

Permitting Plan Submission

Pearl Car Wash

202 JT Connell Highway
Newport, Rhode Island

Assessor's Plat 4 Lot 82

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED NOV 11 2020 FILE # 20-0171
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE
Nancy L. Freeman

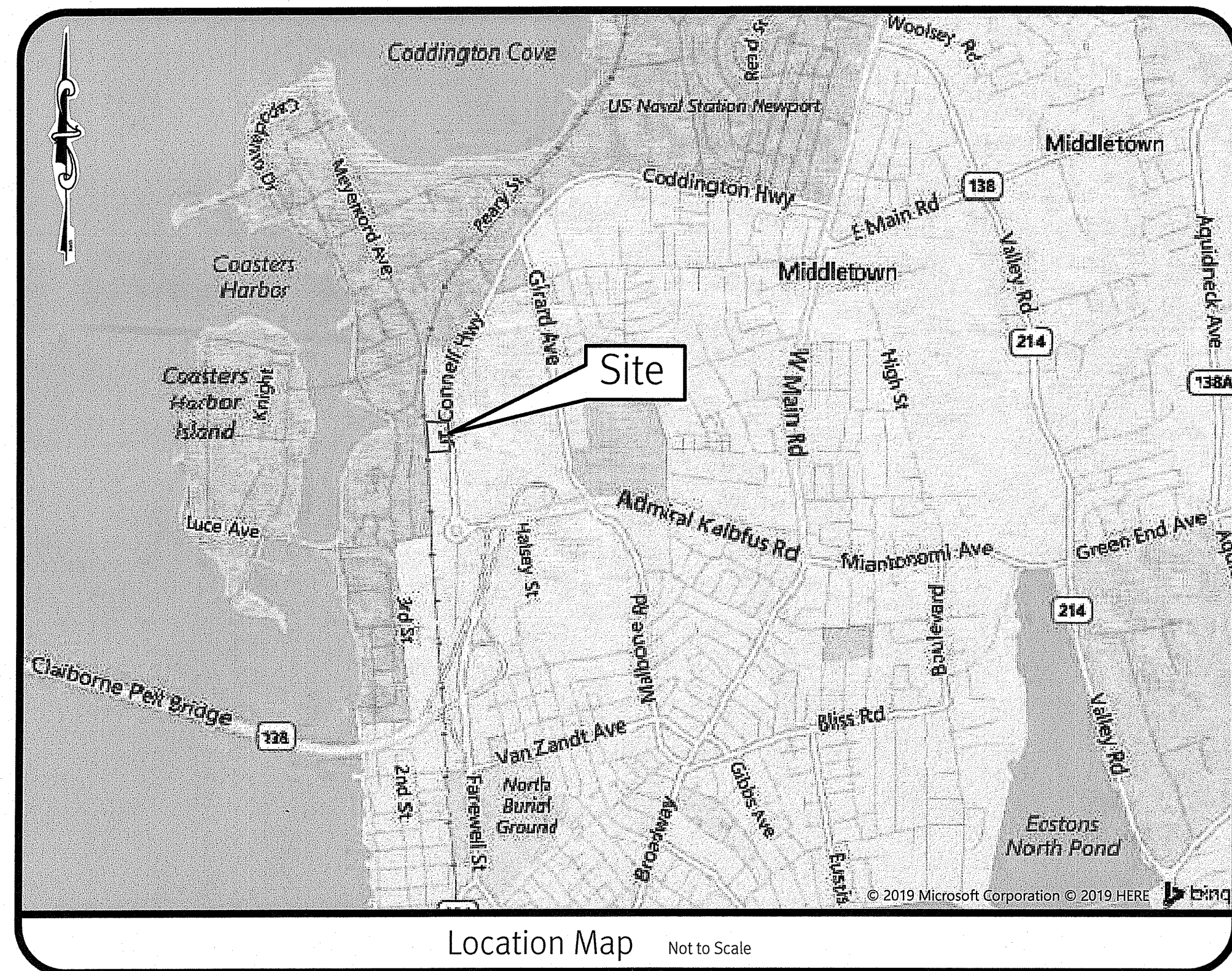
Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.

DiPrete Engineering

90 Broadway Newport, RI 02840
tel. 401-619-5890 fax. 401-464-6006 www.diprete-eng.com

Boston • Providence • Newport

BRIAN C. GIROUX
0341
10-3-2020
REGISTERED
PROFESSIONAL ENGINEER
CIVIL



Sheet Index

- 1 Cover Sheet
- 2 Aerial Half Mile Radius & USGS Map
- 3 General Notes & Legend
- 4 Existing Analysis Plan
- 5 Soil Erosion Control Plan
- 6 Site Layout Plan
- 7 Grading & Utility Plan
- 8 Sand Filter Details
- 9 Detail Sheet-1
- 10 Detail Sheet-2
- 11 Landscape Plan

Environmental Management
OCT 07 2020
Office of Water Resources

SESC / O&M
The Soil Erosion and Sediment Control Plan (SESC) and Stormwater Operation and Maintenance Plan (O&M) are required documents with this plan set and must be maintained by the contractor and owner on site.

RIDOT
The Proposed Improvements Will Not Increase the Rate of Stormwater Runoff Onto the State Highway. All Work Within the State Right of Way Must Conform to the RI Standard Specifications, Details, and Addendums.

This plan set must not be used for construction purposes unless approved by a registered Professional Engineer of DiPrete Engineering.
DiPrete Engineering only warrants this plan as a DiPrete Engineering title block stamped by registered Professional Engineer of DiPrete Engineering. DiPrete Engineering does not warrant plans by any other party.
The contractor is responsible for all other means, methods, safety and performance in the implementation of this plan and design.
Existing utilities shown on this plan are approximate only. DiPrete Engineering assumes no responsibility for damages incurred due to locations of existing utilities. See Utility Note on sheet 3.

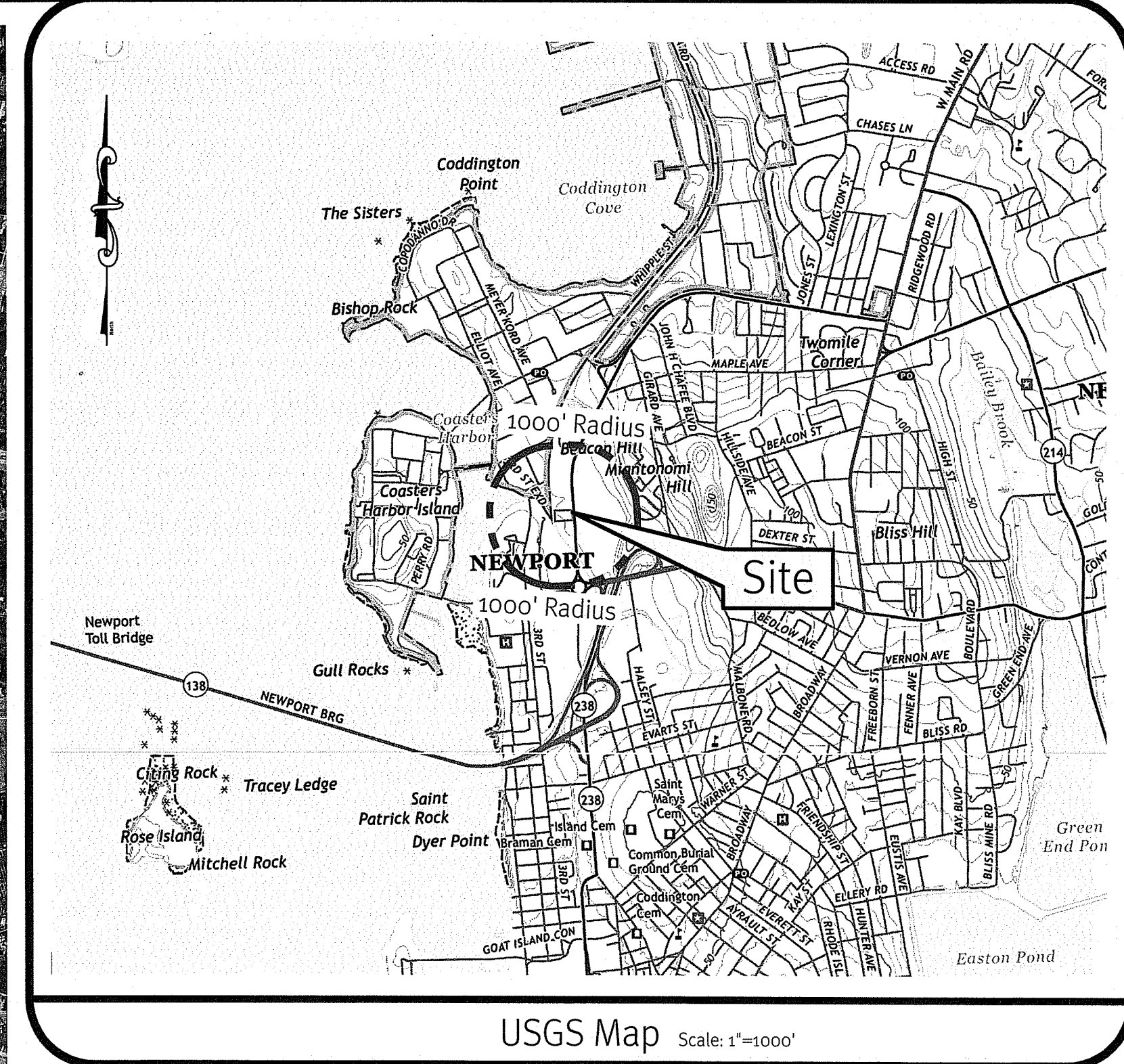
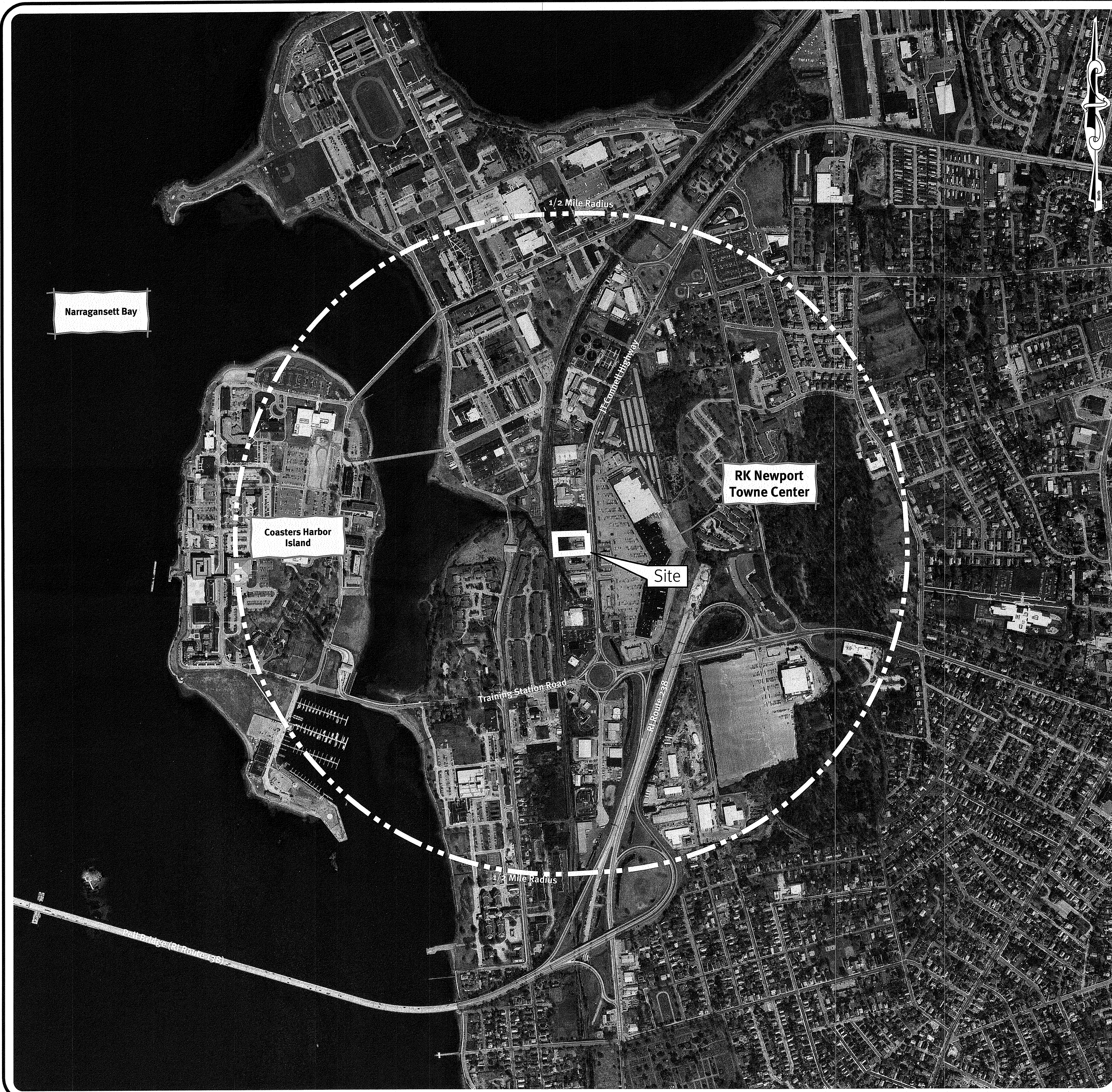
No.	Date	Description	Drawn By: N.D.K.	Design By: D.B.N.
3	05-20-2020	GENERAL RECORDS & COMMENTS		
2	03-23-2020	Permitting Plan Submission		
1	01-02-2020	Documentation Review		
1	01-02-2020	Documentation Review		

Cover Sheet

Pearl Car Wash
202 JT Connell Highway
Newport, Rhode Island
Pizza Hut of America
1200 Aquidneck Avenue, Middletown RI 02842
tel. 401-619-6200

SHEET 1 OF 11

E:\Main\projects\2777-001 - Jt conell memorial highway 2020\avocad drawings\2777-001-001-001.dwg Plotset: 10/6/2020



Narragansett Bay

Coasters Harbor Island

RK Newport Towne Center

Site

1/2 Mile Radius

1/2 Mile Radius

Image Obtained from RIGIS 2014 Aerial Photography

Scale: 1"=400'
0 200' 400' 800'

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED NOV 17 2020 FILE # 20-0171
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE.
Nancy L. Freeman

Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.

Environmental Management
OCT - 7 2020
Office of Water Resources

DiPrete Engineering
90 Broadway Newport, RI 02840
tel 401-619-8590 fax 401-464-6006 www.diprete-eng.com
Boston • Providence • Newport

BRIAN C. GROUX
REGISTRED PROFESSIONAL ENGINEER CIVIL
10-5-2015

This plan set must not be used for construction purposes unless stamped, issued for construction and stamped by a registered professional engineer or DiPrete Engineering.
The contractor is responsible for all of the means, methods, safety and quality of the work shown on this plan and design.
The contractor is responsible for all of the means, methods, safety and quality of the work shown on this plan and design.
Engineering assumes no responsibility for damages incurred due to the implementation of this plan and design.
Locations of existing utilities. See Utility Map on sheet 3.

No.	Date	Description	By	Dr.
1	10-13-2020	RI PERMITS TO CONSTRUCT	NLV	
2	10-24-2020	PERMITS TO CONSTRUCT	NLV	
3	9-23-2019	Development Plan Review	NLV	
4		Concept Plan	NLV	
5			NLV	

Drawn By: N.D.K. Design By: D.R.N.

Aerial Half Mile Radius & USGS Map
Pearl Car Wash
Newport, Rhode Island
Prepared for:
Pizza Hut of America
1100 Aquidneck Avenue, Middletown RI 02842
tel 401-849-5200
DE Job No: 2777-001 Copyright 2020 by DiPrete Engineering Associates, Inc.

General Notes:

- 1. THE SITE IS LOCATED ON THE CITY OF NEWPORT ASSESSOR'S PLAT 4 LOT 82. TOTAL AREA IS APPROXIMATELY 0.86 ACRES. THE OWNER IS: PIZZA HUT OF AMERICA INC PO BOX 8015 INDIANAPOLIS, IN 46280
2. THIS SITE IS LOCATED IN FEMA FLOOD ZONES AE (EL 13) AND X (SHADED). REFERENCE FEMA FLOOD INSURANCE RATE MAP 4005C0089I, MAP REVISED SEPTEMBER 4, 2013. (FLOOD PLAIN DESCRIPTIONS SHOWN BELOW)
ZONE AE - THIS SITE IS LOCATED IN FEMA FLOOD ZONE AE. ZONE AE ARE COASTAL SPECIAL FLOOD HAZARD AREAS INUNDATED BY 100-YEAR FLOOD. BASE FLOOD ELEVATIONS HAVE BEEN DETERMINED.
ZONE X (SHADED) - THIS SITE IS LOCATED IN FEMA FLOOD ZONE X (SHADED). ZONE X (SHADED) ARE AREAS OF 2% ANNUAL CHANCE OF FLOOD; AREAS OF 1% ANNUAL CHANCE OF FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.
3. THE BOUNDARY LINE AS SHOWN ON THIS PLAN DEPICTS THE RESULTS OF A CLASS I BOUNDARY RETRACEMENT SURVEY AS PERFORMED BY DIPRETE ENGINEERING ASSOCIATES, INC. THIS PLAN IS NOT TO BE CONSTRUED AS A CLASS I BOUNDARY RETRACEMENT SURVEY PLAN AND IS NOT SUITABLE FOR RECORDING AS A CLASS I STANDARD SURVEY PLAN.

CONTOUR DATA SHOWN ON THIS PLAN CONFORMS TO A T-4 TOPOGRAPHICAL SURVEY STANDARD FOR UNDEVELOPED AREAS OF THE SITE & A T-2 TOPOGRAPHICAL SURVEY STANDARD FOR DEVELOPED AREAS OF THE SITE AS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS. SAID DATA IS BASED ON ELEVATION INFORMATION THAT WAS COLLECTED WITH AIRBORNE LIDAR TECHNOLOGY FOR THE ENTIRE AREA OF RHODE ISLAND BETWEEN APRIL 22 AND MAY 6, 2011 AS PART OF THE NORTHEAST LIDAR PROJECT. THIS DATA'S POSITIONAL ACCURACY AND RELIABILITY HAS NOT BEEN VERIFIED BY DIPRETE ENGINEERING, AND IS SUBJECT TO CHANGES AN AUTHORITYATIVE FIELD SURVEY MAY DISCLOSE.

- 4. ALL WORK PERFORMED HEREIN IS TO BE GOVERNED BY CURRENT EDITIONS OF THE RHODE ISLAND STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION, CITY OF NEWPORT STANDARD SPECIFICATIONS AND DETAILS, AND SPECIFICATIONS INCLUDED AS PART OF THE DRAWINGS. IN AREAS OF CONFLICT BETWEEN THE DIFFERENT SPECIFICATIONS, THE DESIGN PLANS AND PROJECT SPECIFICATIONS WILL TAKE PRECEDENCE OVER THE GENERAL SPECIFICATIONS AND THE DESIGN ENGINEER WILL INTERPRET THE CONSTRUCTION REQUIREMENT. THE CONTRACTOR IS ADVISED TO SUBMIT A REQUEST FOR INFORMATION (RFI) FOR ANY AREAS OF CONFLICT BEFORE COMMITTING TO CONSTRUCTION.

- 5. THE SITE IS WITHIN AN: AQUINECK ISLAND SAMP (GRMC)
6. THE SITE IS NOT WITHIN A: GROUNDWATER PROTECTION AREA (RIDEM) NATURAL HERITAGE AREA (RIDEM)

- 7. THE FOLLOWING DOCUMENTS ARE CONSIDERED PART OF THE PROJECT PLANS AND THE CONTRACTOR/OWNER MUST MAINTAIN THESE DOCUMENTS AS PART OF A FULL PLAN SET:

- SOIL EROSION AND SEDIMENT CONTROL PLAN (SECC). THE SECC CONTAINS THE FOLLOWING:
o EROSION CONTROL MEASURES
o SHORT TERM MAINTENANCE
o ESTABLISHMENT OF VEGETATIVE COVER
o CONSTRUCTION POLLUTION PREVENTION
o SEQUENCE OF CONSTRUCTION
• OPERATION AND MAINTENANCE PLAN (O&M). THE O&M CONTAINS:
o LONG TERM MAINTENANCE
o LONG TERM POLLUTION PREVENTION

- 8. THIS PLAN SET REFERENCES RIDOT STANDARD DETAILS (DESIGNATED AS RIDOT STD X.X.X.). RIDOT STANDARD DETAILS ARE AVAILABLE FROM RIDOT AND ONLINE AT: HTTP://WWW.DOT.RI.GOV/BUSINESS/CONTRACTORSANDCONSULTANTS.PHP.

- 9. SEE THE DEMOLITION AND EROSION CONTROL PLAN FOR SOIL EROSION AND SEDIMENT CONTROL MEASURES.

- 10. THE SITE IS TO BE SERVICED BY PUBLIC WATER AND PUBLIC SEWER.

- 11. THE DRAINAGE SYSTEM IS DESIGNED TO MEET THE CITY OF NEWPORT SUBDIVISION AND LAND DEVELOPMENT REGULATIONS WITH THE USE OF UNDERGROUND DRAINAGE CONNECTIONS AND THE STORMWATER MANAGEMENT SYSTEM MEETS THE RIDEM BEST MANAGEMENT PRACTICES.

