SOUTH KINGSTOWN LAND EVIDENCE RECORDS IN PLAT BOOK C2000, PAGE 59.
- "RECORD PLAN, CURTIS CORNER ROAD MINOR SUBDIVISION", APPLICANT/OWNER DAVID L. RODMAN. BY: DIPRETE ENGINEERING, SCALE 1" = 80', REVISED 5-14-2018. RECORDED IN TOWN OF SOUTH KINGSTOWN LAND EVIDENCE RECORDS IN MAP 2018-31.

Datum Note:

1. ELEVATIONS SHOWN HEREON, IN U.S. SURVEY FEET, ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88), AS DETERMINED BY DIPRETE ENGINEERING USING REAL TIME KINEMATIC G.P.S. OBSERVATIONS.

Kindly be advised that this Parcel is not circumscribed to a verification of the type or extent of freshwater wetlands on site.



Locus Map Not To Scale

Legend

NOT ALL ITEMS SHOWN WILL APPEAR ON THE SURVEY

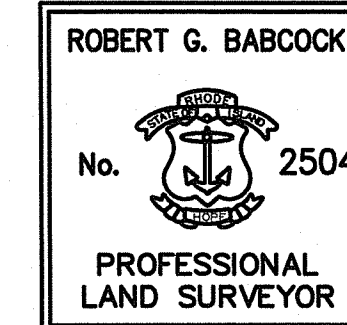
Symbol	Description
[Hatched Box]	BUILDING
[Dashed Line]	ASPHALT
[Solid Line]	ASSESSOR'S PLAT
[Dotted Line]	NOW OR FORMERLY DEED - ADJOINER
[Dashed Line]	MEASURED
[Dotted Line]	CALCULATED
[Dashed Line]	CHORD ANGLE
[Dotted Line]	HANDICAPPED
[Solid Line]	PROPERTY LINE
[Dashed Line]	ASSESSORS LINE
[Dotted Line]	TREELINE
[Dashed Line]	GUARDRAIL
[Dotted Line]	FENCE
[Dashed Line]	RETAINING WALL
[Dotted Line]	STONE WALL
[Dashed Line]	MINOR CONTOUR LINE
[Dotted Line]	MAJOR CONTOUR LINE
[Dashed Line]	WATER LINE
[Dotted Line]	SEWER LINE
[Dashed Line]	SEWER FORCE MAIN
[Dotted Line]	GAS LINE
[Dashed Line]	ELECTRIC LINE
[Dotted Line]	OVERHEAD WIRES
[Dashed Line]	DRAINAGE LINE

▲	NAIL FOUND/SET
●	DRILL HOLE FOUND/SET
○	IRON ROD/PIPE FOUND/SET
□	BOUND FOUND/SET
■	SIGN
○	BOLLARD
○	SOIL EVALUATION
○	CATCH BASIN
○	DOUBLE CATCH BASIN
○	DMH DRAINAGE MANHOLE
○	FLARED END SECTION
○	GUY POLE
○	ELECTRIC MANHOLE/HANDHOLE
○	UTILITY/POWER POLE
○	LIGHTPOST
○	SEWER/SEPTIC MANHOLE
○	SEWER VALVE
○	CLEANOUT
○	HYDRANT
○	IRRIGATION VALVE
○	WATER VALVE
○	WELL
○	MONITORING WELL
○	UNKNOWN MANHOLE
○	GAS VALVE
○	WETLAND FLAG
○	BENCH MARK
○	BUSH
○	TREE

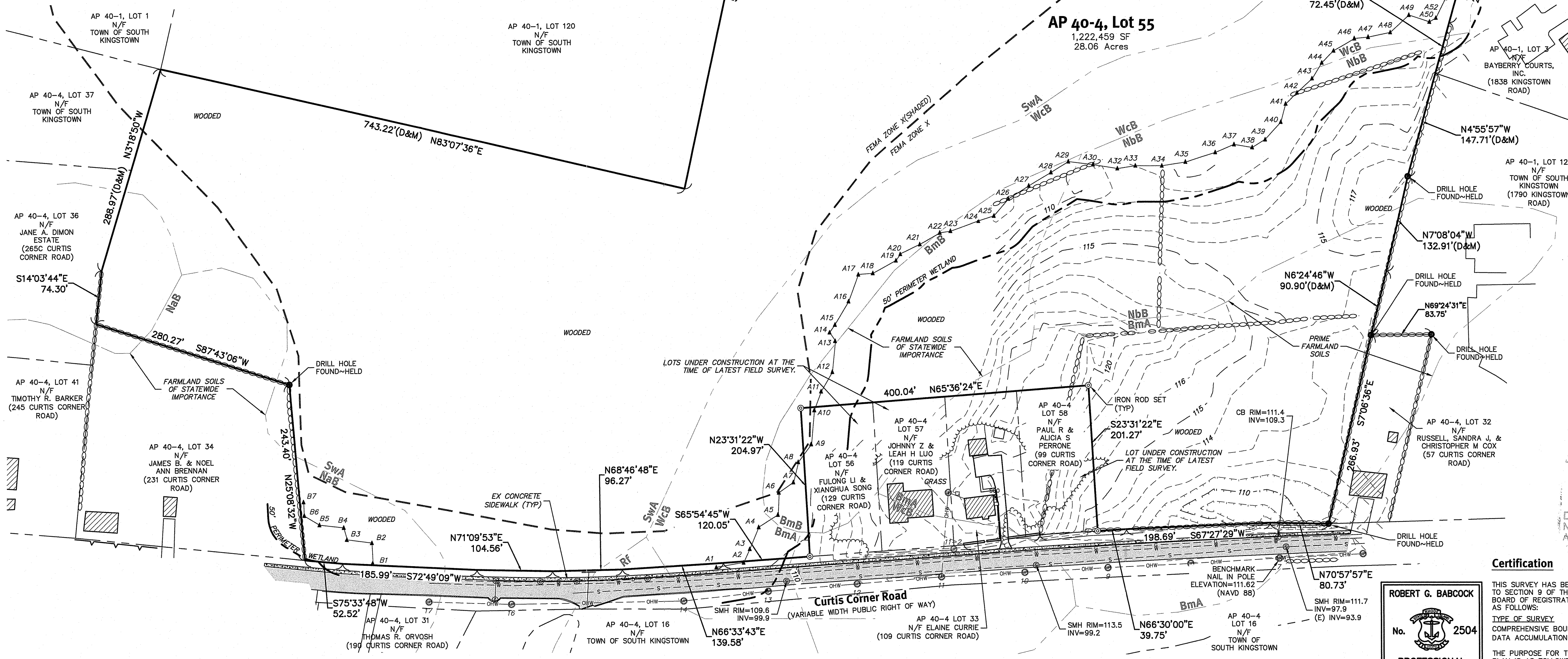
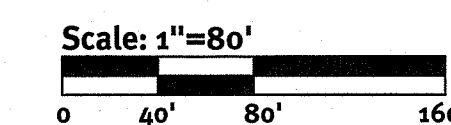
DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED JAN 28, 2021 FILE # 20-0166
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Certification

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON JANUARY 1, 2016, AS FOLLOWS:
TYPE OF SURVEY: COMPREHENSIVE BOUNDARY SURVEY
MEASUREMENT SPECIFICATION: CLASS 1
CLASSIFICATION: CLASS T-2
DATA ACCUMULATION SURVEY (LIMITED)
THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS:
PERIMETER RETRACEMENT PERFORMED BY DIPRETE ENGINEERING FOR THE PURPOSE OF SITE ENGINEERING AND PERMITTING.



Robert G. Babcock
01-09-2020
ROBERT G. BABCOCK, RIPLS #2504, COA #S.000A180



Diprete Engineering
Two Stafford Court, Cranston, RI 02920
Tel: 401-943-1000 Fax: 401-644-6006 www.diprete-eng.com
Boston • Providence • Newport

ERIC M. DIPRETE
No. 8662
REGISTERED PROFESSIONAL ENGINEER CIVIL
NOV 16 2020

No.	Date	Description
1	01-09-2020	Boundary / Geographic Survey

Drawn By: E.L.T.

Existing Conditions Plan
The Village at Curtis Corner
South Kingstown, Rhode Island
Client: SA Builders, LLC
1995 Curtis Corner Road, Narragansett, RI 02882
DE Job No: 0265-053 Copyright 2020 by Diprete Engineering Associates, Inc.

GENERAL NOTES:

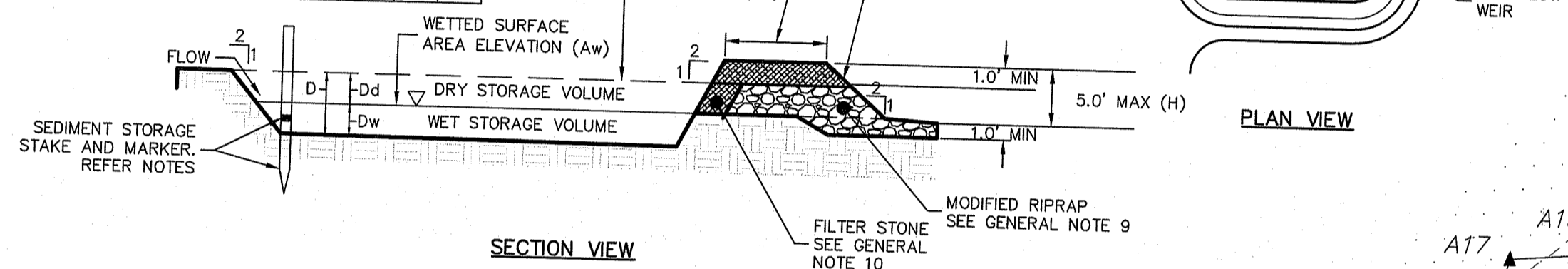
1. THE TEMPORARY SEDIMENT TRAP SHALL MEET ALL REQUIREMENTS FOR TEMPORARY SEDIMENT TRAPS OUTLINED IN THE RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK (LATEST REVISION) SECTION SIX: SEDIMENT CONTROL MEASURES.
2. THE TEMPORARY SEDIMENT TRAP MUST PROVIDE A STORAGE VOLUME FOR ONE INCH OF RUNOFF FROM THE CONTRIBUTING AREA. HALF OF THE STORAGE MUST BE PROVIDED IN THE FORM OF WET STORAGE. SEE DETAIL BELOW SECTION 6 OF THE RISESCH.
3. ALL CUT AND FILL SLOPES MUST BE 2:1 OR FLATTER EXCEPT FOR THE EXCAVATED WET STORAGE AREA WHERE SLOPES MUST NOT EXCEED 1.5:1.
4. THE OUTLET MUST BE LOCATED AT THE MOST DISTANT HYDRAULIC POINT FROM THE INLET.
5. THE OUTLET CONSISTS OF A PERVIOUS STONE DIKE WITH A CORE OF MODIFIED RIPRAP AND FACED ON THE UPSTREAM SIDE WITH STONE.
6. TEMPORARY SEDIMENT TRAPS MUST OUTLET ONTO STABILIZED GROUND.
7. MAXIMUM HEIGHT OF A TEMPORARY SEDIMENT TRAP EMBANKMENT IS LIMITED TO 5 FEET (BOTTOM OF DRY STORAGE TO TOP OF EMBANKMENT). TOTAL EMBANKMENT HEIGHT MUST NOT EXCEED 6 FEET (BOTTOM OF WET STORAGE TO TOP OF EMBANKMENT).
8. SIDE SLOPES OF THE EMBANKMENT MUST BE 2:1 OR FLATTER.
9. MODIFIED RIPRAP: SHALL MEET THE REQUIREMENTS OF RIDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION SUBSECTION M.10.03.2.
10. FILTER STONE: SHALL MEET THE REQUIREMENTS OF RIDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION SUBSECTION M.01.03 TABLE I, COLUMN V FILTER STONE.

SEDIMENT TRAP DIMENSIONS*	TRAP A	TRAP B	TRAP C
TRIBUTARY DRAINAGE AREA	1.37 ac	1.26 ac	2.85 ac
WET STORAGE DEPTH (Dw)	1.00 ft	1.00 ft	2.50 ft
DRY STORAGE DEPTH (Dd)	1.00 ft	0.75 ft	1.50 ft
TOTAL DEPTH (D)	2.00 ft	1.75 ft	4.00 ft
BOTTOM OF TRAP AREA (Ab)	2599.42 sq.ft	1878.96 sq.ft	1272.87 sq.ft
WETTED SURFACE AREA (Aw)	3329.41 sq.ft	2761.26 sq.ft	2805.75 sq.ft
SURFACE AREA AT OUTLET (Ad)	4124.65 sq.ft	3429.16 sq.ft	3866.47 sq.ft

*TRAP DIMENSIONS REPRESENT MINIMUM REQUIRED SIZING TO MEET THE RISESCH. CONTRACTOR MAY SHAPE TRAP DIFFERENTLY THAN SHOWN ON PLANS AS LONG AS THE MINIMUM SIZING HAS BEEN PROVIDED.

MINIMUM TOP WIDTH VS HEIGHT
H=HEIGHT OF EMBANKMENT
W=TOP WIDTH OF EMBANKMENT

H (FT)	1.5	2.0	2.5	3.0	3.5	4.0	4.5	5.0
W (FT)	2.0	2.0	3.0	3.0	3.0	3.0	4.0	4.5



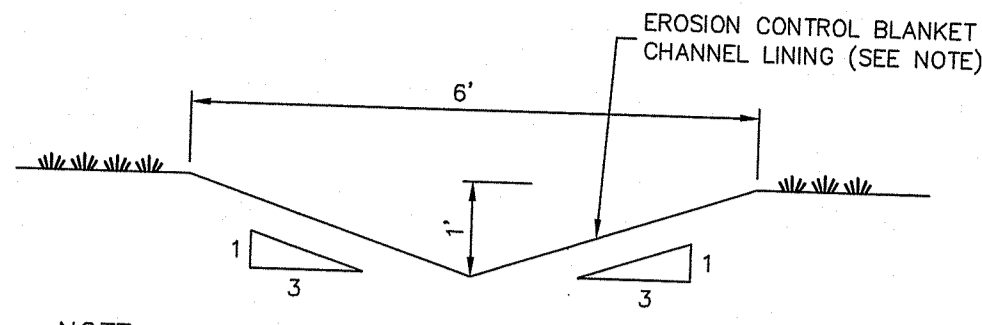
Temporary Sediment Trap Detail
NOT TO SCALE

INSPECTION, MAINTENANCE, AND REMOVAL REQUIREMENTS:

1. INSTALL "SEDIMENT STORAGE" STAKE WITH A MARKER AT ONE HALF OF THE WET STORAGE VOLUME.
2. INSPECT THE TEMPORARY SEDIMENT TRAP AT LEAST ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A STORM WITH A RAINFALL AMOUNT OF 0.25 INCH OR GREATER.
3. CHECK THE OUTLET TO ENSURE THAT IT IS STRUCTURALLY SOUND AND HAS NOT BEEN DAMAGED BY EROSION OR CONSTRUCTION EQUIPMENT.
4. CHECK FOR SEDIMENT ACCUMULATION AND FILTRATION PERFORMANCE.
5. WHEN SEDIMENTS HAVE ACCUMULATED TO ONE HALF THE MINIMUM REQUIRED VOLUME OF THE WET STORAGE, DEWATER THE TRAP AS NEEDED, REMOVE SEDIMENTS AND RESTORE THE TRAP TO ITS ORIGINAL DIMENSIONS.
6. DISPOSE OF THE SEDIMENT REMOVED FROM THE BASIN IN A SUITABLE AREA AS DESIGNATED BY THE GEOTECHNICAL ENGINEER.
7. THE TEMPORARY SEDIMENT TRAP MAY BE REMOVED AFTER THE CONTRIBUTING DRAINAGE AREA IS STABILIZED.

INSTALLATION NOTES:

1. CLEAR, GRUB AND STRIP ANY VEGETATION AND ROOT MAT FROM ANY PROPOSED EMBANKMENT AND OUTLET AREA.
2. REMOVE STONES AND ROCKS WHOSE DIAMETER IS GREATER THAN THREE (3) INCHES AND OTHER DEBRIS.
3. EXCAVATE WET STORAGE AND CONSTRUCT THE EMBANKMENT AND/OR OUTLET AS NEEDED TO ATTAIN THE NECESSARY STORAGE REQUIREMENTS.
4. USE ONLY FILL MATERIAL FOR THE EMBANKMENT THAT IS FREE FROM EXCESSIVE ORGANICS, DEBRIS, LARGE ROCKS (OVER SIX (6) INCHES) OR OTHER UNSUITABLE MATERIALS. COMPACT THE EMBANKMENT IN 9-INCH LAYERS BY TRAVERSING WITH EQUIPMENT WHILE IT IS BEING CONSTRUCTED.
5. STABILIZE THE EARTHEN EMBANKMENT USING ANY OF THE FOLLOWING MEASURES: SEEDING FOR TEMPORARY VEGETATION COVER; SEEDING FOR PERMANENT VEGETATIVE COVER; OR SLOPE PROTECTION, IMMEDIATELY AFTER INSTALLATION.



NOTE:

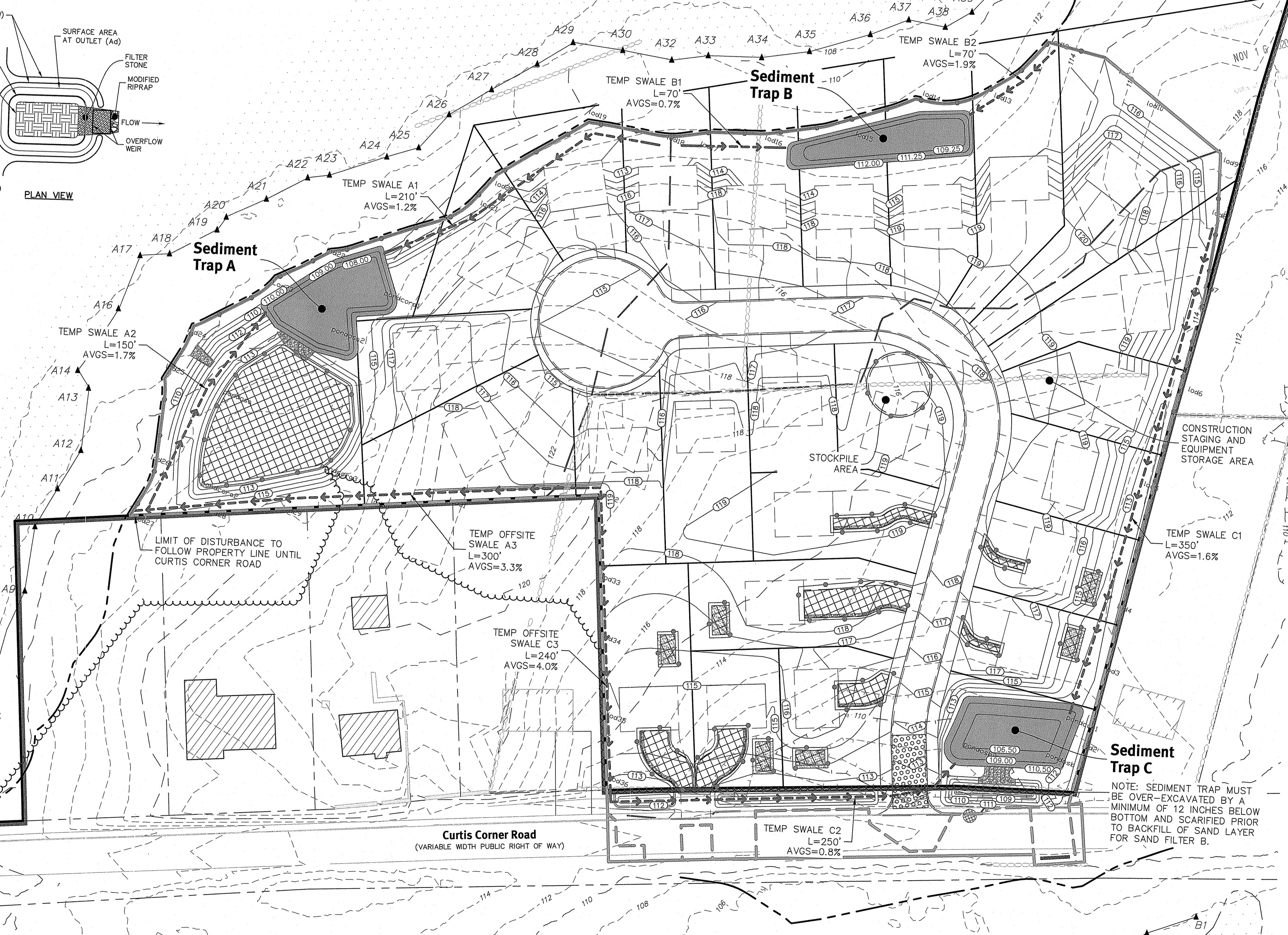
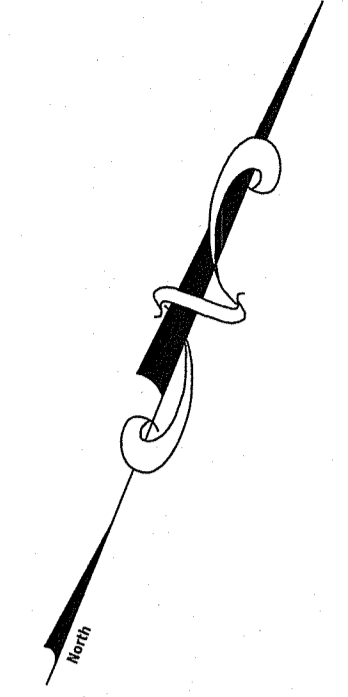
1. TEMPORARY EROSION CONTROL BLANKETS TO HANDLE MINIMUM VELOCITY OF 5 FPS. CONTRACTOR TO PROVIDE SHOP DRAWINGS TO DESIGN ENGINEER.
2. CONTRACTOR SHALL FIELD ADJUST TEMPORARY SWALES AS NECESSARY, AND ENSURE PROPER FLOW TO THE APPROPRIATE SEDIMENTATION PRACTICE.
3. SWALES TO BE ADJUSTED TO MAXIMIZE TRIBUTARY AREA TO EACH SEDIMENT TRAP PER DETAIL ABOVE.

