

LOCATION MAP

N.T.S.

LAND DEVELOPMENT PLANS ISSUED FOR PERMITTING

PROPOSED RETAIL DEVELOPMENT 1860 KINGSTOWN ROAD (RI ROUTE 108) SOUTH KINGSTOWN, RHODE ISLAND

PREPARED FOR:
GARRETT HOMES, LLC
59 FIELD STREET
TORRINGTON, CT 06790

PREPARED BY:



100 CONSTITUTION PLAZA, 10TH FLOOR
HARTFORD, CONNECTICUT 06103
(860) 249-2200
(860) 249-2400 Fax

NOT FOR CONSTRUCTION
FOR PERMITTING PURPOSES ONLY

SUBCONSULTANTS:



VICINITY MAP

SCALE: 1"=200'

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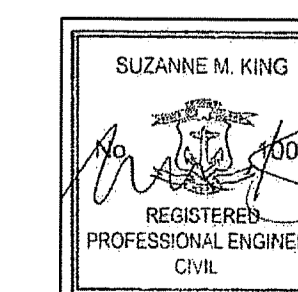
DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED Feb. 3, 2021 FILE # 20-0238
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

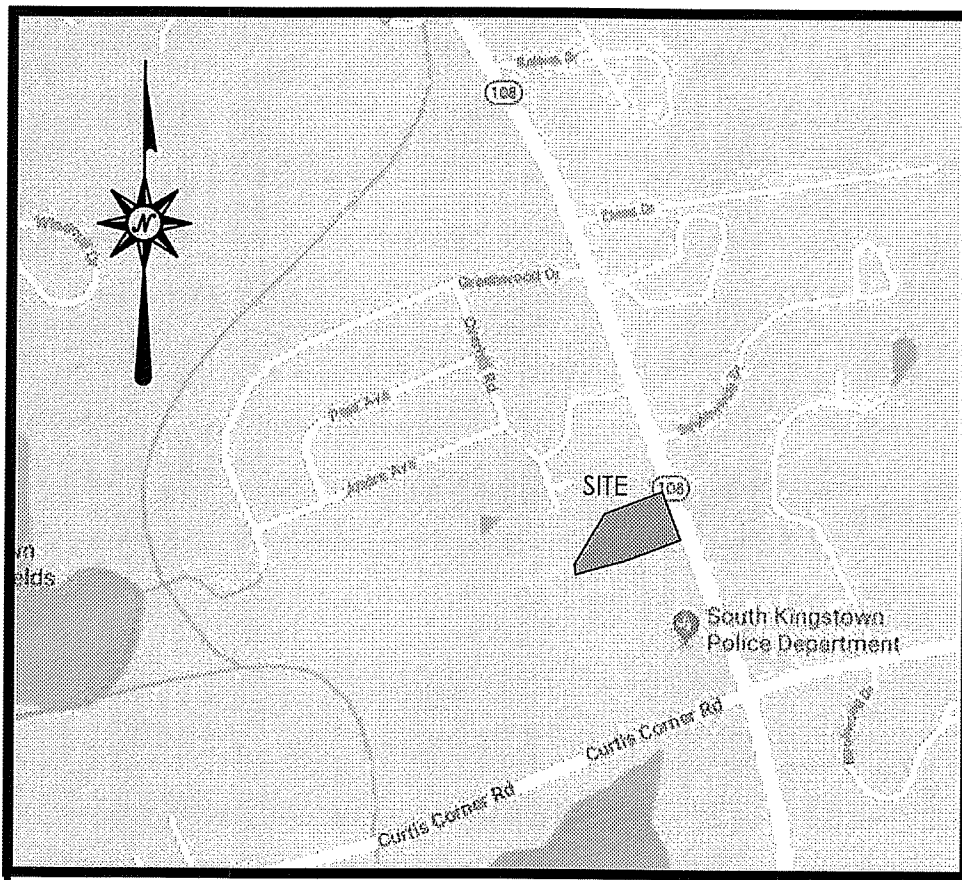
Suzanne M. King

JAN 19 2021

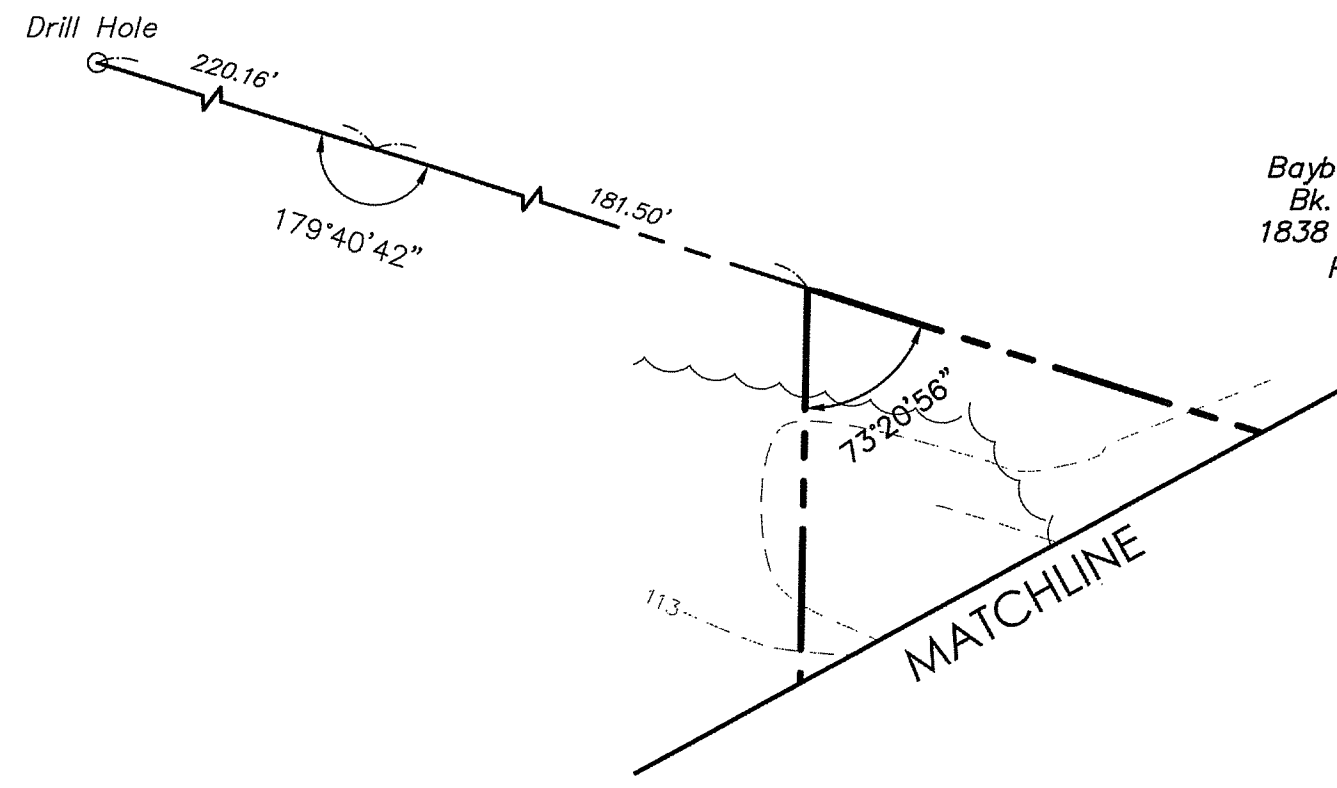
DEVELOPER: GARRETT HOMES, LLC 59 FIELD STREET TORRINGTON, CT	OWNER 1 (PARCEL 40-1/125): SOUTH SHORE MENTAL HEALTH CENTER, INC 765 ALLENS AVE, STE 100 PROVIDENCE, RI 02905	OWNER 2 (PARCEL 40-1/126): ALTERNATIVE LIVING CONCEPTS C/O GATEWAY HEALTHCARE 249 ROOSEVELT AVE, STE 205 PAWTUCKET, RI 02860
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DATES		
ISSUE DATE:	JULY 30, 2020	
REVISION:	JANUARY 15, 2021	(REVISED PER RIDEM COMMENTS)



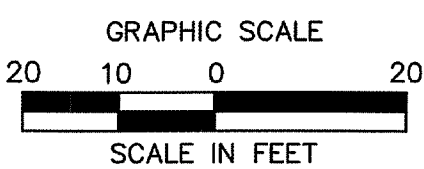


LOCATION MAP
NOT TO SCALE

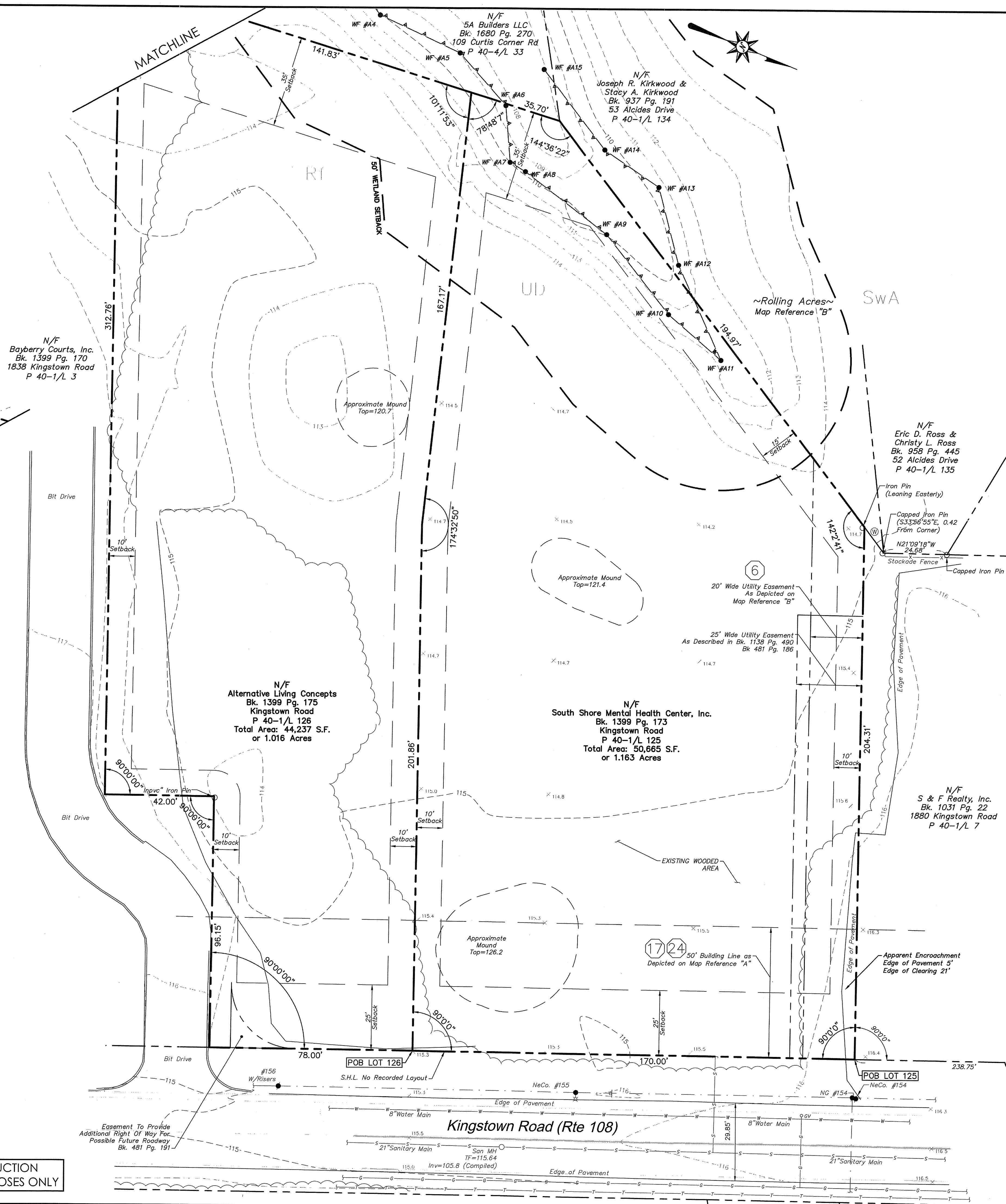


LEGEND

- Property Line
- Easement Line
- Setback Line
- Limit of Wetlands
- Wetlands/Marsh
- Wetland Setback
- Treeline
- Major Contour
- Minor Contour
- Soil Boundaries
- Soil Type
- Overhead Wires
- Gas Line
- Sanitary Sewer
- Storm Sewer
- Underground Telecommunications Line
- Handhole
- Utility Pole
- Utility Pole w/ Light
- Guy Wire
- Gas Valve
- Manhole
- Water Valve
- Sign
- Title Commitment Schedule B, Section 2 Items
- Soil Type
- Soil Type Boundary
- Wetland Limit
- Wetland Flag
- Monitoring Well

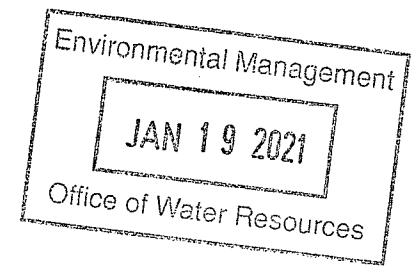


**NOT FOR CONSTRUCTION
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GENERAL NOTES

1. NORTH ARROW AND BEARINGS REFER TO NAD 83 AND ARE BASED ON GPS OBSERVATIONS PERFORMED BY COMPANIES ON 7/18/2018.
2. ELEVATIONS REFER TO PROJECT DATUM AND ARE BASED ON GPS OBSERVATIONS PERFORMED BY COMPANIES ON 7/18/2018. TO CONVERT TO NAVD 88, MINUS 1 FOOT FROM PROJECT DATUM ELEVATIONS.
3. PARCEL IS LOCATED IN ZONE "X", (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS DEPICTED ON F.I.R.M. COMMUNITY PANEL NO. 445407 0184 J PANEL 184 OF 368 REVISED: OCTOBER 16, 2013.
4. THE UNDERGROUND UTILITIES DEPICTED HAVE BEEN PLOTTED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES DEPICTED COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES DEPICTED ARE IN THE EXACT LOCATION INDICATED THOUGH THEY ARE PLOTTED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY EXPOSED THE UNDERGROUND UTILITIES. THE CONTRACTOR SHALL CONFIRM THE LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF EXCAVATION.
5. WETLAND DELINEATION AND LOCATIONS PROVIDED BY NATURAL RESOURCE SERVICES, INC.
6. NO EVIDENCE OF HISTORIC CEMETERIES ARE PRESENT ON THE SITE.
7. THERE ARE NO UNIQUE HISTORIC FEATURES PRESENT ON THE SITE.
8. THERE ARE NO UNIQUE NATURAL FEATURES PRESENT ON THE SITE OTHER THAN INLAND WETLANDS AS NOTED.
9. THE DEVELOPMENT PARCEL IS NOT LOCATED WITHIN THE FOLLOWING AREAS OF SPECIAL CONCERN:
 - A. NATURAL HERITAGE AREAS, AS DEFINED BY RIDEM;
 - B. THE AREA UNDER THE JURISDICTION OF THE NARROW RIVER SPECIAL AREA MANAGEMENT PLAN, AS DEFINED BY RI CRMC;
 - C. THE AREA UNDER THE JURISDICTION OF THE SALT PONDS REGION SPECIAL AREA MANAGEMENT PLAN, AS DEFINED BY RI CRMC;
 - D. THE TOWN OF SOUTH KINGSTOWN GROUNDWATER PROTECTION OVERLAY DISTRICT;
 - E. AN OMT'S CRITICAL RESOURCE AREA, AS DEFINED BY RIDEM; AND
 - F. A DRINKING WATER SUPPLY WATERSHED, AS DEFINED BY RIDEM.
10. THE DEVELOPMENT PARCEL IS LOCATED ADJACENT TO A WETLAND THAT DISCHARGES TO SEGMENT 3 OF ROCKY BROOK WITHIN THE SAUGATUCKET RIVER WATERSHED AS DESCRIBED IN THE RESTORATION STUDY PREPARED BY RIDEM ENTITLED "FINAL PATHOGEN TMDL FOR SAUGATUCKET RIVER, MITCHELL BROOK, ROCKY BROOK AND INDIAN RUN BROOK"
11. THE DEVELOPMENT PARCEL IS NOT LISTED ON THE NATIONAL REGISTER OF HISTORIC PLACES.



PLAT REFERENCES

- A. PLAT OF LAND IN SOUTH KINGSTOWN, R.I. SURVEYED FOR ESTATE OF SAMUEL A. RODMAN, SCALE 1"=100', DATE FEBRUARY 1950 AND FILED AS PLAT BOOK 12 PAGE 872 OF THE SOUTH KINGSTOWN LAND RECORDS.
- B. "PROPOSED LOT PLAN, ADMINISTRATIVE SUBDIVISION FOR CERTAIN LAND OF SOUTH COUNTY SAND + GRAVEL CO. LOCATED ON KINGSTOWN ROAD AND CURTIS CORNER ROAD IN THE TOWN OF SOUTH KINGSTOWN, RI", SCALE 1"=40', DATE 2/1/1994, REVISED THRU 2/15/1994, PREPARED BY W & W LAND SURVEYORS INC, PEACE DALE, RI AND FILED AS PLAT BOOK 24 PAGE 11 OF THE SOUTH KINGSTOWN LAND RECORDS.
- C. "FINAL PLAN, DEFINITIVE PLAN FOR ROLLING ACRES SECTION 7 A.P. 40-1, LOT 2, SOUTH KINGSTOWN, RHODE ISLAND", SCALE 1"=40', DATE 7/12/1999, REVISED THRU 3/23/2000, SHEET NO. 2 OF 9, PREPARED BY ENVIRONMENTAL PLANNING & SURVEYING, INC. WEST KINGSTON, RHODE ISLAND AND FILED AS PLAT 2000-59 OF THE SOUTH KINGSTOWN LAND RECORDS.
- D. "ADMINISTRATIVE SUBDIVISION FOR A.P.-1 LOTS 3, 125 & 126, KINGSTOWN ROAD (ROUTE 108) IN SOUTH KINGSTOWN, RHODE ISLAND", SCALE 1"=30', DATE 9/16/2009, REVISED THRU 5/10/2010, PREPARED BY COMMONWEALTH ENGINEERS & CONSULTANTS, INC. PROVIDENCE, RHODE ISLAND AND FILED AS PLAT 2010-31 OF THE SOUTH KINGSTOWN LAND RECORDS.

SEE SHEET 2 OF 2 FOR LEGAL DESCRIPTIONS, TITLE COMMITMENT INFORMATION AND ZONING TABLE

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED Feb 3, 2021 FILE # 20-0238
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SURVEY CERTIFICATION

TO GATEWAY HEALTHCARE, INC., SUCCESSOR BY MERGER TO SOUTH SHORE MENTAL HEALTH CENTER, INC., ALTERNATIVE LIVING CONCEPTS, C/IC CAPITAL, LLC.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2018 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2,3,4,5,(A),8,9,11,13 AND 14 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON 7/18/2018.

DATED: _____ SIGNED: JENNIFER MARKS, LAND SURVEYOR #1960



100 Constitution Plaza
10th Floor
Hartford, CT 06103
(860) 249-2200
(860) 249-2400 Fax

APPLICANT:
Connell Homes, LLC
59 Field Street
Torrington, CT 06790

OWNER 1 (PARCEL 40-1/125):
SOUTH SHORE MENTAL HEALTH CENTER, INC.
765 ALLENS AVE, STE 100
PROVIDENCE, RI 02905

OWNER 2 (PARCEL 40-1/126):
ALTERNATIVE LIVING CONCEPTS
C/O GATEWAY HEALTHCARE
249 ROOSEVELT AVE, STE 205
PAWTUCKET, RI 02860

PROPOSED RETAIL DEVELOPMENT
1860 KINGSTOWN ROAD (RI ROUTE 108)
SOUTH KINGSTOWN, RHODE ISLAND

REVISIONS

No.	Date	Desc.
1	08/14/2020	update file commitment
2	10/15/2020	revisions based on Town review

Surveyed	A.V./J.I.C.
Drawn	A.V./J.I.S.H.
Reviewed	J.M.
Scale	1"=30'
Project No.	18C6704
Date	7/30/2020
CAD File:	Field Book:
AL18C670401	520

**ALTA/NSPS
LAND TITLE
SURVEY**

Sheet No. 1 of 2

AL-1

TITLE COMMITMENT INFORMATION

TITLE COMMITMENT REFERENCE NUMBER	RECORDING REFERENCE	DESCRIPTION	STATUS ON PLAT
AS TO ASSESSOR'S LOT 125:			
6	BK 798 PG 52	easements shown on plan	PLOTTED
7	BK 189 PG 166	Terms and conditions Zoning Board of Review	AFFECTS NOT PLOTTABLE
8	BK 635 PG 487	Terms and conditions Planning Department letter	AFFECTS NOT PLOTTABLE
9	BK 1046 PG 721	Permit by RI Department of Environmental Management	AFFECTS NOT PLOTTABLE
10	BK 1213 PG 571 BK 1252 PG 730 BK 1301 PG 72	Terms, conditions and stipulations contained in Notice of Decision	AFFECTS NOT PLOTTABLE
11	BK 1367 PG 372	Terms, conditions and stipulations contained in Planning Department letter	AFFECTS NOT PLOTTABLE
12	BK 1399 PG 177	Drainage Easement on adjacent Lot 3 in favor of South Shore Mental Health Center, Inc., lot 125 and Alternative Living Concepts, Lot 126	PLOTTED (SEE DETAIL)
13	BK 1719 PG 582	Terms, conditions and stipulations contained in Insignificant Alteration - Permit by DEM	AFFECTS NOT PLOTTABLE
14	BK 1721 PG 55	Terms, conditions and stipulations contained in Planning Board denial of Development Plan	AFFECTS NOT PLOTTABLE
15	BK 1726 PG 402	Terms, conditions and stipulation contained in Zoning Board of Review Notice of Decision	AFFECTS NOT PLOTTABLE
16	BK 1742 PG 139	Terms, conditions and stipulations contained in Zoning Board of Review Notice of Decision	AFFECTS NOT PLOTTABLE
17	PB 12 PG 872	Setback Line shown on plan	PLOTTED
AS TO ASSESSOR'S LOT 126:			
18	BK 189 PG 166	Terms and conditions Zoning Board of Review	AFFECTS NOT PLOTTABLE
19	BK 635 PG 487	Terms and conditions Planning Department letter	AFFECTS NOT PLOTTABLE
20	BK 1046 PG 721	Permit by RI Department of Environmental Management	AFFECTS NOT PLOTTABLE
21	BK 1213 PG 571 BK 1252 PG 730 BK 1301 PG 72	Terms, conditions and stipulations contained in Notice of Decision	AFFECTS NOT PLOTTABLE
22	BK 1367 PG 372	Terms, conditions and stipulations contained in Planning Department letter	AFFECTS NOT PLOTTABLE
23	BK 1399 PG 177	Drainage Easement on adjacent Lot 3 in favor of South Shore Mental Health Center, Inc., Lot 125 and Alternative Living Concepts, Lot 126	PLOTTED (SEE DETAIL)
24	PB 12 PG 872	Setback Line shown on plan	PLOTTED

REFERENCE: CATIC AGENT ID NO. 003371 DATED: 8/3/2020

ZONING TABLE

ITEM #	ITEM	REQUIREMENTS
1	MINIMUM LOT AREA	10,000 S.F.
2	MINIMUM LOT WIDTH	70 FEET
3	MAXIMUM BLDG LOT COVERAGE	30%
4	MAXIMUM HEIGHT PRINCIPLE BUILDING	35 FEET
5	MINIMUM FRONT SETBACK	25 FEET
6	MINIMUM SIDE SETBACK	10 FEET (15 FEET RESIDENTIAL)
7	MINIMUM REAR	20 FEET (35 FEET RESIDENTIAL)

NOT FOR CONSTRUCTION FOR PERMITTING PURPOSES ONLY

RECORD DESCRIPTION - LOT 126

BEGINNING A POINT ON THE WESTERLY SIDE OF KINGSTOWN ROAD AT THE NORTHEASTERLY CORNER OF THE HEREIN-DESCRIBED AP-1 LOT 126, AS SHOWN ON PLAN ENTITLED "ADMINISTRATIVE SUBDIVISION FOR A.P. 40-1 LOTS 3, 125 & 126 KINGSTOWN ROAD (ROUTE 108)" IN SOUTH KINGSTOWN, RHODE ISLAND, SCALE 1"=30', SHEET NO. 1 OF 1, DATED 9/16/09, REVISED 12/1/2009 AND 5/25/2010 PREPARED BY COMMONWEALTH ENGINEERS & CONSULTANTS, INC. SAID POINT BEING THE POINT AND PLACE OF BEGINNING;

THENCE RUNNING SOUTHERLY ALONG THE WESTERLY SIDE OF KINGSTOWN ROAD FOR A DISTANCE OF SEVENTY-EIGHT AND 00/100 FEET (78.00') TO A CORNER;

THENCE TURNING AN INTERIOR ANGLE OF 90°00'00" AND RUNNING EASTERLY FOR A DISTANCE OF NINETY-SIX AND 15/100 FEET (96.15') BOUNDED SOUTHERLY BY AP 40-1 LOT 3 TO A CORNER;

THENCE TURNING AN INTERIOR ANGLE OF 270°00'00" AND RUNNING SOUTHERLY FOR A DISTANCE OF FORTY-TWO AND 00/100 FEET (42.00') BOUNDED EASTERLY BY SAID AP 40-1 LOT 3 TO A CORNER;

THENCE TURNING AN INTERIOR ANGLE OF 90°00'00" AND RUNNING THREE HUNDRED TWELVE AND 77/100 FEET (312.77') BOUNDED SOUTHERLY BY SAID AP 40-1 LOT 3 TO A CORNER;

THENCE TURNING AN INTERIOR ANGLE OF 73°20'57" AND RUNNING NORTHEASTERLY FOR A DISTANCE OF ONE HUNDRED FORTY-ONE AND 83/100 FEET (141.83') BOUNDED WESTERLY BY LAND NOW OR FORMERLY OF DAVID L. RODMAN TO A CORNER;

THENCE TURNING AN INTERIOR ANGLE OF 101°11'53" AND RUNNING EASTERLY FOR A DISTANCE OF ONE HUNDRED SIXTY-SEVEN AND 17/100 FEET (167.17') BOUNDED NORTHERLY BY AP 40-1 LOT 125 TO A POINT;

THENCE TURNING AN INTERIOR ANGLE OF 185°27'10" AND RUNNING EASTERLY FOR A DISTANCE OF TWO HUNDRED ONE AND 88/100 FEET (201.88') BOUNDED NORTHERLY BY SAID AP 40-1 LOT 125 TO THE POINT AND PLACE OF BEGINNING.

THE LAST-DESCRIBED COURSE FORMS AN INTERIOR ANGLE OF 90°00'00" WITH THE FIRST-DESCRIBED COURSE.

THE ABOVE-DESCRIBED AREA COMPRISES AP 40-1 LOT 126 AND CONTAINS 44,237 SQUARE FEET (1.02 AC) OF LAND.

RECORD DESCRIPTION - LOT 125

BEGINNING A POINT ON THE WESTERLY SIDE OF KINGSTOWN ROAD AT THE NORTHEASTERLY CORNER OF THE HEREIN-DESCRIBED AP-1 LOT 125, AS SHOWN ON PLAN ENTITLED "ADMINISTRATIVE SUBDIVISION FOR A.P. 40-1 LOTS 3, 125 & 126 KINGSTOWN ROAD (ROUTE 108)" IN SOUTH KINGSTOWN, RHODE ISLAND, SCALE 1"=30', SHEET NO. 1 OF 1, DATED 9/16/09, REVISED 12/1/09 AND 5/25/10 PREPARED BY COMMONWEALTH ENGINEERS & CONSULTANTS, INC. SAID POINT BEING THE POINT AND PLACE OF BEGINNING;

THENCE RUNNING ALONG THE WESTERLY SIDE OF KINGSTOWN ROAD FOR A DISTANCE OF ONE HUNDRED SEVENTY AND 00/100 FEET (170.00') TO A CORNER;

THENCE TURNING AN INTERIOR ANGLE OF 90°00'00" AND RUNNING WESTERLY FOR A DISTANCE OF TWO HUNDRED ONE AND 86/100 FEET (201.86') BOUNDED SOUTHERLY BY AP 40-1 LOT 126 TO A POINT;

THENCE TURNING AN INTERIOR ANGLE OF 174°32'50" AND RUNNING WESTERLY FOR A DISTANCE OF ONE HUNDRED SIXTY- SEVEN AND 17/100 FEET (167.17') BOUNDED SOUTHERLY BY SAID AP 40-1 LOT 126 TO A CORNER;

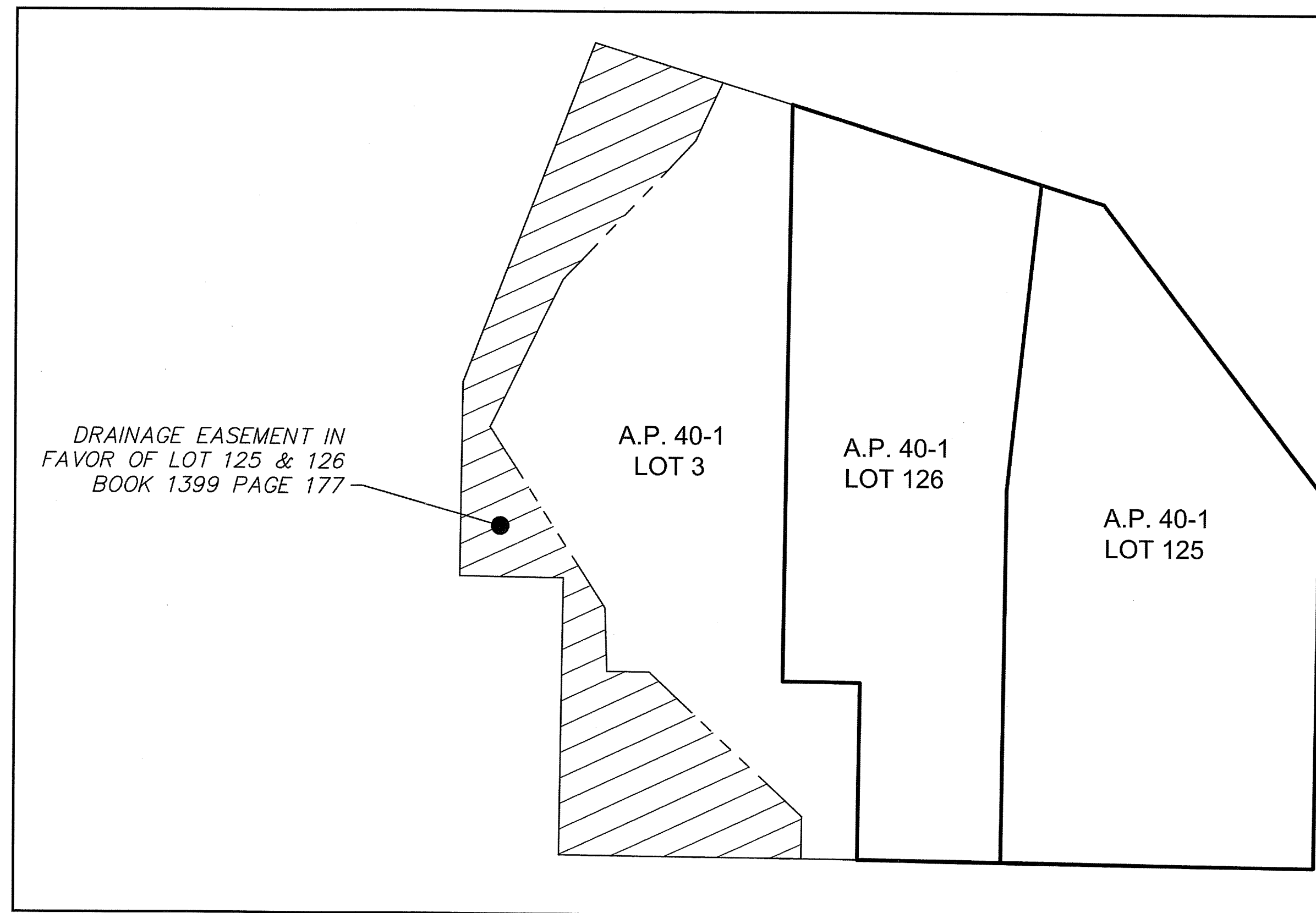
THENCE TURNING AN INTERIOR ANGLE OF 78°48'07" AND RUNNING NORTHEASTERLY FOR A DISTANCE OF THIRTY-FIVE AND 70/100 FEET (35.70') BOUNDED WESTERLY BY LAND NOW OR FORMERLY OF DAVID L. RODMAN TO A POINT;

THENCE TURNING AN INTERIOR ANGLE OF 144°36'22" AND RUNNING NORTHEASTERLY FOR A DISTANCE OF ONE HUNDRED NINETY-FOUR AND 97/100 FEET (194.97') BOUNDED NORTHWESTERLY BY LAND NOW OR FORMERLY OF JOSEPH R. & STACY A. KIRKWOOD TO AN IRON PIN FOUND AT A CORNER;

THENCE TURNING AN INTERIOR ANGLE OF 142°02'41" AND RUNNING EASTERLY FOR A DISTANCE OF TWO HUNDRED FOUR AND 31/100 FEET (204.31') BOUNDED NORTHERLY BY LAND NOW OR FORMERLY OF S & F REALTY INC. TO THE POINT AND PLACE OF BEGINNING.