- 12. THE SITE IS PROPOSED TO BE BUILT IN ONE PHASE.
13. ANY PROPRIETARY PRODUCTS REFERENCED IN THIS PLAN SET ARE REPRESENTATIVE OF THE MINIMUM DESIGN REQUIREMENTS FOR THE PURPOSE IT PROPOSES TO SERVE. ALTERNATIVES TO ANY PROPRIETARY PRODUCT MAY BE SUBMITTED TO THE ENGINEER OF RECORD FOR CONSIDERATION, WHICH MUST BE ACCOMPANIED BY APPROPRIATE SPECIFICATION SHEETS/ DESIGN CALCULATIONS THAT DEMONSTRATE THE ALTERNATIVE(S) MEET THE MINIMUM DESIGN PARAMETERS OF THE PRODUCT SHOWN ON THE PLANS. NO ALTERNATIVES MAY BE USED WITHOUT THE WRITTEN APPROVAL OF THE ENGINEER OF RECORD.

- 14. THIS PLAN SET MAY REFERENCE AND/ OR INCLUDE REPRODUCTIONS OF PROPRIETARY PRODUCTS/ DETAILS BY OTHERS, AND/ OR THEIR ASSOCIATED SPECIFICATIONS. ANY REFERENCED OR REPRODUCED PROPRIETARY PRODUCT OR DETAIL BY OTHERS THAT IS SHOWN ON DIPRETE PLANS IS STRICTLY FOR INFORMATION/ SPECIFICATION PURPOSES ONLY. DIPRETE ENGINEERING DOES NOT WARRANT ANY PROPRIETARY PRODUCTS, DETAILS BY OTHERS OR THEIR RESPECTIVE DESIGNS. IF A DIPRETE ENGINEERING PLAN INCLUDES A PROPRIETARY PRODUCT/ DETAIL BY OTHERS (EITHER EXPLICITLY OR IMPLIED) AND IS STAMPED BY A REGISTERED PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING, SAID STAMP DOES NOT EXTEND TO ANY PORTION OF THE PROPRIETARY PRODUCT/ DETAIL BY OTHERS OR ITS DESIGN.

Soil Erosion and Sedimentation Control Notes:

- 1. THE CONTRACTOR IS RESPONSIBLE FOR ALL SOIL EROSION AND SEDIMENT CONTROL ON SITE WHICH MUST BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE APPLICABLE REGULATIONS AND AUTHORITY HAVING JURISDICTION. THE CONTRACTOR IS TO NOTIFY THE DESIGN ENGINEER AND THE DEPARTMENT OF UTILITIES. AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
2. ALL EROSION CONTROL INCLUDING (BUT NOT LIMITED TO) TEMPORARY SEDIMENT TRAPS, ETC. TO BE INSTALLED PER THE LATEST EDITION OF THE RHODE ISLAND SOIL EROSION AND SEDIMENTATION CONTROL (RISECC) HANDBOOK AND THE SOIL EROSION & SEDIMENTATION CONTROL PLANS(S). NOTE THE SOIL EROSION AND SEDIMENT CONTROL SHOWN ON THESE PLANS ARE THE MINIMUM QUANTITY/ TYPE OF EROSION CONTROL DEVICES AND MATERIALS DEEMED REQUIRED BY DIPRETE ENGINEERING TO MEET THE OBJECTIVES OF THE RISECC HANDBOOK, BUT IS CONSIDERED A GUIDE ONLY. ADDITIONAL MEASURES/ ALTERNATE CONFIGURATIONS MAY BE REQUIRED IN ORDER TO MEET THE RISECC HANDBOOK BASED ON FACTORS INCLUDING (BUT NOT LIMITED TO) SITE PARAMETERS, WEATHER, INSPECTIONS AND UNIQUE FEATURES. THE SECC WILL CONTINUE TO EVOLVE THROUGHOUT CONSTRUCTION PHASES. PURSUANT TO NOTE 1 ABOVE, SECC REMAINS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL THE SITE IS FULLY STABILIZED AND/ OR SECC RESPONSIBILITIES ARE ASSUMED BY THE OWNER IN WRITING.
3. INLET PROTECTION IS TO BE INSTALLED ON ALL EXISTING CATCH BASINS.
4. FOR SEQUENCE OF CONSTRUCTION, PROJECT PHASING AND CONSTRUCTION PHASING SEE SECC PLAN.
5. CONTRACTOR MAY MODIFY SEQUENCE OF CONSTRUCTION WITH APPROVAL FROM DESIGN ENGINEER AND OWNER.

Demolition Notes:

- 1. CONTRACTOR TO OBTAIN ALL FEDERAL, STATE, AND MUNICIPAL APPROVALS PRIOR TO THE START OF CONSTRUCTION.
2. CONTRACTOR TO PERFORM DAILY SWEEPING AT CONSTRUCTION ENTRANCE DURING DEMOLITION AND CONSTRUCTION TO MINIMIZE SEDIMENTS ON EXTERNAL STREETS.
3. ANY EXISTING BUILDING(S) AND PROPERTY PROPOSED TO REMAIN WHICH ARE DAMAGED BY THE CONTRACTOR MUST BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
4. CONTRACTOR IS RESPONSIBLE FOR REMOVING AND LEGALLY DISPOSING (R&D) ALL MATERIALS INDICATED ON THE PLANS UNLESS OTHERWISE SPECIFIED HEREIN. R&D MATERIALS MUST INCLUDE BUT ARE NOT LIMITED TO PAVEMENT, GRAVEL, CATCH BASINS, MANHOLES, GRATES/FRAMES/COVERS, AND ANY EXCESS SOIL THAT IS NOT INCORPORATED INTO THE WORK.
5. IN ADDITION TO THOSE AREAS SPECIFICALLY DESIGNATED ON THE PLANS, ALL DISTURBED AREAS INCLUDING THE CONTRACTOR'S STOCKPILE AND STAGING AREAS WITHIN THE LIMIT OF WORK MUST BE RESTORED TO MATCH THE DESIGN PLANS.

Traffic Notes:

- 1. ALL TRAFFIC CONTROL MUST CONFORM TO THE MUTCD CONTROL DEVICES CURRENT EDITION.
2. DURING CONSTRUCTION, TRAFFIC CONES ARE TO BE USED FOR SEPARATION OF ACTIVE TRAFFIC FROM WORK ZONE PER MUTCD REQUIREMENTS.
3. DURING CONSTRUCTION FLAGGERS MUST BE EMPLOYED TO ENSURE SAFETY FOR INTERACTION OF CONSTRUCTION VEHICLES AND ACTIVE TRAFFIC.
4. ALL SIGNS, FLAGGERS, TRAFFIC CONTROL DEVICES, AND TEMPORARY TRAFFIC ZONE ACTIVITIES MUST MEET THE REQUIREMENTS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION AND SUBSEQUENT ADDENDA.
5. TEMPORARY CONSTRUCTION SIGNS MUST BE MOUNTED ON RIDOT APPROVED SUPPORTS AND MUST BE REMOVED OR COVERED WHEN NOT APPLICABLE.

As-Built Notes:

ALL COMPONENTS OF THE DRAINAGE, SEWER, AND WATER SYSTEMS MUST BE ASBUILT PRIOR TO COVERING. ENGINEER TO BE NOTIFIED PRIOR TO COVERING TO SURVEY ASBUILT LOCATIONS. ENGINEER WILL NOT ACCEPT FIELD MEASUREMENTS FROM THE SITE CONTRACTOR.

RIDOT Notes:

- 1. ALL WORK TO BE DONE WITHIN THE STATE RIGHT OF WAY MUST CONFORM TO RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AMENDED MARCH 2018 WITH ALL REVISIONS AND ADDENDA. STANDARD DETAILS FOR THIS WORK ARE RHODE ISLAND STANDARD DETAILS DATED JUNE 21, 2019 WITH ALL REVISIONS.
2. ALL TRAFFIC CONTROL MUST CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION, INCLUDING ALL REVISIONS.
3. NO LANE OR SHOULDER CLOSURES MUST BE PERFORMED WITHIN THE STATE'S RIGHT OF WAY DURING PEAK TRAFFIC HOURS.
4. SEWER AND WATER CONNECTIONS WITHIN THE STATE RIGHT OF WAY WILL REQUIRE A SEPARATE RIDOT UTILITY PERMIT. CONTRACTOR TO OBTAIN BEFORE CONSTRUCTION.
5. THE DRAINAGE SYSTEM IS DESIGNED TO DECREASE BOTH STORMWATER RUNOFF RATE DISCHARGE, AND STORMWATER RUNOFF VOLUME TO THE STATE RIGHT OF WAY FROM PRE-DEVELOPMENT TO POST-DEVELOPMENT. THERE SHALL BE NO INCREASE IN RUNOFF TO THE STATE RIGHT OF WAY FROM THE PROPOSED DEVELOPMENT.

Grading and Utility Notes:

- 1. CONSTRUCTION TO COMMENCE SUMMER/FALL 2020 OR UPON RECEIPT OF ALL NECESSARY APPROVALS.
2. THE CONTRACTOR MUST COORDINATE WITH ALL OF THE APPROPRIATE UTILITY COMPANIES FOR AGREEMENTS TO SERVICE THE EXISTING BUILDING. THIS MUST BE DONE PRIOR TO CONSTRUCTION. NO REPRESENTATIONS ARE MADE BY DIPRETE ENGINEERING THAT UTILITY SERVICE IS AVAILABLE.
3. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING FINISH GRADING AND DRAINAGE AROUND THE BUILDING TO ENSURE SURFACE WATER AND/OR GROUNDWATER ARE DIRECTED AWAY FROM THE STRUCTURE.
4. PRIOR TO START OF CONSTRUCTION, CONTRACTOR MUST VERIFY EXISTING PAVEMENT ELEVATIONS AT INTERFACE WITH DRIVEWAY ENTRANCES AND PEDESTRIAN SIDEWALK CONNECTION POINTS TO ASSURE PROPER TRANSITIONS BETWEEN EXISTING AND PROPOSED FACILITIES. CONTRACTOR MUST NOTIFY DESIGN ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
5. ALL PROPOSED UNDERGROUND UTILITIES SERVING THE SITE AND BUILDINGS TO BE COORDINATED WITH OWNER, ARCHITECT, AND ENGINEER PRIOR TO INSTALLATION.
6. NO STOCKPIILING OF MATERIAL TO BE LOCATED IN THE RIGHT OF WAY AND NO OPEN TRENCHES ARE TO BE LEFT OVERNIGHT.
7. ALL LOAM IN DISTURBED AREAS TO BE STOCKPILED FOR FUTURE USE.
8. ALL EXCESS SOIL, TREES, ROCKS, BOULDERS, AND OTHER REFUSE, MUST BE DISCARDED OFF SITE IN AN ACCEPTABLE MANNER AT AN APPROVED LOCATION. STUMPS MUST BE GROUND ON SITE OR REMOVED.
9. THE SITE WILL HAVE 6" PRECAST CONCRETE CURBING. SITE GRADING/CONTOURS SHOWN ON THE PLANS DO NOT NECESSARILY REFLECT THE APPROPRIATE CURBING REVEAL. CONTRACTOR TO INSTALL CURBING WITH APPROPRIATE REVEAL UNLESS OTHERWISE NOTED.
10. NO STUMP DUMPS ARE PROPOSED ON SITE.

DRAINAGE

ALL DRAINAGE PIPING TO BE HIGH-DENSITY POLYETHYLENE (HDPE) WITH WATERTIGHT JOINTS WHERE INSTALLED WITHIN THE SEASONAL HIGH GROUNDWATER, UNLESS NOTED OTHERWISE ON THE PLANS OR IN THE SPECIFICATIONS.

DRAINAGE CONNECTIONS FROM ALL YARD DRAINS (YD), AND DOWNSPOUTS (DS) ARE SHOWN FOR SCHEMATIC PURPOSES ONLY. THE LEVEL OF DETAIL SHOWN DOES NOT INCLUDE ALL JOINTS THAT MAY BE REQUIRED FOR CONSTRUCTION. ALL FITTINGS & PIPE SLOPES TO THE INTO MAIN TRUNK LINE TO BE FIELD FIT BY CONTRACTOR.

SANITARY SEWER

ALL SANITARY SEWER PIPING TO BE SDR 35 UNLESS NOTED OTHERWISE ON THE PLANS OR IN THE SPECIFICATIONS. ALL SEWER IMPROVEMENTS MUST COMPLY WITH THE CITY OF NEWPORT RULES AND REGULATIONS, INCLUDING (BUT NOT LIMITED TO) MATERIALS, DIMENSIONS AND ACCESS COVERS. CONTRACTOR MUST SUBMIT SHOP DRAWINGS FOR APPROVAL BY ENGINEER OF RECORD PRIOR TO CONSTRUCTION.

WATER

ALL WATER MAINS TO BE CONCRETE LINED DUCTILE IRON PIPE (CLDIP). ALL WATER MAIN IMPROVEMENTS MUST COMPLY WITH THE CITY OF NEWPORT REGULATIONS AND ANY APPLICABLE AUTHORITY HAVING JURISDICTION, INCLUDING (BUT NOT LIMITED TO) MATERIALS, DIMENSIONS AND ACCESS COVERS. CONTRACTOR TO PROVIDE SHOP DRAWINGS AND SUBMITTALS TO THE ENGINEER OF RECORD FOR APPROVAL FOR ALL WATER IMPROVEMENTS AND APPURTENANCES INCLUDING BUT NOT LIMITED TO PIPES, VALVES, FITTINGS, HEAT ENCLOSURES, AND BACKFLOWS. ALL COMPONENTS OF THE WATER SYSTEM TO BE ASBUILT PER CITY OF NEWPORT WATER REQUIREMENTS. ALL COMPONENTS OF THE WATER SYSTEM TO BE INSPECTED BY CITY OF NEWPORT UTILITIES. CONTRACTOR TO COORDINATE ALL IMPROVEMENTS WITH CITY OF NEWPORT UTILITIES TO ENSURE INSPECTOR IS ON SITE.

ELECTRIC/TELECOM/GAS

REPLACEMENT GAS, ELECTRIC, CABLE AND DATA UTILITIES ARE SHOWN SCHEMATICALLY AND ARE PROPOSED TO BE UNDERGROUND. OWNER & CONTRACTOR TO COORDINATE FINAL DESIGN WITH APPROPRIATE UTILITY COMPANIES. ALL WORK TO BE IN ACCORDANCE WITH EACH UTILITY COMPANY'S STANDARDS AND DETAILS AS WELL AS LOCAL AND FEDERAL REGULATIONS. THIS INCLUDES BUT IS NOT LIMITED TO, POLES, TRANSFORMERS, PULL BOXES, CONCRETE PADS, CONCRETE ENCASUREMENTS AND CONDUITS. CONNECTION POINTS FOR ELECTRIC AND TELECOM UTILITIES, AT THE EXISTING INFRASTRUCTURE, ARE CURRENTLY SHOWN AS UNDERGROUND UTILITIES. THESE UTILITIES MAY BE UNDERGROUND OR OVERHEAD AND WILL BE COORDINATED WITH NATIONAL GRID PRIOR TO CONSTRUCTION.

SITE LIGHTING

SEE THE ARCHITECT AND LANDSCAPE ARCHITECTS PLANS AND DETAILS FOR BUILDING AND SITE LIGHTING RESPECTFULLY. LIGHTING TO BE COORDINATED WITH OTHER UTILITIES. FINAL LIGHTING AND CONDUIT LOCATIONS BY OTHERS.

Americans with Disabilities Act Notes:

- 1. ALL IMPROVEMENTS MUST COMPLY WITH THE "AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG)" BY THE DEPARTMENT OF JUSTICE (CURRENT EDITION).
2. MAXIMUM RUNNING SLOPE ALONG ALL ACCESSIBLE PATHS OF TRAVEL MUST BE 4.5% (0.045 FT/FT), AND MAXIMUM CROSS SLOPE ACROSS ALL ACCESSIBLE PATHS OF TRAVEL MUST BE 1.5% (0.015 FT/FT).
3. ADA PARKING SPACES AND LOADING AREAS: THE STEEPEST SLOPE OF THE SPACE, MEASURED IN ANY DIRECTION (INCLUDING DIAGONAL), MUST BE LESS THAN OR EQUAL TO 2% (0.02 FT/FT). DIPRETE ENGINEERING GENERALLY RECOMMENDS A MAXIMUM OF 1.4% (0.014 FT/FT) BE USED FOR BOTH RUNNING AND CROSS SLOPES IN ORDER TO COMPLY.
4. A MINIMUM 5'x5' LANDING MUST BE PROVIDED IN FRONT OF ALL PUBLICLY ACCESSIBLE BUILDING ENTRANCES/ EGRESSES. THE STEEPEST SLOPE OF THE LANDING, MEASURED IN ANY DIRECTION (INCLUDING DIAGONAL), MUST BE LESS THAN OR EQUAL TO 2% (0.02 FT/FT). DIPRETE ENGINEERING GENERALLY RECOMMENDS A MAXIMUM OF 1.4% (0.014 FT/FT) BE USED FOR BOTH RUNNING AND CROSS SLOPES IN ORDER TO COMPLY.
5. FOR EVERY 6 (OR FRACTION OF 6) ADA PARKING SPACES, AT LEAST ONE MUST BE A VAN PARKING SPACE. FOR EXAMPLE, IF 7 ADA PARKING SPACES ARE REQUIRED, A MINIMUM OF 2 MUST BE VAN SPACES.
6. NOTWITHSTANDING THE NOTES LISTED ABOVE, TOWN OR STATE-SPECIFIC STANDARDS MAY BE MORE STRINGENT AND OVERRULE IT IS THE RESPONSIBILITY OF THE USER OF THIS PLAN SET TO MAINTAIN COMPLIANCE WITH THE CONTROLLING STANDARD.
7. NOTE THAT THE GRADING/ PLAN VIEWS AND DETAILS CONTAINED WITHIN THIS PLAN SET MAY NOT SHOW THE DETAIL NECESSARY TO CONSTRUCT WALKWAYS, RAMPS AND SPACES TO COMPLY WITH THE ABOVE REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE THE LEVEL OF CARE NECESSARY TO BE CERTAIN THAT THE CONSTRUCTED PRODUCT MEETS ADA/ CONTROLLING STANDARDS. IN THE EVENT OF ANY NON COMPLIANCE THE CONTRACTOR MUST NOTIFY THE DESIGNER BEFORE CONSTRUCTION FOR ADVICE IN FINDING A RESOLUTION.

Abbreviations Legend

Table with 2 columns: Abbreviation and Description. Includes ADA (Americans with Disability Act), AHJ (Authority Having Jurisdiction), AP (Assessor's Plat), BC (Bottom of Curb), BT (Bottom of Testhole), BIT (Bituminous (Concrete)), BIO (Bioretention), BMP (Best Management Practice), BS (Basement Slab Elevation), BW (Finished Grade at Bottom of Wall), CB (Catch Basin), (C) (Calculated), CL (Centerline), CA (Chord Angle), CLDIP (Concrete Lined Ductile Iron Pipe), CO (Clean Out), CONC (Concrete), DCB (Double Catch Basin), DI (Drop Inlet), DMH (Drainage Manhole), DP (Detention Pond), ELEV (Elevation), EOP (Edge of Pavement), ERS (Erosion and Sediment Control), EX (Existing), FES (Finished End Section), FFE (Finish Floor Elevation), GS (Garage Slab Elevation), GW (Ground Water Table), HW (Headwall), HC (High Capacity Catch Basin Grate), HOPE (High Density Polyethylene), ID (Inline Drain), INV (Invert), IP (Infiltration Pond), LF (Linear Feet), LOD (Limit of Disturbance), LP (Light Pole), (M) (Measured), N/F (Now or Formerly), OHW (Overhead Wire), PE (Polyethylene), P (Property Line), PR (Proposed), PVC (Polyvinyl Chloride), R (Radius), R&D (Remove and Dispose), RCP (Reinforced Concrete Pipe), RIB (Rhode Island), RIBW (Highway Bound), RL (Roof Leader), ROW (Right of Way), S (Slope), SD (Subdrain), SED (Sediment Forebay), SF (Square Foot), SFL (State Freeway Line), SFM (Sewer Force Main), SG (Slab on Grade Elevation), SHL (State Highway Line), SHM (Sewer Manhole), SMDF (Sand Filter), SS (Side Slope), STA (Station), TC (Top of Curb), TD (Trench Drain), TF (Top of Foundation), TRANS (Transition), TW (Top of Wall (Finished)), GRADE AT TOP OF WALL), TYP (Typical), UDS (Underground), UIS (Underground Infiltration System), UP (Utility Pole), WO (Walkout Elevation), WQ (Water Quality)

Site Callouts Legend

Table with 2 columns: Callout and Description. Includes 7.1.0 (Ridot Std Precast Concrete Curb), 7.1.1 (Ridot Std 3'-0" Precast Concrete Transition Curb), 7.2.A (Ridot Std Precast Concrete Car Stops), 20.1.0 (Ridot Std Pavement Markings Arrows and Only), 43.1.0 (Ridot Std Cement Concrete Sidewalk), 43.2.0 (Ridot Std Bituminous Concrete Sidewalk), 43.4.0 (Ridot Std Driveway Development for 3'-0" Transition Curb), 4W (4" Painted White Markings), 4W45 (4" White Striping 2' on Center at 45°), 12W (Stop Line (Reference MUTCD Section 3B.16)), ADAV (ADA Van Space Pavement Markings Must Comply with All ADA and MUTCD Regulations and Requirements)

Layout and Materials:

- 1. DIMENSIONS ARE FROM THE FACE OF CURB, FACE OF BUILDING, FACE OF WALL, AND CENTER LINE OF PAVEMENT MARKINGS, UNLESS OTHERWISE NOTED.
2. CURBING TO BE PRECAST CONCRETE OR AS LABELED ON THE PLANS.
3. SIDEWALK TO BE CONCRETE OR AS LABELED ON THE PLANS.
4. SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THEIR ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR MUST REFER TO THE DETAIL SHEET DIMENSIONS, MANUFACTURERS' LITERATURE, SHOP DRAWINGS AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.
5. SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND DETAILS CONTIGUOUS TO THE BUILDING, INCLUDING SIDEWALKS, RAMPS, BUILDING ENTRANCES, STAIRWAYS, UTILITY PENETRATIONS, CONCRETE DOOR PADS, COMPACTOR PAD, LOADING DOCKS, BOLLARDS, ETC.
6. PROPOSED BOUNDS AND ANY EXISTING PROPERTY LINE MONUMENTATION DISTURBED DURING CONSTRUCTION MUST BE SET OR RESET BY A PROFESSIONAL LICENSED SURVEYOR.
7. CONTRACTOR MUST NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS, AND DATA FILES THAT ARE OBTAINED FROM THE DESIGNERS. CONTRACTOR MUST VERIFY LOCATION OF PROJECT FEATURES IN ACCORDANCE WITH THE STAMPED PAPER COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.
8. ALL GUARDRAIL ON SITE MUST BE STEEL BACKED TIMBER GUARDRAIL WITH STEEL POSTS, IN CONFORMANCE WITH SECTION 5.4.1.7 OF THE AASHTO ROADSIDE DESIGN GUIDE. ALTERNATIVE GUARDRAILS WILL BE CONSIDERED BY THE DESIGN ENGINEER IF THEY ARE DOT APPROVED EQUAL AND ACCEPTABLE TO THE OWNER. ALTERNATIVES MUST BE APPROVED IN WRITING BY THE OWNER AND DESIGN ENGINEER PRIOR TO CONSTRUCTION.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT OFFICE OF WATER RESOURCES FRESHWATER WETLANDS PROGRAM APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL DATED NOV 17 2020 FILE # 20-0171 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Nancy L. Freeman

Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.

