

SITE PLAN SET FOR PROPOSED 11 UNIT RESIDENTIAL DEVELOPMENT TOWER HILL LANDINGS ANNEX, LLC

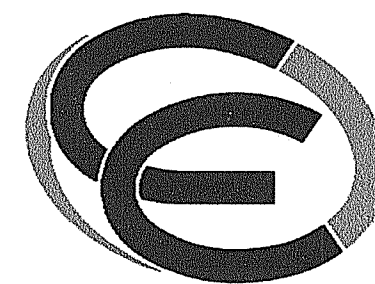
**PLAT MAP 32-4, LOTS 32 and 28
ZONING DISTRICTS: CN and R-10
COMMERCIAL NEIGHBORHOOD and
MEDIUM HIGH DENSITY RESIDENTIAL DISTRICT
and KINGSTOWN ROAD SPECIAL MANAGEMENT DISTRICT**

**2095 KINGSTOWN ROAD (ROUTE 108)
SOUTH KINGSTOWN, R.I.**

OWNER

**TOWER HILL LANDINGS, LLC
543 THAMES STREET
NEWPORT, RHODE ISLAND
02840**

ENGINEERS and LAND SURVEYORS



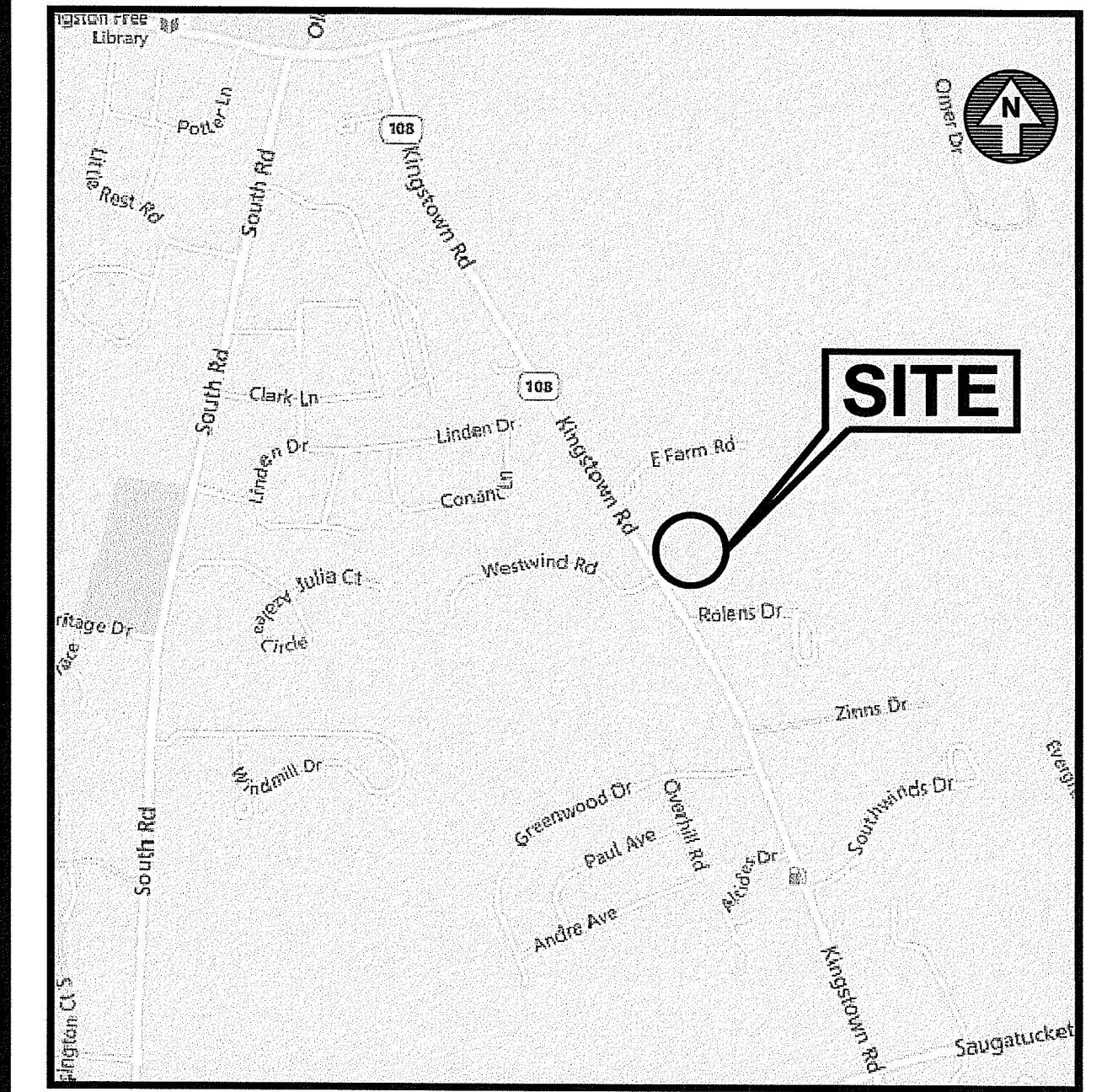
- Civil
- Transportation
- Environmental
- Site Planning
- Surveying
- Permitting
- Landscape Architecture

CROSSMAN ENGINEERING

Rhode Island Massachusetts
151 Centerville Road 103 Commonwealth Avenue
Warwick, RI 02886 North Attleboro, MA 02763
Phone: (401) 738-5660 Phone: (508) 695-1700

Email: cei@crossmaneng.com

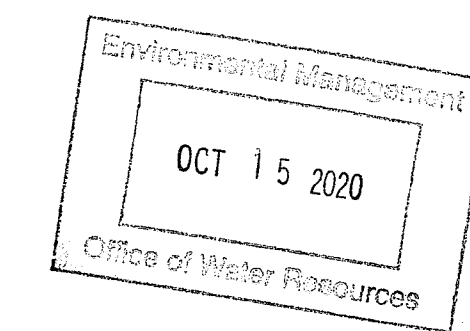
**JULY 2020
SHEET 1 of 18**



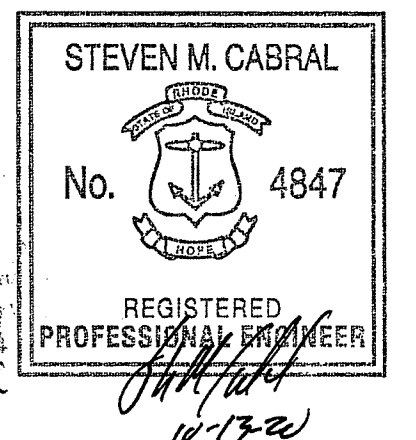
**LOCATION MAP
NOT TO SCALE**

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DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED NOV 4 2020 FILE # 20-0189
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL.
APPROVED PLANS MUST BE AT CONSTRUCTION SITE.

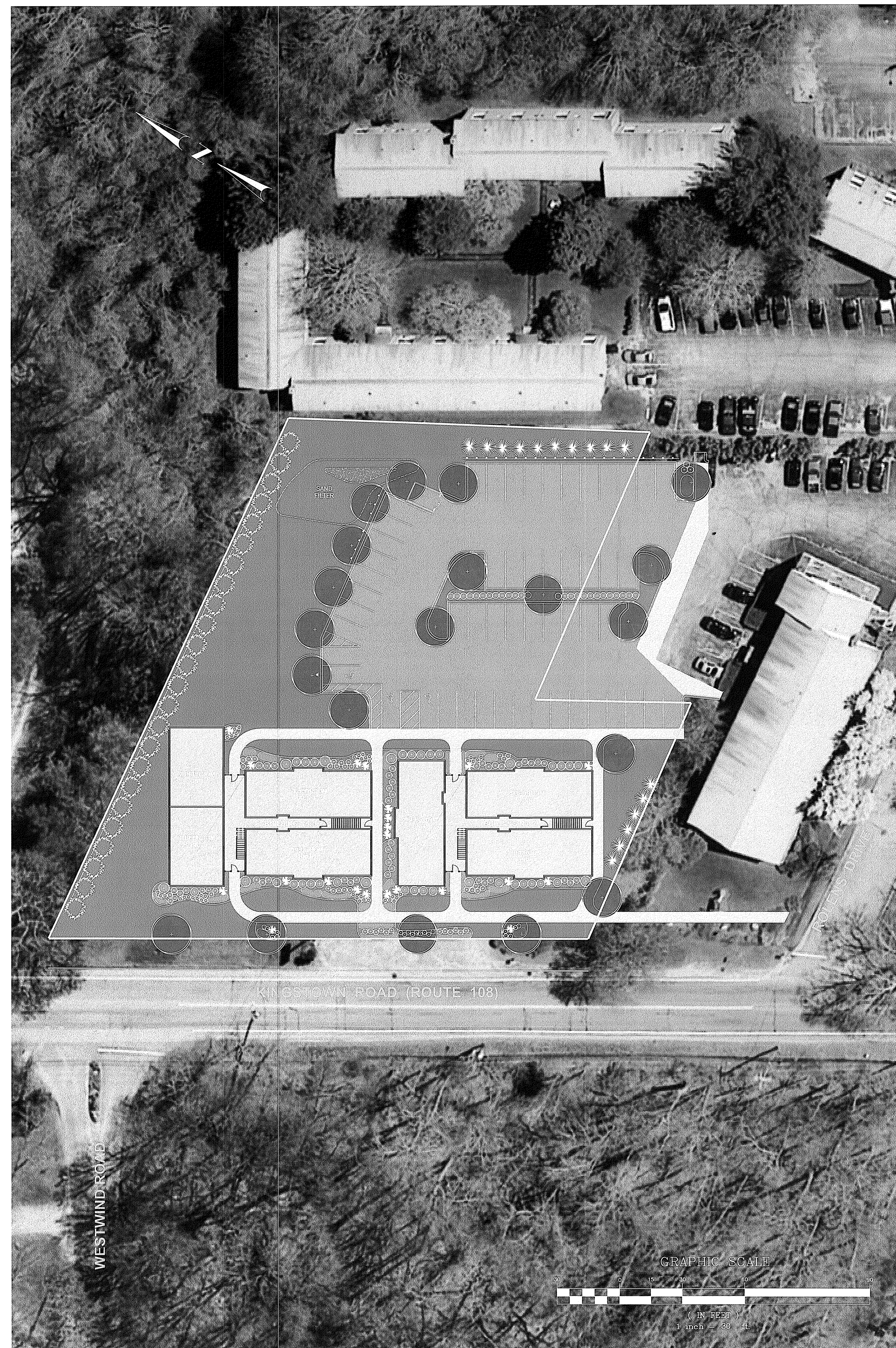


REVISIONS:

No.:	DESCRIPTION:	DATE:
1	GRADING	09/15/20
2	RIDEM COMMENTS	10/14/20



PRE-DEVELOPMENT CONDITIONS



POST-DEVELOPMENT CONDITIONS



- Civil
- Transportation
- Environmental
- Site Planning
- Surveying
- Permitting
- Landscape Architecture

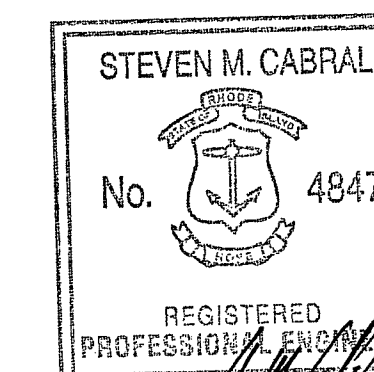
CROSSMAN ENGINEERING

Rhode Island
151 Centerville Road
Warwick, RI 02886
Phone: (401) 738-8660

Massachusetts
103 Commonwealth Avenue
North Attleboro, MA 02763
Phone: (508) 695-1700

Email: cel@crossmaneng.com

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Nancy C. Freeman

PROJECT TITLE:
TOWER HILL LANDINGS ANNEX LLC

PLAT MAP 32-4, LOT 32 and 28
ZONING DISTRICT: CN and R-10
COMMERCIAL NEIGHBORHOOD and
MEDIUM HIGH DENSITY RESIDENTIAL DISTRICT
and KINGSTOWN ROAD
SPECIAL MANAGEMENT DISTRICT
2095 KINGSTOWN ROAD (ROUTE 108)
SOUTH KINGSTOWN, R.I.

PREPARED FOR:
TOWER HILL LANDINGS, LLC
543 THAMES STREET
NEWPORT, RHODE ISLAND
02840

DRAWING TITLE: 2020
AERIAL MAP

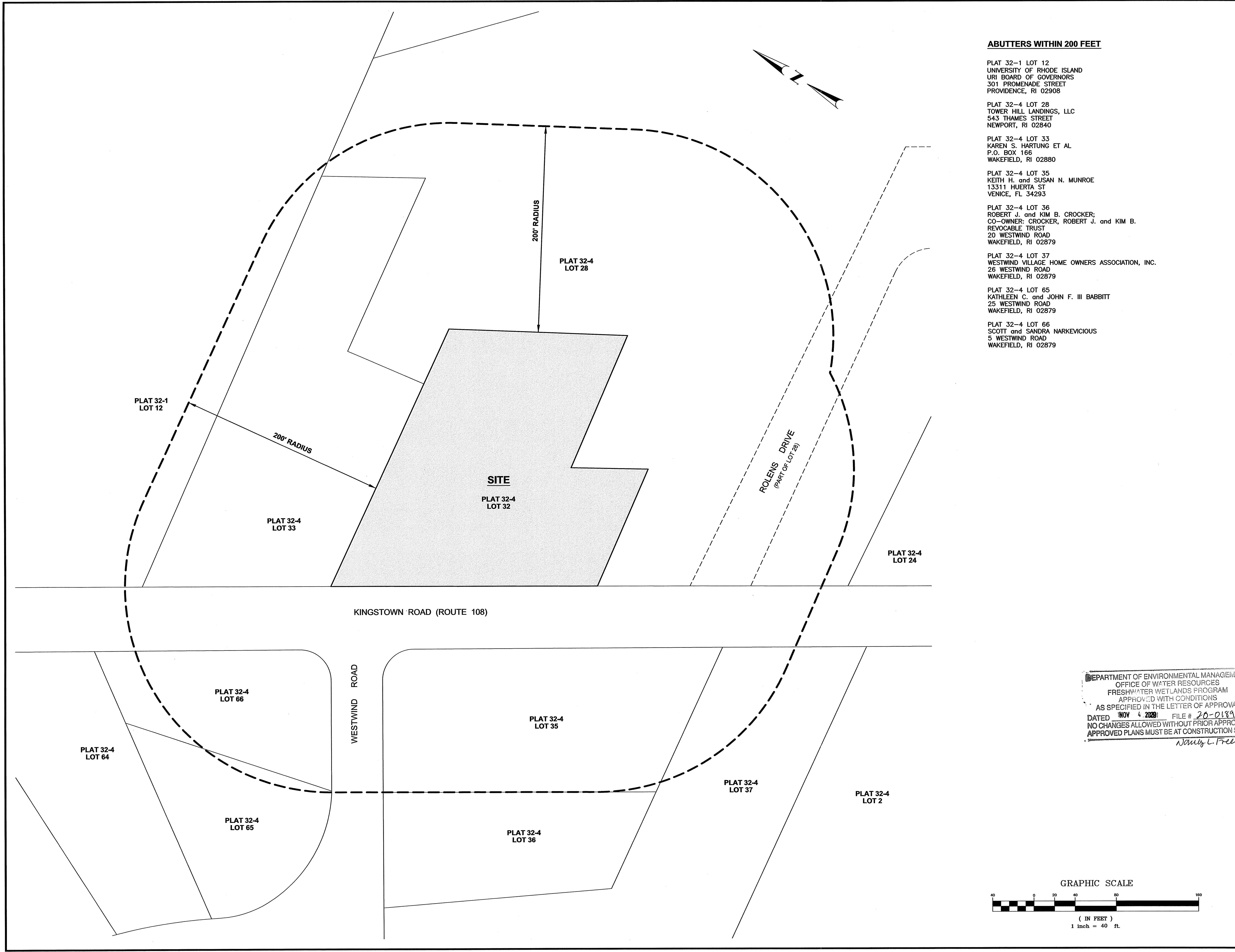
DATE: JULY 2020 SCALE: 1"=20'

DWG. NAME: 2449-C02-AERIAL-R2.dwg

REVISIONS

NUMBER	REMARKS	DATE
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2	RIDEM COMMENTS	10/14/20

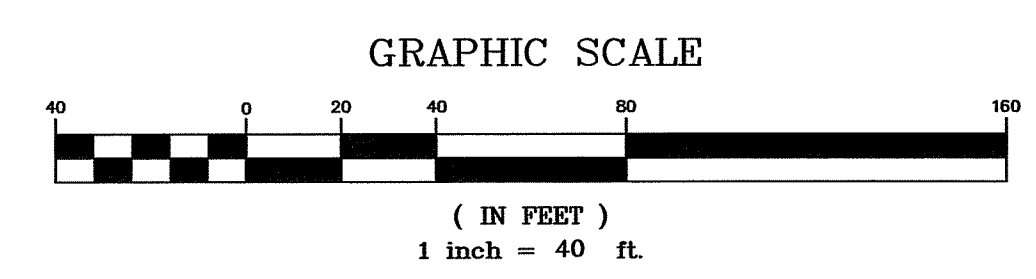
DRAWING NUMBER
C2
SHEET: 3 OF 18



ABUTTERS WITHIN 200 FEET

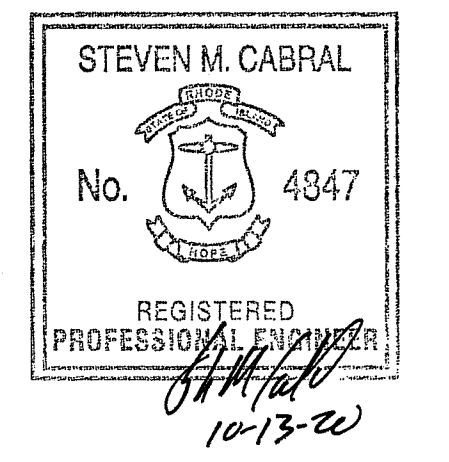
- PLAT 32-1 LOT 12
UNIVERSITY OF RHODE ISLAND
URI BOARD OF GOVERNORS
301 PROMENADE STREET
PROVIDENCE, RI 02908
- PLAT 32-4 LOT 28
TOWER HILL LANDINGS, LLC
543 THAMES STREET
NEWPORT, RI 02840
- PLAT 32-4 LOT 33
KAREN S. HARTUNG ET AL
P.O. BOX 166
WAKEFIELD, RI 02880
- PLAT 32-4 LOT 35
KEITH H. and SUSAN N. MUNROE
13311 HUERTA ST
VENICE, FL 34293
- PLAT 32-4 LOT 36
ROBERT J. and KIM B. CROCKER;
CO-OWNER: CROCKER, ROBERT J. and KIM B.
REVOCABLE TRUST
20 WESTWIND ROAD
WAKEFIELD, RI 02879
- PLAT 32-4 LOT 37
WESTWIND VILLAGE HOME OWNERS ASSOCIATION, INC.
26 WESTWIND ROAD
WAKEFIELD, RI 02879
- PLAT 32-4 LOT 65
KATHLEEN C. and JOHN F. III BABBITT
25 WESTWIND ROAD
WAKEFIELD, RI 02879
- PLAT 32-4 LOT 66
SCOTT and SANDRA NARKEVICIOUS
5 WESTWIND ROAD
WAKEFIELD, RI 02879

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Nancy L. Freeman



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Rhode Island: 151 Centerville Road, Warwick, RI 02886
Massachusetts: 103 Commonwealth Avenue, North Attleboro, MA 02763
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Email: cei@crossmaneng.com

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PREPARED FOR:
TOWER HILL LANDINGS, LLC

543 THAMES STREET
NEWPORT, RHODE ISLAND
02840
OCT 15 2020

DRAWING TITLE:
RADIUS MAP

DATE: JULY 2020 SCALE: 1"=20'

DWG. NAME: 2449-C03-RADIUS-R2.dwg

REVISIONS

NUMBER	REMARKS	DATE
1	GRADING	09/15/20
2	RIDEM COMMENTS	10/14/20

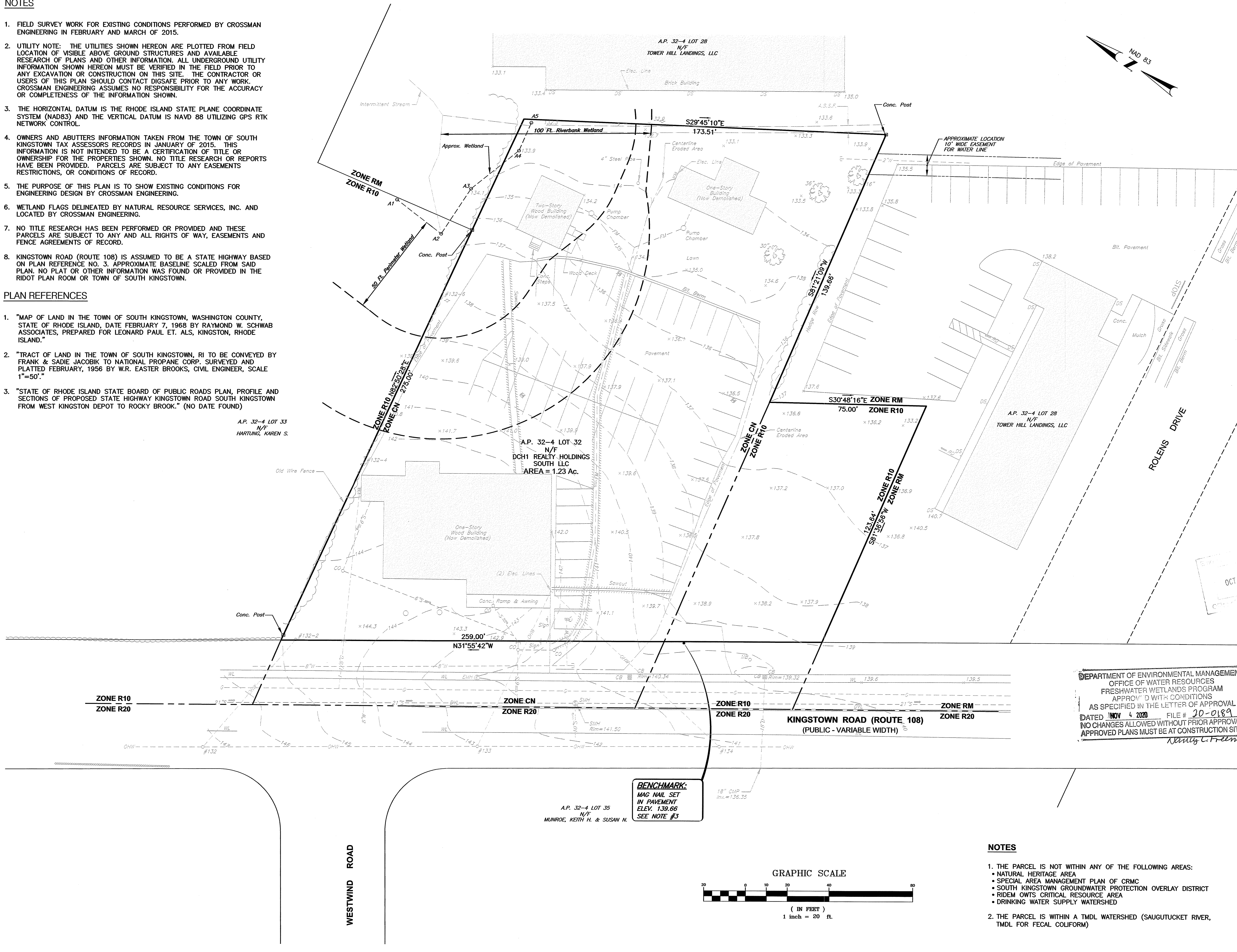
DRAWING NUMBER
C3
SHEET: 4 OF 18

NOTES

1. FIELD SURVEY WORK FOR EXISTING CONDITIONS PERFORMED BY CROSSMAN ENGINEERING IN FEBRUARY AND MARCH OF 2015.
2. UTILITY NOTE: THE UTILITIES SHOWN HEREON ARE PLOTTED FROM FIELD LOCATION OF VISIBLE ABOVE GROUND STRUCTURES AND AVAILABLE RESEARCH OF PLANS AND OTHER INFORMATION. ALL UNDERGROUND UTILITY INFORMATION SHOWN HEREON MUST BE VERIFIED IN THE FIELD PRIOR TO ANY EXCAVATION OR CONSTRUCTION ON THIS SITE. THE CONTRACTOR OR USERS OF THIS PLAN SHOULD CONTACT DIGSAFE PRIOR TO ANY WORK. CROSSMAN ENGINEERING ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN.
3. THE HORIZONTAL DATUM IS THE RHODE ISLAND STATE PLANE COORDINATE SYSTEM (NAD83) AND THE VERTICAL DATUM IS NAVD 88 UTILIZING GPS RTK NETWORK CONTROL.
4. OWNERS AND ABUTTERS INFORMATION TAKEN FROM THE TOWN OF SOUTH KINGSTOWN TAX ASSESSORS RECORDS IN JANUARY OF 2015. THIS INFORMATION IS NOT INTENDED TO BE A CERTIFICATION OF TITLE OR OWNERSHIP FOR THE PROPERTIES SHOWN. NO TITLE RESEARCH OR REPORTS HAVE BEEN PROVIDED. PARCELS ARE SUBJECT TO ANY EASEMENTS RESTRICTIONS, OR CONDITIONS OF RECORD.
5. THE PURPOSE OF THIS PLAN IS TO SHOW EXISTING CONDITIONS FOR ENGINEERING DESIGN BY CROSSMAN ENGINEERING.
6. WETLAND FLAGS DELINEATED BY NATURAL RESOURCE SERVICES, INC. AND LOCATED BY CROSSMAN ENGINEERING.
7. NO TITLE RESEARCH HAS BEEN PERFORMED OR PROVIDED AND THESE PARCELS ARE SUBJECT TO ANY AND ALL RIGHTS OF WAY, EASEMENTS AND FENCE AGREEMENTS OF RECORD.
8. KINGSTOWN ROAD (ROUTE 108) IS ASSUMED TO BE A STATE HIGHWAY BASED ON PLAN REFERENCE NO. 3. APPROXIMATE BASELINE SCALED FROM SAID PLAN. NO PLAT OR OTHER INFORMATION WAS FOUND OR PROVIDED IN THE RIDOT PLAN ROOM OR TOWN OF SOUTH KINGSTOWN.

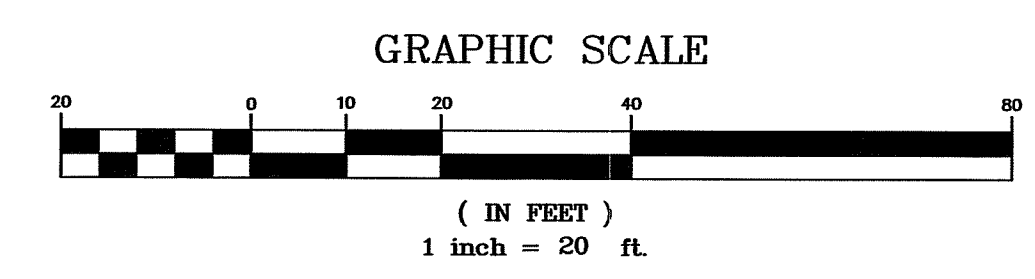
PLAN REFERENCES

1. "MAP OF LAND IN THE TOWN OF SOUTH KINGSTOWN, WASHINGTON COUNTY, STATE OF RHODE ISLAND, DATE FEBRUARY 7, 1968 BY RAYMOND W. SCHWAB ASSOCIATES, PREPARED FOR LEONARD PAUL ET. ALS, KINGSTON, RHODE ISLAND."
2. "TRACT OF LAND IN THE TOWN OF SOUTH KINGSTOWN, RI TO BE CONVEYED BY FRANK & SADIE JACOBIK TO NATIONAL PROPANE CORP. SURVEYED AND PLATTED FEBRUARY, 1956 BY W.R. EASTER BROOKS, CIVIL ENGINEER, SCALE 1"=50'."
3. "STATE OF RHODE ISLAND STATE BOARD OF PUBLIC ROADS PLAN, PROFILE AND SECTIONS OF PROPOSED STATE HIGHWAY KINGSTOWN ROAD SOUTH KINGSTOWN FROM WEST KINGSTON DEPOT TO ROCKY BROOK." (NO DATE FOUND)



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BENCHMARK:
 MAG NAIL SET
 IN PAVEMENT
 ELEV. 139.66
 SEE NOTE #3

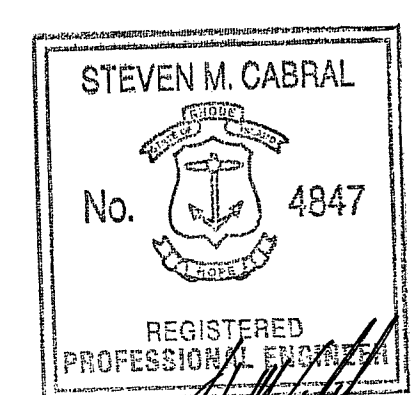


NOTES

1. THE PARCEL IS NOT WITHIN ANY OF THE FOLLOWING AREAS:
 - NATURAL HERITAGE AREA
 - SPECIAL AREA MANAGEMENT PLAN OF CRMC
 - SOUTH KINGSTOWN GROUNDWATER PROTECTION OVERLAY DISTRICT
 - RIDEM OWTS CRITICAL RESOURCE AREA
 - DRINKING WATER SUPPLY WATERSHED
2. THE PARCEL IS WITHIN A TMDL WATERSHED (SAUGUTUCKET RIVER, TMDL FOR FECAL COLIFORM)

Crossman Engineering
 Rhode Island
 151 Centerville Road
 Warwick, RI 02886
 Phone: (401) 738-6660
 Email: ce@crosmaneng.com
 Massachusetts
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KEY PLAN

TOWER HILL LANDINGS ANNEX LLC

PLAT MAP 32-4, LOT 32 and 28
 ZONING DISTRICT: CN and R-10
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 and KINGSTOWN ROAD
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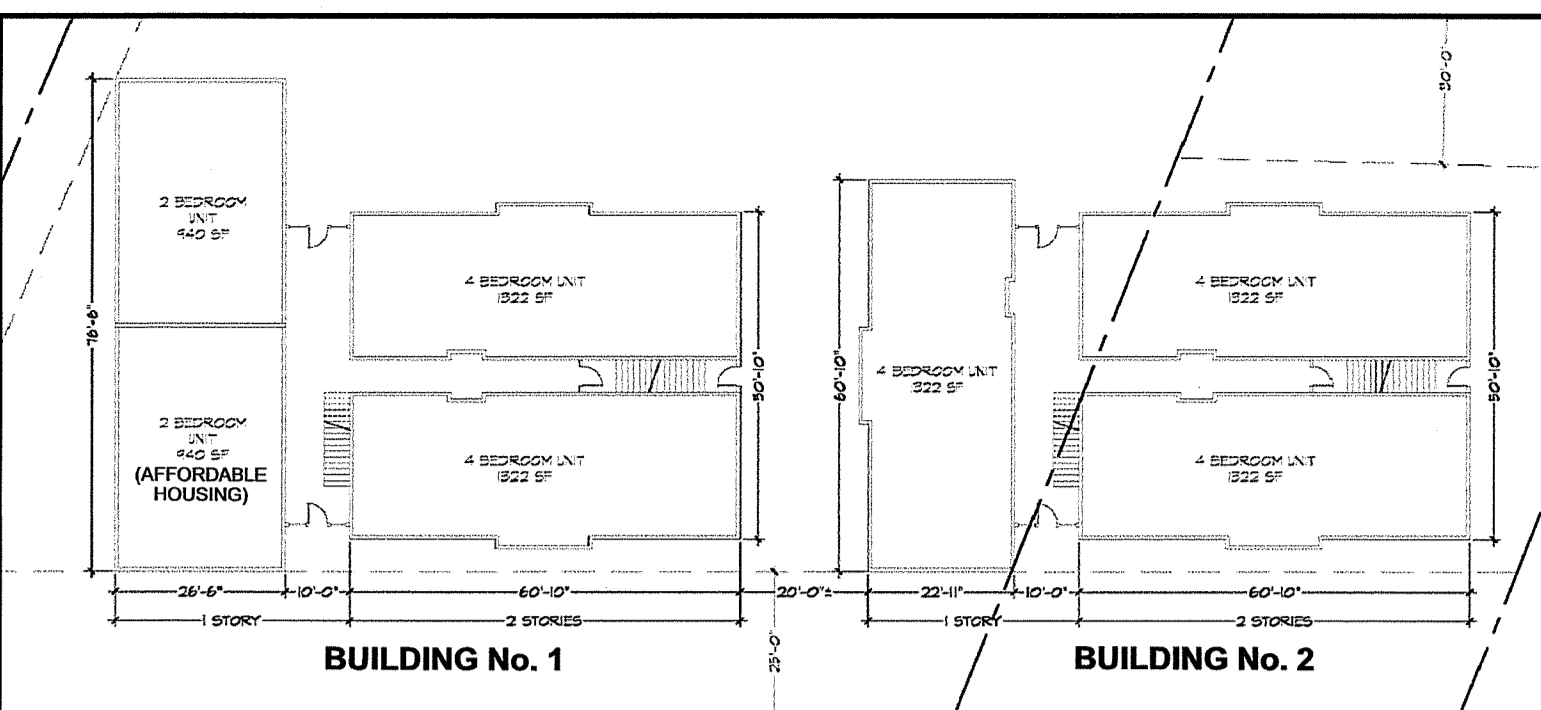
TOWER HILL LANDINGS, LLC
 543 THAMES STREET
 NEWPORT, RHODE ISLAND
 02840