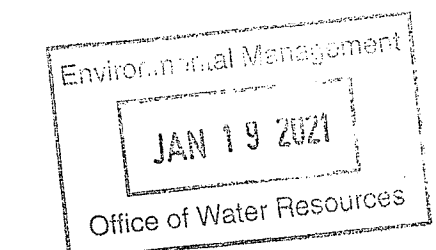
THE LAST-DESCRIBED COURSE FORMS AN INTERIOR ANGLE AF 90°00'00" WITH THE FIRST-DESCRIBED COURSE.

THE ABOVE-DESCRIBED AREA COMPRISES AP 40-1 LOT 125 AND CONTAINS 50,665 SQUARE FEET (1.16 AC) OF LAND.



DETAIL EXCEPTION 12 AND 23

NOT TO SCALE



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Nancy Freeman



100 Constitution Plaza
10th Floor
Hartford, CT 06103
(860) 249-2200
(860) 249-2400 Fax

APPLICANT:
Garett Homes, LLC
59 Field Street
Torrington, CT 06790

OWNER 1 (PARCEL 40-1/125):
SOUTH SHORE MENTAL HEALTH
CENTER, INC
765 ALLENS AVE, STE 100
PROVIDENCE, RI 02905

OWNER 2 (PARCEL 40-1/126):
ALTERNATIVE LIVING CONCEPTS
C/O GATEWAY HEALTHCARE
249 ROOSEVELT AVE, STE 205
PAWTUCKET, RI 02860

PROPOSED RETAIL DEVELOPMENT
1860 KINGSTOWN ROAD (RI ROUTE 108)
SOUTH KINGSTOWN, RHODE ISLAND

REVISIONS

Date	Description
08/14/2020	update title commitment
10/15/2020	revisions based on Town review

Surveyed	A.V./J.C.
Drawn	A.V.
Reviewed	J.M.
Scale	NONE
Project No.	18C6704
Date	7/30/2020
CAD File:	Field Book:
AL18C670401	520

Title
**ALTA/NSPS
LAND TITLE
SURVEY**

Sheet No. 2 of 2

AL-1

SEE SHEET 1 OF 2 FOR SURVEY AND GENERAL NOTES

1/1/2021, CHESTER, G. LOBBE, INC., 1000 DOWD AVE., SUITE 200, DINGEE, NJ 07834-2002, 2021

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SITE WORK GENERAL NOTES

- THESE PLANS ARE FOR PERMITTING PURPOSES ONLY AND ARE NOT FOR CONSTRUCTION.
- ALL CONSTRUCTION SHALL COMPLY WITH THE PROJECT SPECIFICATION MANUAL, RETAIL CORPORATION STANDARDS, MUNICIPAL STANDARDS AND SPECIFICATIONS, RHODE ISLAND DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS, 2010 ADA STANDARDS, AND STATE BUILDING CODE IN THE ABOVE REFERENCED INCREASING HIERARCHY. IF SPECIFICATIONS ARE IN CONFLICT, THE MORE STRINGENT SPECIFICATION SHALL APPLY. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE OSHA, FEDERAL, STATE AND LOCAL REGULATIONS.
- REFER TO OTHER PLANS BY OTHER DISCIPLINES, DETAILS AND PROJECT MANUAL FOR ADDITIONAL INFORMATION. THE CONTRACTOR SHALL VERIFY ALL SITE AND BUILDING CONDITIONS IN THE FIELD AND CONTACT THE CIVIL ENGINEER AND ARCHITECT IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE CONSTRUCTION AND/OR FIELD CONDITIONS, SO THAT APPROPRIATE REVISIONS CAN BE MADE PRIOR TO BIDDING. ANY CONFLICT BETWEEN THE DRAWINGS AND SPECIFICATIONS SHALL BE CONFIRMED WITH THE OWNER'S CONSTRUCTION MANAGER PRIOR TO BIDDING.
- DO NOT INTERRUPT EXISTING UTILITIES SERVING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER AND THE LOCAL MUNICIPALITIES. INTERRUPTIONS SHALL ONLY OCCUR AFTER ACCEPTABLE TEMPORARY SERVICE HAS BEEN PROVIDED.
- THE CONTRACTOR SHALL ABIDE BY ALL OSHA, FEDERAL, STATE, AND LOCAL REGULATIONS WHEN OPERATING CRANES, BOOMS, HOISTS, ETC. IN CLOSE PROXIMITY TO OVERHEAD ELECTRIC LINES. IF THE CONTRACTOR MUST OPERATE EQUIPMENT CLOSE TO ELECTRIC LINES, CONTACT POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS. ANY UTILITY COMPANY FEES SHALL BE PAID FOR BY THE CONTRACTOR.
- THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORD DRAWINGS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES AND STORMWATER SYSTEM) TO THE OWNER AT THE END OF CONSTRUCTION.
- THE ARCHITECT OR ENGINEER IS NOT RESPONSIBLE FOR SITE SAFETY MEASURES TO BE EMPLOYED DURING CONSTRUCTION. THE ARCHITECT AND ENGINEER HAVE NO CONTRACTUAL DUTY TO CONTROL THE SAFEST METHODS OR MEANS OF THE WORK, JOB SITE RESPONSIBILITIES, SUPERVISION OR TO SUPERVISE SAFETY AND DOES NOT VOLUNTARILY ASSUME ANY SUCH DUTY OR RESPONSIBILITY.
- THE CONTRACTOR SHALL COMPLY WITH CFR 29 PART 1926 FOR EXCAVATION, TRENCHING, AND TRENCH PROTECTION REQUIREMENTS.
- INFORMATION ON EXISTING UTILITIES AND STORM DRAINAGE SYSTEMS HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY COMPANY AND MUNICIPAL OR STATE RECORD MAPS AND/OR FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES AND STORM DRAINAGE SYSTEMS ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UNDERGROUND AND OVERHEAD UTILITIES AND STORM DRAINAGE SYSTEMS INCLUDING SERVICES. PRIOR TO DEMOLITION OR CONSTRUCTION, THE CONTRACTOR SHALL CONTACT DIG SAFE 72 HOURS BEFORE COMMENCEMENT OF WORK AT (888) 344 - 7233 OR AT 811 AND VERIFY ALL UTILITY AND STORM DRAINAGE SYSTEM LOCATIONS. THE CONTRACTOR SHALL EMPLOY THE USE OF A UTILITY LOCATING COMPANY TO PROVIDE SUBSURFACE UTILITY ENGINEERING AND DESIGNATING UTILITIES AND STORM PIPING ON PRIVATE PROPERTY WITHIN THE CONTRACT LIMIT AND CONSISTING OF DESIGNATING AND LOCATING WHERE PROPOSED UTILITIES AND STORM PIPING CROSS EXISTING UTILITIES AND STORM PIPING WITHIN THE CONTRACT LIMITS.
- DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN OVER SCALED DIMENSIONS.
- IF PLANS AND OR SPECIFICATIONS ARE IN CONFLICT, THE MOST COSTLY SHALL APPLY.
- ALL CONTRACTORS AND SUBCONTRACTORS SHALL OBTAIN COMPLETE DRAWING PLAN SETS FOR BIDDING AND CONSTRUCTION. PLAN SETS OR PLAN SET ELECTRONIC POSTINGS SHALL NOT BE DISASSEMBLED INTO PARTIAL PLAN SETS FOR USE BY CONTRACTORS AND SUBCONTRACTORS OF INDIVIDUAL TRADES. IT SHALL BE THE CONTRACTOR'S AND SUBCONTRACTOR'S RESPONSIBILITY TO OBTAIN COMPLETE PLAN SETS OR COMPLETE PLAN SET ELECTRONIC POSTINGS FOR USE IN BIDDING AND CONSTRUCTION.
- ALL NOTES AND DIMENSIONS DESIGNATED "TYPICAL" OR "TYP." APPLY TO ALL LIKE OR SIMILAR CONDITIONS THROUGHOUT THE PROJECT.
- CONTRACTOR(S) TO TAKE AND VERIFY ALL DIMENSIONS AND CONDITIONS OF THE WORK AND BE RESPONSIBLE FOR COORDINATION OF SAME. FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO START OF WORK.
- BL COMPANIES WILL PREPARE FINAL CONSTRUCTION DOCUMENTS SUITABLE FOR BIDDING AND CONSTRUCTION. PROGRESS SETS OF THESE DOCUMENTS ARE NOT SUITABLE FOR THOSE PURPOSES. IF CLIENT ELECTS TO SOLICIT BIDS OR ENTER INTO CONSTRUCTION CONTRACTS UTILIZING CONSTRUCTION DOCUMENTS THAT ARE NOT YET FINAL, CONSULTANT SHALL NOT BE RESPONSIBLE FOR ANY COSTS OR DELAY ARISING AS A RESULT.
- NO CONSTRUCTION OR DEMOLITION SHALL BEGIN UNTIL APPROVAL OF THE FINAL PLANS IS GRANTED BY ALL GOVERNING AND REGULATORY AGENCIES.
- THE OWNER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY ZONING PERMITS REQUIRED BY GOVERNMENT AGENCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CONTACT AND OBTAIN FROM MUNICIPAL SOURCES ALL CONSTRUCTION PERMITS, INCLUDING STATE DOT PERMITS, SEWER AND WATER CONNECTION PERMITS, AND ROADWAY CONSTRUCTION PERMITS. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL PRODUCTS AND MATERIALS PER PLANS AND SPECIFICATIONS TO THE OWNER AND CIVIL ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY TO THE SITE. ALLOW A MINIMUM OF 14 WORKING DAYS FOR REVIEW.
- THE CONTRACTOR SHALL FOLLOW THE SEQUENCE OF CONSTRUCTION NOTES PROVIDED ON THE SEDIMENT AND EROSION CONTROL PLAN.
- THE CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS FOR EXACT DIMENSIONS AND CONSTRUCTION DETAILS OF BUILDING, AND THE RAISED CONCRETE SIDEWALKS, LANDINGS, AND RAMPS.
- SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED, EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE CIVIL ENGINEER IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH WORK IN THIS AREA.
- ALL SITE DIMENSIONS ARE REFERENCED TO THE FACE OF CURBS OR EDGE OF PAVING AS APPLICABLE UNLESS OTHERWISE NOTED. ALL BUILDING DIMENSIONS ARE REFERENCED TO THE OUTSIDE FACE OF THE STRUCTURE.
- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCES, TEMPORARY WALKWAYS, TRAFFIC CONTROLLERS AND UNIFORMED TRAFFIC OFFICERS AS REQUIRED OR AS ORDERED BY THE ENGINEER OR AS REQUIRED BY THE LOCAL GOVERNING AUTHORITIES OR AS REQUIRED BY PERMIT STRIPATIONS OR AS REQUIRED BY THE OWNER. CONTRACTOR SHALL MAINTAIN ALL TRAFFIC LANES AND PEDESTRIAN WALKWAYS FOR USE AT ALL TIMES UNLESS WRITTEN APPROVAL FROM THE APPROPRIATE GOVERNING AGENCY IS GRANTED.
- TRAFFIC CONTROL SIGNAGE SHALL CONFORM TO THE STATE DOT STANDARD DETAIL SHEETS AND THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. SIGNS SHALL BE INSTALLED PLUMB WITH THE EDGE OF THE SIGN 2' OFF THE FACE OF THE CURB, AND WITH 7" VERTICAL CLEARANCE UNLESS OTHERWISE DETAILED OR NOTED.
- REFER TO SITE DETAILS FOR PAVEMENT, CURBING, AND SIDEWALK INFORMATION.
- THE CONTRACT LIMIT IS THE PROPERTY LINE UNLESS OTHERWISE SPECIFIED OR SHOWN ON THE CONTRACT DRAWINGS.
- THE CONTRACTOR SHALL SUBMIT A SHOP DRAWING OF THE PAVEMENT MARKING PAINT MIXTURE PRIOR TO STRIPING.
- PAVEMENT MARKING KEY:
 4" SYDL 4" SOLID YELLOW DOUBLE LINE
 4" SYL 4" SOLID YELLOW LINE
 4" SWL 4" SOLID WHITE LINE
 12" SWB 12" SOLID WHITE STOP BAR
 4" SWL 4" BROKEN WHITE LINE 10' STRIPE 30' SPACE
- PARKING SPACES SHALL BE STRIPPED WITH 4" SWL. HATCHED AREA SHALL BE STRIPPED WITH 4" SWL AT A 45° ANGLE. 2" ON CENTER HATCHING, SYMBOLS, AND STRIPING FOR HANDICAPPED SPACES SHALL BE PAINTED WHITE AND BLUE. OTHER MARKINGS SHALL BE PAINTED WHITE OR AS NOTED.
- ALL PARKING SPACES AND HATCHED AREAS SHALL HAVE TWO COATS OF PAVEMENT MARKINGS APPLIED TO STRIPING.
- PAVEMENT MARKINGS SHALL BE HOT APPLIED TYPE IN ACCORDANCE WITH STATE DOT SPECIFICATIONS, UNLESS WHERE EPOXY RESIN PAVEMENT MARKINGS ARE INDICATED.
- THE CONTRACTOR SHALL RESTORE ANY UTILITY STRUCTURE, DRAINAGE STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, LANDSCAPED AREAS, SWALE, PAVEMENT MARKINGS, OR SIGNAGE DISTURBED DURING DEMOLITION AND/OR CONSTRUCTION TO THEIR ORIGINAL CONDITION OR BETTER, AS APPROVED BY THE CIVIL ENGINEER, AND TO THE SATISFACTION OF THE OWNER AND MUNICIPALITY AND STATE.
- EXISTING BOUNDARY AND TOPOGRAPHY IS BASED ON DRAWING TITLED "ALTA/NSPS LAND TITLE SURVEY SOUTH SHORE MENTAL HEALTH CENTER, INC. KINGSTOWN ROAD SOUTH KINGSTOWN, RHODE ISLAND" SCALE 1"=20', DATED 07-18-2018, BY BL COMPANIES INC.
- ALTERNATIVE METHODS AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED IF REVIEWED AND APPROVED BY THE OWNER, CIVIL ENGINEER, AND APPROPRIATE REGULATORY AGENCY PRIOR TO INSTALLATION DURING THE BIDDING PROCESS.
- AN EROSION CONTROL BOND MAY BE REQUIRED TO BE POSTED BY THE CONTRACTOR BEFORE THE START OF ANY ACTIVITY ON OR OFF SITE. THE AMOUNT OF THE EROSION CONTROL BOND WILL BE DETERMINED BY THE AUTHORITY HAVING JURISDICTION.
- THE SITE IS CURRENTLY SERVICED BY PUBLIC WATER.
- NO PART OF THE PROJECT PARCEL IS LOCATED WITHIN ANY FEMA DESIGNATED FLOOD HAZARD AREAS.
- THERE ARE WETLANDS LOCATED ON THE SITE AS INDICATED BY DELINEATION BY A SOIL SCIENTIST.
- 12" SWB (STOP BAR) AND 4" SYDL AND SWL PAVEMENT MARKINGS LOCATED IN DRIVEWAY AND IN STATE HIGHWAY SHALL BE EPOXY RESIN TYPE ACCORDING TO RIDOT SPECIFICATIONS.
- FIRE LANES SHALL BE ESTABLISHED AND PROPERLY DESIGNATED IN ACCORDANCE WITH THE REQUIREMENTS OF THE FIRE DISTRICT FIRE MARSHAL.
- THE CONTRACTOR SHALL REMOVE CONFLICTING PAVEMENT MARKINGS IN THE ROADWAY BY METHOD APPROVED BY THE AUTHORITY HAVING JURISDICTION OR DOT AS APPLICABLE FOR THE LOCATION OF THE WORK.
- ALL ADA DESIGNATED PARKING STALLS, ACCESS AISLES AND PEDESTRIAN WALKWAYS SHALL CONFORM TO THE CURRENT VERSION OF THE AMERICANS WITH DISABILITIES ACT STANDARDS FOR ACCESSIBLE DESIGN AND ANSI STANDARDS AND AS MAY BE SUPERCEDED BY THE STATE BUILDING CODE.
- CONSTRUCTION OCCURRING ON THIS SITE SHALL COMPLY WITH NFPA 241 STANDARD FOR SAFEGUARDING CONSTRUCTION, ALTERATION AND DEMOLITION OPERATIONS, AND CHAPTER 16 OF NFPA 1 UNIFORM FIRE CODE.
- CONTRACTOR SHALL SECURE ANY PERMITS, PAY ALL FEES AND PERFORM CLEARING AND GRUBBING AND DEBRIS REMOVAL PRIOR TO COMMENCEMENT OF GRADING OPERATIONS.
- SEDIMENT AND EROSION CONTROLS AS SHOWN ON THE SEDIMENT AND EROSION CONTROL PLAN SHALL BE INSTALLED BY THE DEMOLITION CONTRACTOR PRIOR TO START OF DEMOLITION AND CLEARING AND GRUBBING OPERATIONS.
- REMOVE AND DISPOSE OF ANY SIDEWALKS, FENCES, STAIRS, WALLS, DEBRIS AND RUBBISH REQUIRING REMOVAL FROM THE WORK AREA IN AN APPROVED OFF SITE LANDFILL, BY AN APPROVED HAULER. HAULER SHALL COMPLY WITH ALL REGULATORY REQUIREMENTS.
- THE CONTRACTOR SHALL SECURE ALL PERMITS FOR HIS DEMOLITION AND DISPOSAL OF HIS DEMOLITION MATERIAL TO BE REMOVED FROM THE SITE. THE CONTRACTOR SHALL POST BONDS AND PAY PERMIT FEES AS REQUIRED. CONTRACTOR SHALL BE RESPONSIBLE FOR PERMITS AND DISPOSAL OF ALL DEMOLITION DEBRIS IN AN APPROVED OFF-SITE LANDFILL.
- ASBESTOS OR HAZARDOUS MATERIAL, IF FOUND ON SITE, SHALL BE REMOVED BY A LICENSED HAZARDOUS MATERIAL ABATEMENT CONTRACTOR.
- THE CONTRACTOR SHALL PREPARE ALL MANIFEST DOCUMENTS AS REQUIRED PRIOR TO COMMENCEMENT OF DEMOLITION.

- THE CONTRACTOR SHALL CUT AND PLUG, OR ARRANGE FOR THE APPROPRIATE UTILITY PROVIDER TO CUT AND PLUG ANY ON SITE SERVICE PIPING AT THE STREET LINE OR AT THE MAIN, AS REQUIRED BY THE UTILITY PROVIDER, OR AS OTHERWISE NOTED OR SHOWN ON THE CONTRACT DRAWINGS. ALL SERVICES MAY NOT BE SHOWN ON THIS PLAN. THE CONTRACTOR SHALL INVESTIGATE THE SITE PRIOR TO BIDDING TO DETERMINE THE EXTENT OF SERVICE PIPING TO BE CUT OR PLUGGED. THE CONTRACTOR SHALL PAY ALL UTILITY PROVIDER FEES FOR ABANDONMENTS AND REMOVALS.
- THE CONTRACTOR SHALL PROTECT ALL IRON PINS, MONUMENTS AND PROPERTY CORNERS DURING DEMOLITION AND CONSTRUCTION ACTIVITIES. ANY CONTRACTOR DESIGN PINS, MONUMENTS, OR PROPERTY CORNERS, ETC. SHALL BE RESET BY A LICENSED LAND SURVEYOR AT THE EXPENSE OF THE CONTRACTOR.
- THE DEMOLITION CONTRACTOR SHALL STABILIZE THE SITE AND KEEP EROSION CONTROL MEASURES IN PLACE UNTIL THE COMPLETION OF HIS WORK OR UNTIL THE COMMENCEMENT OF WORK BY THE SITE CONTRACTOR, WHICHEVER OCCURS FIRST, AS REQUIRED OR DEEMED NECESSARY BY THE ENGINEER OR OWNER'S REPRESENTATIVE. THE SITE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR THE MAINTENANCE OF EXISTING EROSION AND SEDIMENTATION CONTROLS AND FOR INSTALLATION OF ANY NEW SEDIMENT AND EROSION CONTROLS AS PER THE SEDIMENT AND EROSION CONTROL PLAN, AT THAT TIME.
- THE CONTRACTOR SHALL PUMP OUT BUILDING FUEL AND WASTE OIL TANKS (IF ANY ARE ENCOUNTERED) AND REMOVE FUEL TO AN APPROVED DISPOSAL AREA BY A LICENSED WASTE OIL HANDLING CONTRACTOR IN STRICT ACCORDANCE WITH STATE REGULATIONS.
- IF IMPACTED OR CONTAMINATED SOIL IS ENCOUNTERED BY THE CONTRACTOR, THE CONTRACTOR SHALL SUSPEND EXCAVATION WORK OF IMPACTED SOIL AND NOTIFY THE OWNER AND/OR OWNER'S ENVIRONMENTAL CONSULTANT PRIOR TO PROCEEDING WITH FURTHER WORK IN THE IMPACTED SOIL LOCATION UNTIL FURTHER INSTRUCTED BY THE OWNER AND/OR OWNER'S ENVIRONMENTAL CONSULTANT.
- ANY DOMESTIC GAS SERVICES SHALL BE CAPPED AND SERVICE LINES PURGED OF RESIDUAL GAS IN ACCORDANCE WITH THE GAS UTILITY PROVIDER REQUIREMENTS. WORK TO BE COORDINATED BY AND PAID FOR BY THE CONTRACTOR. REMOVE ANY EXISTING SERVICE PIPING ON SITE. ANY PROPANE TANKS SHALL BE PURGED OF RESIDUAL GAS BY PROPANE SUPPLIER. CONTRACTOR SHALL COORDINATE THIS WORK AND PAY NECESSARY FEES.
- BACK FILL ANY DEPRESSIONS, ANY FOUNDATION HOLES AND REMOVED ANY DRIVEWAY AREAS IN LOCATIONS NOT SUBJECT TO FURTHER EXCAVATION WITH SOIL MATERIAL APPROVED BY THE OWNER'S GEOTECHNICAL ENGINEER AND COMPACT, FERTILIZE, SEED AND MULCH DISTURBED AREAS NOT SUBJECT TO FURTHER SITE CONSTRUCTION. ANY DEMOLISHED BUILDING FOUNDATION AREA AND GASKET IF PRESENT TO BE BACKFILLED WITH GRAVEL FILL OR MATERIAL SPECIFIED IN THE PROJECT GEOTECHNICAL REPORT IN LIFT THICKNESS SPECIFIED IN THE GEOTECHNICAL REPORT. COMPACT TO 95% MAX. DRY DENSITY PER ASTM D1557 AT MOISTURE CONTENT SPECIFIED IN GEOTECHNICAL REPORT AND EARTHWORK SPECIFICATION. EMPLOY WATERING EQUIPMENT FOR DUST CONTROL.
- THE CONTRACTOR SHALL REPAIR PAVEMENTS BY INSTALLING TEMPORARY AND PERMANENT PAVEMENTS IN PUBLIC RIGHTS OF WAYS AS REQUIRED BY LOCAL GOVERNING AUTHORITIES AND THE MUNICIPALITY, STATE AND PER PERMIT REQUIREMENTS DUE TO DEMOLITION AND ANY PIPE REMOVAL ACTIVITIES.
- NO WORK ON THIS SITE SHALL BE INITIATED BY THE CONTRACTOR UNTIL A PRE-CONSTRUCTION MEETING WITH OWNER AND THE CIVIL ENGINEER IS PERFORMED. THE CONTRACTOR SHOULD BE AWARE OF ANY SITE INFORMATION AVAILABLE SUCH AS GEOTECHNICAL AND ENVIRONMENTAL REPORTS. THE CONTRACTOR SHALL HAVE DIG SAFE MARK OUTS OF EXISTING UTILITIES COMPLETED PRIOR TO MEETING.
- THE CONTRACTOR SHALL ABANDON FOR AND INSTALL TEMPORARY OR PERMANENT UTILITY CONNECTIONS WHERE INDICATED ON PLAN OR AS REQUIRED. MAINTAIN UTILITY SERVICES TO BUILDINGS OR TO SERVICES TO REMAIN. CONTRACTOR TO COORDINATE WITH UTILITY PROVIDERS FOR INSTALLATION AND PAY UTILITY PROVIDER FEES.
- THE CONTRACTOR SHALL NOT COMMENCE DEMOLITION OR UTILITY DISCONNECTIONS UNTIL AUTHORIZED TO DO SO BY THE OWNER.
- THE CONTRACTOR OR DEMOLITION CONTRACTOR SHALL INSTALL TEMPORARY SHEETING OR SHORING AS NECESSARY TO PROTECT EXISTING AND NEW BUILDINGS, STRUCTURES AND UTILITIES DURING CONSTRUCTION AND DEMOLITION. SHEETING OR SHORING SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER, LICENSED IN THIS STATE AND EVIDENCE OF SUCH SUBMITTED TO THE OWNER PRIOR TO INSTALLATION.
- NO SALVAGE SHALL BE PERMITTED UNLESS PAID TO THE OWNER AS A CREDIT.
- ANY EXISTING POTABLE WELL AND ANY EXISTING SEPTIC TANKS/ABSORPTION AREAS SHALL BE ABANDONED AND REMOVED PER THE RI DEM, HEALTH CODE AND LOCAL SANITARIAN REQUIREMENTS.
- THE CONTRACTOR SHALL PRESERVE EXISTING VEGETATION WHERE POSSIBLE AND/OR AS NOTED ON DRAWINGS. REFER TO SEDIMENT AND EROSION CONTROL PLAN FOR LIMIT OF DISTURBANCE AND EROSION CONTROL NOTES.
- TOPSOIL SHALL BE STRIPPED AND STOCKPILED ON SITE FOR USE IN FINAL LANDSCAPING.
- FILL WITHIN ANY FORMER BUILDING FOUNDATION SHALL BE CHECKED BY TEST PIT AND PROOF-ROLLING AND SHALL BE OBSERVED BY THE OWNER'S GEOTECHNICAL ENGINEER. SUBGRADE SHALL BE FORMED WITH REMOVAL AND REPLACEMENT OF FILL AND REMOVAL AND REPLACEMENT OF UNSUITABLE AND SOFT SUBGRADE MATERIAL, AS ORDERED BY THE GEOTECHNICAL ENGINEER. SEE GEOTECHNICAL REPORT AND EARTHWORK SPECIFICATIONS FOR FURTHER DESCRIPTION.
- THE CONTRACTOR SHALL COMPACT FILL IN LIFT THICKNESS PER THE GEOTECHNICAL REPORT UNDER ALL PARKING, BUILDING, DRIVE, AND STRUCTURE AREAS TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557 (MODIFIED PROCTOR TEST), OR AS REQUIRED BY THE GEOTECHNICAL ENGINEER.
- UNDERDRAINS SHALL BE ADDED, IF DETERMINED NECESSARY IN THE FIELD BY THE OWNER/GEOTECHNICAL ENGINEER, AFTER SUBGRADE IS ROUGH GRADED.
- VERTICAL DATUM IS NAVD 88.
- CLEARING LIMITS SHALL BE PHYSICALLY MARKED IN THE FIELD AND APPROVED BY THE RI DEM AGENT PRIOR TO THE START OF WORK ON THE SITE.
- PROPER CONSTRUCTION PROCEDURES SHALL BE FOLLOWED ON ALL IMPROVEMENTS WITHIN THIS PARCEL SO AS TO PREVENT THE SLTING OF ANY WATERCOURSE OR WETLANDS IN ACCORDANCE WITH THE REGULATIONS OF THE RI DEM AND THE 1989 RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION. IN ADDITION, THE CONTRACTOR SHALL STRICTLY ADHERE TO THE SEDIMENT AND EROSION CONTROL PLAN CONTAINED HEREIN. THE CONTRACTOR SHALL BE RESPONSIBLE TO POST ALL BONDS AS REQUIRED BY THE LOCAL MUNICIPALITIES, OR SOIL CONSERVATION DISTRICT SOUTH KINGSTOWN MUNICIPAL AGENT WHICH WOULD GUARANTEE THE PROPER IMPLEMENTATION OF THE PLAN.
- ALL SITE WORK, MATERIALS OF CONSTRUCTION, AND CONSTRUCTION METHODS FOR EARTHWORK AND STORM DRAINAGE WORK SHALL CONFORM TO THE SPECIFICATIONS AND DETAILS AND APPLICABLE SECTIONS OF THE PROJECT SPECIFICATIONS MANUAL. OTHERWISE THIS WORK SHALL CONFORM TO THE STATE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS AND PROJECT GEOTECHNICAL REPORT IF THERE IS NO PROJECT SPECIFICATIONS MANUAL. ALL FILL MATERIAL UNDER STRUCTURES AND PAVED AREAS SHALL BE PER THE ABOVE STATED APPLICABLE SPECIFICATIONS, AND/OR PROJECT GEOTECHNICAL REPORT, AND SHALL BE PLACED IN ACCORDANCE WITH THE APPLICABLE SPECIFICATIONS UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL ENGINEER. MATERIAL SHALL BE COMPACTED IN LIFT THICKNESSES PER THE PROJECT GEOTECHNICAL REPORT TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557 AT MOISTURE CONTENT INDICATED IN PROJECT GEOTECHNICAL REPORT.
- ALL DISTURBANCE INCURRED TO MUNICIPAL AND STATE PROPERTY DUE TO CONSTRUCTION SHALL BE RESTORED TO ITS PREVIOUS CONDITION OR BETTER, TO THE SATISFACTION OF THE MUNICIPALITY AND STATE AS APPLICABLE FOR THE LOCATION OF THE WORK.
- ALL CONSTRUCTION WITHIN A DOT RIGHT OF WAY SHALL COMPLY WITH ALL DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS.
- THE UTILITY PLAN DETAILS SITE INSTALLED PIPES UP TO 5" FROM THE BUILDING FACE. REFER TO ARCHITECTURAL DRAWINGS FOR BUILDING CONNECTIONS. SITE CONTRACTOR SHALL SUPPLY AND INSTALL PIPE ADAPTERS AS NECESSARY AT BUILDING CONNECTION POINT OR AT EXISTING UTILITY OR PIPE CONNECTION POINT.
- THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY THE ELEVATION AND LOCATION OF ALL UTILITIES BY VARIOUS MEANS PRIOR TO BEGINNING ANY EXCAVATION. TEST PITS SHALL BE DUG AT ALL LOCATIONS WHERE PROPOSED SANITARY SEWERS AND WHERE PROPOSED STORM PIPING WILL CROSS EXISTING UTILITIES, AND THE HORIZONTAL AND VERTICAL LOCATIONS OF THE UTILITIES SHALL BE DETERMINED. THE CONTRACTOR SHALL CONTACT THE CIVIL ENGINEER IN THE EVENT OF ANY DISCOVERED OR UNFORESEEN CONFLICTS BETWEEN EXISTING AND PROPOSED SANITARY SEWERS, STORM PIPING AND UTILITIES SO THAT AN APPROPRIATE MODIFICATION MAY BE MADE.
- UTILITY CONNECTION DESIGN AS REFLECTED ON THE PLAN MAY CHANGE SUBJECT TO UTILITY PROVIDER AND GOVERNING AUTHORITY STAFF REVIEW.
- THE CONTRACTOR SHALL ENSURE THAT ALL UTILITY PROVIDERS AND GOVERNING AUTHORITY STANDARDS FOR MATERIALS AND CONSTRUCTION METHODS ARE MET. THE CONTRACTOR SHALL PERFORM PROPER COORDINATION WITH THE RESPECTIVE UTILITY PROVIDER.
- THE CONTRACTOR SHALL ARRANGE FOR AND COORDINATE WITH THE RESPECTIVE UTILITY PROVIDERS FOR SERVICE INSTALLATIONS AND CONNECTIONS. THE CONTRACTOR SHALL COORDINATE WORK TO BE PERFORMED BY THE VARIOUS UTILITY PROVIDERS AND SHALL PAY ALL FEES FOR CONNECTIONS, DISCONNECTIONS, RELOCATIONS, INSPECTIONS, AND DEMOLITION UNLESS OTHERWISE STATED IN THE PROJECT SPECIFICATIONS MANUAL AND/OR GENERAL CONDITIONS OF THE CONTRACT.
- ALL EXISTING PAVEMENT WHERE UTILITY PIPING IS TO BE INSTALLED SHALL BE SAW CUT. AFTER UTILITY INSTALLATION IS COMPLETED, THE CONTRACTOR SHALL INSTALL TEMPORARY AND/OR PERMANENT PAVEMENT REPAIR AS DETAILED ON THE DRAWINGS OR AS REQUIRED BY THE OWNER HAVING JURISDICTION.
- ALL PIPES SHALL BE LAID ON STRAIGHT ALIGNMENTS AND EVEN GRADES USING A PIPE LASER OR OTHER ACCURATE METHOD.
- SANITARY LATERAL SHALL MAINTAIN (10' MIN. HORIZONTAL 1.5' VERTICAL MIN.) SEPARATION DISTANCE FROM WATER LINES, OR ADDITIONAL PROTECTION MEASURES WILL BE REQUIRED WHERE PERMITTED, WHICH SHALL INCLUDE CONCRETE ENCASEMENT OF PIPING UNLESS OTHERWISE DIRECTED BY THE UTILITY PROVIDERS AND CIVIL ENGINEER.
- RELOCATION OF UTILITY PROVIDER FACILITIES SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE UTILITY PROVIDER.
- THE CONTRACTOR SHALL COMPACT THE PIPE BACKFILL IN 8" LIFTS ACCORDING TO THE PIPE BEDDING DETAILS. TRENCH BOTTOM SHALL BE STABLE IN HIGH GROUNDWATER AREAS. A PIPE FOUNDATION SHALL BE USED PER THE TRENCH DETAILS AND IN AREAS OF ROCK EXCAVATION.
- CONTRACTOR TO PROVIDE STEEL SLEEVES AND ANNULAR SPACE SAND FILL FOR UTILITY PIPE AND CONDUIT CONNECTIONS UNDER FOOTINGS.
- BUILDING UTILITY PENETRATIONS AND LOCATIONS ARE SHOWN FOR THE CONTRACTOR'S INFORMATION AND SHALL BE VERIFIED WITH THE BUILDING MEP, STRUCTURAL, AND ARCHITECTURAL DRAWINGS AND WITH THE OWNER'S CONSTRUCTION MANAGER.
- ALL UTILITY CONSTRUCTION IS SUBJECT TO INSPECTION FOR APPROVAL PRIOR TO BACKFILLING, IN ACCORDANCE WITH THE APPROPRIATE UTILITY PROVIDER REQUIREMENTS.
- A ONE-FOOT MINIMUM VERTICAL CLEARANCE BETWEEN WATER, GAS, ELECTRICAL, AND TELEPHONE LINES AND STORM PIPING SHALL BE PROVIDED. A SIX-INCH MINIMUM CLEARANCE SHALL BE MAINTAINED BETWEEN STORM PIPING AND SANITARY SEWER WITH A CONCRETE ENCASEMENT. AN 18-INCH TO 6-INCH VERTICAL CLEARANCE BETWEEN SANITARY SEWER PIPING AND STORM PIPING SHALL REQUIRE CONCRETE ENCASEMENT OF THE PROPOSED PIPING.
- GRAVITY SANITARY SEWER PIPING AND PRESSURIZED WATERLINES SHALL BE LOCATED IN SEPARATE TRENCHES AT LEAST 10 FEET APART WHENEVER POSSIBLE. WHEN INSTALLED IN THE SAME TRENCH, THE WATER PIPE SHALL BE LAID ON A TRENCH BENCH AT LEAST 18 INCHES ABOVE THE TOP OF THE SANITARY SEWER PIPE AND AT LEAST 12 INCHES (PREFERABLY 18 INCHES) FROM THE SIDE OF THE SANITARY SEWER PIPE TRENCH.
- THE CONTRACTOR SHALL PROVIDE ALL BENDS, FITTINGS, ADAPTERS, ETC., AS REQUIRED FOR PIPE CONNECTIONS TO BUILDING STUB OUTS, INCLUDING ROOF/FOOTING DRAIN CONNECTIONS TO ROOF LEADERS AND TO STORM DRAINAGE SYSTEM.
- MANHOLE RIMS AND CATCH BASIN GRATES SHALL BE SET TO ELEVATIONS SHOWN. SET ALL EXISTING MANHOLE RIMS AND VALVE COVERS TO BE RAISED OR LOWERED FLUSH WITH FINAL GRADE AS NECESSARY.
- THE CONTRACTOR SHALL COORDINATE INSTALLATION OF CONDUIT AND CABLES FOR SITE LIGHTING WITH THE BUILDING ELECTRICAL CONTRACTOR.
- CONTRACTOR SHALL COORDINATE INSTALLATION FOR ELECTRICAL SERVICES TO PYLON SIGNS AND SITE LIGHTING WITH THE BUILDING ELECTRICAL CONTRACTOR.