Existing Legend

Table with 2 columns: Symbol and Description. Includes AS SHOWN ON PROPOSED PLANS, NOT ALL ITEMS SHOWN WILL APPEAR ON PLANS. Symbols for Property Line, Assessor's Line, Building, Brushline, Tree Line, Guardrail, Fence, Retaining Wall, Stone Wall, Minor Contour Line, Major Contour Line, Water Line, Sewer Line, Sewer Force Main, Gas Line, Electric Line, Overhead Wires, Drainage Line, Soils Lines, 50' Perimeter Wetland, 200' Riverbank Wetland, FEMA Boundary, Stream, Wetland Line & Flag, State Highway Line, State Freeway Line, Nail Found/Set, Drill Hole Found/Set, Bound Found/Set, Sign, Bollard, Soil Evaluation, Catch Basin, Double Catch Basin, Drainage Manhole, Flared End Section, Guy Pole, Electric Manhole, Utility/Power Pole, Lightpost, Sewer/Septic Manhole, Sewer Valve, Cleanout, Hydrant, Irrigation Valve, Water Valve, Well, Monitoring Well, Unknown Manhole, Gas Valve, Bench Mark, Stream Flow Direction

Proposed Legend

Table with 2 columns: Symbol and Description. Includes NOT ALL ITEMS SHOWN WILL APPEAR ON PLANS. Symbols for Property Line, Building Setbacks, Chainlink Fence, Guardrail See Layout and Materials Note B, Retaining Wall, Minor Contour Line, Major Contour Line, Spot Elevation, Edge of Pavement, Bituminous Berm (Ridot Std 7.5.1), Concrete Curb (Ridot Std 7.1.0), Building Footprint, Building Overhang, Asphalt Pavement, Heavy Duty Asphalt Pavement, Heavy Duty Concrete, Concrete, Asphalt Sidewalk, Sawcut Line, Sign (Ridot Std 24.6.2 as Applicable), Single Light, Double Light, Overhanging Light, Accessible Parking Space Symbols, Building Ingress/Egress, Arrow Striping Straight, Drainage Line, Perforated Subdrain, Swale, Sewer Force Main, Gas Line, Water Line, Hydrant Assembly, Water Shut Off, Water Valve, Shout Block, Sewer Line, Overhead Wire, Electric, Telephone, Cable Line, Limit of Disturbance/Limit of Clearing, Sedimentation Barrier, Silt Fence (Ridot Std 9.2.0), Compost Sock or Approved Equal, Slopes Steeper than 3:1 (2:1 or 1:1 Slopes), Underground Infiltration Outline, Pond Access, Riprap, Sand Filter, Bio Retention, Catch Basin, Double Catch Basin, Manhole, Flared End Section, Headwall

Environmental Management Office of Water Resources OCT - 7 2020

Utility Note:

ALL UNDERGROUND UTILITIES SHOWN ON THESE PLANS WERE PROVIDED BY OTHERS AND ARE APPROXIMATE ONLY. LOCATIONS MUST BE DETERMINED IN THE FIELD BEFORE EXCAVATION, BLASTING, UTILITY INSTALLATION, BACKFILLING, GRADING, PAVEMENT RESTORATION, AND ALL OTHER SITE WORK. ALL UTILITY COMPANIES, PUBLIC AND PRIVATE, MUST BE CONTACTED INCLUDING THOSE IN CONTROL OF UTILITIES NOT SHOWN ON THESE DOCUMENTS. CONTACT DIG SAFE A MINIMUM OF 72 WORKING HOURS PRIOR TO ANY CONSTRUCTION AT 811. DIG SAFE IS RESPONSIBLE FOR CONTACTING MEMBER UTILITY COMPANIES. DIG SAFE MEMBER UTILITY COMPANIES ARE RESPONSIBLE TO MARK ONLY THE FACILITIES THAT THEY OWN OR MAINTAIN. NON DIG SAFE MEMBER COMPANIES ARE NOT NOTIFIED BY DIG SAFE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INVESTIGATE AND NOTIFY IF ANY PRIVATELY OWNED OR NON DIG SAFE MEMBER UTILITIES ARE IN THE AREA.

PER THE CODE OF FEDERAL REGULATIONS - TITLE 29, PART 1926 IT IS THE SITE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ACCURATE UNDERGROUND UTILITY LINE LOCATIONS FROM THE UTILITY COMPANIES, UTILITY OWNERS AND, OR VIA UNDERGROUND UTILITY LOCATION EQUIPMENT AS NEEDED TO ESTABLISH ACCURATE LOCATIONS PRIOR TO ANY EXCAVATION. THE USE OF PROFESSIONAL UTILITY LOCATING COMPANIES PRIOR TO ANY EXCAVATION IS RECOMMENDED.

DIPRETE ENGINEERING IS NOT A PROFESSIONAL UTILITY LOCATION COMPANY, AND IS NOT RESPONSIBLE FOR UNDERGROUND UTILITIES, DEPICTED OR NOT, EITHER IN SERVICE OR ABANDONED, BY SIZE, LOCATION, EXISTENCE, OR LACK OF EXISTENCE OF UTILITIES SHOWN ON THESE PLANS SHOULD BE CONSIDERED APPROXIMATE UNTIL VERIFIED BY A PROFESSIONAL UTILITY LOCATION COMPANY. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED.

DiPrete Engineering logo and contact information: 96 Broadway Newport, RI 02840 tel. 401-659-5890 fax. 401-661-6066 www.diprete-eng.com

BRIAN C. GIROUX REGISTERED PROFESSIONAL ENGINEER CIVIL 10-3-2020

Table with 2 columns: No. and Description. Includes design and revision table for the plan set.

Table with 2 columns: No. and Description. Includes design and revision table for the plan set.

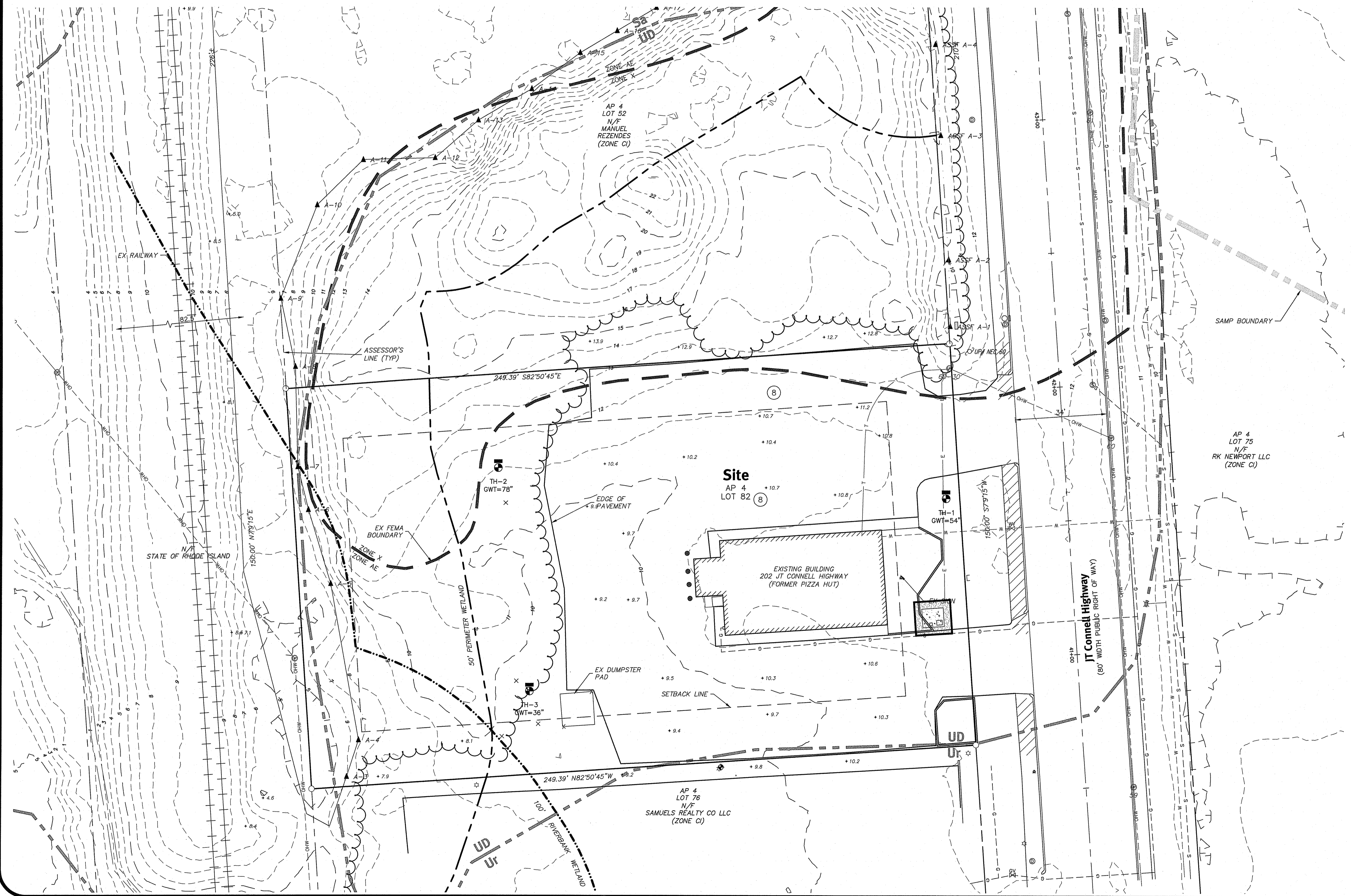
General Notes & Legend Pearl Car Wash 202 J.C. Connell Highway Newport, Rhode Island Prepared for: Pizza Hut of America 1800 Aquidneck Avenue, Middletown, RI 02842

z:\demain\projects\2777-001 JT Connell Memorial Highway 202\autocad drawings\2777-001-plan.dwg Plotted: 10/6/2020

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED NOV 17 2020 FILE # 20-0171
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE
Nancy L. Freeman

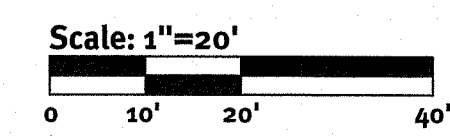
Kindly be advised that this
 Permit is not equivalent to a
 verification of the type or extent
 of freshwater wetlands on site.

Environmental Management
 OCT - 7 2020
 Office of Water Resources



Soil Information:
 (REFERENCE: WEBSOIL SURVEY OF RHODE ISLAND, U.S.D.A. SOIL CONSERVATION SERVICE)

SOIL NAME	DESCRIPTION
Sa	SANDYHOOK MUCKY FINE SAND, 0 TO 2 PERCENT SLOPES, VERY FREQUENTLY FLOODED
UD	UDORTHTENTS-URBAN LAND COMPLEX
Ur	URBAN LAND



BRIAN C. GIROUX
 03341
 REGISTERED PROFESSIONAL ENGINEER CIVIL

This plan set must not be used for construction purposes unless approved by a registered Professional Engineer of DiPrete Engineering.
 DiPrete Engineering only warrants that as a DiPrete Engineering title block stamped by registered Professional Engineer of DiPrete Engineering, DiPrete Engineering does not warrant plans by any other party.
 The contractor is responsible for all of the means, methods, safety and quality of the work. DiPrete Engineering is not responsible for any damage to existing utilities. See utility notes on sheet 3.

No.	Date	Description	Design By: D.E.N.
3	10-2-2020	RIEAK RECORDS RE-COMMENTS	
2	02-23-2020	Permit/Track Plan Submission	
1	10-2-2020	Documentation Plan Review	

Existing Analysis Plan
Pearl Car Wash
 202 JT Connell Highway
 Newport, Rhode Island
Pizza Hut of America
 1500 Aquidneck Avenue, Middletown, RI 02842
 DE 402-659-6500
 Copyright 2020 by DiPrete Engineering Associates, Inc.

DiPrete Engineering
 90 Broadway Newport, RI 02840
 tel 401-619-5890 fax 401-464-6000 www.diprete-eng.com
Boston • Providence • Newport

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED NOV 17 2020 FILE # 20-0171
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE
Nancy L. Freeman

Kindly be advised that this
 Permit is not equivalent to a
 verification of the type or extent
 of freshwater wetlands on site.

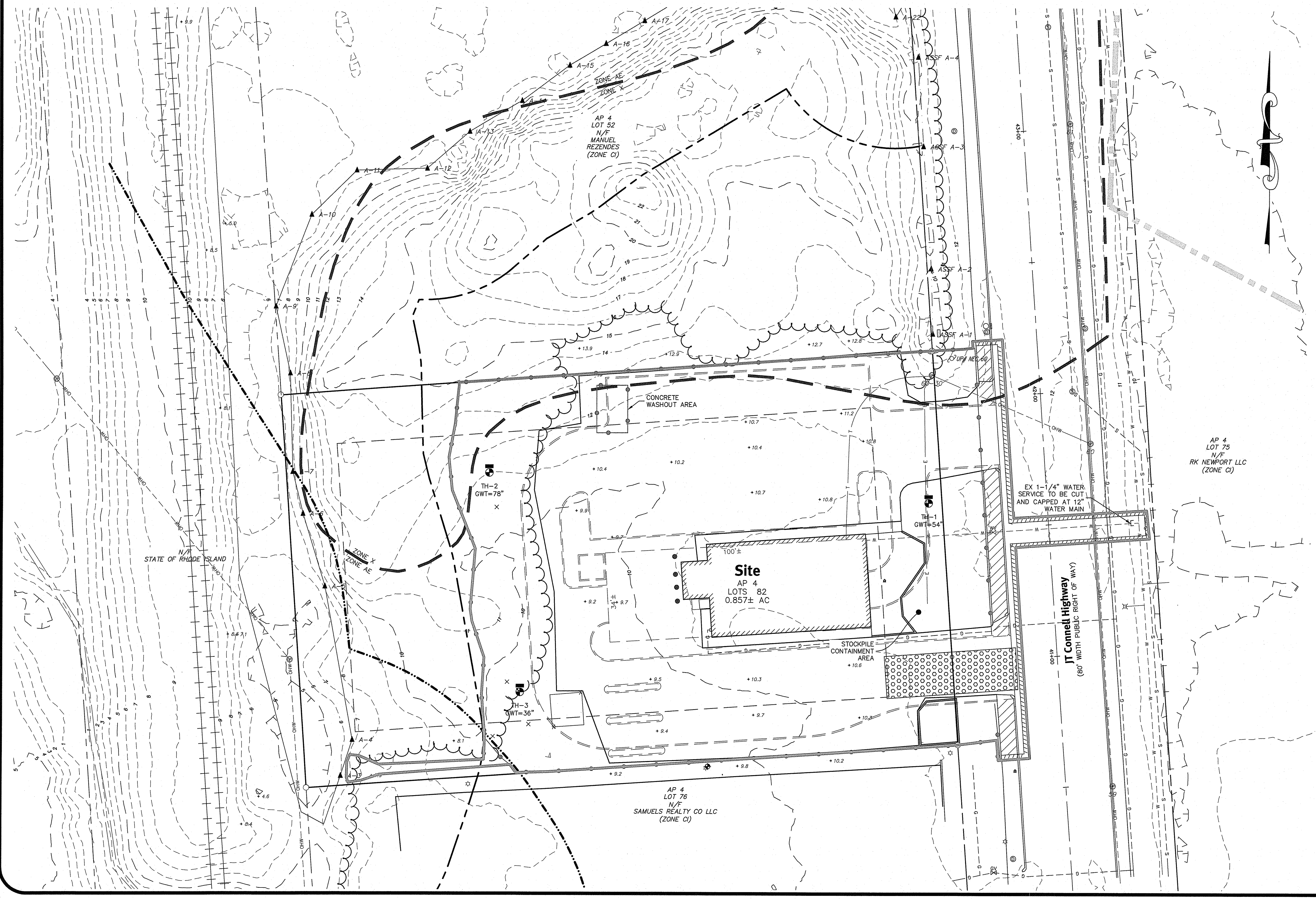
DiPrete Engineering
 90 Broadway Newport, RI 02840
 tel. 401-619-5890 fax. 401-464-6006 www.diprete-eng.com
Boston • Providence • Newport

BRIAN C. GIROUX
 0341
 REGISTERED
 PROFESSIONAL ENGINEER
 CIVIL

This plan set must not be used for construction purposes unless approved by a registered Professional Engineer of DiPrete Engineering.
 DiPrete Engineering, its licensees, agents, or employees shall not be held responsible for the implementation of this plan and design.
 Existing utilities shown on this plan are approximate only. DiPrete Engineering assumes no responsibility for damages incurred due to locations of existing utilities. See Utility Note on sheet 3.

NO.	DATE	BY	DESCRIPTION
1	05-20-2019	N.D.K.	DESIGN
2	02-24-2020	N.D.K.	REVISION
3	10-14-2020	N.D.K.	REVISION
4	10-14-2020	N.D.K.	REVISION

Design By: N.D.K.