Temporary Diversion Channel

NOT TO SCALE

Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED JAN 28, 2021 FILE # 20-066
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE
Martin D. Senechal



Soil Erosion Control Implementation Phasing

- Phase IA** - INSTALL EROSION CONTROL SILT FENCE & STONE CONSTRUCTION ENTRANCE.
 - Phase IB** - INSTALL TEMPORARY SEDIMENTATION TRAP. CONSTRUCT CLEAN WATER DIVERSIONS.
 - Phase IC** - CONSTRUCT PROPOSED DIVERSIONS.
 - Phase IIA** - CLEAR AND GRUB IMPERVIOUS AREAS. INSTALL UTILITIES WITH ROADWAYS. INSTALL DRAINAGE NETWORK WORKING FROM THE DOWN GRADIENT BASINS UP TO THE START OF NETWORK. INSTALL ASPHALT PAVING.
 - Phase IIB** - STABILIZE ALL DISTURBED AREAS, DE-CONSTRUCT DIVERSIONS AND TEMPORARY SEDIMENTATION TRAPS.
 - Phase III** - CONSTRUCT DWELLINGS ON INDIVIDUAL LOTS. STABILIZE ANY TRIBUTARY AREAS DISTURBED DURING CONSTRUCTION OF UNITS.
 - Phase IV** - REPEAT III FOR INDIVIDUAL LOT PHASE.
- Note** - SOIL EROSION CONTROL IMPLEMENTATION PHASING SHOULD NOT BE MISCONSTRUCTED WITH CONSTRUCTION PHASING/ SEQUENCING. ALL MEASURES DEPICTED ON THIS PLAN ARE TO BE INSTALLED WITH THE FIRST PHASE OF CONSTRUCTION.

Soil Erosion Control Legend:

- DIVERSION RUNOFF CONVEYANCE MEASURE (SWALE AND/OR BERM) - Dashed line with arrows
- TEMPORARY SEDIMENT BASIN - Oval with horizontal lines
- TEMPORARY SEDIMENT TRAP - Oval with vertical lines
- EROSION CONTROL (COMPOST SOCK, SILT FENCE (RI STD 9.2.0) OR APPROVED EQUAL) - Dashed line with dots
- CLASS C SILT FENCE - Solid line with dots
- LIMIT OF DISTURBANCE (NO SEDIMENT CONTROL) - Dashed line
- LIMIT OF DISTURBANCE (WITH SEDIMENT CONTROL) - Solid line
- TRIBUTARY AREA TO SESC BMP - Dashed line with arrows
- CONSTRUCTION ENTRANCE (RIDOT STD 9.8.0) - Dashed line with dots
- INFILTRATING AREA (TO BE PROTECTED BY COMPOST SOCK OR SILT FENCE) - Dotted area
- FINAL CONTOUR GRADE - Dashed line with numbers
- INLET SEDIMENT CONTROL - Circle with cross-hatch

Diprete Engineering
Two Stafford Court Cranston, RI 02920
tel 401-943-1000 fax 401-664-6006 www.diprete-eng.com
Boston • Providence • Newport

KEVIN DEMERS
Kevin Demers
REGISTERED PROFESSIONAL ENGINEER CIVIL

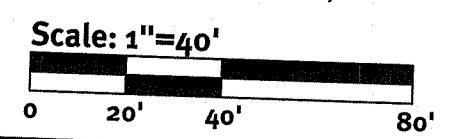
LOCATION MAP N.T.S.

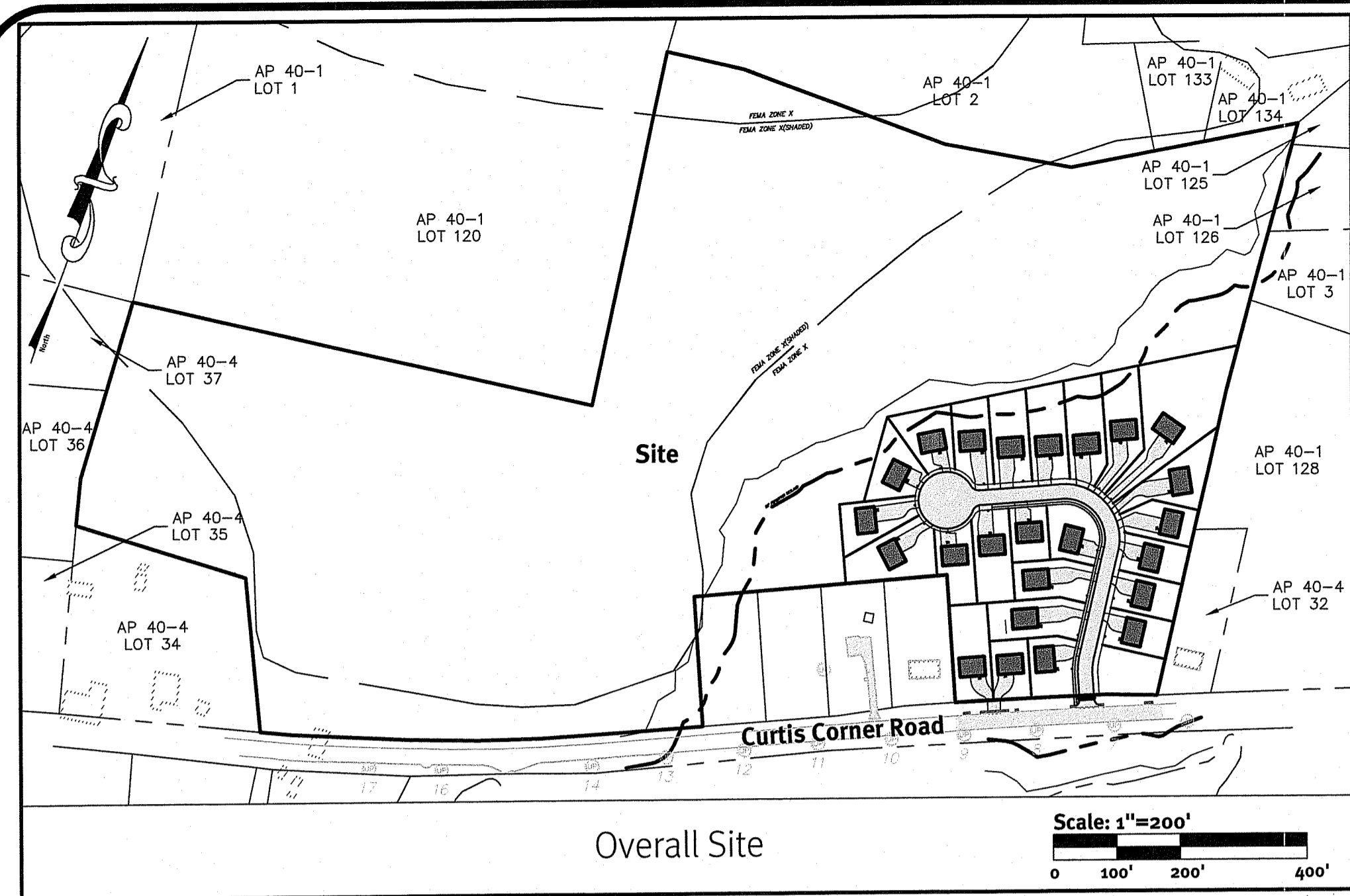
This regulatory submission set shall not be used for construction purposes unless stamped 'Issued for Construction' and signed by a Diprete Engineering representative.
The contractor is responsible for all of the means, methods, safety precautions and requirements, and OSHA compliance in the implementation of this plan and design.

No.	Date	Description	By	Design By: C.H.D.
1	10/28/2020	PROVISIONAL DESIGN		
2	1/28/2021	FINAL DESIGN		
3	7/10/2020	PERMITS SUBMISSION		
4		PERMITS SUBMISSION		

Soil Erosion & Sediment Control Plan
The Village at Curtis Corner
Applicant/Owner: The Village at Curtis Corner, LLC
Assessors Plat 40-4, Lot 55, South Kingstown, Rhode Island
5A Builders, LLC
10 Knowlesway Extension, Narragansett, RI 02882
DE Job No: 0285-053 Copyright 2017 by Diprete Engineering Associates, Inc.

Note: This Plan Must Be Reproduced In Color





PER DEM:
Buffer Zone markers must be installed and maintained on subdivision Lots 7 through 13 inclusive, as described in permit condition number 18.

Site
AP 40-4 LOT 55
N/F
5A BUILDERS, LLC

Total Area
28.1± ACRES



DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED JAN 28, 2021 FILE # 20-0166
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Martin D. Wenczek

Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.

Dimensional Regulations:

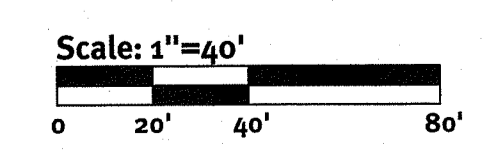
	R-20 (REQUIRED)	PROVIDED (COMPREHENSIVE PERMIT)
MINIMUM LOT AREA*	20,000 SF	5,100 SF
MINIMUM FRONTAGE AND LOT WIDTH*	100 FEET	20 FEET
MINIMUM FRONT YARD*	35 FEET	20 FEET
MINIMUM FRONT CORNER YARD*	25 FEET	10 FEET
MINIMUM SIDE YARD*	15 FEET	10 FEET
MINIMUM REAR YARD*	35 FEET	15 FEET
MAXIMUM LOT COVERAGE	25 %	25 %
MAXIMUM HEIGHT	35 FEET	35 FEET
MAXIMUM DRIVEWAY WIDTH (STANDARD)	20 FEET	20 FEET
MAXIMUM DRIVEWAY WIDTH (CUL-DE-SAC)	12 FEET	12 FEET

Development Data:

TOTAL SITE AREA:	28.1 ACRES
TOTAL SUITABLE LOT AREA:	7.4 ACRES
TOTAL LOT AREA:	4.5 ACRES
TOTAL OPEN SPACE AREA:	22.9 ACRES
TOTAL RIGHT OF WAY AREA:	0.7 ACRES
RIGHT OF WAY WIDTH:	40'
LENGTH OF ROAD:	630±
ROAD WIDTH:	24'
SIDEWALK WIDTH:	4'
TOTAL NUMBER OF LOTS:	24
TOTAL NUMBER OF UNITS:	32 (8 DUPLEX + 16 SINGLE-FAMILY)
TOTAL NUMBER OF AFFORDABLE UNITS:	8 (25% OF TOTAL UNITS)

Density Analysis:

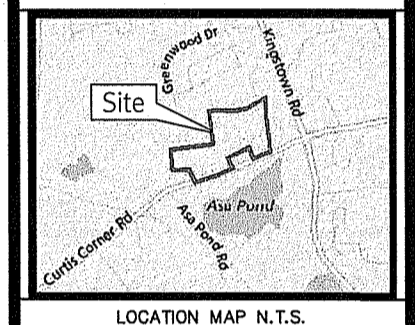
TOTAL SITE AREA:	28.1 ACRES
NUMBER OF UNITS:	32
DENSITY:	1.14 UNITS PER ACRE/0.88 ACRES PER UNIT



Diprete Engineering
Two Stafford Court, Cranston, RI 02920
tel. 401-943-1000 fax. 401-464-6006 www.diprete-eng.com

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CIVIL



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No.	Date	Description	By	Design By: C.H.D.
1	01/28/2020	Final Plan/Permit Submission	J.M.F.	
2	07/20/2020	Final Plan/Permit Submission	J.M.F.	

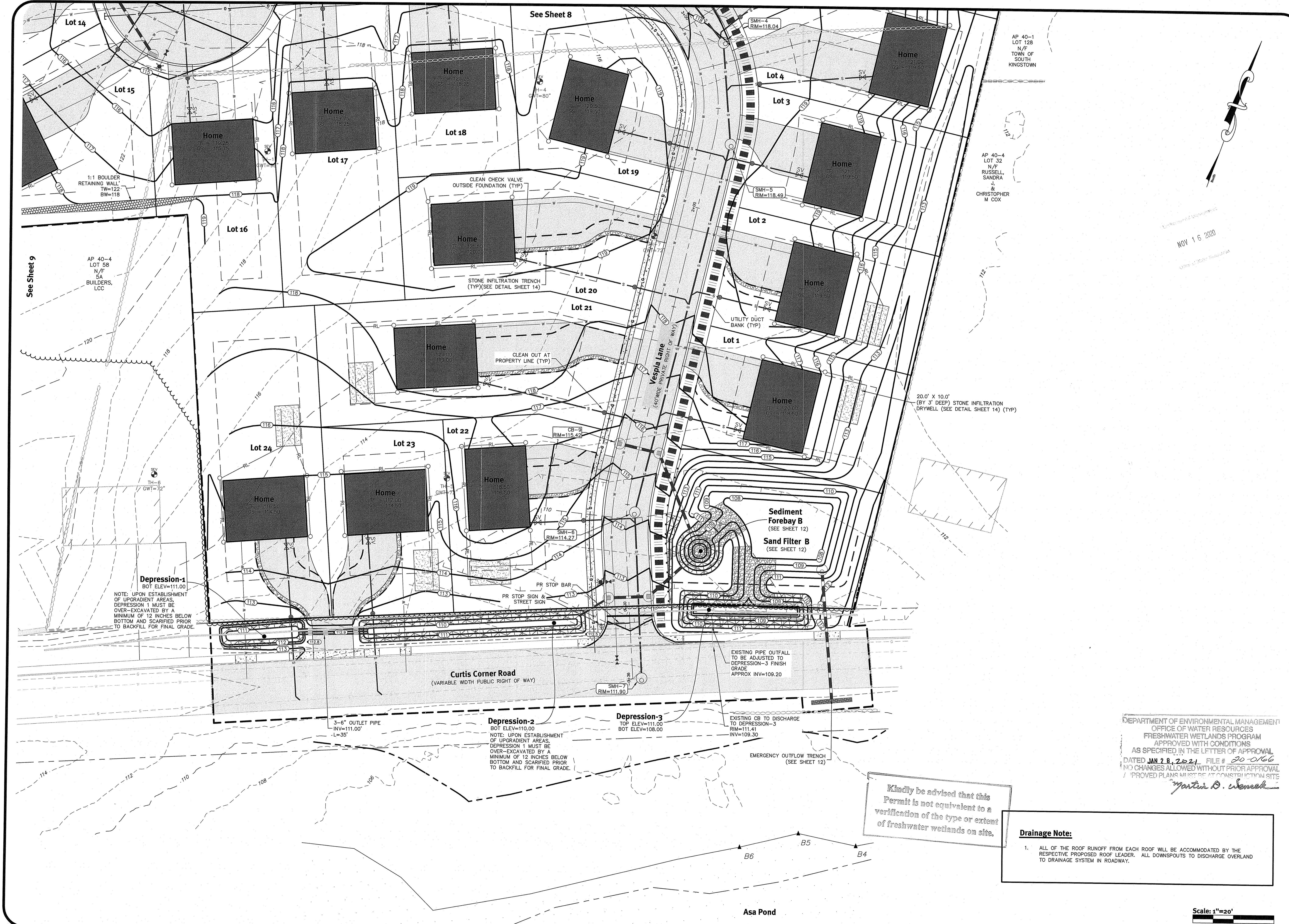
Site Layout Plan
The Village at Curtis Corner
Assessors Plat 40-4, Lot 55
South Kingstown, Rhode Island

Applicant/Owner
5A Builders, LLC
230 Knowlesway Extension
Narragansett, RI 02882

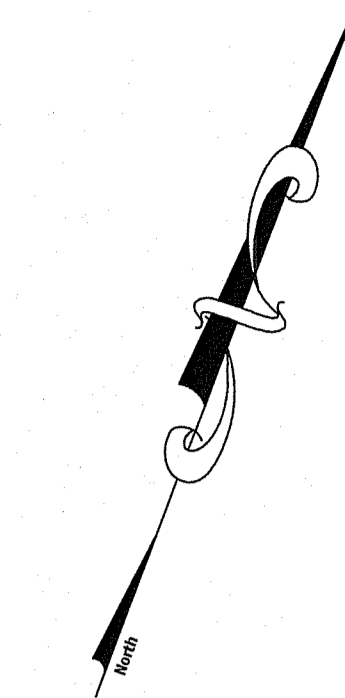
DE 300-0285-053 Copyright 2021 by Diprete Engineering Associates, Inc.

SHEET **6** OF 17

c:\demain\projects\0285-053_curtis_corner_road\105_aurora_dwg\0285-053-plan.dwg Plotdate: 10/29/2020



NOV 16 2020



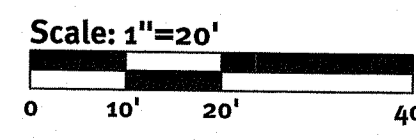
DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED JAN 28, 2021 FILE # 20-0166
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
PROVED PLANS MUST BE AT CONSTRUCTION SITE

Martin D. Wenczek

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Drainage Note:

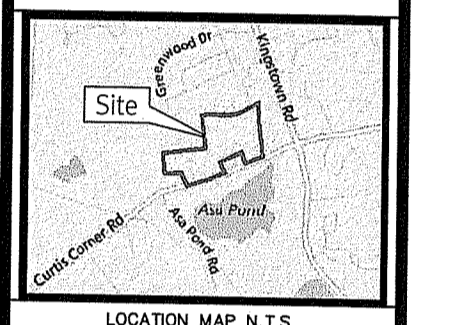
- ALL OF THE ROOF RUNOFF FROM EACH ROOF WILL BE ACCOMMODATED BY THE RESPECTIVE PROPOSED ROOF LEADER. ALL DOWNSPOUTS TO DISCHARGE OVERLAND TO DRAINAGE SYSTEM IN ROADWAY.