EXISTING CONDITIONS PLAN

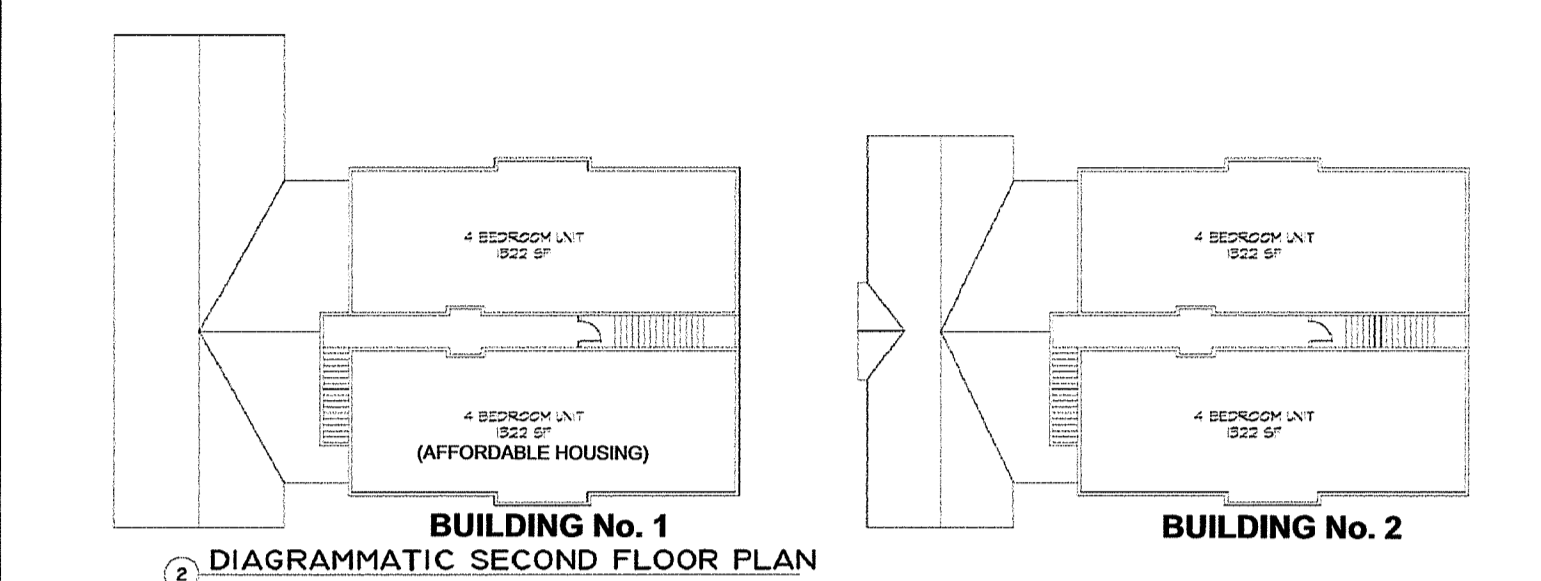
DATE: JULY 2020 SCALE: 1"=20'
 DWG. NAME: 2449-C04-EXCN-R2.dwg

NUMBER	REVISIONS	DATE
1	GRADING	09/15/20
2	RIDEM COMMENTS	10/14/20

DRAWING NUMBER
C4
 SHEET: 5 OF 18



1 DIAGRAMMATIC FIRST FLOOR PLAN



2 DIAGRAMMATIC SECOND FLOOR PLAN

FLOOR PLANS
NOT TO SCALE

BUILDING NOTES:

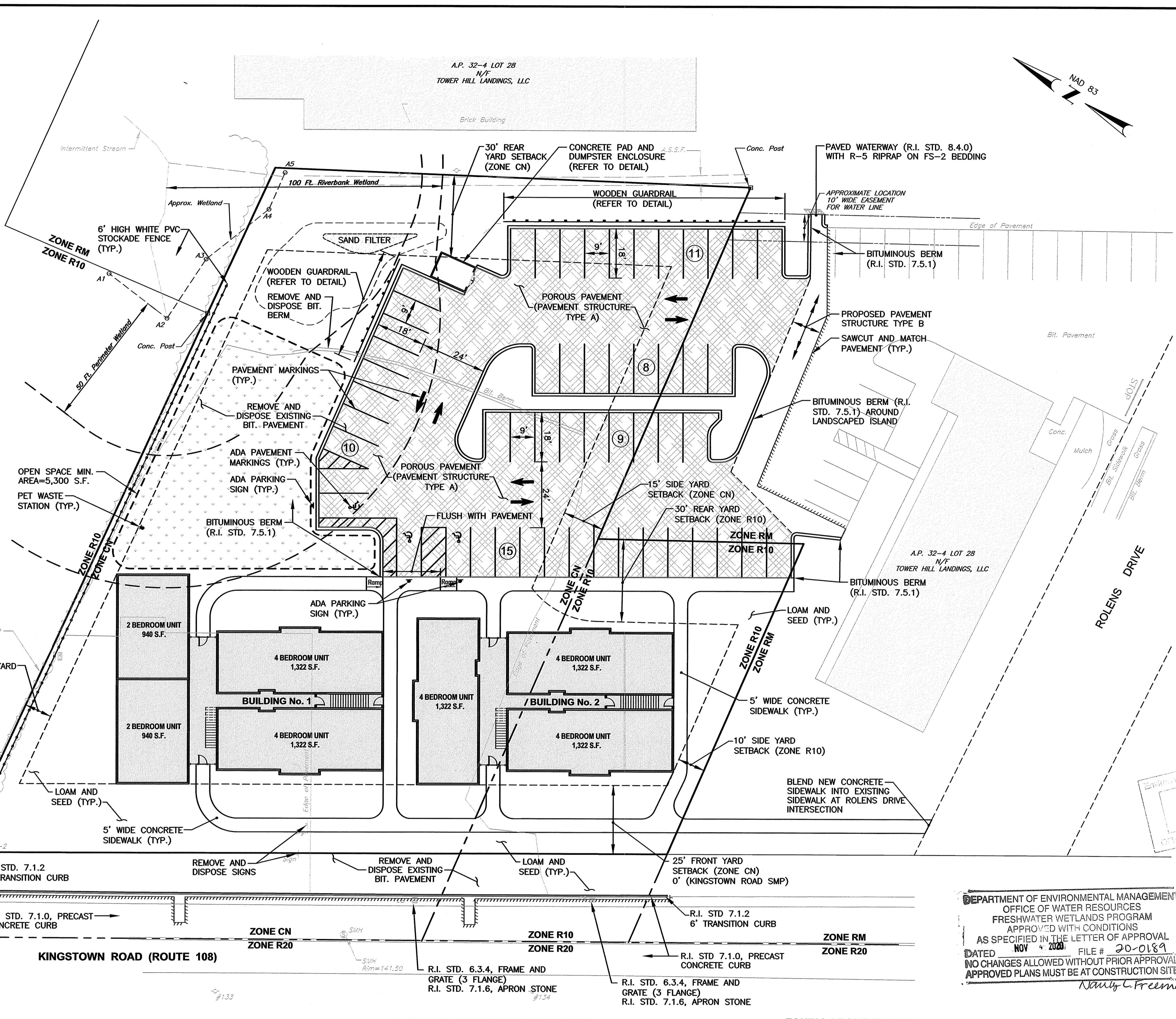
EACH BUILDING HAS 2 STORIES.
NET UNIT AREA (EXCLUDING COMMON HALLS):
BUILDING 1 = 7,168 S.F.
BUILDING 2 = 6,610 S.F.

PARKING REQUIREMENTS

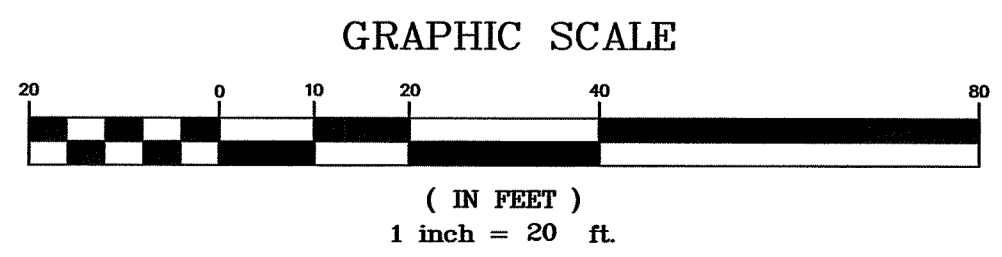
ARTICLE 7, SECTION 7.111: 2 SPACES PER APARTMENT OR MULTI-HOUSEHOLD DWELLINGS
11 PROPOSED UNITS = 22 SPACES REQUIRED
ARTICLE 5, SECTION 504.14.B.4: 1 SPACE PER HOUSEHOLD OCCUPANCY BY 3 UNRELATED INDIVIDUALS
40 OCCUPANTS (MAX.) = 40 SPACES REQUIRED
EXISTING SPACES REMOVED = 11 SPACES
TOTAL SPACES REQUIRED = 40 + 11 = 51 SPACES
TOTAL SPACES PROVIDED = 53 SPACES

SUBDIVISION AND LAND DEVELOPMENT REGULATIONS REQUIRED WAIVERS

- G.3: NO LESS THAN 10' PERIMETER LANDSCAPING SHALL BE PROVIDED WHEN PARKING AREA CONTAINS FIVE (5) OR MORE SPACES. (0' PROVIDED)
- H.7: MULTI-HOUSEHOLD DEVELOPMENT PROJECTS WHEN LOCATED ALONG ANY PUBLIC STREET, SHALL PROVIDE A SETBACK OF 100 FEET ALONG SAID STREET. (25' PROVIDED)
IN ADDITION, A 50' WIDTH LANDSCAPED BUFFER SHALL BE MAINTAINED ALONG THE STREET. (25' PROVIDED)
- H.9: DISTANCE BETWEEN BUILDINGS ON SAME LOT ALONG THE SAME PLANE SHALL BE 25 FEET IF ABUTTING ENDS CONTAIN NO WINDOWS. IF WALLS CONTAIN WINDOWS, THE SEPARATION SHALL BE 50 FEET. (10' PROVIDED)



KINGSTOWN ROAD (ROUTE 108)



ZONING REQUIREMENTS

**ZONING DISTRICT: R10 MEDIUM HIGH DENSITY RESIDENTIAL DISTRICT
CN COMMERCIAL NEIGHBORHOOD
KINGSTOWN ROAD SPECIAL MANAGEMENT DISTRICT**

USE: MULTI-HOUSEHOLD LAND DEVELOPMENT, USE CODE 12.1

LOT REQUIREMENT	REQUIRED-ZONE R10	REQUIRED-ZONE CN	KINGSTOWN RD SMD	PROPOSED
MINIMUM LOT AREA	15,000 S.F. + 5,000 S.F./UNIT MORE THAN 2	15,000 S.F. + 5,000 S.F./UNIT MORE THAN 2	---	52,985 S.F.
LOT WIDTH AT FRONT YARD SETBACK LINE	150'	150'	---	230'
YARD DIMENSIONS				
FRONT YARD SETBACK	25'	25'	0'	25'
REAR YARD SETBACK	30'	30'	---	149'
SIDE YARD SETBACK	10'	10'	---	10'
MAXIMUM LOT BUILDING COVERAGE	30%	30%	---	20%
MAXIMUM BUILDING SIZE	---	---	7,500 GLFA/BUILDING	<7,500 GLFA/BUILDING
BUILDING HEIGHT-PRINCIPLE	35'	35'	---	<35'
BUILDING HEIGHT-ACCESSORY	15'	---	---	---

* SUBJECT TO DEVELOPMENT PLAN REVIEW

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STEVEN M. CABRAL
No. 4847
REGISTERED PROFESSIONAL ENGINEER
12/12/20

TOWER HILL LANDINGS ANNEX LLC

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ZONING DISTRICT: CN and R-10
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543 THAMES STREET
NEWPORT, RHODE ISLAND
02840

SITE LAYOUT PLAN

DATE: JULY 2020 SCALE: 1"=20'

DWG. NAME: 2449-C05-SITE-R2.dwg

REVISIONS

NUMBER	REMARKS	DATE
1	GRADING	09/15/20
2	RIDEM COMMENTS	10/14/20

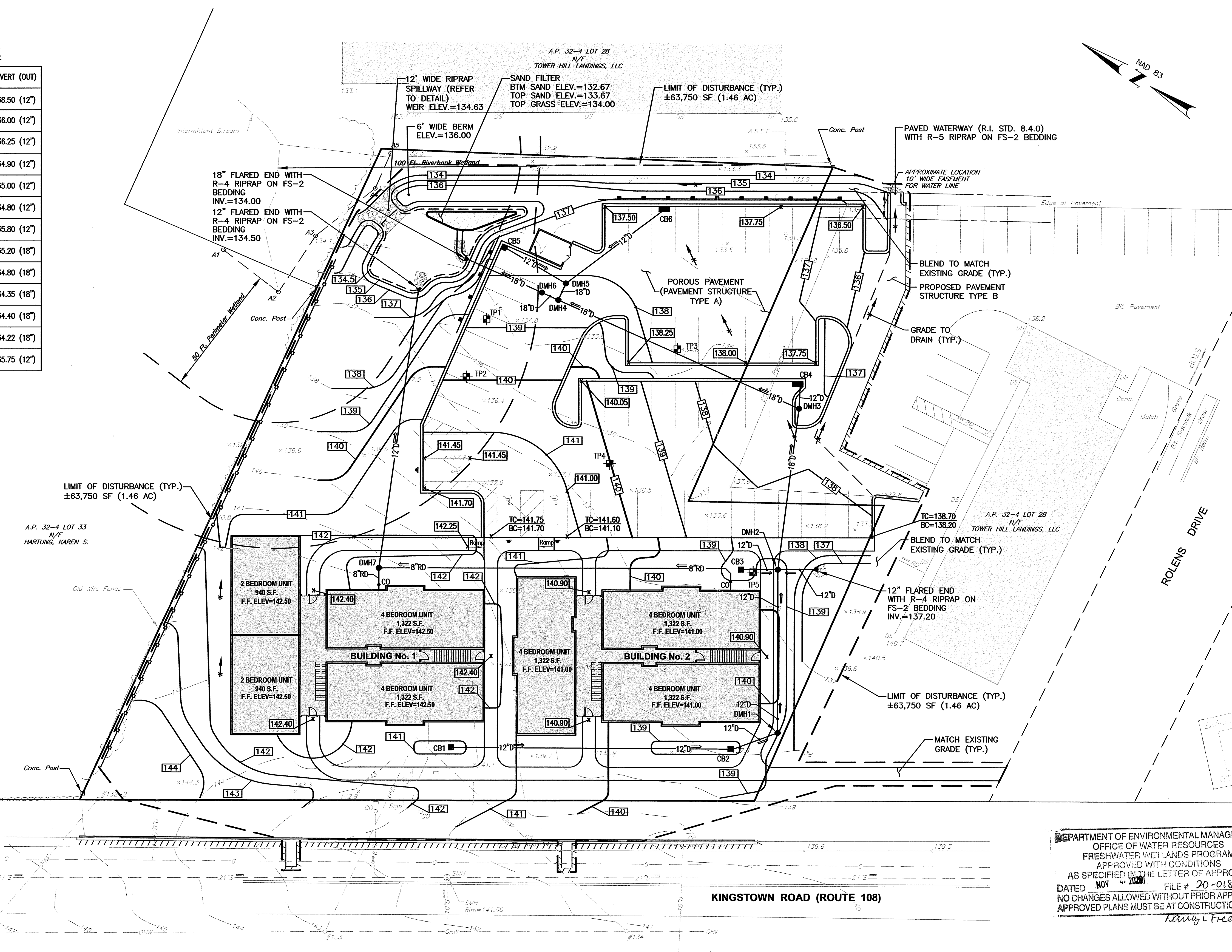
DRAWING NUMBER
C5
SHEET: 6 OF 18

DRAINAGE STRUCTURE TABLE

NUMBER	STRUCTURE	RIM	INVERT (IN)	INVERT (OUT)
CB 1	PRECAST CONCRETE (2' SQ. DROP INLET)	140.50	---	138.50 (12")
CB 2	PRECAST CONCRETE (4' DIA.)	138.50	136.00 (12")	136.00 (12")
CB 3	PRECAST CONCRETE (4' DIA.)	138.25	---	136.25 (12")
CB 4	PRECAST CONCRETE (5' DIA.)	137.40	---	134.90 (12")
CB 5	PRECAST CONCRETE (4' DIA.)	137.50	---	135.00 (12")
CB 6	PRECAST CONCRETE (5' DIA.)	137.30	---	134.80 (12")
DMH 1	PRECAST CONCRETE (4' DIA.)	139.10	135.80 (12")	135.80 (12")
DMH 2	PRECAST CONCRETE (4' DIA.)	139.10	135.20 (12") 135.80 (12") 136.00 (12")	135.20 (18")
DMH 3	PRECAST CONCRETE (4' DIA.)	137.85	134.80 (12") 134.80 (18")	134.80 (18")
DMH 4	PRECAST CONCRETE (4' DIA.)	138.45	134.35 (18") 134.35 (18")	134.35 (18")
DMH 5	PRECAST CONCRETE (4' DIA.)	138.15	134.40 (12") 134.70 (12")	134.40 (18")
DMH 6	STORMCEPTOR MODEL STC-900	138.35	134.30 (18")	134.22 (18")
DMH 7	PRECAST CONCRETE (4' DIA.)	142.00	136.00 (8") 137.00 (8")	135.75 (12")

DRAINAGE STRUCTURE NOTES

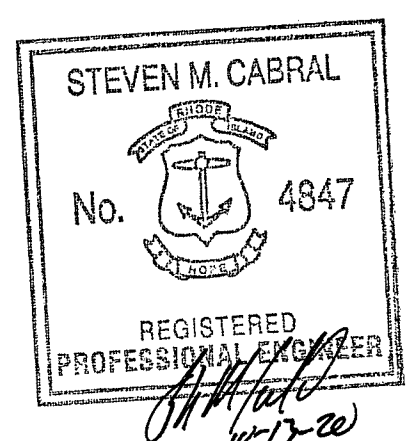
1. CB 4 AND 6 SHALL HAVE DOUBLE FRAME AND GRATE



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Andy Freeman

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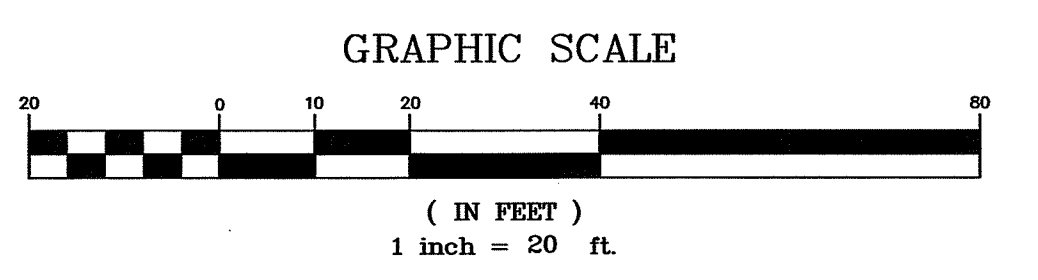
PREPARED FOR:
TOWER HILL LANDINGS, LLC
543 THAMES STREET
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02840

DRAWING TITLE:
GRADING and DRAINAGE PLAN
DATE: JULY 2020 SCALE: 1"=20'
DWG. NAME: 2449-C06-GRADE-R2.dwg

REVISIONS

NUMBER	REMARKS	DATE
1	GRADING	09/15/20
2	RIDEM COMMENTS	10/14/20

DRAWING NUMBER
C6
SHEET: 7 OF 18



UTILITY NOTES

- PRIOR TO ANY UTILITY CONSTRUCTION, THE CONTRACTOR MUST PERFORM ADDITIONAL TESTS TO:
 - CONFIRM THE EXISTING DEPTHS OF UTILITIES AT ALL PROPOSED CONNECTION POINTS AND POTENTIAL CROSSOVER (CONFLICT) POINTS.
 - CONFIRM THE EXTENT OF LEDGE WHICH MAY EXIST IN ALL ANTICIPATED UTILITY TRENCH AREAS. PRIOR TO CONSTRUCTION, THE FINDINGS ARE TO BE REVIEWED BY THE OWNER AND THE ENGINEER. IF NECESSARY, ALTERNATIVES TO MINIMIZE LEDGE REMOVAL AND UTILITY CONFLICTS WILL BE DEVELOPED. NO CONSTRUCTION WILL BE ALLOWED WITHOUT THE OWNERS AUTHORIZATION.
 - THE CONTRACTOR SHALL DIG TEST HOLES TO VERIFY THE ELEVATIONS AND PIPE MATERIAL OF THE EXISTING SANITARY SERVICE LATERAL AT THE PROPOSED TIE-IN LOCATION.
- ANY MODIFICATIONS TO THE PROPOSED UTILITIES TO AVOID CONFLICTS MUST BE APPROVED BY THE ENGINEER PRIOR TO CONSTRUCTION. NO EXTRA PAYMENT TO THE CONTRACTOR DUE TO RELOCATIONS WILL BE AUTHORIZED.
- THE UTILITY PLAN DOES NOT DEPICT THE NECESSARY IRRIGATION PIPING OR ELECTRICAL CONDUIT/WIRING TO SERVICE THE PROPOSED LIGHTING AND SIGNS, WHICH WILL BE PERFORMED BY THE CONTRACTOR FOR NO ADDITIONAL COST.
- THE CONTRACTOR MUST LOCATE THE EXISTING WATER MAIN TO OBTAIN THE PROPER OUTSIDE DIAMETER TO SIZE THE SLEEVE.
- THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL UTILITY PIPE SIZES INCLUDING WATER, SEWER AND GAS ARE VERIFIED BY THE ARCHITECT AND ENGINEER PRIOR TO ORDERING PIPE OR RELATED MATERIAL.
- THE "UTILITY PLAN" DOES NOT REPRESENT THE SITE ELECTRIC/TELEPHONE/ COMMUNICATION SYSTEM DESIGNS.
- CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO ENGINEER FOR APPROVAL PRIOR TO ORDERING ANY MATERIAL.
- ALL WASTEWATER MATERIALS AND INSTALLATION OF THE SAME SHALL BE IN STRICT CONFORMANCE WITH THE TOWN OF SOUTH KINGSTOWN PUBLIC SERVICES DEPARTMENT WASTEWATER SPECIFICATIONS CURRENT AT THE TIME OF CONSTRUCTION/INSTALLATION.
- SHOP DRAWING SUBMITTAL IS REQUIRED FOR ALL PROPOSED WASTEWATER SYSTEM COMPONENTS PRIOR TO RECEIPT OF THE SEWER CONNECTION PERMIT BY TOWN OF SOUTH KINGSTON DEPARTMENT OF PUBLIC SERVICES.
- WATER CONNECTION DETAILS/DESIGN FOR POTABLE AND FIRE SUPPRESSION LINES MUST BE REVIEWED AND APPROVED BY KINGSTON WATER DISTRICT.

UTILITY DEMOLITION NOTE

ALL EXISTING UNDERGROUND UTILITY LINES AND COMPONENTS SHALL BE REMOVED AND PROPERLY DISPOSED PRIOR TO COMMENCEMENT OF NEW/PROPOSED CONSTRUCTION ACTIVITIES. SOME COMPONENTS MAY REQUIRE PUMPING OF SOLIDS/LIQUIDS PRIOR TO REMOVAL.

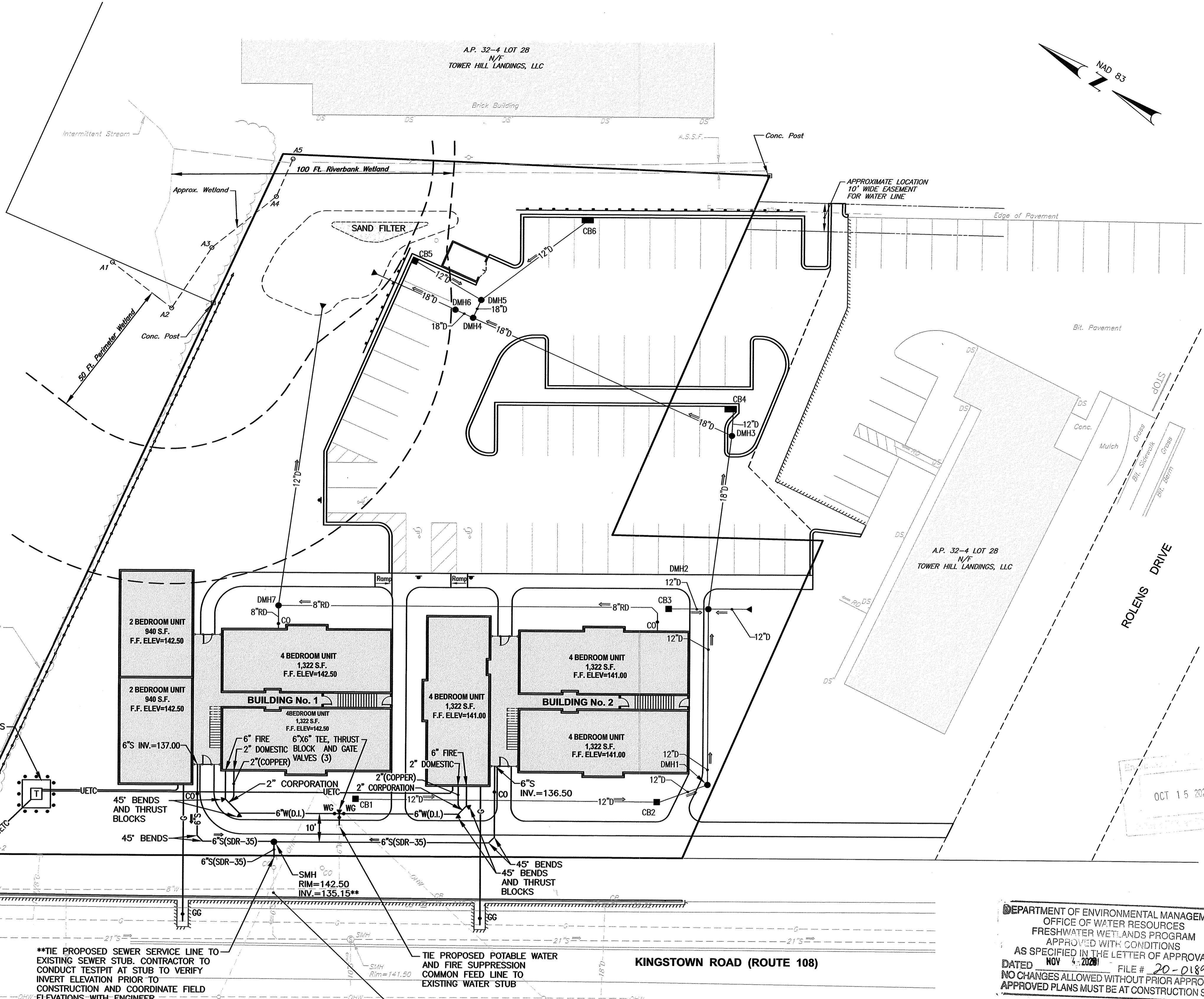
PIPE MATERIAL NOTE:
THE PROPOSED SEWER PIPE SHALL BE SDR-35 AND WATER PIPE SHALL BE DOUBLE CEMENT MORTAR LINED DUCTILE IRON PIPE CL52

CONCRETE PAD AND BOLLARDS FOR ELECTRIC TRANSFORMER (DESIGN BY OTHERS)

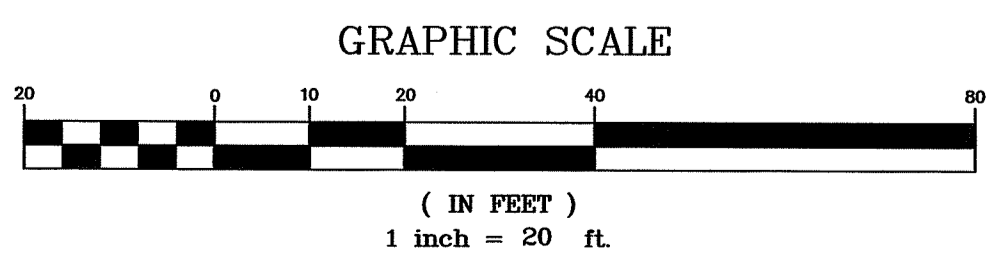
**TIE PROPOSED SEWER SERVICE LINE TO EXISTING SEWER STUB. CONTRACTOR TO CONDUCT TESTPIT AT STUB TO VERIFY INVERT ELEVATION PRIOR TO CONSTRUCTION AND COORDINATE FIELD ELEVATIONS WITH ENGINEER

TIE PROPOSED POTABLE WATER AND FIRE SUPPRESSION COMMON FEED LINE TO EXISTING WATER STUB

PRIOR TO SEWER INSTALLATION, THE EXISTING SEWER SERVICE SHALL BE VIDEOED BY THE OWNER/CONTRACTOR FROM THE EXISTING BUILDING TOWARDS THE TOWN SEWER. THE TOWN SHALL WITNESS THE CAMERA INSPECTION AND IF THE CONDITION IS ACCEPTABLE, THE EXISTING LATERAL MAY BE UTILIZED. IF THE PIPE IS DETERMINED TO BE INADEQUATE, AN ALTERNATE CONNECTION DESIGN SHALL BE SUBMITTED TO THE TOWN OF SOUTH KINGSTOWN DEPARTMENT OF PUBLIC SERVICES FOR REVIEW AND APPROVAL.



DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED NOV 4, 2020 FILE # 20-0189
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

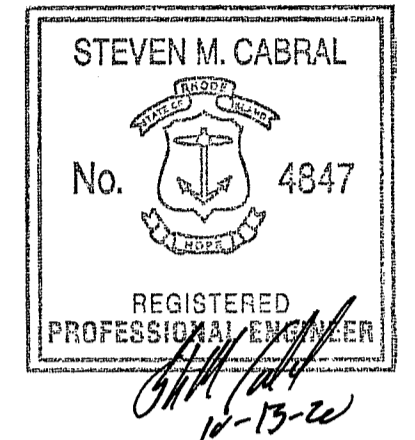


Crossman Engineering
Rhode Island
151 Centerville Road
Warwick, RI 02886
Phone: (401) 738-6660
Email: cel@crossmaneng.com

Massachusetts
103 Commonwealth Avenue
North Attleboro, MA 02763
Phone: (508) 695-1700

• Civil
• Transportation
• Environmental
• Site Planning
• Surveying
• Permitting
• Landscape Architecture

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PROJECT TITLE:
TOWER HILL LANDINGS ANNEX LLC

PLAT MAP 32-4, LOT 32 and 28
ZONING DISTRICT: CN and R-10
COMMERCIAL NEIGHBORHOOD and
MEDIUM HIGH DENSITY RESIDENTIAL DISTRICT
and KINGSTOWN ROAD
SPECIAL MANAGEMENT DISTRICT

2095 KINGSTOWN ROAD (ROUTE 108)
SOUTH KINGSTOWN, R.I.

PREPARED FOR:
TOWER HILL LANDINGS, LLC

543 THAMES STREET
NEWPORT, RHODE ISLAND
02840

DRAWING TITLE:
UTILITY PLAN

DATE: JULY 2020 SCALE: 1"=20'
DWC. NAME: 2449-C07-UTILITY-R2.dwg

REVISIONS	NUMBER	REMARKS	DATE
1		GRADING	09/15/20
2		RIDEM COMMENTS	10/14/20

DRAWING NUMBER
C7
SHEET: 8 OF 18

DUST CONTROL NOTES

ON AN AS-NEEDED BASIS OR AS DIRECTED BY RIDEM OR OWNER, THE CONTRACTOR SHALL UTILIZE ONE OF THE FOLLOWING METHODS TO CONTROL DUST:

- A. THE EXPOSED SOIL SURFACE SHOULD BE MOISTENED PERIODICALLY WITH ADEQUATE WATER TO CONTROL DUST.
- B. CALCIUM CHLORIDE SHOULD BE EITHER LOOSE DRY GRANULES OR FLAKES FINE ENOUGH TO FEED THROUGH A SPREADER AT A RATE THAT WILL KEEP SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE.

THE METHODS SHOULD BE REPEATED AS NEEDED, AND SPECIAL ATTENTION MUST BE GIVEN TO THE ACCESS DRIVES.

INSPECTION/MAINTENANCE NOTES

1. PRIOR TO COMMENCING GRUBBING OPERATIONS AND EARTHWORK, FILTERSOXX SHALL BE PLACED INSIDE SAWCUT EDGE TO PREVENT SEDIMENT FROM ENTERING EXISTING ROADWAY DRAINAGE SYSTEM, WETLAND AREAS AND ADJUTING PROPERTIES.
2. EXTREME CARE SHALL BE EXERCISED SO AS TO PREVENT ANY UNSUITABLE MATERIAL FROM ENTERING THE DRAINAGE SYSTEM.
3. ALL DISTURBED AREAS WHICH BECOME SUBJECT TO EROSION TENDENCIES WHETHER THEY BE NEWLY FILLED OR EXCAVATED SHALL RECEIVE SLOPE PROTECTION - SUCH AS RIP-RAP.
4. DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING DRAINAGE AND RUNOFF FLOW DURING PERIODS OF RAINFALL.
5. DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EROSION CONTROL MAINTENANCE AND SHALL INSPECT / REPLACE DAILY DURING CONSTRUCTION, FOLLOWING RAINFALL AND WEEKLY DURING NON CONSTRUCTION PERIODS.
6. ADDITIONAL FILTERSOXX OR SANDBAGS SHALL BE LOCATED AS CONDITIONS WARRANT OR AS DIRECTED BY THE ENGINEER.
7. THE LATEST VERSION OF THE "RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK" PREPARED BY THE RHODE ISLAND STATE CONSERVATION COMMITTEE (REVISION 2014), MUST BE UTILIZED BY THE CONTRACTOR AS A GUIDE.
8. THE CONTRACTOR IS RESPONSIBLE FOR ALL DUST CONTROL AND FOR THE ENTIRE PROJECT DURATION, INCLUDING TEMPORARY SHUT-DOWN PERIODS, MUST MONITOR AND REPAIR, AS NEEDED, ALL SLOPES TO ENSURE A STABLE PRODUCT.