Environmental Management
 OCT - 7 2020
 Office of Water Resources

- Soil Erosion Control Legend:**
- LIMIT OF DISTURBANCE (NO EROSION CONTROL)
 - EROSION CONTROL (COMPOST SOCK, SILT FENCE (RI STD 9.2.0) OR APPROVED EQUAL)
 - CONSTRUCTION ENTRANCE (RIDOT STD 9.9.0)
 - BMP AREA (TO BE PROTECTED BY COMPOST SOCK OR SILT FENCE)
 - FINAL GRADE CONTOUR
 - INLET SEDIMENT CONTROL DEVICES

Scale: 1"=20'
 0 10' 20' 40'

z:\main\projects\2777-001 JT Connell Memorial Highway 202\autocad drawings\2777-001-plan.dwg Plotted: 10/6/2020

Soil Erosion Control Plan
Pearl Car Wash
 202 JT Connell Highway
 Newport, Rhode Island
Pizza Hut of America
 1100 Aquidneck Avenue, Middletown RI 02842
 Tel: 401-849-6200
 DE Job No: 2777-001 Copyright 2020 by DiPrete Engineering Associates, Inc.
 SHEET **5** OF 11

z:\dmain\projects\2777-001 JT Connell Memorial Highway 202\autocad drawings\2777-001-plan.dwg Plot Date: 10/6/2020

Dimensional Regulations:

	REQUIRED	PROVIDED
CURRENT ZONING:	CI	CI
MINIMUM LOT AREA:	10,000 SF	37,295 SF
MINIMUM FRONTAGE AND LOT WIDTH:	100'	150'
MINIMUM FRONT YARD:	25'	30'
MINIMUM SIDE YARD:	20'	48'
MINIMUM REAR YARD:	20'	119'
MAXIMUM STRUCTURE HEIGHT:	60'	30'
MAXIMUM BUILDING LOT COVERAGE:	50%	9%

Impervious Areas:

EXISTING IMPERVIOUS AREA:	20,647 SF
PROPOSED IMPERVIOUS AREA:	18,600 SF

Parking Regulations:

PARKING USE:	AUTO WASHING AND CLEANING
PARKING REQUIREMENT:	10 SPACES
PARKING SPACES PROVIDED:	16 SPACES (1 HANDICAP)

DiPrete Engineering
 90 Broadway Newport, RI 02840
 tel. 401-659-5590 fax. 401-464-6006 www.diprete-eng.com

Boston • Providence • Newport

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED NOV 17 2020 FILE # 20-0171
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

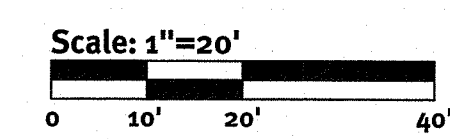
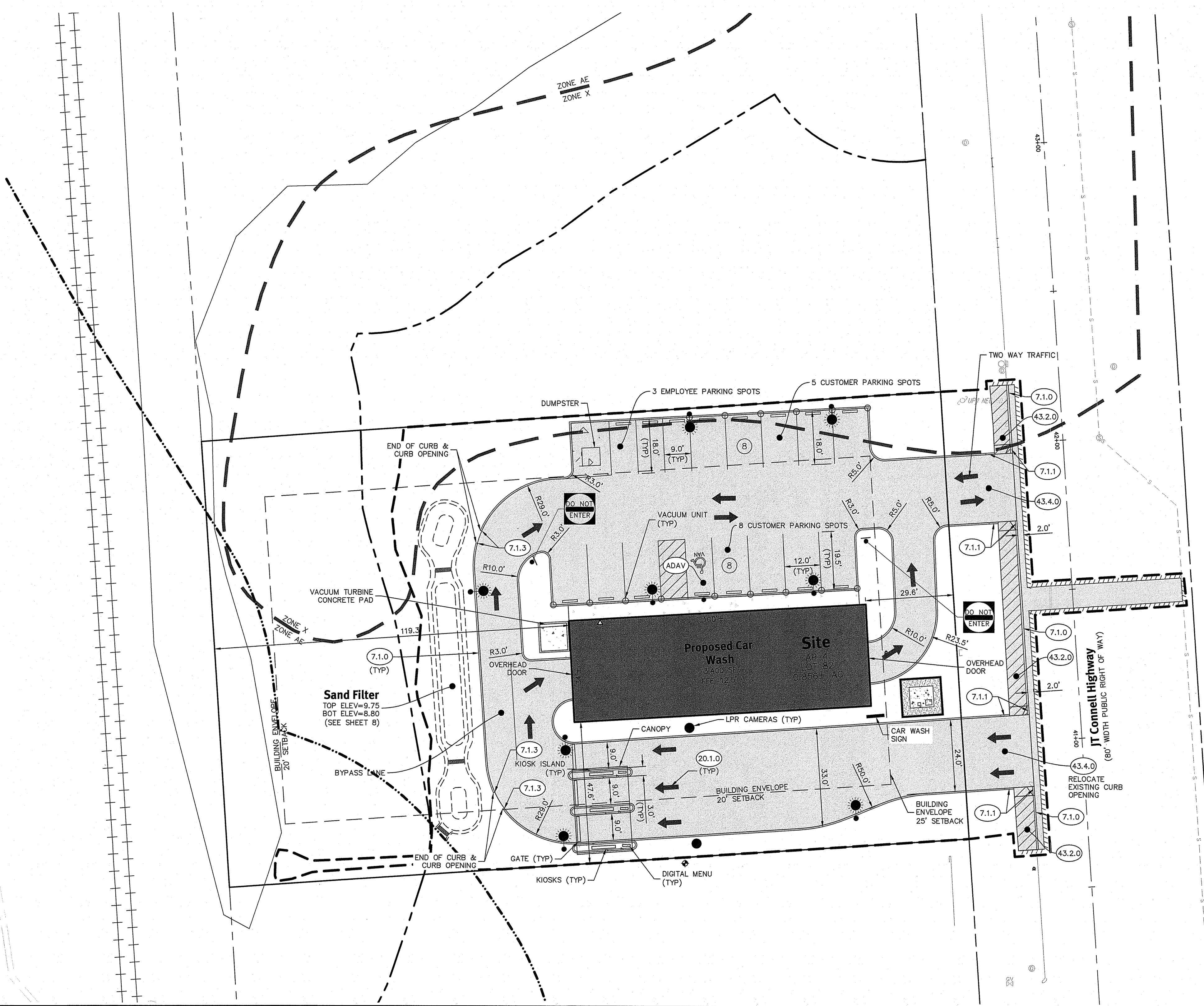
Barry J. Freeman

Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.

BRIAN C. GROUX
 9341
 10-5-2020
 REGISTERED PROFESSIONAL ENGINEER CIVIL

This plan set must not be used for construction purposes unless approved by the Professional Engineer of DiPrete Engineering. The Professional Engineer of DiPrete Engineering is not responsible for the accuracy of the information shown on this plan set. The Professional Engineer of DiPrete Engineering does not warrant plans by any other party. The contractor is responsible for all of the means, methods, safety and construction of the project. The Professional Engineer of DiPrete Engineering assumes no responsibility for damages incurred due to the implementation of this plan and design. Existing utilities shown on this plan are approximate only. DiPrete Engineering does not warrant the accuracy of the locations of existing utilities. See Utility Note on sheet 3.

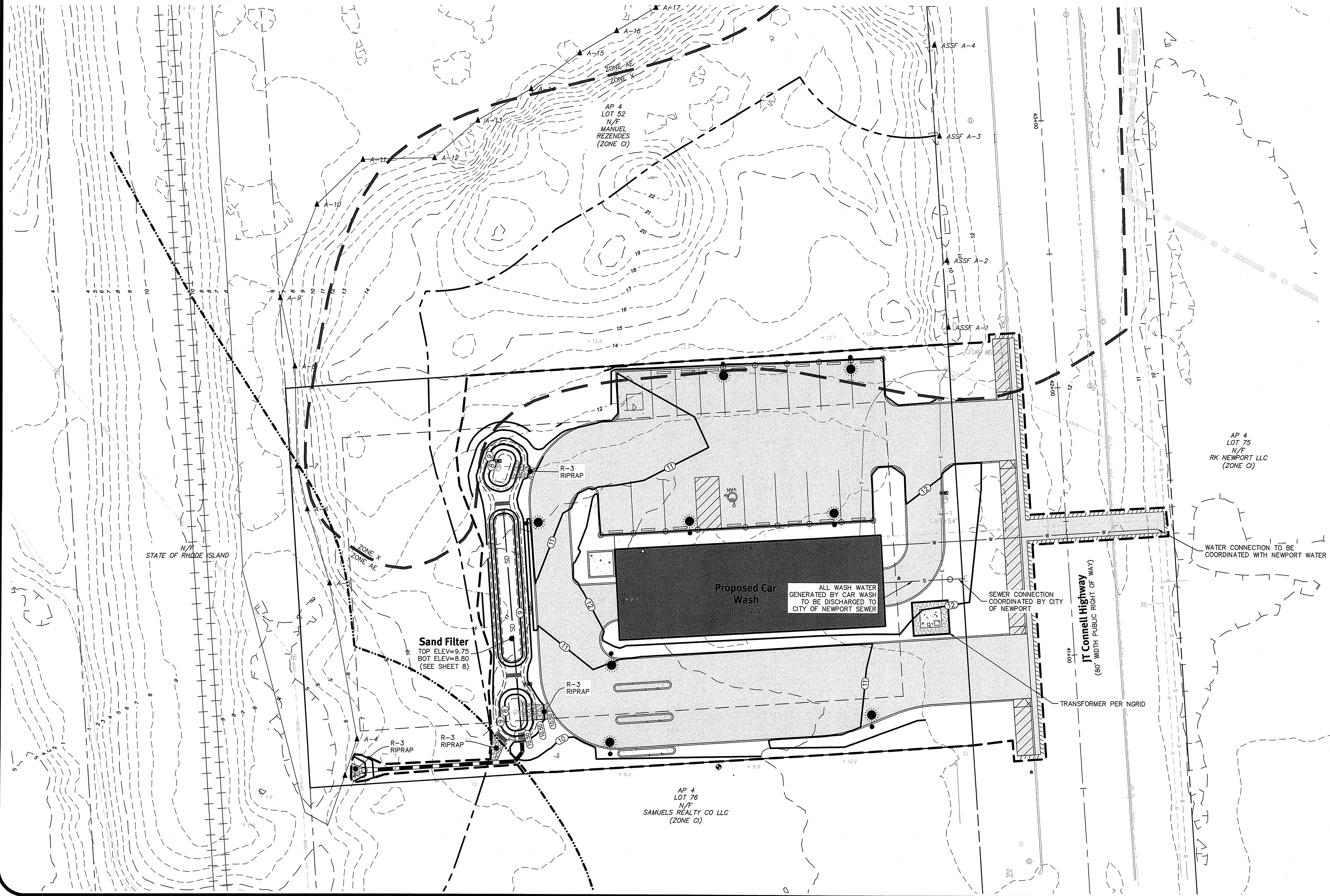
No.	Date	Description	Drawn By	Checked By	Design By
1	05-20-2020	Initial Design	N.D.K.		D.E.N.
2	03-23-2020	Development Plan Submission	N.D.K.		D.E.N.
3	05-24-2020	Development Plan Review	N.D.K.		D.E.N.



Environmental Management
 OCT - 7 2020
 Office of Water Resources

Site Layout Plan
Pearl Car Wash
 202 JT Connell Highway
 Newport, Rhode Island
 Prepared for:
Pizza Hut of America
 110 Aquidneck Avenue, Middletown, RI 02842
 Tel. 401-849-6500

z:\demain\projects\2777-001 JT Connell Memorial Highway 202\outcard drawings\2777-001-plan.dwg Plotdate: 10/6/2020



DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED **NOV 17 2020** FILE # **20-0171**
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE
Ming L. Freeman

Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.

Scale: 1"=20'
 0 10' 20' 40'

Environmental Management
 OCT - 7 2020
 Office of Water Resources

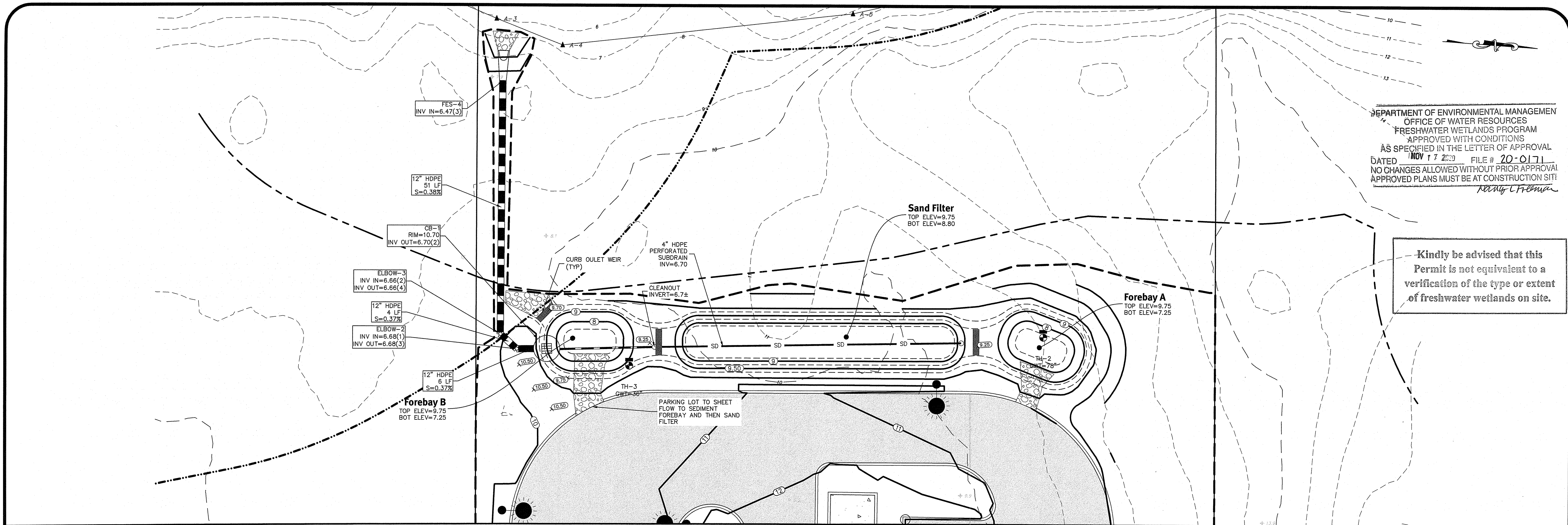
DiPrete Engineering
 90 Broadway Newport, RI 02840
 tel 401-659-5890 fax 401-464-6006 www.diprete-eng.com

BRIAN C. GIROUX
 3341
 REGISTERED PROFESSIONAL ENGINEER CIVIL

This plan set must not be used for construction purposes unless approved by a registered Professional Engineer of DiPrete Engineering.
 DiPrete Engineering only warrants plans on a DiPrete Engineering title block stamped by registered Professional Engineer of DiPrete Engineering. DiPrete Engineering does not warrant plans by any other party.
 The contractor is responsible for all of the means, methods, safety and construction of the project. The contractor shall conform to the implementation of this plan and design.
 Existing utilities shown on this plan are approximate only. DiPrete Engineering assumes no responsibility for damages incurred due to locations of existing utilities. See 'Utility Note' on sheet 3.

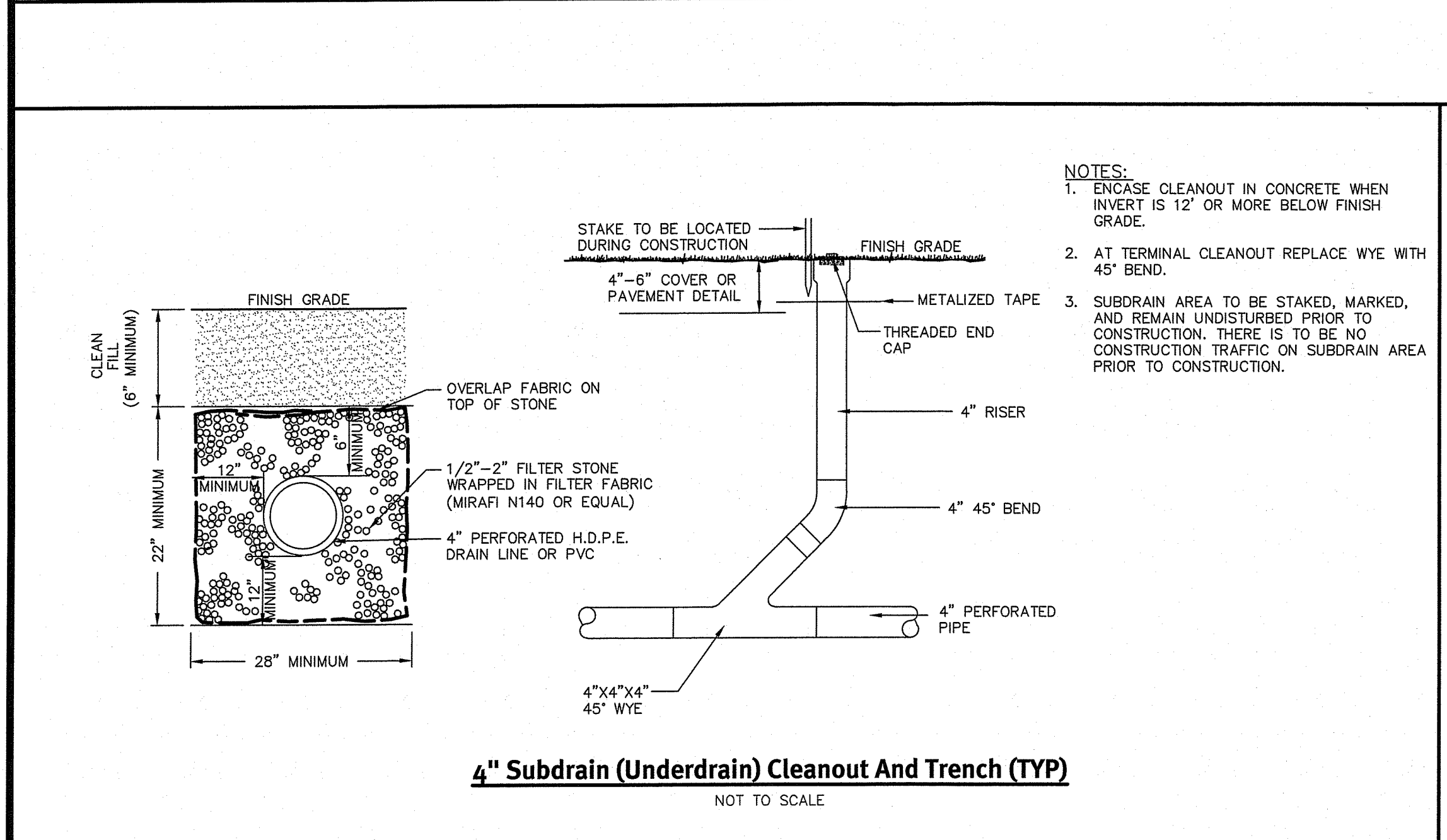
No.	Date	By	Description
1	10-04-2020	N.D.K.	PRELIMINARY COMMENTS
2	09-23-2020	N.D.K.	PERMITTING PLAN SUBMISSION
3	09-23-2020	N.D.K.	PERMITTING PLAN REVIEW
4	09-23-2020	N.D.K.	PERMITTING PLAN REVIEW
5	09-23-2020	N.D.K.	PERMITTING PLAN REVIEW
6	09-23-2020	N.D.K.	PERMITTING PLAN REVIEW
7	09-23-2020	N.D.K.	PERMITTING PLAN REVIEW
8	09-23-2020	N.D.K.	PERMITTING PLAN REVIEW
9	09-23-2020	N.D.K.	PERMITTING PLAN REVIEW
10	09-23-2020	N.D.K.	PERMITTING PLAN REVIEW
11	09-23-2020	N.D.K.	PERMITTING PLAN REVIEW
12	09-23-2020	N.D.K.	PERMITTING PLAN REVIEW
13	09-23-2020	N.D.K.	PERMITTING PLAN REVIEW
14	09-23-2020	N.D.K.	PERMITTING PLAN REVIEW
15	09-23-2020	N.D.K.	PERMITTING PLAN REVIEW
16	09-23-2020	N.D.K.	PERMITTING PLAN REVIEW
17	09-23-2020	N.D.K.	PERMITTING PLAN REVIEW
18	09-23-2020	N.D.K.	PERMITTING PLAN REVIEW
19	09-23-2020	N.D.K.	PERMITTING PLAN REVIEW
20	09-23-2020	N.D.K.	PERMITTING PLAN REVIEW
21	09-23-2020	N.D.K.	PERMITTING PLAN REVIEW
22	09-23-2020	N.D.K.	PERMITTING PLAN REVIEW
23	09-23-2020	N.D.K.	PERMITTING PLAN REVIEW
24	09-23-2020	N.D.K.	PERMITTING PLAN REVIEW
25	09-23-2020	N.D.K.	PERMITTING PLAN REVIEW
26	09-23-2020	N.D.K.	PERMITTING PLAN REVIEW
27	09-23-2020	N.D.K.	PERMITTING PLAN REVIEW
28	09-23-2020	N.D.K.	PERMITTING PLAN REVIEW
29	09-23-2020	N.D.K.	PERMITTING PLAN REVIEW
30	09-23-2020	N.D.K.	PERMITTING PLAN REVIEW
31	09-23-2020	N.D.K.	PERMITTING PLAN REVIEW
32	09-23-2020	N.D.K.	PERMITTING PLAN REVIEW
33	09-23-2020	N.D.K.	PERMITTING PLAN REVIEW
34	09-23-2020	N.D.K.	PERMITTING PLAN REVIEW
35	09-23-2020	N.D.K.	PERMITTING PLAN REVIEW
36	09-23-2020	N.D.K.	PERMITTING PLAN REVIEW
37	09-23-2020	N.D.K.	PERMITTING PLAN REVIEW
38	09-23-2020	N.D.K.	PERMITTING PLAN REVIEW
39	09-23-2020	N.D.K.	PERMITTING PLAN REVIEW
40	09-23-2020	N.D.K.	PERMITTING PLAN REVIEW
41	09-23-2020	N.D.K.	PERMITTING PLAN REVIEW
42	09-23-2020	N.D.K.	PERMITTING PLAN REVIEW
43	09-23-2020	N.D.K.	PERMITTING PLAN REVIEW
44	09-23-2020	N.D.K.	PERMITTING PLAN REVIEW
45	09-23-2020	N.D.K.	PERMITTING PLAN REVIEW
46	09-23-2020	N.D.K.	PERMITTING PLAN REVIEW
47	09-23-2020	N.D.K.	PERMITTING PLAN REVIEW
48	09-23-2020	N.D.K.	PERMITTING PLAN REVIEW
49	09-23-2020	N.D.K.	PERMITTING PLAN REVIEW
50	09-23-2020	N.D.K.	PERMITTING PLAN REVIEW
51	09-23-2020	N.D.K.	PERMITTING PLAN REVIEW
52	09-23-2020	N.D.K.	PERMITTING PLAN REVIEW
53	09-23-2020	N.D.K.	PERMITTING PLAN REVIEW
54	09-23-2020	N.D.K.	PERMITTING PLAN REVIEW
55	09-23-2020	N.D.K.	PERMITTING PLAN REVIEW
56	09-23-2020	N.D.K.	PERMITTING PLAN REVIEW
57	09-23-2020	N.D.K.	PERMITTING PLAN REVIEW
58	09-23-2020	N.D.K.	PERMITTING PLAN REVIEW
59	09-23-2020	N.D.K.	PERMITTING PLAN REVIEW
60	09-23-2020	N.D.K.	PERMITTING PLAN REVIEW
61	09-23-2020	N.D.K.	PERMITTING PLAN REVIEW
62	09-23-2020	N.D.K.	PERMITTING PLAN REVIEW
63	09-23-2020	N.D.K.	PERMITTING PLAN REVIEW
64	09-23-2020	N.D.K.	PERMITTING PLAN REVIEW
65	09-23-2020	N.D.K.	PERMITTING PLAN REVIEW
66	09-23-2020	N.D.K.	PERMITTING PLAN REVIEW
67	09-23-2020	N.D.K.	PERMITTING PLAN REVIEW
68	09-23-2020	N.D.K.	PERMITTING PLAN REVIEW
69	09-23-2020	N.D.K.	PERMITTING PLAN REVIEW
70	09-23-2020	N.D.K.	PERMITTING PLAN REVIEW
71	09-23-2020	N.D.K.	PERMITTING PLAN REVIEW
72	09-23-2020	N.D.K.	PERMITTING PLAN REVIEW
73	09-23-2020	N.D.K.	PERMITTING PLAN REVIEW
74	09-23-2020	N.D.K.	PERMITTING PLAN REVIEW
75	09-23-2020	N.D.K.	PERMITTING PLAN REVIEW
76	09-23-2020	N.D.K.	PERMITTING PLAN REVIEW
77	09-23-2020	N.D.K.	PERMITTING PLAN REVIEW
78	09-23-2020	N.D.K.	PERMITTING PLAN REVIEW
79	09-23-2020	N.D.K.	PERMITTING PLAN REVIEW
80	09-23-2020	N.D.K.	PERMITTING PLAN REVIEW
81	09-23-2020	N.D.K.	PERMITTING PLAN REVIEW
82	09-23-2020	N.D.K.	PERMITTING PLAN REVIEW
83	09-23-2020	N.D.K.	PERMITTING PLAN REVIEW
84	09-23-2020	N.D.K.	PERMITTING PLAN REVIEW
85	09-23-2020	N.D.K.	PERMITTING PLAN REVIEW
86	09-23-2020	N.D.K.	PERMITTING PLAN REVIEW
87	09-23-2020	N.D.K.	PERMITTING PLAN REVIEW
88	09-23-2020	N.D.K.	PERMITTING PLAN REVIEW
89	09-23-2020	N.D.K.	PERMITTING PLAN REVIEW
90	09-23-2020	N.D.K.	PERMITTING PLAN REVIEW
91	09-23-2020	N.D.K.	PERMITTING PLAN REVIEW
92	09-23-2020	N.D.K.	PERMITTING PLAN REVIEW
93	09-23-2020	N.D.K.	PERMITTING PLAN REVIEW
94	09-23-2020	N.D.K.	PERMITTING PLAN REVIEW
95	09-23-2020	N.D.K.	PERMITTING PLAN REVIEW
96	09-23-2020	N.D.K.	PERMITTING PLAN REVIEW
97	09-23-2020	N.D.K.	PERMITTING PLAN REVIEW
98	09-23-2020	N.D.K.	PERMITTING PLAN REVIEW
99	09-23-2020	N.D.K.	PERMITTING PLAN REVIEW
100	09-23-2020	N.D.K.	PERMITTING PLAN REVIEW

Grading & Utility Plan
Pearl Car Wash
 202 JT Connell Highway
 Newport, Rhode Island
Pizza Hut of America
 1100 Aquidneck Avenue, Middletown, RI 02842
 tel 401-849-6200
 DC Job No: 2777-001 Copyright: 2020 by DiPrete Engineering Associates, Inc.