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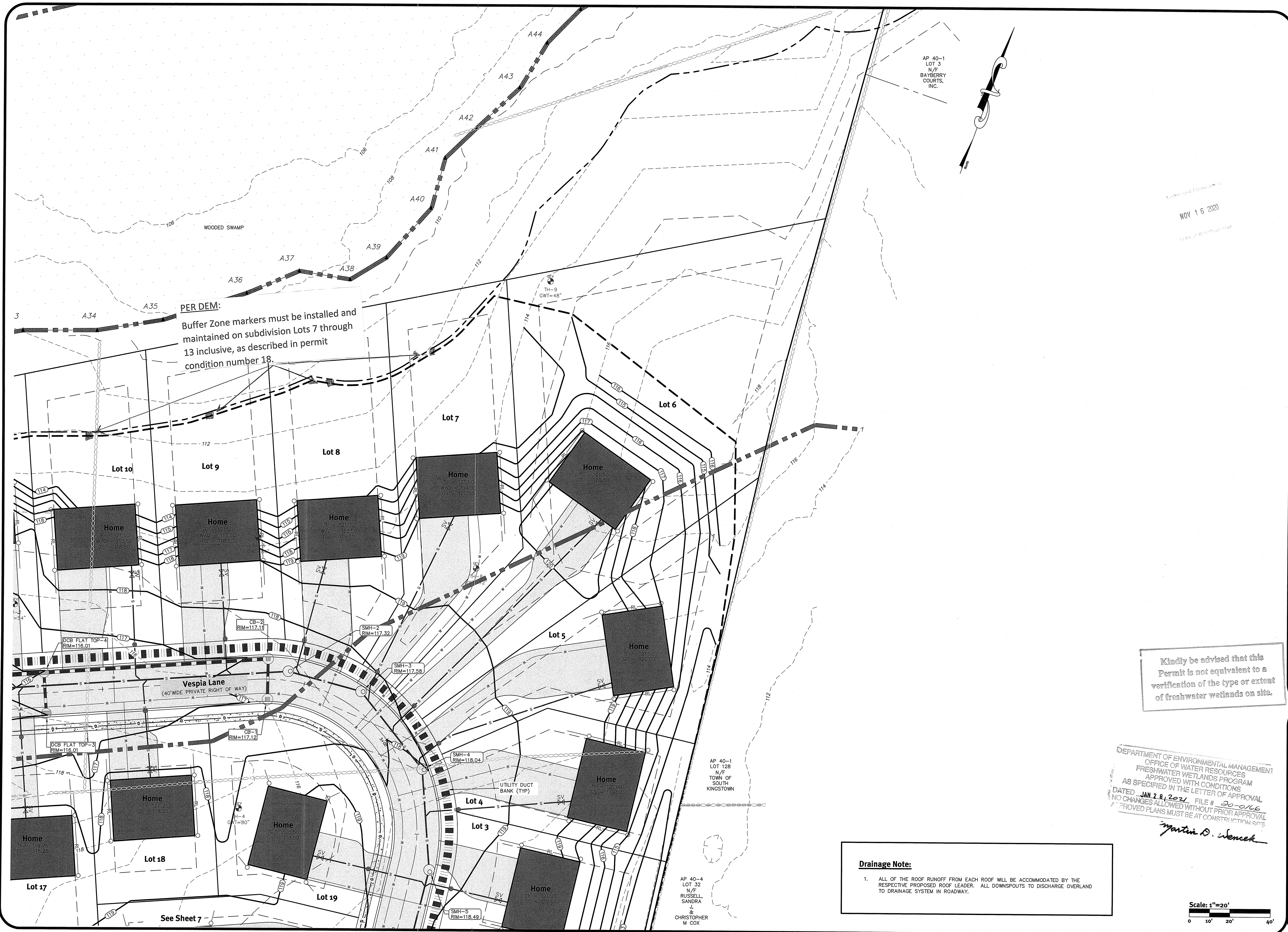
The contractor is responsible for all of the means, methods, precautions and requirements, and OSHA compliance in the implementation of this plan and design.

No.	Date	Description	By
1	10/28/2020	Final Plan/Grading/Wetlands Submission	J.M.F.
2	7/20/2020	Plan/Grading/Wetlands Submission	J.M.F.

Design By: J.M.F.

Grading Plan - 1
The Village at Curtis Corner
Assessors Plat 40-4, Lot 55
South Kingstown, Rhode Island
SA Builders, LLC
220 Knowlesway Extension
Narragansett, RI 02882
DE Job No. 0265-063 Copyright © 2017 by DiPrete Engineering, Associates, Inc.

2:\vmain\projects\0285-053\curtis corner road\109\autocad drawings\0285-053-plan.dwg Plocted: 10/29/2020



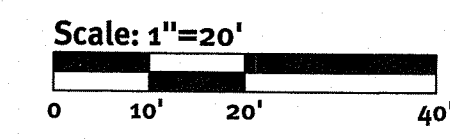
AP 40-1
LOT 3
N/F
BAYBERRY
COURTS,
INC.

NOV 16 2020

PER DEM:
Buffer Zone markers must be installed and maintained on subdivision Lots 7 through 13 inclusive, as described in permit condition number 18.

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Drainage Note:
1. ALL OF THE ROOF RUNOFF FROM EACH ROOF WILL BE ACCOMMODATED BY THE RESPECTIVE PROPOSED ROOF LEADER. ALL DOWNSPOUTS TO DISCHARGE OVERLAND TO DRAINAGE SYSTEM IN ROADWAY.

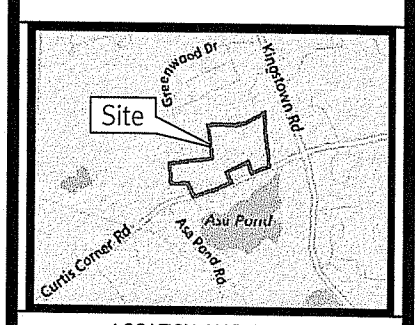


See Sheet 7

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No.	Date	Description	Drawn By: J.M.F.	Design By: C.H.D.
2	10/28/2020	Preliminary Recirculation		
1	9/16/2020	Preliminary Recirculation		

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED **JAN 28, 2021** FILE # **20-0166**
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL.
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Martin D. Wencek

Grading Plan - 2
The Village at Curtis Corner
Assessors Plat 40-4, Lot 55
South Kingstown, Rhode Island
5A Builders, LLC
275 Knowles Way, Suite 101
Narragansett, RI 02882

DE Job No: 0285-053 Copyright 2017 by Diprete Engineering Associates, Inc.

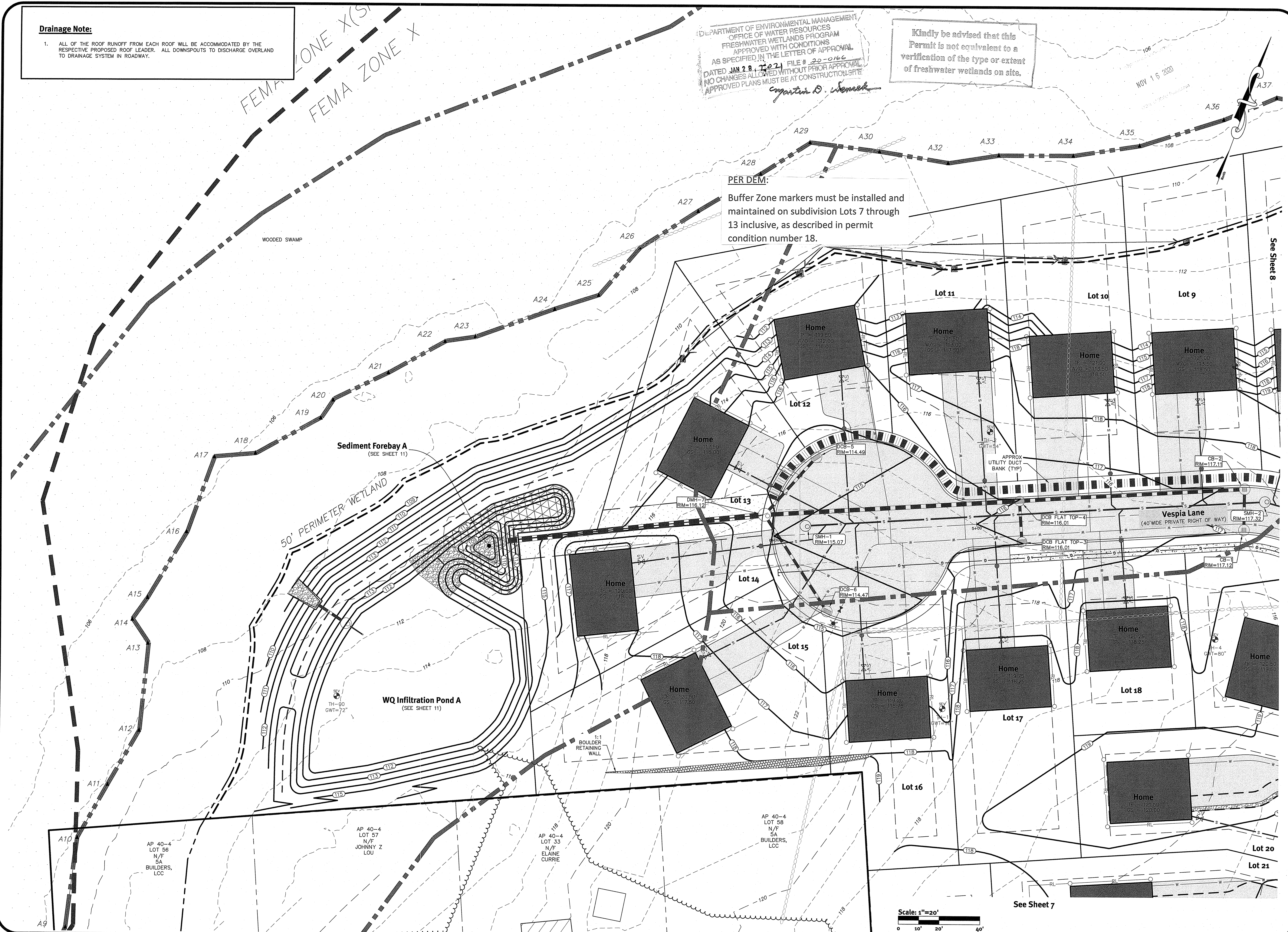
Drainage Note:

1. ALL OF THE ROOF RUNOFF FROM EACH ROOF WILL BE ACCOMMODATED BY THE RESPECTIVE PROPOSED ROOF LEADER. ALL DOWNSPOUTS TO DISCHARGE OVERLAND TO DRAINAGE SYSTEM IN ROADWAY.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
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Cyganter D. Senack

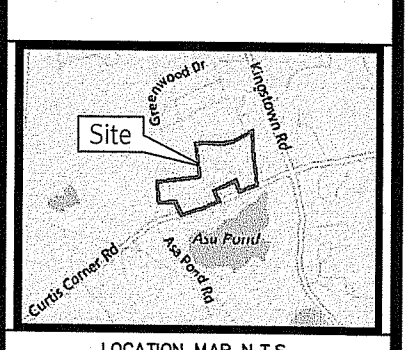
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PER DEM:
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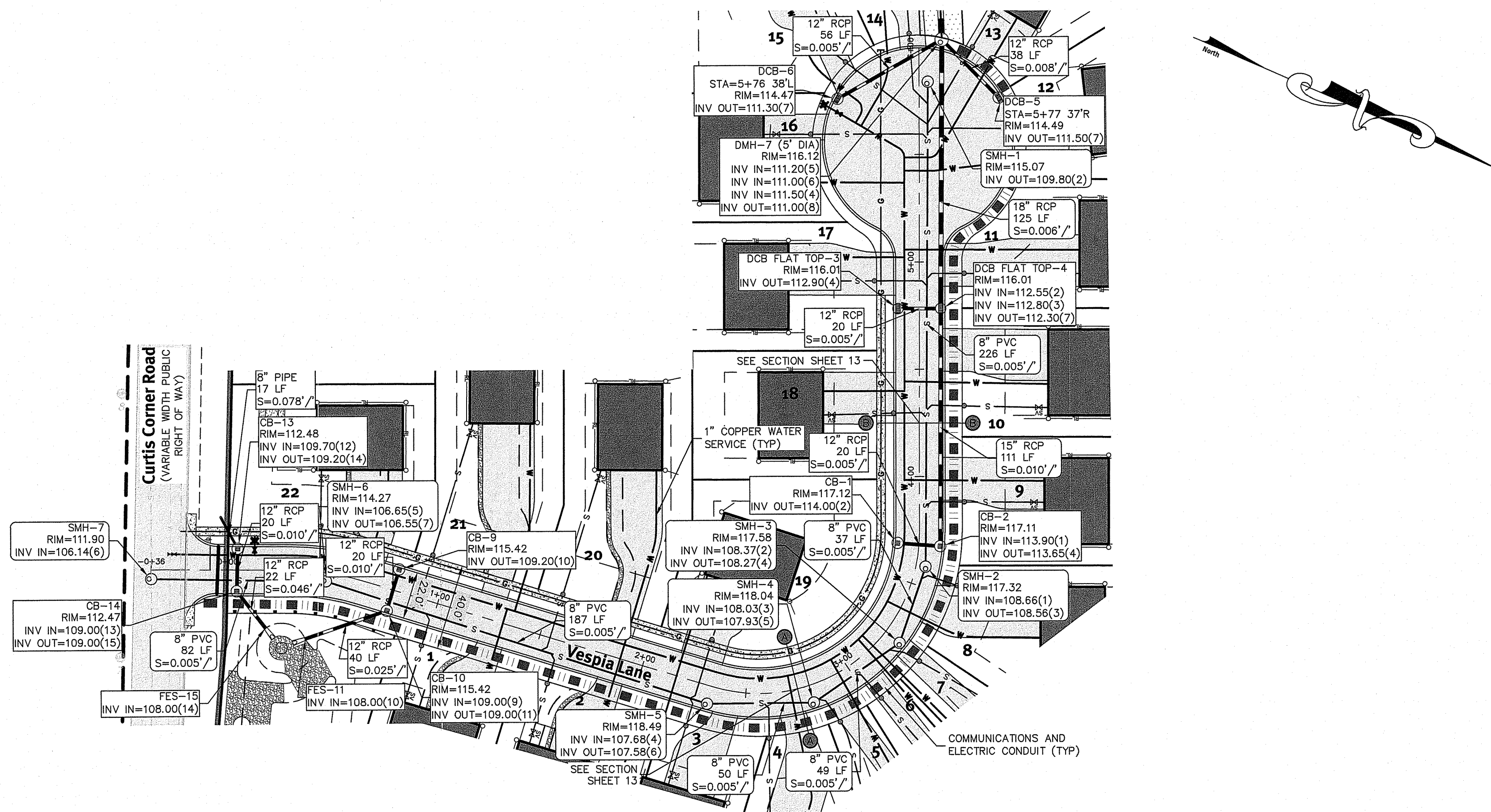


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No.	Date	Description	By:	Design By: C.H.D.
1	10/29/2020	Final Design	J.M.F.	
2	10/29/2020	Final Design	J.M.F.	
3	10/29/2020	Final Design	J.M.F.	

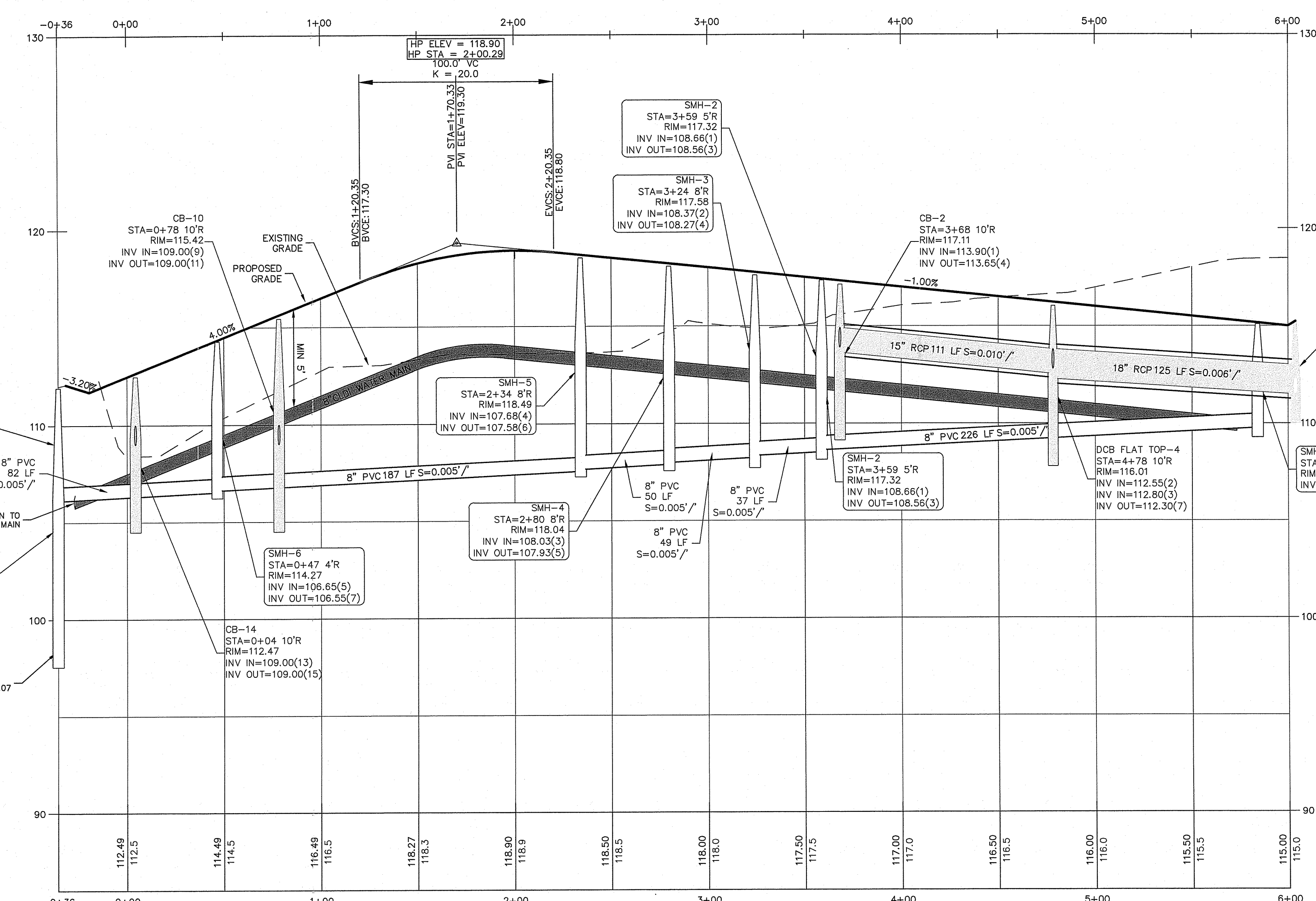
Grading Plan - 3
The Village at Curtis Corner
Assessors Plat 40-4, Lot 55
South Kingstown, Rhode Island
SA Builders, LLC
220 Knowlesway Extension
Narragansett, RI 02882
05-104-005-053 Copyright 2017 by DiPrete Engineering Associates, Inc.

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- Plan and Profile Notes:**
- ALL SEWER MAIN MUST BE 8" SDR 35 AND LATERALS MUST BE 6" SDR 35.
 - THE (NUMBER) FOLLOWING INVERT IN AND INVERT OUT ELEVATIONS REFER TO THE INVERT IN THE DIRECTION OF THE REFERENCED STRUCTURE.

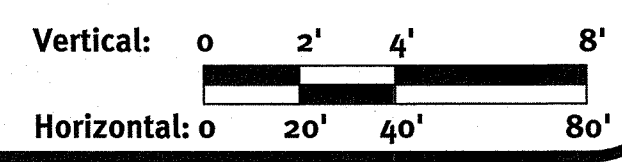
NOV 16 2020



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DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
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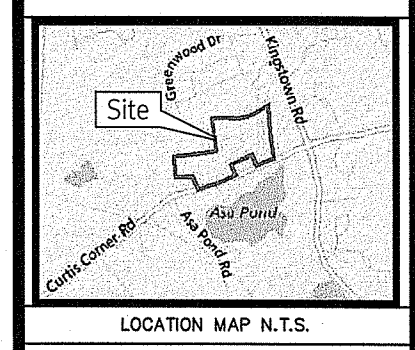
Martin D. Wenczek



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No.	Date	Description	By
1	06/28/2020	Final Plan/Profile	J.M.F.
2	07/02/2020	Final Plan/Profile	J.M.F.
3	07/20/2020	Final Plan/Profile	J.M.F.