GENERAL PROJECT WIDE NOTES

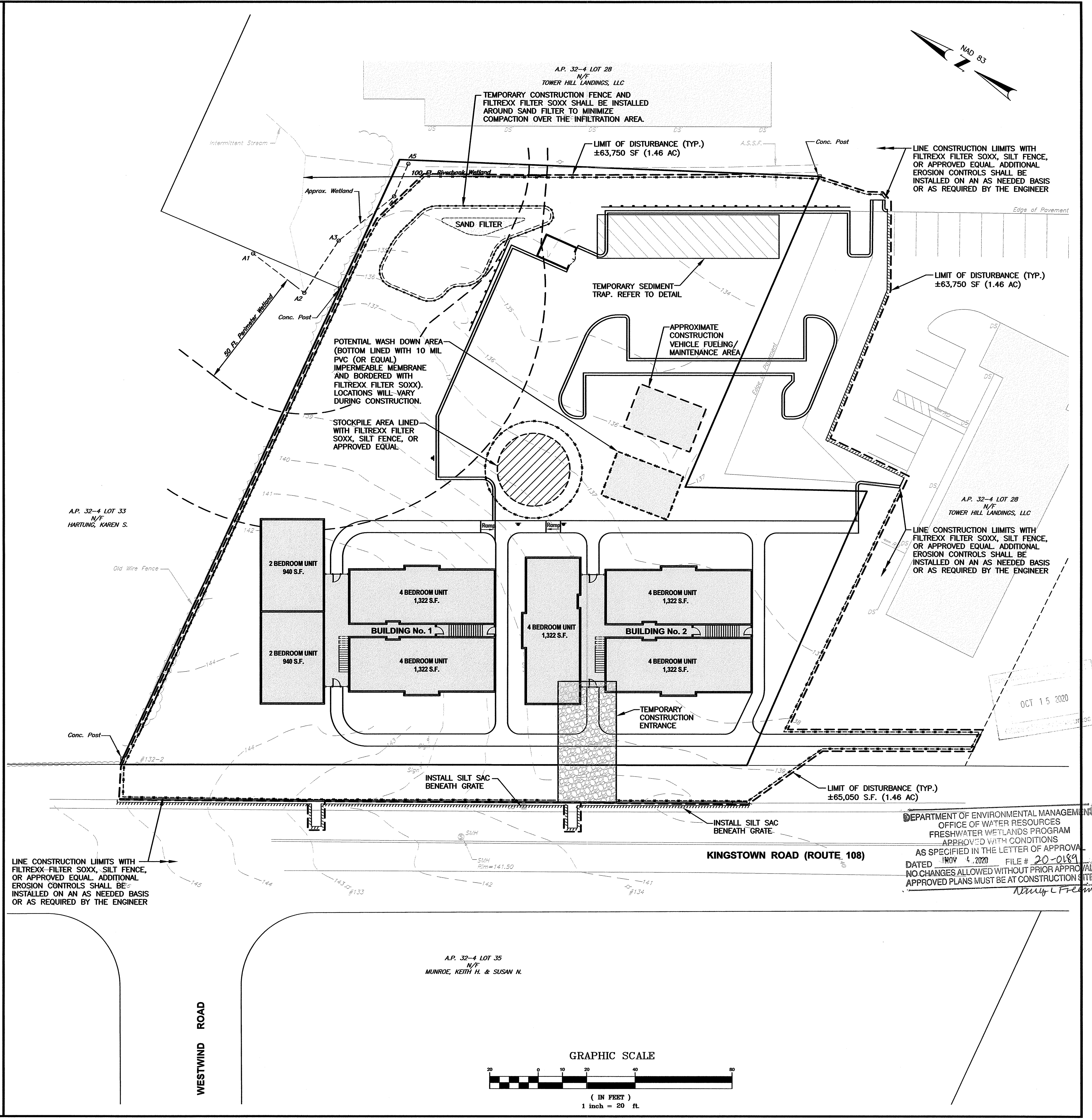
1. CONTRACTOR SHALL INSTALL TEMPORARY MEASURES SUCH AS; FIBER MATTING, CRUSHED STONE, HAY OR STRAW IN AREAS WHERE SLOPES OR STABILIZATION HAS FAILED.
2. IF SEDIMENT IS TRACKED OR ERODED INTO THE ROADWAY, THE CONTRACTOR WILL BE REQUIRED TO INSTALL SILT SACK OR APPROVED EQUAL UNDER THE EXISTING CATCH BASIN GRATES. REMOVE AFTER CONSTRUCTION.
3. FILTER SOXX (OR SILT FENCE OR STAKED HAYBALES) SHALL BE INSTALLED AROUND THE PERIMETER OF THE AREA TO BE DISTURBED BY CONSTRUCTION. ADDITIONAL APPLICATIONS OF THESE CONTROLS MEASURES MAY BE REQUIRED DURING THE CONSTRUCTION PROCESS. THE CONTRACTOR SHALL INSPECT THE SITE AT A MINIMUM OF ONCE PER WEEK OR WITHIN 24 HOURS AFTER A STORM EVENT.
4. IF EROSION OR EROSION TENDENCIES ARE APPARENT ON THE SITE, THE CONTRACTOR IS RESPONSIBLE TO INSTALL ADDITIONAL CONSTRUCTION BMP'S SUCH AS SAND BAGS AS DIRECTED BY THE TOWN OR ENGINEER DURING CONSTRUCTION.
5. IF SEDIMENT OR DEBRIS IS TRACKED ONTO EXISTING PAVED AREAS ADJACENT TO THE CONSTRUCTION AREA THE CONTRACTOR IS REQUIRED TO SWEEP THE PAVEMENT ON A DAILY BASIS. THE AREA SHALL BE INSPECTED DAILY.
6. THE CONTRACTOR IS RESPONSIBLE TO KEEP THE SITE CLEAN OF TRASH. RECOMMENDED DAILY PATROL OF THE CONSTRUCTION SHOULD BE CONDUCTED TO PICK-UP TRASH. THE OPERATOR SHALL REQUIRE THE CONTRACTOR TO HAVE PORTABLE SANITARY FACILITIES ON SITE. ROUTING CLEANING AND WASTE DISPOSAL OF THESE PORTABLE SANITARY FACILITIES IS REQUIRED.

FILTREXX SOXX NOTE

CONTRACTOR IS RESPONSIBLE TO BECOME FAMILIAR WITH THE FILTREXX PRODUCTS AND COORDINATE INSTALLATION SCHEDULES AND METHODS WITH THE ENGINEER PRIOR TO PLACEMENT.

EROSION CONTROL AND SOIL STABILIZATION PROGRAM

1. EXTREME CARE SHALL BE EXERCISED SO AS TO PREVENT ANY UNSUITABLE MATERIAL FROM ENTERING THE DRAINAGE SYSTEM, WETLAND AREAS, ADJACENT PROPERTY, WETLANDS AND ROADWAYS.
2. TEMPORARY TREATMENTS SHALL CONSIST OF A HAY, STRAW, OR FIBER MULCH PROTECTIVE COVERS, SUCH AS A MAT OR FIBER LINING (BURLAP, JUTE, FIBERGLASS NETTING, EXCELSIOR BLANKETS). THEY SHALL BE INCORPORATED INTO THE WORK AS WARRANTED OR AS ORDERED BY THE OWNER.
3. HAY OR STRAW APPLICATIONS SHALL BE IN THE AMOUNT OF 3,000-4,000 LBS/ACRE.
4. STOCKPILES SHALL HAVE NO SLOPE STEEPER THAN 2:1 AND SHALL BE SURROUNDED BY STAKED HAY BALES OR SILT FENCING.
5. STOCKPILES EXPOSED FOR EXCESSIVE PERIODS SHALL RECEIVE TEMPORARY TREATMENT CONSISTING OF HAY, STRAW OR FIBER MATTING.
6. DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EROSION CONTROL MAINTENANCE AND SHALL INSPECT/REPLACE AS NEEDED.
7. ADDITIONAL HAY BALES OR SANDBAGS SHALL BE LOCATED AS CONDITIONS WARRANT OR AS DIRECTED BY THE ENGINEER, OWNER, MUNICIPAL REPRESENTATIVES OR LOCAL D.O.T.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING DUST CONTROL AT NO ADDITIONAL COST TO THE OWNER.
9. ALL CATCH BASINS ADJACENT TO THE CONSTRUCTION AREA SHALL BE PROTECTED BY SILT SACKS.
10. ALL PROPOSED CATCH BASINS SHALL BE PROTECTED BY STAKED HAY BALES, SILT FENCING OR SILT SACKS.
11. THE FILTREXX FILTER SOXX MAY BE INSTALLED ON THE EXISTING PAVEMENT /IMPERVIOUS AREAS WITH OUT STAKES. CONTRACTOR SHALL INSPECT DAILY, IF SOIL EROSION OR SEDIMENT IS OBSERVED IN THESE AREAS, THE CONTRACTOR SHALL RELOCATE OR INSTALL ADDITIONAL FILTREXX FILTER SOXX IN LOCATIONS THAT CAN BE STAKED. THIS WORK IS INCLUDED IN THE PROJECT SCOPE.
12. SILT FENCE OR STAKED HAYBALES MAY BE USED IN LIEU OF FILTREXX FILTER SOXX.
13. AN ALTERNATE COMPOST SOCK OR STRAW WATTLE PRODUCT MAY BE USED IN LIEU OF FILTREXX FILTER SOCK UPON APPROVAL OF THE ENGINEER.
14. RUNOFF SHALL NOT BE DIRECTED TO THE STORMWATER MANAGEMENT SYSTEM UNTIL THE SITE IS STABLE.



Crossman Engineering
 Rhode Island: 151 Centerville Road, Warwick, RI 02886
 Massachusetts: 103 Commonwealth Avenue, North Attleboro, MA 02763
 Phone: (401) 738-5660, (508) 695-1700
 Email: cel@crossmaneng.com

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STEVEN M. CABRAL
 No. 4847
 REGISTERED PROFESSIONAL ENGINEER
 10-13-20

PROJECT TITLE:
TOWER HILL LANDINGS ANNEX LLC
 PLAT MAP 32-4, LOT 32 and 28
 ZONING DISTRICT: CN and R-10
 COMMERCIAL NEIGHBORHOOD and MEDIUM HIGH DENSITY RESIDENTIAL DISTRICT and KINGSTOWN ROAD SPECIAL MANAGEMENT DISTRICT
 2095 KINGSTOWN ROAD (ROUTE 108) SOUTH KINGSTOWN, R.I.

PREPARED FOR:
TOWER HILL LANDINGS, LLC
 543 THAMES STREET
 NEWPORT, RHODE ISLAND 02840

DRAWING TITLE:
SOIL EROSION and SEDIMENT CONTROL PLAN

DATE: JULY 2020 SCALE: 1"=20'

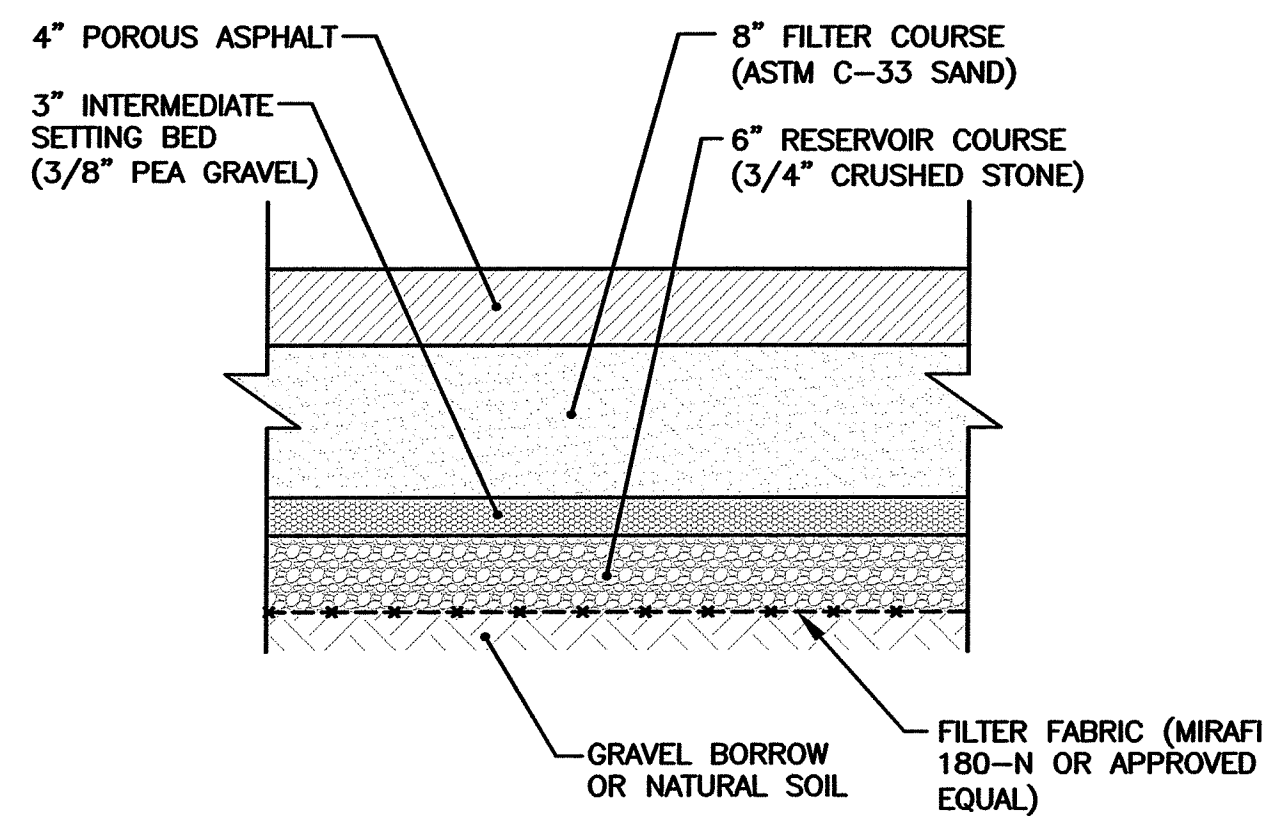
DWG. NAME: 2449-C08-SOIL-R2.dwg

REVISIONS

NUMBER	REMARKS	DATE
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2	RIDEM COMMENTS	10/14/20

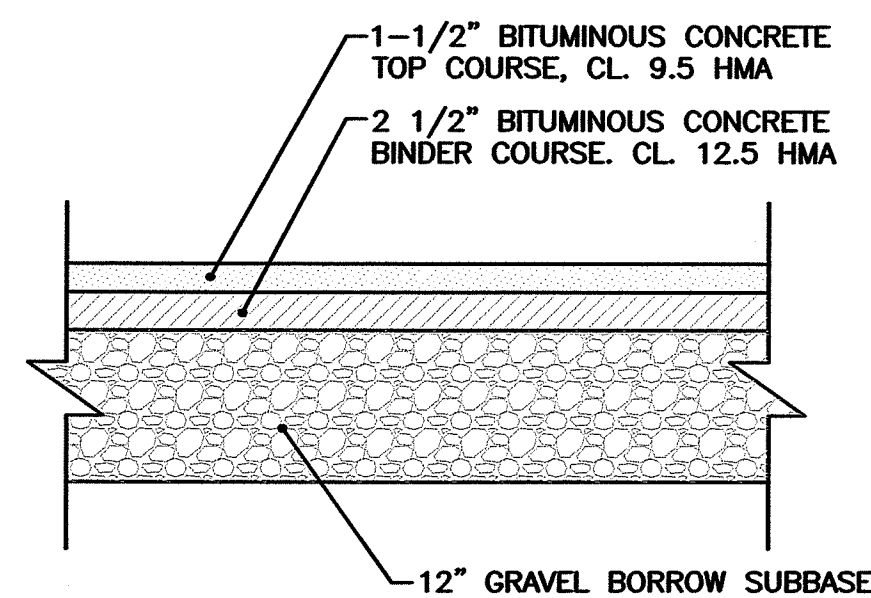
DRAWING NUMBER
C8
 SHEET: 9 OF 18

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED NOV 4, 2020 FILE # 20-0189
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
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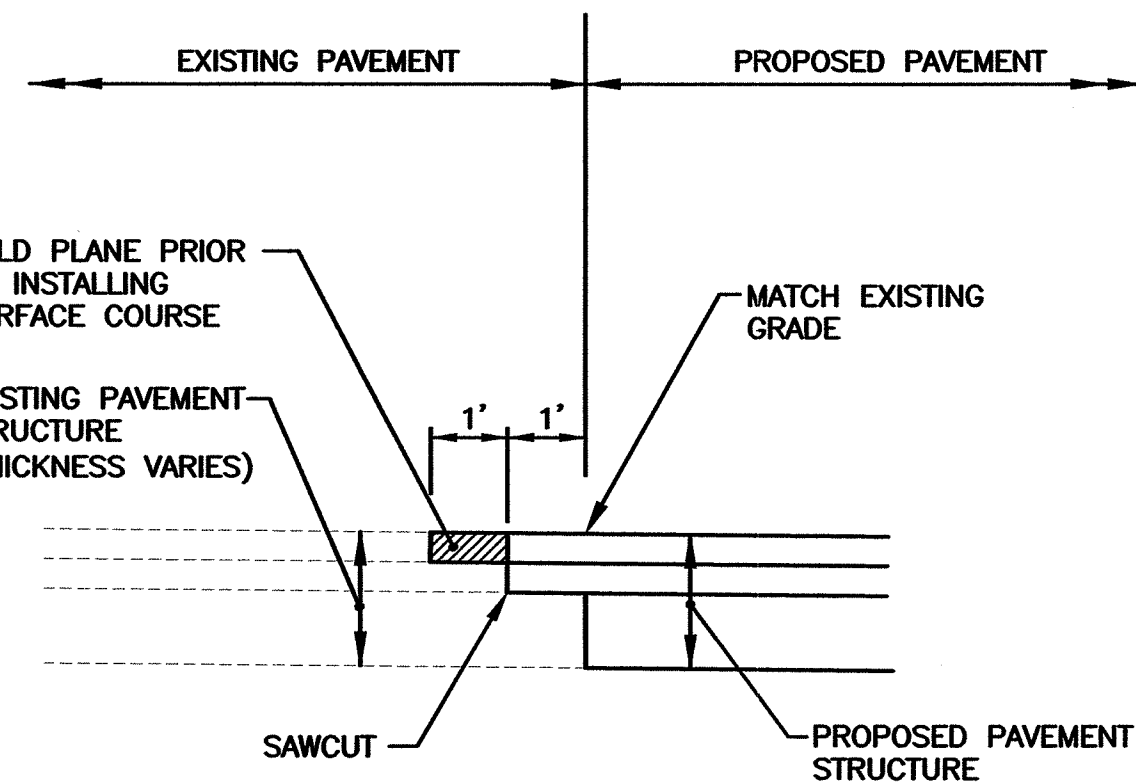
NOTE
 POROUS PAVEMENT SHALL HAVE AT LEAST 15% OPEN SURFACE AREA. PAVEMENT MIX SHALL BE SUBMITTED TO ENGINEER PRIOR TO PAVING.

TYPICAL POROUS PAVEMENT STRUCTURE (TYPE A) DETAIL
 NOT TO SCALE



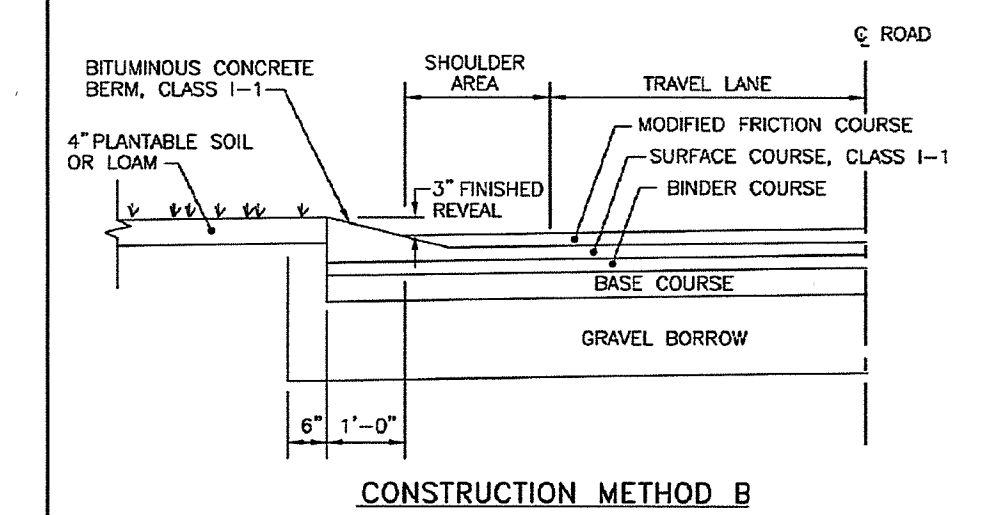
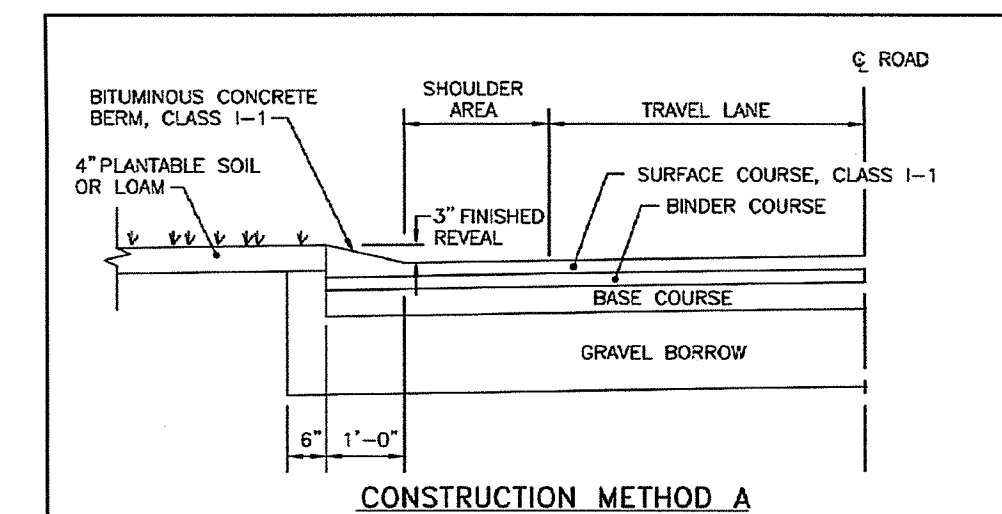
NOTES
 1. THE ABOVE PAVEMENT THICKNESS REPRESENTS THE MINIMUM THICKNESS FOR PASSENGER VEHICLE AREAS.
 2. PROPOSED BITUMINOUS PAVEMENT SHALL BE CLASS 12.5 OR CLASS 9.5 HMA

TYPICAL PAVEMENT STRUCTURE (TYPE B) DETAIL
 NOT TO SCALE



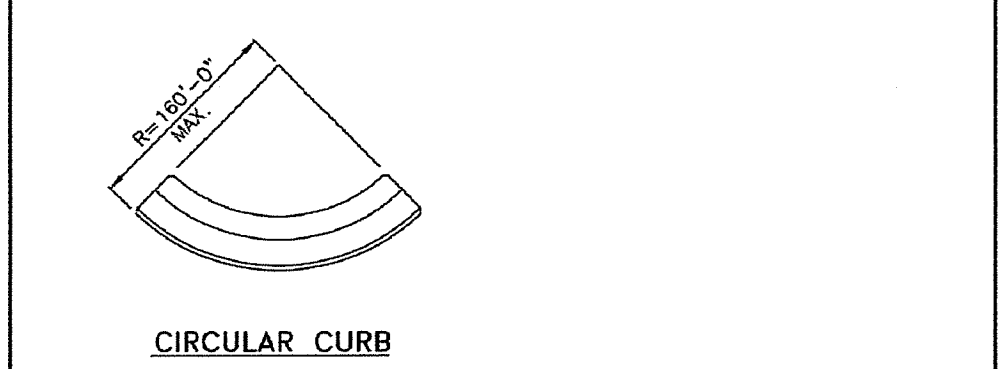
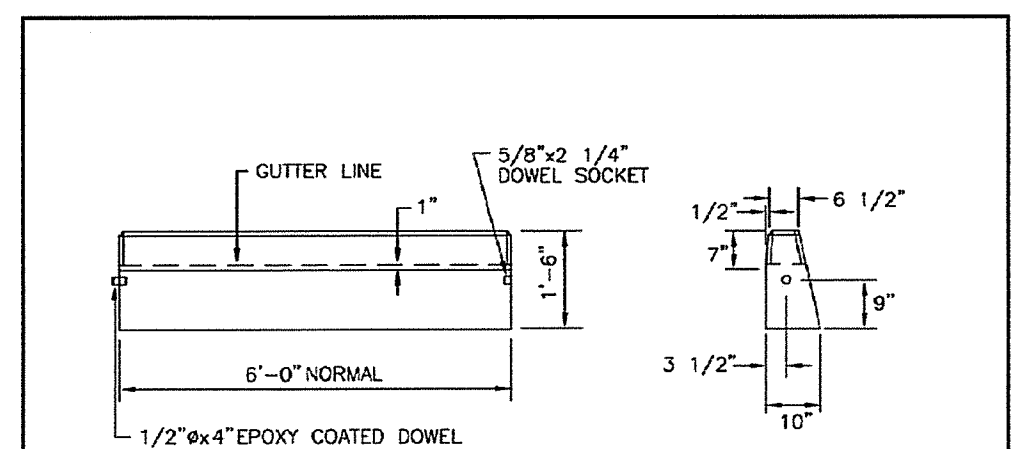
NOTE
 PROPOSED BITUMINOUS PAVEMENT SHALL BE CLASS 12.5 OR CLASS 9.5 HMA

PROPOSED PAVEMENT MATCH AT EXISTING PAVEMENT
 NOT TO SCALE



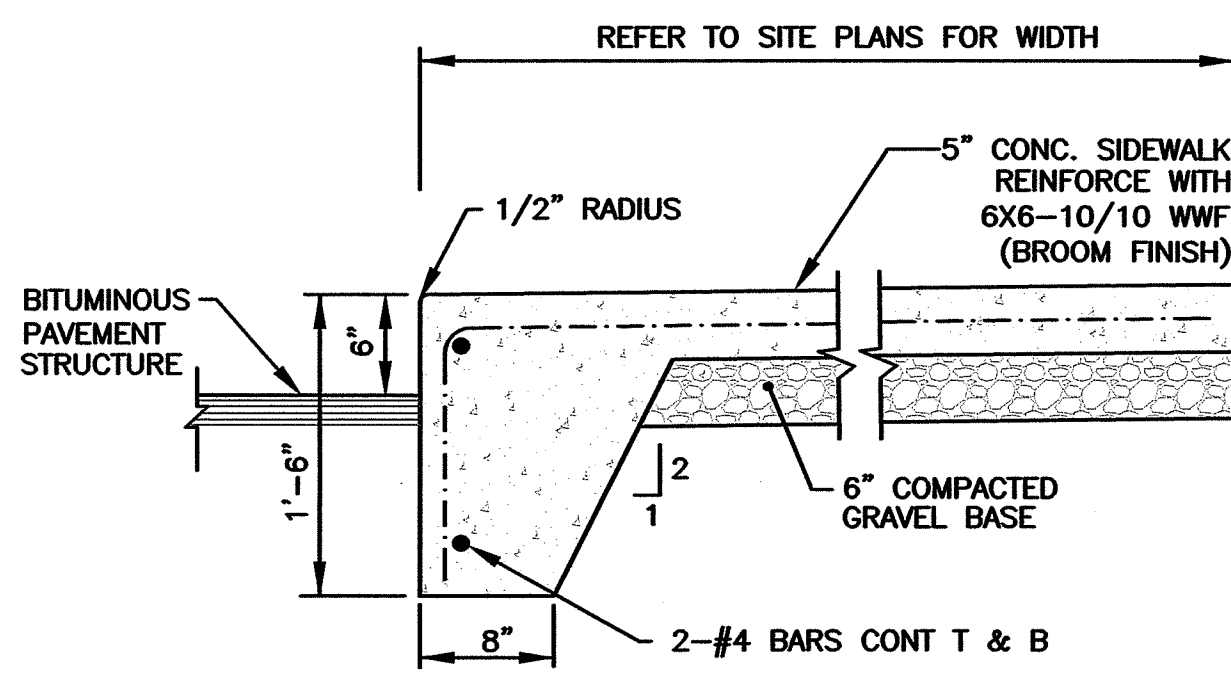
NOTES:
 1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF THE R.I. STANDARD SPECIFICATIONS.
 2. BITUMINOUS BERM CAN BE PLACED AT THE SAME TIME THAT THE SURFACE COURSE LAYER IS PLACED ON THE PROJECT ROADWAY, OR IT CAN BE INSTALLED IN A SEPARATE OPERATION.

REVISIONS		BITUMINOUS BERM		R.I. STANDARD 7.5.1
NO.	BY	DATE	REV. DES.	
1	MLP	NOV 05		

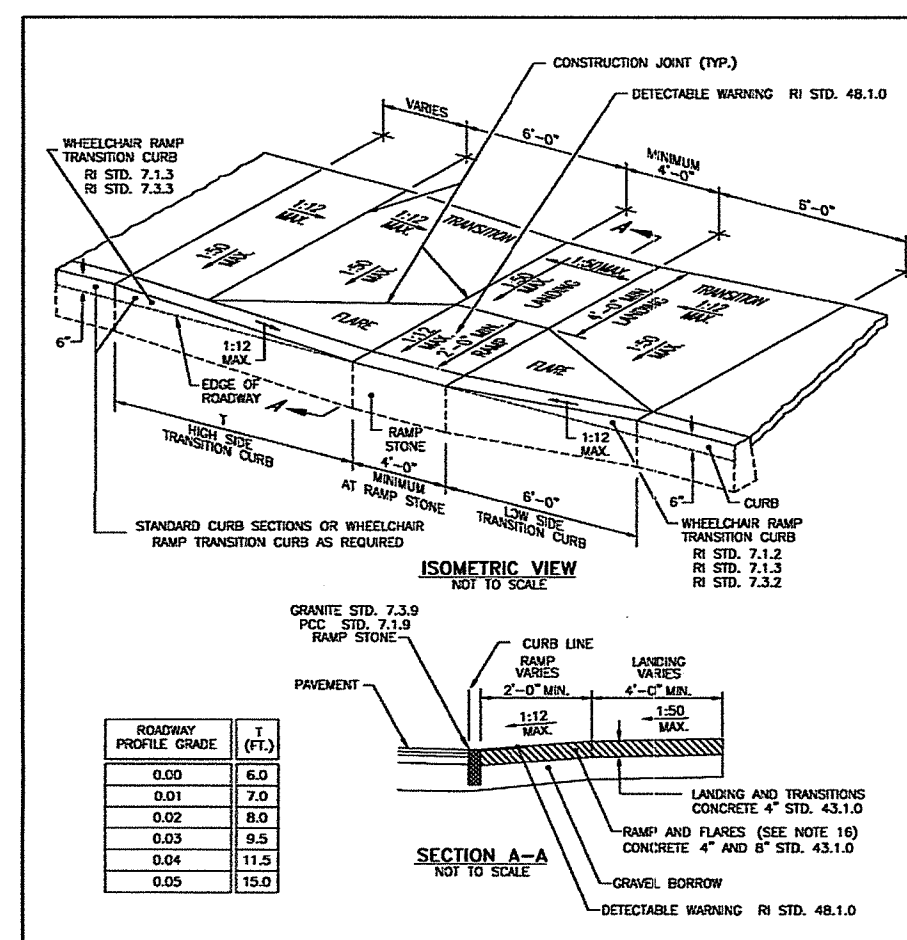


NOTES:
 1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF THE R.I. STANDARD SPECIFICATIONS.
 2. MINIMUM LENGTH OF STRAIGHT OR CIRCULAR FILLER PIECES TO BE 3'-0".
 3. EXPOSED SURFACES TO HAVE A SPONGE FLOAT FINISH.
 4. CIRCULAR CURB IS REQUIRED ON CURVES WITH RADI OF 180'-0" OR LESS. STRAIGHT CURB TO BE USED ON CURVES OF MORE THAN 180'-0" RADIUS.
 5. EXPOSED EDGES TO HAVE A 3/4" CHAMFER.