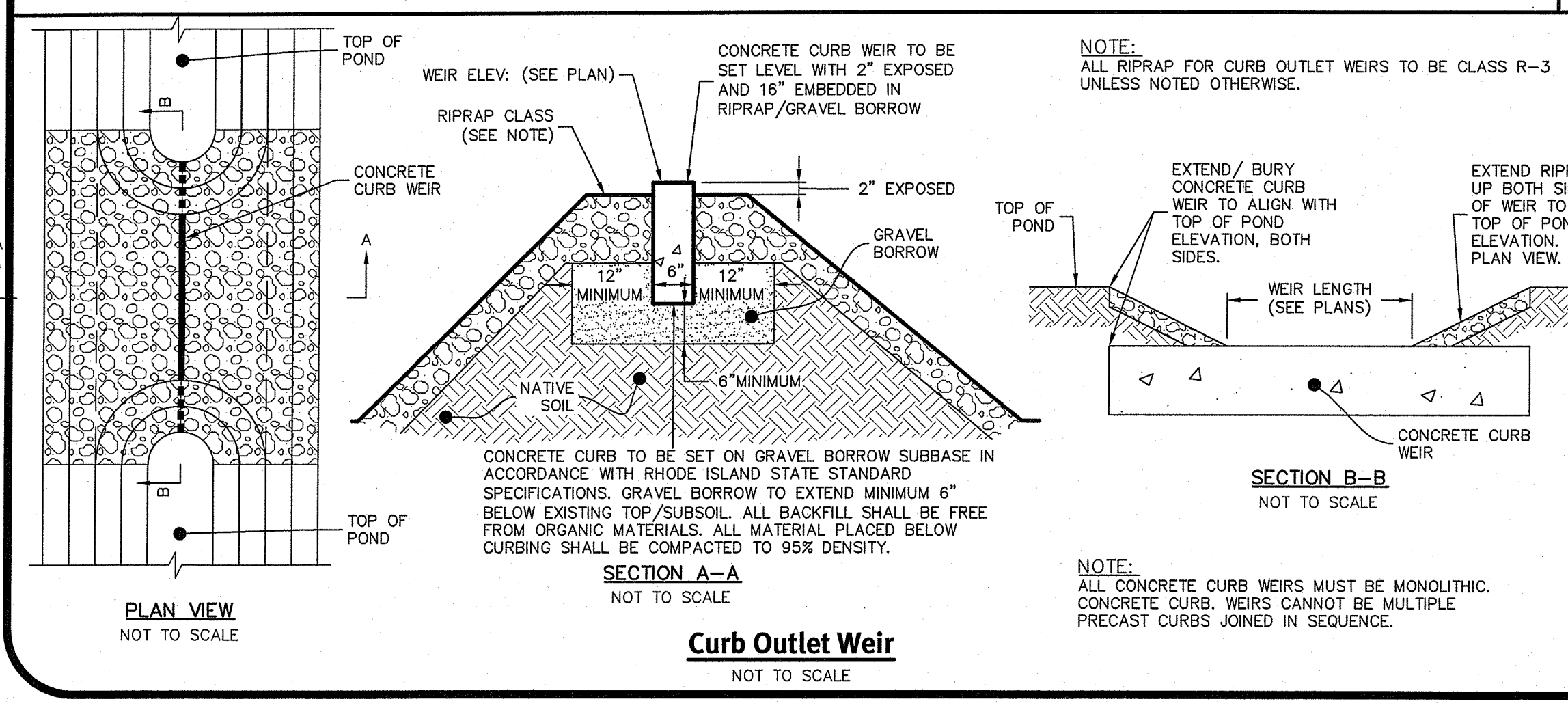
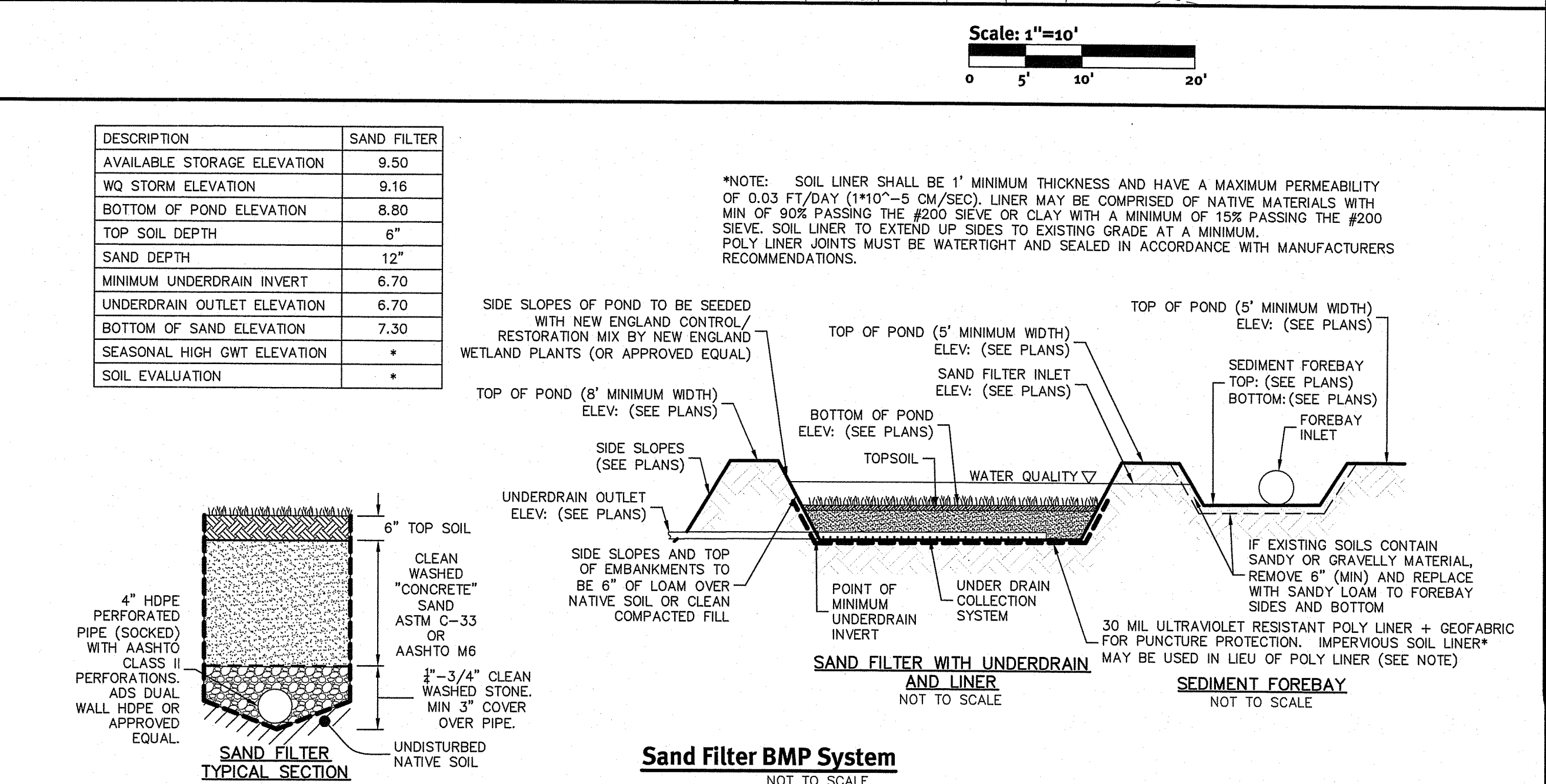


DiPrete Engineering
90 Broadway Newport, RI 02840
tel. 401-619-5890 fax. 401-464-6006 www.diprete-eng.com

BRIAN C. GIROUX
9341
10-5-2020
REGISTERED PROFESSIONAL ENGINEER CIVIL



- Subdrain Installation, Inspection & Maintenance Notes**
NOT TO SCALE
- SUBDRAIN AREA IS TO BE STAKED, MARKED, AND IS TO REMAIN UNDISTURBED PRIOR TO CONSTRUCTION. NO CONSTRUCTION TRAFFIC OVER THE SUBDRAIN AREA PRIOR TO CONSTRUCTION IS ALLOWED.
 - SEE CONSTRUCTION SEQUENCE OUTLINED IN SUBDRAIN TRENCH DETAIL.
 - CONTRACTOR SHALL PROVIDE AS-BUILT PLANS OF THE DETENTION BASINS SHOWING THE FIELD-LOCATED SUBDRAIN LOCATIONS, INVERTS, AND SIZES.
 - IF AS-BUILT PLAN INDICATES THAT DETENTION BASIN AND SUBDRAINS ARE NOT INSTALLED AS SHOWN ON THE PLANS AND DETAILS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECONSTRUCTING SUBDRAINS ACCORDING TO DESIGN PLANS.
 - OWNER SHALL MONITOR THE WATER LEVELS WITHIN THE CLEANOUTS AT VARIOUS TIME INTERVALS AFTER RAINFALL EVENTS INDICATING THE EFFECTIVENESS OF THE SYSTEM. IF WATER IS STANDING IN THE SUBDRAIN AFTER A STORM EVENT, SYSTEM FAILURE MAY HAVE OCCURRED AND WILL REQUIRE FLUSHING MAINTENANCE, REPAIR, OR REPLACEMENT OF SUBDRAIN BY OWNER.
 - THE BMPs SHOULD DRAIN AS DESIGNED. STANDING WATER SHOULD NOT BE PRESENT IN THE BASIN 72 HOURS AFTER A RAINFALL EVENT. IF STANDING WATER DOES NOT DRAIN WITHIN 72 HOURS, THE BASIN SHALL BE CONSIDERED DEFICIENT AND SHALL BE REPAIRED IMMEDIATELY BY THE OWNER.
 - THE OWNER AND/OR THE CONTRACTOR SHALL TAKE SPECIAL CARE SO AS TO AVOID DAMAGING THE SUBDRAIN. HEAVY EQUIPMENT SHALL NOT OPERATE DIRECTLY OVER THE SUBDRAIN PIPE. MORE SPECIFICALLY, THEY SHALL NOT PLACE EQUIPMENT STABILIZERS OVER THE SUBDRAIN PIPE. THE LOCATION OF THE SUBDRAIN SHALL BE VERIFIED AND LOCATED PRIOR TO COMMENCEMENT OF INSPECTION, MAINTENANCE, OR REPAIRS WITHIN THE DETENTION BASINS.
 - ANY CHANGE TO SUBDRAIN DESIGN OR LAYOUT SHALL REQUIRE APPROVAL FROM DESIGN ENGINEER



Sand Filter Details
Pearl Car Wash
202 Jt. Connell Highway
Newport, Rhode Island
Prepared for: **Pizza Hut of America**
1100 Aquidneck Avenue, Middletown, RI 02842
tel. 401-619-5890

Environmental Management
OCT - 7 2020
Office of Water Resources

Drawn By: N.D.J.
Design By: D.E.M.

SHEET 8 OF 11

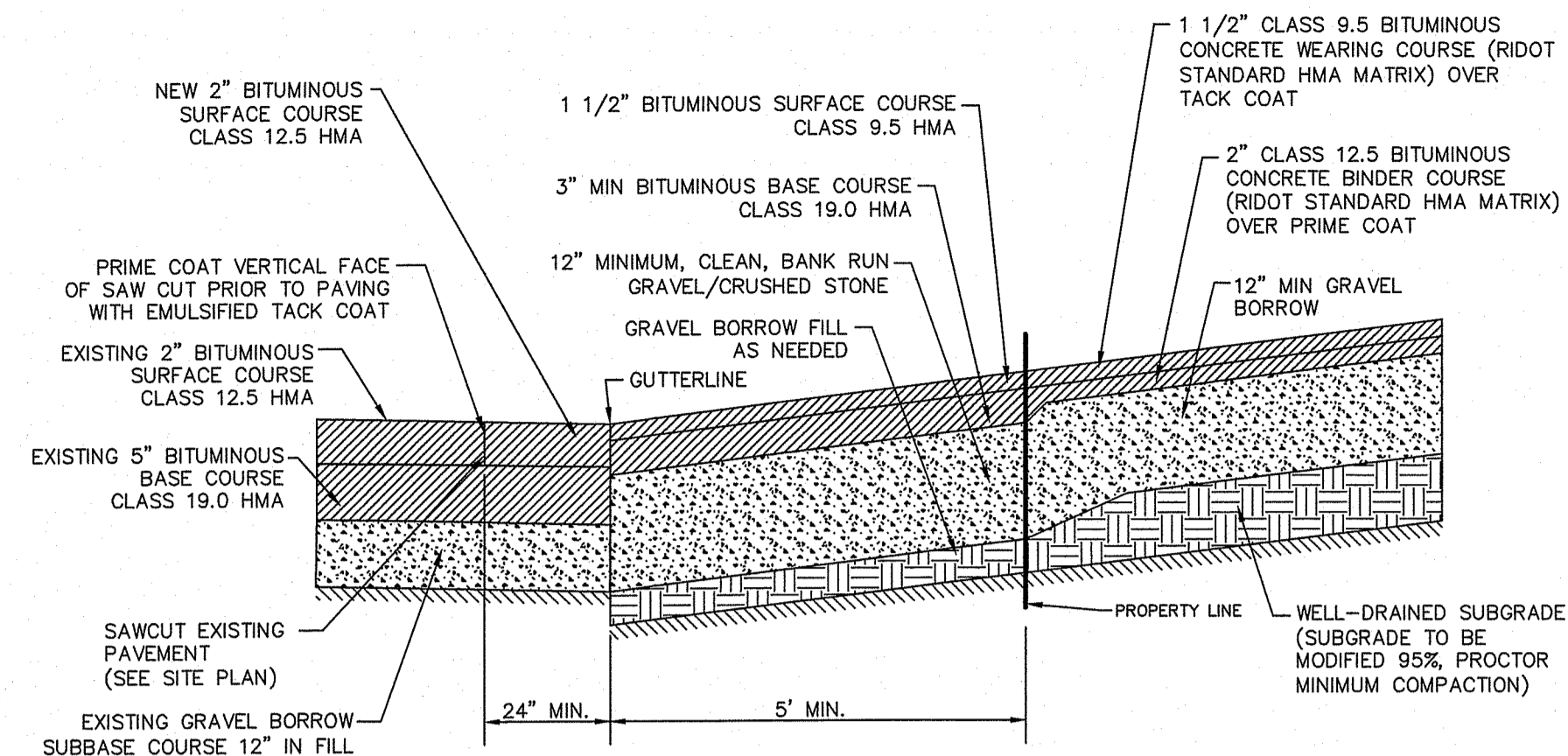
This plan set must not be used for construction purposes unless approved by a registered Professional Engineer of DiPrete Engineering.

DiPrete Engineering only warrants that the design is the work of a registered Professional Engineer of DiPrete Engineering. DiPrete Engineering does not warrant plans by any other party.

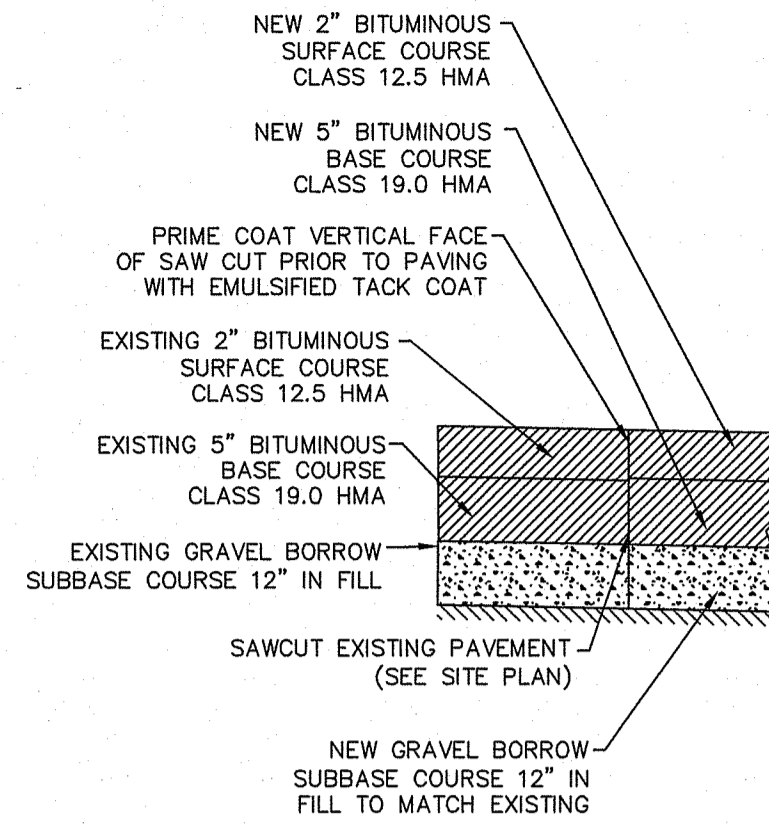
The contractor is responsible for all of the means, methods, safety and construction practices used in the performance of the implementation of this plan and design.

Existing utilities shown on this plan are approximate only. DiPrete Engineering assumes no responsibility for damages incurred due to locations of existing utilities. See Utility Note on sheet 3.

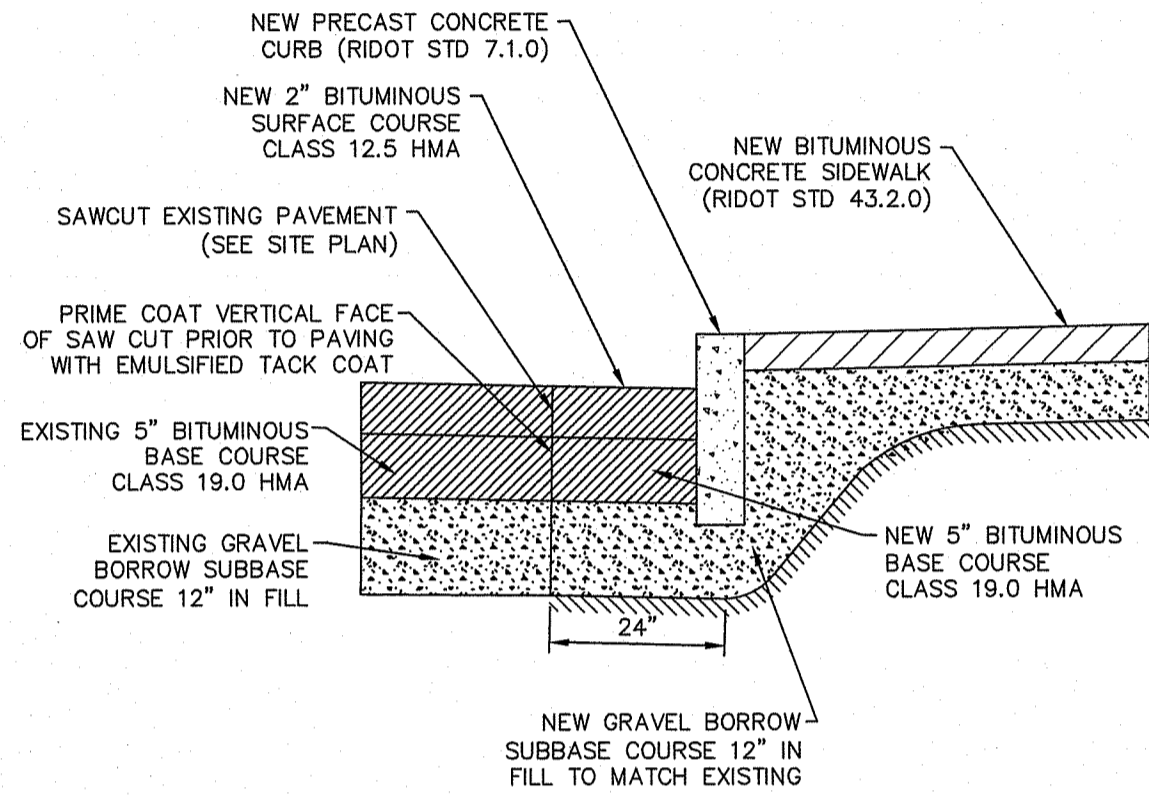
No.	Date	Description	By
1	10-5-2020	Issue for Review	N.D.J.
2	10-5-2020	Issue for Review	N.D.J.
3	10-5-2020	Issue for Review	N.D.J.
4	10-5-2020	Issue for Review	N.D.J.