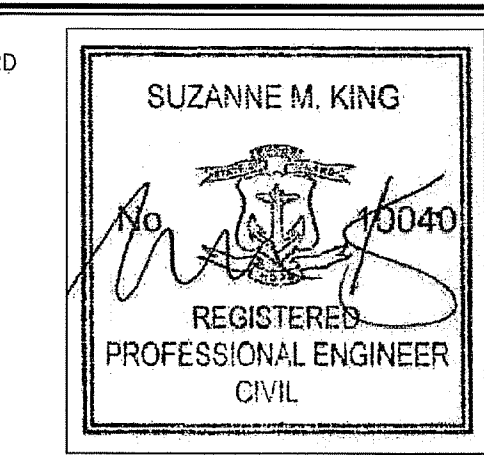
DEFINITIONS

MUNICIPALITY SHALL MEAN TOWN OF SOUTH KINGSTOWN
 COUNTY SHALL MEAN WASHINGTON COUNTY
 STATE SHALL MEAN STATE OF RHODE ISLAND
 WATER UTILITY PROVIDER SHALL MEAN SUEZ WATER RHODE ISLAND (SWRI)
 SANITARY UTILITY PROVIDER SHALL MEAN SOUTH KINGSTOWN WASTEWATER DISTRICT
 GAS UTILITY PROVIDER SHALL MEAN NATIONAL GRID - GAS
 TELECOMMUNICATIONS UTILITY PROVIDER SHALL MEAN VERIZON RHODE ISLAND
 ELECTRIC UTILITY PROVIDER SHALL MEAN NATIONAL GRID - ELECTRIC

ENGINEER'S CERTIFICATION STATEMENT

THESE PLANS HAVE BEEN PREPARED BY ME OR UNDER MY DIRECTION IN ACCORDANCE WITH STANDARD ENGINEERING PRACTICE.

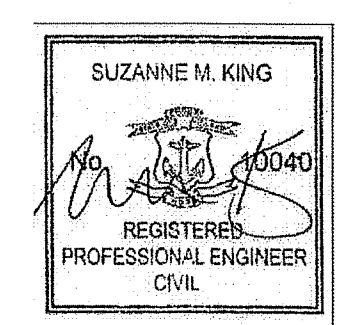
Suzanne M. King
 SUZANNE M. KING
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL
 NUMBER 10040



SUZANNE M. KING, RI PE



100 Constitution Plaza
 10th Floor
 Hartford, CT 06103
 (860) 249-2200
 (860) 249-2400 Fax



APPLICANT:
 Garrett Homes, LLC
 59 Field Street
 Tarrytown, CT 06790

OWNER 1 (PARCEL 40-1/125):
 SOUTH SHORE MENTAL HEALTH CENTER, INC.
 745 ALLENS AVE. STE 100
 PROVIDENCE, RI 02905

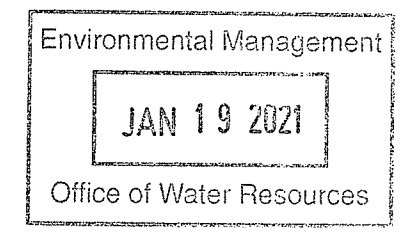
OWNER 2 (PARCEL 40-1/126):
 ALTERNATIVE LIVING CONCEPTS C/O GATEWAY HEALTHCARE
 249 ROOSEVELT AVE. STE 205
 PAWTUCKET, RI 02860

SOUTH KINGSTOWN DEVELOPMENT NOTES

- THERE ARE NO KNOWN AREAS CONTAINING PRIME AGRICULTURAL SOILS AND FARMLAND SOILS OF STATEWIDE IMPORTANCE ON SITE.
- THERE ARE NO KNOWN AREAS OF EXISTING, ACTIVE AGRICULTURAL USE ON SITE.
- THERE ARE NO KNOWN EXISTING STREETS, DRIVEWAYS, FARM ROADS, WOODS ROADS, AND/OR TRAILS THAT HAVE BEEN IN PUBLIC USE (PEDESTRIAN, EQUESTRIAN, BICYCLE, ETC.) ON SITE.
- THERE ARE NO EXISTING BUILDINGS OR SIGNIFICANT ABOVE-GROUND STRUCTURES ON THE DEVELOPMENT PARCEL.
- THERE ARE NO KNOWN HISTORIC CEMETERIES OR IMMEDIATELY ADJACENT TO THE DEVELOPMENT PARCEL.
- THERE ARE NO KNOWN UNIQUE HISTORIC FEATURES PRESENT ON THE SITE, INCLUDING BUT NOT LIMITED TO STONE WALLS.
- THERE ARE NO KNOWN LOCATION OF ANY UNIQUE NATURAL FEATURES PRESENT ON THE SITE.
- THE DEVELOPMENT PARCEL IS NOT LOCATED WITHIN THE FOLLOWING AREAS OF SPECIAL CONCERN:
 A. NATURAL HERITAGE AREAS, AS DEFINED BY RIDEM;
 B. THE AREA UNDER THE JURISDICTION OF THE NARROW RIVER SPECIAL AREA MANAGEMENT PLAN, AS DEFINED BY RI CRM; C.
 C. THE AREA UNDER THE JURISDICTION OF THE SALT PONDS REGION SPECIAL AREA MANAGEMENT PLAN, AS DEFINED BY RI CRM; D.
 D. THE TOWN OF SOUTH KINGSTOWN GROUNDWATER PROTECTION OVERLAY DISTRICT;
 E. AN OWTS CRITICAL RESOURCE AREA, AS DEFINED BY RIDEM; AND
 F. A DRINKING WATER SUPPLY WATERSHED, AS DEFINED BY RIDEM.
- THE DEVELOPMENT PARCEL IS LOCATED ADJACENT TO A WETLAND THAT DISCHARGES TO SEGMENT 3 OF ROCKY BROOK WITHIN THE SAUGATUCKET RIVER WATERSHED AS DESCRIBED IN THE RESTORATION STUDY PREPARED BY RIDEM ENTITLED "FINAL PATHOGEN TMOL FOR SAUGATUCKET RIVER, MITCHELL CROOK, ROCKY BROOK AND INDIAN RUN BROOK" DATED MAY 16, 2003. ROCKY BROOK HAS A PATHOGEN TMOL DUE TO HIGH LEVELS OF FECAL COLIFORM. "A COMBINATION OF STRUCTURAL AND NON-STRUCTURAL CONTROL MEASURES ARE RECOMMENDED FOR [SEGMENT 3]. NON-STRUCTURAL CONTROL MEASURES INCLUDE MORE FREQUENT STREET CLEANING, STORM DRAIN MAINTENANCE, A PET-WASTE ORDINANCE, AND ISSS (INDIVIDUAL SEWAGE DISPOSAL SYSTEM) MAINTENANCE. ADDITIONALLY, THIS TMOL CALLS FOR THE TOWN OF SOUTH KINGSTOWN, RIDOT, AND RESPONSIBLE PROPERTY OWNERS TO REDUCE WET WEATHER FECAL COLIFORM LOADS TO THE MAXIMUM EXTENT TECHNICALLY FEASIBLE THROUGH THE USE OF STRUCTURAL BMPs THAT PROMOTE THE DETENTION AND/OR INFILTRATION OF RUNOFF FROM ROADWAYS AND COMMERCIAL PROPERTIES WITHIN THE CATCHMENT AREA AND/OR AT THE OUTFALL LOCATED OFF GREENWOOD DRIVE."
- THE DEVELOPMENT PARCEL IS NOT LISTED ON THE NATIONAL REGISTER OF HISTORIC PLACES.
- PUBLIC TREES THAT ARE REMOVED OR DAMAGED DURING CONSTRUCTION SHALL BE REPLACED WITH EQUIVALENT.

RIDOT NOTES

- THE PHYSICAL ALTERATION PERMIT #190408-A APPROVED BY THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION (RIDOT) IS ONLY VALID FOR THE WORK ALONG THE PROJECT FRONTAGE SHOWN ON THIS PLAN. THE SIDEWALK IMPROVEMENTS ON THE ADJACENT PARCEL TO THE SOUTH OF THE PROJECT PROPERTY AND ANY ADDITIONAL WORK WILL REQUIRE A SEPARATE PHYSICAL ALTERATION PERMIT APPLICATION (PAPA) SUBMITTED PRIOR TO THE START OF WORK.



DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED Feb. 2, 2021 FILE # 20-0233
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE
Darryl C. Freeman

REVISIONS	Date	Description
No.	07/19/2021	REVISED PER RIDEM COMMENTS

Designed	C.J.L.
Drawn	C.J.L.
Reviewed	M.J.B.
Scale	N.T.S.
Project No.	18C6704
Date	7/30/2020
CAD File:	GN18C670401

GENERAL NOTES

Sheet No.

GN-1

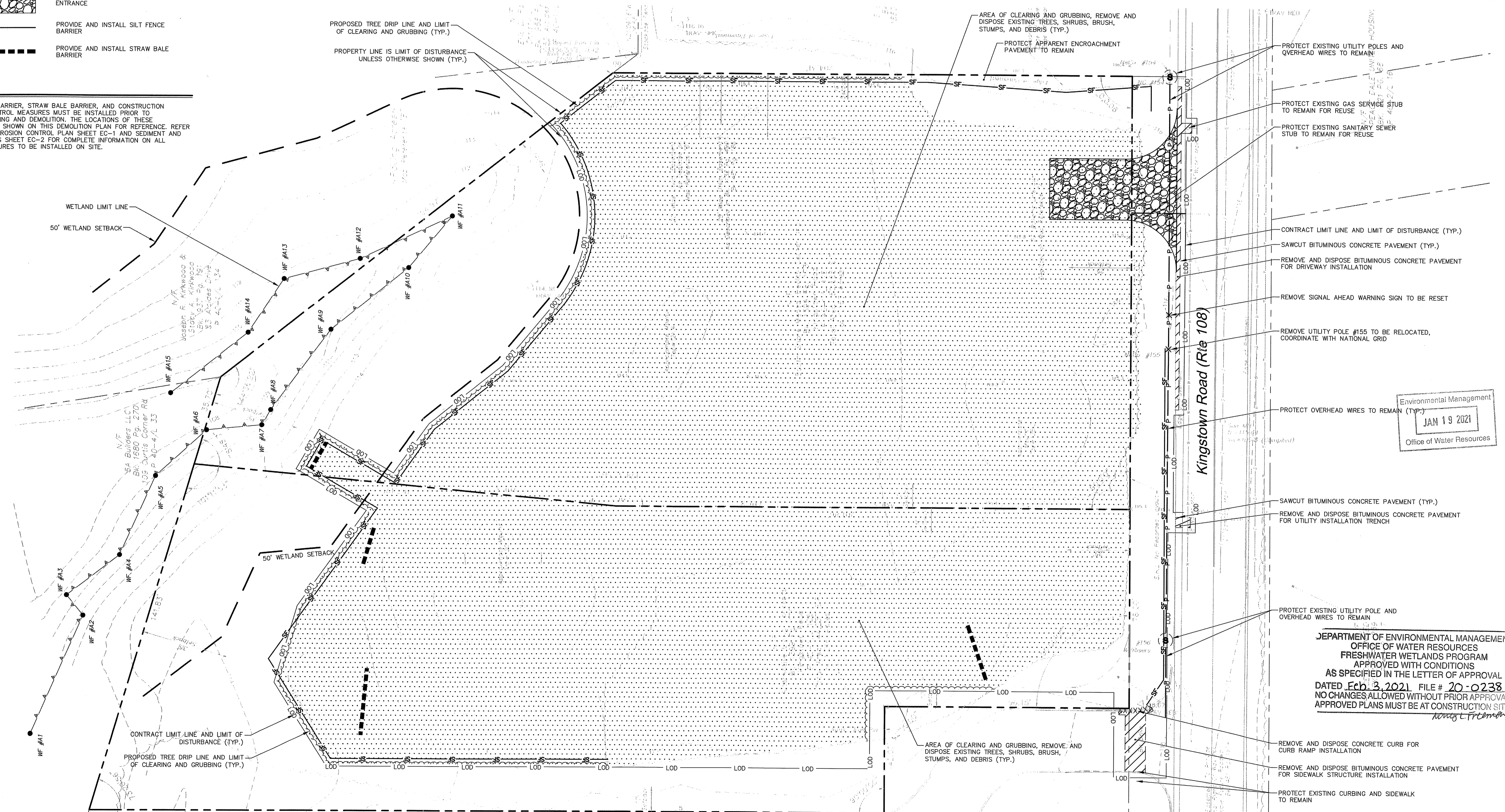
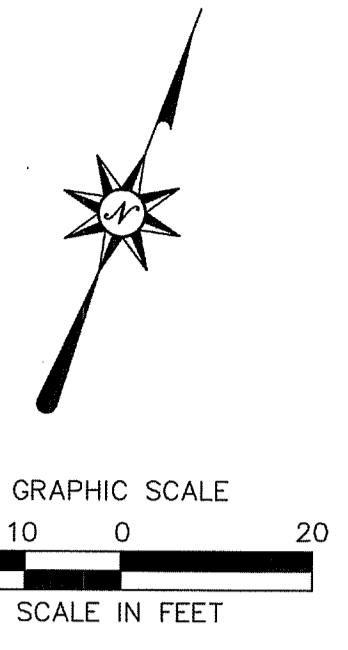
**NOT FOR CONSTRUCTION
 FOR PERMITTING PURPOSES ONLY**

DEMOLITION PLAN LEGEND

- PROPERTY LINE
- LOD LIMIT OF DISTURBANCE AND SITE WORK CONTRACT LIMIT LINE
- WETLAND LIMIT LINE
- PROPOSED TREE DRIP LINE AND LIMIT OF CLEARING AND GRUBBING
- SAWCUT LINE
- EXISTING CONTOUR LINE (1' INTERVAL)
- XXXXXXXXXXXXXXXXXXXXXXXXX REMOVE AND DISPOSE OF UNDERGROUND STORMWATER OR UTILITY PIPE, CURB, FENCING, WALLS, OVERHEAD WIRES, ETC.
- P --- P --- P --- PROTECT EXISTING UTILITY LINE
- X REMOVE AND DISPOSE EXISTING STRUCTURE, FURNISHING, TREE, SHRUB, AND/OR STUMP
- (S) PROTECT EXISTING STRUCTURE/FURNISHING OR TREE
- [Hatched Box] REMOVE AND DISPOSE OF EXISTING BITUMINOUS CONCRETE PAVEMENT STRUCTURE
- [Dotted Box] CLEARING AND GRUBBING, REMOVE AND DISPOSE EXISTING TREES, SHRUBS, BRUSH, STUMPS, AND DEBRIS
- [Circular Pattern Box] PROVIDE AND INSTALL CONSTRUCTION ENTRANCE
- SF --- SF --- PROVIDE AND INSTALL SILT FENCE BARRIER
- STRAW BALE BARRIER

NOTE

PERIMETER SILT FENCE BARRIER, STRAW BALE BARRIER, AND CONSTRUCTION ENTRANCE EROSION CONTROL MEASURES MUST BE INSTALLED PRIOR TO COMMENCING SITE CLEARING AND DEMOLITION. THE LOCATIONS OF THESE STRUCTURES HAVE BEEN SHOWN ON THIS DEMOLITION PLAN FOR REFERENCE. REFER TO THE SEDIMENT AND EROSION CONTROL PLAN SHEET EC-1 AND SEDIMENT AND EROSION CONTROL NOTES SHEET EC-2 FOR COMPLETE INFORMATION ON ALL EROSION CONTROL MEASURES TO BE INSTALLED ON SITE.



REFER TO SHEET GN-1 FOR SITE WORK GENERAL NOTES

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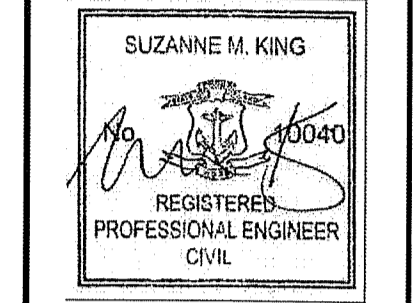
- AREA OF CLEARING AND GRUBBING, REMOVE AND DISPOSE EXISTING TREES, SHRUBS, BRUSH, STUMPS, AND DEBRIS (TYP.)
- PROTECT APPARENT ENCROACHMENT PAVEMENT TO REMAIN
- PROTECT EXISTING UTILITY POLES AND OVERHEAD WIRES TO REMAIN
- PROTECT EXISTING GAS SERVICE STUB TO REMAIN FOR REUSE
- PROTECT EXISTING SANITARY SEWER STUB TO REMAIN FOR REUSE
- CONTRACT LIMIT LINE AND LIMIT OF DISTURBANCE (TYP.)
- SAWCUT BITUMINOUS CONCRETE PAVEMENT (TYP.)
- REMOVE AND DISPOSE BITUMINOUS CONCRETE PAVEMENT FOR DRIVEWAY INSTALLATION
- REMOVE SIGNAL AHEAD WARNING SIGN TO BE RESET
- REMOVE UTILITY POLE #155 TO BE RELOCATED, COORDINATE WITH NATIONAL GRID
- PROTECT OVERHEAD WIRES TO REMAIN (TYP.)
- SAWCUT BITUMINOUS CONCRETE PAVEMENT (TYP.)
- REMOVE AND DISPOSE BITUMINOUS CONCRETE PAVEMENT FOR UTILITY INSTALLATION TRENCH
- PROTECT EXISTING UTILITY POLE AND OVERHEAD WIRES TO REMAIN
- AREA OF CLEARING AND GRUBBING, REMOVE AND DISPOSE EXISTING TREES, SHRUBS, BRUSH, STUMPS, AND DEBRIS (TYP.)
- REMOVE AND DISPOSE CONCRETE CURB FOR CURB RAMP INSTALLATION
- REMOVE AND DISPOSE BITUMINOUS CONCRETE PAVEMENT FOR SIDEWALK STRUCTURE INSTALLATION
- PROTECT EXISTING CURBING AND SIDEWALK TO REMAIN

Environmental Management
JAN 19 2021
Office of Water Resources

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100 Constitution Plaza
10th Floor
Hartford, CT 06103
(860) 249-2200
(860) 249-2400 Fax



APPLICANT:
Carnell Homes, LLC
59 Field Street
Torrington, CT 06790

OWNER 1 (PARCEL 40-1/125):
SOUTH SHORE MENTAL HEALTH
CENTER, INC.
765 ALLENS AVE. STE 100
PROVIDENCE, RI 02905

OWNER 2 (PARCEL 40-1/126):
ALTERNATIVE LIVING CONCEPTS
C/O GATEWAY HEALTHCARE
249 ROOSEVELT AVE. STE 205
PAWTUCKET, RI 02860

PROPOSED RETAIL DEVELOPMENT
1860 KINGSTOWN ROAD (RT ROUTE 108)
SOUTH KINGSTOWN, RHODE ISLAND

REVISIONS

No.	Date	Desc.
1	01/15/2021	REVISED PER RIBEM COMMENTS

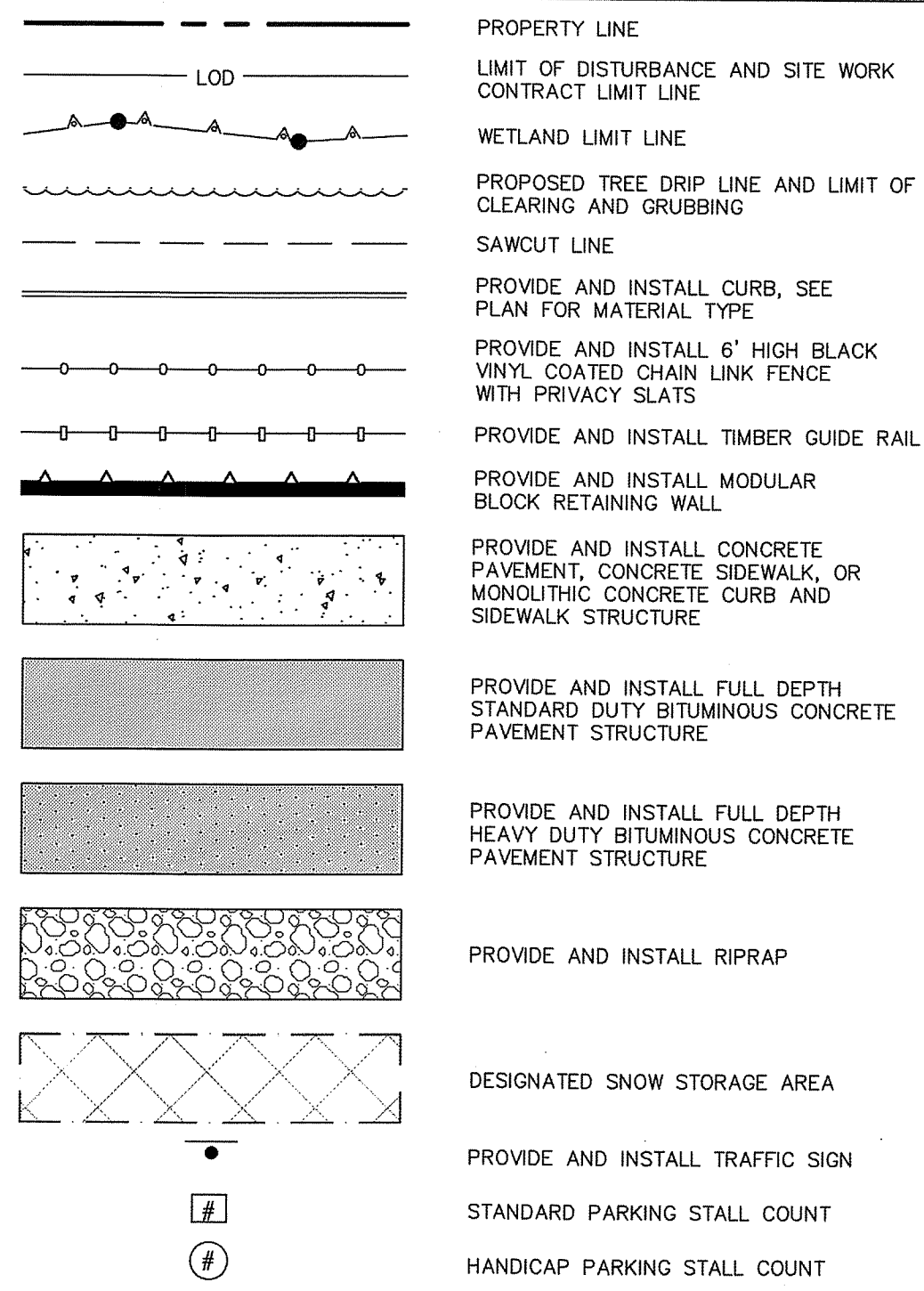
Designed	C.J.L.
Drawn	C.J.L.
Reviewed	M.J.B.
Scale	1"=20'
Project No.	18CA704
Date	7/30/2020
CAD File:	DM18CA70401

DEMOLITION PLAN

Sheet No.