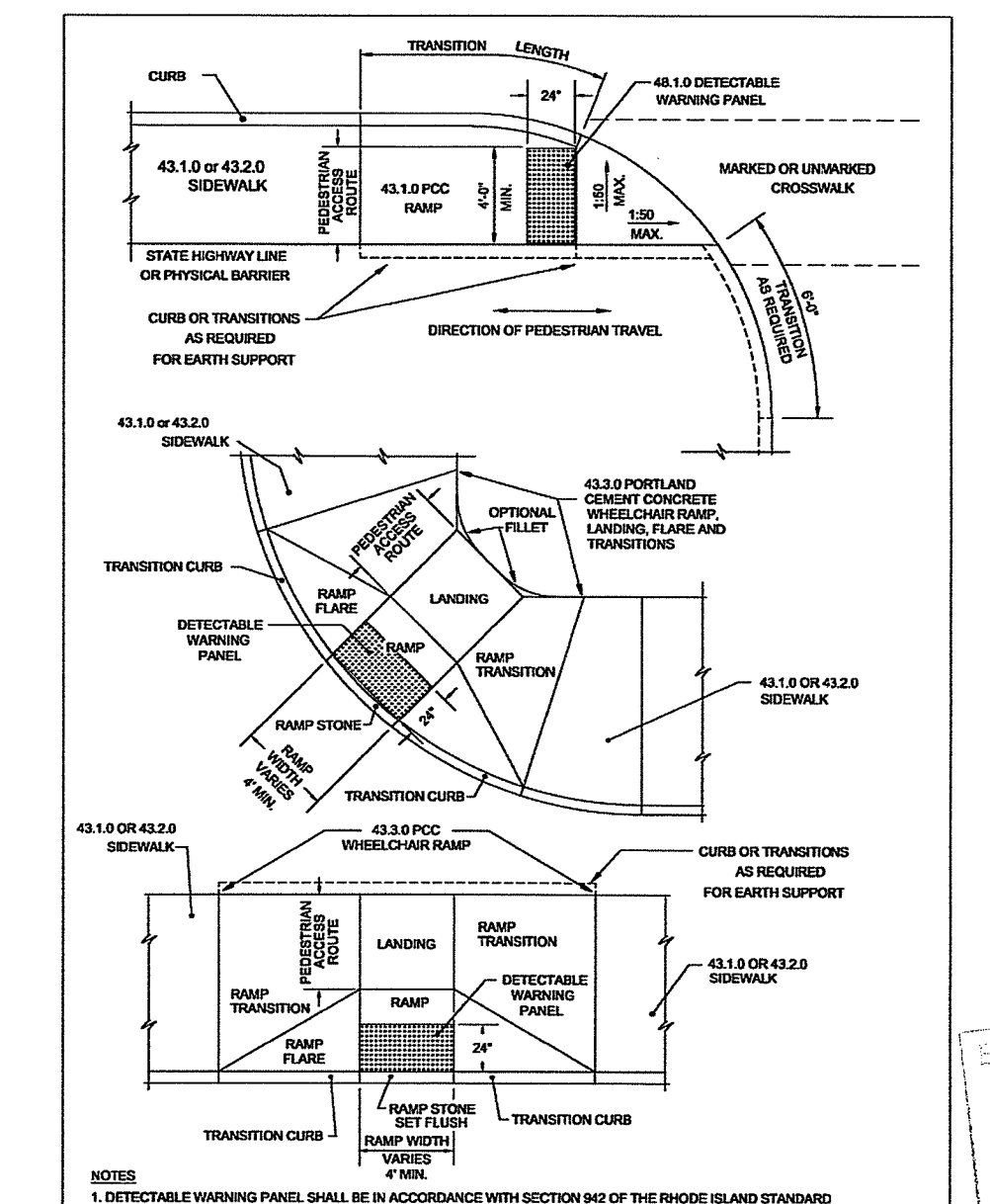
REVISIONS		PRECAST CONCRETE CURB		R.I. STANDARD 7.1.0
NO.	BY	DATE	REV. DES.	
1	MLP	JUNE 15, 1998		



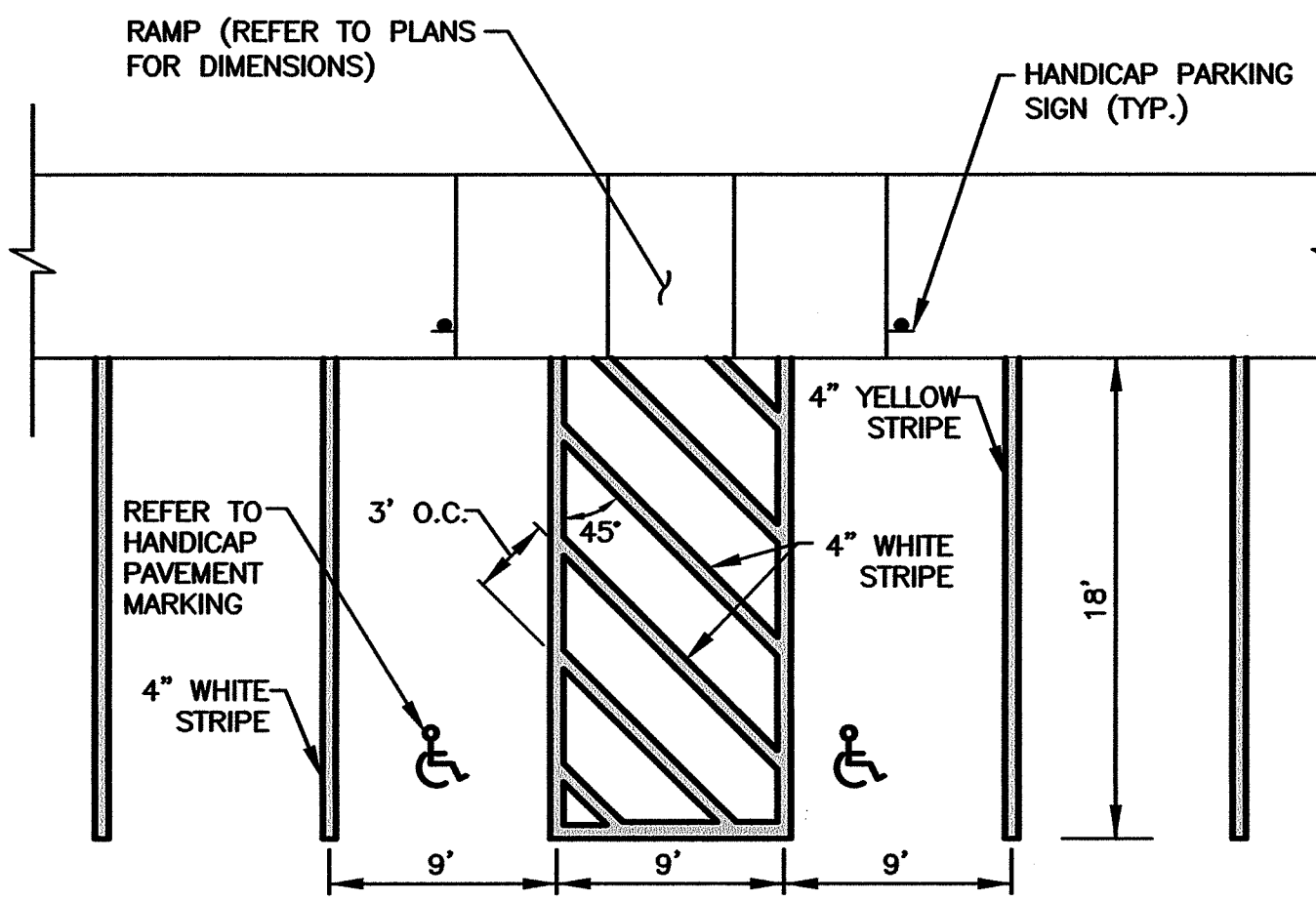
TYPICAL CONCRETE WALK WITH CAST-IN-PLACE CURB
 NOT TO SCALE



REVISIONS		WHEELCHAIR RAMP		R.I. STANDARD 43.3.0
NO.	BY	DATE	REV. DES.	
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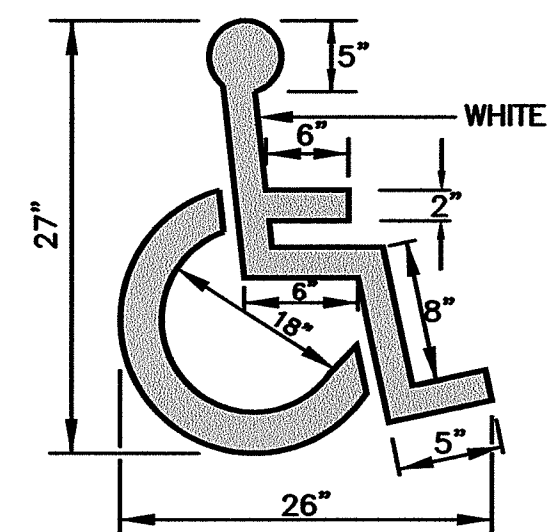


REVISIONS		DETECTABLE WARNING PANEL PLACEMENT		R.I. STANDARD 48.1.0
NO.	BY	DATE	REV. DES.	
1	MLP	JUNE 15, 1998		



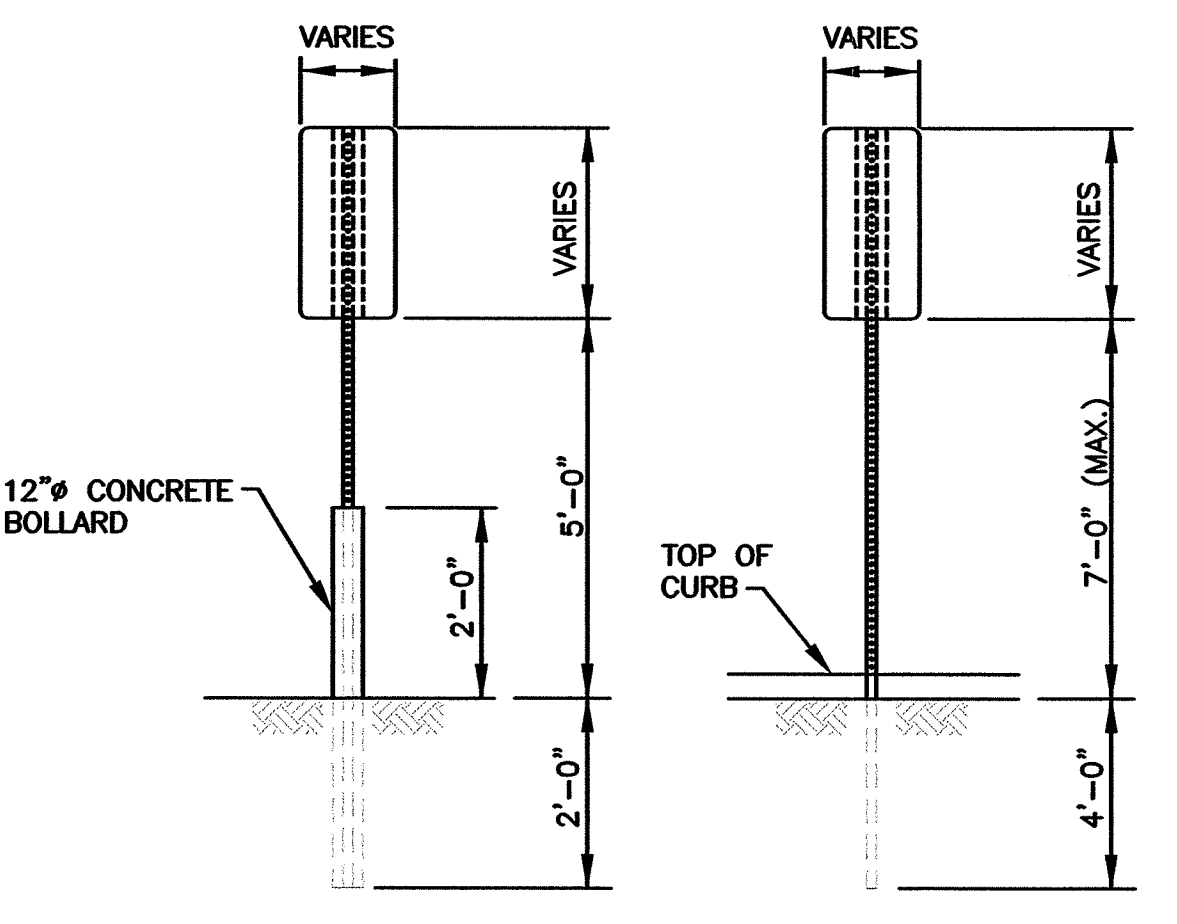
NOTE
 ALL HANDICAP PARKING SPACES SHALL BE IN ACCORDANCE WITH THE LOCAL AND STATE BUILDING CODE AND ADA REQUIREMENTS.

ADA PARKING STALLS
 NOT TO SCALE



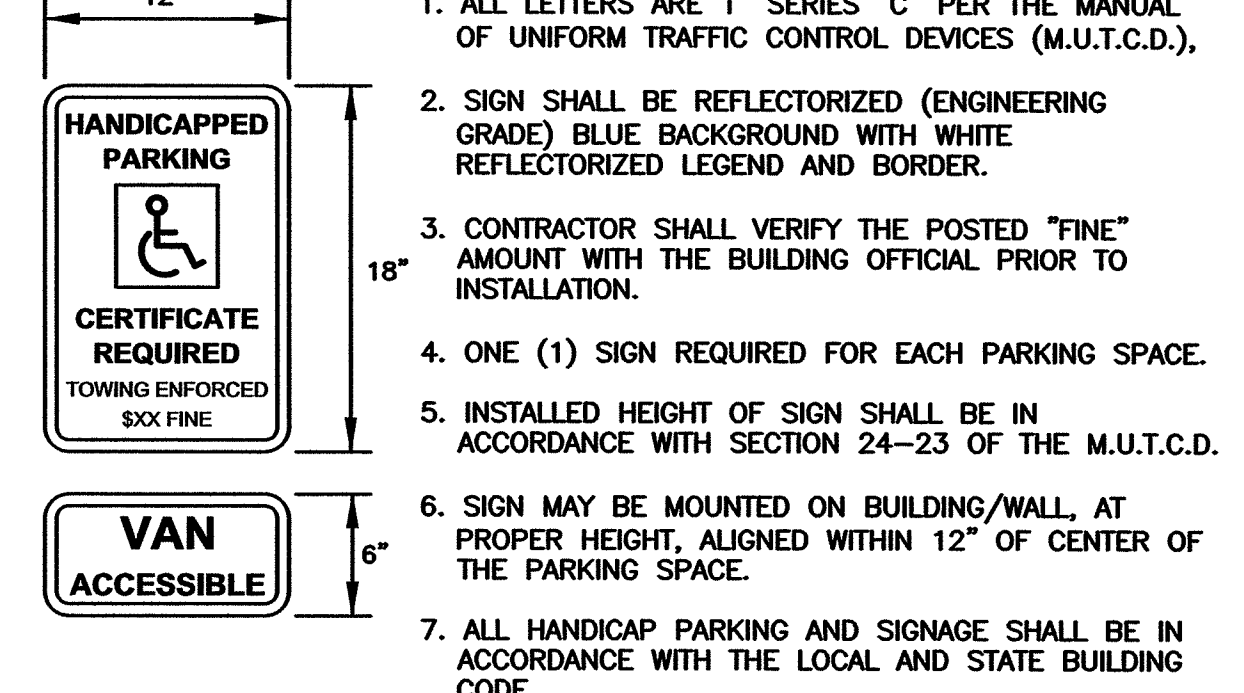
NOTE
 ALL ADA PARKING SPACES SHALL BE IN ACCORDANCE WITH THE LOCAL AND STATE BUILDING CODE AND ADA REQUIREMENTS.

ADA PAVEMENT MARKING
 NOT TO SCALE



(MOUNTING DETAIL FOR SIGNS WITH NO SIDEWALK) (MOUNTING DETAIL FOR SIGNS BEHIND SIDEWALK)

SIGN MOUNTING DETAIL
 NOT TO SCALE



NOTE:
 1. ALL LETTERS ARE 1" SERIES "C" PER THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.).
 2. SIGN SHALL BE REFLECTORIZED (ENGINEERING GRADE) BLUE BACKGROUND WITH WHITE REFLECTORIZED LEGEND AND BORDER.
 3. CONTRACTOR SHALL VERIFY THE POSTED "FINE" AMOUNT WITH THE BUILDING OFFICIAL PRIOR TO INSTALLATION.
 4. ONE (1) SIGN REQUIRED FOR EACH PARKING SPACE.
 5. INSTALLED HEIGHT OF SIGN SHALL BE IN ACCORDANCE WITH SECTION 24-23 OF THE M.U.T.C.D.
 6. SIGN MAY BE MOUNTED ON BUILDING/WALL, AT PROPER HEIGHT, ALIGNED WITHIN 12" OF CENTER OF THE PARKING SPACE.
 7. ALL HANDICAP PARKING AND SIGNAGE SHALL BE IN ACCORDANCE WITH THE LOCAL AND STATE BUILDING CODE.

PROPOSED HANDICAPPED PARKING SIGNS
 NOT TO SCALE

CROSSMAN ENGINEERING
 Rhode Island: 151 Centerville Road, Warwick, RI 02886, Phone: (401) 738-5660
 Massachusetts: 103 Commonwealth Avenue, North Attleboro, MA 02763, Phone: (508) 695-1700
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STEVEN M. CABRAL
 No. 4847
 REGISTERED PROFESSIONAL ENGINEER
 11-17-20

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
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TOWER HILL LANDINGS ANNEX LLC
 PLAT MAP 32-4, LOT 32 and 28
 ZONING DISTRICT: CN and R-10
 COMMERCIAL NEIGHBORHOOD and MEDIUM HIGH DENSITY RESIDENTIAL DISTRICT and KINGSTOWN ROAD
 SPECIAL MANAGEMENT DISTRICT
 2095 KINGSTOWN ROAD (ROUTE 108) SOUTH KINGSTOWN, R.I.
TOWER HILL LANDINGS, LLC
 543 THAMES STREET NEWPORT, RHODE ISLAND 02840

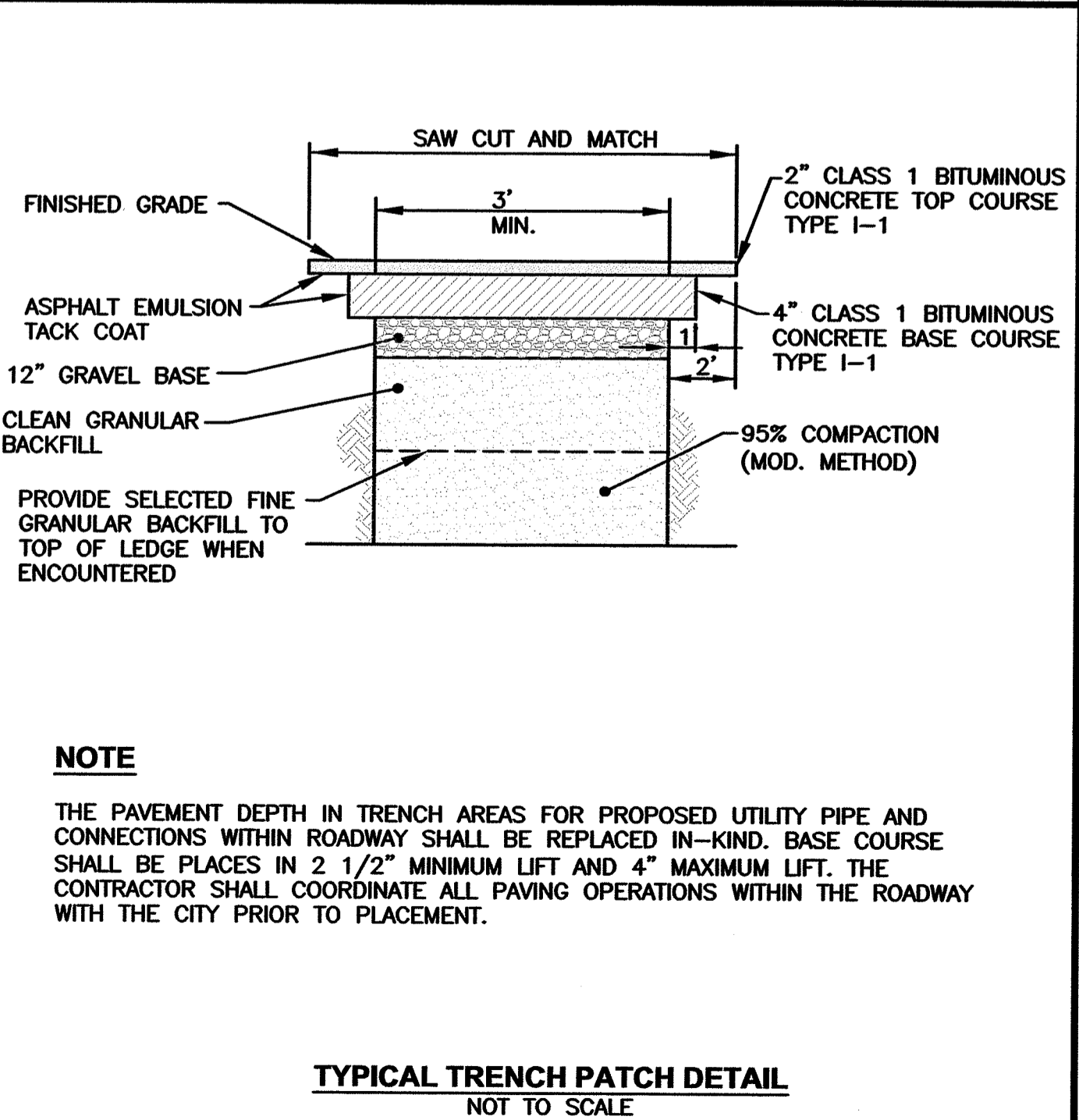
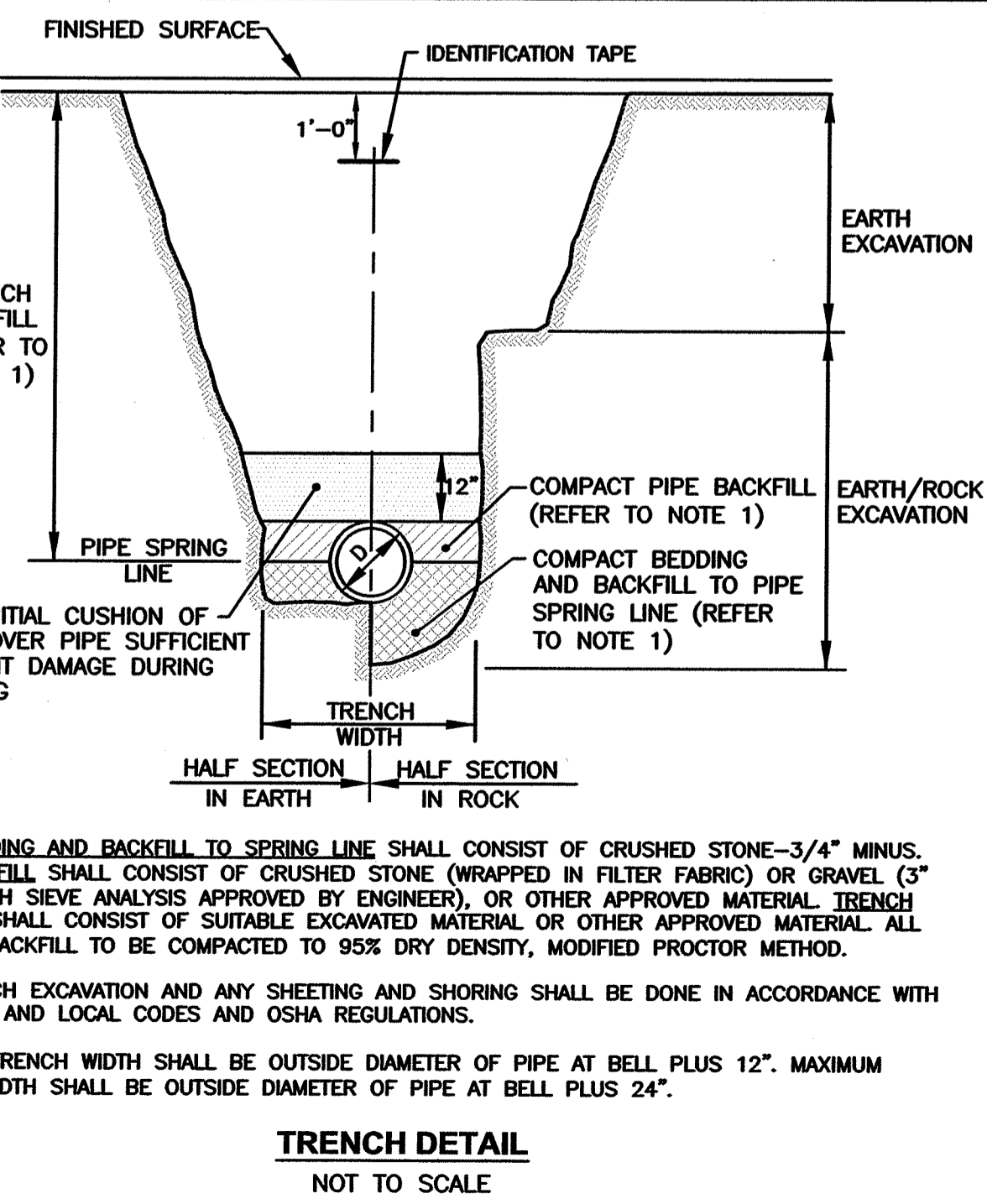
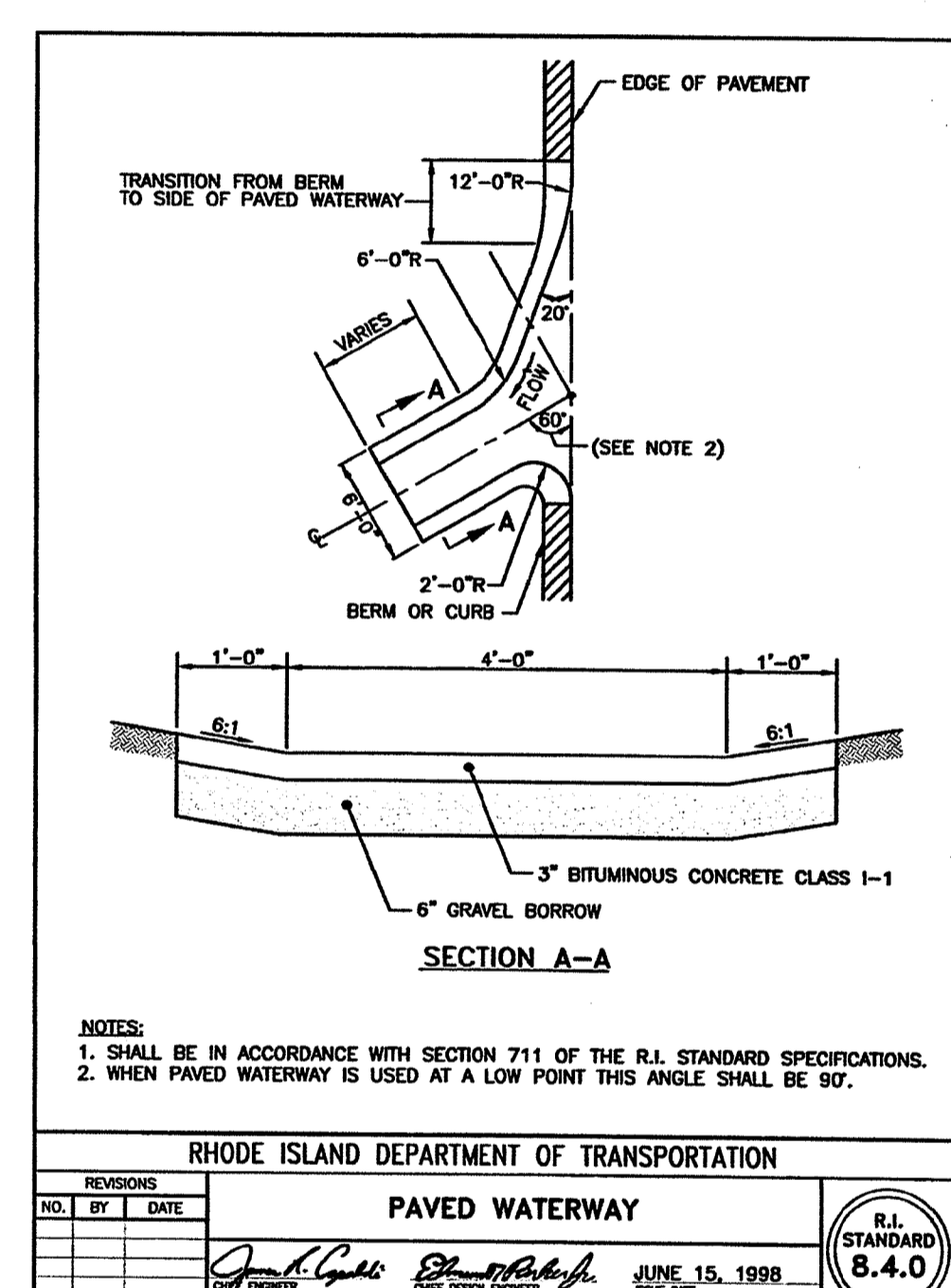
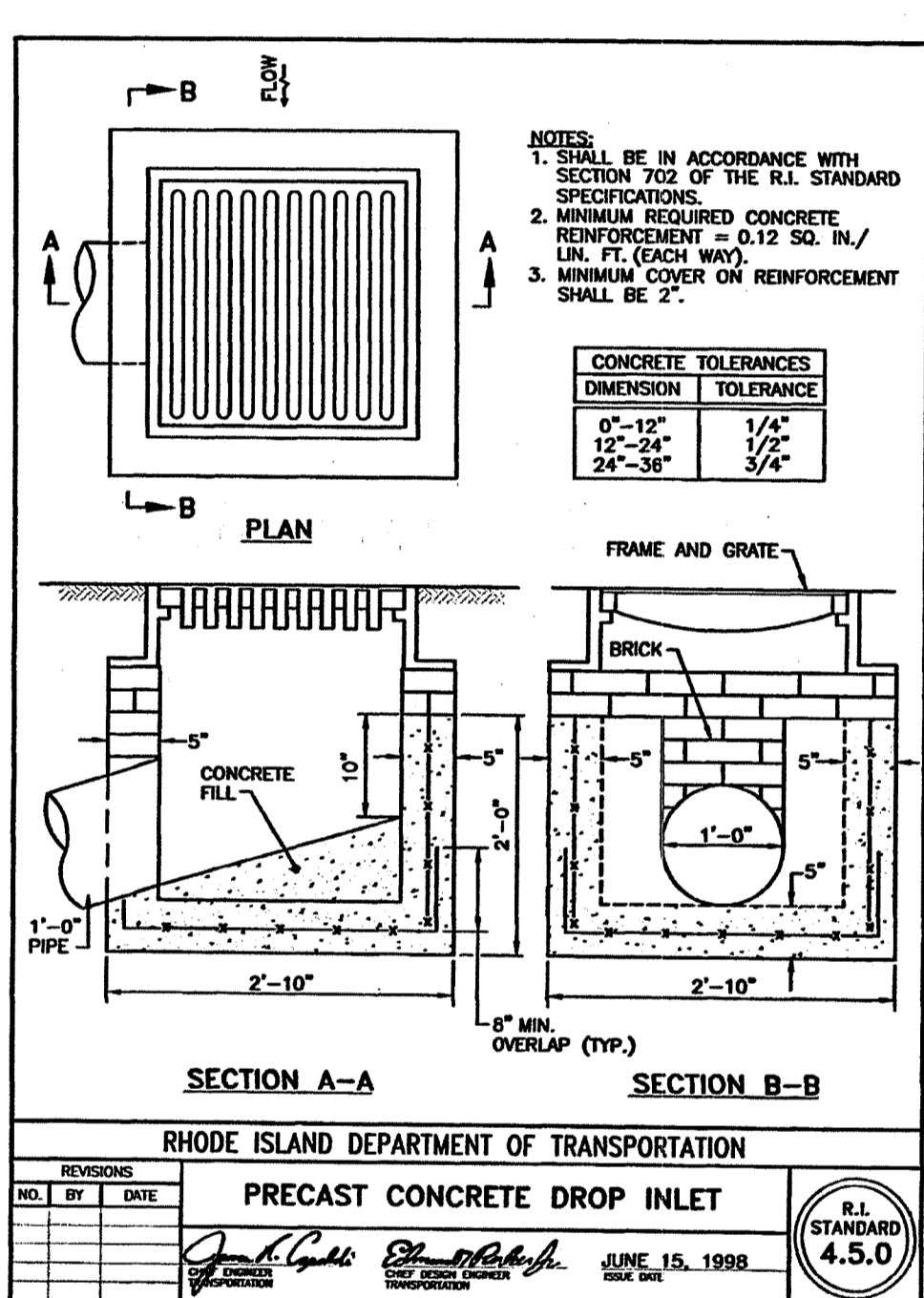
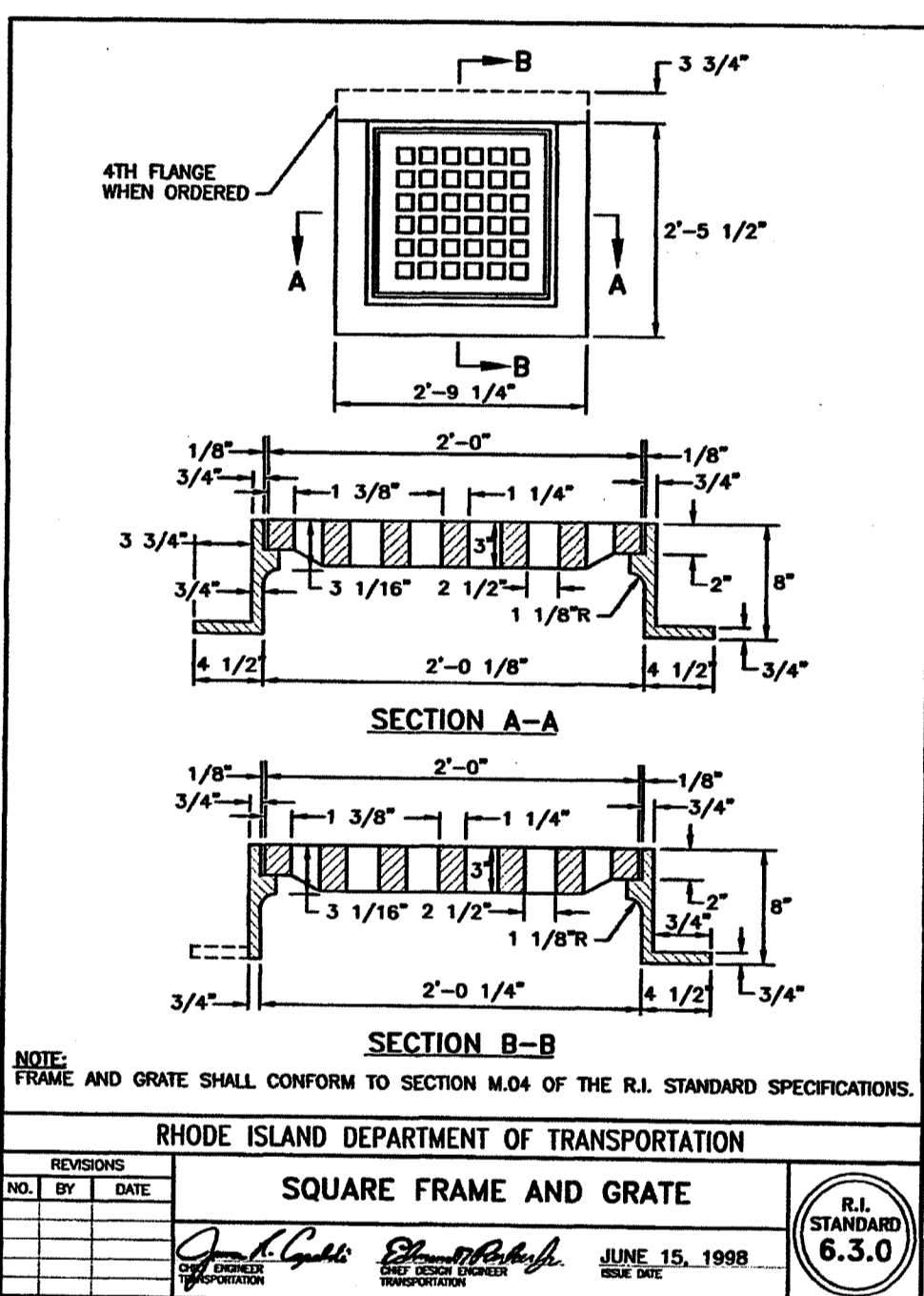
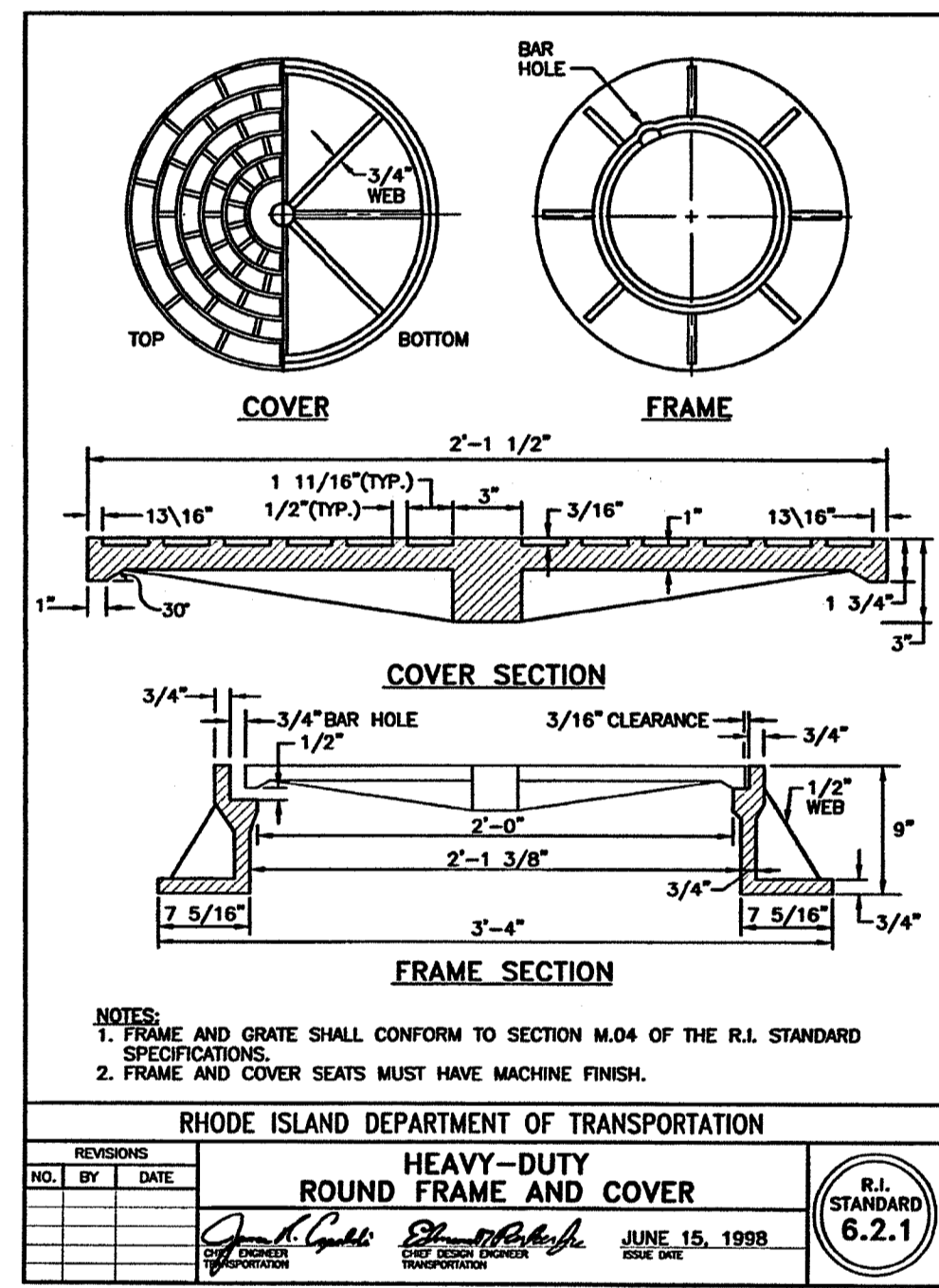
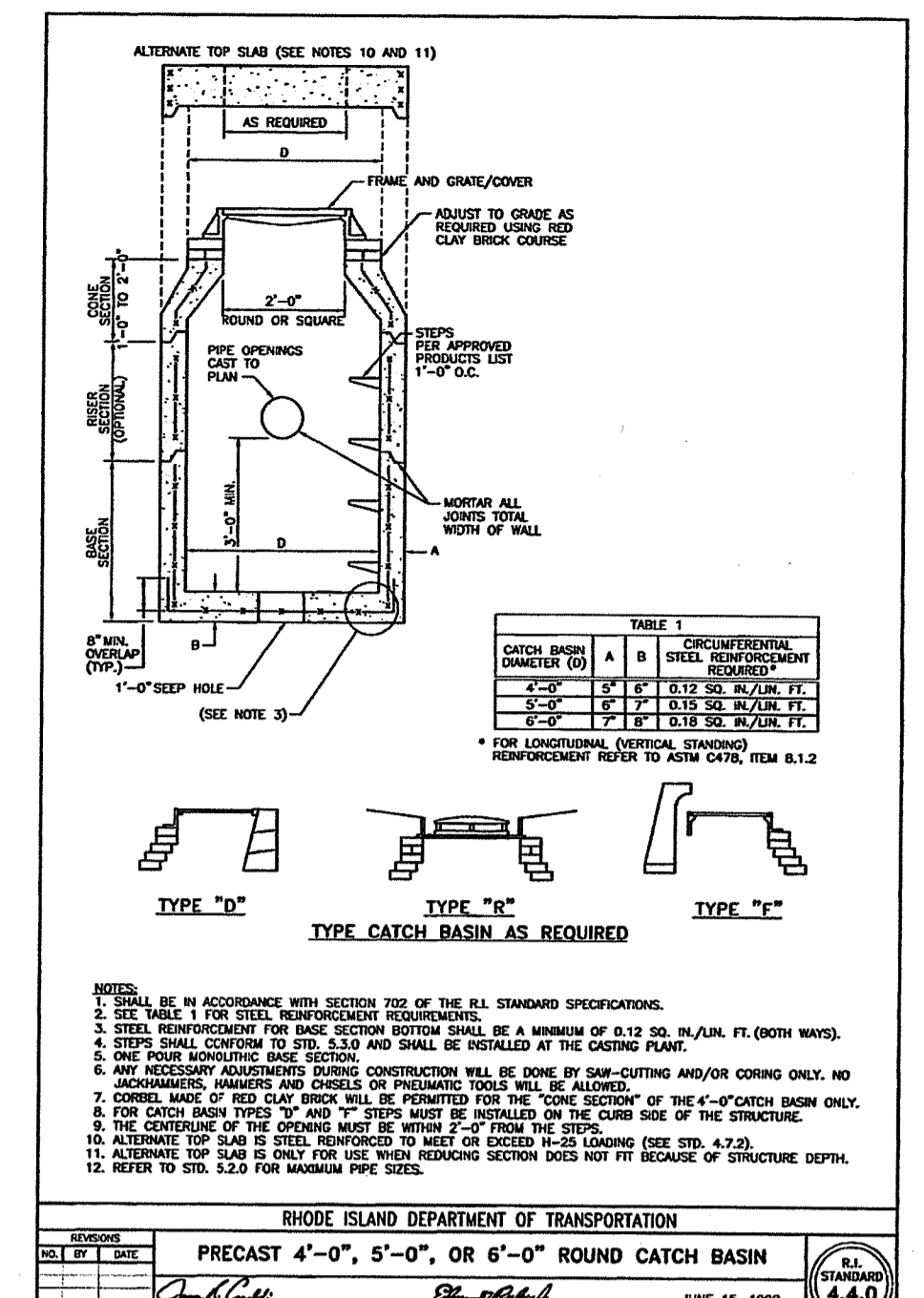
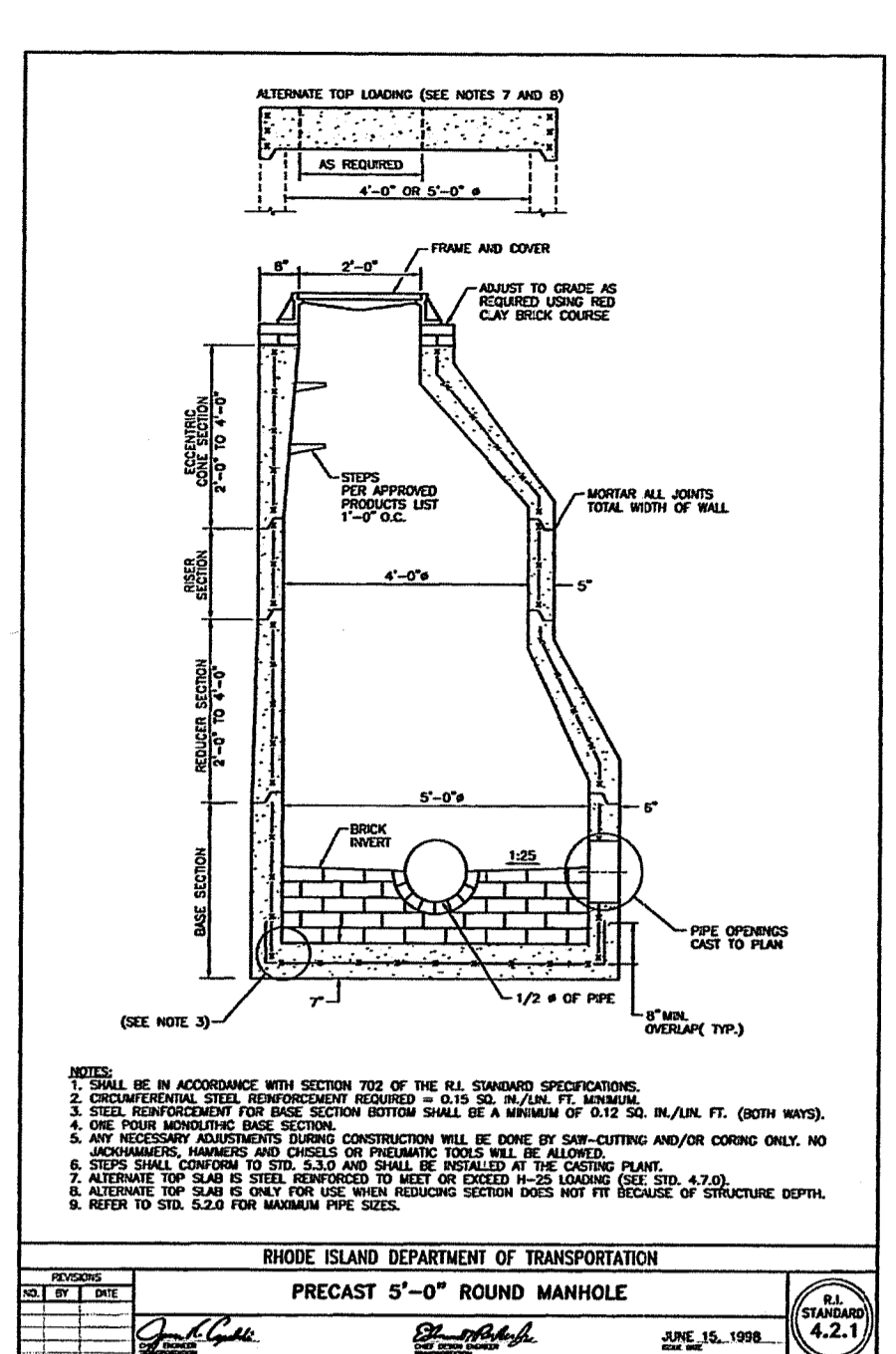
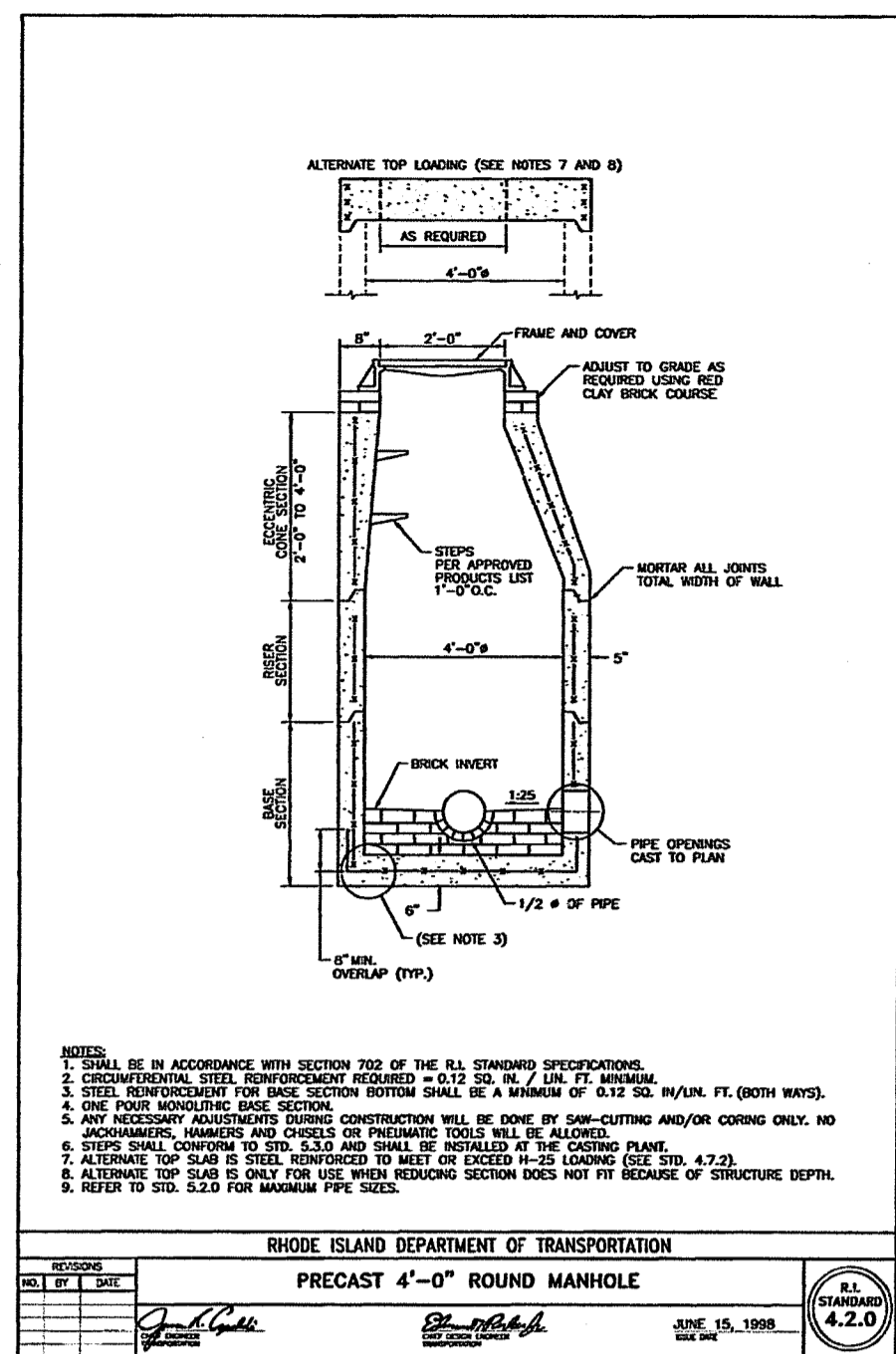
MISCELLANEOUS DETAIL PLAN No. 1
 DATE: JULY 2020 SCALE: AS SHOWN
 DWG. NAME: 2449-C09-DETAIL1-R2.dwg
 REVISIONS:

NUMBER	REMARKS	DATE
1	GRADING	09/15/20
2	RIDEM COMMENTS	10/14/20

 DRAWING NUMBER: **C9**
 SHEET: 10 OF 18

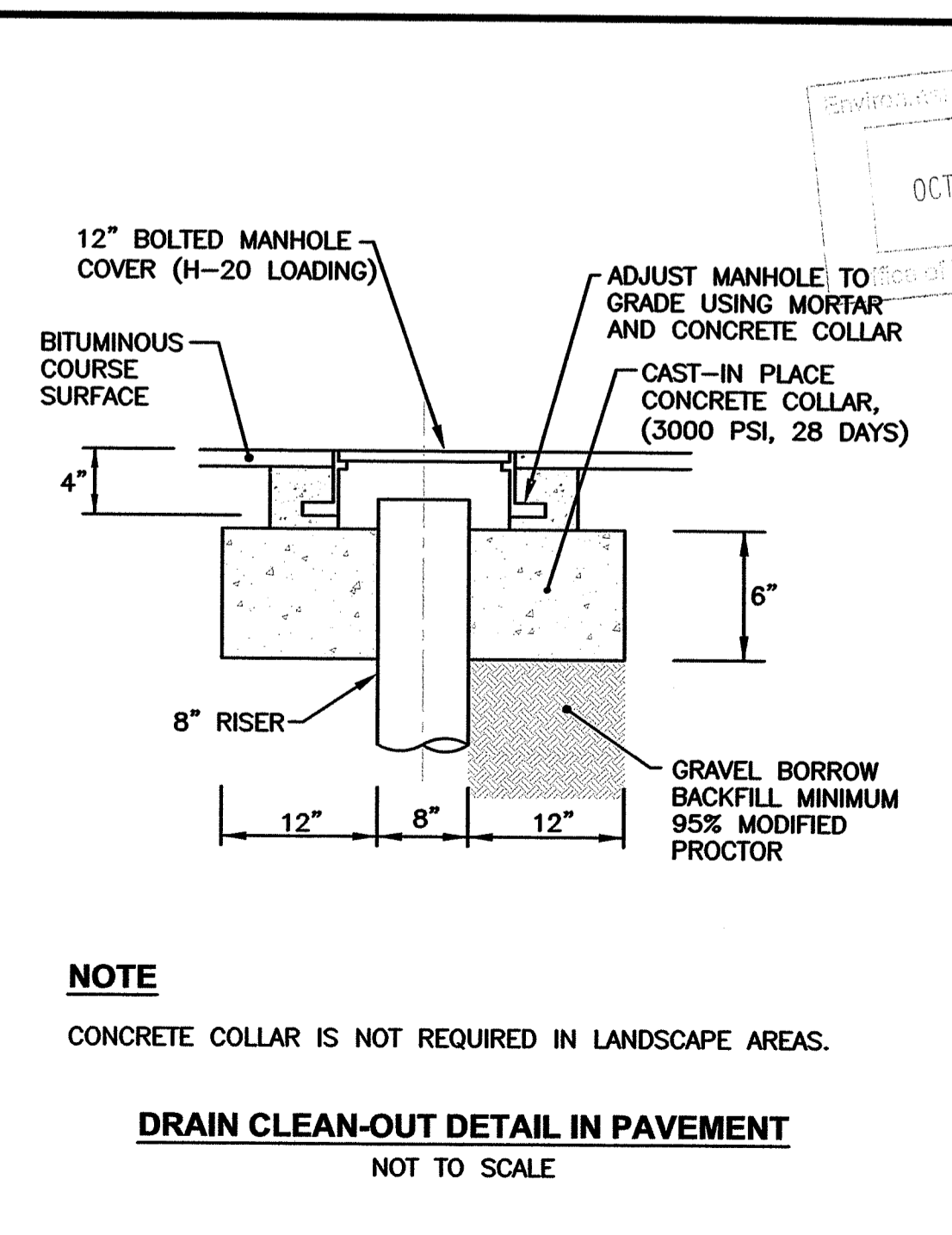
DRAINAGE NOTES

- CONTRACTOR TO VERIFY THAT ALL STRUCTURES ARE COMPATIBLE WITH FRAME AND GRATE.
- CONTRACTOR IS RESPONSIBLE TO PROVIDE SHOP DRAWINGS AND SPECIFICATIONS FOR ALL DRAINAGE RELATED ITEMS FOR REVIEW AND APPROVAL BY THE ENGINEER, PRIOR TO ORDERING. CONCRETE MANUFACTURER SHALL REVIEW RIM TO TOP OF PIPE ELEVATIONS AND PROVIDE SPECIFIC DETAILS.
- ALL STRUCTURES SHALL BE DESIGNED FOR H-20 LOADING.
- ALL CATCH BASINS SHALL BE PRECAST CONCRETE WATER TIGHT STRUCTURES. (NO WEEP HOLES).
- UNLESS OTHERWISE NOTED, ALL SOLID DRAINAGE PIPE SHALL BE ADS N-12 HDPE OR APPROVED EQUAL. PIPE BEDDING SHALL BE IN CRUSHED STONE OR GRAVEL BORROW COMPACTED TO 95% DRY DENSITY (MODIFIED PROCTOR METHOD). ADS PIPE SHALL BE INSTALLED ACCORDING TO MANUFACTURERS' REQUIREMENTS. PIPES SHALL BE INSTALLED WITH CLAY TRENCH DAMS EVERY 50' (MINIMUM 1 PER PIPE).
- GRADES WITHIN HANDICAP ACCESSIBLE PARKING SPACES AND AISLES SHALL NOT BE LESS THAN 1% OR GREATER THAN 2%.
- ALL ROOF DRAINS SHALL BE INSTALLED AT A 1.0% MINIMUM SLOPE.
- CONTRACTOR MAY NEED TO RELOCATE PIPE TO AVOID CONFLICTS WITH EXISTING UTILITIES. COORDINATE RELOCATION WITH ENGINEER. NO ADDITIONAL PAYMENT WILL BE PROVIDED FOR DAMAGE TO EXISTING UTILITIES. CONTRACTOR IS RESPONSIBLE TO INCLUDE ALL WORK NECESSARY TO INSTALL THIS PIPE, INCLUDING TRANSPLANTING OR PLANTING NEW TREES IF NECESSARY.



TRENCH WIDTH W_s OR W_u

DIAMETER OF PIPE D	W_u	
	UNSHEETED	SHEETED
12" AND SMALLER	3'-4"	4'-6"
15"	3'-6"	4'-8"
18"	3'-10"	5'-0"
21"	4'-2"	5'-4"
24"	4'-6"	5'-8"
27"	4'-10"	6'-0"
30"	5'-6"	6'-8"
36"	6'-2"	7'-4"
42"	6'-10"	8'-0"
48"	7'-6"	8'-8"



CROSSMAN ENGINEERING

151 Centerville Road
Warwick, RI 02886
Phone: (401) 738-5660

103 Commonwealth Avenue
North Attleboro, MA 02763
Phone: (508) 695-1700

Email: cel@crossmaneng.com

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STEVEN M. CABRAL

No. 4847

REGISTERED PROFESSIONAL ENGINEER

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS

AS SPECIFIED IN THE LETTER OF APPROVAL

DATE: NOV 4 2020 FILE # 20-0189

NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL

APPROVED PLANS MUST BE AT CONSTRUCTION SITE

PROJECT TITLE:

TOWER HILL LANDINGS ANNEX LLC

PLAT MAP 32-4, LOT 32 and 28
ZONING DISTRICT: CN and R-10
COMMERCIAL NEIGHBORHOOD and MEDIUM HIGH DENSITY RESIDENTIAL DISTRICT and KINGSTOWN ROAD SPECIAL MANAGEMENT DISTRICT

2095 KINGSTOWN ROAD (ROUTE 108)
SOUTH KINGSTOWN, R.I.

PREPARED FOR:

TOWER HILL LANDINGS, LLC

543 THAMES STREET
NEWPORT, RHODE ISLAND
02840

DRAWING TITLE:

MISCELLANEOUS DETAIL PLAN No. 3

DATE: JULY 2020 SCALE: AS SHOWN

DWG. NAME: 2449-C11-DETAIL3-R2.dwg

REVISIONS

NUMBER	REMARKS	DATE
1	GRADING	09/15/20
2	RIDEM COMMENTS	10/14/20

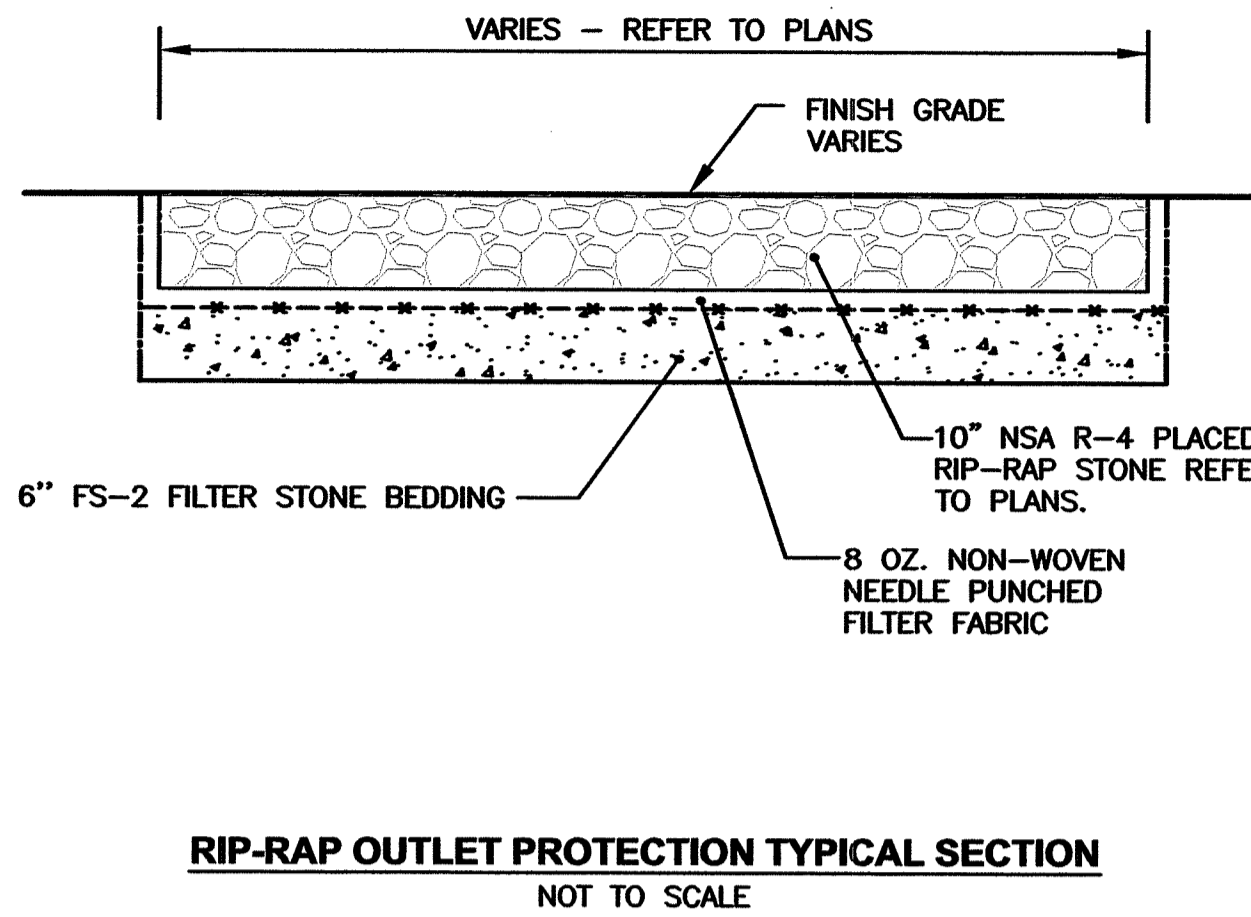
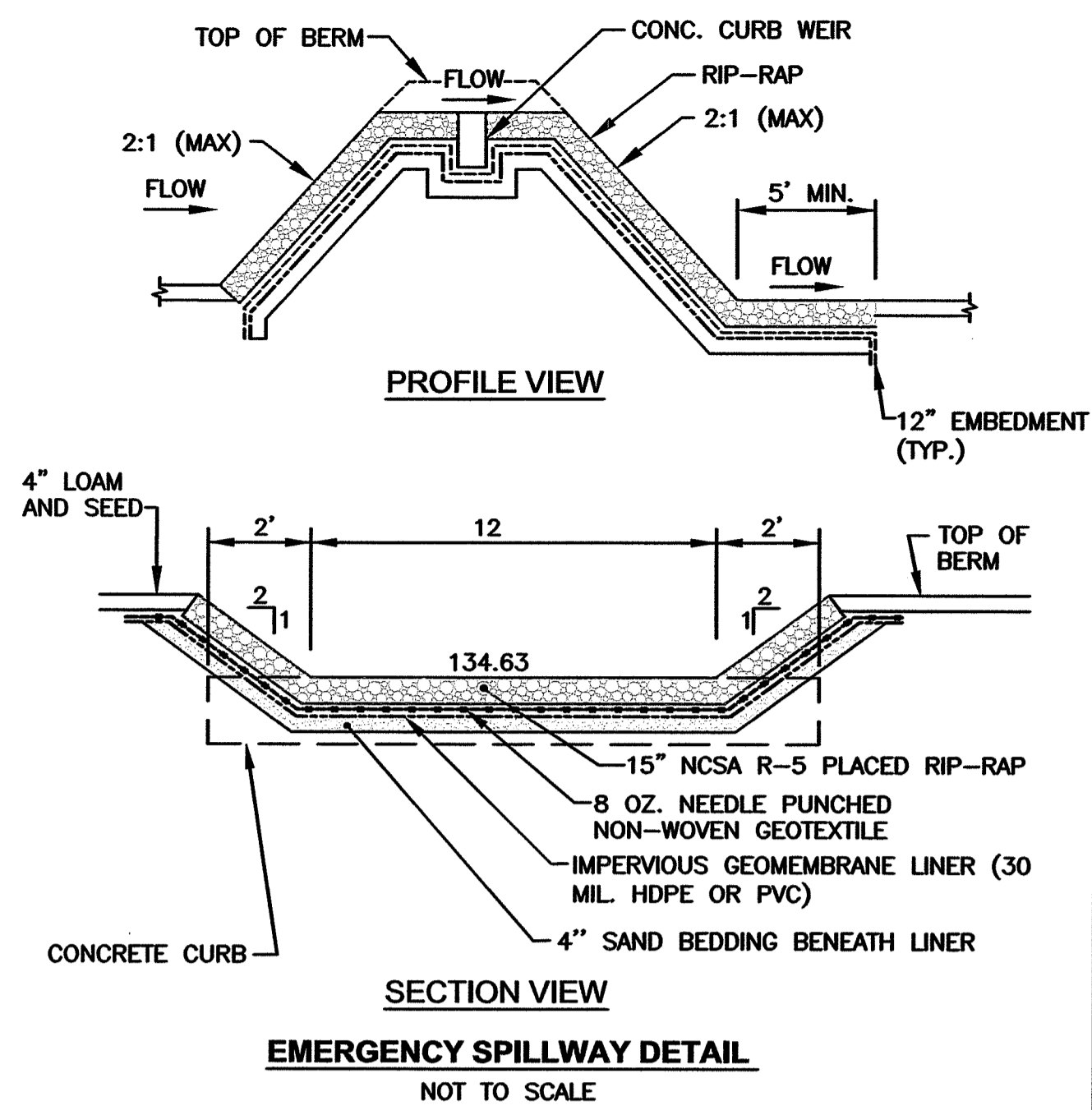
DRAWING NUMBER

C11

SHEET: 12 OF 18

SAND FILTER and DETENTION SYSTEM CONSTRUCTION NOTES

1. WITHIN THE SAND FILTER, THE CONTRACTOR SHALL REMOVE ALL TOPSOIL AND SUBSOIL AREAS (A AND B HORIZONS) AND ANY EXISTING SOILS THAT YIELD A PERMEABILITY RATE <0.27 INCHES/HOUR. CONTRACTOR SHALL COORDINATE A BOTTOM BED INSPECTION WITH OWNER AND ENGINEER. IF NECESSARY THE AREA SHALL BE PREPARED WITH SAND FILL SOIL MEETING THE MEDIA REQUIREMENTS OF SAND FILTERS, AS DESCRIBED IN THE RHODE ISLAND STORMWATER DESIGN AND INSTALLATION STANDARDS MANUAL, LATEST EDITION. THE DEPTH OF EXISTING SOIL REMOVAL SHALL BE VERIFIED BY THE ENGINEER. PLACEMENT OF THE SAND FILL (ASTM C-33 SAND), SHALL BE USED TO BRING THE BOTTOM OF BASIN TO THE DESIGN ELEVATIONS.
2. SAND FILTER CONSTRUCTION AND MATERIALS SHALL CONFORM TO THE RHODE ISLAND STORMWATER DESIGN AND INSTALLATION STANDARDS MANUAL, LATEST EDITION. AFTER CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE FINAL INSPECTIONS WITH THE OWNER.
3. THE CONTRACTOR IS REQUIRED TO SUBMIT A LIST OF MATERIALS, GRADATIONS AND THE NAME AND ADDRESS OF THE SUPPLIERS TO THE ENGINEER FOR APPROVAL PRIOR TO BRINGING MATERIAL ON SITE. MATERIAL CERTIFICATIONS SHALL ALSO BE REQUIRED FOR REVIEW AND APPROVAL.
4. THE CONTRACTOR IS RESPONSIBLE TO BECOME FAMILIAR WITH THE ABOVE REFERENCED MANUAL. THE MANUAL CAN BE FOUND AT: <http://www.dem.ri.gov/pubs/regs/regs/water/swmanual15.pdf>
5. GREAT CARE MUST BE TAKEN TO PREVENT THE INFILTRATION AREA FROM COMPACTION; BY MARKING OFF THE SAND FILTER PERIMETER BEFORE THE START OF CONSTRUCTION, AND BY CONNECTING UPSTREAM DRAINAGE AREAS ONLY AFTER CONSTRUCTION IS COMPLETE AND THE CONTRIBUTING AREA IS STABILIZED.
6. IF LARGE ROCKS OR BOULDERS ARE FOUND WITHIN 36" BELOW THE INFILTRATION SYSTEMS, OR WITHIN A 10' PERIMETER AROUND SYSTEM, THE CONTRACTOR SHALL REMOVE THE ROCKS/BOULDERS AND REPLACE WITH GRAVEL BORROW. CONTRACTOR SHALL COORDINATE WITH ENGINEER.
6. THE CONTRACTOR MUST SUBMIT SHOP DRAWINGS FOR THE PIPES TO BE USED IN THE UNDERGROUND DETENTION SYSTEM TO THE ENGINEER PRIOR TO CONSTRUCTION. THE SHOP DRAWINGS MUST VERIFY THAT THE PIPES CAN SUPPORT H-20 LOADING WITH THE SYSTEM SPECIFIC COVER.
7. ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO THE MANUFACTURER'S REQUIREMENTS AND SPECIFICATIONS. THE CONTRACTOR SHALL COORDINATE WITH A STORMTRAP REPRESENTATIVE FOR INSTALLATION SPECIFICATIONS AND PROCEDURES.