SECTION THROUGH SITE ENTRANCE/DRIVEWAYS



SECTION THROUGH TRENCH

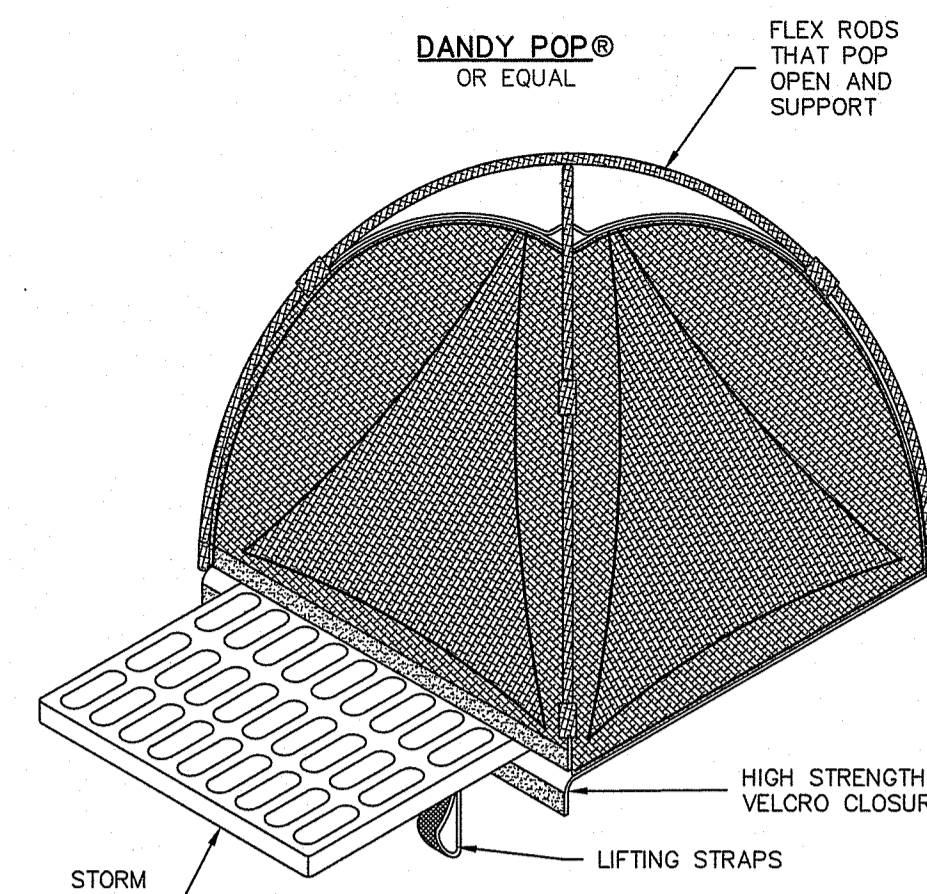


SECTION THROUGH NEW CURB & SIDEWALK

Saw Cut And Match Detail Cross Section

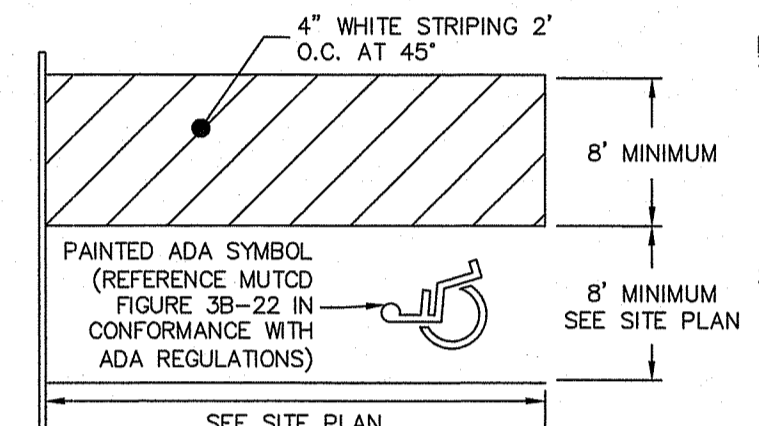
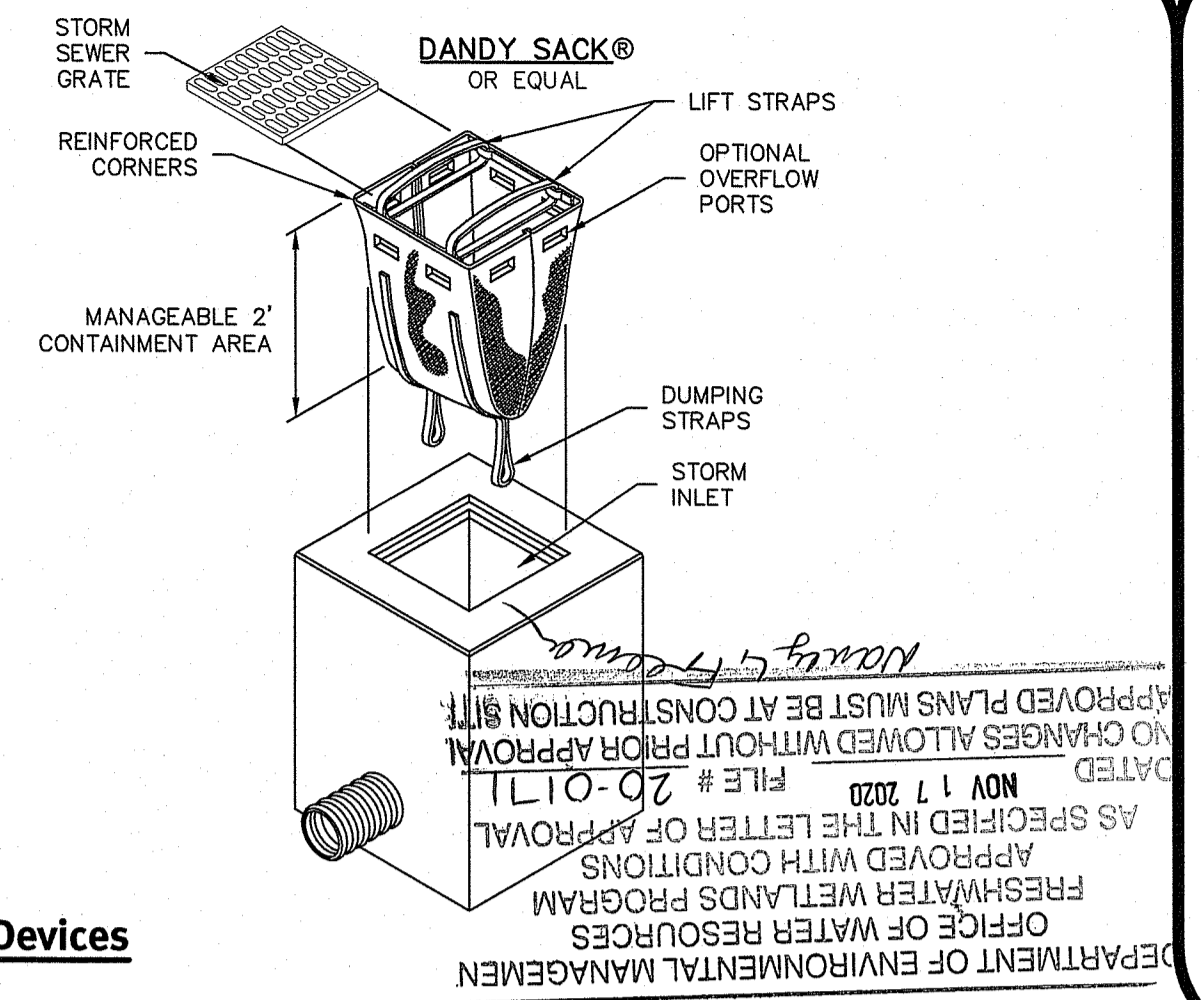
NOT TO SCALE

NOTE:
EXISTING PAVEMENT INFORMATION OBTAINED FROM "RHODE ISLAND DEPARTMENT OF TRANSPORTATION, TYPICAL SECTIONS, PELL BRIDGE RAMPS - PHASE I IMPROVEMENTS TO JT CONNELL/CODDINGTON HIGHWAY, NEWPORT/MIDDLETOWN, RHODE ISLAND" PREPARED BY PARE CORPORATION, DATED 12/23/19.



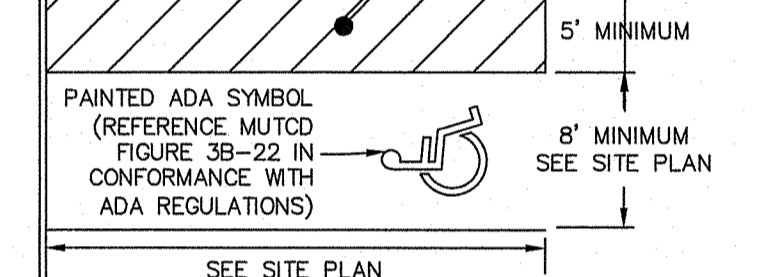
Inlet Sediment Control Devices

NOT TO SCALE



TYPICAL VAN ACCESSIBLE PARKING SPACE

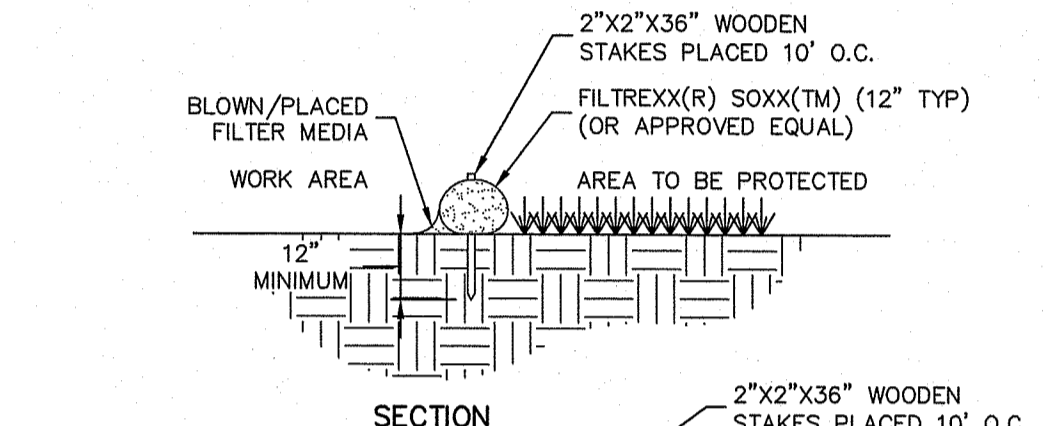
NOT TO SCALE



Typical Accessible Parking Spaces

NOT TO SCALE

- NOTES:**
1. ALL PAINT MUST BE FAST DRYING TRAFFIC PAINT MEETING THE REQUIREMENTS OF AASHTO M248 TYPE F. PAINT MUST BE APPLIED AS SPECIFIED BY THE MANUFACTURER.
 2. APPLY 2 COATS OF TRAFFIC TYPE PAINT. APPLY THE FIRST COAT NOT LESS THAN FIVE DAYS AFTER THE PLACING OF BITUMINOUS PAVEMENT. ALLOW FOR MINIMUM CURE TIME OF 24 HOURS BETWEEN APPLICATIONS.
 3. FOR REDEVELOPMENT SITES, PAINT COLOR AND SIZE/STENCILING OF PAINTED ADA SYMBOL MUST MATCH ADJACENT SPACES, SO LONG AS THEY COMPLY WITH THE CURRENT EDITIONS OF ALL APPLICABLE STANDARDS AND REGULATIONS.



Filtrexx Sediment Control (or Approved Equal)

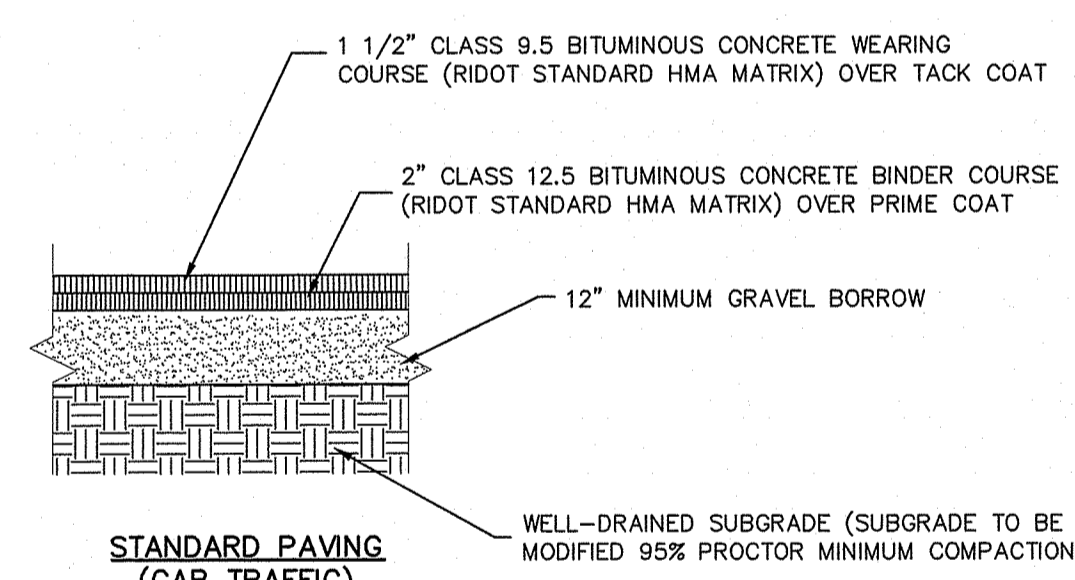
NOT TO SCALE

- NOTES:**
1. ALL MATERIAL TO MEET FILTREXX(R) SPECIFICATIONS
 2. FILTER MEDIA(TM) FILL TO MEET APPLICATION REQUIREMENTS.
 3. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER
 4. STAKES ARE NOT TO BE USED IN PAVEMENT AREAS.
 5. SELF WEIGHT OF FILTREXX SYSTEM IS ADEQUATE TO PREVENT SYSTEM MOVEMENT ONCE POSITIONED ALONG AREA SHOWN ON THE PLANS.
 6. CONTRACTOR TO PLACE FILTREXX SEDIMENT CONTROL OR APPROVED EQUAL AROUND ALL CURB INLET LOCATIONS AS SPECIFIED ON PLANS.

Filtrexx Sediment Control (or Approved Equal)

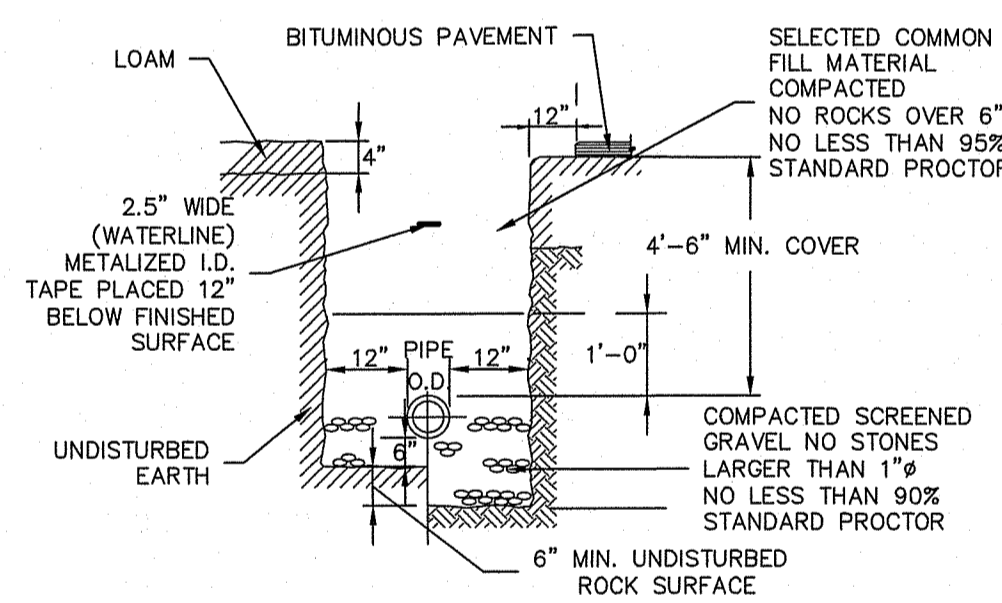
NOT TO SCALE

NOTE:
THIS PAVEMENT SECTION DETAIL REFLECTS MINIMUM REQUIREMENTS. ENGINEER TO DETERMINE DESIGN BASED ON GEOTECHNICAL DATA OF SPECIFIC PROJECT AND DAILY TRAFFIC DESIGN REQUIREMENT.



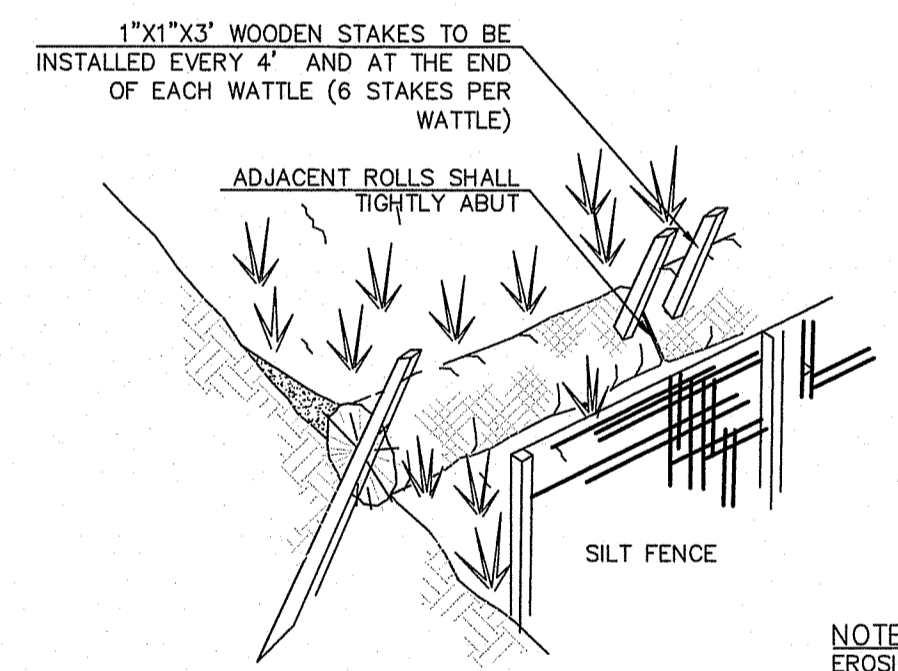
Typical Pavement Section

NOT TO SCALE



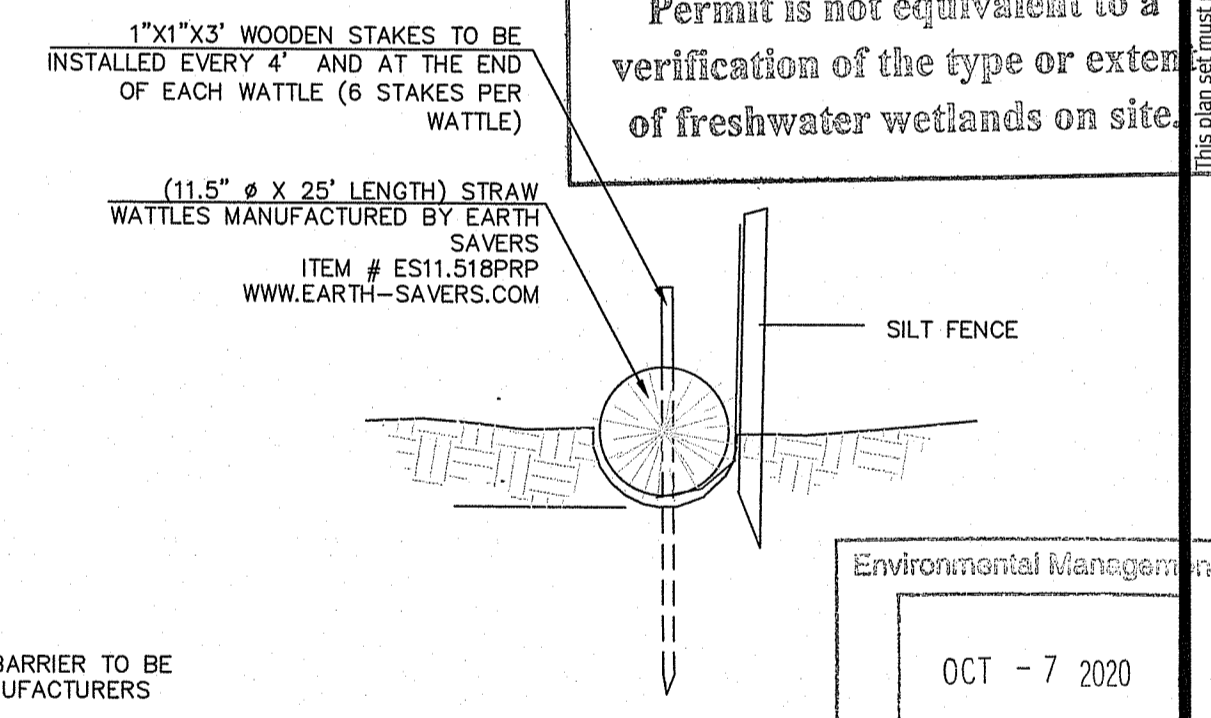
Water Trench Installation in Rock and Soil

NOT TO SCALE



Silt Fence/Straw Wattle Sediment Barrier

NOT TO SCALE



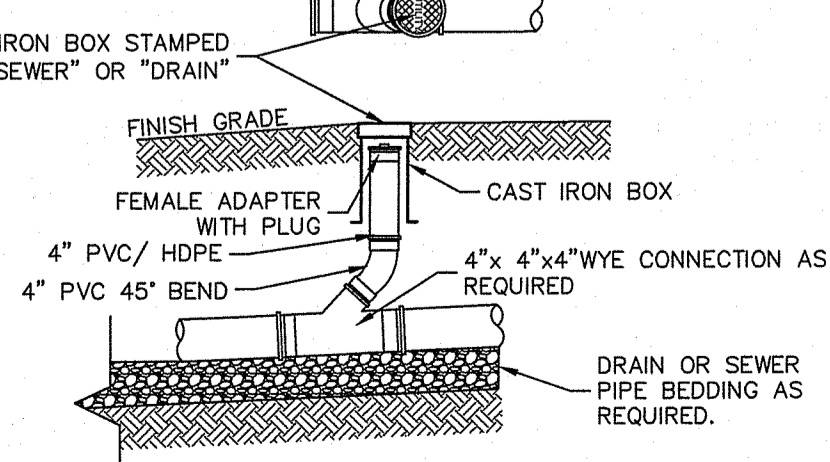
CROSS SECTION VIEW

NOT TO SCALE

Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.