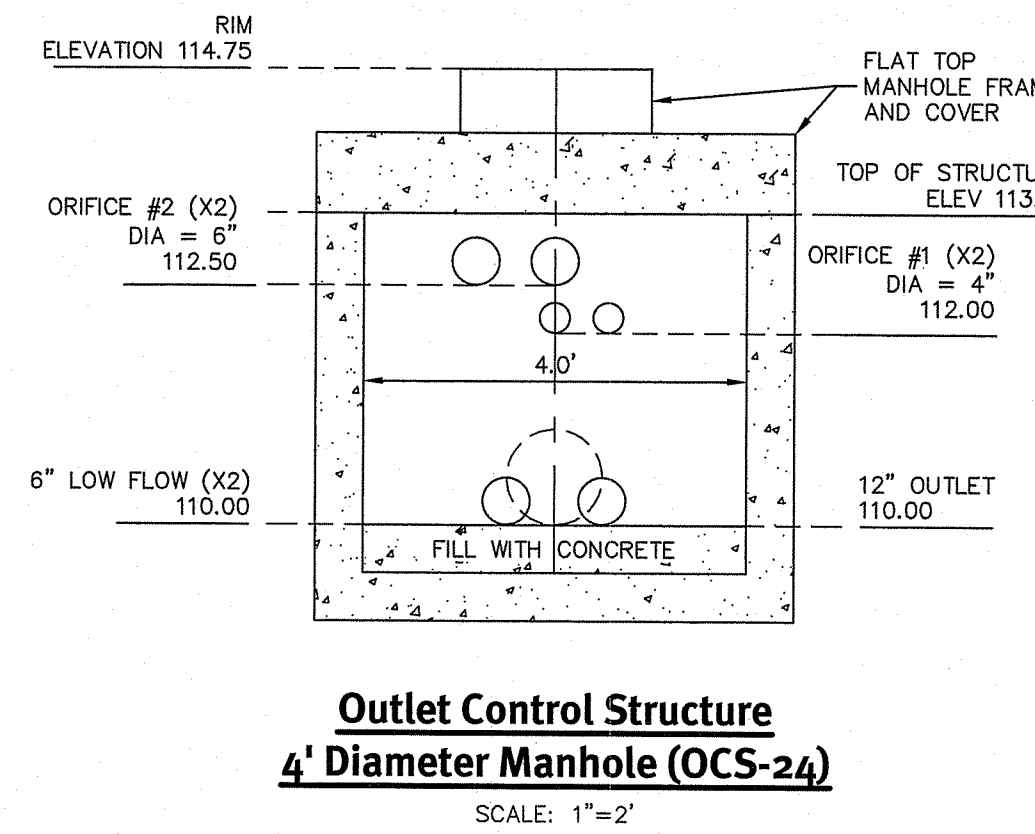
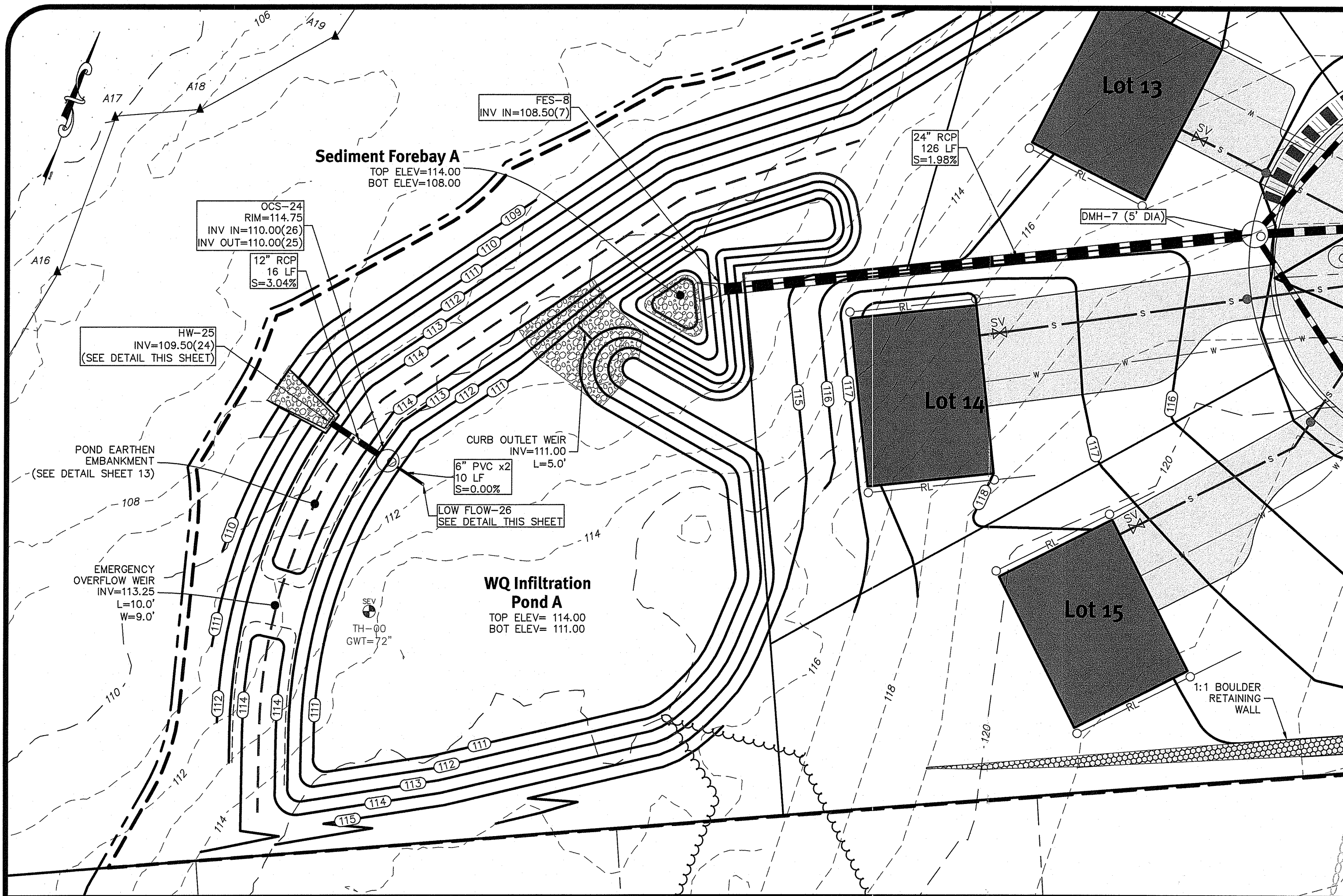
Design By: J.M.F.

Plan And Profile
The Village at Curtis Corner
 Assessor's Plat 40-4, Lot 55
 South Kingstown, Rhode Island

5A Builders, LLC
 Applicant/Owner
 220 Knowlesway Extension
 Narragansett, RI 02882

DE 360 No. 0285-053 Copyright 2017 by Diprete Engineering Associates, Inc.

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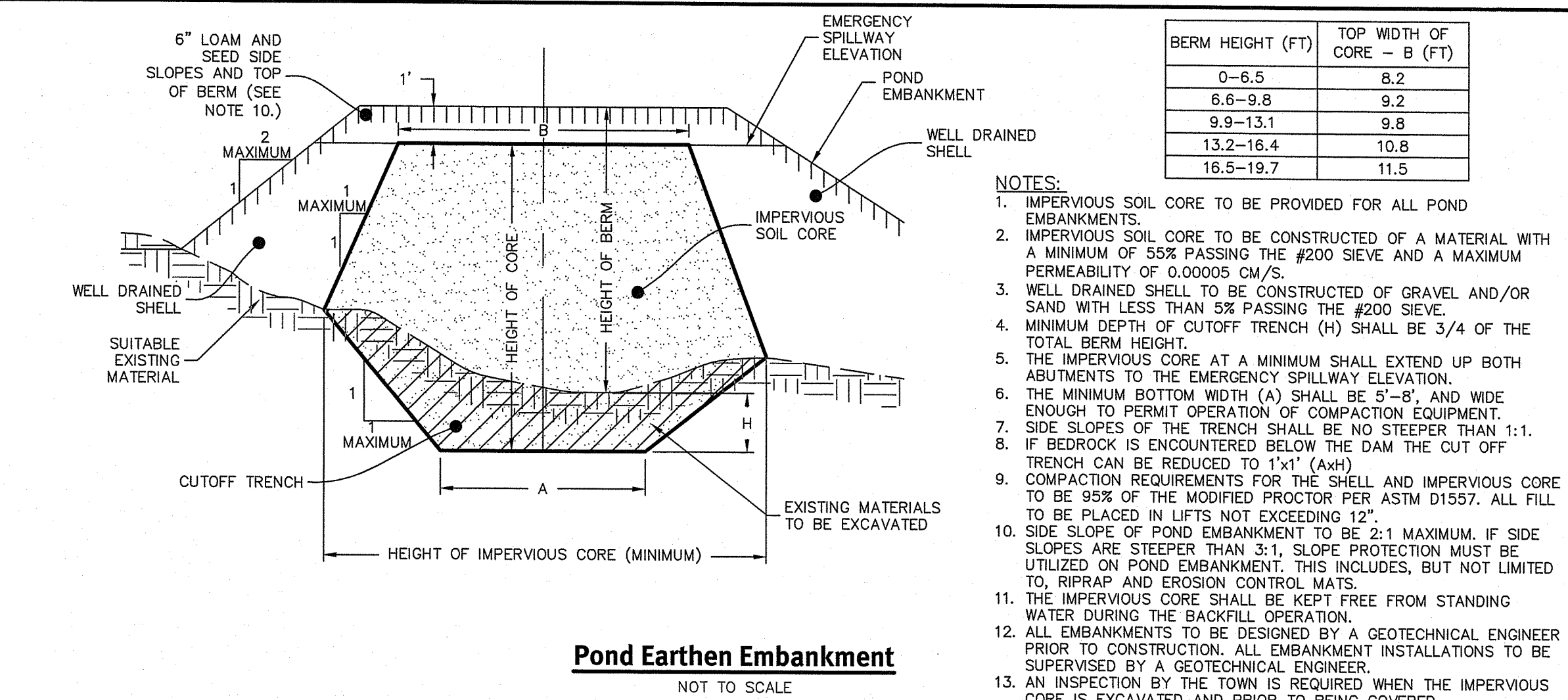
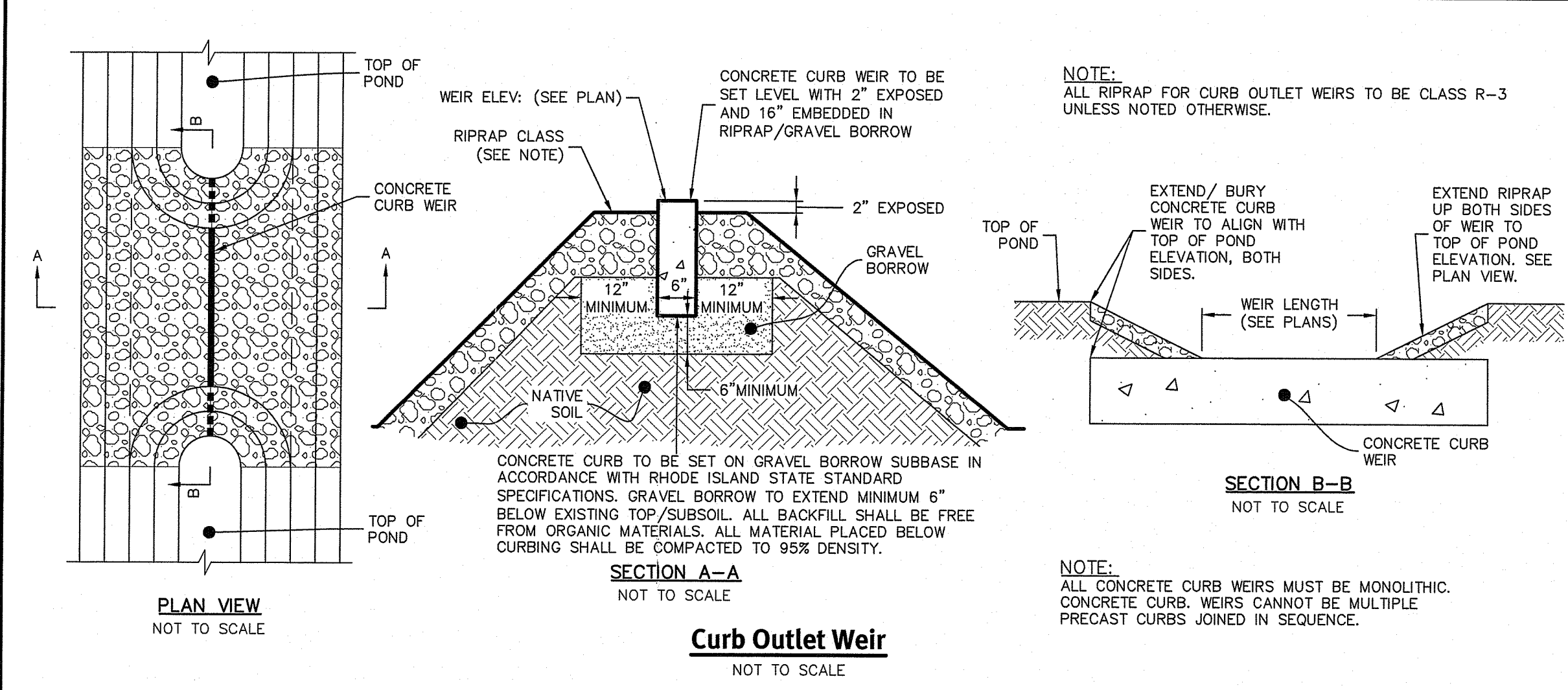
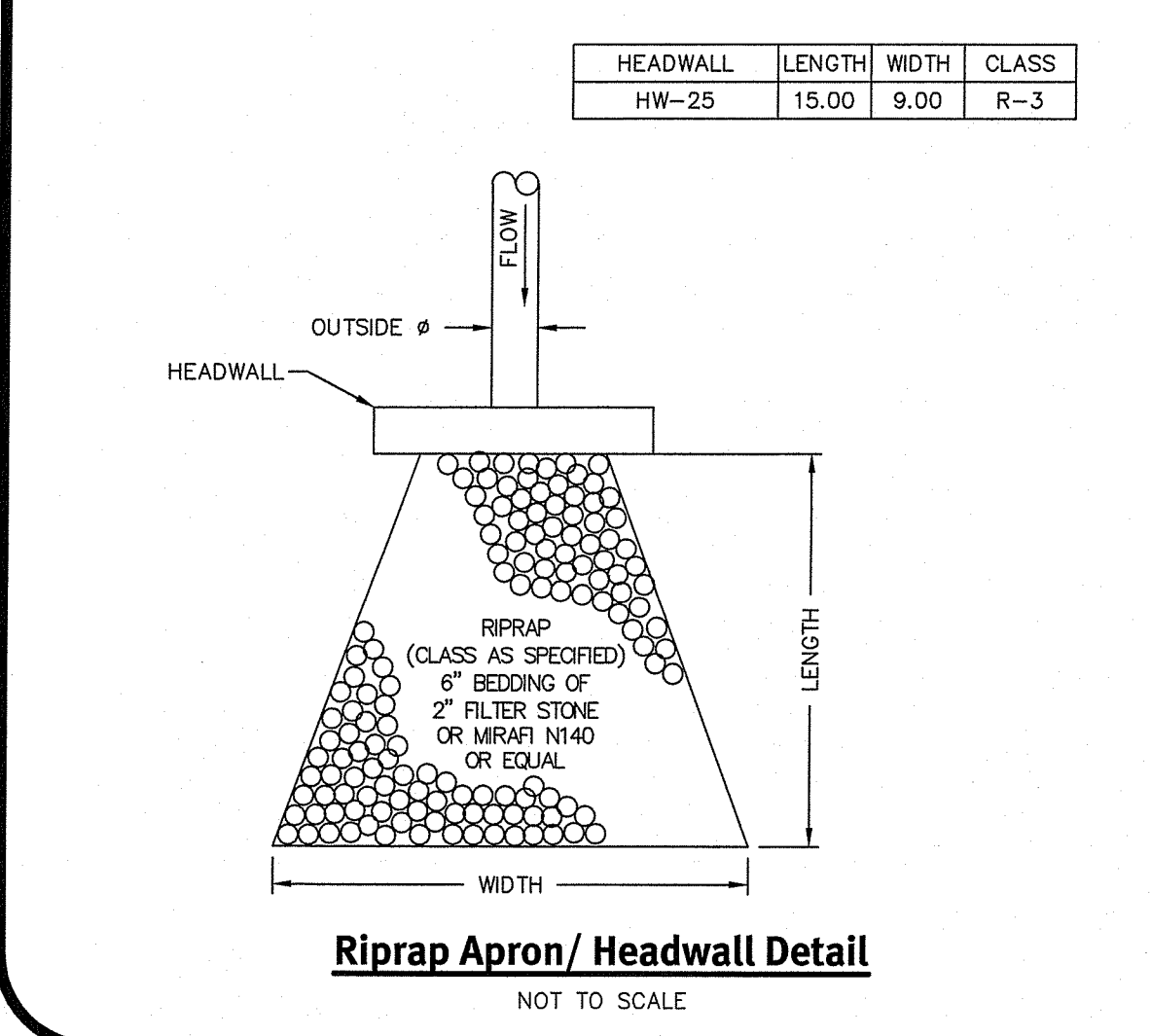
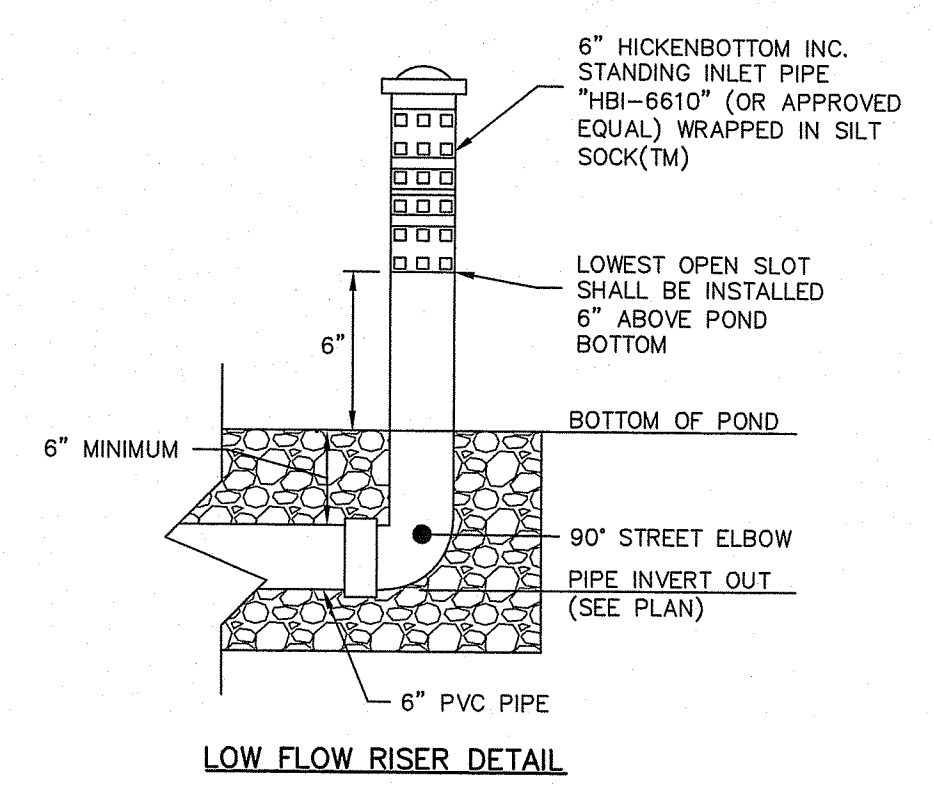
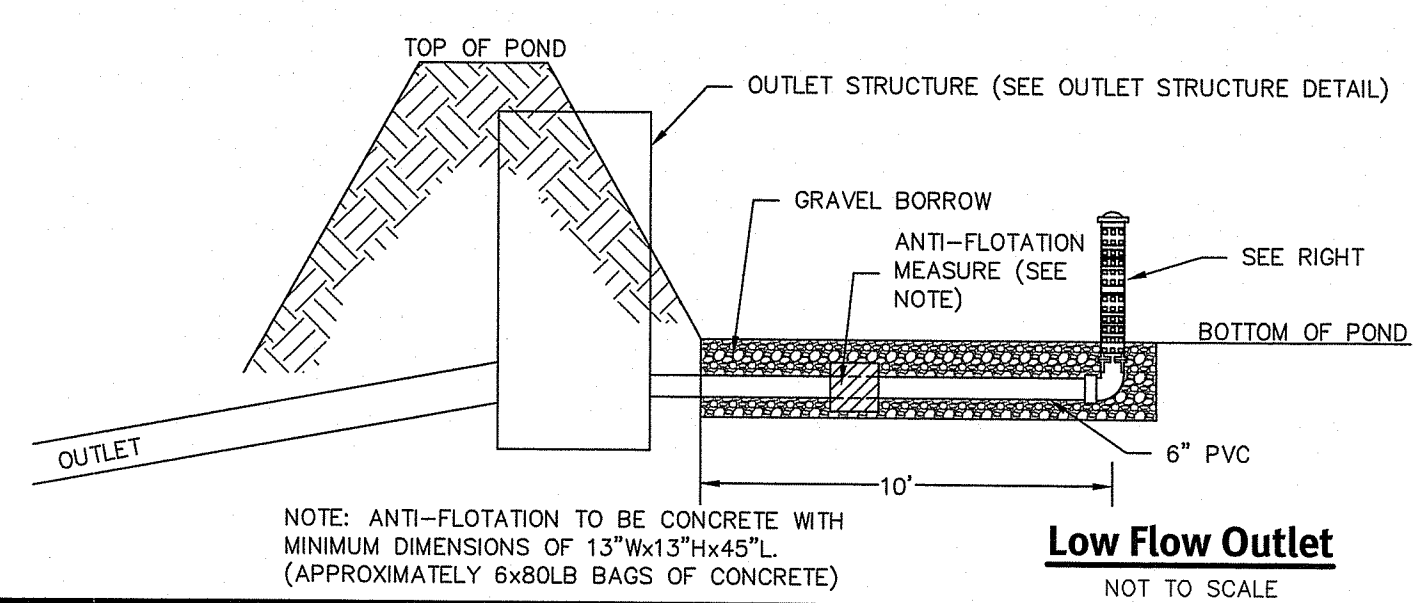
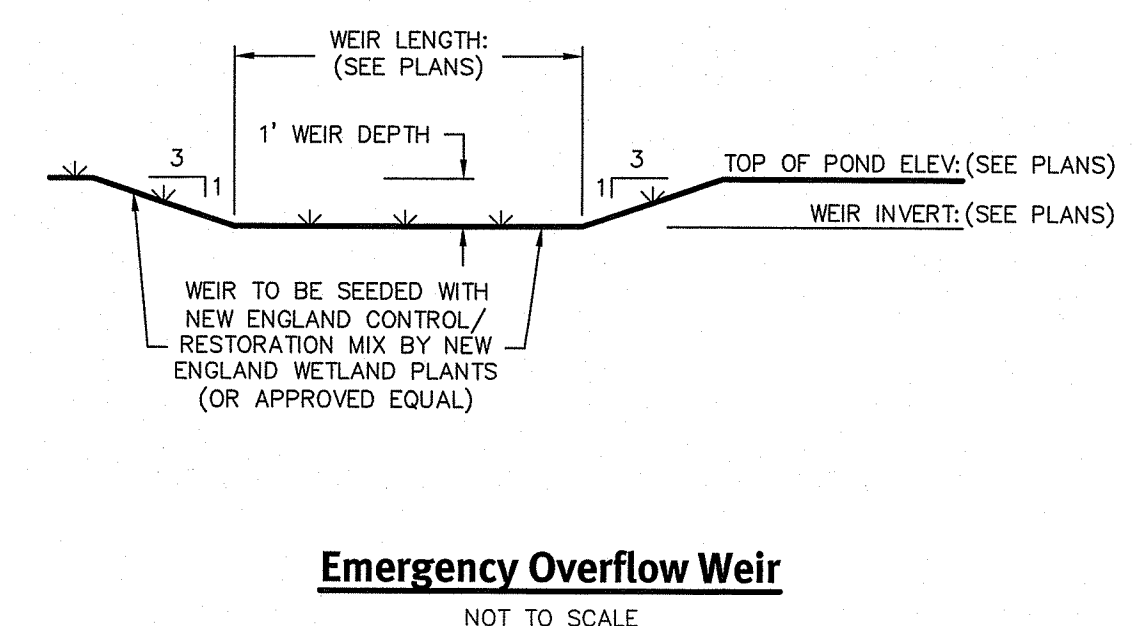
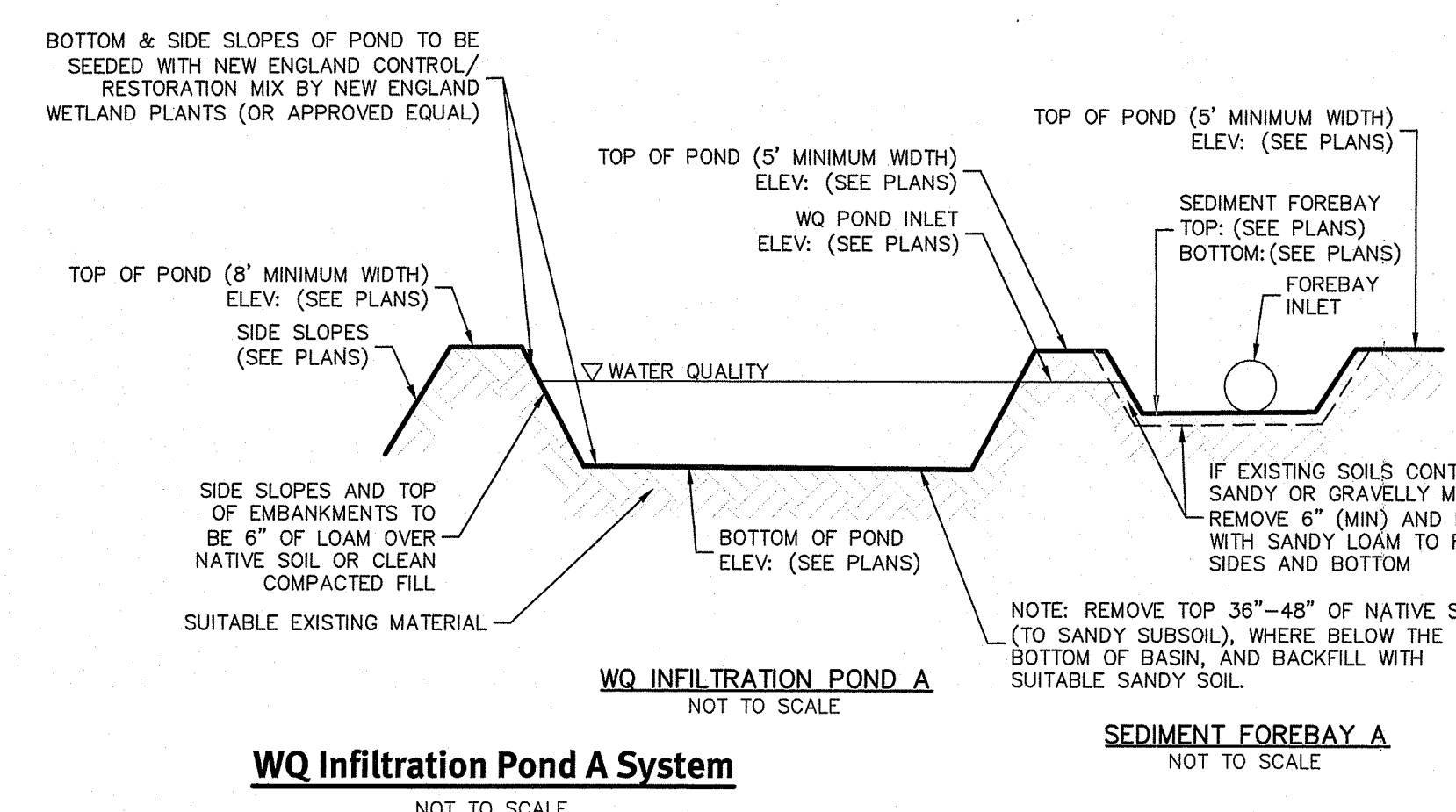
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DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
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DATED JAN 28, 2021 FILE # 28-0166
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Martin B. Wenczek