DM-1

SITE PLAN LEGEND



ZONING INFORMATION

LOCATION: SOUTH KINGSTOWN, WASHINGTON COUNTY, RHODE ISLAND
 ZONE: MU (MIXED USE / KINGSTOWN ROAD SPECIAL MANAGEMENT DISTRICT)
 USE: RETAIL (PERMITTED USE WITH SPECIAL PERMIT)

ITEM #	ITEM	REQUIREMENTS	PROPOSED	VARIANCE
1	MINIMUM LOT AREA	10,000 S.F.	94,902 S.F. (2,179 AC.)	NO
2	MINIMUM LOT WIDTH	70 FEET	248 FEET	NO
3	MINIMUM LOT FRONTAGE	70 FEET	248 FEET	NO
4	MINIMUM FRONT SETBACK	25 FEET	26 FEET	NO
5	MINIMUM SIDE SETBACK	10 FEET (15 FEET TO RESIDENTIAL)	68 FEET (132.2 FEET RESIDENTIAL)	NO
6	MINIMUM REAR SETBACK	20 FEET (35 FEET TO RESIDENTIAL)	246.3 FEET	NO
7	MAXIMUM BUILDING HEIGHT	35 FEET	< 35 FEET/1 STORY	NO
8	MAXIMUM BUILDING COVERAGE	30 PERCENT	8.0 PERCENT	NO

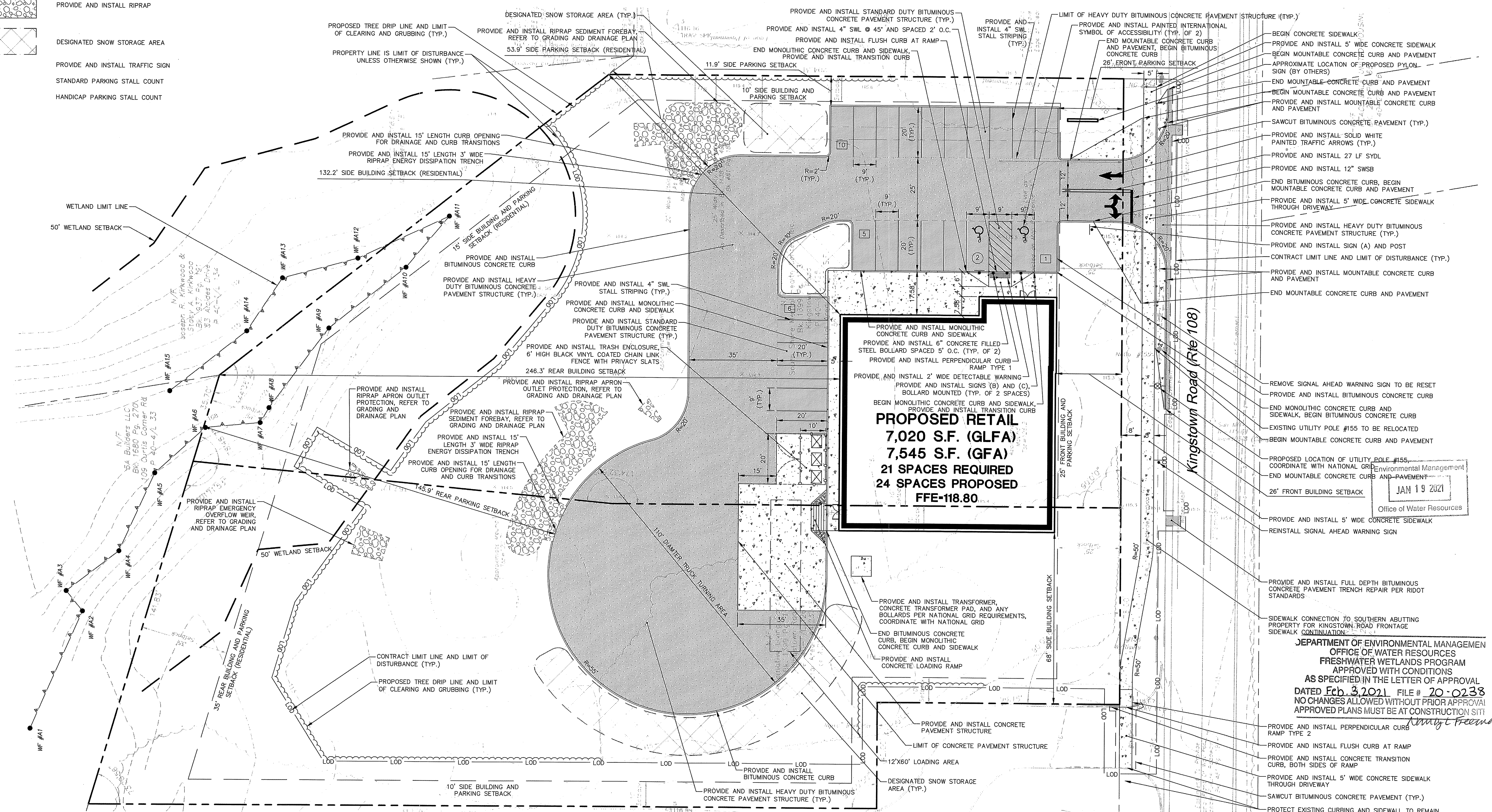
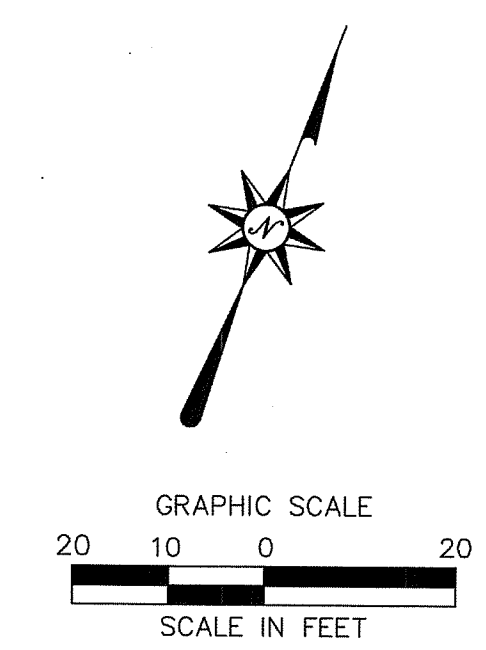
PARKING INFORMATION

ITEM #	ITEM	REQUIREMENTS	PROPOSED	VARIANCE
1	BUILDING SIZE	7,500 S.F. GROSS LEASABLE FLOOR AREA (GLFA)	7,020 S.F. GLFA / 7,545 S.F. GFA	NO
2	PARKING REQUIRED	1 SPACE PER EVERY 350 S.F. GLFA TOTAL REQUIRED = 21 SPACES	24 SPACES	NO
3	MINIMUM HANDICAPPED PARKING SPACES REQUIRED	2 SPACES (1 VAN ACCESSIBLE)	2 SPACES (2 VAN ACCESSIBLE)	NO
4	MINIMUM PARKING DIMENSIONS	9 FEET X 18 FEET 350 S.F. INCLUDING AISLE WIDTH	9 FEET X 20 FEET 405 S.F. WITH AISLE	NO
5	MINIMUM AISLE WIDTH	24 FEET - 2-WAY	24 FEET - 2-WAY	NO
6	MINIMUM FRONT SETBACK	25 FEET	26 FEET	NO
7	MINIMUM SIDE SETBACK	10 FEET (15 FEET TO RESIDENTIAL)	11.9 FEET (53.9 FEET RESIDENTIAL)	NO
8	MINIMUM REAR SETBACK	20 FEET (35 FEET TO RESIDENTIAL)	145.9 FEET	NO
9	MAXIMUM PARKING AREA	NO REQUIREMENT	25,005 S.F.	NO
10	MINIMUM INTERIOR LANDSCAPING	8% OF TOTAL PARKING AREA	2,700 S.F. / 25,005 S.F. 10.8%	NO

SIGN LEGEND

SIGN NO.	MUTCD NO.	LEGEND
A	R1-1	STOP 30"
B	R7-8	RESERVED PARKING
C	R7-8a	VAN ACCESSIBLE

NOTE: HANDICAPPED SIGNS TO BE INSTALLED IN PIPE BOLLARDS (SEE DETAIL). ALL HANDICAP SIGNAGE TO CONFORM TO LATEST BUILDING CODE.



PROPOSED RETAIL
 7,020 S.F. (GLFA)
 7,545 S.F. (GFA)
 21 SPACES REQUIRED
 24 SPACES PROPOSED
 FFE-118.80

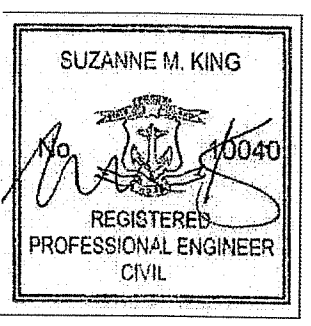
JAN 19 2021
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 10th Floor
 Hartford, CT 06103
 (860) 249-2200
 (860) 249-2400 Fax



APPLICANT:
 Garrett Homes, LLC
 59 Field Street
 Torrington, CT 06790

OWNER 1 (PARCEL 40-1/125):
 SOUTH SHORE MENTAL HEALTH CENTER, INC.
 765 ALLENS AVE. STE 100
 PROVIDENCE, RI 02905

OWNER 2 (PARCEL 40-1/126):
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 C/O GATEWAY HEALTHCARE
 249 ROOSEVELT AVE. STE 205
 PAWBUCKET, RI 02860

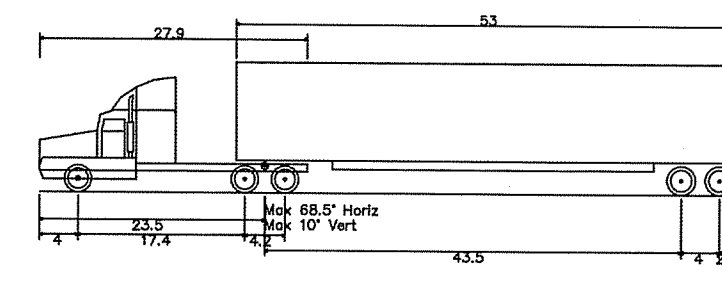
PROPOSED RETAIL DEVELOPMENT
 1860 KINGSTOWN ROAD (RI ROUTE 108)
 SOUTH KINGSTOWN, RHODE ISLAND

REVISIONS
 No. 1
 Date 01/19/2021
 Desc. REVISED PER RIDEMA COMMENTS

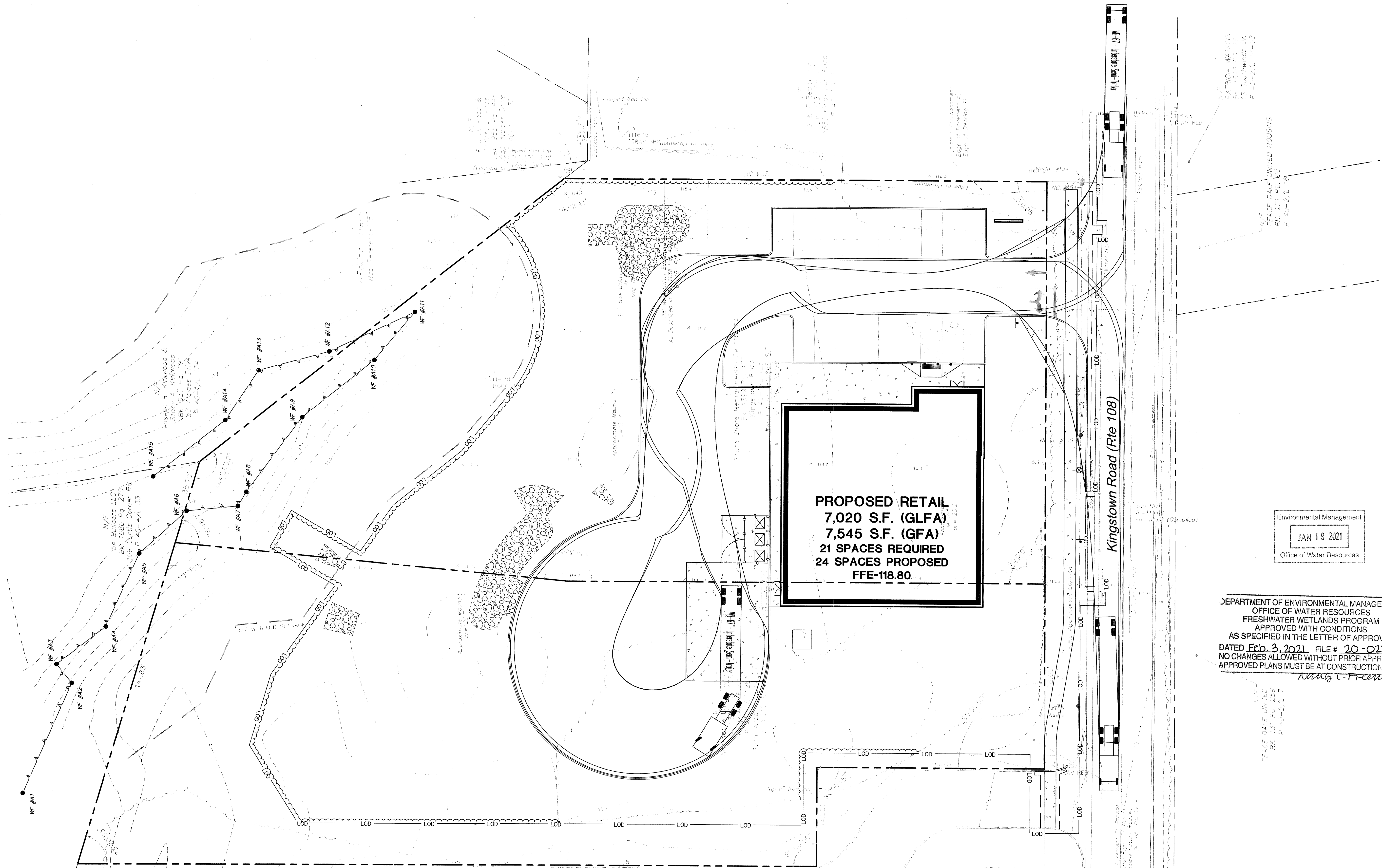
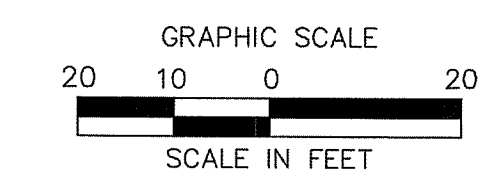
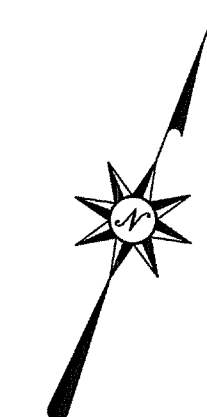
Designed C.J.L.
 Drawn C.J.L.
 Reviewed M.J.B.
 Scale 1"=20'
 Project No. 18C6704
 Date 7/30/2020
 CAD File: SP18C670401

SITE PLAN

Sheet No. **SP-1**



WB-57 - Interstate Semi-Trailer
 Overall Length 73.50ft
 Overall Width 8.50ft
 Overall Body Height 13.50ft
 Min Body Ground Clearance 1.33ft
 Max Truck Width 8.50ft
 Lock-to-lock time 6.00s
 Max Steering Angle (Virtual) 28.40



PROPOSED RETAIL
 7,020 S.F. (GLFA)
 7,545 S.F. (GFA)
 21 SPACES REQUIRED
 24 SPACES PROPOSED
 FFE-118.80

Environmental Management
 JAN 19 2021
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DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
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 NOT FOR CONSTRUCTION FOR PERMITTING PURPOSES ONLY

PROPOSED RETAIL DEVELOPMENT
 1860 KINGSTOWN ROAD (RI ROUTE 108)
 SOUTH KINGSTOWN, RHODE ISLAND

REVISIONS

No.	Date	Description
1	07/16/2021	REVISED PER RIBEM COMMENTS

Designed	C.J.L.
Drawn	C.J.L.
Reviewed	M.J.B.
Scale	1"=20'
Project No.	18C6704
Date	7/30/2020

CAD File:
 TT18C670401

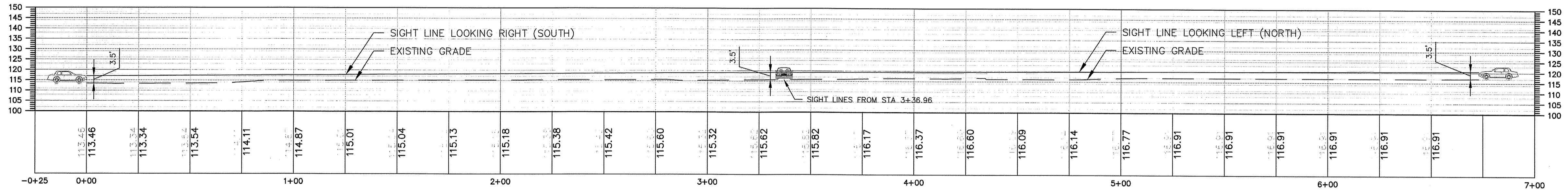
Title
**TRUCK TURN
 PLAN - WB-67**

Sheet No.

TT-1



INTERSECTION SIGHT DISTANCE - SIGHT LINE

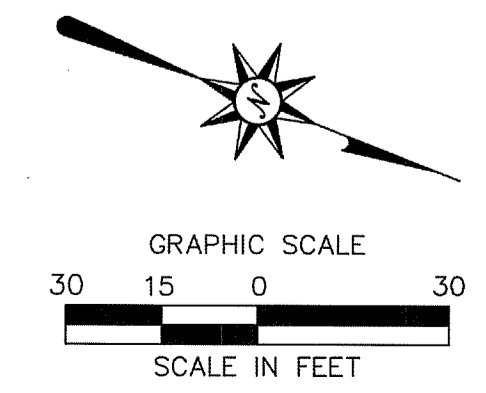


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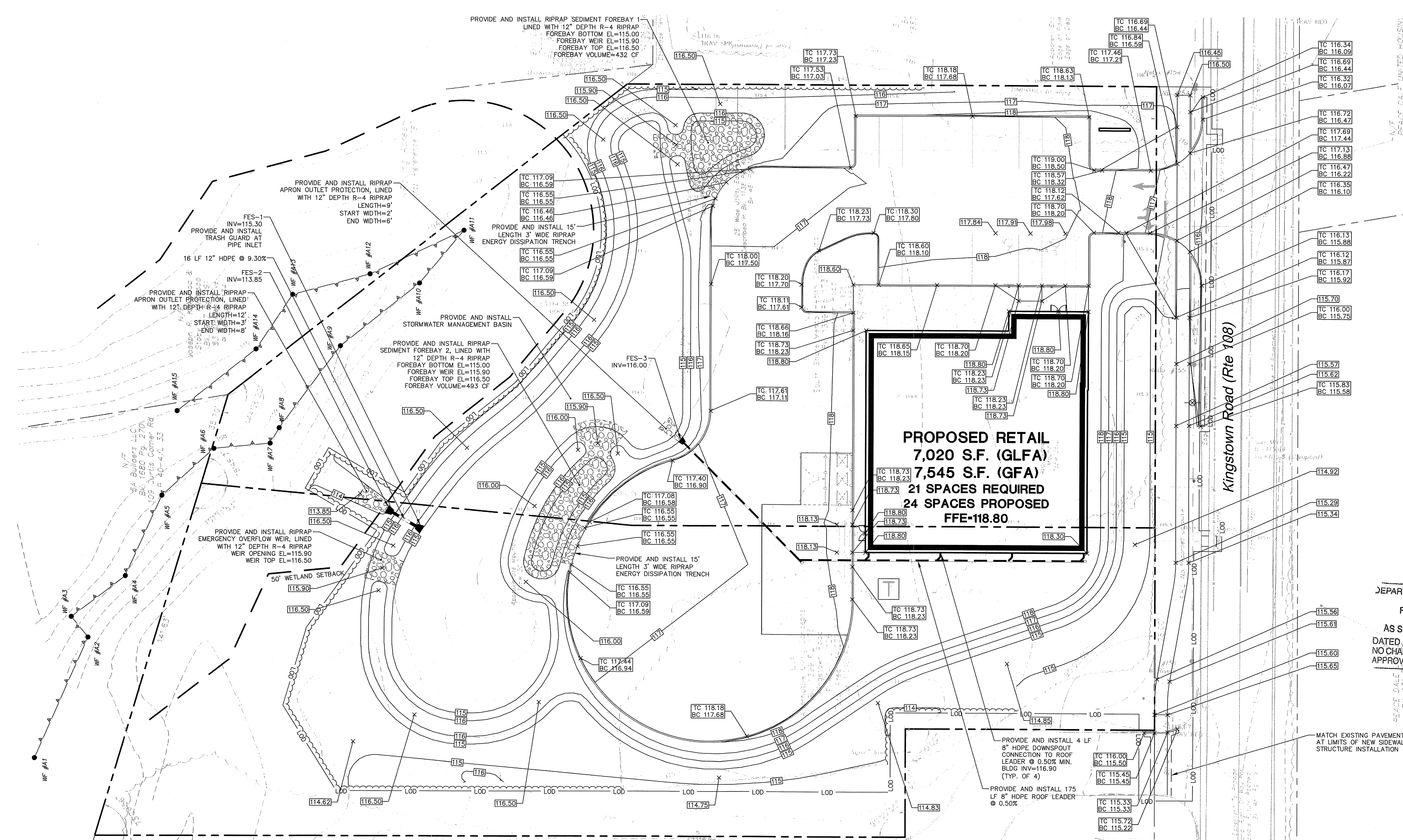
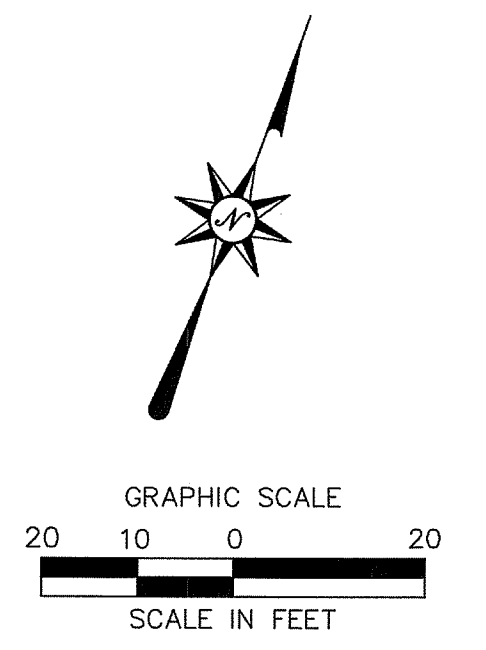
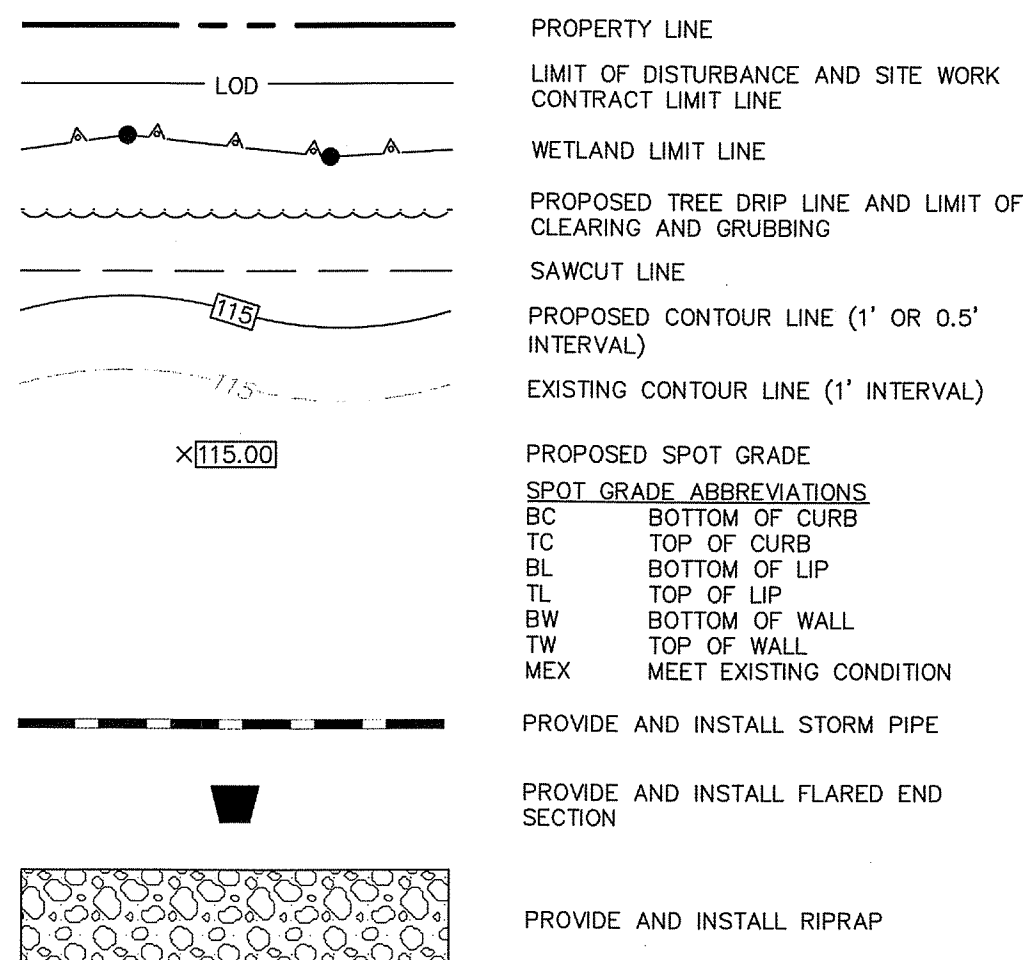
NOTES

- THE REQUIRED INTERSECTION SIGHT DISTANCE (ISD) WAS CALCULATED AS DESCRIBED IN 6TH EDITION OF THE AASHTO PUBLICATION "A POLICY ON GEOMETRIC DESIGN OF HIGHWAYS AND STREETS" EQUATION 9-1. ISD LENGTH WAS CALCULATED AS FOLLOWS:
 $ISD = 1.47 \cdot V_{max} \cdot T_0$
 $V_{max} = 30$ MPH (DESIGN SPEED)
 $T_0 = 7.5$ SEC (PASSENGER CAR LEFT TURN FROM STOP TIME GAP)
 $ISD = 1.47 \cdot 30 \cdot 7.5 = 330.8$ FT (335 FEET USED)



REFER TO SHEET GN-1 FOR SITE WORK GENERAL NOTES
NOT FOR CONSTRUCTION WORK PERMITTING PURPOSES ONLY

GRADING AND DRAINAGE LEGEND



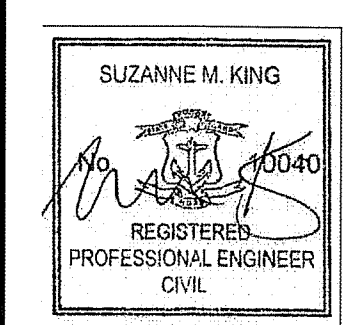
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 PAWTUCKET, RI 02860

PROPOSED RETAIL DEVELOPMENT
 1860 KINGSTOWN ROAD (R1 ROUTE 108)
 SOUTH KINGSTOWN, RHODE ISLAND

REVISIONS
 DATE: 07/19/2021
 NO. 1
 DRAWN: [Signature]
 DESIGNED: [Signature]
 CHECKED: [Signature]
 REVISION COMMENTS:

Designed: C.J.L.
 Drawn: C.J.L.
 Reviewed: M.J.B.
 Scale: 1"=20'
 Project No. 18C6704
 Date: 7/30/2020
 CAD File: GD18C670401

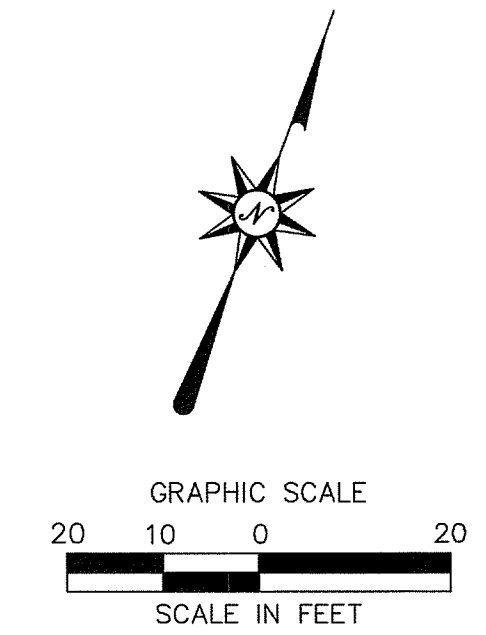
Title
GRADING AND DRAINAGE PLAN

Sheet No.