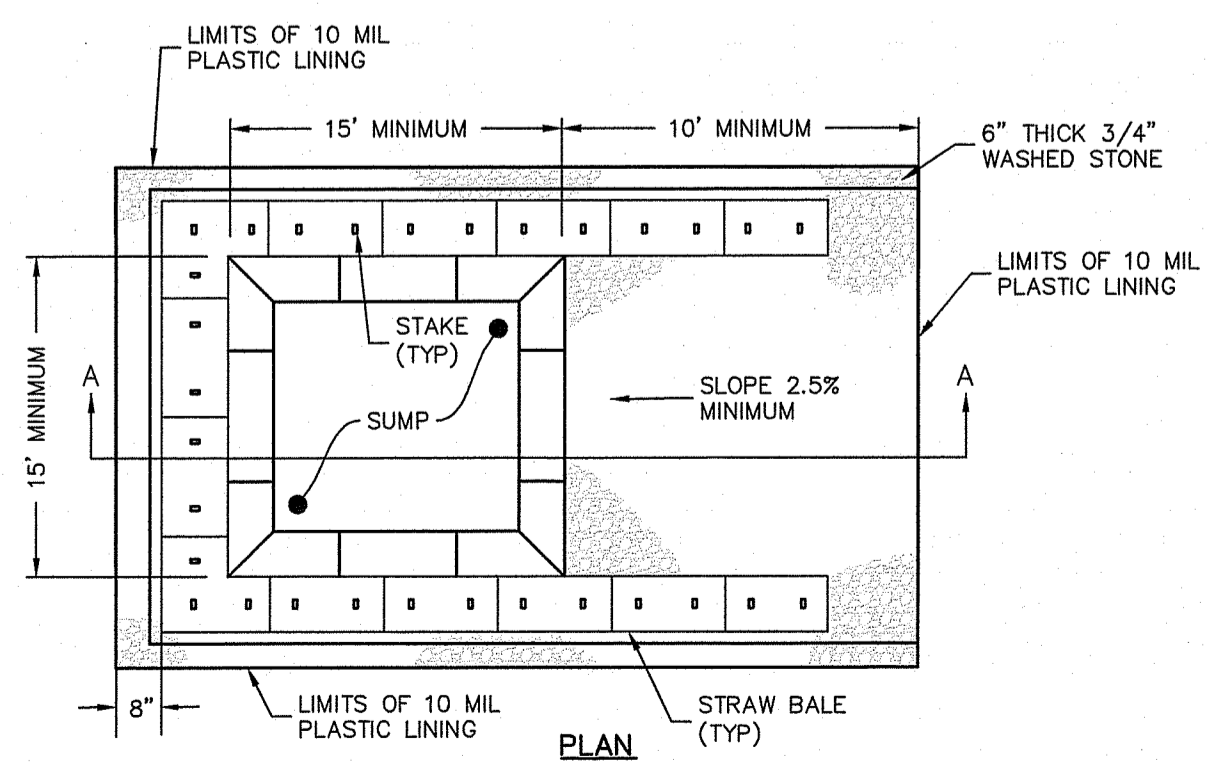
Environmental Management
OCT - 7 2020
Office of Water Resources

- NOTES:**
1. ALL PIPE AND FITTINGS SHALL BE GASKETED SDR-35 PVC FOR SEWER, OR HDPE PIPE FOR DRAINAGE.
 2. PIPE BEDDING AND BACKFILL FOR CLEANOUTS SHALL MEET APPLICABLE DRAINAGE AND SEWER SPECIFICATIONS UNLESS OTHERWISE NOTED BY ENGINEER.
 3. FOR SEWER CLEANOUTS, A MINIMUM OF ONE CLEANOUT SHALL BE PLACED ON EACH LATERAL, 5' FROM THE STRUCTURE. FOR LONGER RUNS, CLEANOUTS SHALL BE LOCATED EVERY 100'. FOR DRAIN CLEANOUTS SEE PLANS FOR LOCATION AS REQUIRED.
 4. ALL CLEANOUTS SHALL BE SLEEVED WITH A CAST-IRON BOX SET FLUSH WITHIN THE FINAL GRADE OF GRASS, HARDSCAPE, ROADWAYS OR CONCRETE AREAS. CAST IRON BOX NOT REQUIRED FOR STORMWATER BMP AREAS. COVERS SHALL BE INSCRIBED WITH THE WORD "SEWER," OR "DRAIN" ACCORDINGLY. FOR ROADWAY APPLICATIONS, THE CAST-IRON BOX MUST MEET H-20 LOADING.

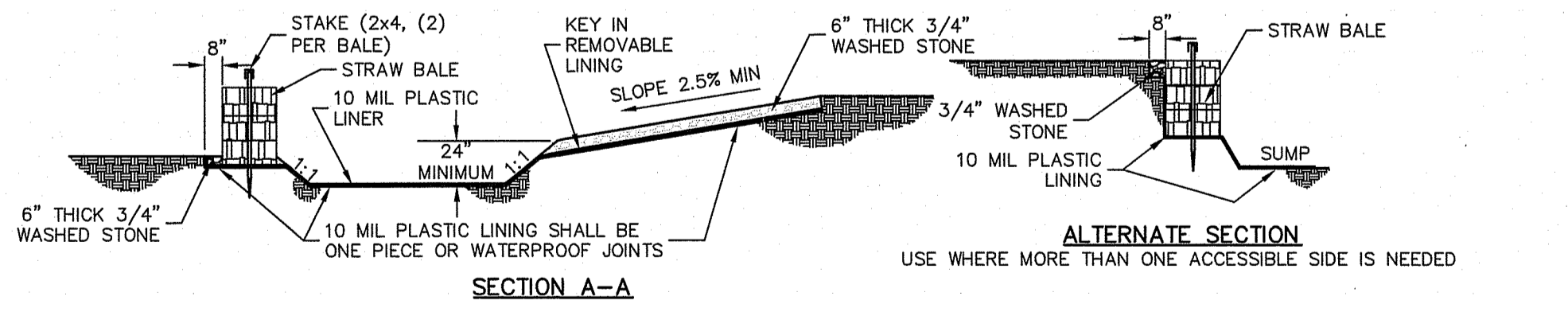


Cleanout

NOT TO SCALE



PLAN



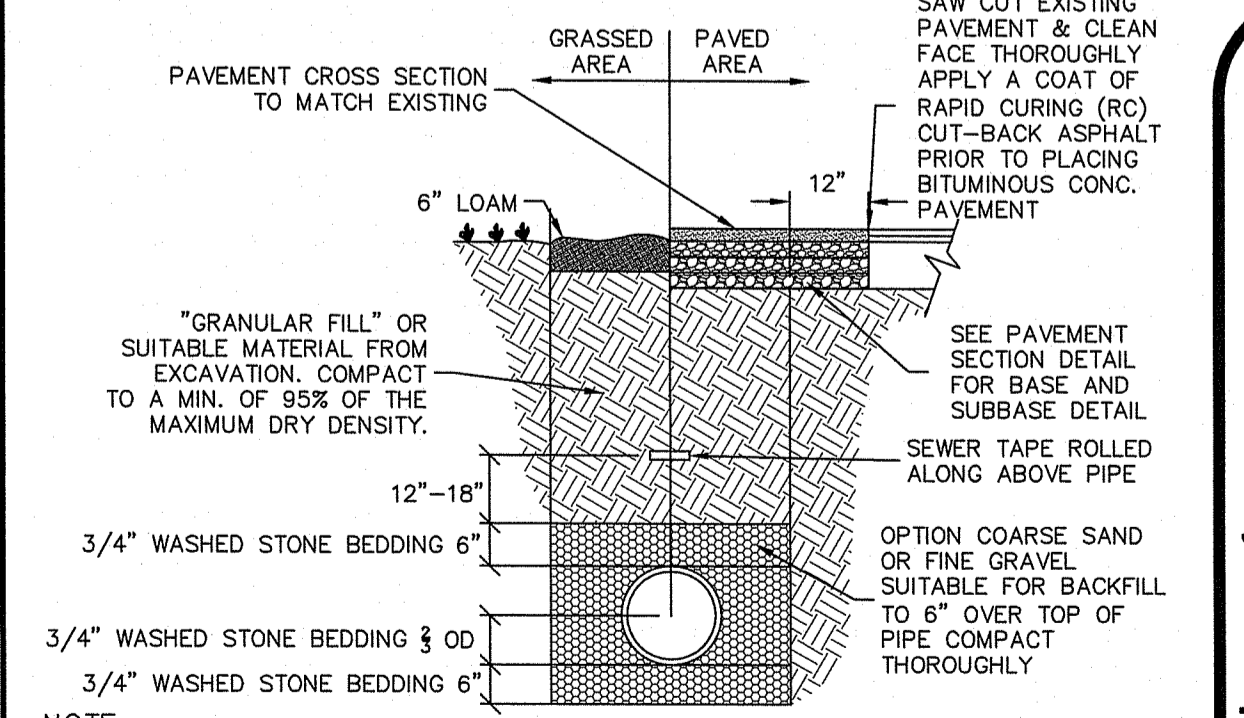
SECTION A-A

NOT TO SCALE

- NOTES:**
1. PIT IS SPECIFICALLY DESIGNATED, DIKED AND IMPERVIOUS CONTAINMENT TO PREVENT CONTACT BETWEEN CONCRETE WASH AND STORMWATER.
 2. WASH WATER SHALL NOT BE ALLOWED TO FLOW TO SURFACE WATER.
 3. FACILITY MUST HOLD SUFFICIENT VOLUME TO CONTAIN CONCRETE WASTE WITH A MINIMUM FREEBOARD OF 12."
 4. FACILITY SHALL NOT BE FILLED BEYOND 95% CAPACITY UNLESS A NEW FACILITY IS CONSTRUCTED.
 5. SAWCUT PORTLAND CEMENT CONCRETE, RESIDUE FROM SAWCUT AND GRINDING TO BE DISPOSED OF IN THE PIT.
 6. CONCRETE WASHOUTS SHALL BE LOCATED A MINIMUM OF 100' FROM DRAINAGE WAYS, INLETS, AND SURFACE WATERS.
 7. MANUFACTURED CONCRETE WASHOUT DEVICES MAY BE USED IF REMOVED FROM THE SITE WHEN 95% FULL CAPACITY.

Concrete Washout Area

NOT TO SCALE



Sewer Line Trench Detail

NOT TO SCALE

- NOTE:**
1. WIDTH (W) OF TRENCH IS EQUAL TO THE INSIDE DIAMETER OF THE PIPE PLUS 12".
 2. SOIL UNDER CRUSHED STONE FOUNDATION SHALL BE UNDISTURBED AND COMPACTED MATERIAL WITH SEVERAL PASSES OF A VIBRATORY PLATE COMPACTOR.
 3. CRUSHED STONE FOUNDATION 3/4" MAXIMUM SIZE, SHALL BE PLACED 6" UNDER THE PIPE AND UP TO THE PIPE LAID THEREON, CRUSHED STONE PULLED AGAINST THE PIPE SIDES TO FIRMLY HOLD THE PIPE IN PLACE.
 4. CRUSHED STONE HUNCHING 3/4" MAXIMUM SIZE SHALL BE BROUGHT LEVEL TO THE TOP OF THE PIPE AND OUT TO THE TRENCH WALL AT THIS ELEVATION FOR ALL PIPE.

Detail Sheet-1
Pearl Car Wash
202 JT Connell Highway
Newport, Rhode Island

Pizza Hut of America
1100 Aquinneck Avenue, Middletown RI 02842
tel 401-849-6200

BRIAN C. GIROUX
REG. NO. 9341
REGISTERED PROFESSIONAL ENGINEER
CIVIL

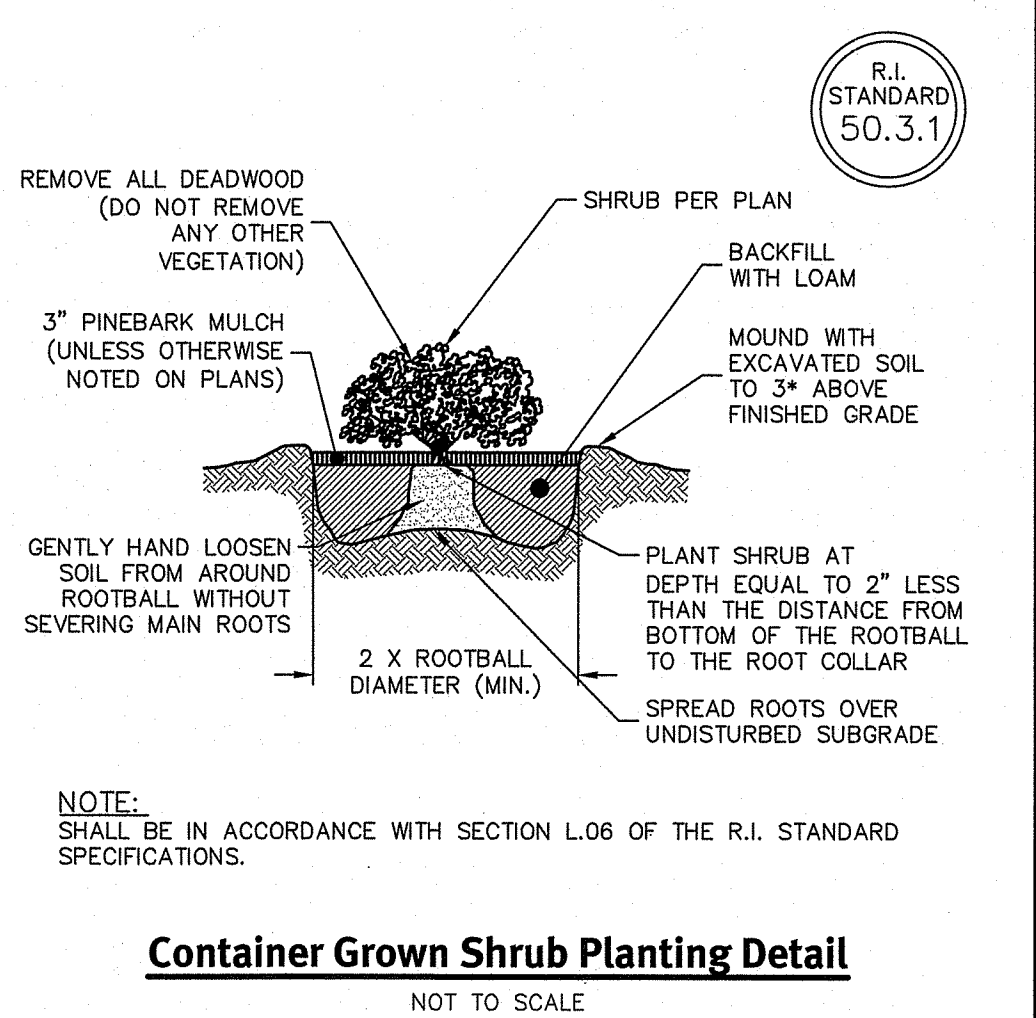
This plan set may not be used for construction purposes unless stamped for Construction and stamped by a registered Professional Engineer of Rhode Island Engineering.
The contractor is responsible for all of the means, methods, safety and implementation of this plan and design.
Engineering assumes no responsibility for damages incurred due to locations of existing utilities. See Utility Note on sheet 3.

NO.	DATE	DESCRIPTION	BY	CHK
1	10/24/2020	Concept Plan	N.D.K.	N.D.K.
2	10/24/2020	Design	N.D.K.	N.D.K.
3	10/24/2020	Construction	N.D.K.	N.D.K.

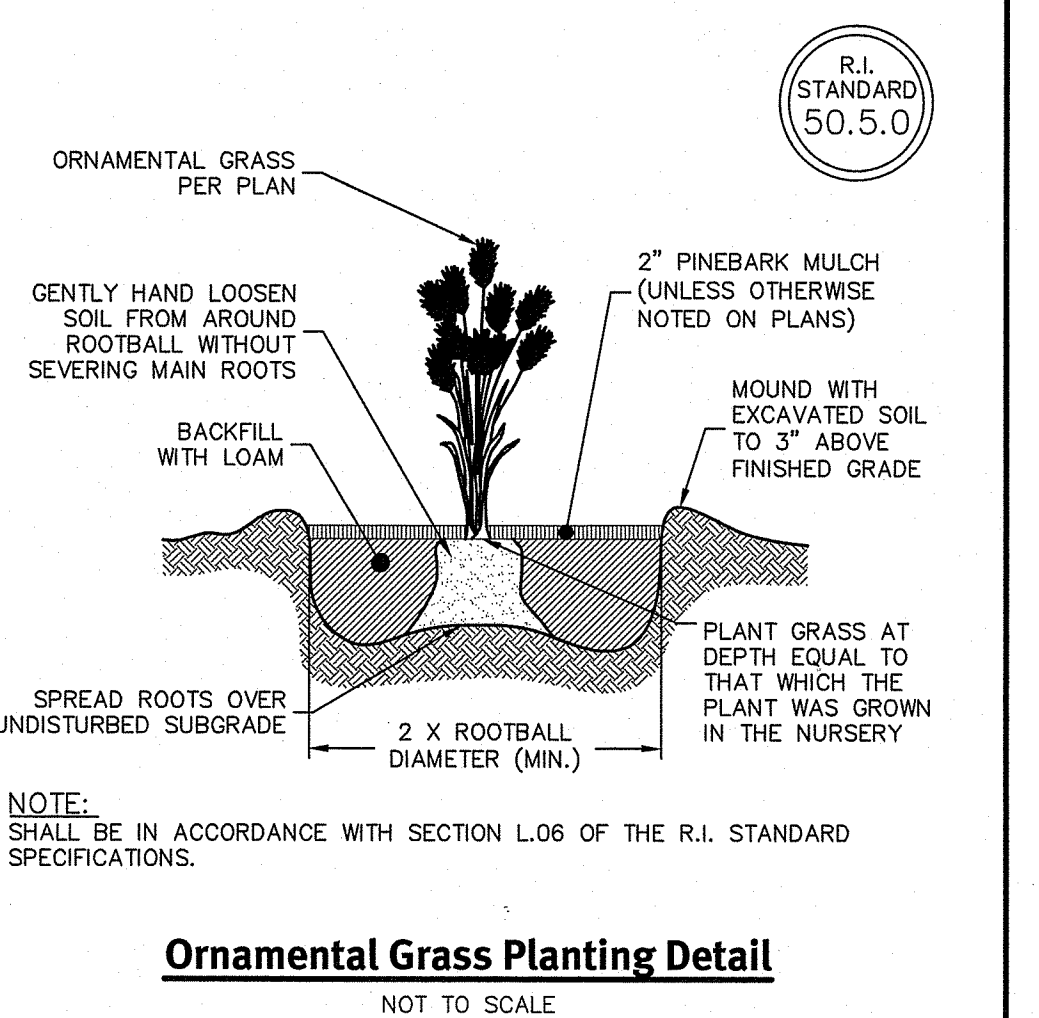
Z:\Main\projects\2777-001\10 autocad drawings\2777-001-plm.dwg Plocted: 10/16/2020