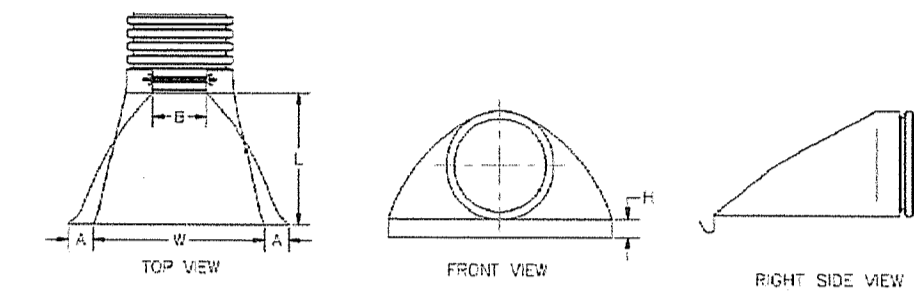
ADS FLARED END SECTION SPECIFICATION

Scope
This specification describes 12- through 36-inch (300 to 900mm) ADS Flared End Sections for use in culvert and drainage outlet applications.

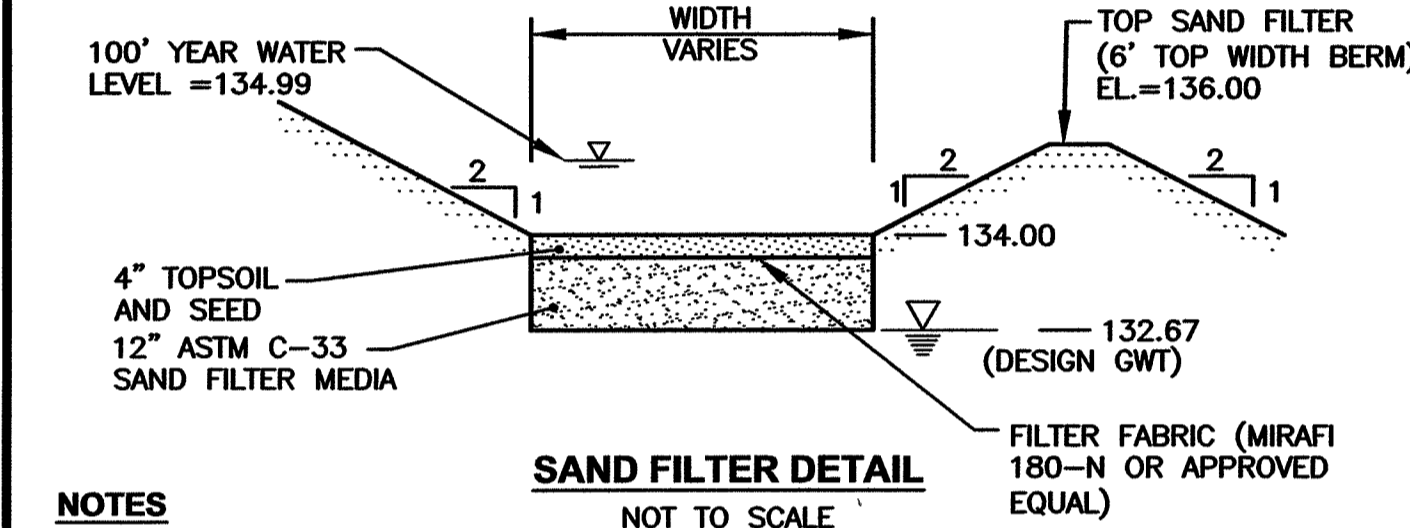
Requirements
The ADS Flared End Section shall be high density polyethylene meeting ASTM D3350 minimum cell classification 213320C; contact manufacturer for additional cell classification information. When provided, the metal threaded fastening rod shall be stainless steel.

Installation
Installation shall be in accordance with ADS installation instructions and with those issued by state or local authorities. Contact your local ADS representative or visit www.ads-pipe.com for the latest installation instructions.

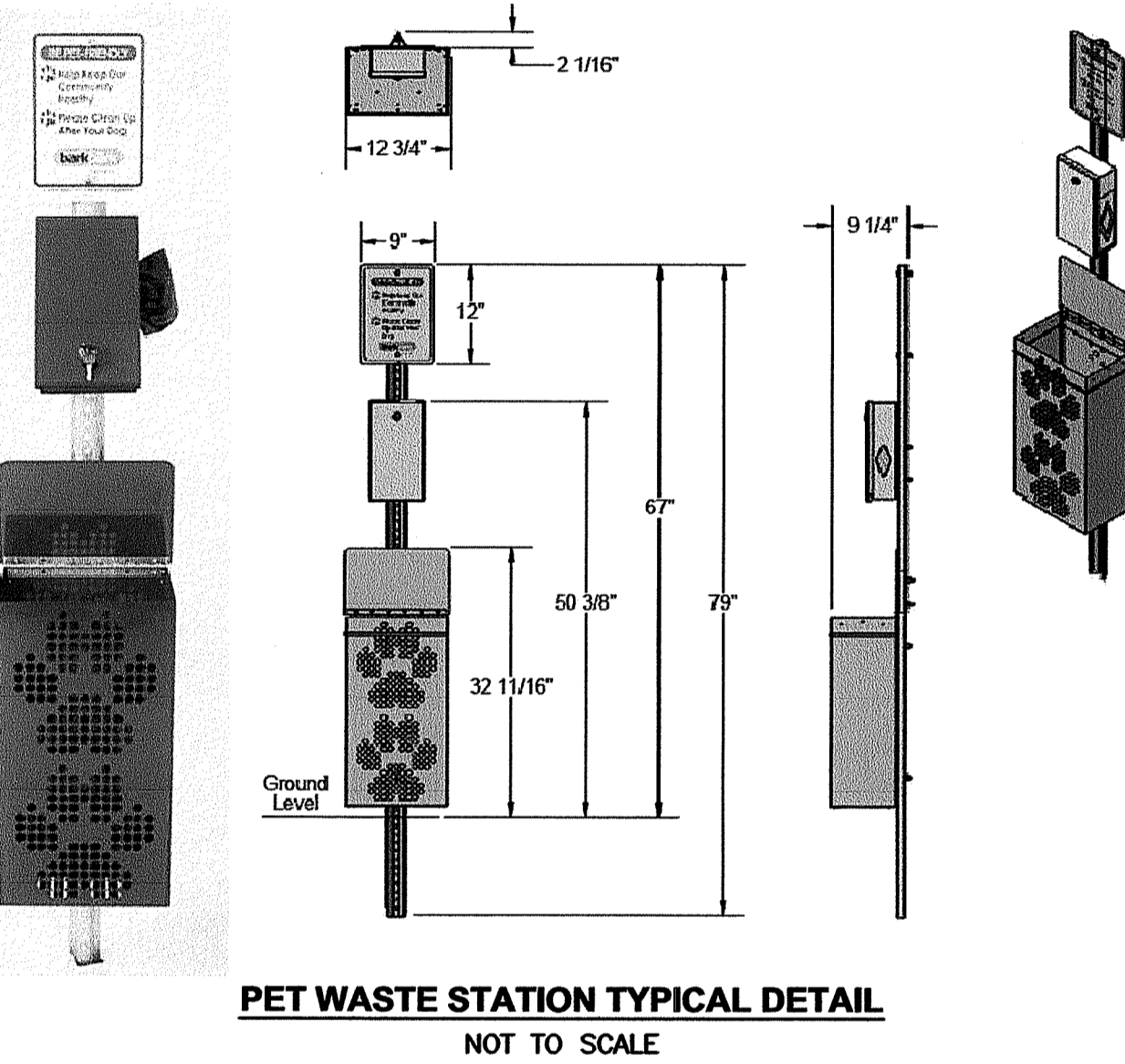
Diameter	PIPE DIAMETER, in (mm)					
	12	15	18	24	30	36
A	6.5	6.5	7.5	7.5	7.5	7.5
B	10.0	10.0	15.0	18.0	22.0	25.0
C	25.4	25.4	38.1	47.5	55.9	63.5
H	6.5	6.5	6.5	6.5	8.6	8.6
L	25.0	25.0	32.0	38.0	58.0	58.0
W	83.5	83.5	81.5	91.4	147.3	147.3
in (mm)	(737)	(737)	(899)	(1143)	(1600)	(1600)



FLARED END TYPICAL DETAIL
NOT TO SCALE



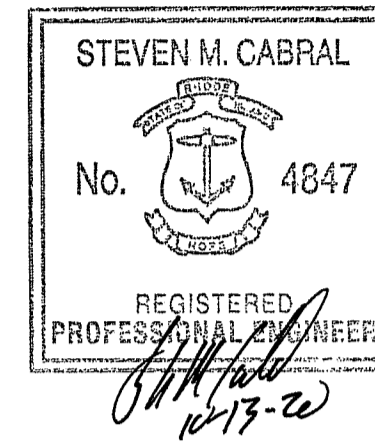
- NOTES**
1. PREPARE THE 4" TOPSOIL WITH THE FOLLOWING SAND, LOAM AND ORGANIC SOIL MIX: USDA LOAMY SAND OR SANDY LOAM SOIL TYPE MEETING THE FOLLOWING SPECIFICATION:
ORGANIC MATTER: 2-5% CLAY: 0-2%
SILT: 0-12% SAND: 85-88%
 2. SAND FILTER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE RHODE ISLAND STORMWATER DESIGN AND INSTALLATION STANDARDS MANUAL, APPENDIX F.5, CONSTRUCTION STANDARDS/SPECIFICATIONS FOR FILTER BMP'S.
 3. MATERIAL USED FOR SAND FILTER SHALL MEET THE REQUIREMENTS OF TABLE F-16 IN APPENDIX F.5 OF THE RHODE ISLAND STORMWATER DESIGN AND INSTALLATION STANDARDS MANUAL.
 4. CONTRACTOR IS RESPONSIBLE TO SUBMIT SHOP DRAWINGS AND SPECIFICATIONS FOR SAND FILTER MATERIAL PRIOR TO START OF CONSTRUCTION.



NOTE
THE ABOVE DETAIL REPRESENTS A TYPICAL PET WASTE STATION SCHEMATIC. THE CONTRACTOR SHALL COORDINATE THE SITE SPECIFIC MAKE AND MODEL OF PET WASTE STATION WITH OWNER PRIOR TO ORDERING. INSTALLATION SHALL BE IN CONFORMANCE WITH MANUFACTURER SPECIFICATIONS.

CROSSMAN ENGINEERING
Rhode Island: 151 Centerville Road, Warwick, RI 02886, Phone: (401) 738-5660
Massachusetts: 103 Commonwealth Avenue, North Attleboro, MA 02763, Phone: (508) 695-1700
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TOWER HILL LANDINGS ANNEX LLC

PLAT MAP 32-4, LOT 32 and 28
ZONING DISTRICT: CN and R-10
COMMERCIAL NEIGHBORHOOD and
MEDIUM HIGH DENSITY RESIDENTIAL DISTRICT
and KINGSTOWN ROAD
SPECIAL MANAGEMENT DISTRICT
2095 KINGSTOWN ROAD (ROUTE 108)
SOUTH KINGSTOWN, R.I.

TOWER HILL LANDINGS, LLC
543 THAMES STREET
NEWPORT, RHODE ISLAND
02840

MISCELLANEOUS DETAIL PLAN No. 4

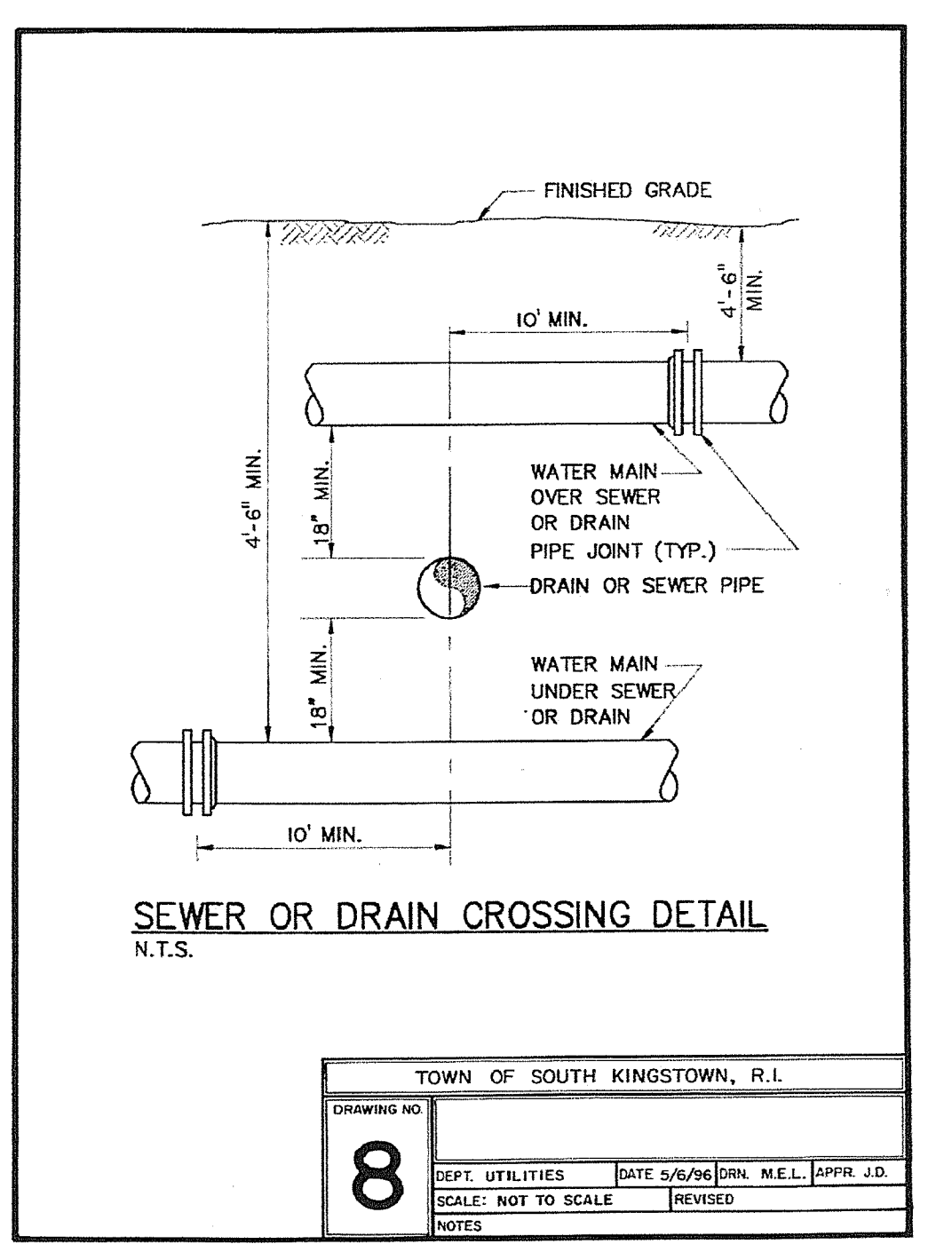
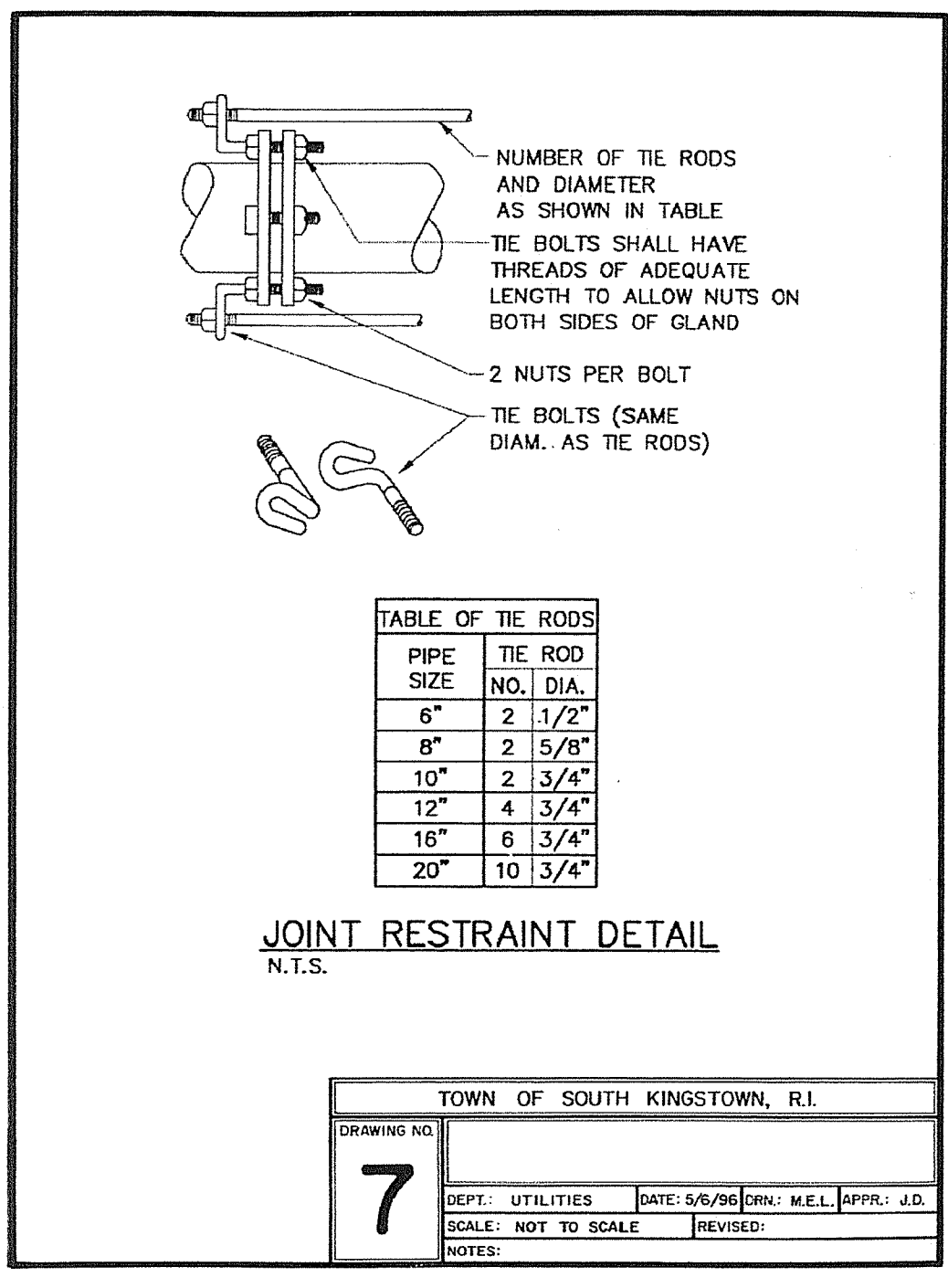
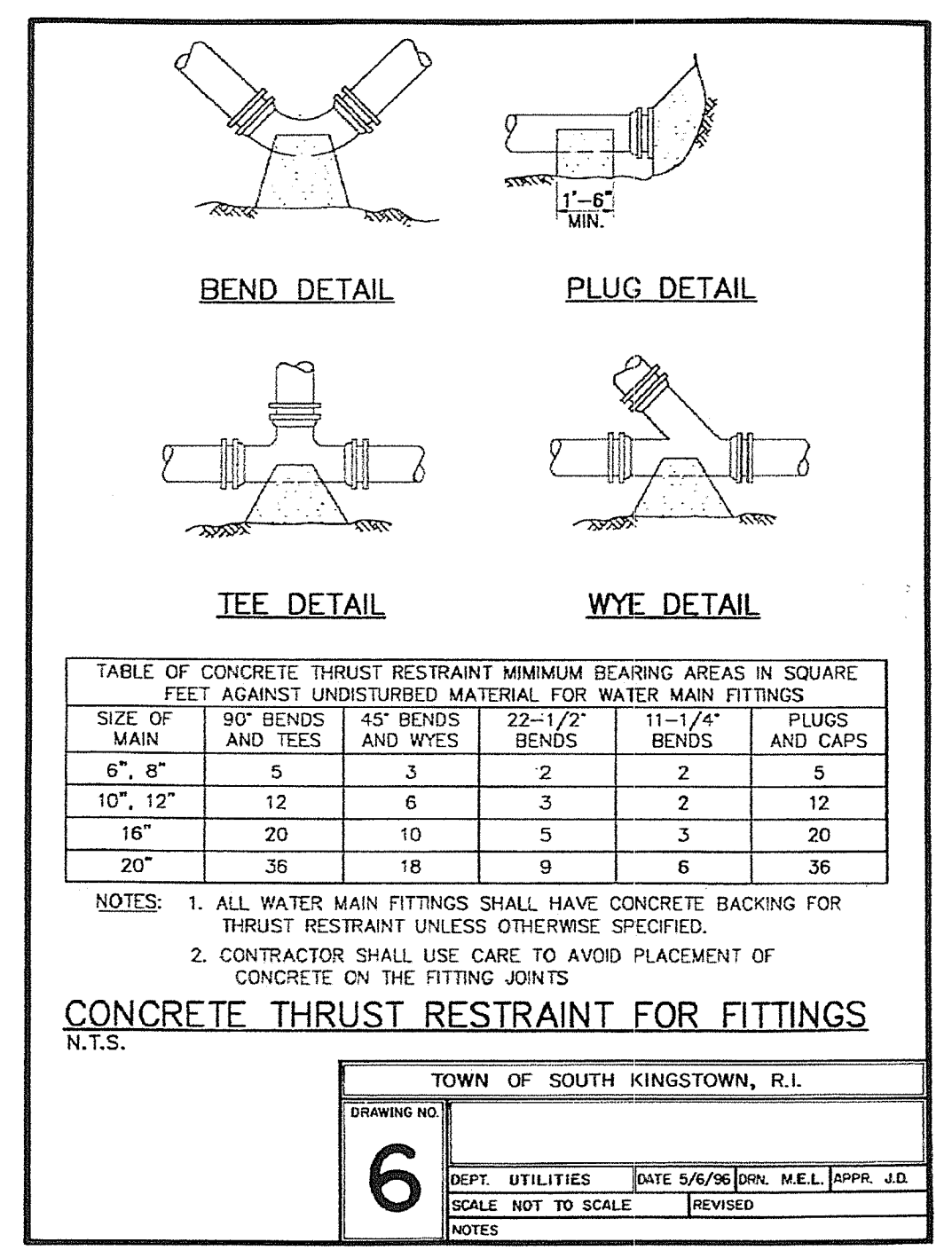
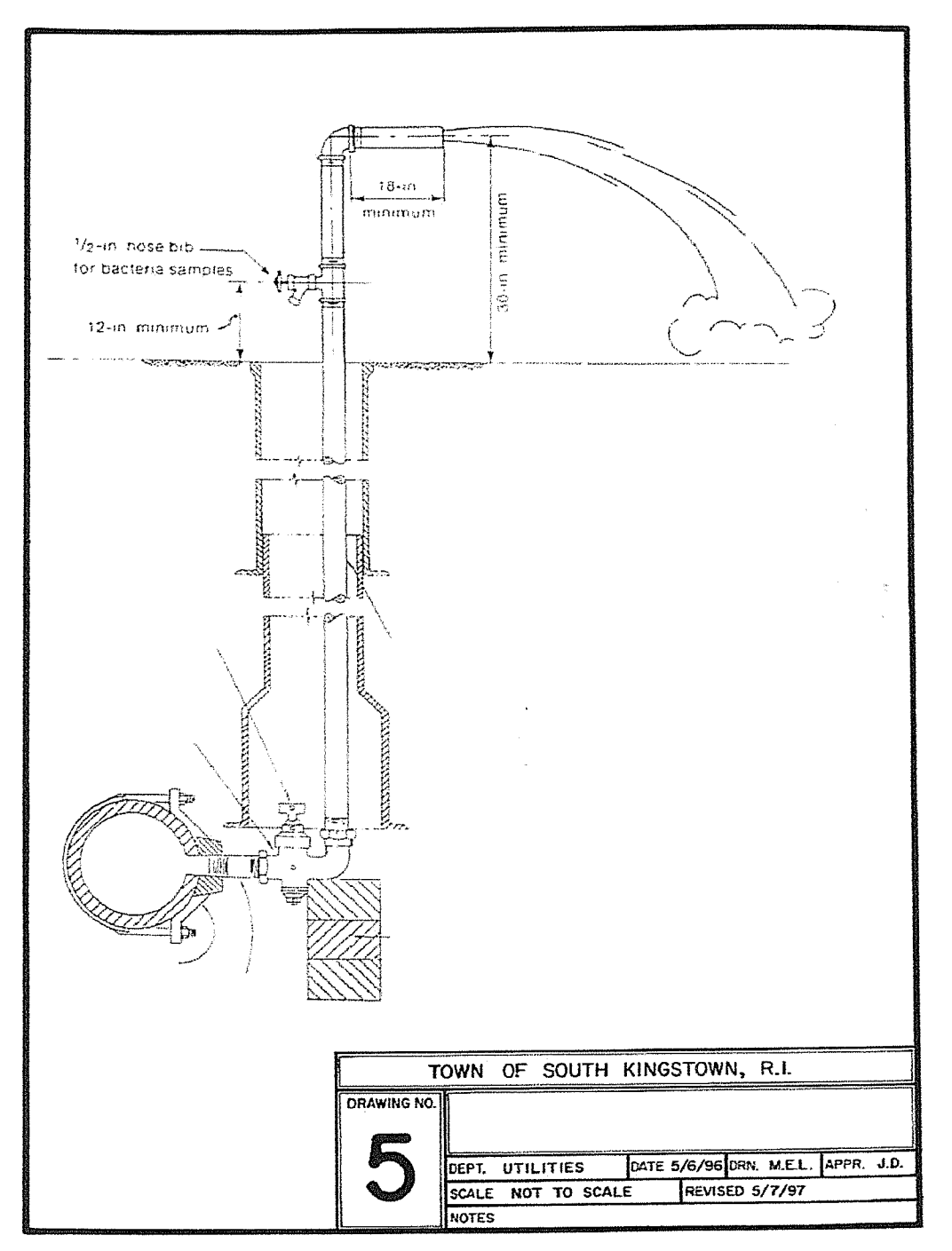
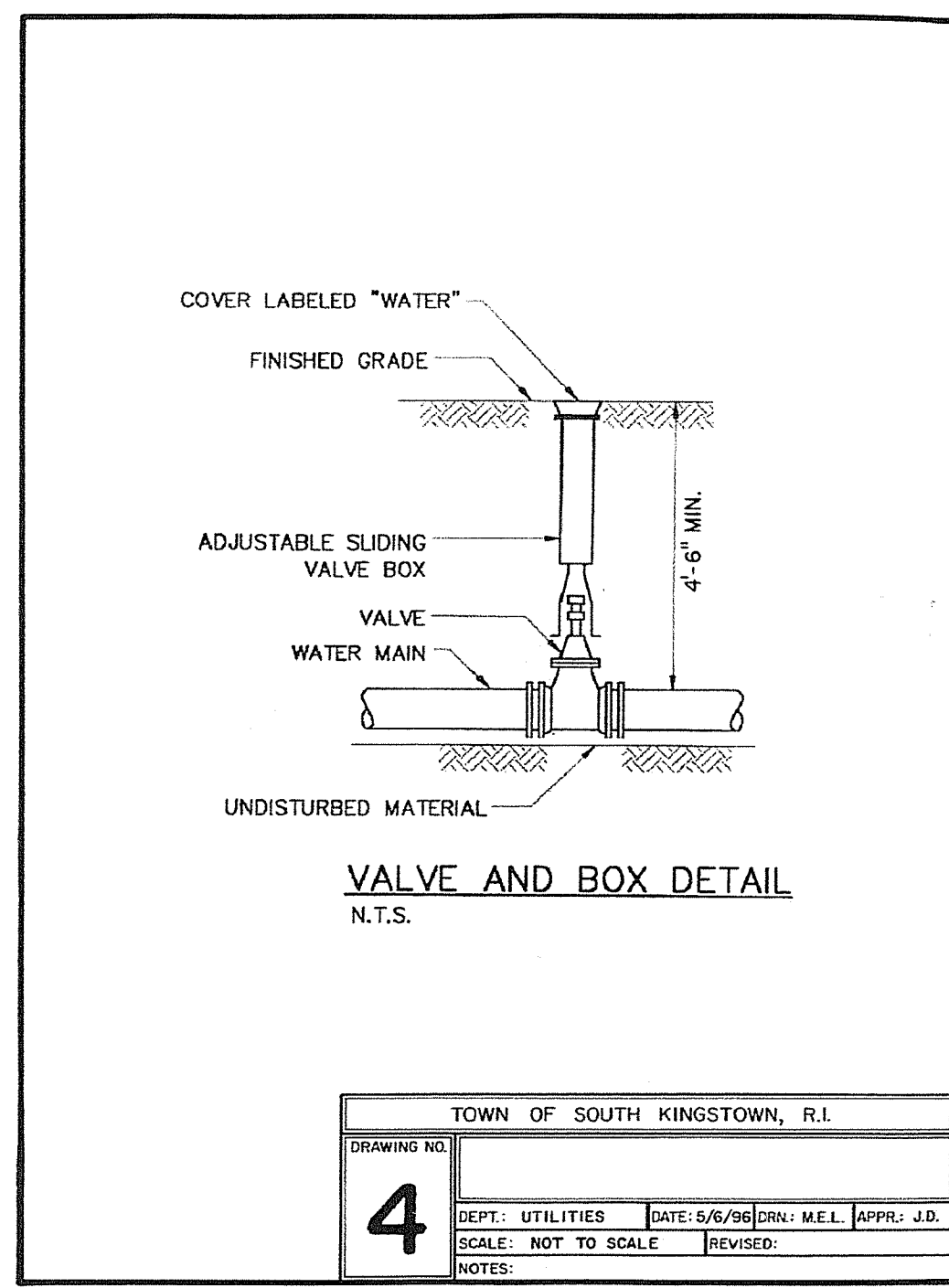
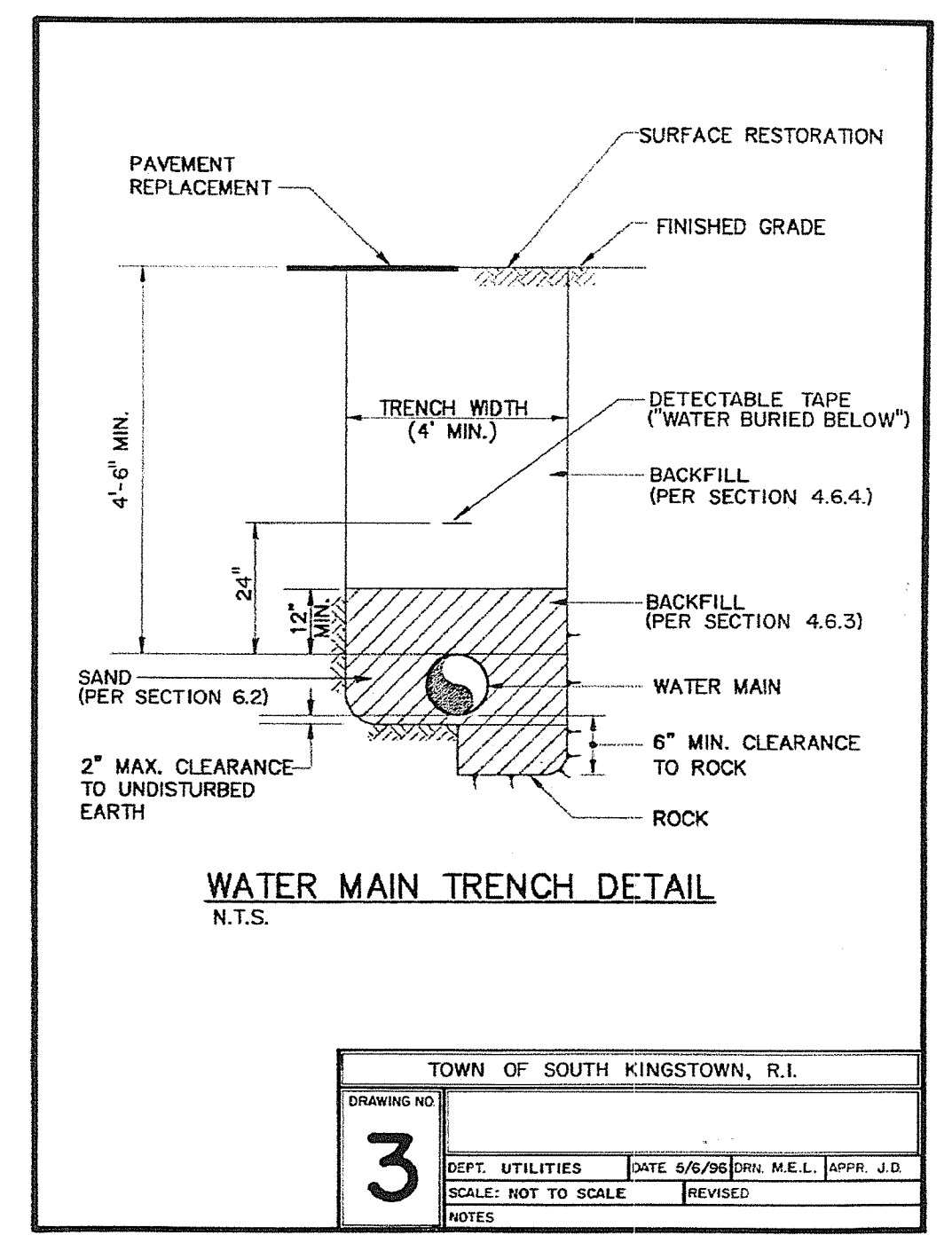
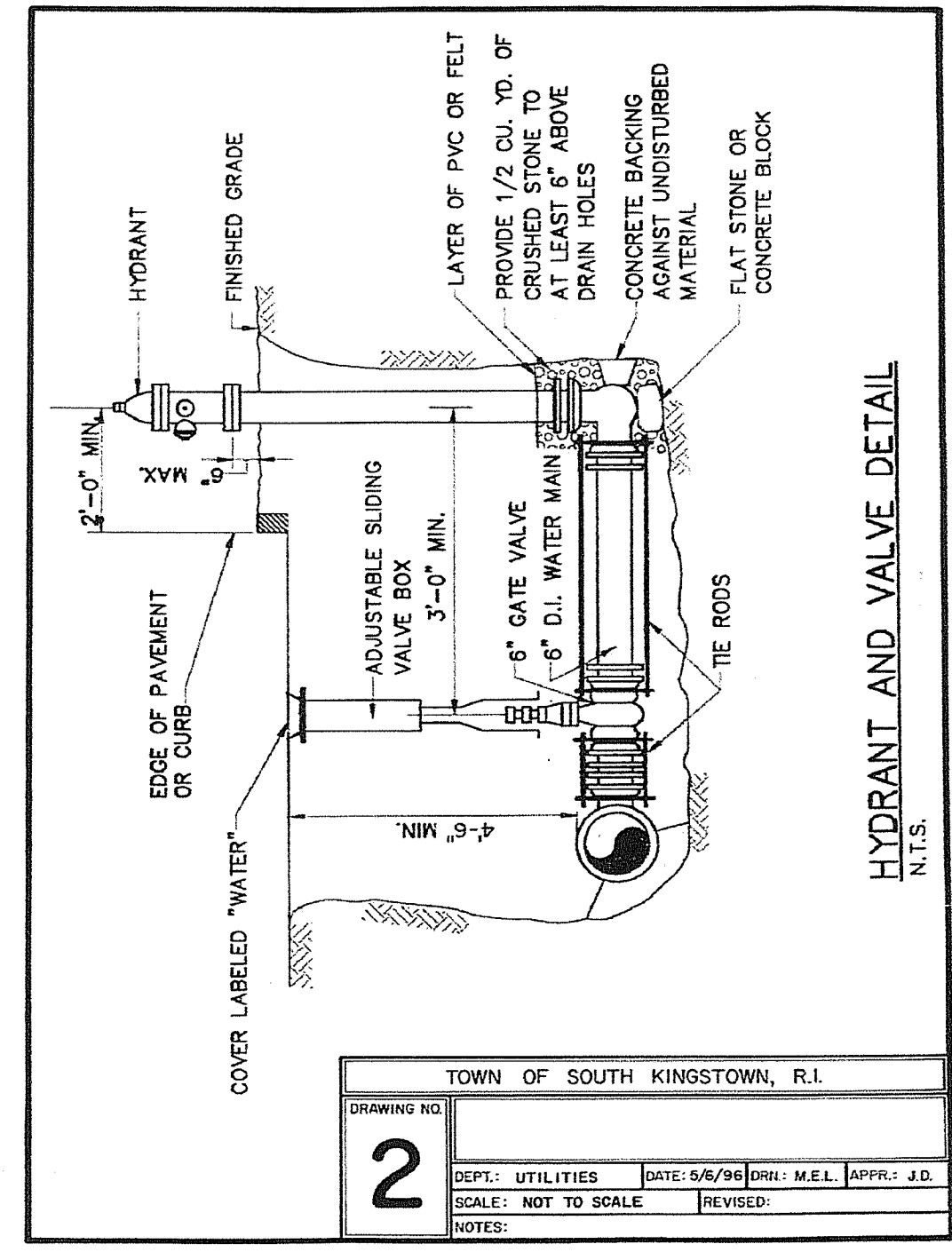
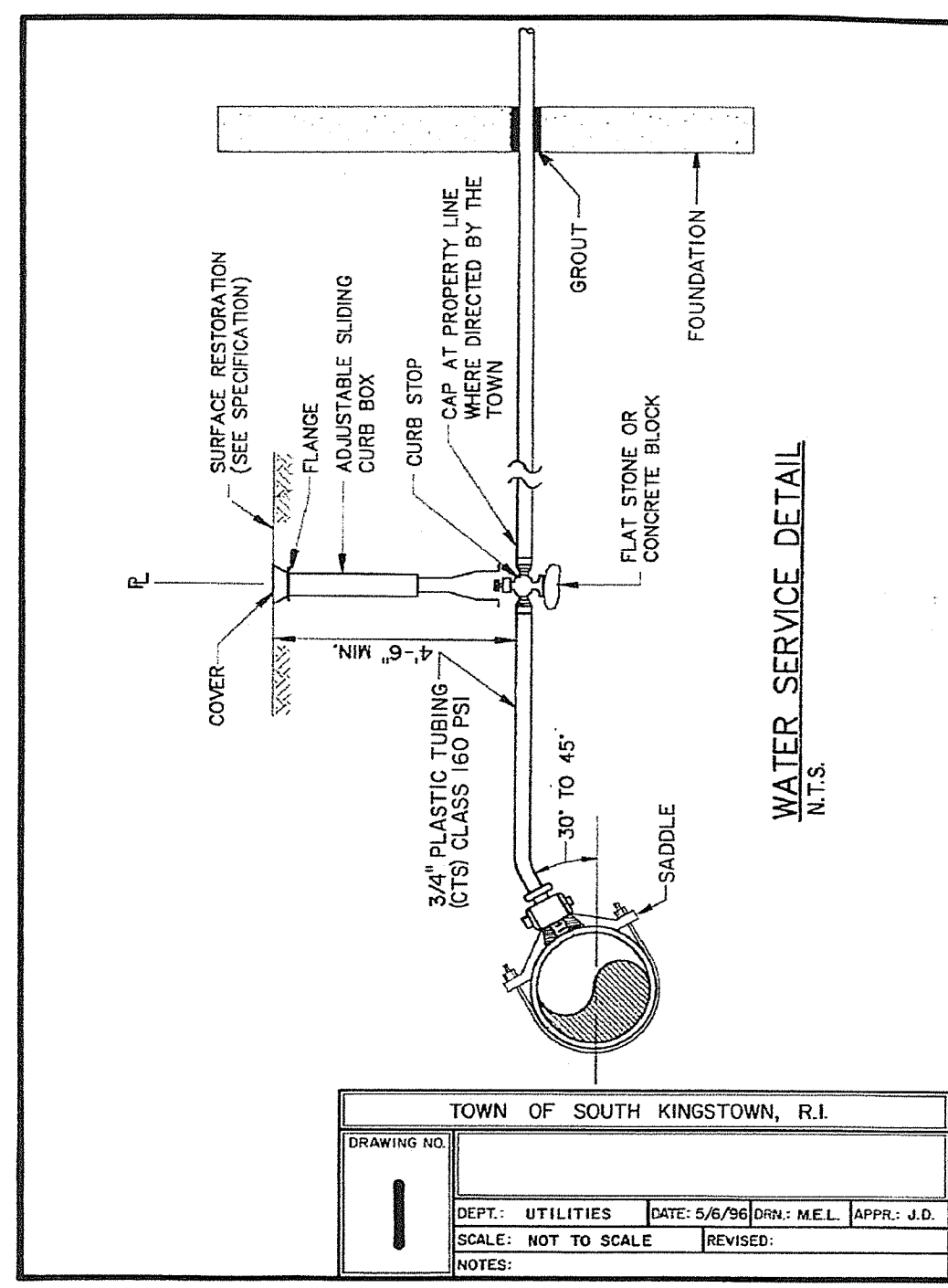
DATE: JULY 2020 SCALE: AS SHOWN
DWG. NAME: 2449-C12-DETAIL4-R2.dwg