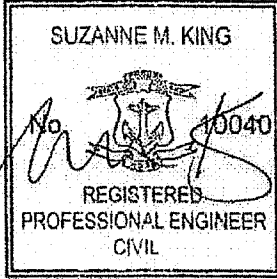
GD-1

SITE UTILITIES LEGEND

- PROPERTY LINE
- LOD
- LIMIT OF DISTURBANCE AND SITE WORK CONTRACT LIMIT LINE
- WETLAND LIMIT LINE
- PROPOSED TREE DRIP LINE AND LIMIT OF CLEARING AND GRUBBING
- SAWCUT LINE
- W --- W --- W PROVIDE AND INSTALL WATER SERVICE LINE
- S --- S --- S PROVIDE AND INSTALL SANITARY SEWER SERVICE LINE
- G --- G --- G PROVIDE AND INSTALL PROPANE GAS SERVICE LINE
- E --- E --- E PROVIDE AND INSTALL CONDUIT(S) FOR ELECTRICAL SERVICE
- ESC --- ESC --- PROVIDE AND INSTALL CONDUIT(S) FOR ELECTRIC SIGN CIRCUIT
- T --- T --- T PROVIDE AND INSTALL CONDUIT(S) FOR TELECOMMUNICATIONS SERVICE



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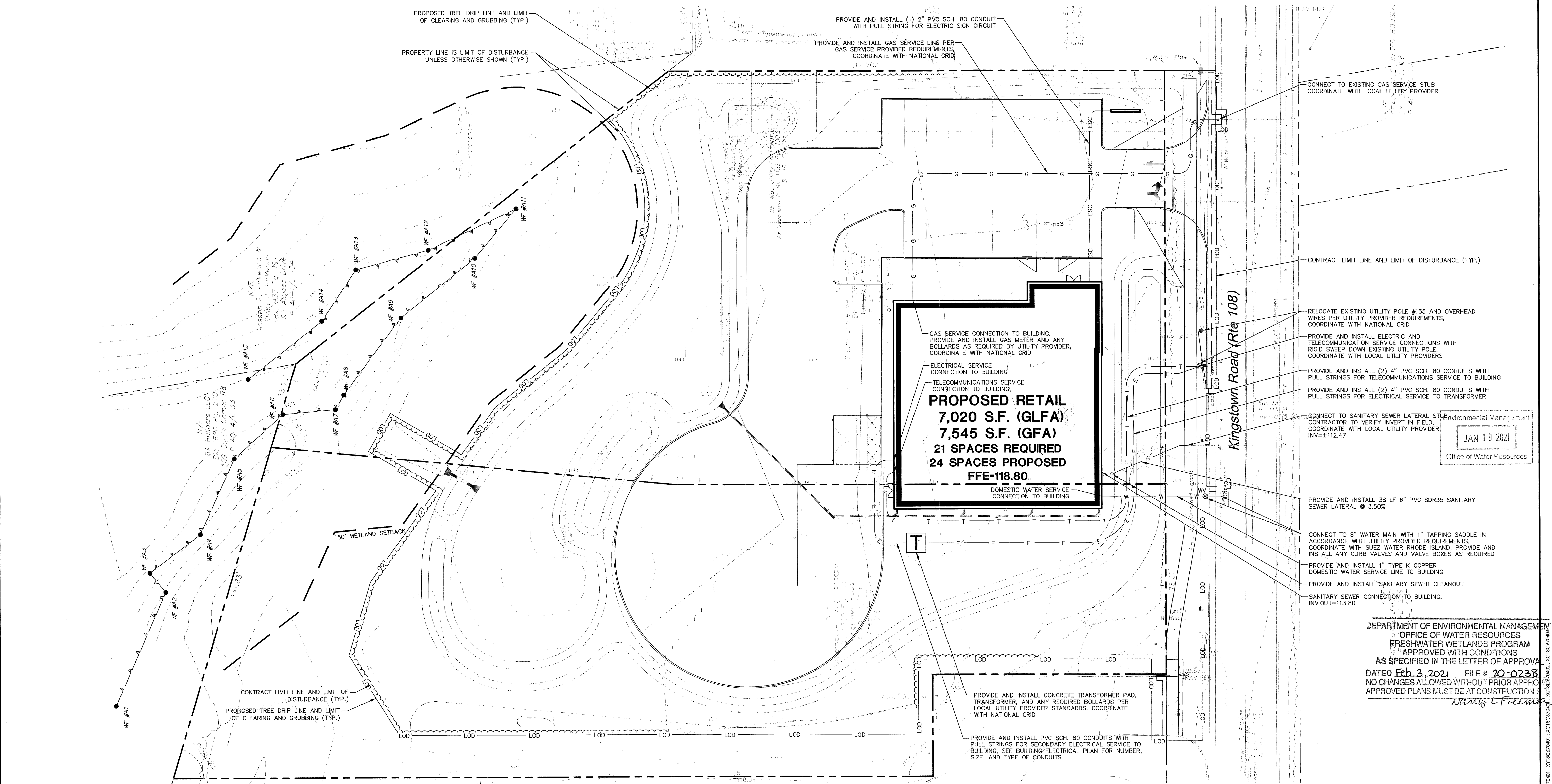


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755 ALLENS AVE, STE 100
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PROPOSED RETAIL DEVELOPMENT
1860 KINGSTOWN ROAD (RI ROUTE 108)
SOUTH KINGSTOWN, RHODE ISLAND



JAN 19 2021
Office of Water Resources

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REVISIONS	Date	Disc.	REVISED PER
No. 1	07/19/2021		REVISED PER RIDEMA COMMENTS

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Drawn	C.J.L.
Reviewed	M.J.B.
Scale	1"=20'
Project No.	18C6704
Date	7/30/2020
CAD File:	SU18C670401

SITE UTILITIES PLAN

Sheet No.

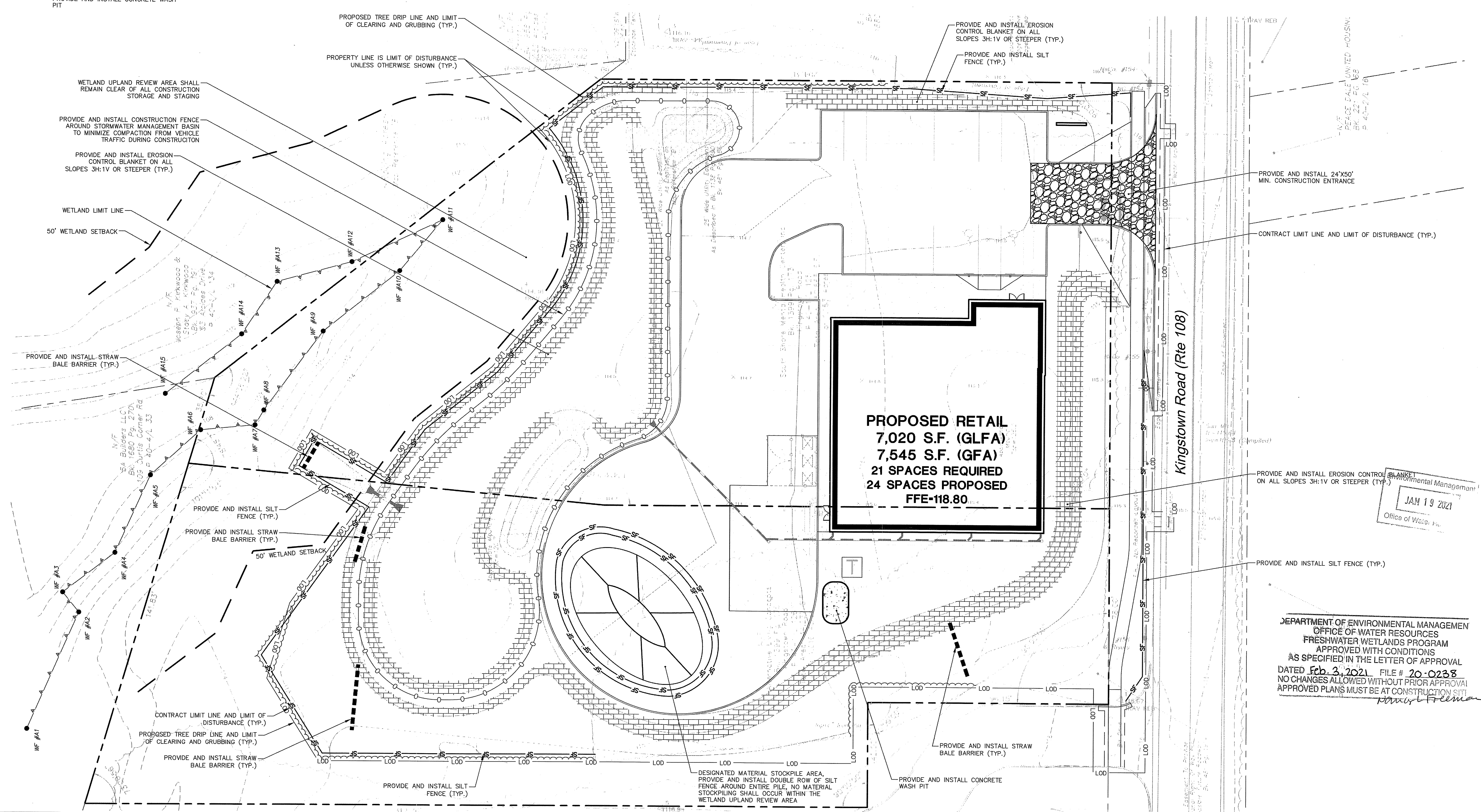
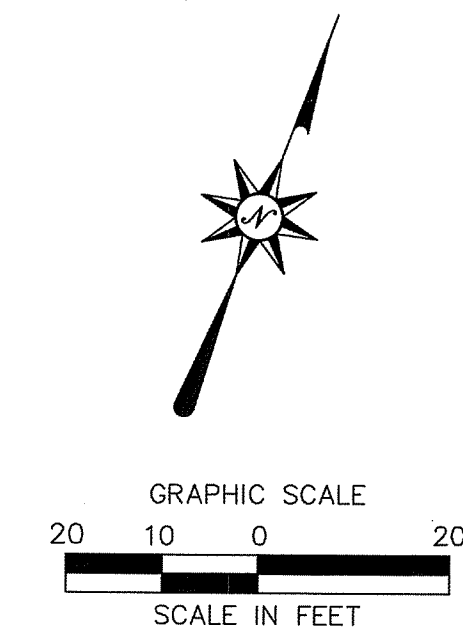
SU-1

REFER TO SHEET GN-1 FOR SITE WORK GENERAL NOTES

NOT FOR CONSTRUCTION FOR PERMITTING PURPOSES ONLY

EROSION CONTROL LEGEND

- PROPERTY LINE
- LIMIT OF DISTURBANCE AND SITE WORK CONTRACT LIMIT LINE
- PROPOSED TREE DRIP LINE AND LIMIT OF CLEARING AND GRUBBING
- SAWCUT LINE
- PROVIDE AND INSTALL SILT FENCE BARRIER
- PROVIDE AND INSTALL CONSTRUCTION FENCE
- PROVIDE AND INSTALL STRAW BALE BARRIER
- PROVIDE AND INSTALL EROSION CONTROL BLANKET ON ALL SLOPES 3H:1V OR STEEPER
- PROVIDE AND INSTALL CONSTRUCTION ENTRANCE
- MATERIAL STOCKPILE LOCATION, PROVIDE AND INSTALL DOUBLE ROW OF SILT FENCE BARRIER AROUND ENTIRE PILE
- PROVIDE AND INSTALL CONCRETE WASH PIT



PROPOSED RETAIL
 7,020 S.F. (GLFA)
 7,545 S.F. (GFA)
 21 SPACES REQUIRED
 24 SPACES PROPOSED
 FFE-118.80

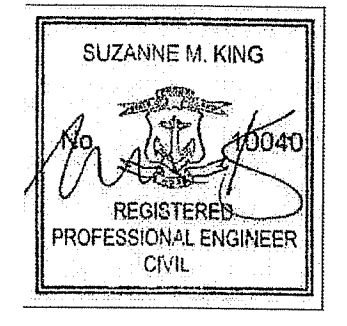
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 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED Feb. 3, 2021 FILE # 20-0238
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

JAN 19 2021
 Offices of Water Resources

REFER TO SHEET GN-1 FOR SITE WORK GENERAL NOTES
 NOT FOR CONSTRUCTION FOR PERMITTING PURPOSES ONLY
 REFER TO SHEET EC-2 FOR SEDIMENT AND EROSION CONTROL NOTES



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APPLICANT:
 Garrett Homes, LLC
 59 Field Street
 Tonnawagon, CT 06790

OWNER 1 (PARCEL 40-11125):
 SOUTH SHORE MENTAL HEALTH CENTER, INC
 745 ALLEN AVE, STE 100
 PROVIDENCE, RI 02905

OWNER 2 (PARCEL 40-11126):
 ALTERNATIVE LIVING CONCEPTS
 C/O GATEWAY HEALTHCARE
 249 ROOSEVELT AVE, STE 205
 PAWTUCKET, RI 02860

PROPOSED RETAIL DEVELOPMENT
 1860 KINGSTOWN ROAD (RI ROUTE 108)
 SOUTH KINGSTOWN, RHODE ISLAND

REVISIONS

No.	Date	Disc.	REVISED PER	REDEM COMMENTS
1	01/15/2021			

Designed C.J.L.
 Drawn C.J.L.
 Reviewed M.J.B.
 Scale 1"=20'
 Project No. 18C6704
 Date 7/30/2020

CAD File: EC18C670401

SEDIMENT AND EROSION CONTROL PLAN

Sheet No.

EC-1

SEDIMENT AND EROSION CONTROL NOTES

SEDIMENT AND EROSION CONTROL NOTES

SEDIMENT & EROSION CONTROL NARRATIVE:
THE SEDIMENT AND EROSION CONTROL PLAN WAS DEVELOPED TO PROTECT THE EXISTING ROADWAY AND STORM DRAINAGE SYSTEMS, ADJACENT PROPERTIES, AND ANY ADJACENT WETLAND AREA AND ANY ADJACENT WATER COURSE FROM SEDIMENT LADEN SURFACE RUNOFF AND EROSION. A CONSTRUCTION SEQUENCE IS PROVIDED TO PROVIDE SURFACE RUNOFF EROSION CONTROLS PRIOR TO THE BEGINNING OF PROJECT DEMOLITION AND/OR CONSTRUCTION.

CONSTRUCTION SCHEDULE:
THE ANTICIPATED STARTING DATE FOR CONSTRUCTION IS FALL 2020 WITH COMPLETION ANTICIPATED SPRING 2021. APPROPRIATE SEDIMENT AND EROSION CONTROL MEASURES AS DESCRIBED HEREIN SHALL BE INSTALLED BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF ALL DEMOLITION OR CONSTRUCTION ACTIVITY. SCHEDULE WORK TO MINIMIZE THE LENGTH OF TIME THAT BARE SOIL WILL BE EXPOSED.

CONTINGENCY EROSION PLAN:
THE CONTRACTOR SHALL INSTALL ALL SPECIFIED SEDIMENT AND EROSION CONTROL MEASURES AND WILL BE REQUIRED TO MAINTAIN THEM IN THEIR INTENDED FUNCTIONING CONDITION. THE TOWN OF SOUTH KINGSTOWN AND/OR CIVIL ENGINEER SHALL HAVE THE AUTHORITY TO REQUIRE SUPPLEMENTAL MAINTENANCE OR ADDITIONAL MEASURES IF FIELD CONDITIONS ARE ENCOUNTERED BEYOND WHAT WOULD NORMALLY BE ANTICIPATED.

CONSTRUCTION SEQUENCE:
THE FOLLOWING CONSTRUCTION SEQUENCE IS RECOMMENDED:

- CONTACT TOWN OF SOUTH KINGSTOWN AT LEAST FORTY-EIGHT (48) HOURS PRIOR TO COMMENCEMENT OF ANY DEMOLITION, CONSTRUCTION OR REGULATED ACTIVITY ON THIS PROJECT.
- CLEARING LIMITS SHALL BE PHYSICALLY MARKED IN THE FIELD AND APPROVED BY THE TOWN OF SOUTH KINGSTOWN PRIOR TO THE START OF WORK ON THE SITE. INSTALL PERIMETER SILT FENCE. INSTALL ORANGE CONSTRUCTION FENCE 2' OFFSET FROM THE WETLAND BUFFER TO PROTECT THE BUFFER DURING CONSTRUCTION.
- CONSTRUCT CONSTRUCTION ENTRANCE AT CONSTRUCTION ENTRANCE/EXIT.
- CLEAR AND GRUB SITE. STOCKPILE CHIPS, STOCKPILE TOPSOIL. INSTALL SEDIMENT AND EROSION CONTROLS AT STOCKPILES.
- REMOVE EXISTING PAVEMENT WHERE SHOWN ON PLAN.
- COMMENCE EARTHWORK. TOPSOIL AND SEED SLOPES WHICH HAVE ACHIEVED FINAL SITE GRADING.
- CONSTRUCTION STAKING OF ALL BUILDING CORNERS, UTILITIES, ACCESS DRIVES, AND PARKING AREAS.
- ROUGH GRADING AND FILLING OF SUBGRADES AND SLOPES.
- IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO ELIMINATE THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION.
- BEFORE DISPOSING OF SOIL OR RECEIVING BORROW FOR THE SITE, THE CONTRACTOR MUST PROVIDE EVIDENCE THAT EACH SPOIL OR BORROW AREA HAS A SEDIMENT AND EROSION CONTROL PLAN APPROVED BY THE TOWN OF SOUTH KINGSTOWN AND WHICH IS BEING IMPLEMENTED AND MAINTAINED. THE CONTRACTOR SHALL ALSO NOTIFY THE TOWN OF SOUTH KINGSTOWN IN WRITING OF ALL RECEIVING SPOIL AND BORROW AREAS WHEN THEY HAVE BEEN IDENTIFIED.
- CONTINUE INSTALLATION OF STORM DRAINAGE AS SUBGRADE ELEVATIONS ARE ACHIEVED.
- BUILDING FOUNDATION SUBGRADE, RETAINING WALL SUBGRADE AND PAD SUBGRADE PREPARATION.
- BUILDING FOUNDATION CONSTRUCTION. BEGIN BUILDING SUPERSTRUCTURE.
- THROUGHOUT CONSTRUCTION SEQUENCE, REMOVE SEDIMENT FROM BEHIND SILT FENCES. REMOVAL SHALL BE ON A PERIODIC BASIS (EVERY SIGNIFICANT RAINFALL OF 0.25 INCH OR GREATER). INSPECTION OF SEDIMENT AND EROSION CONTROL MEASURES SHALL BE ON A WEEKLY BASIS AND AFTER EACH RAINFALL OF 0.25 INCHES OR GREATER. SEDIMENT COLLECTED SHALL BE DEPOSITED AND SPREAD EVENLY UPLAND ON SLOPES DURING CONSTRUCTION.
- INSTALL SANITARY LATERAL AND UTILITIES. COMPLETE STORM DRAINAGE SYSTEM.
- INSTALL SITE LIGHTING AND TRASH ENCLOSURE.
- COMPLETE GRADING TO SUBGRADES AND CONSTRUCT PARKING AREA SUBGRADE.
- CONSTRUCT CURBS, PAVEMENT STRUCTURE AND SIDEWALKS.
- CONDUCT FINE GRADING.
- PAVING OF PARKING AREAS AND DRIVEWAYS.
- FINAL FINE GRADING OF SLOPE AND NON-PAVED AREAS.
- PLACE 4" TOPSOIL ON SLOPES AFTER FINAL GRADING IS COMPLETED. FERTILIZE SEED AND MULCH. SEED MIXTURE TO BE INSTALLED AUGUST 15-OCTOBER 1. USE EROSION CONTROL BLANKETS AS REQUIRED OR ORDERED FOR SLOPES GREATER THAN 3:1. FOR TEMPORARY STABILIZATION BEYOND SEEDING DATES USE ANNUAL RYE AT 4.0 LBS/1,000 S.F. FERTILIZE WITH 10-10-10 AT 1.0 LBS. OF NITROGEN PER 1,000 S.F. AND LIME AT 100 LBS/1,000 S.F. (MAX.).
- LANDSCAPE PERIMETER AREAS.
- INSTALL SIGNING AND PAVEMENT MARKINGS.
- CLEAN STORM DRAINAGE DETENTION SYSTEMS AND WATER QUALITY DEVICES OF DEBRIS AND SEDIMENT.
- UPON DIRECTION OF THE TOWN OF SOUTH KINGSTOWN, SEDIMENT AND EROSION CONTROL MEASURES SHALL BE REMOVED FOLLOWING STABILIZATION OF THE SITE.

OPERATION REQUIREMENTS

- CLEARING AND GRUBBING OPERATIONS
- ALL SEDIMENT AND EROSION CONTROL MEASURES, INCLUDING THE CONSTRUCTION ENTRANCE, WILL BE INSTALLED PRIOR TO THE START OF CLEARING AND GRUBBING AND DEMOLITION OPERATIONS.
 - FOLLOWING INSTALLATION OF SEDIMENT AND EROSION CONTROL MEASURES, THE CONTRACTOR SHALL NOT PROCEED WITH GRADING, FILLING OR OTHER CONSTRUCTION OPERATIONS UNTIL THE ENGINEER HAS INSPECTED AND APPROVED INSTALLATIONS.
 - THE CONTRACTOR SHALL TAKE EXTREME CARE DURING CLEARING AND GRUBBING OPERATIONS SO AS NOT TO DISTURB UNPROTECTED WETLAND AREAS OR SEDIMENT AND EROSION CONTROL DEVICES.
 - FOLLOWING THE COMPLETION OF CLEARING AND GRUBBING OPERATIONS, ALL AREAS SHALL BE STABILIZED WITH TOPSOIL AND SEEDING OR CRUSHED STONE AS SOON AS PRACTICAL.

ROUGH GRADING OPERATIONS

- DURING THE REMOVAL AND/OR PLACEMENT OF EARTH AS INDICATED ON THE GRADING PLAN, TOPSOIL SHALL BE STRIPPED AND APPROPRIATELY STOCKPILED FOR REUSE.
- ALL STOCKPILED TOPSOIL SHALL BE SEEDDED, MULCHED WITH HAY, AND ENCLOSED BY A SILTATION FENCE.

FILLING OPERATIONS

- PRIOR TO FILLING, ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE PROPERLY IMPLEMENTED, MAINTAINED AND FULLY INSTALLED, AS DIRECTED BY THE ENGINEER AND AS SHOWN ON THIS PLAN.
- ALL FILL MATERIAL ADJACENT TO ANY WETLAND AREAS, IF APPLICABLE TO THIS PROJECT, SHALL BE GOOD QUALITY, WITH LESS THAN SIX FINE PASSING THROUGH A #200 SIEVE (BANK RUN), SHALL BE PLACED IN LIFT THICKNESSES NOT GREATER THAN THAT SPECIFIED IN PROJECT SPECIFICATIONS AND/OR THE PROJECT GEOTECHNICAL REPORT. LIFTS SHALL BE COMPACTED TO 95% MAX. DRY DENSITY MODIFIED PROCTOR OR AS SPECIFIED IN THE CONTRACT SPECIFICATIONS OR IN THE GEOTECHNICAL REPORT.
- AS GENERAL GRADING OPERATIONS PROGRESS, ANY TEMPORARY DIVERSION DITCHES SHALL BE RAISED OR LOWERED, AS NECESSARY, TO DIVERT SURFACE RUNOFF TO THE SEDIMENT BASINS OR SEDIMENT TRAPS.

PLACEMENT OF DRAINAGE STRUCTURES, UTILITIES, AND BUILDING CONSTRUCTION OPERATIONS.

- SILT FENCES SHALL BE INSTALLED AT THE DOWNHILL SIDES OF BUILDING EXCAVATIONS, MUD PUMP DISCHARGES, AND UTILITY TRENCH MATERIAL STOCKPILES. HAY BALES/STRAW BALES MAY BE USED IF SHOWN ON THE SEDIMENT AND EROSION CONTROL PLANS OR IF DIRECTED BY THE CIVIL ENGINEER.
- NO CUT OR FILL SLOPES SHALL EXCEED 2:1 EXCEPT WHERE STABILIZED BY ROCK FACED EMBANKMENTS OR EROSION CONTROL BLANKETS, OR JUTE MESH AND VEGETATION. ALL SLOPES SHALL BE SEEDDED AND ANY ROAD OR DRIVEWAY SHOULDER AND BANKS SHALL BE STABILIZED IMMEDIATELY UPON COMPLETION OF FINAL GRADING UNTIL TURF IS ESTABLISHED.
- PAVEMENT SUB-BASE AND BASE COURSES SHALL BE INSTALLED OVER AREAS TO BE PAVED AS SOON AS FINAL SUB-GRADES ARE ESTABLISHED AND UNDERGROUND UTILITIES AND STORM DRAINAGE SYSTEMS HAVE BEEN INSTALLED.
- AFTER CONSTRUCTION OF PAVEMENT, TOPSOIL, FINAL SEED, MULCH AND LANDSCAPING, REMOVE ALL TEMPORARY SEDIMENT AND EROSION CONTROL DEVICES ONLY AFTER ALL AREAS HAVE BEEN PAVED AND/OR GRASS HAS BEEN WELL ESTABLISHED AND THE SITE IS STABLE AND HAS BEEN INSPECTED AND APPROVED BY THE TOWN OF SOUTH KINGSTOWN.

INSTALLATION OF SEDIMENTATION AND EROSION CONTROL MEASURES

- SILTATION FENCE
 - DIG A SIX INCH TRENCH ON THE UPHILL SIDE OF THE DESIGNATED FENCE LINE LOCATION.
 - POSITION THE POST AT THE BACK OF THE TRENCH (DOWNHILL SIDE), AND HAMMER THE POST AT LEAST 1.5 FEET INTO THE GROUND.
 - LAY THE BOTTOM SIX INCHES OF THE FABRIC INTO THE TRENCH TO PREVENT UNDERMINING BY STORM WATER RUN-OFF.
 - BACKFILL THE TRENCH AND COMPACT.
- STRAW BALES
 - BALES SHALL BE PLACED IN A SINGLE ROW, LENGTHWISE, ORIENTED PARALLEL TO THE CONTOUR, WITH ENDS OF ADJACENT BALES TIGHTLY ABUTTING ONE ANOTHER.

- BALES SHALL BE ENTRENCHED AND BACKFILLED. A TRENCH SHALL BE EXCAVATED THE WIDTH OF A BALE AND THE LENGTH OF THE PROPOSED BARRIER TO A MINIMUM DEPTH OF FOUR INCHES. AFTER THE BALES ARE STAKED, THE EXCAVATED SOIL SHALL BE BACKFILLED AGAINST THE BARRIER.
- EACH BALE SHALL BE SECURELY ANCHORED BY AT LEAST TWO (2) STAKES.
- THE GAPS BETWEEN BALES SHALL BE WEDGED WITH STRAW TO PREVENT WATER LEAKAGE.
- THE BARRIER SHALL BE EXTENDED TO SUCH A LENGTH THAT THE BOTTOMS OF THE END BALES ARE HIGHER IN ELEVATION THAN THE TOP OF THE LOWEST MIDDLE BALE, TO ENSURE THAT RUN-OFF WILL FLOW EITHER THROUGH OR OVER THE BARRIER, BUT NOT AROUND IT.

OPERATION AND MAINTENANCE OF SEDIMENT AND EROSION CONTROL MEASURES

- SILTATION FENCE
 - SILTATION FENCES SHALL BE INSPECTED AS A MINIMUM WEEKLY OR AFTER EACH RAINFALL. ALL DETERIORATED FABRIC AND DAMAGED POSTS SHALL BE REPLACED AND PROPERLY REPOSITIONED IN ACCORDANCE WITH THIS PLAN.
 - SEDIMENT DEPOSITS SHALL BE REMOVED FROM BEHIND THE FENCE WHEN THEY EXCEED A HEIGHT OF SIX INCHES.
- HAY BALES/STRAW BALES
 - ALL HAY BALE/STRAW BALE RINGS SHALL BE INSPECTED FOLLOWING EACH RAINFALL. REPAIR OR REPLACEMENT SHALL BE PROMPTLY MADE AS NEEDED.
 - DEPOSITS SHALL BE REMOVED AND CLEANED-OUT IF ONE HALF OF THE ORIGINAL HEIGHT OF THE BALES BECOMES FILLED WITH SEDIMENT.

SEDIMENT AND EROSION CONTROL PLAN

- HAY BALE/STRAW BALE FILTERS WILL BE INSTALLED AT ALL CULVERT OUTLETS IF ALL CULVERT OUTLETS ARE APPLICABLE TO THIS PROJECT AND SILTATION FENCE INSTALLED ALONG THE TOE OF ALL CRITICAL CUT AND FILL SLOPES.
- CULVERT DISCHARGE AREAS WILL BE PROTECTED WITH RIP RAP OUTLET PROTECTION. ENERGY DISSIPATORS WILL BE INSTALLED AS SHOWN ON THE GRADING AND DRAINAGE PLAN AS NECESSARY.
- CATCH BASINS WILL BE PROTECTED WITH HAY BALE/STRAW BALE FILTERS, SILT SACKS, SILTATION FENCE, OR OTHER INLET PROTECTION DEVICES PER DETAILS THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL ALL DISTURBED AREAS ARE THOROUGHLY STABILIZED.
- ALL SEDIMENT AND EROSION CONTROL MEASURES WILL BE INSTALLED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK LATEST EDITION.
- SEDIMENT AND EROSION CONTROL MEASURES WILL BE INSTALLED PRIOR TO DEMOLITION AND/OR CONSTRUCTION WHENEVER POSSIBLE.
- CONTROL MEASURES WILL BE MAINTAINED IN EFFECTIVE CONDITION THROUGHOUT THE DEMOLITION AND CONSTRUCTION PERIOD UNTIL THE SITE IS DETERMINED TO BE STABILIZED BY THE AUTHORITY HAVING JURISDICTION.
- ADDITIONAL CONTROL MEASURES WILL BE INSTALLED DURING THE CONSTRUCTION PERIOD, IF NECESSARY OR REQUIRED OR AS DIRECTED BY THE CIVIL ENGINEER OR BY THE AUTHORITY HAVING JURISDICTION.
- SEDIMENT REMOVED FROM EROSION CONTROL STRUCTURES WILL BE DISPOSED IN A MANNER WHICH IS CONSISTENT WITH THE INTENT AND REQUIREMENTS OF THE SEDIMENT AND EROSION CONTROL PLANS, NOTES, AND DETAILS.
- CONTRACTOR IS ASSIGNED THE RESPONSIBILITY FOR IMPLEMENTING THIS SEDIMENT AND EROSION CONTROL PLAN. THIS RESPONSIBILITY INCLUDES THE INSTALLATION AND MAINTENANCE OF CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED ON THE CONSTRUCTION SITE OF THE REQUIREMENTS AND OBJECTIVES OF THE PLAN, NOTIFICATION OF THE TOWN OF SOUTH KINGSTOWN AND RIDEM OF ANY TRANSFER OF THIS RESPONSIBILITY AND FOR CONVEYING A COPY OF THE SEDIMENT AND EROSION CONTROL PLAN IF THE TITLE TO THE LAND IS TRANSFERRED.