Infiltration Pond A

DESCRIPTION	WQ-A
TOP OF POND ELEVATION	114.00
100 YEAR STORM ELEVATION	113.05
10 YEAR STORM ELEVATION	111.96
1 YEAR STORM ELEVATION	111.21
WQ STORM ELEVATION	111.01
BOTTOM OF POND ELEVATION	111.00
SEASONAL HIGH GWT ELEVATION	108.00
SOIL EVALUATION	TH-00

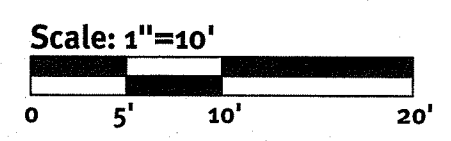
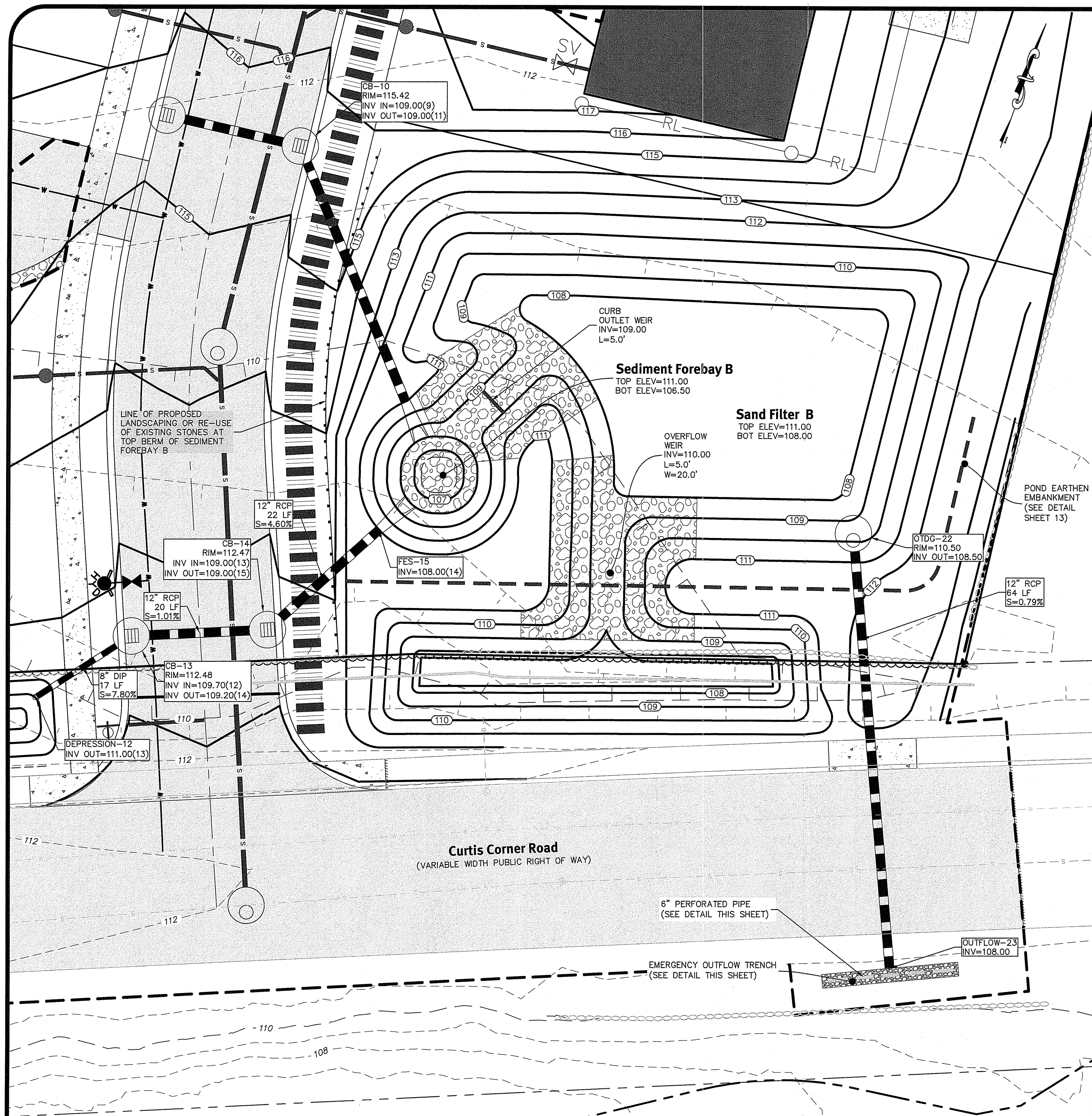


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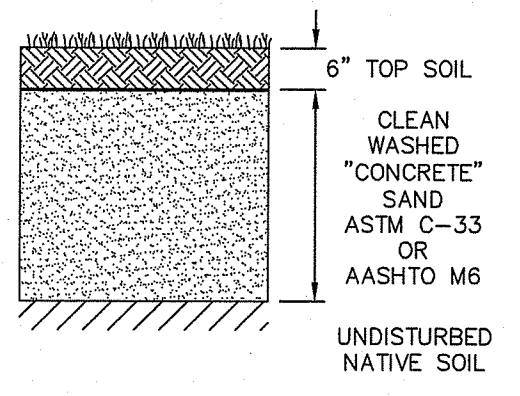
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No.	Date	Description	By
1	10/29/2020	Preliminary Revisions	J.M.F.
2	10/29/2020	Final Plan Revisions	J.M.F.
3	11/16/2020	Final Plan Revisions	J.M.F.
4	11/16/2020	Final Plan Revisions	J.M.F.

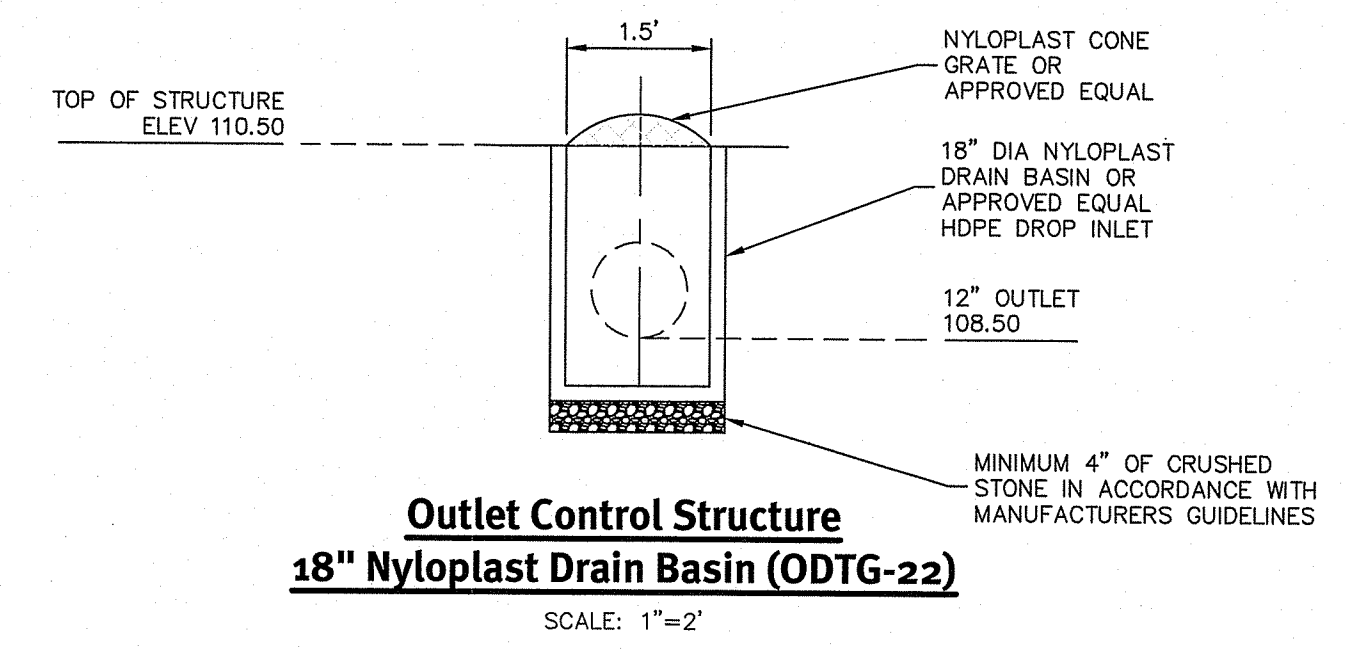
Design By: J.M.F.
Drawn By: J.M.F.



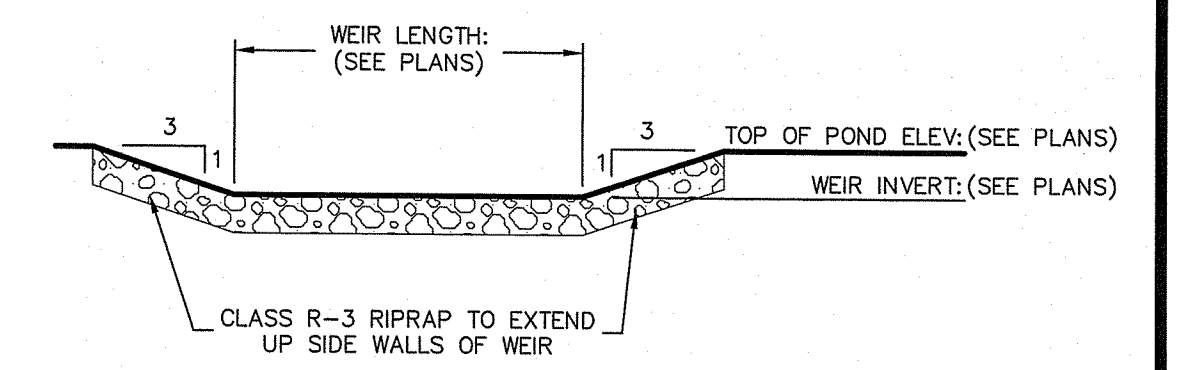
DESCRIPTION	SNDF-B
TOP OF POND ELEVATION	112.00
100 YEAR STORM ELEVATION	111.07
10 YEAR STORM ELEVATION	109.78
1 YEAR STORM ELEVATION	106.26
WQ STORM ELEVATION	106.00
BOTTOM OF POND ELEVATION	108.00
TOP SOIL DEPTH	6"
SAND DEPTH	18"
BOTTOM OF SAND ELEVATION	106.00
SEASONAL HIGH GWT ELEVATION	104.50
SOIL EVALUATION	TH-5



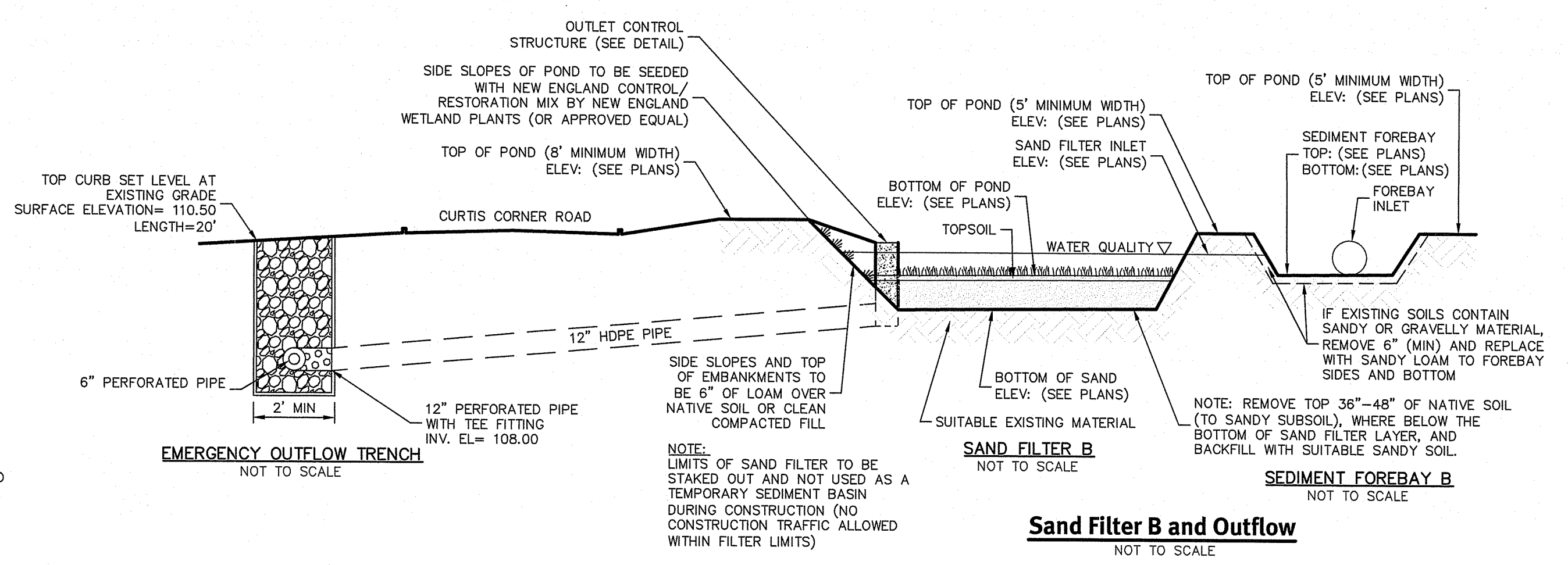
SAND FILTER TYPICAL SECTION



Outlet Control Structure
18" Nyloplast Drain Basin (ODTG-22)



Overflow Weir
NOT TO SCALE



Sand Filter B and Outflow
NOT TO SCALE

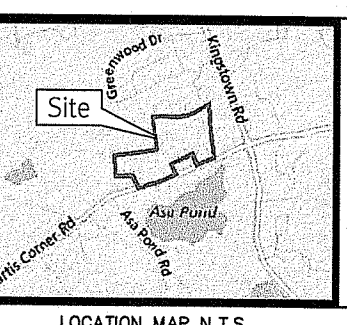
NOV 16 2020

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
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DATED JAN 20, 2021 FILE # 20-0166
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Martin D. Wensch