NUMBER	REMARKS	DATE
1	GRADING	09/15/20
2	RIDEM COMMENTS	10/14/20

C12
SHEET 13 OF 18

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED NOV 4 2020 FILE # 20-018
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE
Nancy L. Friedman

OCT 15 2020



WATER NOTES

- ALL INSTALLATION, JOINTS, CONSTRUCTION METHODS AND MATERIALS SHALL BE ACCORDING TO THE KINGSTON WATER DISTRICT AND SOUTH KINGSTOWN WATER DIVISION REQUIREMENTS, AWWA STANDARDS AND GOVERNMENTAL REQUIREMENTS.
- ALL FITTINGS SHALL BE DUCTILE IRON MECHANICAL JOINT CLASS 350 CEMENT MORTAR LINED COMPACT STYLE (BY AMERICAN MANUFACTURER ONLY). FITTINGS SHALL MEET THE REQUIREMENTS OF ANSI/AWWA C153/A21.53. MECHANICAL JOINTS SHALL MEET THE REQUIREMENTS OF ANSI/AWWA C111/A21.11.
- WATER PIPE SHALL BE DOUBLE CEMENT MORTAR LINED DUCTILE IRON PIPE CL52 AND SHALL MEET THE REQUIREMENTS OF ANSI/AWWA C151/A21.51.
- CONSTRUCTION SHALL INCLUDE ALL PIPE, JOINTS, BENDS, TEES, FITTINGS, "MEGA-LUG" RESTRAINED MECHANICAL JOINTS, SERVICE CONNECTIONS AND ALL MISCELLANEOUS ITEMS REQUIRED TO CONSTRUCT THE PROPOSED SYSTEM.
- "MEGA-LUG" RESTRAINED MECHANICAL JOINTS SHALL BE INSTALLED IN LOCATIONS INDICATED AND AT ALL BENDS, FITTINGS, PLUGS, ETC.
- PRESSURE AND LEAKAGE TESTS AND DISINFECTING PIPES SHALL BE PERFORMED BY THE CONTRACTOR IN CONFORMANCE TO AMERICAN WATER WORKS ASSOCIATION (AWWA) RECOMMENDATIONS, KINGSTON WATER DISTRICT REQUIREMENTS, AND GOVERNMENTAL AGENCIES HAVING JURISDICTION.
- ALL FITTINGS, PIPE, JOINTS, ETC. SHALL BE DESIGNED FOR 1.5 TIMES WORKING PRESSURE BUT NOT LESS THAN 150 PSI.
- WATER PIPE SHALL TYPICALLY BE LOCATED AT LEAST TEN (10) FEET HORIZONTALLY FROM SEWER PIPE, AND AT A MINIMUM DEPTH OF COVER EQUAL TO 5' WHERE A NEW WATER MAIN IS LESS THAN 18 INCHES CLEAR DISTANCE ABOVE A SEWER OR WHERE A WATER MAIN PASSES BENEATH A SEWER OR STORM DRAIN, ENCASE THE SEWER OR WATER IN 6" OF CONCRETE FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE CROSSING WATER MAIN. THE USE OF DUCTILE IRON TIGHT JOINT SEWER PIPE IN LIEU OF CONCRETE ENCASEMENT WILL BE CONSIDERED UPON CONTRACTORS SUBMITTAL OF SPECIFICATIONS TO ENGINEERS FOR APPROVAL.
- ALL SYSTEM COMPONENTS AND CONSTRUCTION METHODS, SUCH AS PIPE, RESTRAINED MECHANICAL JOINTS, FITTINGS, CASTINGS, ETC. SHALL BE SUBMITTED TO THE WOONSOCKET WATER DEPARTMENT AND ENGINEER FOR APPROVAL PRIOR TO PURCHASE AND INSTALLATION. THIS SUBMISSION SHALL INCLUDE MANUFACTURER'S LITERATURE, SHOP DRAWINGS, PROPOSED CONSTRUCTION METHODS, ETC.
- WATER LINE TRENCH TO BE AWWA TYPE 5, A METALIZED DETECTABLE IDENTIFICATION TAPE 2" IN WIDTH, BLUE IN COLOR AND PRINTED WITH "CAUTION WATERLINE BURIED BELOW" SHALL BE UTILIZED OVER ALL MAINS. TAPE SHALL BE SET AT APPROXIMATELY 1'-0" BELOW FINISHED GRADE.
- PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL COMPLETE AND SUBMIT THE "CONTRACTOR'S MATERIAL AND TEST CERTIFICATE" FOR UNDERGROUND PIPING TO THE KINGSTON WATER DISTRICT AND SOUTH KINGSTOWN WATER DIVISION. IN ADDITION, THE CONTRACTOR IS REQUIRED TO SUBMIT THE FOLLOWING ITEMS TO THE ENGINEER FOR THEIR REVIEW AND APPROVAL:
 - TYPE AND MANUFACTURER OF SERVICE BOXES
 - TYPE AND MANUFACTURER OF CORPORATIONS AND CURB STOPS
 - TYPE AND MANUFACTURER OF VALVE BOXES (OPEN LEFT)
 - TYPE AND MANUFACTURER OF D.I. MECHANICAL JOINTS AND FITTINGS
 - TYPE AND MANUFACTURER OF TAPPING SLEEVES
 - TYPE AND MANUFACTURER OF DI PIPING
 - TYPE AND MANUFACTURER OF RESILIENT SEALED GATE VALVES (OPEN LEFT)
 - TYPE AND MANUFACTURER OF COPPER SERVICE LINE
- WHEN THIS PROJECT IS COMPLETE, THE CONTRACTOR IS RESPONSIBLE TO PROVIDE THE WATER DEPARTMENT AND ENGINEER TWO SETS OF AS BUILT PLANS (ONE BLUE LINE, ONE REPRODUCIBLE COPY-MYLAR OR SEPIA) WHICH INDICATES:
 - ALL CURB STOPS WITH APPROPRIATE LOCATING MEASUREMENTS - MAIN-TO-CURB AND MEASUREMENTS FROM PERMANENT STRUCTURES.
 - A SCHEDULE OF MATERIALS WHICH INDICATES:
 - ITEM QUANTITY
 - MANUFACTURER
 - DESCRIPTION
 - INCLUDE SERIAL #'S AS APPLICABLE
 - MATERIAL
 - OPERATION CHARACTERISTICS

- THE CONTRACTOR SHALL VERIFY THE FIRE SERVICE PIPE SIZE REQUIREMENT WITH THE BUILDING ARCHITECT AND PLUMBING/FIRE SPRINKLER CONTRACTOR PRIOR TO ORDERING PIPE, METERS AND BACKFLOW PREVENTORS. COORDINATION WITH THE SOUTH KINGSTOWN FIRE CHIEF, KINGSTON WATER DIVISION AND SOUTH KINGSTOWN WATER DIVISION IS REQUIRED TO DETERMINE THE EXISTING WATER PRESSURE AVAILABLE.
- ALL VALVES TO BE RESILIENT WEDGE GATE VALVES (OPEN LEFT).
- ALL FITTINGS TO BE RESTRAINED WITH MECHANICAL JOINTS. RESTRAINTS TO BE MEGA-LUG OR EQUAL. ALL DESIGN AND/OR PLACEMENT SHALL BE REVIEWED AND APPROVED BY THE WOONSOCKET WATER DEPARTMENT.
- RESTRAIN ALL PUSH-ON BELL JOINTS WITHIN 20 FEET OF MECHANICAL JOINTS. RESTRAINTS TO BE SERVICE 800 COVER-ALL BY EBAA IRON OR EQUAL.
- DOMESTIC WATER SERVICE LINES SHALL BE DUCTILE IRON OR COPPER.
- ALL HYDRANTS SHALL OPEN LEFT.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED: NOV 4, 2020 FILE # 20-0184
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Nancy L. Freeman

CROSSMAN ENGINEERING
Rhode Island
151 Centerville Road
Warwick, RI 02886
Phone: (401) 738-6660

Massachusetts
103 Commonwealth Avenue
North Attleboro, MA 02763
Phone: (508) 695-1700

Email: cel@crossmaneng.com

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STEVEN M. CABRAL
No. 4847
REGISTERED PROFESSIONAL ENGINEER

PROJECT TITLE:
TOWER HILL LANDINGS ANNEX LLC

PLAT MAP 32-4, LOT 32 and 28
ZONING DISTRICT: CN and R-10
COMMERCIAL NEIGHBORHOOD and
MEDIUM HIGH DENSITY RESIDENTIAL DISTRICT
and KINGSTOWN ROAD
SPECIAL MANAGEMENT DISTRICT
2095 KINGSTOWN ROAD (ROUTE 108)
SOUTH KINGSTOWN, R.I.

PREPARED FOR:
TOWER HILL LANDINGS, LLC

543 THAMES STREET
NEWPORT, RHODE ISLAND
02840

DRAWING TITLE:
MISCELLANEOUS DETAIL PLAN No. 6

DATE: JULY 2020 SCALE: AS SHOWN
DWG. NAME: 2449-C14-DETAIL6-R2.dwg

REVISIONS

NUMBER	REMARKS	DATE
1	GRADING	09/15/20
2	RIDEM COMMENTS	10/14/20

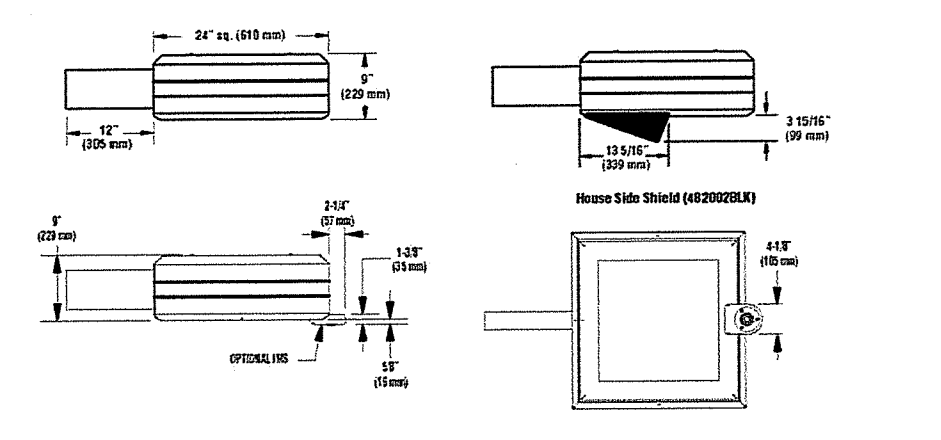
DRAWING NUMBER:
C14
SHEET: 15 OF 18

LED AREA LIGHTS - (XGBM)

Part	Description	Qty	Color	Beam Spread	Mounting	Finish	Options
10001	LED Area Light	1	4000K	30°	Flush	White	Standard
10002	LED Area Light	1	4000K	30°	Flush	White	Standard

ACCESSORY ORDERING INFORMATION

Part	Description	Qty	Color	Beam Spread	Mounting	Finish	Options
10003	LED Area Light	1	4000K	30°	Flush	White	Standard



ALUMINUM SQUARE POLES (SOFT CORNER)

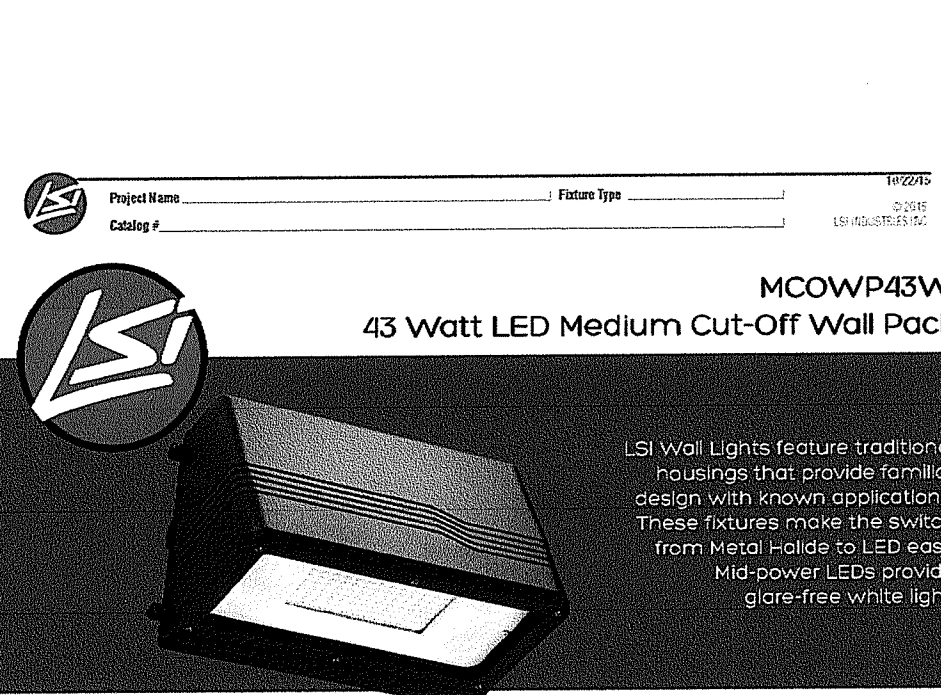
Part	Description	Qty	Color	Beam Spread	Mounting	Finish	Options
10004	Aluminum Square Pole	1	4000K	30°	Flush	White	Standard

PROJECT INFORMATION

Project Name: Tower Hill Landings Annex LLC
 Client: Steven M. Cabral
 Date: July 2020

PERFORMANCE

Part	Description	Qty	Color	Beam Spread	Mounting	Finish	Options
10005	LED Area Light	1	4000K	30°	Flush	White	Standard



Features & Specifications

Performance

Part	Description	Qty	Color	Beam Spread	Mounting	Finish	Options
10006	LED Area Light	1	4000K	30°	Flush	White	Standard

Optical System

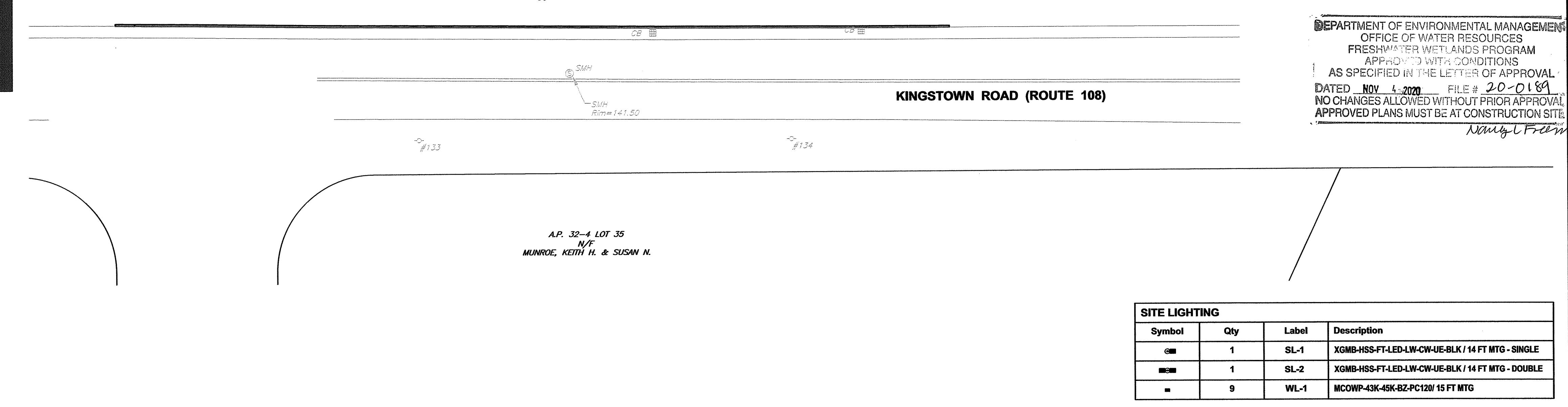
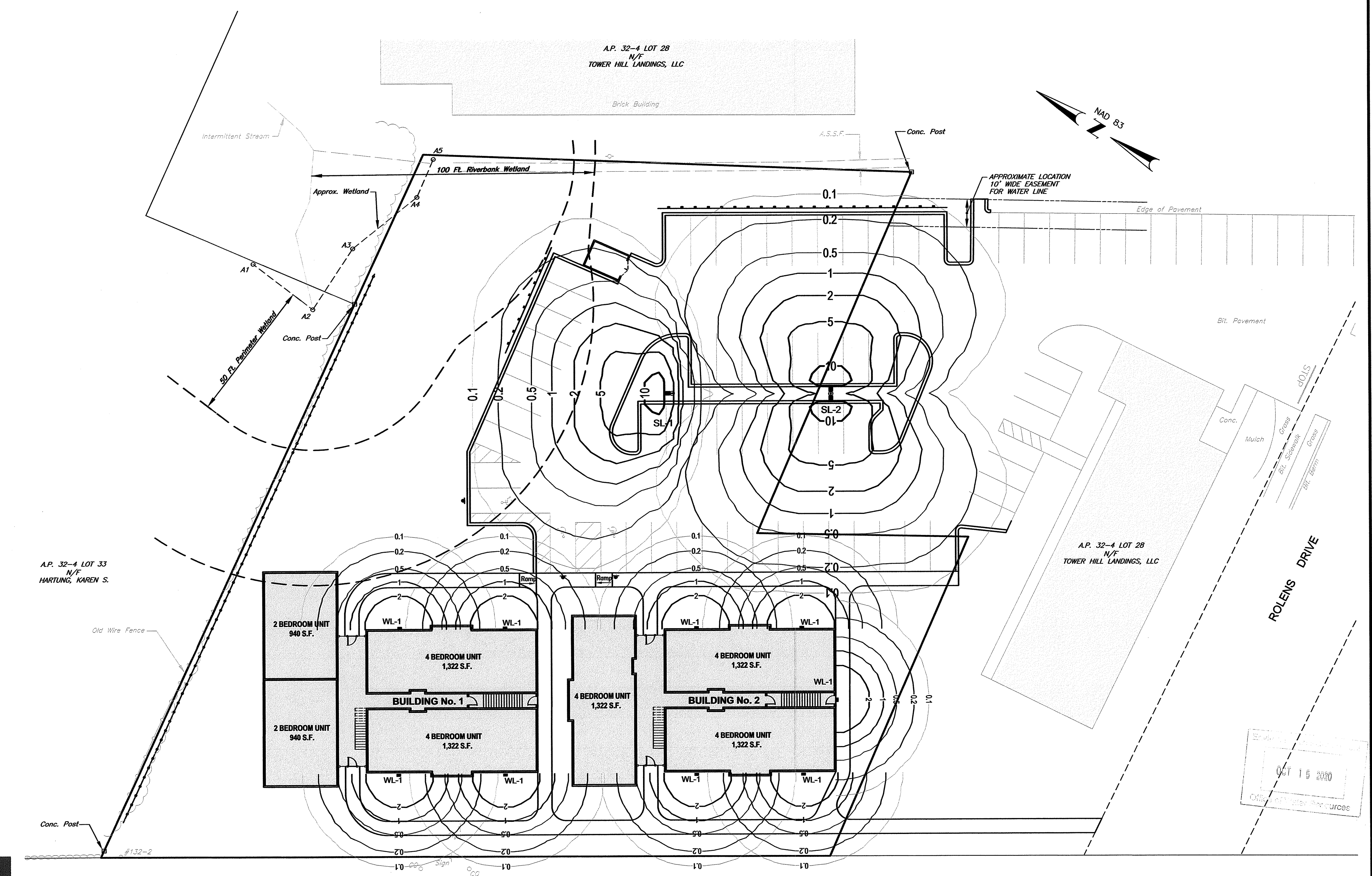
- Lens is designed to provide high efficiency and to target the light where needed to reduce glare and light pollution.
- Fixture is designed to be dimmable and to be used in a variety of applications.
- Fixture is designed to be dimmable and to be used in a variety of applications.

Electrical

- High performance driver features over-voltage, under-voltage, and over-temperature protection.
- High performance driver features over-voltage, under-voltage, and over-temperature protection.

Construction

- High performance driver features over-voltage, under-voltage, and over-temperature protection.
- High performance driver features over-voltage, under-voltage, and over-temperature protection.