SEDIMENT AND EROSION CONTROL NOTES

- THE SEDIMENT AND EROSION CONTROL PLAN IS ONLY INTENDED TO DESCRIBE THE SEDIMENT AND EROSION CONTROL TREATMENT FOR THIS SITE. SEE SEDIMENT AND EROSION CONTROL DETAILS AND CONSTRUCTION SEQUENCE. REFER TO SITE PLAN FOR GENERAL INFORMATION AND OTHER CONTROL PLANS FOR APPROPRIATE INFORMATION.
- CONTRACTOR REPRESENTATIVE, IS RESPONSIBLE FOR IMPLEMENTING THIS SEDIMENT AND EROSION CONTROL PLAN, AND CAN BE REACHED AT THE PHONE NUMBER PROVIDED. THIS RESPONSIBILITY INCLUDES THE PROPER INSTALLATION AND MAINTENANCE OF SEDIMENT AND EROSION CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED WITH CONSTRUCTION ON THE SITE OF THE REQUIREMENTS AND OBJECTIVES OF THIS PLAN, INFORMING THE TOWN OF SOUTH KINGSTOWN AND RIDEM OF ANY TRANSFER OF THIS RESPONSIBILITY, AND FOR CONVEYING A COPY OF THE SEDIMENT & EROSION CONTROL PLAN IF THE TITLE TO THE LAND IS TRANSFERRED.
- AN EROSION CONTROL BOND MAY BE REQUIRED TO BE POSTED WITH TOWN OF SOUTH KINGSTOWN AND RIDEM TO ENSURE IMPLEMENTATION OF THE SEDIMENT AND EROSION CONTROL MEASURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE POSTING OF THIS BOND AND FOR INQUIRIES TO THE TOWN OF SOUTH KINGSTOWN AND RIDEM FOR INFORMATION ON THE METHOD, TYPE AND AMOUNT OF THE BOND POSTING UNLESS OTHERWISE DIRECTED BY THE OWNER.
- VISUAL SITE INSPECTIONS SHALL BE CONDUCTED WEEKLY, AND AFTER EACH MEASURABLE PRECIPITATION EVENT OF 0.25 INCHES OR GREATER BY QUALIFIED PERSONNEL, TRAINED AND EXPERIENCED IN SEDIMENT AND EROSION CONTROL, TO ASCERTAIN THAT THE SEDIMENT AND EROSION CONTROL (E&S) BMPs ARE OPERATIONAL AND EFFECTIVE IN PREVENTING POLLUTION. A WRITTEN REPORT OF EACH INSPECTION SHALL BE KEPT, AND INCLUDE: A) A SUMMARY OF THE SITE CONDITIONS, E&S BMPs, AND COMPLIANCE; AND B) THE DATE, TIME, AND THE NAME OF THE PERSON CONDUCTING THE INSPECTION
- THE CONTRACTOR SHALL CONSTRUCT ALL SEDIMENT AND EROSION CONTROLS IN ACCORDANCE WITH RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK LATEST EDITION, IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, AND AS DIRECTED BY THE TOWN OF SOUTH KINGSTOWN AND RIDEM. THE CONTRACTOR SHALL KEEP A COPY OF THE HANDBOOK ON-SITE FOR REFERENCE DURING CONSTRUCTION.
- ADDITIONAL AND/OR ALTERNATIVE SEDIMENT AND EROSION CONTROL MEASURES MAY BE INSTALLED DURING THE CONSTRUCTION PERIOD IF FOUND NECESSARY BY THE CONTRACTOR, OWNER, SITE ENGINEER, TOWN OF SOUTH KINGSTOWN OR RIDEM. THE CONTRACTOR SHALL CONTACT THE OWNER AND APPROPRIATE GOVERNING AGENCIES FOR APPROVAL IF ALTERNATIVE CONTROLS OTHER THAN THOSE SHOWN ON THE PLANS ARE PROPOSED.
- THE CONTRACTOR SHALL KEEP A SUPPLY OF SEDIMENT AND EROSION CONTROL MATERIAL (SILT FENCE, RIP RAP, ETC.) ON-SITE FOR MAINTENANCE AND EMERGENCY REPAIRS.
- INSTALL PERIMETER SEDIMENT AND EROSION CONTROLS PRIOR TO CLEARING OR CONSTRUCTION. ALL CONSTRUCTION SHALL BE CONTAINED WITHIN THE LIMIT OF DISTURBANCE, WHICH SHALL BE MARKED WITH SILT FENCE, SAFETY FENCE, STRAW BALES, RIBBONS, OR OTHER MEANS PRIOR TO CLEARING. CONSTRUCTION ACTIVITY SHALL REMAIN ON THE UPHILL SIDE OF THE SILT FENCE UNLESS WORK IS SPECIFICALLY CALLED FOR ON THE DOWNHILL SIDE OF THE FENCE.
- CONSTRUCTION ENTRANCE SHALL BE INSTALLED AT START OF CONSTRUCTION AND MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION. THE LOCATION OF THE CONSTRUCTION ENTRANCE MAY CHANGE AS CONSTRUCTION IS COMPLETED.
- TOPSOIL SHALL BE STRIPPED AND STOCKPILED FOR USE IN FINAL LANDSCAPING. ALL EARTH STOCKPILES SHALL HAVE STRAW BALES OR SILT FENCE AROUND THE LIMIT OF PILE. PILES SHALL BE TEMPORARILY SEEDDED IF PILE IS TO REMAIN IN PLACE FOR MORE THAN ONE (1) MONTH.
- MINIMIZE LAND DISTURBANCES. SEED AND MULCH DISTURBED AREAS WITH TEMPORARY MIX AS SOON AS PRACTICABLE (ONE WEEK MAXIMUM UNSTABILIZED PERIOD) USING PERENNIAL RYEGRASS AT 40 LBS PER ACRE. MULCH ALL CUT AND FILL SLOPES AND SWALES WITH LOOSE HAY AT A RATE OF 2 TONS PER ACRE. IF NECESSARY, REPLACE LOOSE HAY ON SLOPES WITH EROSION CONTROL BLANKETS OR JUTE CLOTH. MODERATELY GRADED AREAS, ISLANDS, AND TEMPORARY CONSTRUCTION STAGING AREAS MAY BE HYDROSEEDDED WITH TACKIFIER.
- INSTALL SILT FENCE ACCORDING TO MANUFACTURER'S INSTRUCTION, PARTICULARLY, BURY LOWER EDGE OF FABRIC INTO GROUND. SILT FENCE SHALL BE TENCATE ENVROFENCE, PROPEX GEOTEX OR EQUIVALENT APPROVED BY THE CIVIL ENGINEER. FILTER FABRIC USED SHALL BE MIRAFL 100X OR APPROVED EQUIVALENT. SEE SPECIFICATIONS FOR FURTHER INFORMATION.
- IF DEWATERING IS NECESSARY, DIRECT DEWATERING PUMP DISCHARGE TO A SEDIMENT CONTROL DEVICE SUCH AS TEMPORARY PITS, SEDIMENT TRAP, SEDIMENT BASINS OR GRASS FILTERS WITHIN THE APPROVED LIMIT OF DISTURBANCE. DISCHARGE TO SURFACE WATERS FROM SEDIMENT CONTROLS SHALL BE CLEAR.
- SWEEP AFFECTED PORTIONS OF OFF SITE ROADS ONE OR MORE TIMES A DAY (OR LESS FREQUENTLY IF TRACKING IS NOT A PROBLEM) DURING CONSTRUCTION. OTHER DUST CONTROL MEASURES TO BE USED AS NECESSARY INCLUDE WATERING DOWN DISTURBED AREAS, USING CALCIUM CHLORIDE, AND COVERING LOADS ON DUMP TRUCKS.
- IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO ELIMINATE THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION.
- PUMPING OF SEDIMENT LADEN WATER SHALL BE THROUGH A SEDIMENT CONTROL BMP, SUCH AS A PUMPED WATER FILTER BAG OR EQUIVALENT SEDIMENT REMOVAL FACILITY, OVER UNDISTURBED VEGETATED AREAS.
- EXCAVATED MATERIAL SHALL BE PLACED ON THE HIGH SIDE OF UTILITY TRENCHES SO AS TO ALLOW THE TRENCH TO INTERCEPT SILT LADEN RUNOFF.
- CONTRACTOR SHALL ONLY EXCAVATE AS MUCH UTILITY TRENCH WORK AS CAN BE COMPLETED, BACKFILLED AND STABILIZED IN ONE DAY SO AS TO LIMIT THE AMOUNT OF OPEN, DISTURBED TRENCHING.
- STOCKPILES OF STRIPPED MATERIALS ARE TO BE PERIODICALLY SPRAYED WITH WATER OR A CRUSTING AGENT TO STABILIZE POTENTIALLY WIND-BLOWN MATERIAL. TRUCKS HAULING IMPORT FILL MATERIAL ARE TO BE TAPPED TO AID IN THE CONTROL OF AIRBORNE DUST. DURING HIGH WIND EVENTS (20 TO 30 MPH SUSTAINED) CONSTRUCTION ACTIVITY SHALL BE LIMITED OR CEASED IF DUST CANNOT BE CONTROLLED BY WETTING.
- AN AREA SHALL BE CONSIDERED TO HAVE ACHIEVED FINAL STABILIZATION WHEN IT HAS A MINIMUM OF 70% UNIFORM PERENNIAL VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING OR OTHER MOVEMENTS UNLESS OTHERWISE DETERMINED BY THE AUTHORITY HAVING JURISDICTION.
- MAINTAIN EROSION AND SEDIMENT CONTROL DEVICES IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD. UPON COMPLETION OF WORK SWEEP PARKING LOT AND REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROLS WHEN AUTHORIZED BY AUTHORITY HAVING JURISDICTION.
- FILE N.O.T. (NOTICE OF TERMINATION) WITH RIDEM PER THE REQUIREMENTS OF THE CONSTRUCTION GENERAL PERMIT.

PLAN PREPARER STATEMENT

THESE PLANS HAVE BEEN PREPARED BY ME OR UNDER MY DIRECTION IN ACCORDANCE WITH THE RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK.

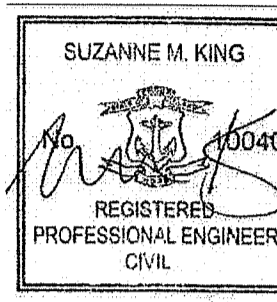
Suzanne M. King
SUZANNE M. KING, RI PE NUMBER 10040

OPERATOR

COMPANY NAME: _____
CONTACT NAME: _____
ADDRESS: _____
CITY, STATE, ZIP: _____
TELEPHONE NUMBER: _____
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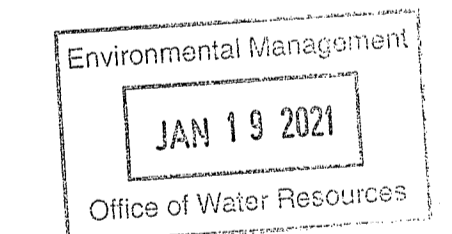


APPLICANT:
Garrett Homes, LLC
59 Field Street
Torrington, CT 06790

OWNER 1 (PARCEL 40-1/125):
SOUTH SHORE MENTAL HEALTH CENTER, INC.
745 AILLENS AVE. STE 100
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PROPOSED RETAIL DEVELOPMENT
1860 KINGSTOWN ROAD (RI ROUTE 108)
SOUTH KINGSTOWN, RHODE ISLAND



DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL

DATED Feb 3, 2021 FILE # 20-0238
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Nancy Freeman

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DRAWN	C.J.L.
REVIEWED	M.J.B.
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PROJECT NO.	18C6704
DATE	7/30/2020
CAD FILE:	EC18C670401
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SHEET NO.	EC-2

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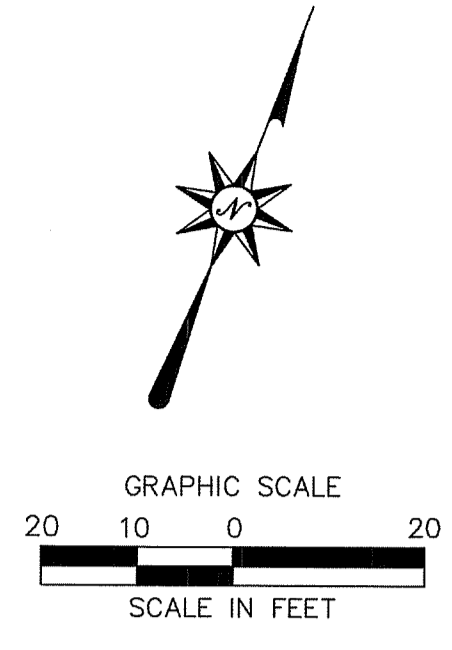
EC-2

LANDSCAPE PLANT SCHEDULE						
TREES						
KEY	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	COMMENTS
BN	3	Betula nigra 'Whit XXV'	City Slicker River Birch	B&B	10' HT. MIN.	MULTI-STEM
IOF	7	Ilex opaca 'Jersey Princess'	Jersey Princess American Holly	B&B	6'-8' HT. MIN.	FEMALE
IOM	2	Ilex opaca 'Jersey Knight'	Jersey Knight American Holly	B&B	6'-8' HT. MIN.	MALE
JV	5	Juniperus virginiana	Eastern Red Cedar	B&B	6'-8' HT. MIN.	PLANT 8' O.C.
JVE	10	Juniperus virginiana 'Emerald Sentinel'	Emerald Sentinel Eastern Red Cedar	B&B	6'-8' HT. MIN.	PLANT 8' O.C.
PS	12	Pinus strobus	White Pine	B&B	6'-8' HT. MIN.	PLANT 10' O.C.
TO	16	Thuja occidentalis 'Techny'	Techny Arborvitae	B&B OR CONT.	6'-8' HT. MIN.	PLANT 6' O.C.
SHRUBS						
AZ	10	Rhododendron 'Cunningham's White'	Cunningham's White Azalea	CONT.	48" HT. MIN.	PLANT 4' O.C.
AM	10	Aronia melanocarpa 'UCONNAM165'	Low Scope Mound Chokeberry	CONT.	12" HT. MIN.	PLANT 30" O.C.
CS	14	Cornus sericea 'Bailey'	Redtwig Dogwood	CONT.	48" HT. MIN.	PLANT 5' O.C.
IG	35	Ilex glabra 'Compacta'	Inkberry	CONT.	48" HT. MIN.	PLANT 4' O.C.
JH	10	Juniperus horizontalis 'Wiltonii'	Creeping Juniper	CONT.	12" HORIZ. SPREAD MIN.	PLANT 30" O.C.
VN	18	Viburnum nudum	Smooth Witherod Viburnum	CONT.	48" HT. MIN.	PLANT 5' O.C.

NOTES:
 1) ALL SUBSTITUTIONS MUST RECEIVE APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO DELIVERY TO SITE.
 2) PROVIDE AND INSTALL ALL PLANTS SHOWN ON THE PLANTING PLAN DRAWINGS; THE QUANTITIES IN THE PLANT LIST ARE PROVIDED FOR THE CONTRACTOR'S CONVENIENCE ONLY. IF DISCREPANCIES OCCUR, THE LARGER QUANTITY SHALL APPLY.
 3) IF THERE IS A DISCREPANCY BETWEEN BOTANICAL AND COMMON NAME, BOTANICAL NAME PREVAILS.

LANDSCAPE ZONING INFORMATION

LOCATION: SOUTH KINGSTOWN, RHODE ISLAND				
ZONE: MIXED USE				
USE: RETAIL (PERMITTED USE)				
ITEM #	ITEM	REQUIREMENTS	PROPOSED	VARIANCE
1	STREET TREES (ARTICLE IV.G.1.a & ARTICLE XII, SECTION 13)	PLANT 30"-50" O.C. AVOID MONOCULTURE 1.5"-2" CAL.	170'+50'=4 TREES	NO
2	EVERGREEN TREES (ARTICLE IV.G.1.b)	SMALL EVERGREEN TREES AND LARGE SHRUBS TO BE 6'-8' HT. MIN.	COMPLIES	NO
3	LOW SHRUBS (ARTICLE IV.G.1.c)	SMALL SHRUBS TO BE 4' HT. MIN.	COMPLIES	NO
4	STREET LANDSCAPING (ARTICLE IV.G.2.a)	PARTIAL LANDSCAPE SCREEN REQUIRED PER FIGURE 1-PARKING LOT LANDSCAPED STRIP	COMPLIES	NO
5	PERIMETER LANDSCAPING -PARKING LOTS (ARTICLE IV.G.3)	10' WIDTH LANDSCAPING STRIP WITH 1 TREE AND 3 SHRUBS/GROUNDCOVER PLANTS PER 35 LF PERIMETER	300'+35'=9 TREES AND 27 SHRUBS	NO



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SUZANNE M. KING
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL

APPLICANT:
 Garratt Homes, LLC
 59 Field Street
 Torrington, CT 06790

OWNER 1 (PARCEL 40-1/126):
 SOUTH SHORE MENTAL HEALTH
 CENTER, INC
 765 ALLENS AVE, STE 100
 PROVIDENCE, RI 02905

OWNER 2 (PARCEL 40-1/126):
 ALTERNATIVE LIVING CONCEPTS
 C/O GATEWAY HEALTHCARE
 249 ROOSEVELT AVE, STE 205
 PAWTUCKET, RI 02860

PROPOSED RETAIL DEVELOPMENT
 1860 KINGSTOWN ROAD (RI ROUTE 108)
 SOUTH KINGSTOWN, RHODE ISLAND

Environmental Management
 JAN 19 2021
 Office of Water Resources

REVISIONS
 No. 1
 01/19/2021
 Desc: REVISED PER RIBSA COMMENTS

Designed: L.M.W.
 Drawn: L.M.W.
 Reviewed: M.J.B.
 Scale: 1"=20'
 Project No.: 18C6704
 Date: 7/30/2020
 CAD File: LL18C670401

Title: **LANDSCAPE PLAN**

Sheet No.

LL-1

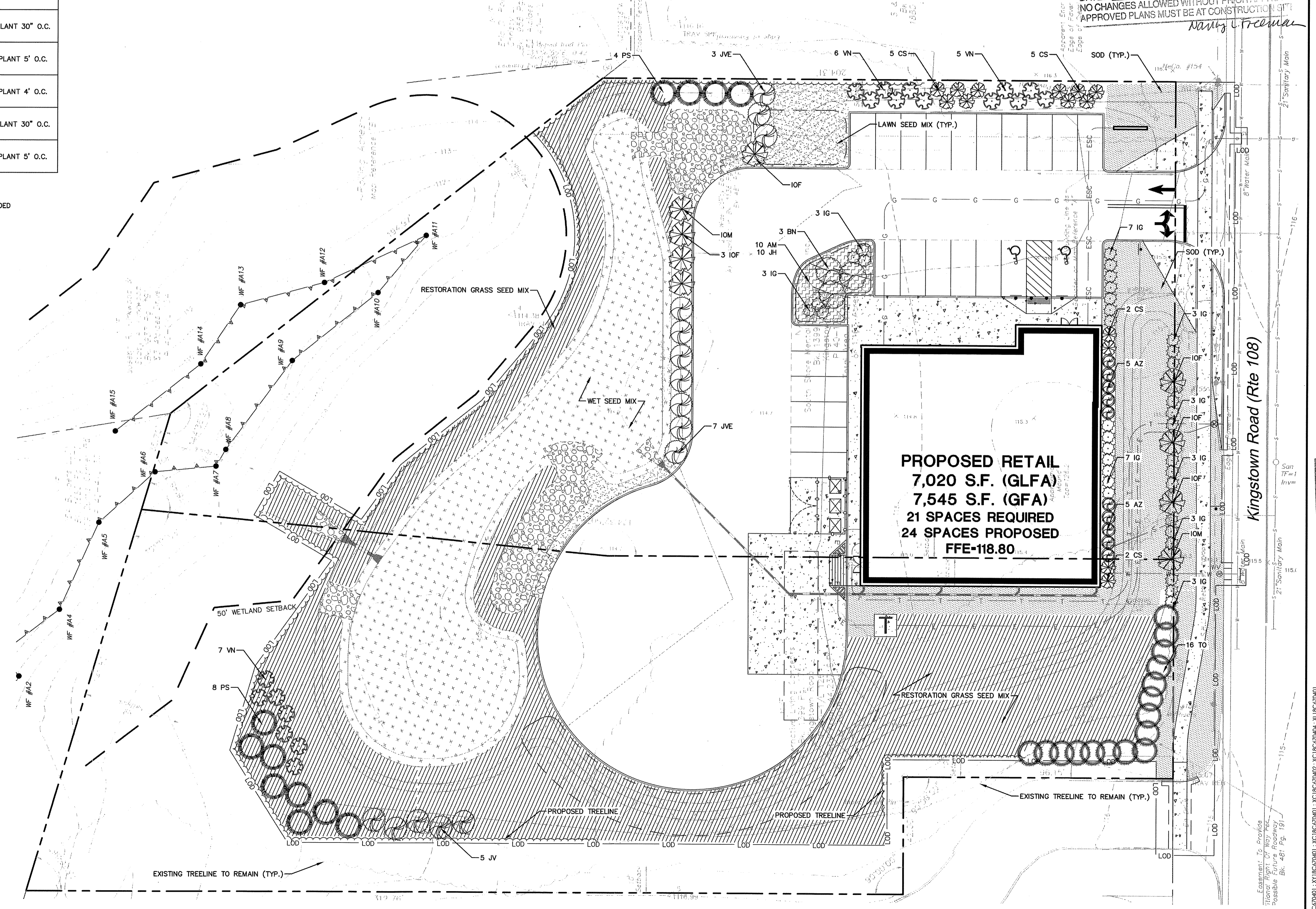
LEGEND

PATTERN	DESCRIPTION
[Stippled pattern]	SOD (REFER TO SEED MIXES ON SHEET LL-2)
[Dotted pattern]	LAWN SEED MIX (REFER TO SEED MIXES ON SHEET LL-2)
[Cross-hatched pattern]	WET SEED MIX (REFER TO SEED MIXES ON SHEET LL-2)
[Diagonal lines pattern]	RESTORATION GRASS SEED MIX (REFER TO SEED MIXES ON SHEET LL-2)
[Wavy lines pattern]	PERENNIALS/GROUNDCOVERS (REFER TO PLANT SCHEDULE THIS PAGE)

SEE SHEET LL-2 FOR LANDSCAPE NOTES AND DETAILS

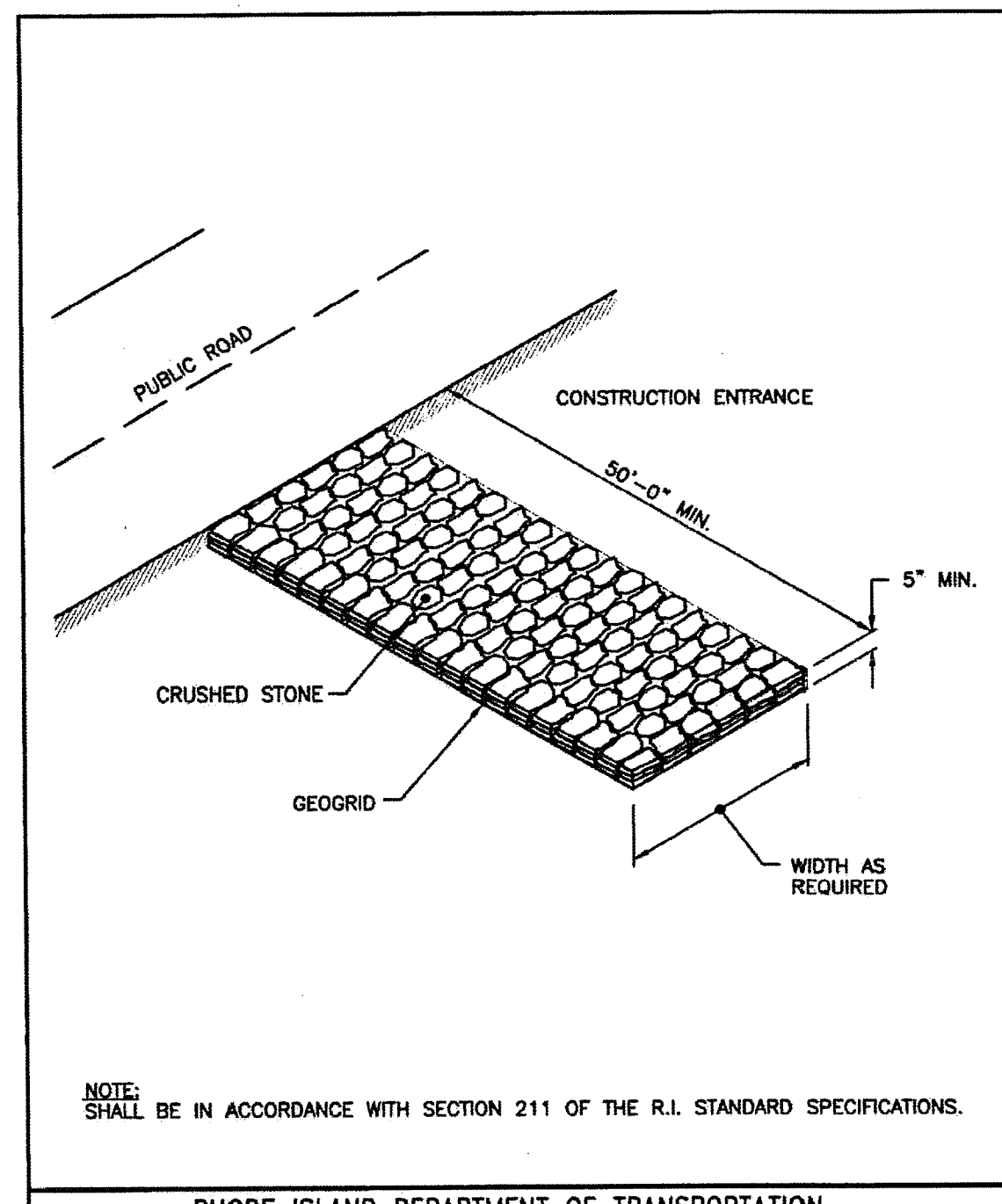
REFER TO SHEET GN-1 FOR SITE WORK GENERAL NOTES

NOT FOR CONSTRUCTION FOR PERMITTING PURPOSES ONLY



1/19/2021, CHENREX, C:\GARRATT\PROJECTS\18C6704\DWG\LL-1.dwg, 1/19/2021

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RHODE ISLAND DEPARTMENT OF TRANSPORTATION

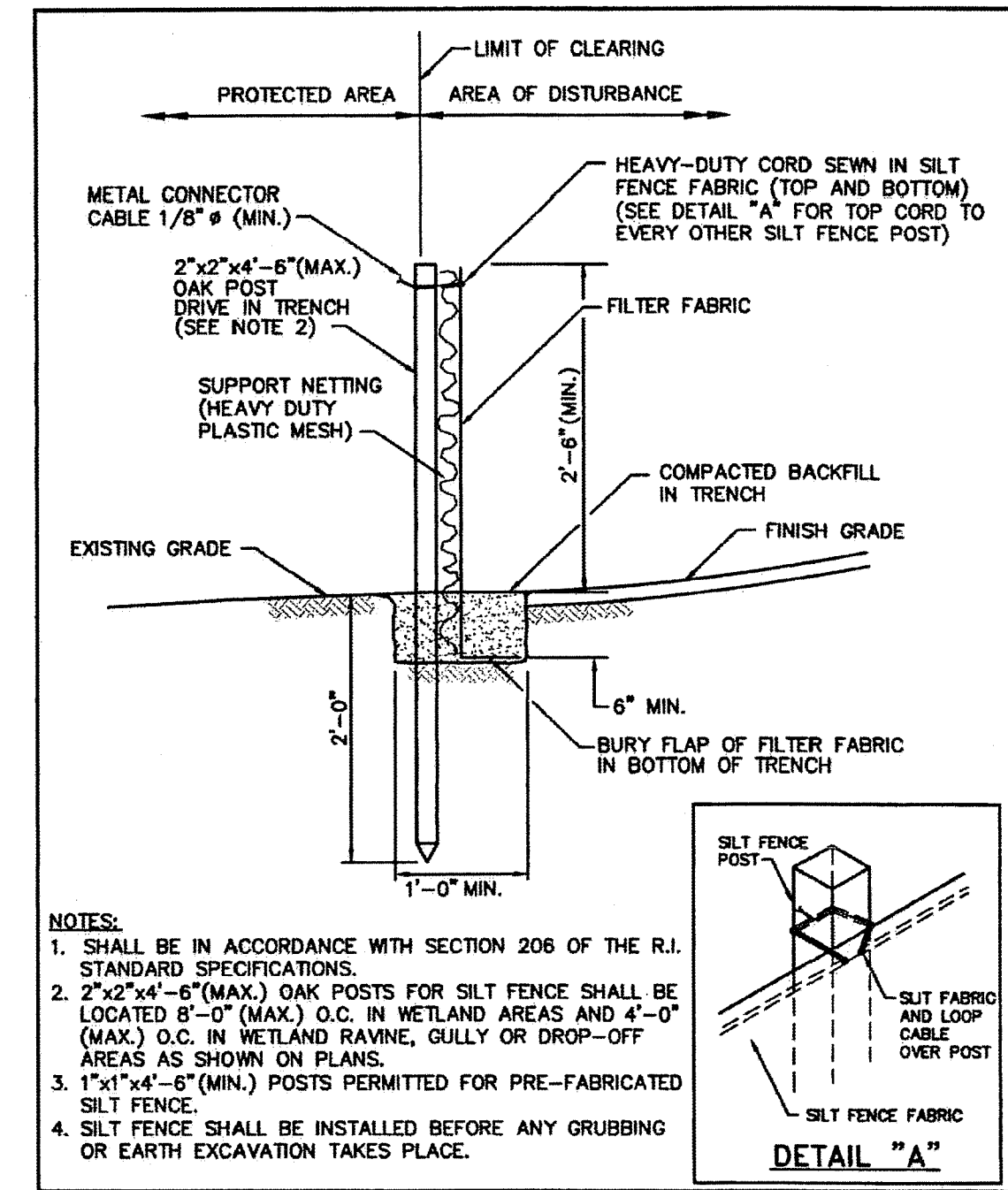
NO.	BY	DATE
1	J. L. King	JUNE 15, 1998

CONSTRUCTION ACCESS

R.I. STANDARD 9.9.0

CONSTRUCTION ENTRANCE

N.T.S.



RHODE ISLAND DEPARTMENT OF TRANSPORTATION

NO.	BY	DATE
1	J. L. King	JUNE 15, 1998

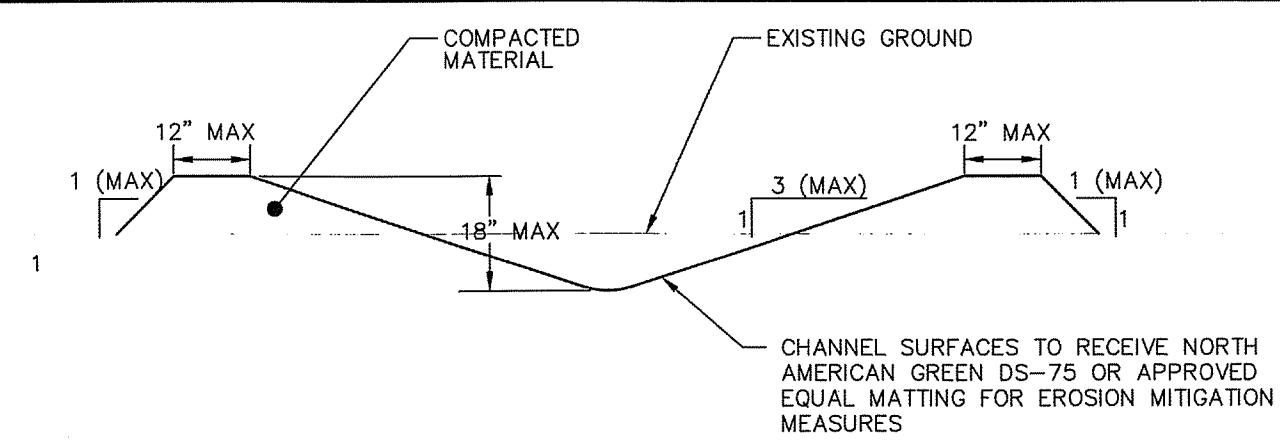
SILT FENCE DETAIL

R.I. STANDARD 9.2.0

SILT FENCE

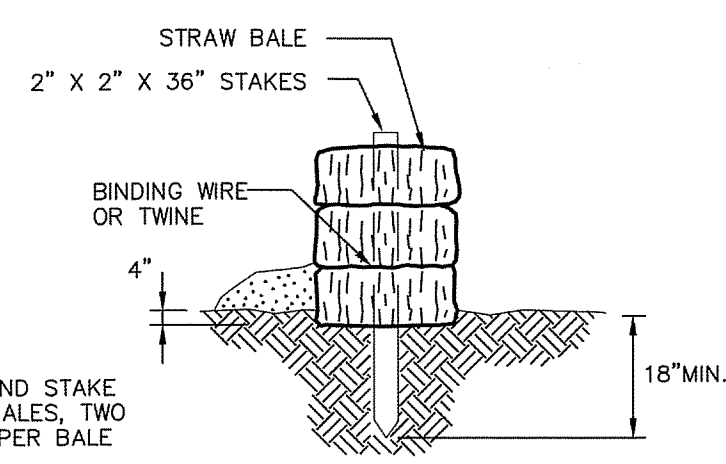
N.T.S.