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KEVIN DEMERS
REGISTERED PROFESSIONAL ENGINEER
CIVIL



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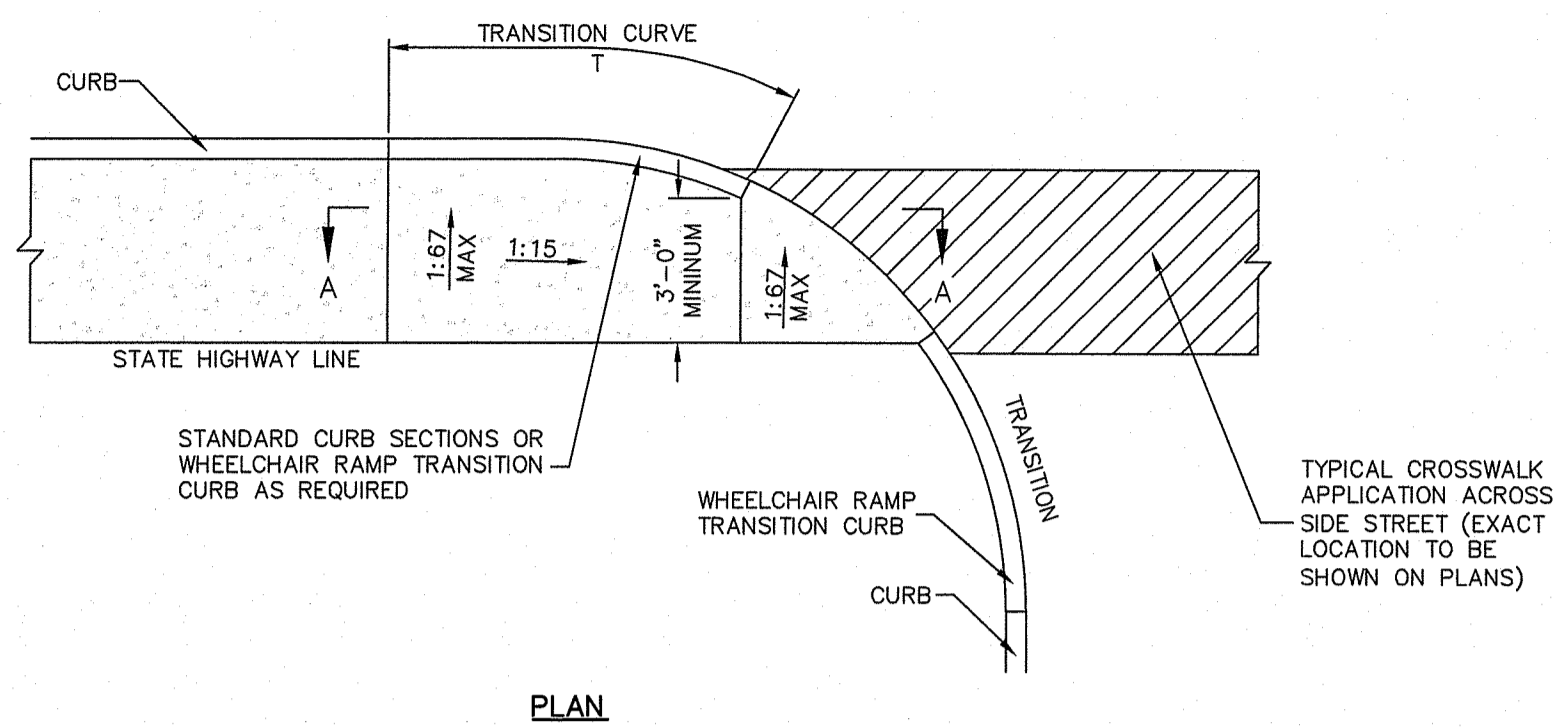
No.	Date	Description	By
1	10/26/2020	Preparation of Plans	J.M.F.
2	01/20/2021	Final Plan/Drawings Submission	J.M.F.
3	07/29/2020	Plan/Drawings Submission	J.M.F.

Design By: C.H.D.
Drawn By: J.M.F.

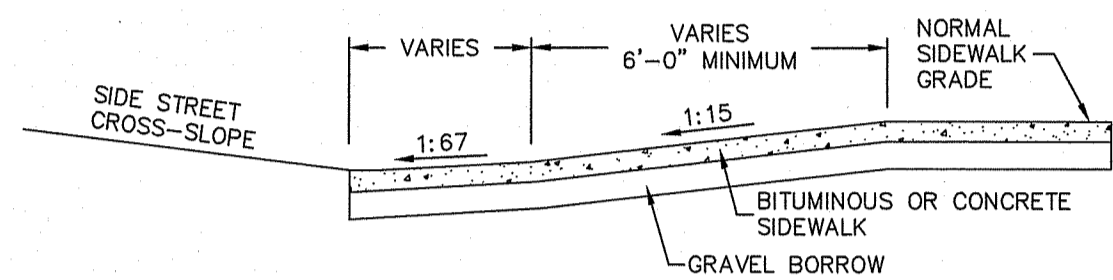
BMP B Details
The Village at Curtis Corner
Assessors Plat 40-4, Lot 55
South Kingstown, Rhode Island
5A Builders, LLC
220 Knowlesway Extension
Narragansett, RI 02882
DE Job No. 0265-053 Copyright 2017 by DiPrete Engineering Associates, Inc.

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PROFILE GRADE	T
0.00	7.5
0.01	9.0
0.02	11.0
0.03	13.5
0.04	19.0
0.05	30.0



PLAN

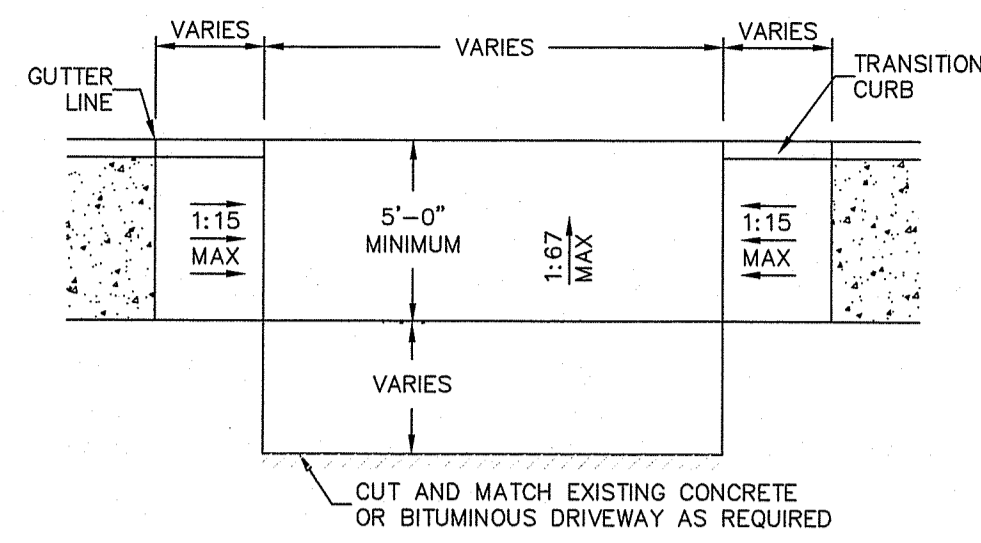


SECTION A-A

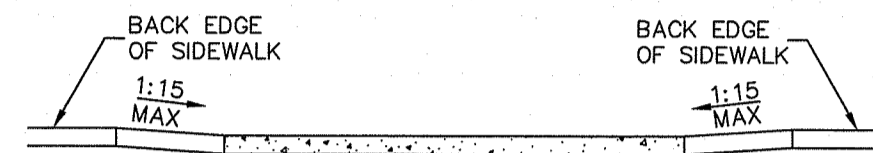
- NOTES:**
1. SHALL BE IN ACCORDANCE WITH SECTION 904 OF THE R.I. STANDARD SPECIFICATIONS.
 2. THIS DETAIL IS TO BE USED ONLY WHEN STATE RIGHT-OF-WAY IS LIMITED TO BACK OF SIDEWALK, AND SIDEWALK IS NARROW WITH NO PEDESTRIAN TRAFFIC FROM SIDE STREET.
 3. WHEN ANY OBSTRUCTION LOCATED IN THE SIDEWALK FALLS WITHIN A CROSSWALK AREA, IF POSSIBLE, THE OBSTRUCTION WILL BE PLACED SUCH THAT IT FALLS OUTSIDE OF THE RAMP.
 4. AT NO TIME IS ANY PART OF THE WHEELCHAIR RAMP TO BE LOCATED OUTSIDE OF THE CROSSWALK, AND IT IS TO BE CENTERED WHENEVER POSSIBLE.
 5. DRAINAGE FACILITIES ARE TO BE LOCATED UP-GRADE OF ALL WHEELCHAIR RAMPS.
 6. LOCATION OF WHEELCHAIR RAMPS IS AS SHOWN ON CONTRACT DRAWINGS.
 7. ALL REQUIRED CUTTING OF CURB PIECES TO BE PAID FOR UNDER COST OF CURB.
 8. THE ENTRANCE OF THE WHEELCHAIR RAMP SHALL BE FLUSH WITH THE ROADWAY.
 9. MINIMUM LENGTH OF STRAIGHT OR CIRCULAR FILLER PIECES TO BE 3'-0" (GREATER LENGTHS PREFERRED).
 10. AN UNOBSTRUCTED PATH OF TRAVEL WITH A MINIMUM WIDTH OF 3'-0" SHALL BE MAINTAINED.
 11. MEETS OR EXCEEDS GUIDELINES OF RIDOT STANDARD DETAIL 43.3.1.

**Wheelchair Ramp
For Limited Right-Of-Way Areas (ADA)**

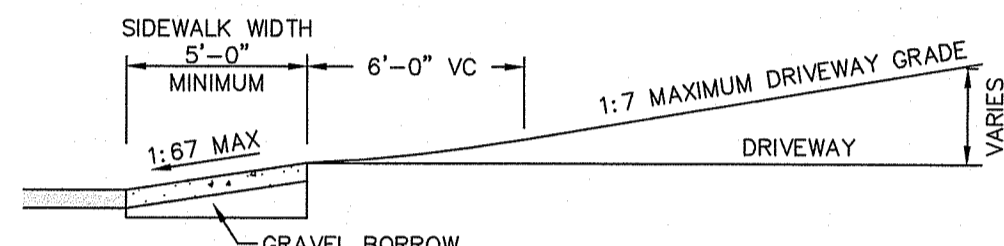
NOT TO SCALE



PLAN



ELEVATION

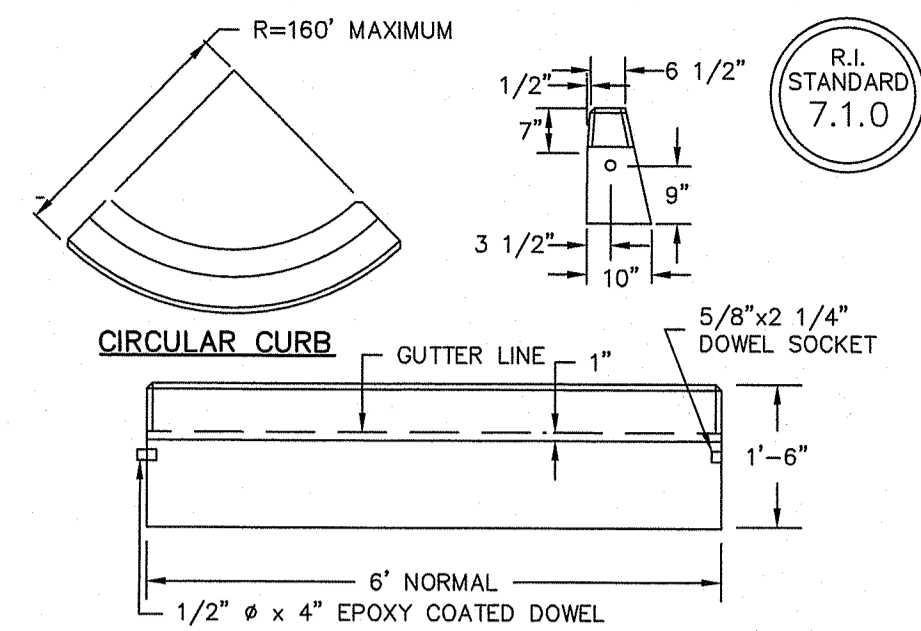


SECTION

- NOTES:**
1. SHALL BE IN ACCORDANCE WITH SECTION 905 OF THE R.I. STANDARD SPECIFICATIONS.
 2. MEETS OR EXCEEDS GUIDELINES OF RIDOT STANDARD DETAIL 43.4.0 AND 43.4.1.

**Driveway Development For
Transition Curb (ADA)**

NOT TO SCALE

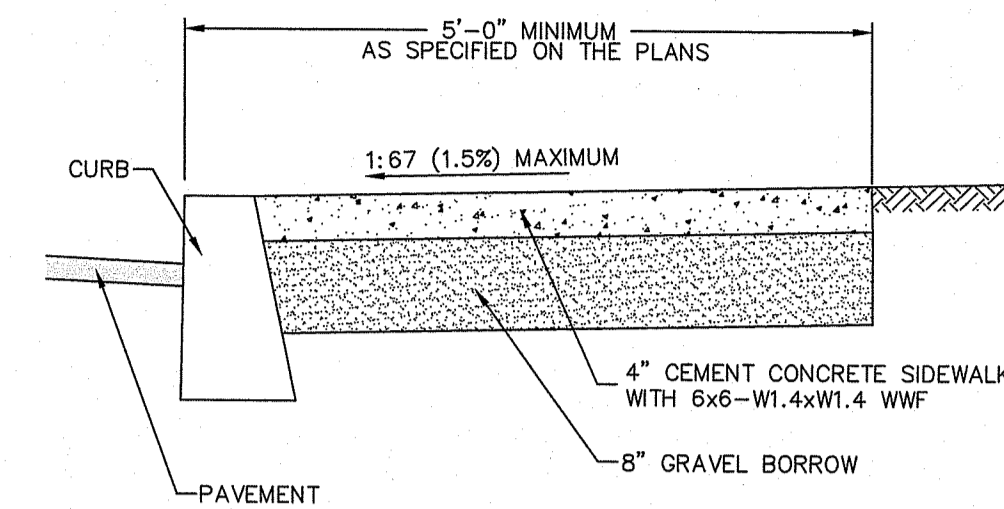


- NOTES:**
1. SHALL BE IN ACCORDANCE WITH SECTION 905 OF THE R.I. STANDARD SPECIFICATIONS.
 2. MINIMUM LENGTH OF STRAIGHT OR CIRCULAR FILLER PIECES TO BE 3'-0".
 3. EXPOSED SURFACES TO HAVE A SPONGE FLOAT FINISH.
 4. CIRCULAR CURB IS REQUIRED ON CURVES WITH RADII OF 160'-0" OR LESS. STRAIGHT CURB TO BE USED ON CURVES OF MORE THAN 160'-0" RADII.
 5. EXPOSED EDGES TO HAVE A 3/4" CHAMFER.

Precast Concrete Curb

NOT TO SCALE

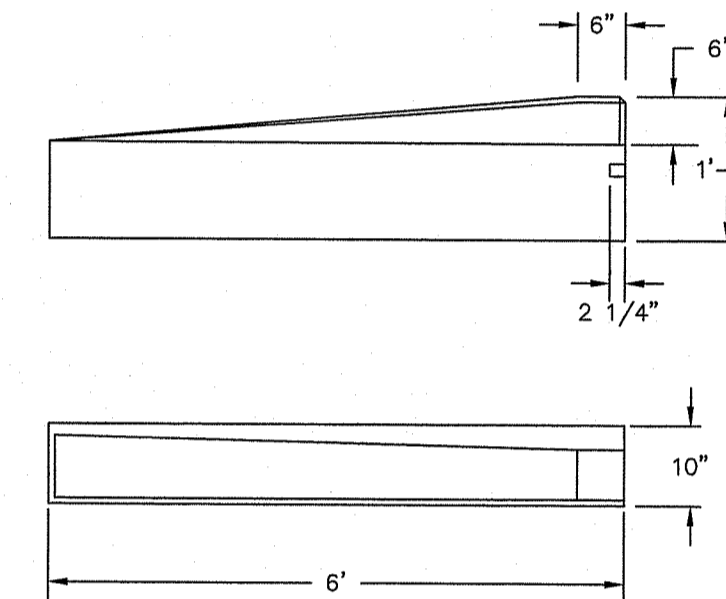
- NOTES:**
1. SHALL BE IN ACCORDANCE WITH SECTION 905 OF THE R.I. STANDARD SPECIFICATIONS.
 2. FOR CURB SETTING DETAIL REFERENCE STD. 7.6.0.
 3. MEETS OR EXCEEDS GUIDELINES OF RIDOT STANDARD DETAIL 43.1.0.



Cement Concrete Sidewalk

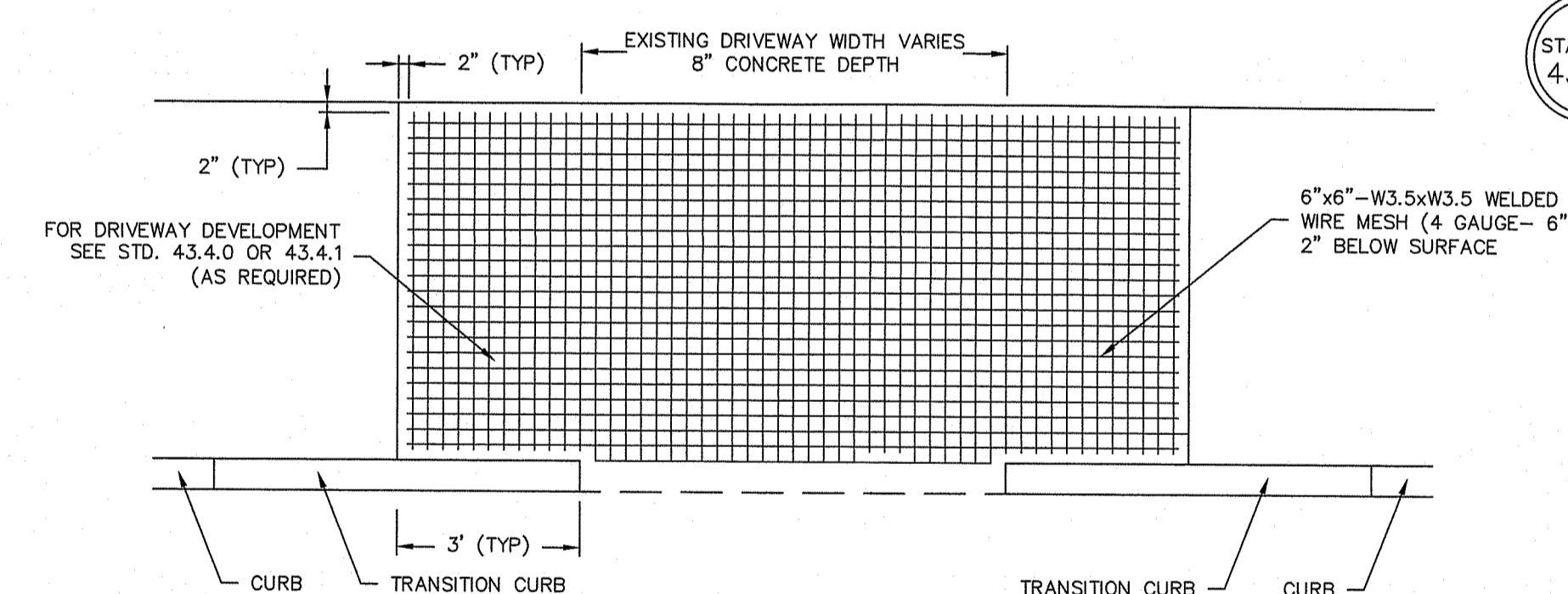
NOT TO SCALE

- NOTES:**
1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF THE R.I. STANDARD SPECIFICATIONS.
 2. DRAWING SHOWS TRANSITION CURB FOR ONE DIRECTION. FOR OTHER DIRECTION USE OPPOSITE HAND AND INCLUDE A 1/2" x 4" EPOXY COATED DOWEL.
 3. EXPOSED SURFACES TO HAVE A SPONGE FLOAT FINISH.
 4. EXPOSED EDGES TO HAVE A 3/4" CHAMFER.