SITE LIGHTING

Symbol	Qty	Label	Description
SL-1	1	SL-1	XGBM-HSS-FT-LED-LW-CW-UE-BLK / 14 FT MTG - SINGLE
SL-2	1	SL-2	XGBM-HSS-FT-LED-LW-CW-UE-BLK / 14 FT MTG - DOUBLE
WL-1	9	WL-1	MCOWP-43K-45K-BZ-PC120 / 15 FT MTG

CROSSMAN ENGINEERING

Rhode Island: 151 Centerville Road, Warwick, RI 02886, Phone: (401) 738-5660
 Massachusetts: 103 Commonwealth Avenue, North Attleboro, MA 02763, Phone: (508) 695-1700
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STEVEN M. CABRAL

No. 4947

REGISTERED PROFESSIONAL ENGINEER

PROJECT TITLE:
TOWER HILL LANDINGS ANNEX LLC

PLAT MAP 32-4, LOT 32 and 28
 ZONING DISTRICT: CN and R-10
 COMMERCIAL NEIGHBORHOOD and
 MEDIUM HIGH DENSITY RESIDENTIAL DISTRICT
 SPECIAL MANAGEMENT DISTRICT

2095 KINGSTOWN ROAD (ROUTE 108)
 SOUTH KINGSTOWN, R.I.

PREPARED FOR:
TOWER HILL LANDINGS, LLC

543 THAMES STREET
 NEWPORT, RHODE ISLAND
 02840

DRAWING TITLE:
LIGHTING PLAN

DATE: JULY 2020 SCALE: 1"=20'
 DWG. NAME: 2449-E01-LIGHT-R2.dwg

REVISIONS

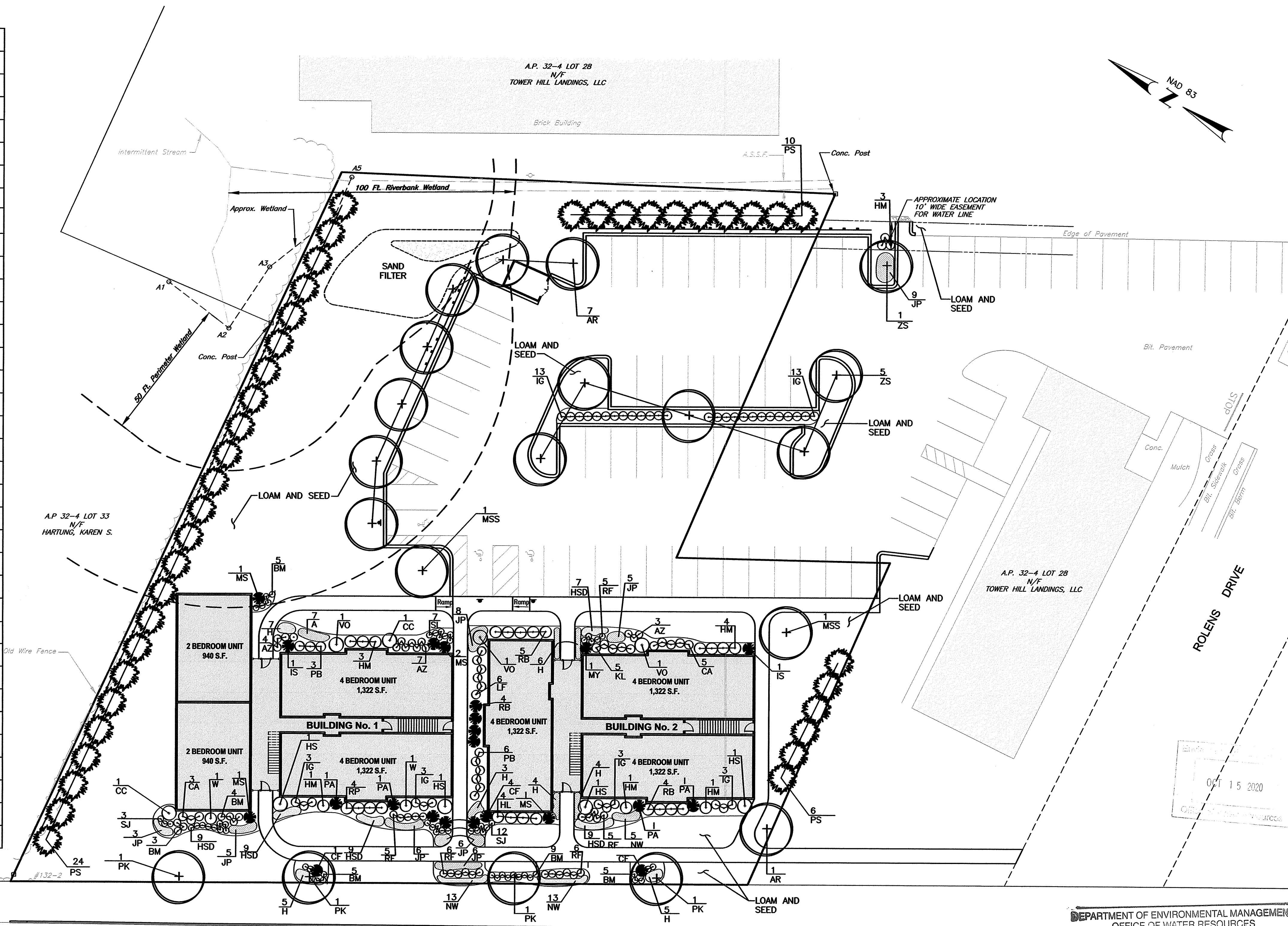
NUMBER	REMARKS	DATE
1	GRADING	09/15/20
2	RIDEM COMMENTS	10/14/20

DRAWING NUMBER
E1

SHEET: 16 OF 18

PLANTING SCHEDULE

TREES				
Key	Botanical Name <i>Common Name</i>	Size	Remarks	
AR	<i>Acer rubrum</i> 'October Glory' <i>October Glory Red Maple</i>	2 - 2 1/2" cal.	B & B	as shown
PS	<i>Pinus strobus</i> 'Fastigiata' <i>Columnar White Pine</i>	8 - 10' ht.	B & B	as shown
PK	<i>Prunus serrulata</i> 'Kwanzan' <i>Kwanzan Cherry</i>	2 - 2 1/2" cal.	B & B	as shown
MSS	<i>Magnolia stellata</i> 'Royal Star' <i>Star Magnolia</i>	8 - 10' ht.	B & B	as shown
ZS	<i>Zelkova serrata</i> 'Green Vase' <i>Green Vase Japanese Zelkova</i>	2 - 2 1/2" cal.	B & B	as shown
SHRUBS				
AZ	<i>Azalea</i> 'Mother's Day' <i>Dark Pink Azalea</i>	#5	Cont.	as shown
BM	<i>Buxus microphylla</i> 'Green Velvet' <i>Green Velvet Boxwood</i>	#3	Cont.	as shown
CF	<i>Chamaecyparis p. 'Filifera Aurea'</i> <i>Gold Threadleaf Falsecypress</i>	#5	Cont.	as shown
CA	<i>Clethra alnifolia</i> <i>Summersweet Clethra</i>	#3	Cont.	as shown
CC	<i>Cotinus coggyria</i> 'Atropurpurea' <i>Red leaf Smokebush</i>	#5	Cont.	as shown
HS	<i>Hybiscus syriacus</i> 'Aphrodite' <i>Pink Rose of Sharon</i>	4 - 5'	B & B	as shown
HM	<i>Hydrangea macrophylla</i> 'Nikko Blue' <i>Blue Hydrangea</i>	#5	Cont.	as shown
HL	<i>Hydrangea p. 'Little Lime'</i> <i>Green Hydrangea</i>	#3	Cont.	as shown
IS	<i>Ilex crenata</i> 'Steeds' <i>Steeds Upright Japanese Holly</i>	#5	Cont.	as shown
IG	<i>Ilex glabra</i> 'Compacta' <i>Compact Inkberry</i>	#5	Cont.	as shown
LF	<i>Leucothoe fontansiana</i> <i>Drooping Leucothoe</i>	#2	Cont.	as shown
PA	<i>Picea abies</i> 'Conica' <i>Dwarf Alberta Spruce</i>	4 - 5'	B & B	as shown
PB	<i>Pieris 'Brouwer's Beauty'</i> <i>Brouwer's Beauty Andromeda</i>	#5	Cont.	as shown
RB	<i>Rhododendron 'Boule de Neige'</i> <i>White Compact Rhododendron</i>	#5	Cont.	as shown
RP	<i>Rhododendron 'PJM Compacta'</i> <i>Compact Lavender Rhododendron</i>	#5	Cont.	as shown
SL	<i>Spirea japonica</i> 'Little Princess' <i>Little Princess Spirea</i>	#3	Cont.	as shown
VO	<i>Viburnum opulus</i> <i>Snowball Viburnum</i>	#5	Cont.	as shown
W	<i>Weigela F. 'Variegata'</i> <i>Variegated Weigela</i>	#5	Cont.	as shown
GROUND COVER/PERENNIALS/GRASSES				
A	<i>Alchemilla mollis</i> <i>Lady's Mantle</i>	#2	Cont.	24" o.c.
HSD	<i>Hemerocallis 'Stella D'Oro'</i> <i>Dwarf Yellow Daylily</i>	#1	Cont.	24" o.c.
H	<i>Hosta 'Sun and Substance'</i> <i>Chartreuse Large Hosta</i>	#1	Cont.	24" o.c.
JP	<i>Juniperus procumbens</i> 'Nana' <i>Japanese Garden Juniper</i>	#2	Cont.	8" o.c.
MS	<i>Miscanthus sinensis</i> 'Gracilimus' <i>Maiden Hair Grass</i>	#3	Cont.	as shown
NW	<i>Nepeta 'Walker's Low'</i> <i>Catmint</i>	#1	Cont.	24" o.c.
RF	<i>Rosa 'Scarlet Flower Carpet'</i> <i>Scarlet Flower Carpet Rose</i>	#2	Cont.	24" o.c.
SJ	<i>Sedum s. 'Autumn Joy'</i> <i>Autumn Joy Stonecrop</i>	#1	Cont.	as shown



DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED NOV 4 2020 FILE # 20-0189
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

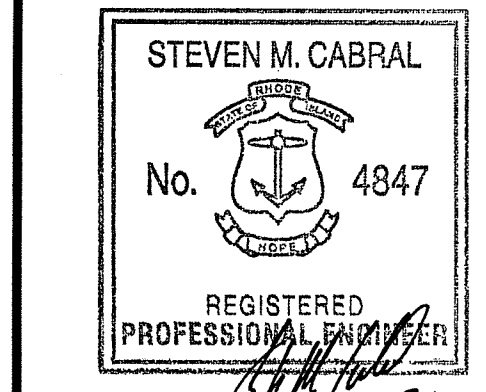
Nancy L. Friedman

CROSSMAN ENGINEERING
Rhode Island
151 Centerville Road
Warwick, RI 02886
Phone: (401) 738-6660
Email: cei@crossmaneng.com

Massachusetts
103 Commonwealth Avenue
North Attleboro, MA 02763
Phone: (508) 695-4700

- Civil
- Transportation
- Environmental
- Site Planning
- Surveying
- Permitting
- Landscape Architecture

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PROJECT TITLE:
TOWER HILL LANDINGS ANNEX LLC

PLAT MAP 32-4, LOT 32 and 28
ZONING DISTRICT: CN and R-10
COMMERCIAL NEIGHBORHOOD and
MEDIUM HIGH DENSITY RESIDENTIAL DISTRICT
and KINGSTOWN ROAD
SPECIAL MANAGEMENT DISTRICT
2095 KINGSTOWN ROAD (ROUTE 108)
SOUTH KINGSTOWN, R.I.

PREPARED FOR:
TOWER HILL LANDINGS, LLC

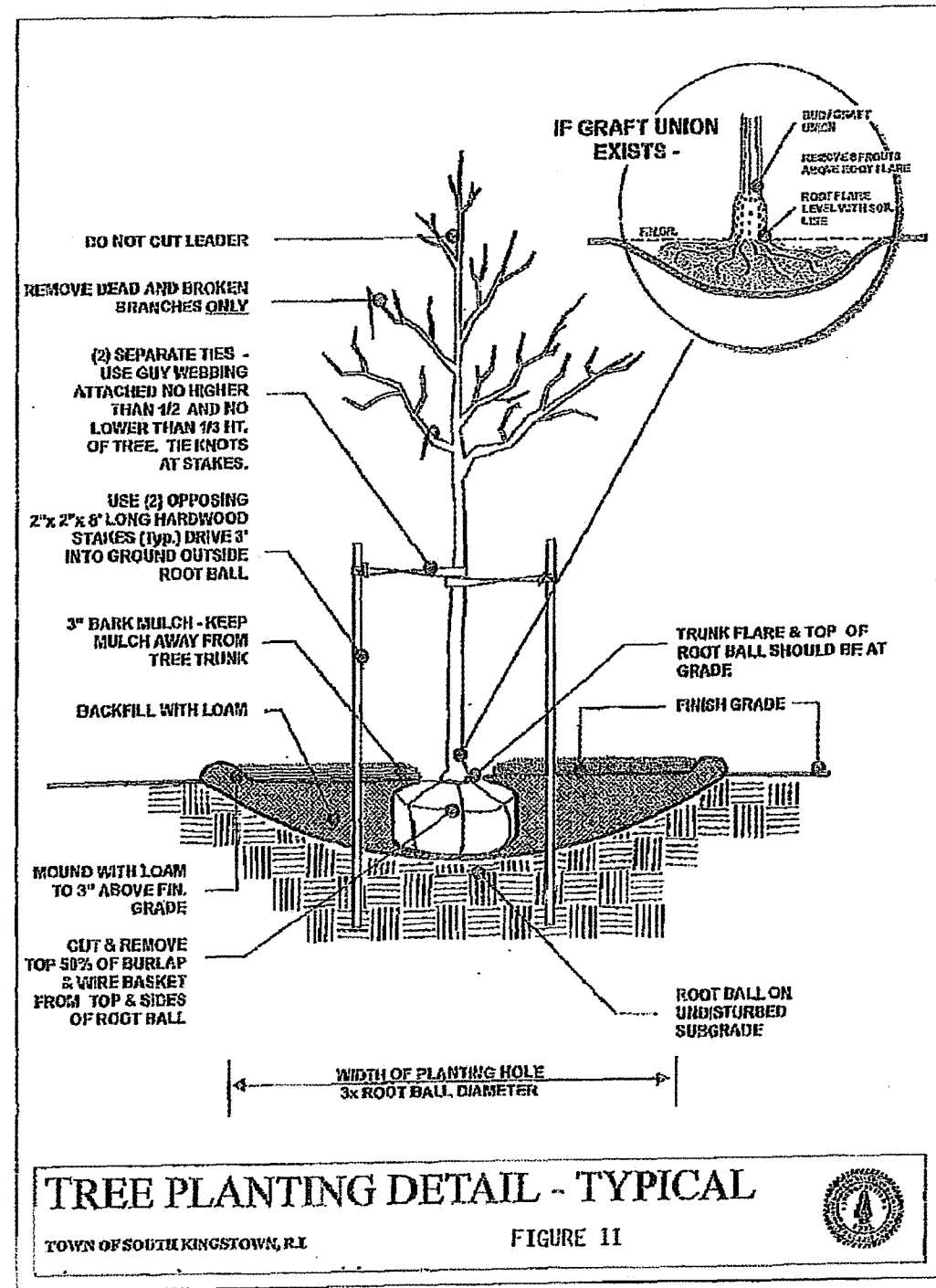
543 THAMES STREET
NEWPORT, RHODE ISLAND
02840

DRAWING TITLE:
LANDSCAPE PLAN

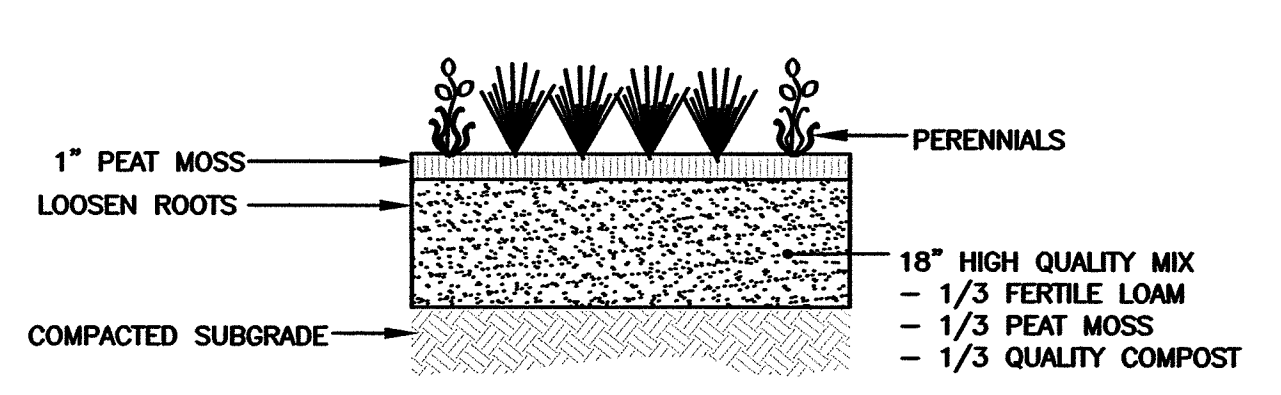
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DWG. NAME: 2449-L01-LAND-R2.dwg

REVISIONS	NUMBER	REMARKS	DATE
1		GRADING	09/15/20
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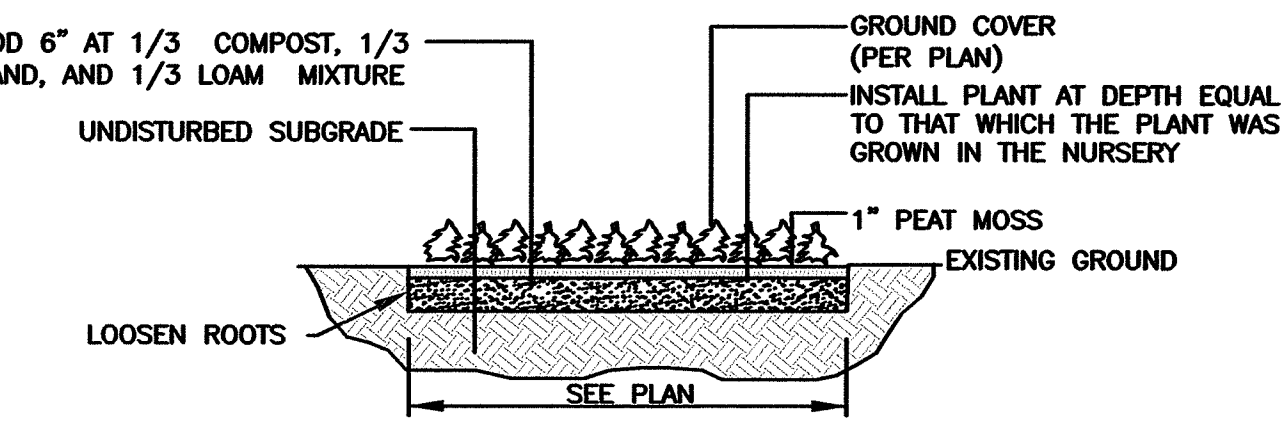
DRAWING NUMBER
L1
SHEET: 17 OF 18



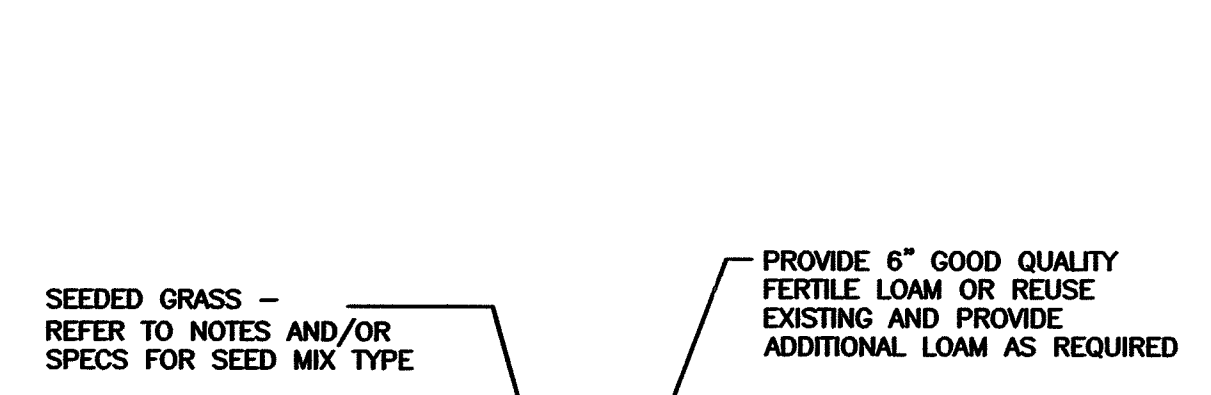
TREE PLANTING DETAIL - TYPICAL
TOWN OF KINGSTOWN, RI
FIGURE 11



PERENNIAL DETAIL
NOT TO SCALE



PERENNIAL and GROUND COVER PLANTING DETAIL
NOT TO SCALE



LOAM-SEED DETAIL
NOT TO SCALE

NOTE:
THE CONTRACTOR WILL BE RESPONSIBLE FOR WATERING LAWN DURING THE COURSE OF THE GROWING SEASON FOR A PERIOD OF ONE (1) YEAR.

SEEDING NOTES

- LOAM SHALL BE SPREAD TO A MINIMUM DEPTH OF 6" OVER ALL AREAS DESIGNATED ON PLANS.
- SHAPE AND SMOOTH THE SURFACE TO THE LINES AND GRADES AS SHOWN ON PLANS.
- FERTILIZE WITH 10-10-10 OR EQUIVALENT ANALYSIS. AT LEAST 40% OF THE FERTILIZER NITROGEN SHALL BE IN A SLOW RELEASE FORM. INCORPORATE THE FERTILIZER INTO THE TOP 3 TO 4 INCHES OF THE PLANTING SOIL. APPLY AT THE RATE OF 8 POUNDS PER 1,000 SQUARE FEET AT SEEDING.
- LIME: SPREAD EVENLY AND WORK INTO THE SOIL DURING PREPARATION OF SEED BED AT THE RATE OF ONE TON PER ACRE. INCORPORATE INTO THE SOIL BY DIGGING OR OTHER APPROVED METHOD. DISTRIBUTE LIME UNIFORMLY AND WORK INTO TOP 4 INCHES OF TOP SOIL (MINIMUM) AND UNIFORMLY BLEND BY DIGGING OR ROTOTILLING.
- APPLICATION OF SEED:
 - RATE OF APPLICATION OF SEED SHALL BE 8 POUNDS PER 1,000 SQUARE FEET OR AS INDICATED ON PLANS.
 - SEEDING SHALL BE DONE IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND INSTRUCTIONS, AND ONLY DURING THE FOLLOWING DATES:
 SPRING SEEDING: MARCH 15 TO MAY 31
 FALL SEEDING: AUGUST 15 TO OCTOBER 15
 - THE CONTRACTOR SHALL KEEP ALL SEEDING AREAS WATERED AND IN GOOD CONDITION, RESEEDING IF AND WHEN NECESSARY FOR AN 8 WEEK PERIOD OR UNTIL A GOOD, HEALTHY, UNIFORM GROWTH IS ESTABLISHED OVER THE ENTIRE AREA. THE CONTRACTOR SHALL ALSO MAINTAIN THESE AREAS IN AN APPROVED CONDITION UNTIL PROVISIONAL ACCEPTANCE.
 - DURING THIS PERIOD, WATER TURF AS NECESSARY TO MAINTAIN AN ADEQUATE SUPPLY OF MOISTURE WITHIN THE ROOT ZONE. AN ADEQUATE SUPPLY OF MOISTURE IS EQUIVALENT OF ONE INCH OF ABSORBED WATER PER WEEK THAT IS DELIVERED AT WEEKLY INTERVALS IN THE FORM OF NATURAL RAIN OR IS AUGMENTED AS REQUIRED BY PERIODIC WATERING.
 - OVERSEED WHEN NECESSARY TO PROMOTE GRASS GROWTH.
 - REPLANT AREAS VOID OF TURF ONE SQUARE FOOT OR LARGER.
- SEED:
 - SEED ALL AREAS DESIGNATED ON PLAN AS WELL AS ALL DISTURBED EXISTING AREAS WITH THE FOLLOWING SEED MIX:

SEED MIX No. 1
(SLOPES, MEADOWS AND GENERAL RESTORATION AREA)

TYPE	% BY WEIGHT
CREeping RED FESCUE	70%
ASTORIA BENTGRASS	5%
BIRDSFOOT TREFLOI	15%
PERENNIAL RYE GRASS	10%

APPLICATION RATE = 200 lbs. / ACRE

SEED MIX No. 2
(ENDOPHYTE ENHANCED MIX)
(MOWED AREAS)

TYPE	% BY WEIGHT
IMPROVED PERENNIAL RYE	30%
TURF TYPE TALL FESCUE	30%
CHEWINGS FESCE	30%
KENTUCKY BLUEGRASS 98/85	10%

APPLICATION RATE = 200 lbs. / ACRE

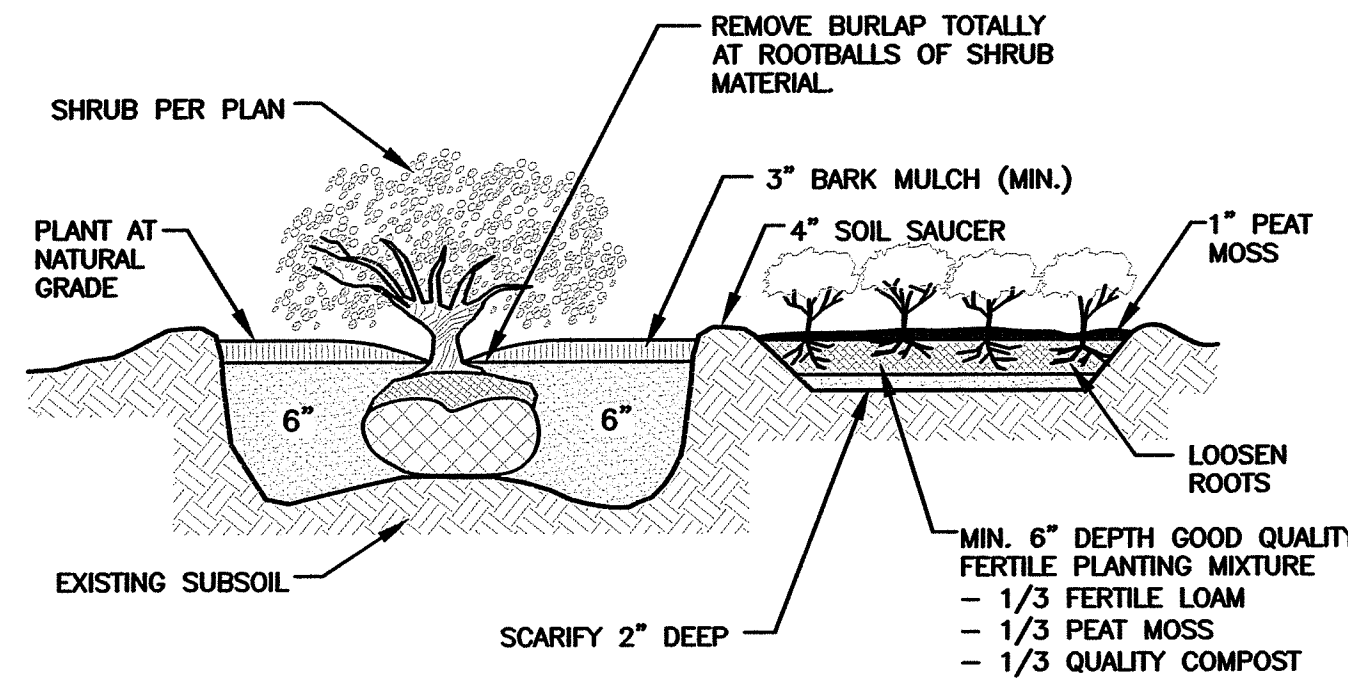
SEED MIX No. 3
(DETENTION/RETENTION AREAS)

TYPE	% BY WEIGHT
CREeping RED FESCUE	28%
TALL FESCUE	24%
PERENNIAL RYE GRASS	18%
LITTLE BLUESTEM	15%
REDTOP	4%
NORTHEAST WILDFLOWER MIX	4%

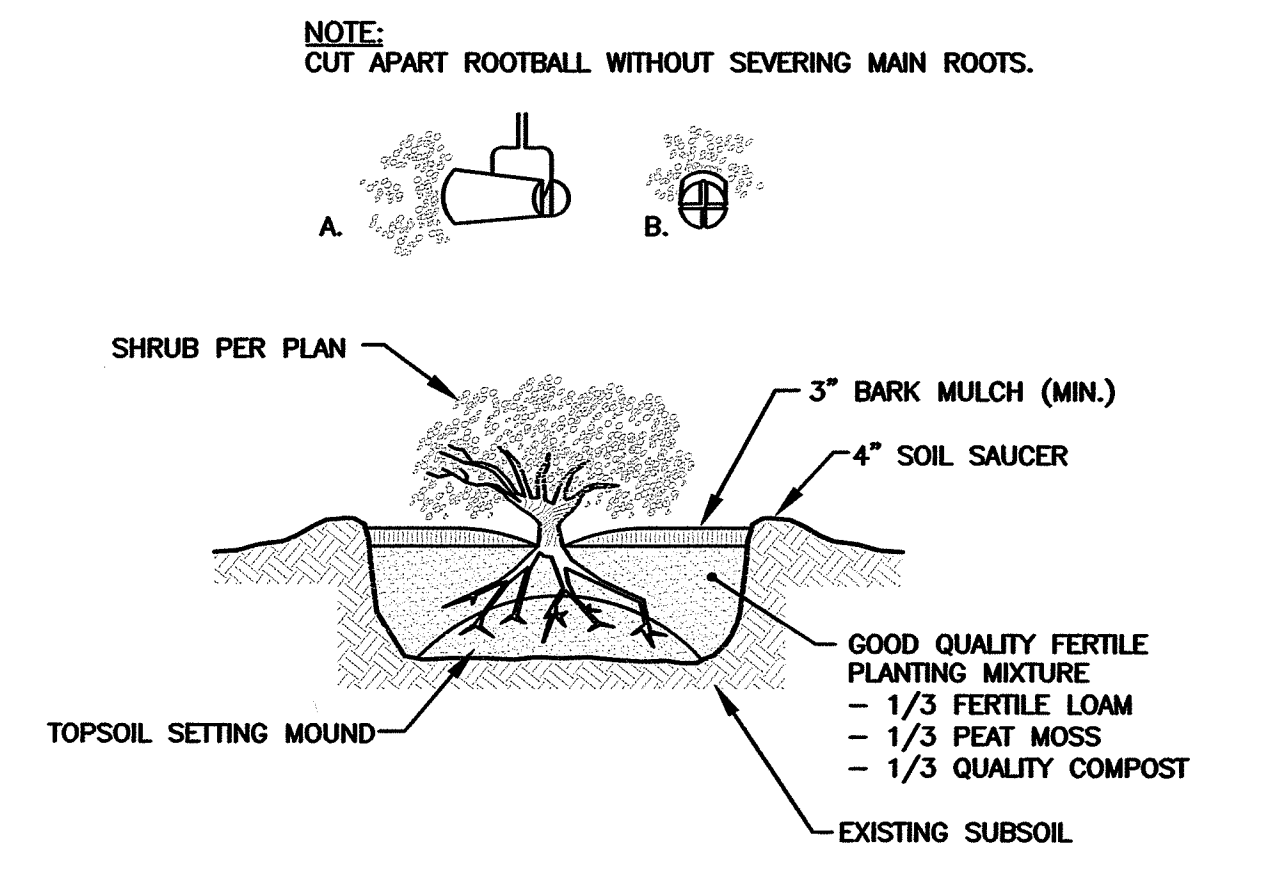
APPLICATION RATE = 220 lbs. / ACRE
OR 5 LBS. PER 1,000 S.F.

LANDSCAPE CONSTRUCTION NOTES

- FURNISH AND INSTALL ALL PLANTS SHOWN ON THE DRAWINGS SPECIFIED HEREIN, AND IN THE QUANTITIES LISTED ON THE PLANT LIST. NO SUBSTITUTIONS WILL BE PERMITTED, UNLESS APPROVED BY THE LANDSCAPE ARCHITECT.
- LOAM TO BE SCREENED, GOOD QUALITY, FERTILE, FREE OF WEEDS, STICKS, STONES OVER 3/4", AND ROOTS. SPREAD TO A MINIMUM OF 6" OVER ALL PLANTED AREAS.
- BIO-DETENTION AREAS-PLANTING SOIL AND MULCH: LOAMY SAND TO A SANDY LOAM-80% SAND <20% SILT, <2% CLAY. WELL AGED GRADED COMPOST (25% OF SOIL MIX). WELL AGED, AERATED DARK BROWN HARD-WOOD MULCH (AGED 6 MONTHS).
- NURSERY STOCK SHALL MEET THE STANDARDS OF THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION AS TO GRADING AND QUALITY.
- ONLY NURSERY-GROWN PLANTS, GROWN IN ACCORDANCE WITH ACCEPTED HORTICULTURAL PRACTICES, AND GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST TWO (2) YEARS, WILL BE ACCEPTED.
- CALIPER MEASUREMENTS FOR ALL NEW PLANT STOCK SHALL BE TAKEN SIX (6) INCHES ABOVE GRADE FOR TREES UNDER FOUR (4) INCHES AND TWELVE (12) INCHES ABOVE GRADE FOR TREES OVER FOUR (4) INCHES.
- ALL TREES SHALL BE A MINIMUM OF SEVEN (7) FEET ABOVE FINISHED GRADE WHEN TREES ARE LOCATED WITHIN VEHICULAR AND PEDESTRIAN TRAVEL WAYS.
- SET PLANTS PLUMB AND AT A LEVEL THAT AFTER SETTLEMENT THEY BEAR THE SAME RELATION TO THE SURROUNDING GROUND AS THEY BORE TO THE GROUND FROM WHICH THEY WERE DUG. SETTLE BACKFILL MATERIAL FOR PLANTS, THOROUGHLY AND PROPERLY BY FIRING OR TAMPING. FORM SAUCERS, CAPABLE OF HOLDING WATER ABOUT INDIVIDUAL PLANTS, BY PLACING RIDGES OF PLANTING SOIL AROUND EACH.
- STAKE ALL TREES OVER 5 FEET AS SHOWN ON PLANS. REMOVE STAKES AT THE END OF THE GUARANTEE PERIOD.
- WATERING: WATER ALL PLANTS WITHIN 48 HOURS AFTER PLANTING. IF CONDITIONS WARRANT, AND AS MANY TIMES THEREAFTER TO SUSTAIN HEALTHY CONDITIONS UNTIL LANDSCAPE INSTALLATION IS COMPLETED. SATURATE THE SOIL AROUND EACH PLANT THOROUGHLY AT EACH WATERING.
- PRUNING: PRUNE PLANTS, AS DIRECTED BY OWNER, AT THE PROJECT SITE BEFORE OR IMMEDIATELY AFTER PLANTING IN ACCORDANCE WITH THE BEST HORTICULTURAL PRACTICE. CUT BROKEN, DEAD OR INJURED BRANCHES IMMEDIATELY ABOVE THE STEM COLLAR ON THE TRUNK OR LIMB. PRUNE ALL BROKEN ROOTS ON THE PLANT SIDE OF THE BREAK. PAINT CUTS OVER 3/4" IN DIAMETER WITH TREE WOUND PAINT. PRUNING SHALL NOT DEFORM OR OTHERWISE DESTROY THE TYPICAL SHAPE OR SYMMETRY OF THE PLANT, AND SHALL NOT REDUCE THE HEIGHT BY MORE THAN ONE-THIRD. DO NOT CUT BACK THE LEADER OF THE PLANT UNLESS DIRECTED BY THE LANDSCAPE ARCHITECT.
- FERTILIZING: FERTILIZE SHRUB BEDS WITH 10-10-10 FERTILIZER BROADCAST AT A RATE OF THREE POUNDS PER 100 SQUARE FEET OF SURFACE AREA BROADCAST. APPLY THE FERTILIZER UNIFORMLY TO THE SURFACE BEDS AND WORK INTO THE UPPER TWO INCHES OF SOIL. FERTILIZE INDIVIDUAL TREES AS PER MANUFACTURER'S INSTRUCTIONS. APPLY A SECOND APPLICATION OF FERTILIZER TO ALL PLANT ITEMS AT THE SAME SPECIFIED RATES OVER THE MULCH AT THE END OF AN EIGHT WEEK PERIOD.
- LIMING: ADD POWDERED LIME EVERY SIX MONTHS - OR SLOW RELEASE GRANULAR LIME-AS PER MANUFACTURER'S INSTRUCTION.
- MULCHING: WITHIN A 72 HOUR PERIOD AFTER PLANTING, COVER ALL PLANTED AREAS WITH 3" SHREDDED BARK MULCH. NO RED OR DYED MULCH IS TO BE USED. MULCH SHOULD BE PULLED ONE INCH AWAY FROM PLANT TRUNK OR STEM, AND NOT ALLOWED TO REST DIRECTLY AGAINST THE TRUNK OR STEM.
- GUARANTEE: ALL PLANTS FURNISHED BY THE CONTRACTOR SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR AFTER PRELIMINARY INSPECTION AND SHALL BE ALIVE AND IN SATISFACTORY GROWTH AT THE END OF THE GUARANTEE PERIOD. ALL DEAD OR DYING PLANT MATERIAL SHALL BE REPLACED AT ONCE BY THE CONTRACTOR, AT NO ADDITIONAL COST TO THE OWNER.



SHRUB and GROUND COVER PLANTING DETAIL
NOT TO SCALE



CONTAINER GROWN PLANTING DETAIL
NOT TO SCALE

Crossman Engineering
Rhode Island
151 Centerville Road
Warwick, RI 02886
Phone: (401) 738-5660

Massachusetts
103 Commonwealth Avenue
North Attleboro, MA 02763
Phone: (508) 695-1700

Email: ce@crossmaneng.com

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STEVEN M. CABRAL
No. 4847
REGISTERED PROFESSIONAL ENGINEER
10/15/20

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
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Mary C. Ferraro

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and KINGSTOWN ROAD
SPECIAL MANAGEMENT DISTRICT
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SOUTH KINGSTOWN, RI

PREPARED FOR:
TOWER HILL LANDINGS, LLC

543 THAMES STREET
NEWPORT, RHODE ISLAND
02840

DRAWING TITLE:
LANDSCAPE DETAIL PLAN

DATE: JULY 2020 SCALE: AS SHOWN
DWG. NAME: 2449-L02-LNDET-R2.dwg

REVISIONS

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