NOT FOR CONSTRUCTION FOR PERMITTING PURPOSES ONLY



NON-ENGINEERED TEMPORARY DIVERSION DITCH DETAIL

N.T.S.

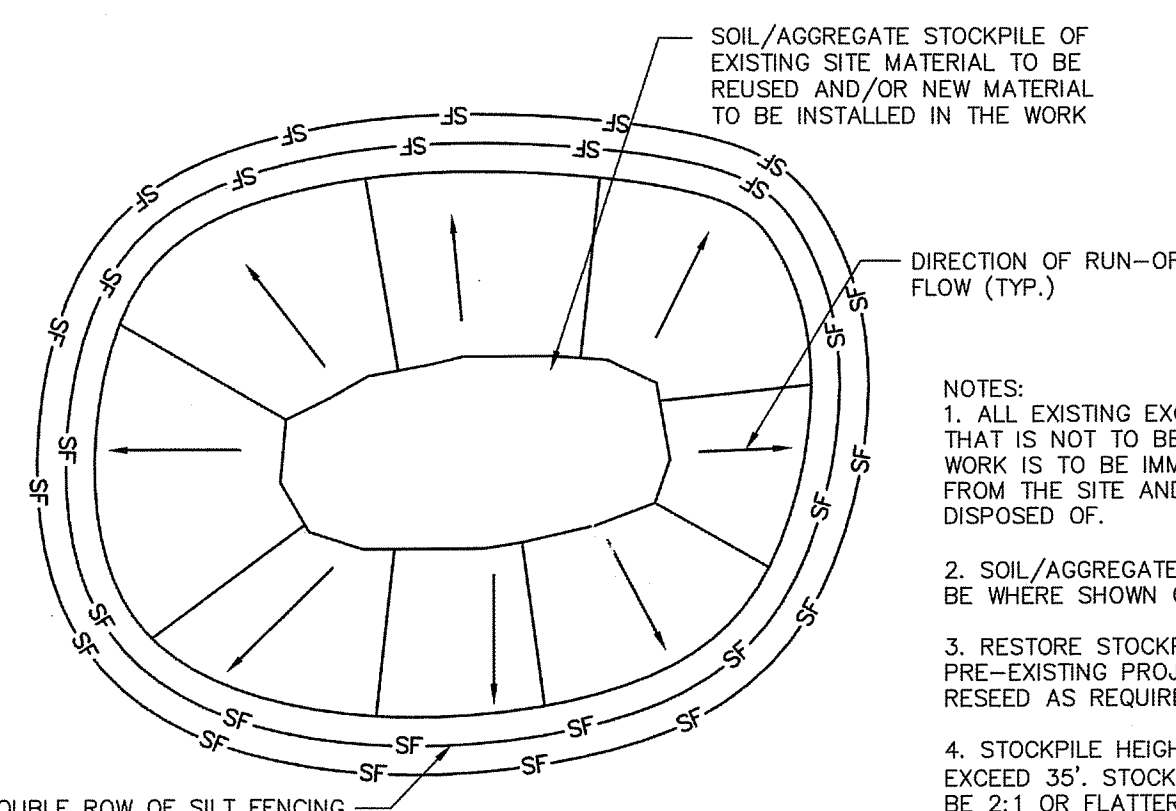


STRAW BALE BARRIERS SHOULD NOT BE USED FOR MORE THAN 3 MONTHS. SEDIMENT MUST BE REMOVED WHEN ACCUMULATIONS REACH 1/3 THE ABOVE GROUND HEIGHT OF THE BARRIER. ANY SECTION OF STRAW BALE BARRIER WHICH HAS BEEN UNDERMINED OR TOPPED MUST BE IMMEDIATELY REPLACED WITH A ROCK FILTER OUTLET.

STRAW BALE DETAIL

N.T.S.

BLEC-007

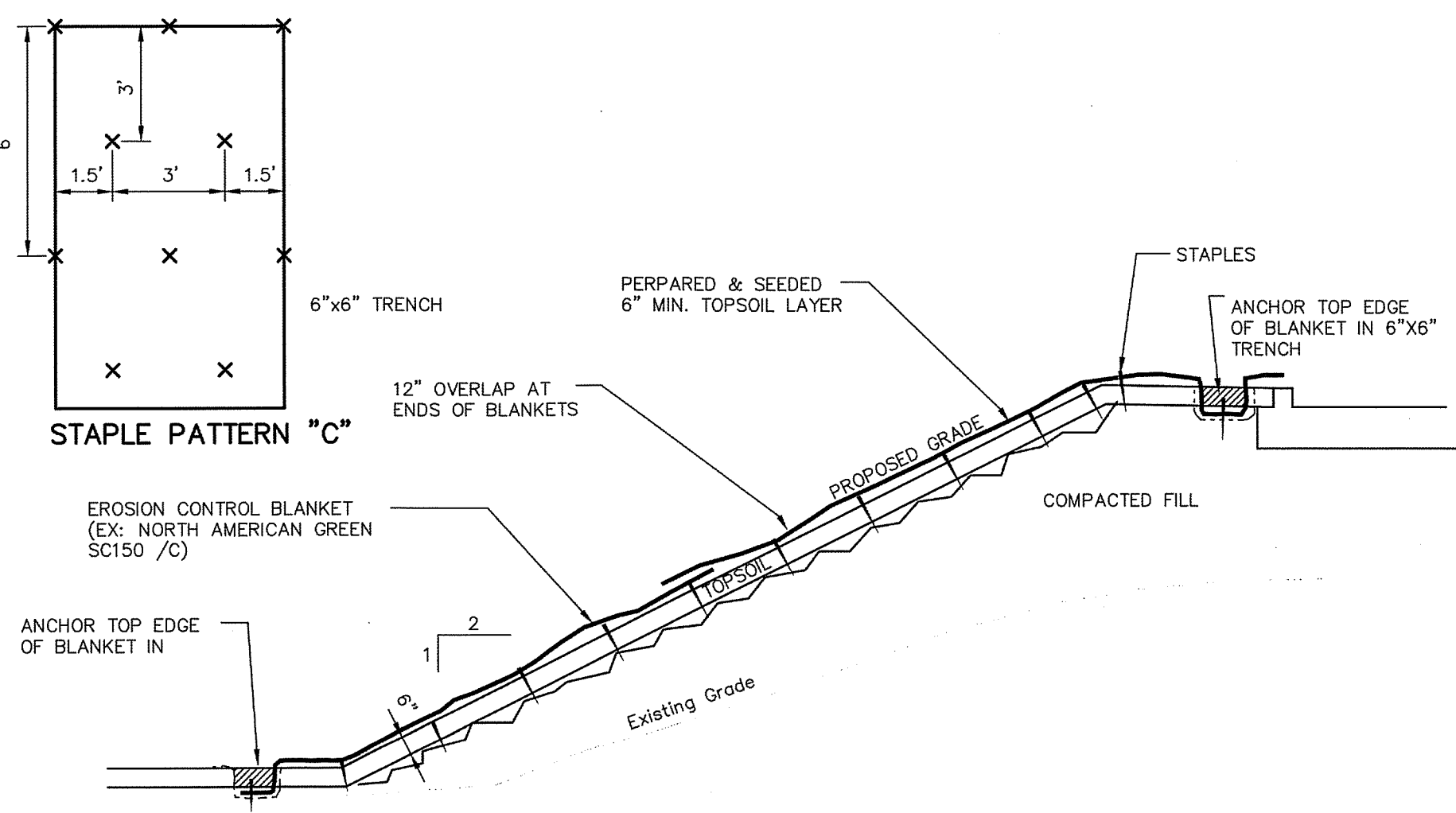


- NOTES:
1. ALL EXISTING EXCAVATED MATERIAL THAT IS NOT TO BE REUSED IN THE WORK IS TO BE IMMEDIATELY REMOVED FROM THE SITE AND PROPERLY DISPOSED OF.
 2. SOIL/AGGREGATE STOCKPILE SITES TO BE WHERE SHOWN ON THE DRAWINGS.
 3. RESTORE STOCKPILE SITES TO PRE-EXISTING PROJECT CONDITION AND RESEED AS REQUIRED.
 4. STOCKPILE HEIGHTS MUST NOT EXCEED 3:1. STOCKPILE SLOPES MUST BE 2:1 OR FLATTER.

MATERIALS STOCKPILE DETAIL

N.T.S.

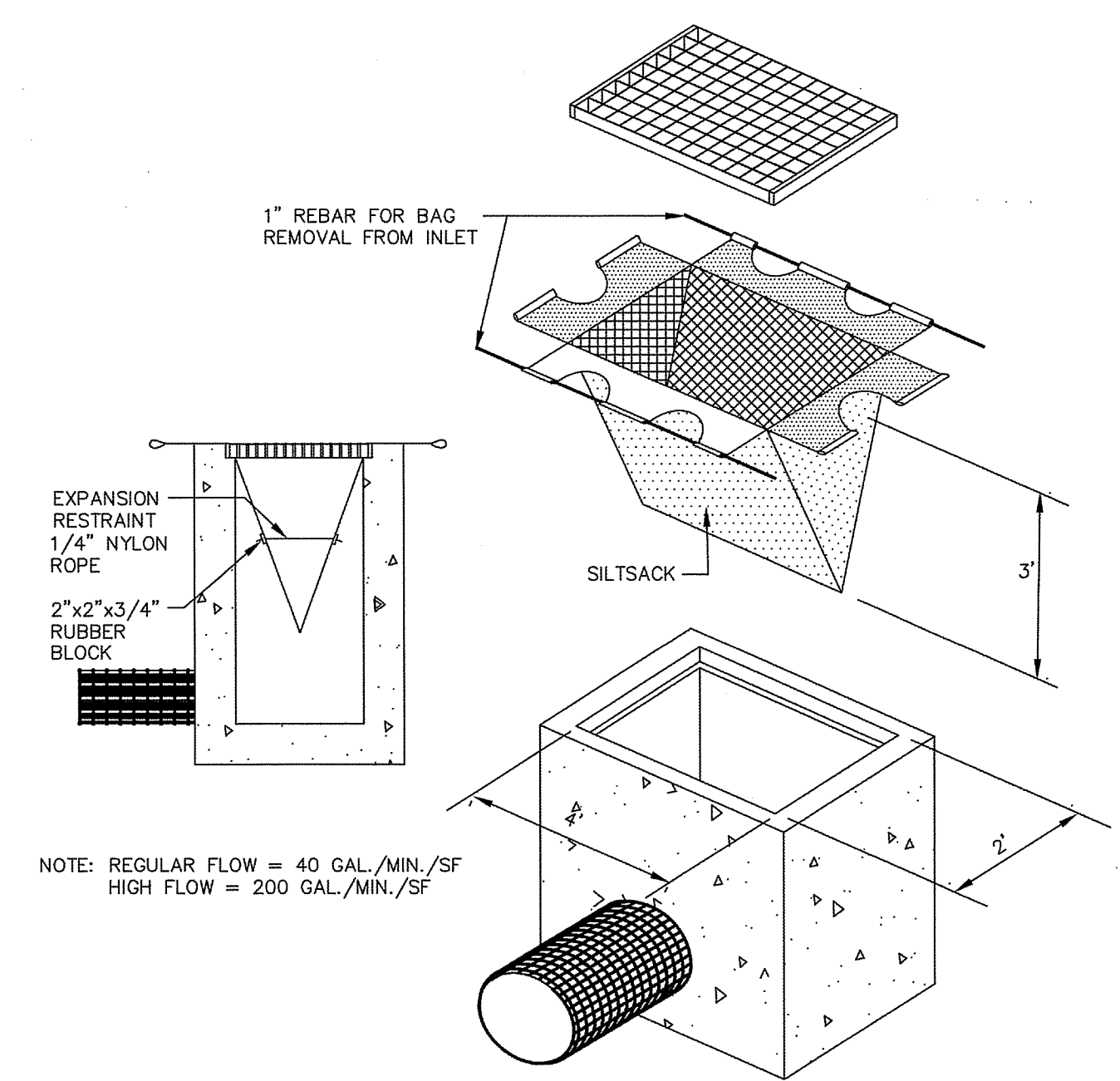
BLEC-006



EROSION CONTROL BLANKET ON FILL SLOPE

N.T.S.

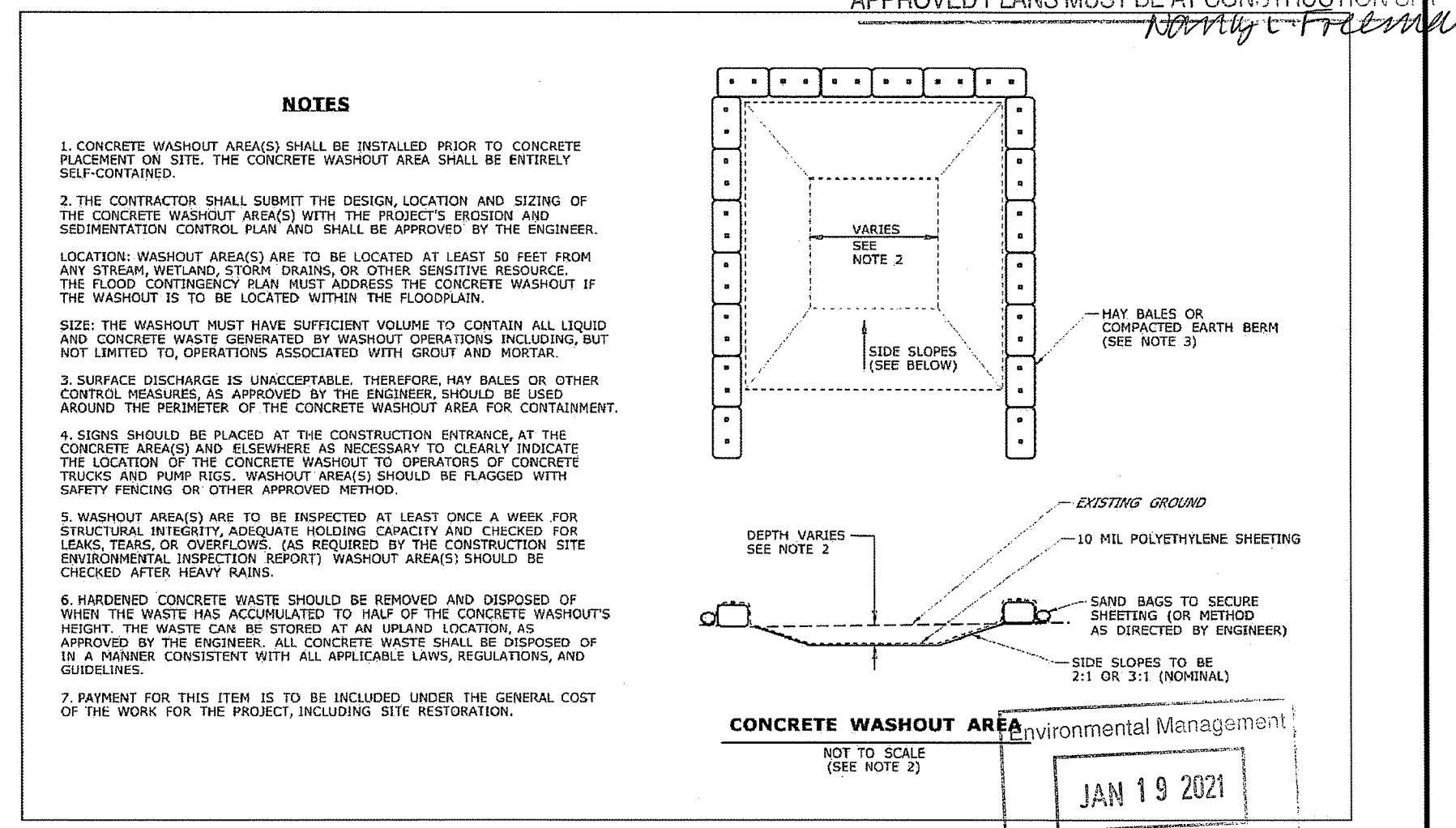
BLEC-009



NOTE: REGULAR FLOW = 40 GAL./MIN./SF
HIGH FLOW = 200 GAL./MIN./SF

SILT SACK

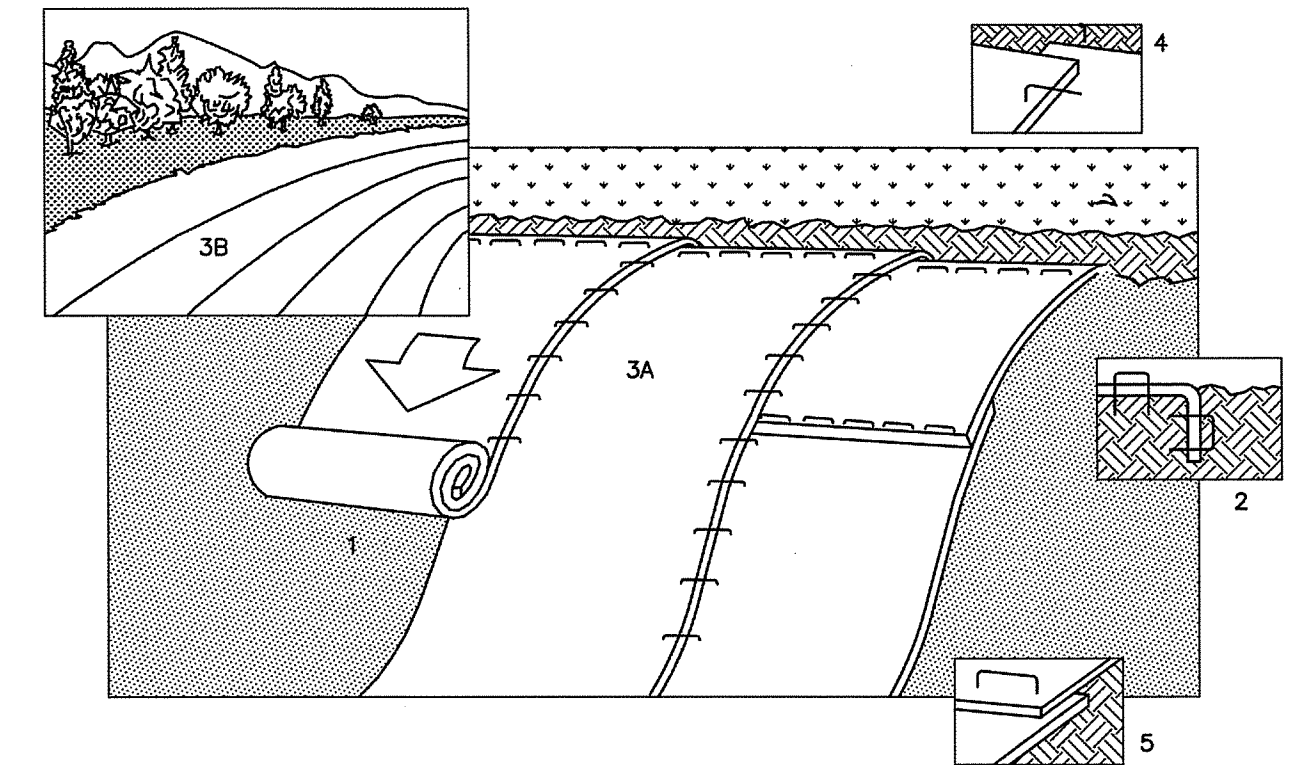
N.T.S.



- NOTES:
1. CONCRETE WASHOUT AREA(S) SHALL BE INSTALLED PRIOR TO CONCRETE PLACEMENT ON SITE. THE CONCRETE WASHOUT AREA SHALL BE ENTIRELY SELF-CONTAINED.
 2. THE CONTRACTOR SHALL SUBMIT THE DESIGN, LOCATION AND SIZING OF THE CONCRETE WASHOUT AREA(S) WITH THE PROJECT'S EROSION AND SEDIMENTATION CONTROL PLAN AND SHALL BE APPROVED BY THE ENGINEER. LOCATION: WASHOUT AREA(S) ARE TO BE LOCATED AT LEAST 50 FEET FROM ANY STREAM, WETLAND, STORM DRAIN, OR OTHER SENSITIVE RESOURCE. THE FLOOD CONTINGENCY PLAN MUST ADDRESS THE CONCRETE WASHOUT IF THE WASHOUT IS TO BE LOCATED WITHIN THE FLOODPLAIN. SIZE: THE WASHOUT MUST HAVE SUFFICIENT VOLUME TO CONTAIN ALL LIQUID AND CONCRETE WASTE GENERATED BY WASHOUT OPERATIONS INCLUDING, BUT NOT LIMITED TO, OPERATIONS ASSOCIATED WITH GROUT AND MORTAR.
 3. SURFACE DISCHARGE IS UNACCEPTABLE. THEREFORE HAY BALES OR OTHER CONTROL MEASURES AS APPROVED BY THE ENGINEER SHOULD BE USED AROUND THE PERIMETER OF THE CONCRETE WASHOUT AREA FOR CONTAINMENT.
 4. SIGNS SHOULD BE PLACED AT THE CONSTRUCTION ENTRANCE AT THE CONCRETE AREA(S) AND ELSEWHERE AS NECESSARY TO CLEARLY INDICATE THE LOCATION OF THE CONCRETE WASHOUT TO OPERATORS OF CONCRETE TRUCKS AND PUMP TRUCKS. WASHOUT AREA(S) SHOULD BE FLAGGED WITH SAFETY FENCING OR OTHER APPROVED METHOD.
 5. WASHOUT AREA(S) ARE TO BE INSPECTED AT LEAST ONCE A WEEK FOR STRUCTURAL INTEGRITY, ADEQUATE HOLDING CAPACITY AND CHECKED FOR LEAKS, TRIPS, OR OVERFLOWS. AS REQUIRED BY THE CONSTRUCTION SITE ENVIRONMENTAL INSPECTION REPORT, WASHOUT AREA(S) SHOULD BE CHECKED AFTER HEAVY RAINS.
 6. HARDENED CONCRETE WASTE SHOULD BE REMOVED AND DISPOSED OF WHEN THE WASTE HAS ACCUMULATED TO 1/2 OF THE CONCRETE WASHOUT'S HEIGHT. THE WASTE CAN BE STORED AT AN UPLAND LOCATION, AS APPROVED BY THE ENGINEER. ALL CONCRETE WASTE SHALL BE DISPOSED OF IN A MANNER CONSISTENT WITH ALL APPLICABLE LAWS, REGULATIONS, AND GUIDELINES.
 7. PAYMENT FOR THIS ITEM IS TO BE INCLUDED UNDER THE GENERAL COST OF THE WORK FOR THE PROJECT, INCLUDING SITE RESTORATION.

CONCRETE WASH PIT

N.T.S.



1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF LIME, FERTILIZER, AND SEED.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN 6\"/>

EROSION CONTROL BLANKET

N.T.S.

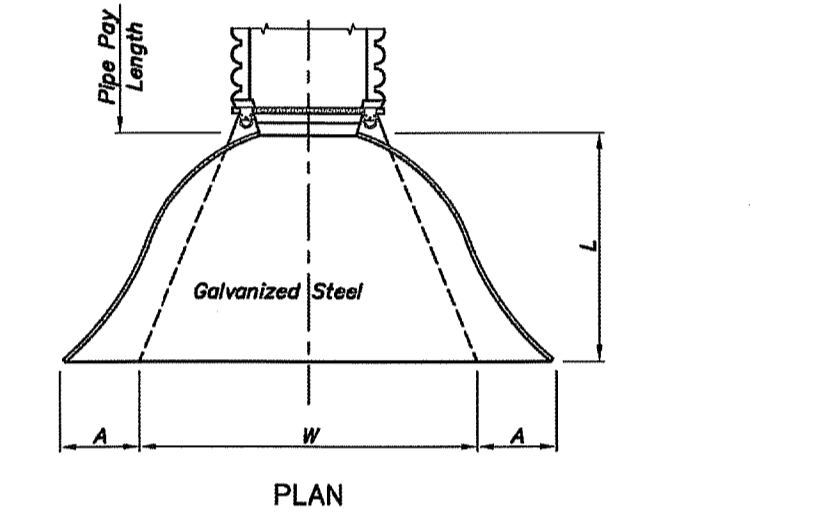
BLEC-010

END SECTIONS FOR HDPE PIPE									
Dia.	Gauge	Weight	* A	* H	* L	* W	Slope	Overall Width	
6"	18	10	4	3	8	12	2	20"	
8"	18	14	5 3/4	4	14 1/2	16	2 1/4	27 1/2"	
10"	18	17	7 5/8	6	14 1/2	20	2 1/2	35 1/4"	
12"	16	25	7	6	21	24	2 1/2	38"	
15"	16	33	8	6	28	30	2 1/2	46"	
18"	16	42	8	6	31	36	2 1/2	52"	
21"	16	49	9	6	36	42	2 1/2	60"	
24"	16	65	10	6	41	48	2 1/2	68"	
30"	14	123	12	8	51	60	2 1/2	84"	
36"	14	135	14	9	60	72	2 1/2	100"	
42"	12	320	16	11	69	84	2 1/2	116"	
48"	12	375	18	12	78	90	2 1/4	126"	
54"	12	440	18	12	84	102	2 1/4	136"	
60"	12/10	610	18	12	87	114	2	150"	

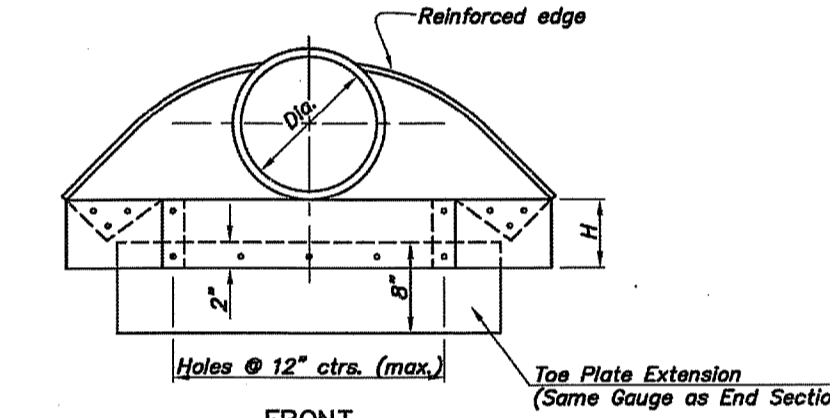
Toe plate extensions where specified, to be punched to match holes in apron lip. 3/8" bolts to be furnished. The length of toe plate to be as follows: W + 10" for 12" to 30" diameter pipes inclusive. W + 20" for 36" to 60" diameter pipes inclusive.

Multiple panel and sections shall have lap seams which are to be tightly jointed by bolts. Corner plate, and toe plate to be same gauge as end section.

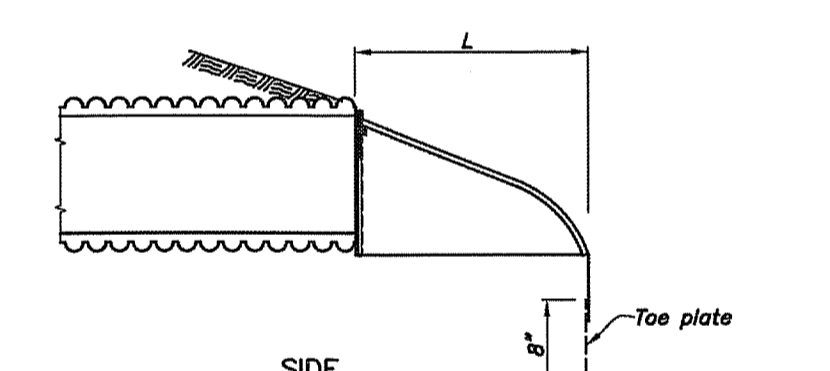
* - Dimensions in Inches Plus or Minus Standard Shop Tolerance.