6' Precast Concrete Transition Curb

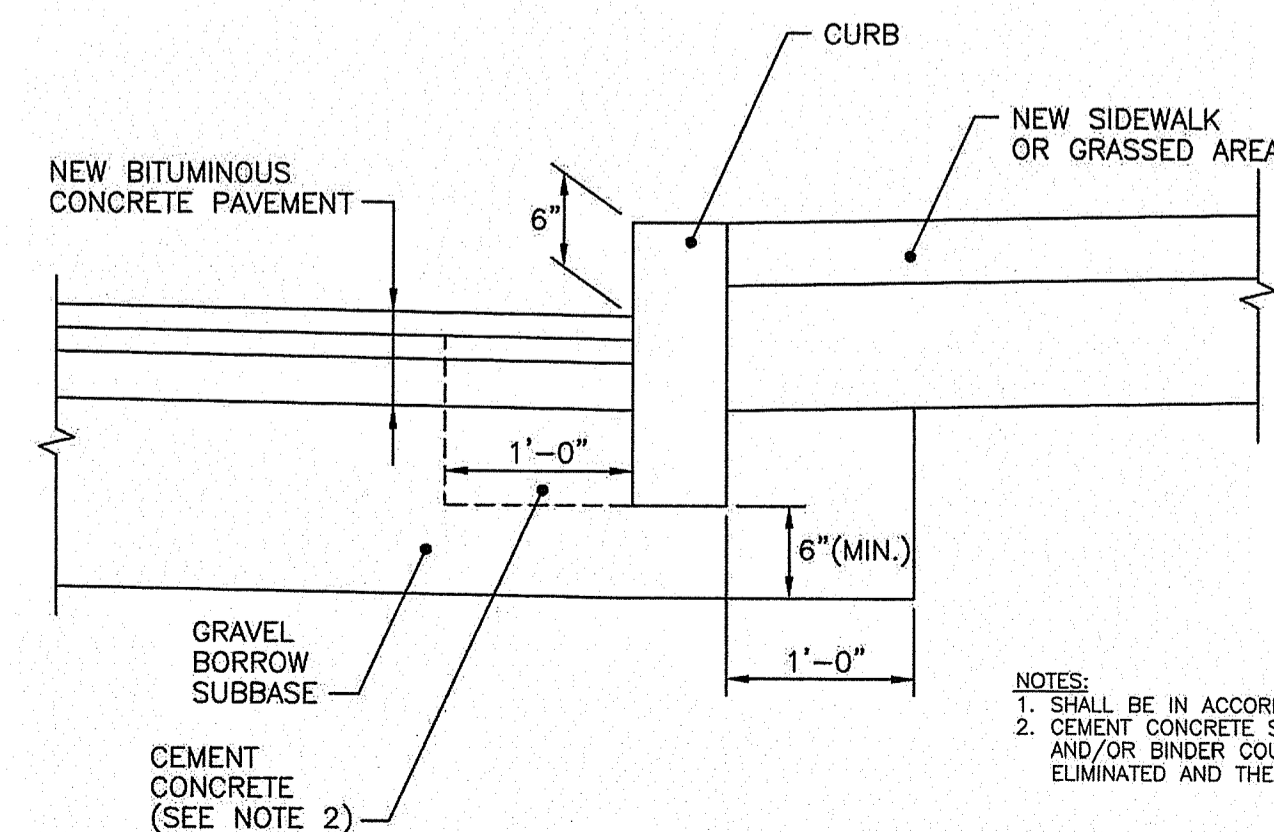
NOT TO SCALE



- NOTE:**
1. SHALL BE IN ACCORDANCE WITH SECTION 904 OF THE R.I. STANDARD SPECIFICATIONS.

Cement Concrete Driveways

NOT TO SCALE



- NOTES:**
1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF THE R.I. STANDARD SPECIFICATIONS.
 2. CEMENT CONCRETE SHALL BE USED ONLY WHEN THE CURB IS SET AFTER THE BASE AND/OR BINDER COURSES ARE IN PLACE. OTHERWISE THE CEMENT CONCRETE WILL BE ELIMINATED AND THE GRAVEL BROUGHT UP TO BOTTOM OF THE BASE COURSE.

Curb Setting Detail

NOT TO SCALE

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED JAN 28, 2021 FILE # 20-0166
NO CHANGES ALLOWED WITHOUT RIDOT APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE
Martin D. Wenc

DiPrete Engineering
Two Stafford Court Cranston, RI 02920
tel: 401-943-1000 fax: 401-464-6066 www.diprete-eng.com
BOSTON • PROVIDENCE • NEWPORT

KEVIN DEMERS
REGISTERED PROFESSIONAL ENGINEER CIVIL
NOV 16 2020
LOCATION MAP N.T.S.

This regulatory submission set shall not be used for construction purposes unless stamped 'Issued for Construction' and signed by a DiPrete Engineering representative.
The contractor is responsible for all of the means, methods, safety precautions and requirements, and OSHA compliance in the implementation of this plan and design.
Design By: J.M.E.
Drawn By: J.M.E.

NO.	DATE	DESCRIPTION
2	10/29/2020	Preliminary Revisions
1	01/16/2021	Preliminary Revisions
1	01/16/2021	Final Revisions
1	01/16/2021	Final

Detail Sheet - 3
The Village at Curtis Corner
Assessors Plat 40-4, Lot 55
South Kingstown, Rhode Island
Applicant/Owner
5A Builders, LLC
220 Knowlesway Extension
Narragansett, RI 02882
Copyright 2017 by DiPrete Engineering Associates, Inc.
SHEET 15 OF 17

z:\demain\projects\0265-053_curtis_corner_road_109\autocad drawings\0265-053_coe.dwg Plotdate: 10/29/2020

Legend

NOT ALL ITEMS SHOWN WILL APPEAR ON THE SURVEY

BUILDING		▲/△	NAIL FOUND/SET
ASPHALT		●/◎	DRILL HOLE FOUND/SET
AP	ASSESSOR'S PLAT	■/□	IRON ROD/PIPE FOUND/SET
N/F	NOW OR FORMERLY	○	BOUND FOUND/SET
(D)	DEED - ADJOINER	○	SIGN
(M)	MEASURED	○ CB	SOIL EVALUATION
(C)	CALCULATED	○ DGB	CATCH BASIN
(CA)	CHORD ANGLE	○ DMH	DOUBLE CATCH BASIN
HC	HANDICAPPED	○ FES	DRAINAGE MANHOLE
	PROPERTY LINE	○ GUY	FLARED END SECTION
	ASSESSORS LINE	○ UP	PIPE
	TREELINE	○ SMH	ELECTRIC MANHOLE/HANDHOLE
	GUARDRAIL	○	UTILITY/POWER POLE
	FENCE	○	LIGHTPOST
	RETAINING WALL	○	SEWER/SEPTIC MANHOLE
	STONE WALL	○	SEWER VALVE
	MINOR CONTOUR LINE	○	CLEANOUT
	MAJOR CONTOUR LINE	○	HYDRANT
	WATER LINE	○	IRRIGATION VALVE
	SEWER LINE	○	WATER VALVE
	SEWER FORCE MAIN	○	WELL
	GAS LINE	○	MONITORING WELL
	ELECTRIC LINE	○	UNKNOWN MANHOLE
	OVERHEAD WIRES	○	GAS VALVE
	DRAINAGE LINE	○	WETLAND FLAG
		○	BENCH MARK
		○	BUSH
		○	TREE

Dimensional Regulations:

MINIMUM LOT AREA*	20,000 SF	5,100 SF	PROVIDED (COMPREHENSIVE PERMIT)
MINIMUM FRONTAGE AND LOT WIDTH*	100 FEET	20 FEET	
MINIMUM FRONT YARD*	35 FEET	10 FEET	
MINIMUM FRONT CORNER YARD*	25 FEET	10 FEET	
MINIMUM SIDE YARD*	15 FEET	10 FEET	
MINIMUM REAR YARD*	35 FEET	15 FEET	
MAXIMUM LOT COVERAGE	25 %	35 FEET	
MAXIMUM HEIGHT	35 FEET	35 FEET	

*RELIEF GRANTED ON 3/11/2020 FOR MASTER PLAN BY SOUTH KINGSTOWN PLANNING BOARD.

State Permits Received

RIDEM INSIGNIFICANT ALTERATION - NO. 17-0228

Master Plan - Conditions of Approval - Dated 3/3/20:

- APPROVAL IS LIMITED TO TWENTY-FOUR (24) LOTS CONTAINING SIXTEEN (16) SINGLE-FAMILY HOMES AND EIGHT (8) DUPLEX DWELLINGS AND TOTALING THIRTY-TWO (32) DWELLING UNITS.
- THE USE OF THE PROPOSED LOTS SHALL BE LIMITED AS FOLLOWS:
A LOTS 1-4, 8-9, 12-13, 15-19, AND 22-24 SHALL BE DEVELOPABLE LOTS EACH TO CONTAIN SINGLE-FAMILY DETACHED STRUCTURES (USE CODE 10).
B LOTS 5-7, 10-11, 14, AND 20-21 SHALL BE DEVELOPABLE LOTS EACH TO CONTAIN A TWO HOUSEHOLD DETACHED STRUCTURE OR DUPLEX (USE CODE 11).
APPROVAL IS BASED UPON THE PROVISION OF 25% SUBSIDIZED HOUSING UNITS AVAILABLE FOR LOW AND MODERATE INCOME RESIDENTS. THE LOW AND MODERATE INCOME DWELLING UNITS WILL BE SOLD OR LEASED TO A PERSON OR FAMILY WITH AN INCOME AT OR BELOW 80% OF THE AREA MEDIAN INCOME AND BE DEED RESTRICTED FOR A PERIOD OF 99 YEARS.
- PROPOSED LMI HOUSING UNITS SHALL BE INTEGRATED THROUGHOUT THE DEVELOPMENT, SHALL BE COMPATIBLE IN SCALE AND ARCHITECTURAL STYLE TO THE MARKET RATE UNITS WITHIN THE PROJECT, AND THEY SHALL BE BUILT AND OFFERED FOR OCCUPANCY SIMULTANEOUSLY WITH THE CONSTRUCTION AND OCCUPANCY OF THE MARKET RATE UNITS.
- AS PART OF THE PRELIMINARY PLAN SUBMITTAL, THE APPLICANT SHALL INDICATE WHICH SPECIFIC LOTS AND/OR UNITS WILL CONTAIN THE LMI HOUSING UNITS AND SHALL PRODUCE THE SCHEDULE BY WHICH THE LMI HOUSING UNITS WILL BE CONSTRUCTED. SAID SCHEDULE SHALL NOT EXCEED THE CONSTRUCTION OF THREE (3) MARKET-RATE UNITS FOR EVERY ONE (1) LMI HOUSING UNIT.
- AS PART OF THE PRELIMINARY PLAN SUBMITTAL, THE APPLICANT SHALL INCLUDE A LETTER OF ELIGIBILITY FROM RHODE ISLAND HOUSING FOR THE PROJECT AS PROPOSED. AS PART OF THE PRELIMINARY PLAN SUBMITTAL, THE APPLICANT SHALL PROVIDE DRAFTS OF A "MONITORING AGREEMENT" AND A "DEED RESTRICTION" THAT WILL ENSURE THAT AFFORDABILITY GUIDELINES WILL BE MET. SUCH DOCUMENTS SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE TOWN'S SPECIAL LEGAL COUNSEL AND THE PLANNING BOARD.
- THE MONITORING AGREEMENT BETWEEN THE DEVELOPER AND THE MONITORING AGENT SHALL REQUIRE NOTIFICATION TO THE TOWN OF SOUTH KINGSTOWN, AS A PARTY WITH A VESTED INTEREST, OF THE AVAILABILITY OF AFFORDABLE HOUSING UNITS FOR PURCHASE OR LEASE. ANY SUCH NOTIFICATION SHALL BE DIRECTED TO THE DIRECTOR OF PLANNING.
- THE APPLICANT SHALL SUBMIT A DOWNSTREAM CARRYING CAPACITY ANALYSIS TO THE DEPARTMENT OF PUBLIC SERVICES FOR REVIEW AND APPROVAL PRIOR TO SUBMITTAL OF THE PRELIMINARY PLAN APPLICATION. APPROVAL OF THE SEWER CONNECTION FROM THE DEPARTMENT OF PUBLIC SERVICES SHALL BE INCLUDED WITH THE PRELIMINARY PLAN AT THE TIME OF APPLICATION SUBMITTAL.
- THE APPLICANT SHALL RESEARCH WALKING PATH(S) CONNECTING THE PROPOSED DEVELOPMENT TO ROUTE 108 AND PRESENT FINDINGS IN AT THE PRELIMINARY STAGE OF REVIEW.
- EXHIBIT A SHALL BE CORRECTED AND SUBMITTED AT PRELIMINARY (FIRST PAGE & PARAGRAPH) TO INDICATE THAT THE R20 ZONING DISTRICT REQUIREMENTS WOULD PERMIT 14 DWELLING UNITS (NOT IN ACCORDANCE WITH THE YIELD PLAN PROVIDED WITH THE APPLICATION AND THAT THE APPLICANT SHOULD CLARIFY WHAT THE REQUESTED MODIFICATION OF THE DIMENSIONAL REQUIREMENTS FROM 100' TO 20' OF FRONTAGE APPLIES TO.

Development Data:

TOTAL SITE AREA:	28.1 ACRES
TOTAL SUITABLE LOT AREA:	7.4 ACRES
TOTAL LOT AREA:	4.2 ACRES
TOTAL OPEN SPACE AREA:	23.2 ACRES
TOTAL RIGHT OF WAY AREA:	0.7 ACRES
RIGHT OF WAY WIDTH:	40'
LENGTH OF ROAD:	630±
ROAD WIDTH:	24'
SIDEWALK WIDTH:	4'
TOTAL NUMBER OF LOTS:	24
TOTAL NUMBER OF UNITS:	32 (8 DUPLEX + 16 SINGLE-FAMILY)
TOTAL NUMBER OF AFFORDABLE UNITS:	8 (25% OF TOTAL UNITS)

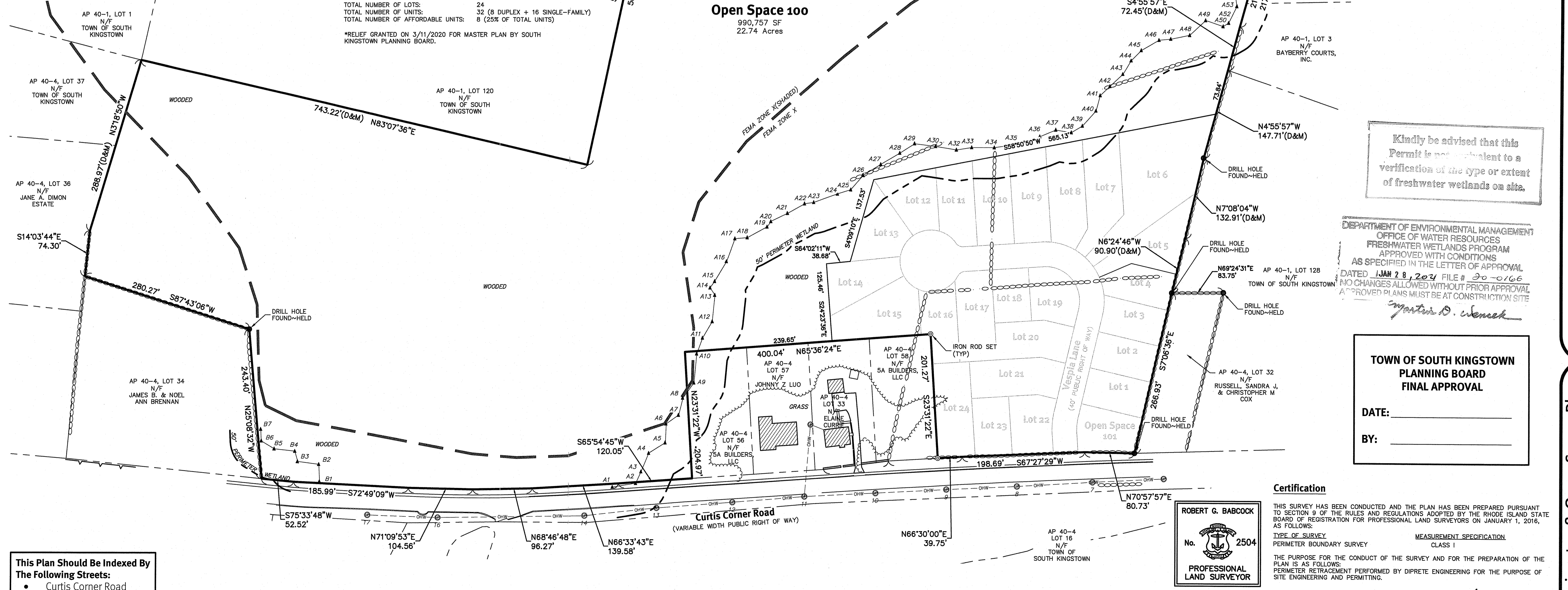
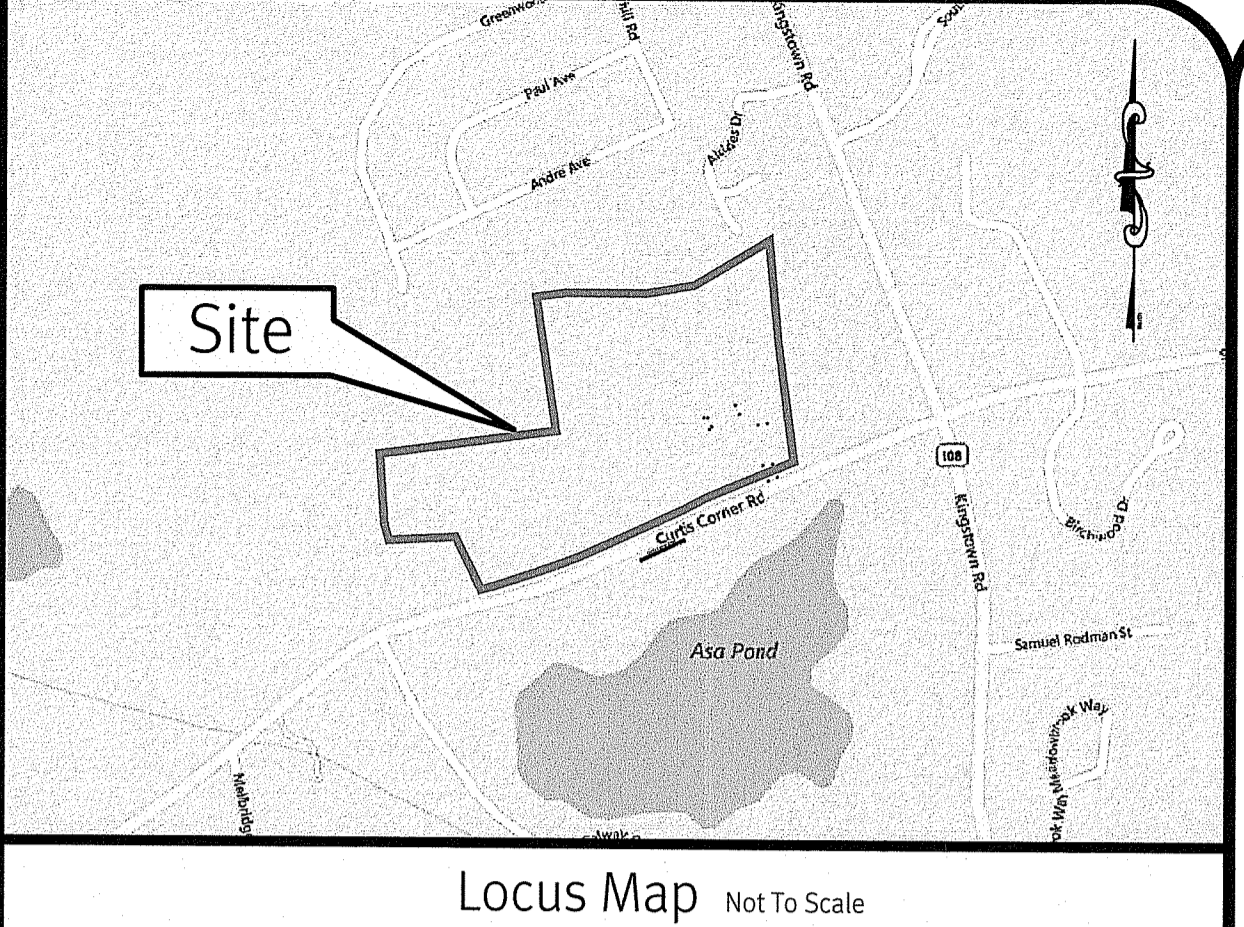
*RELIEF GRANTED ON 3/11/2020 FOR MASTER PLAN BY SOUTH KINGSTOWN PLANNING BOARD.