PLANT SCHEDULE

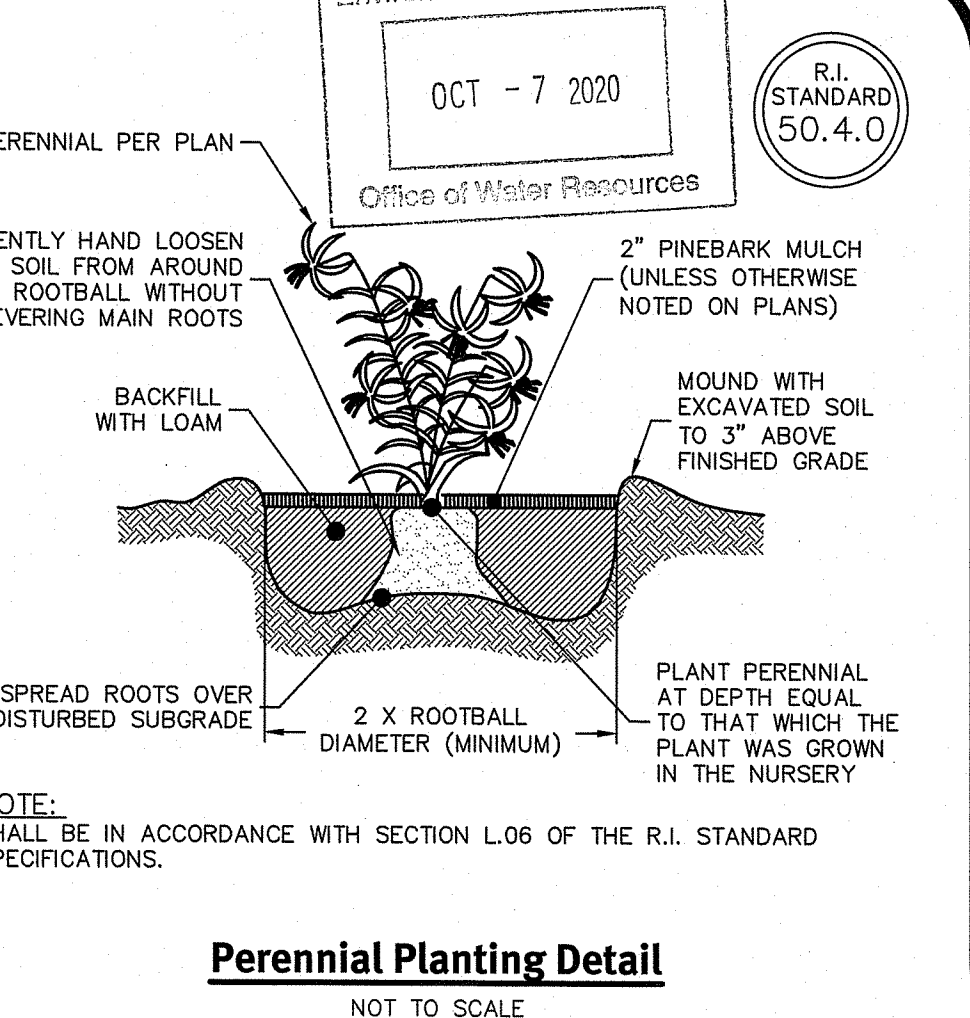
TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT
AF	2	Acer x freemanii	Freeman Maple	2/2.5" CAL B&B
BNH	4	Betula nigra 'Heritage'	Heritage River Birch	2/2.5" CAL B&B
PSK	2	Prunus serrulata 'Kwanzan'	Flowering Cherry	2.5/3" CAL B&B
EVERGREEN TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT
PG	4	Picea glauca	White Spruce	6" HT MIN
TOS	15	Thuja occidentalis 'Smaragd'	Emerald Green Arborvitae	6" HT MIN
TOT	20	Thuja occidentalis 'Techny'	Techny Arborvitae	6" HT MIN
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE
HM	3	Hydrangea macrophylla 'Endless Summer' TM	Bailmer Hydrangea	3-4' HT
ICH	16	Ilex crenata 'Helleri'	Heler Japanese Holly	18" HT/SPREAD MIN.
IGS	8	Ilex glabra 'Shamrock'	Inkberry	18" HT/SPREAD MIN.
RD	14	Rhododendron x 'Delaware Valley White'	Delaware Valley White Azalea	18" HT/SPREAD MIN.
RK	7	Rosa x 'Knockout' TM	Rose	18" HT/SPREAD MIN.
ANNUALS/PERENNIALS	QTY	BOTANICAL NAME	COMMON NAME	SIZE
HH	15	Hemerocallis x 'Happy Returns'	Happy Returns Daylily	2 gal
GRASSES	QTY	BOTANICAL NAME	COMMON NAME	SIZE
CKF	8	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	2 gal
PAH	7	Pennisetum alopecuroides 'Hameln'	Hameln Dwarf Fountain Grass	2 gal



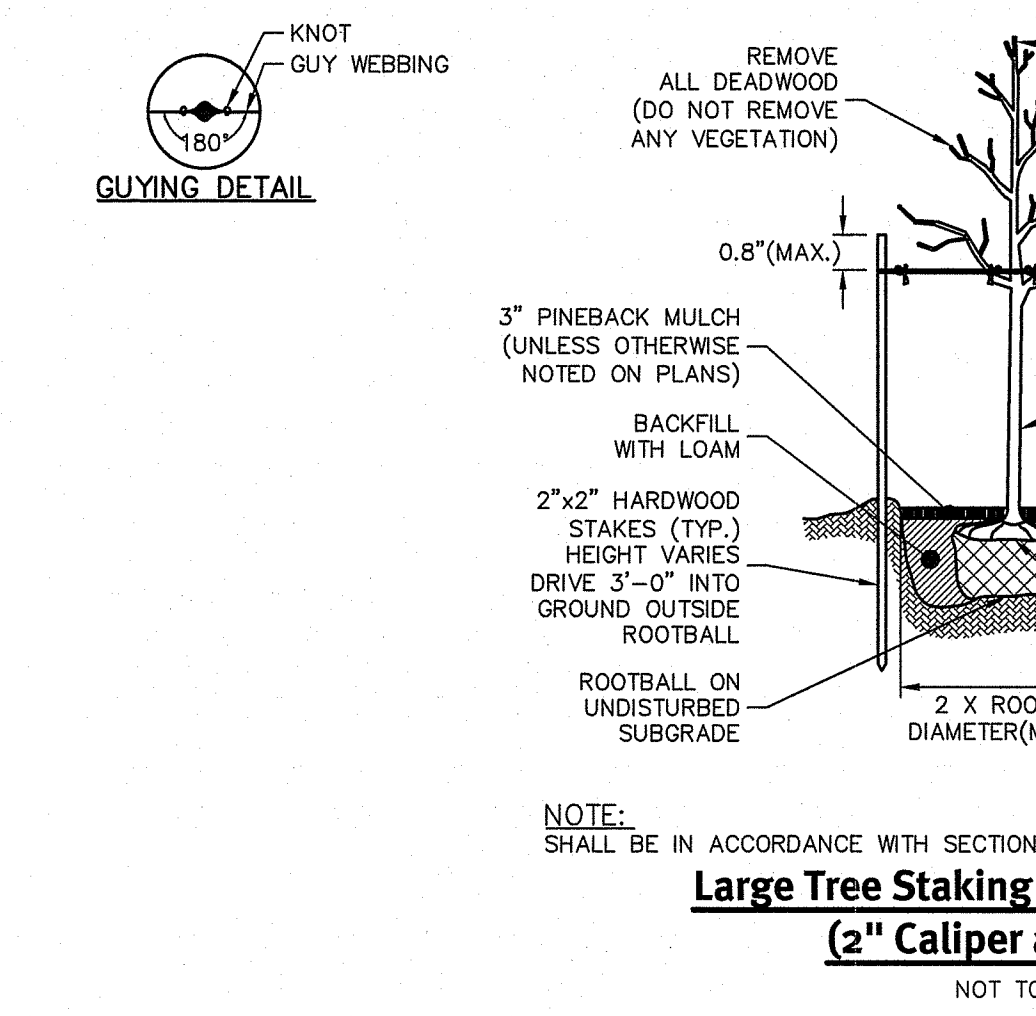
Container Grown Shrub Planting Detail
NOT TO SCALE



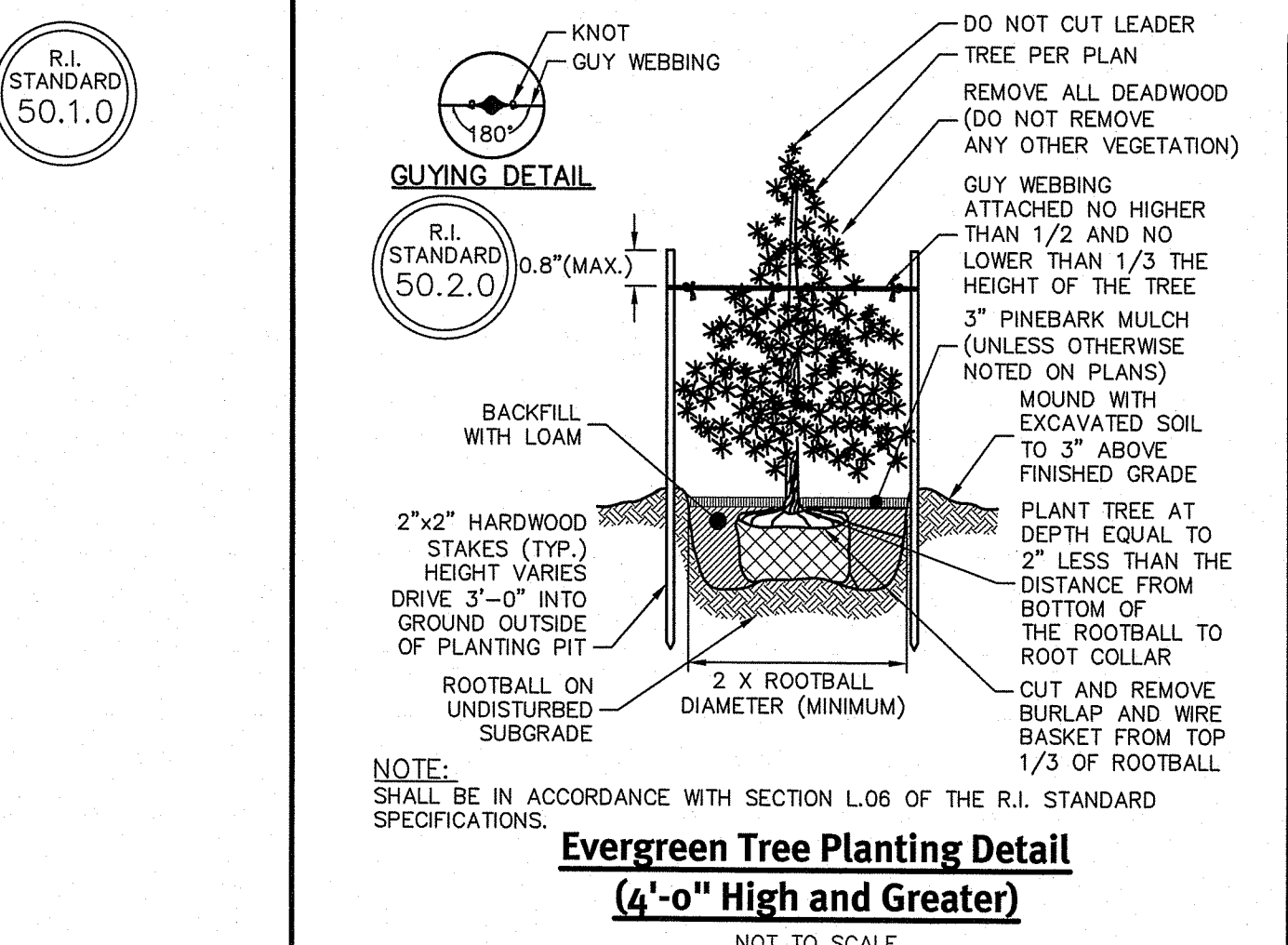
Ornamental Grass Planting Detail
NOT TO SCALE



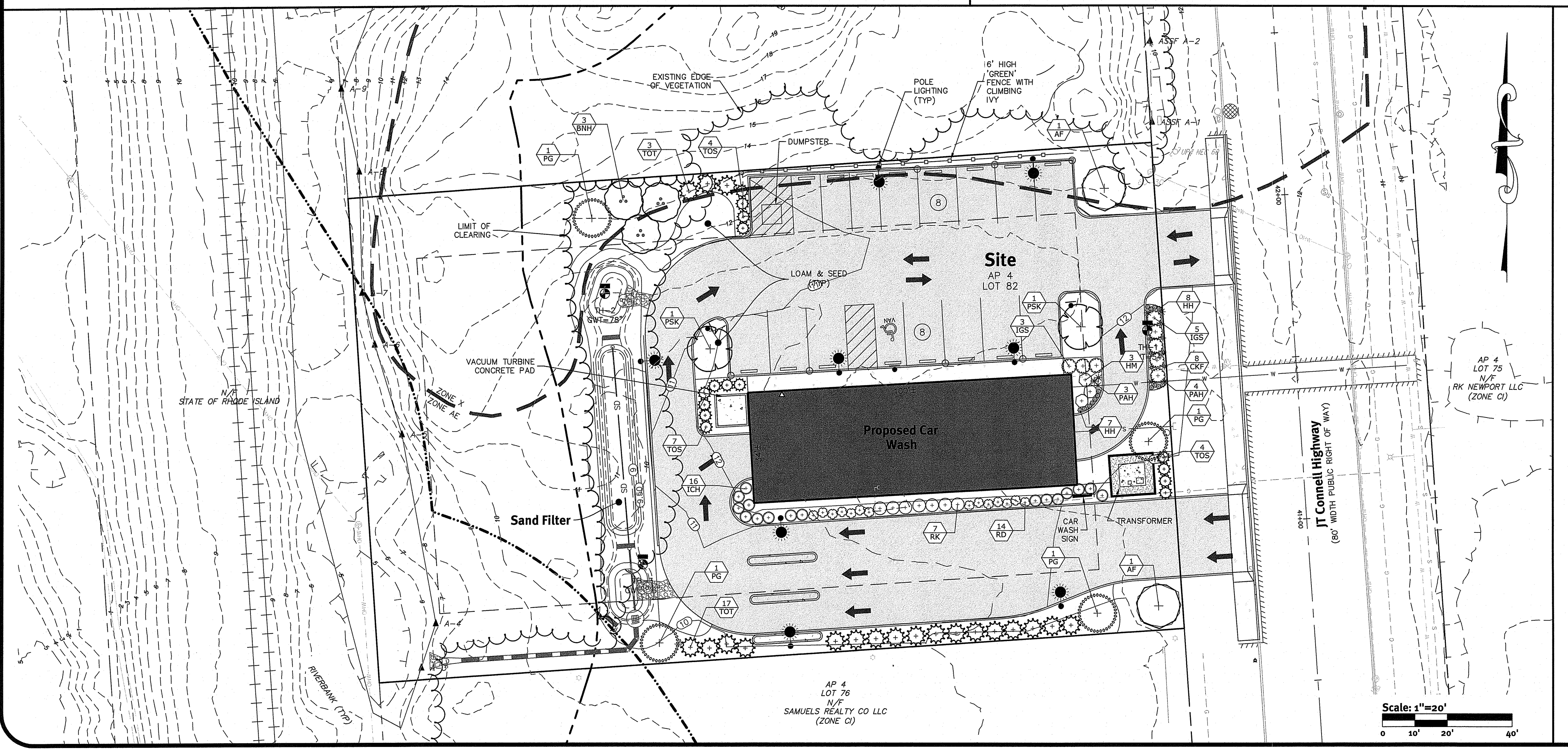
Perennial Planting Detail
NOT TO SCALE



Large Tree Staking and Planting Detail (2" Caliper and Greater)
NOT TO SCALE



Evergreen Tree Planting Detail (4'-0" High and Greater)
NOT TO SCALE



Landscape Notes:

- CONTRACTOR TO VERIFY ALL UTILITY LOCATIONS BY NOTIFYING DIG-SAFE (811) AT LEAST 72 HOURS PRIOR TO ANY CONSTRUCTION OR SITE PREPARATION AND ANY/OR ALL LOCAL UTILITY COMPANIES AS REQUIRED.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL LOCAL STATE AND FEDERAL REGULATIONS BY THE CONTRACTOR. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR THIS PROJECT.
- CONTRACTOR TO PROVIDE A ONE (1) YEAR GUARANTEE FOR ALL MATERIALS. CONTRACTOR GUARANTEES THAT PLANTS WILL REMAIN HEALTHY FOR ONE (1) GROWING SEASON. CONTRACTOR TO MAINTAIN ALL PLANTING AND LAWNS UNTIL FINAL PROJECT ACCEPTANCE. GUARANTEE PERIOD TO COMMENCE AT FINAL ACCEPTANCE. ANY REPLACEMENT PLANTS SHALL BE OF THE SAME SPECIES AND SPECIES AS SPECIFIED WITH NEW GUARANTEE COMMENCING ON THE DATE OF REPLACEMENT.
- ALL PLANT MATERIAL SHALL CONFORM, IN ALL RESPECTS, TO THE GUIDELINES OF "THE AMERICAN STANDARD FOR NURSERY STOCK," LATEST EDITION, PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION, INC. ALL PLANTS SHALL BE NURSERY GROWN AND SHALL HAVE BEEN GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST TWO (2) YEARS.
- PLANT SUBSTITUTION SELECTION MUST BE APPROVED BY LANDSCAPE ARCHITECT AND OWNER PRIOR TO INSTALLATION.
- ALL PLANTS TO BE PLANTED SO THAT AFTER SETTLEMENT THEY BEAR THE SAME RELATION TO THE SURROUNDING GROUND AS TO THEIR ORIGINAL GRADE BEFORE DIGGING.
- CREATE SAUCER AROUND INDIVIDUAL PLANTS CAPABLE OF HOLDING WATER. ALL PLANTS TO BE FLOODED WITH CLEAN WATER TWICE WITHIN THE FIRST 24 HOURS OF PLANTING. ADDITIONAL WATERING SHALL BE MADE AS REQUIRED TO KEEP PLANTS FROM WILTING AND DRYING OUT UNTIL FINAL ACCEPTANCE.
- ALL PLANTS TO RECEIVE A MINIMUM OF THREE (3) INCHES OF MULCH AND SHALL COVER PLANTING BEDS AS SHOWN ON DRAWINGS.
- TRIM BROKEN AND DEAD BRANCHES FROM TREES AND SHRUBS AFTER PLANTING. NEVER CUT A LEADER.
- CONTRACTOR TO LOAM AND SEED ALL DISTURBED AREAS USING THE ENDOPHYTE ENHANCED GRASS SEED MIX AT A RATE OF 5-7 LBS. PER 1,000 SF (AVAILABLE AT ALLENS SEED IN EXETER, RI) OR AS DIRECTED BY TOWN. ANY SOIL (TURF) UTILIZED SHALL BE DROUGHT TOLERANT ENDOPHYTES OR PREDOMINANTLY FESCUE IN CHARACTER.
- RECOMMENDED DATES FOR PLANTING ARE MARCH 15 TO JUNE 15 AND SEPTEMBER 15 TO NOVEMBER 15.
- ALL LANDSCAPED AREAS SHALL BE KEPT FREE OF WEEDS AND DEBRIS. ALL VEGETATION WITHIN SAID AREAS SHALL BE MAINTAINED FREE OF PHYSICAL DAMAGE CAUSED BY CHEMICALS, INSECTICIDES, DISEASES, LACK OF WATER OR OTHER CAUSES. DAMAGED PLANTS SHALL BE REPLACED WITH THE SAME OR SIMILAR VEGETATION ON AN ANNUAL BASIS.
- LOAM MOVED ON SITE TO BE STOCKPILED AND RETAINED AND TO BE USED AS REQUIRED FOR THE LANDSCAPE DESIGN. LOAM SHALL NOT BE MIXED WITH ANY UNSUITABLE MATERIALS OR SUBSOIL. EXCESS LOAM TO REMAIN ON THE OWNER'S PROPERTY AND ONLY REMOVED WITH THE OWNER'S PERMISSION. NEW LOAM SHALL BE FRIABLE, FERTILE, MEDIUM TEXTURED SANDY LOAM THAT IS FREE OF TOXIC MATERIALS FOR HEALTHY PLANT GROWTH AND SURVIVAL. LOAM SHALL BE FREE OF MATTER 1" OR GREATER IN DIAMETER AND WHEN TESTED SHALL HAVE A PH BETWEEN 5.5 AND 7.5. CONTRACTOR TO PROVIDE 8 INCHES OF GOOD QUALITY, LOAM AND/OR REUSE EXISTING LOAM TO PROVIDE A MINIMUM 6 INCH DEPTH.
- ANY DISTURBED AREA DURING CONSTRUCTION SHALL BE RESTORED TO THEIR ORIGINAL STATE BY THE CONTRACTOR BEFORE COMPLETION OF THE PROJECT.
- THESE PLANS ARE FOR LANDSCAPE PLANTING ONLY.

Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED NOV 17 2020 FILE # 20-0171
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

DiPrete Engineering
90 Broadway Newport, RI 02840
tel (401) 619-5890 fax (401) 464-6006 www.diprete-eng.com

Professional Engineer of Rhode Island
Professional Engineer of DiPrete Engineering
Professional Engineer of DiPrete Engineering

No.	Date	By	Description
1	10-23-2020	SKS	PERMIT APPLICATION
2	10-23-2020	SKS	PERMIT APPLICATION
3	10-23-2020	SKS	PERMIT APPLICATION
4	10-23-2020	SKS	PERMIT APPLICATION
5	10-23-2020	SKS	PERMIT APPLICATION

Landscape Plan
Pearl Car Wash
202 JT Connell Highway
Newport, Rhode Island
Pizza Hut of America
1300 Aquidneck Avenue, Middletown RI 02842
tel (401) 849-5200