General Notes

- THE PARCEL IS FOUND ON ASSESSOR'S PLAT 40-4, LOT 55 IN THE TOWN OF SOUTH KINGSTOWN, WASHINGTON COUNTY, RHODE ISLAND.
- THE OWNER PER DEED BOOK 1680, PAGE 270 IS SA BUILDERS, LLC.
- THE PARCEL IS LOCATED IN ZONE X & X SHADED PER FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP 44080C0184J, DATED OCTOBER 16, 2013.
- THE PARCEL IS ZONED R20 PER THE ASSESSOR'S ONLINE DATABASE. PLEASE CONTACT THE ZONING DEPARTMENT FOR ANY ADDITIONAL INFORMATION OR FOR A CERTIFICATE OF ZONING.
- THERE WERE NO CEMETERIES, GRAVE SITES AND OR BURIAL GROUNDS OBSERVED WITHIN THE LIMITS OF THE SURVEY.
- FIELD SURVEY PERFORMED BY DIPRETE ENGINEERING ON OCTOBER 17, 2016. THIS PLAN REFLECTS ON THE GROUND CONDITIONS AS OF THAT DATE.
- ALL UNDERGROUND UTILITIES SHOWN ON THIS PLAN HAVE BEEN LOCATED FROM FIELD SURVEY OBSERVATIONS ONLY. DIPRETE ENGINEERING IS NOT RESPONSIBLE FOR MISSING UNDERGROUND UTILITIES, EITHER IN SERVICE OR ABANDONED, NOT OBSERVED AT THE TIME OF THE SURVEY. (PLEASE CONTACT DIGSAFE 72 WORKING HOURS PRIOR TO ANY CONSTRUCTION AT 1-888-344-7233).
- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT. DIPRETE ENGINEERING IS NOT RESPONSIBLE FOR ANY UNKNOWN OR UNRECORDED EASEMENTS, DEEDS OR CLAIMS THAT A TITLE REPORT WOULD DISCLOSE.
- THIS PARCEL IS LOCATED WITHIN A TMDL WATERSHED FOR FECAL COLIFORM ASSOCIATED WITH ROCKY BROOK AND TRIBUTARIES, AS IDENTIFIED BY THE RIDEM ENVIRONMENTAL RESOURCE MAP.
- ALL INTERIOR LOT LINES HAVE BEEN DESIGNED TO CONFORM TO THE LATEST EDITION OF THE PROCEDURAL AND TECHNICAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE STATE OF RHODE ISLAND AND PROVIDENCE PLANTATIONS, AS PREPARED BY THE RHODE ISLAND SOCIETY OF PROFESSIONAL LAND SURVEYORS

Plan References:

- "PLAT OF LAND IN SOUTH KINGSTOWN, RHODE ISLAND SURVEYED FOR ESTATE OF SAMUEL A. ROOMAN" SCALE 1"=100' DATED FEBRUARY 24, 1950 PLAN BY: LEON L. HOLLAND.
- "SECTION FIVE, ROLLING ACRES, TOWN OF SOUTH KINGSTOWN, R.I., PROPERTY OF BOISVERT AND FORTIN REALTY CO." SCALE: 1"=50' DATED: APRIL 1973, FILED: MAY 1, 1973. RECORDED IN TOWN OF SOUTH KINGSTOWN LAND EVIDENCE RECORDS IN BOOK 16, PAGE 1398.
- "PLAT OF LAND NEAR CURTIS CORNER KNOWN AS LEWIS M. DIMON PROPERTY" SCALE 1"=160', RECORDED IN TOWN OF SOUTH KINGSTOWN LAND EVIDENCE RECORDS IN PLAT BOOK 14, PAGE 1051.
- "PLAN SHOWING LAND OF BOISVERT & FORTIN REALTY CO. SOUTH KINGSTOWN, RHODE ISLAND" PLAN BY W&W LAND SURVEYORS INC. SCALE: 1"=90' DATED: AUGUST 1981, RECORDED IN TOWN OF SOUTH KINGSTOWN LAND EVIDENCE RECORDS IN PLAT BOOK 17, PAGE 1587.
- "ADMINISTRATIVE SUBDIVISION FOR AP 40-1 LOTS 3, 125 & 126 KINGSTOWN ROAD (ROUTE 108) IN SOUTH KINGSTOWN, RHODE ISLAND" OWNED BY SOUTH SHORE MENTAL HEALTH CENTER, INC. BY: COMMONWEALTH ENGINEERS & CONSULTANTS, INC. SCALE 1"=30' REVISED: MAY 25, 2010 RECORDED IN TOWN OF SOUTH KINGSTOWN LAND EVIDENCE RECORDS IN PLAT BOOK C2010, PAGE 31.
- "FINAL PLAN OPEN SPACE USE PLAN ROLLING ACRES SECTION 7 A.P. 40-1, LOT 2 SOUTH KINGSTOWN, RHODE ISLAND" OWNER BOISVERT & FORTIN REALTY COMPANY, BY: ENVIRONMENTAL PLANNING & SURVEYING, INC REVISED: DECEMBER 14, 1999 RECORDED IN TOWN OF SOUTH KINGSTOWN LAND EVIDENCE RECORDS IN PLAT BOOK C2000, PAGE 60.
- "FINAL PLAN DEFINITIVE PLAN FOR ROLLING ACRES SECTION 7 A.P. 40-1, LOT 2 SOUTH KINGSTOWN, RHODE ISLAND" OWNER BOISVERT & FORTIN REALTY COMPANY, BY: ENVIRONMENTAL PLANNING & SURVEYING, INC REVISED: MARCH 23, 2000 RECORDED IN TOWN OF SOUTH KINGSTOWN LAND EVIDENCE RECORDS IN PLAT BOOK C2000, PAGE 59.
- "RECORD PLAN, CURTIS CORNER ROAD MINOR SUBDIVISION", APPLICANT/OWNER DAVID L. ROOMAN, BY: DIPRETE ENGINEERING, SCALE 1" = 80', REVISED 5-14-2018. RECORDED IN TOWN OF SOUTH KINGSTOWN LAND EVIDENCE RECORDS IN MAP 2018-31.



Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED JAN 28, 2024 FILE # 20-0166
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Matthew D. Wemel

**TOWN OF SOUTH KINGSTOWN
PLANNING BOARD
FINAL APPROVAL**

DATE: _____
BY: _____

ROBERT G. BABCOCK
No. 2504
PROFESSIONAL LAND SURVEYOR

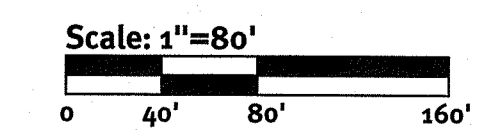
Certification

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON JANUARY 1, 2016, AS FOLLOWS:

TYPE OF SURVEY: PERIMETER BOUNDARY SURVEY
MEASUREMENT SPECIFICATION: CLASS I

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS:
PERIMETER RETRACEMENT PERFORMED BY DIPRETE ENGINEERING FOR THE PURPOSE OF SITE ENGINEERING AND PERMITTING.

This Plan Should Be Indexed By The Following Streets:
• Curtis Corner Road



ROBERT G. BABCOCK, RIPLS #2504, COA #S.000A180
9/18/20

DiPrete Engineering
Two Stafford Court, Cranston, RI 02920
tel 401-943-1000 fax 401-464-6066 www.diprete-eng.com

Perimeter & Open Space Plan
The Village at Curtis Corner
South Kingstown, Rhode Island

Client: SA Builders, LLC
15 Robinson Road, Narragansett, RI 02882

DE Job No: 0265-093 Copyright 2020 by DiPrete Engineering Associates, Inc.

Drawn By: E.L.L.

SHEET 16 OF 17

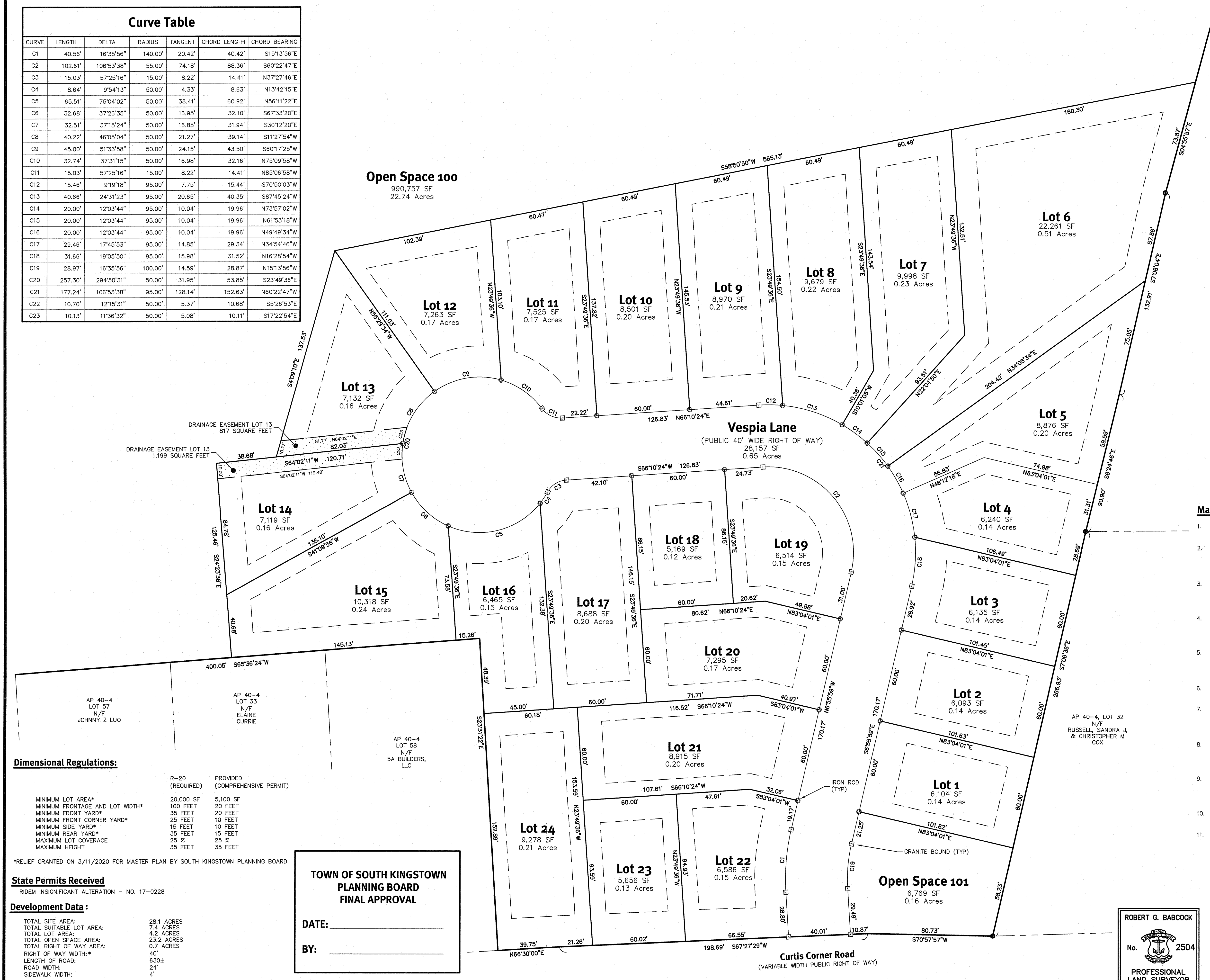
Curve Table						
CURVE	LENGTH	DELTA	RADIUS	TANGENT	CHORD LENGTH	CHORD BEARING
C1	40.56'	16°35'56"	140.00'	20.42'	40.42'	S151°3'56"E
C2	102.81'	106°53'38"	55.00'	74.18'	88.36'	S60°22'47"E
C3	15.03'	57°25'16"	15.00'	8.22'	14.41'	N37°27'46"E
C4	8.64'	9°54'13"	50.00'	4.33'	8.63'	N13°42'15"E
C5	65.51'	75°04'02"	50.00'	38.41'	60.92'	N56°11'22"E
C6	32.68'	37°26'35"	50.00'	16.95'	32.10'	S67°33'20"E
C7	32.51'	37°15'24"	50.00'	16.85'	31.94'	S30°12'20"E
C8	40.22'	46°05'04"	50.00'	21.27'	39.14'	S11°27'54"W
C9	45.00'	51°33'58"	50.00'	24.15'	43.50'	S60°17'25"W
C10	32.74'	37°31'15"	50.00'	16.98'	32.16'	N75°09'58"W
C11	15.03'	57°25'16"	15.00'	8.22'	14.41'	N85°06'58"W
C12	15.46'	9°19'18"	95.00'	7.75'	15.44'	S70°50'03"W
C13	40.66'	24°31'23"	95.00'	20.65'	40.35'	S87°45'24"W
C14	20.00'	12°03'44"	95.00'	10.04'	19.96'	N73°57'02"W
C15	20.00'	12°03'44"	95.00'	10.04'	19.96'	N61°53'18"W
C16	20.00'	12°03'44"	95.00'	10.04'	19.96'	N49°49'34"W
C17	29.46'	17°45'53"	95.00'	14.85'	29.34'	N34°54'46"W
C18	31.66'	19°05'50"	95.00'	15.98'	31.52'	N16°28'54"W
C19	28.97'	16°35'56"	100.00'	14.59'	28.87'	N151°3'56"W
C20	257.30'	294°50'31"	50.00'	31.95'	53.85'	S23°49'36"E
C21	177.24'	106°53'38"	95.00'	128.14'	152.63'	N60°22'47"W
C22	10.70'	12°15'31"	50.00'	5.37'	10.68'	S5°26'53"E
C23	10.13'	11°36'32"	50.00'	5.08'	10.11'	S17°22'54"E

Open Space 100
990,757 SF
22.74 Acres

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED JAN 28, 2021 FILE # 20-016
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION
Martin D. Wemel

NOV 15 2020
DATE OF RECORDING

AP 40-1, LOT 128
N/F
TOWN OF SOUTH KINGSTOWN



Master Plan - Conditions of Approval - Dated 3/3/20:

- APPROVAL IS LIMITED TO TWENTY-FOUR (24) LOTS CONTAINING SIXTEEN (16) SINGLE-FAMILY HOMES AND EIGHT (8) DUPLEX DWELLINGS AND TOTALING THIRTY-TWO (32) DWELLING UNITS.
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- AS PART OF THE PRELIMINARY PLAN SUBMITTAL, THE APPLICANT SHALL INDICATE WHICH SPECIFIC LOTS AND/OR UNITS WILL CONTAIN THE LMI HOUSING UNITS AND SHALL PROPOSE THE SCHEDULE BY WHICH THE LMI HOUSING UNITS WILL BE CONSTRUCTED. SAID SCHEDULE SHALL NOT EXCEED THE CONSTRUCTION OF THREE (3) MARKET-RATE UNITS FOR EVERY ONE (1) LMI HOUSING UNIT.
- AS PART OF THE PRELIMINARY PLAN SUBMITTAL, THE APPLICANT SHALL INCLUDE A LETTER OF ELIGIBILITY FROM RHODE ISLAND HOUSING FOR THE PROJECT AS PROPOSED.
- AS PART OF THE PRELIMINARY PLAN SUBMITTAL, THE APPLICANT SHALL PROVIDE DRAFTS OF A "MONITORING AGREEMENT" AND A "DEED RESTRICTION" THAT WILL ENSURE THAT AFFORDABILITY GUIDELINES WILL BE MET. SUCH DOCUMENTS SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE TOWN'S SPECIAL LEGAL COUNSEL AND THE PLANNING BOARD.
- THE MONITORING AGREEMENT BETWEEN THE DEVELOPER AND THE MONITORING AGENT SHALL REQUIRE NOTIFICATION TO THE TOWN OF SOUTH KINGSTOWN, AS A PARTY WITH A VESTED INTEREST, OF THE AVAILABILITY OF AFFORDABLE HOUSING UNITS FOR PURCHASE OR LEASE. ANY SUCH NOTIFICATION SHALL BE DIRECTED TO THE DIRECTOR OF PLANNING.
- THE APPLICANT SHALL SUBMIT A DOWNSTREAM CARRYING CAPACITY ANALYSIS TO THE DEPARTMENT OF PUBLIC SERVICES FOR REVIEW AND APPROVAL PRIOR TO SUBMITTAL OF THE PRELIMINARY PLAN APPLICATION. APPROVAL OF THE SEWER CONNECTION FROM THE DEPARTMENT OF PUBLIC SERVICES SHALL BE INCLUDED WITH THE PRELIMINARY PLAN AT THE TIME OF APPLICATION SUBMITTAL.
- THE APPLICANT SHALL RESEARCH WALKING PATH(S) CONNECTING THE PROPOSED DEVELOPMENT TO ROUTE 108 AND PRESENT FINDINGS IN AT THE PRELIMINARY STAGE OF REVIEW.
- EXHIBIT A SHALL BE CORRECTED AND SUBMITTED AT PRELIMINARY (FIRST PAGE & PARAGRAPH) TO INDICATE THAT THE R20 ZONING DISTRICT REQUIREMENTS WOULD PERMIT 14 DWELLING UNITS (NOT IN ACCORDANCE WITH THE YIELD PLAN PROVIDED WITH THE APPLICATION AND THAT THE APPLICANT SHOULD CLARIFY WHAT THE REQUESTED MODIFICATION OF THE DIMENSIONAL REQUIREMENTS FROM 100' TO 20' OF FRONTAGE APPLIES TO.

Certification

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON JANUARY 1, 2016, AS FOLLOWS:
TYPE OF SURVEY: PERIMETER BOUNDARY SURVEY
MEASUREMENT SPECIFICATION: CLASS 1
THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS:
PERIMETER RETRACEMENT PERFORMED BY DIPRETE ENGINEERING FOR THE PURPOSE OF SITE ENGINEERING AND PERMITTING.

ROBERT G. BABCOCK
No. 2504
PROFESSIONAL LAND SURVEYOR

Scale: 1"=30'
0 15' 30' 60'

Robert G. Babcock
ROBERT G. BABCOCK, RIPLS #2504, COA #LS.000A160
9/18/20

Dimensional Regulations:

	R-20 (REQUIRED)	PROVIDED (COMPREHENSIVE PERMIT)
MINIMUM LOT AREA*	20,000 SF	5,100 SF
MINIMUM FRONTAGE AND LOT WIDTH*	100 FEET	20 FEET
MINIMUM FRONT YARD*	35 FEET	20 FEET
MINIMUM FRONT CORNER YARD*	25 FEET	10 FEET
MINIMUM SIDE YARD*	15 FEET	10 FEET
MINIMUM REAR YARD*	35 FEET	15 FEET
MAXIMUM LOT COVERAGE	25 %	25 %
MAXIMUM HEIGHT	35 FEET	35 FEET

*RELIEF GRANTED ON 3/11/2020 FOR MASTER PLAN BY SOUTH KINGSTOWN PLANNING BOARD.

State Permits Received

RIDEM INSIGNIFICANT ALTERATION - NO. 17-0228

Development Data :

TOTAL SITE AREA:	28.1 ACRES
TOTAL SUITABLE LOT AREA:	7.4 ACRES
TOTAL LOT AREA:	4.2 ACRES
TOTAL OPEN SPACE AREA:	23.2 ACRES
TOTAL RIGHT OF WAY AREA:	0.7 ACRES
RIGHT OF WAY WIDTH:*	40'
LENGTH OF ROAD:	630±
ROAD WIDTH:	24'
SIDEWALK WIDTH:	4'
TOTAL NUMBER OF LOTS:	24
TOTAL NUMBER OF UNITS:	32 (8 DUPLEX + 16 SINGLE-FAMILY)
TOTAL NUMBER OF AFFORDABLE UNITS:	8 (25% OF TOTAL UNITS)

*RELIEF GRANTED ON 3/11/2020 FOR MASTER PLAN BY SOUTH KINGSTOWN PLANNING BOARD.

**TOWN OF SOUTH KINGSTOWN
PLANNING BOARD
FINAL APPROVAL**

DATE: _____
BY: _____

**This Plan Should Be Indexed By
The Following Streets:**
• Curtis Corner Road

DiPrete Engineering
Two Stafford Court Cranston, RI 02920
tel. 401-943-1000 fax. 401-943-6006 www.diprete-eng.com

NO.	DATE	RECORD PLAN	DESCRIPTION	BY
0	8/16/20			

Drawn By: E.L.T.

Record Plan
The Village at Curtis Corner
South Kingstown, Rhode Island
Client: **5A Builders, LLC**
15 Robertson Road
Narragansett, RI 02882