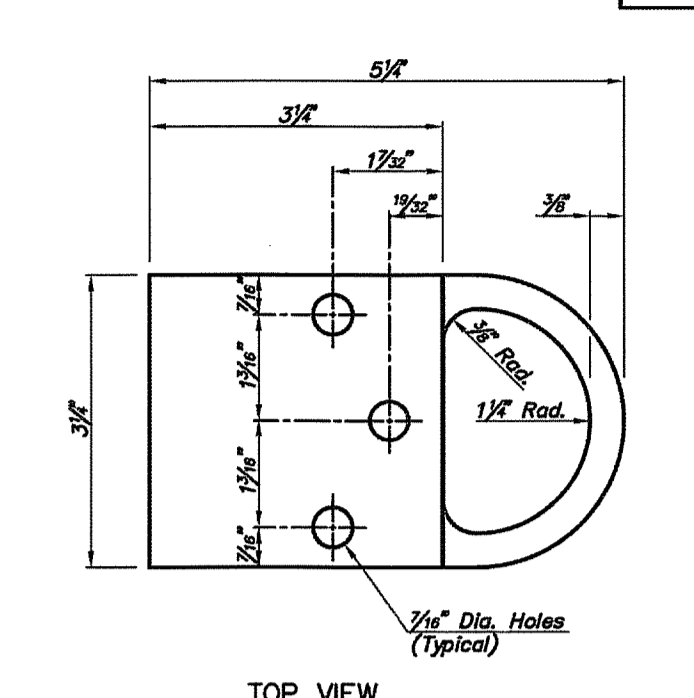
PLAN



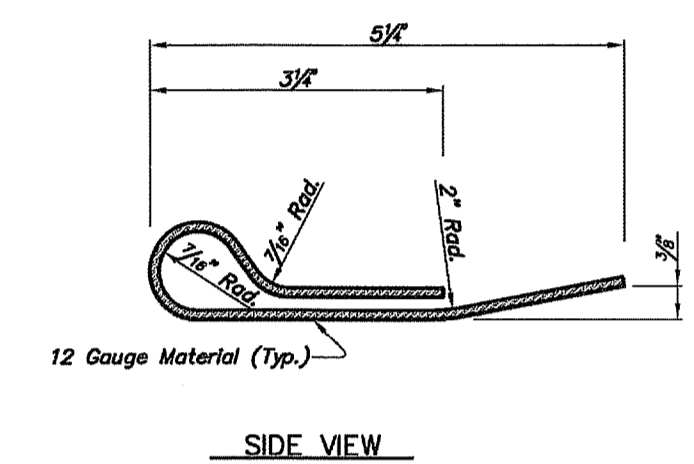
FRONT



SIDE

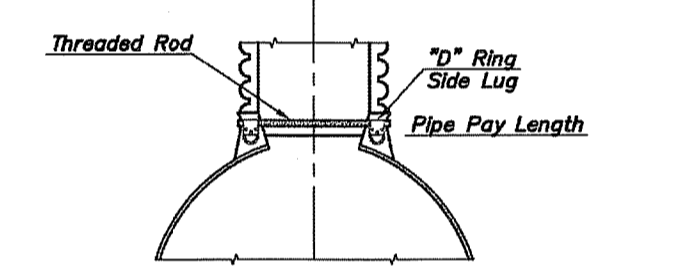


TOP VIEW



SIDE VIEW

"D" RING SIDE LUG TYPE 2 ATTACHMENT DETAILS



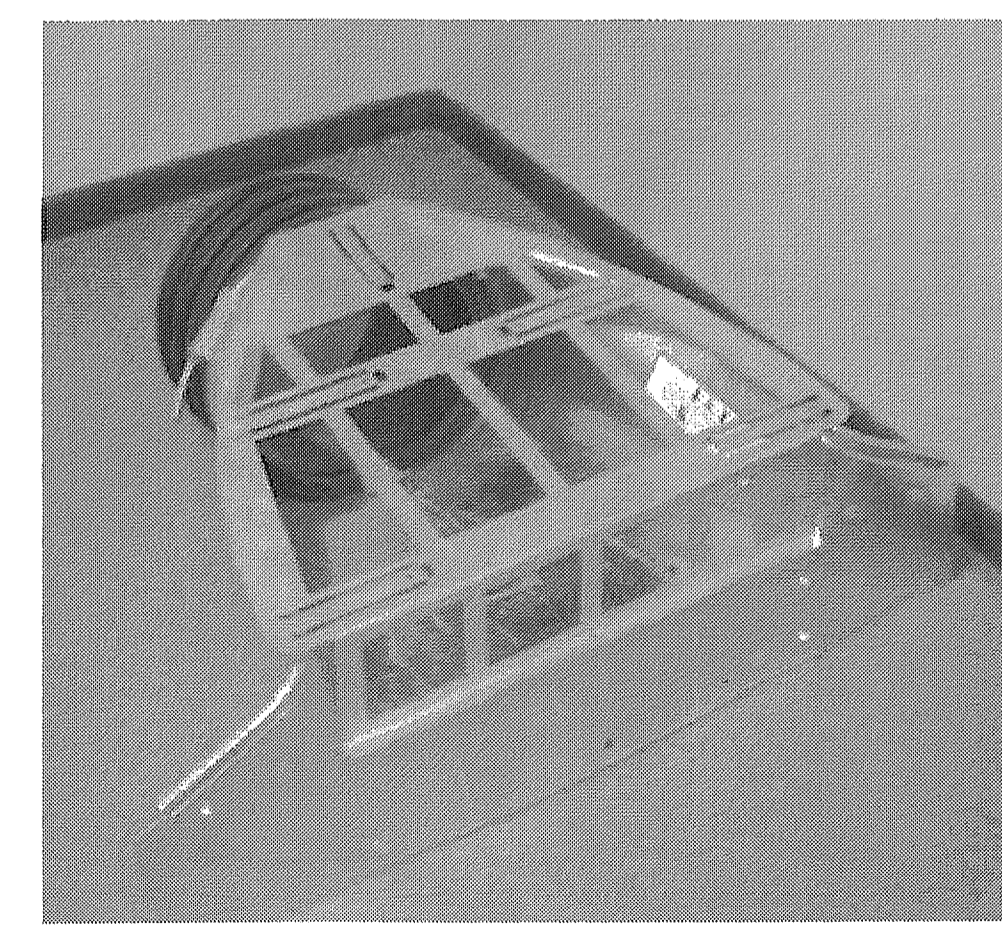
TYPE 2 CONNECTIONS (12" & Larger)

No.	Date	Revisions

STANDARD END SECTION FOR HDPE PIPES

STEEL FLARED END SECTION (FES) ON HDPE PIPE

N.T.S.

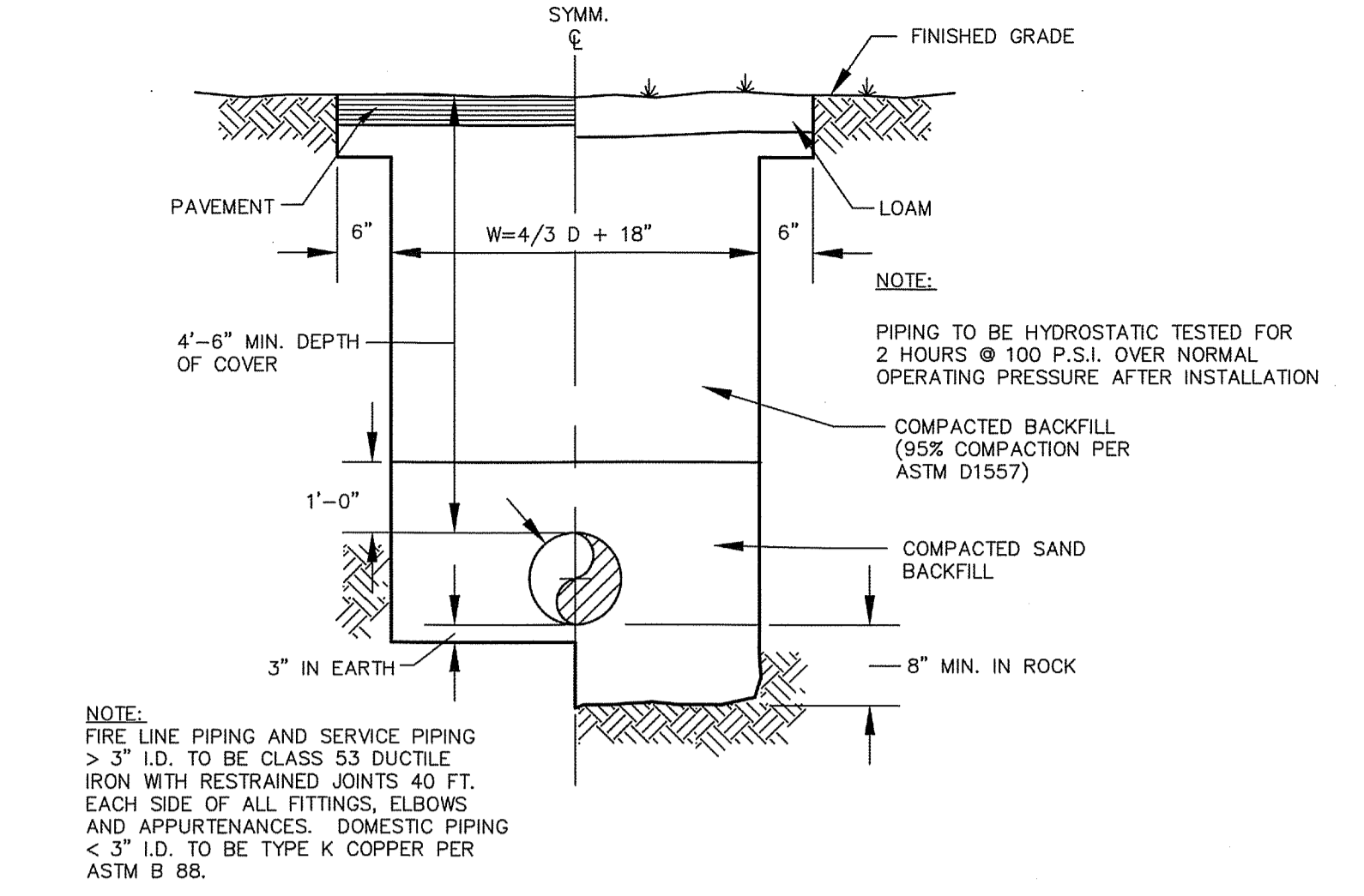


STEEL FLARED END SECTION (FES) TRASH GUARD

N.T.S.

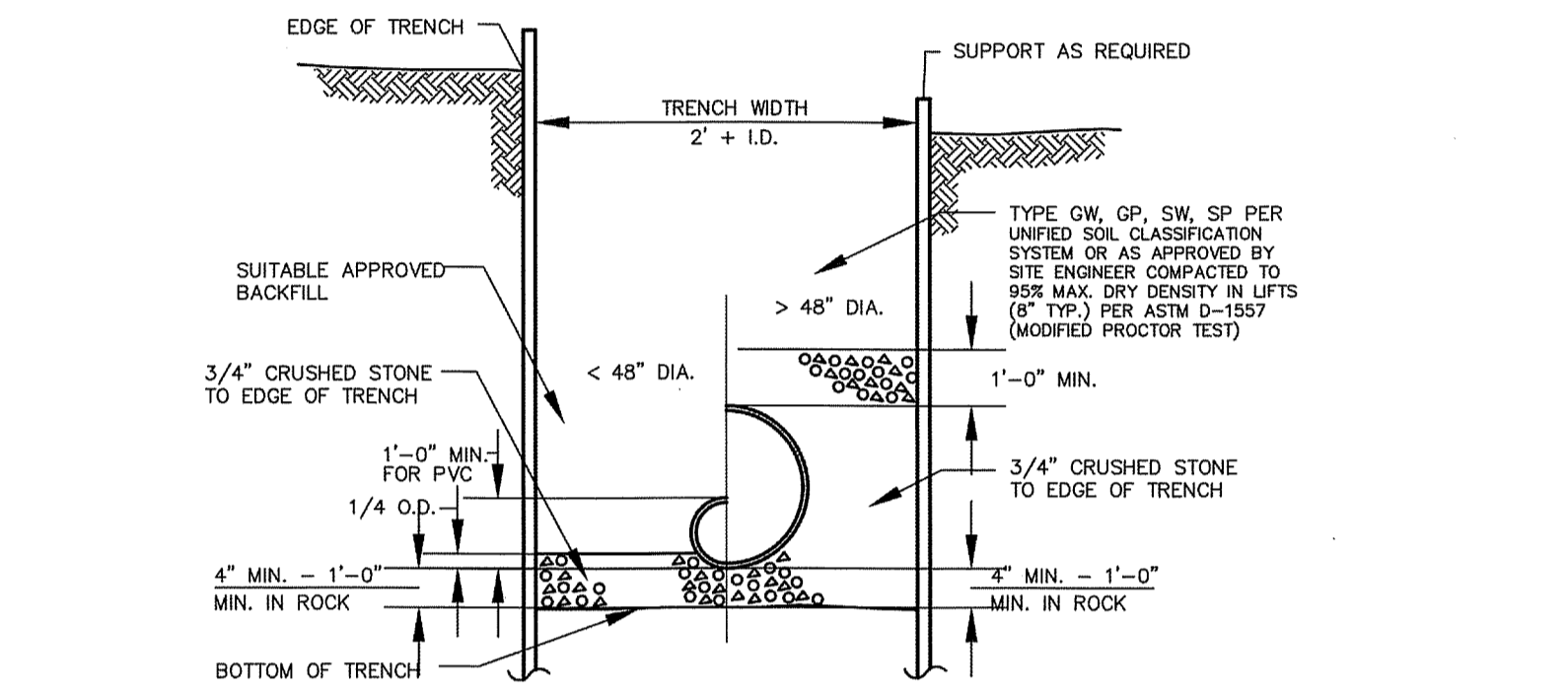
- NOTES
1. THE STEEL FLARED END SECTION ON THE UPSTREAM END OF THE STORMWATER MANAGEMENT BASIN OUTLET CULVERT SHALL BE INSTALLED WITH A STEEL TRASH GUARD
 2. THE STEEL TRASH GUARD SHALL BE AS MANUFACTURED BY ADVANCED DRAINAGE SYSTEMS, INC OR APPROVED EQUAL.

NOT FOR CONSTRUCTION FOR PERMITTING PURPOSES ONLY



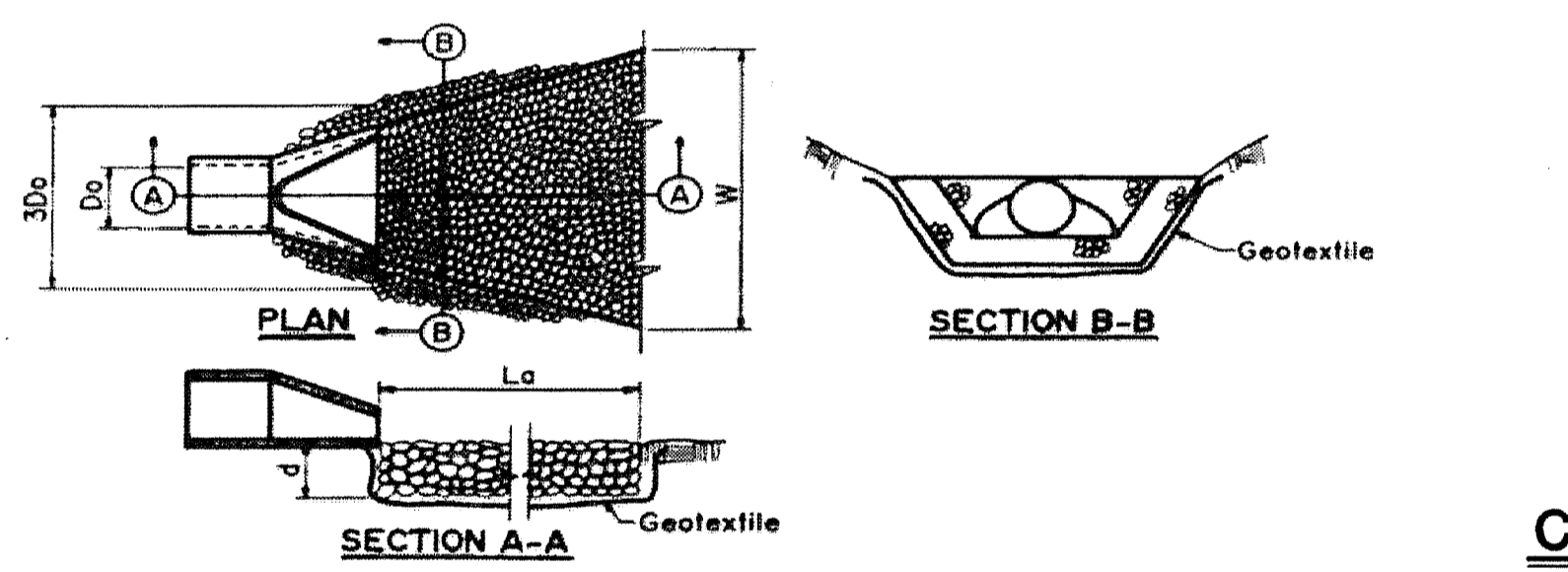
TYPICAL WATER MAIN AND SERVICE TRENCH DETAIL

N.T.S. BLWD-005



TYPICAL STORM SEWER TRENCH SECTION

N.T.S. BLDD-004



OUTLET	Sp (diam. in.)	Q (CFS)	V (FPS)	TW (ft)	Apron Type	La (ft.)	3Dc (ft.)	W (ft.)	d ₅₀ (ft.)	Riprap Specification
FES-2	12	1.77	2.66	0.78	Type B	12	3	8	0.08	R-4
FES-3	8	1.97	3.33	0.58	Type B	9	2	6	0.07	R-4

Note: Riprap apron design calculations based off of standards provided by the Rhode Island State Conservation Committee in the Rhode Island Soil Erosion and Sediment Control Handbook.

Design:

$$L_a = (1.7Q)(D_o)^{0.75} / W$$

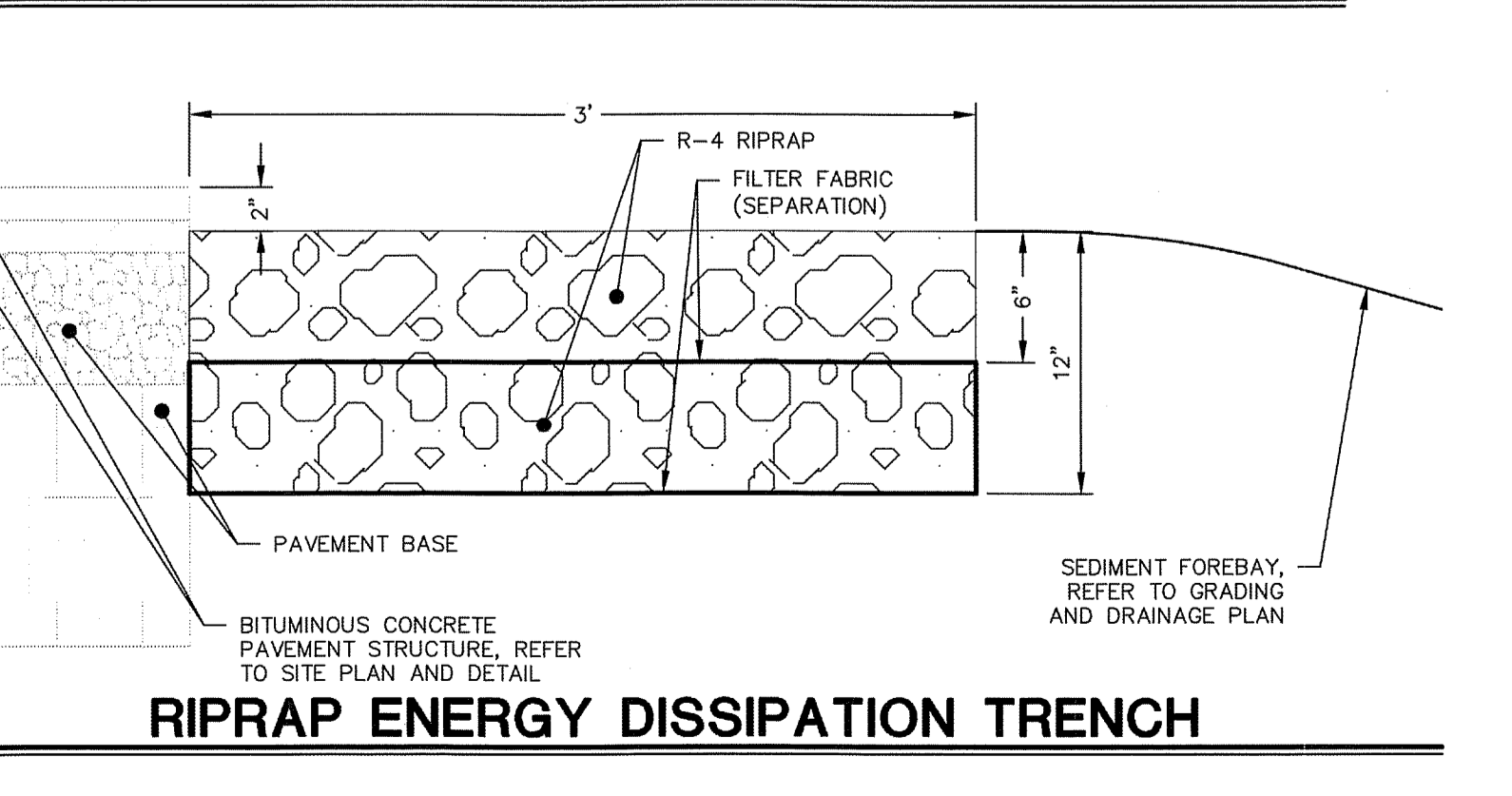
$$W = 3D_c + 0.4L_a$$

$$d_{50} = (0.02TW)(Q/D_o)^{0.5}$$

Where:

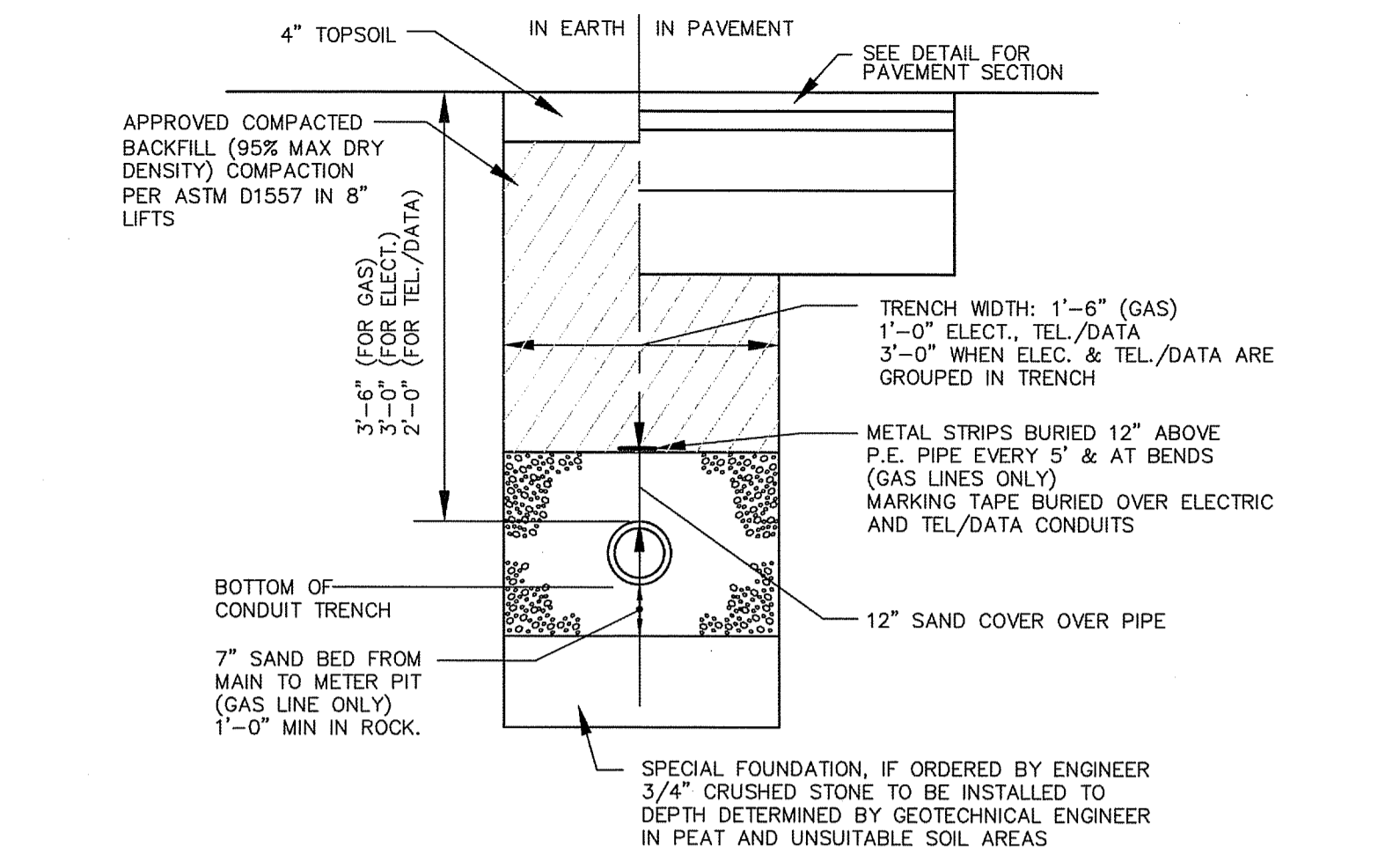
- L_a = Required length of riprap apron (ft)
- Q = Discharge flow rate from outlet pipe in 25-year storm (cfs)
- V = Discharge flow velocity from outlet pipe in 25-year storm (fps)
- D_o = Outlet pipe diameter (ft)
- W = Required width of riprap apron at end of apron (ft)
- d₅₀ = Median stone diameter (ft)
- TW = Tailwater depth (ft)

RIPRAP APRON OUTLET PROTECTION



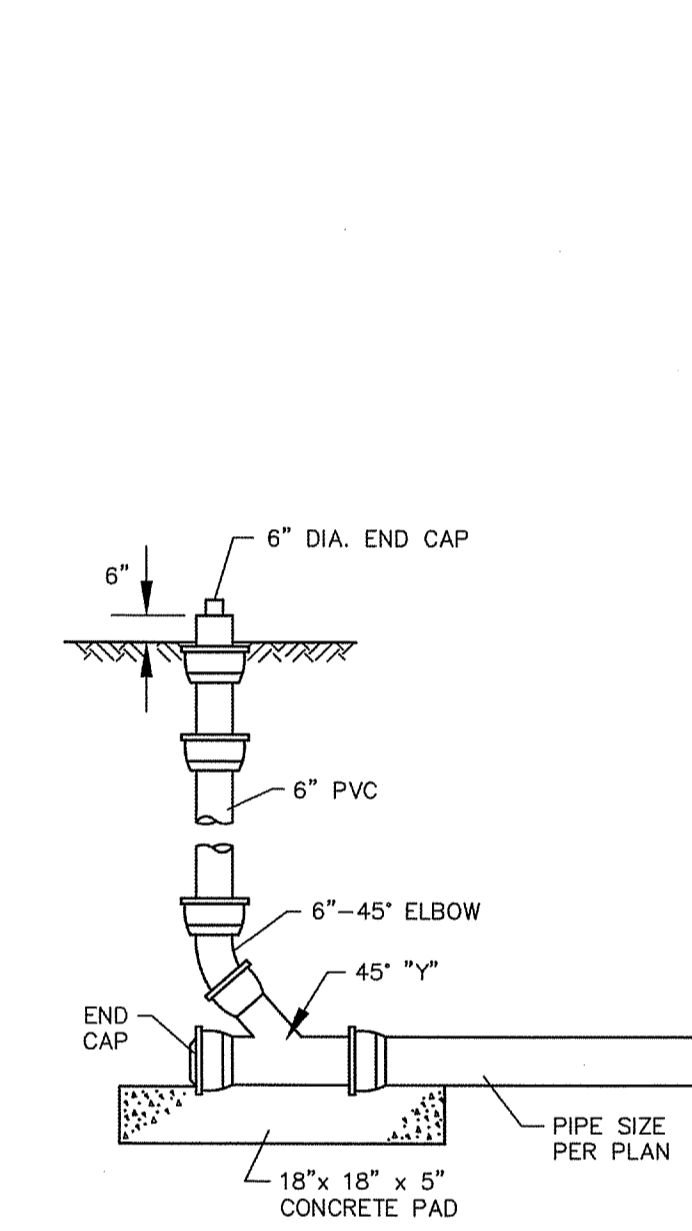
RIPRAP ENERGY DISSIPATION TRENCH

N.T.S.



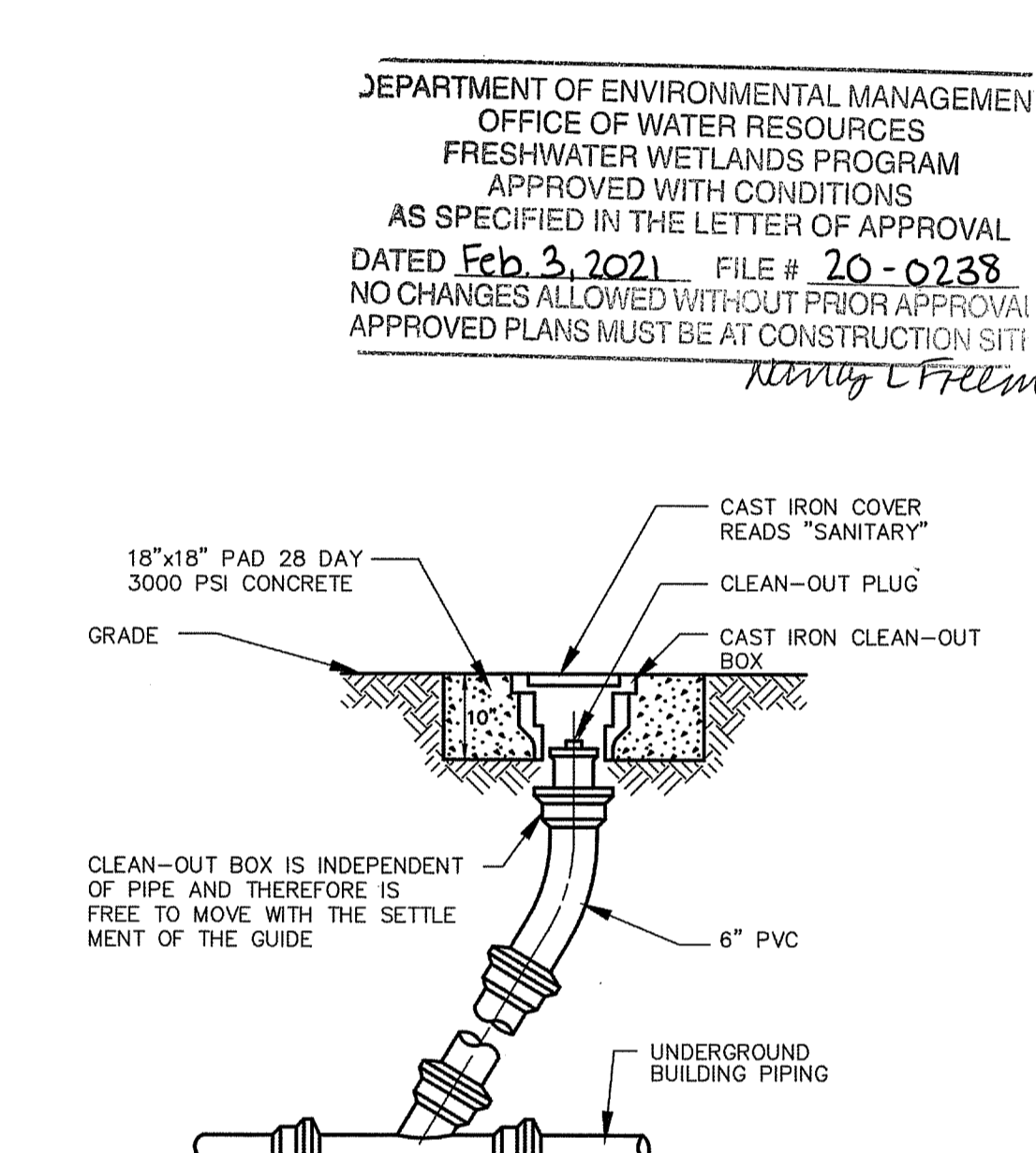
ELECTRICAL, TELEPHONE AND GAS TRENCH DETAIL

N.T.S. BLUD-001



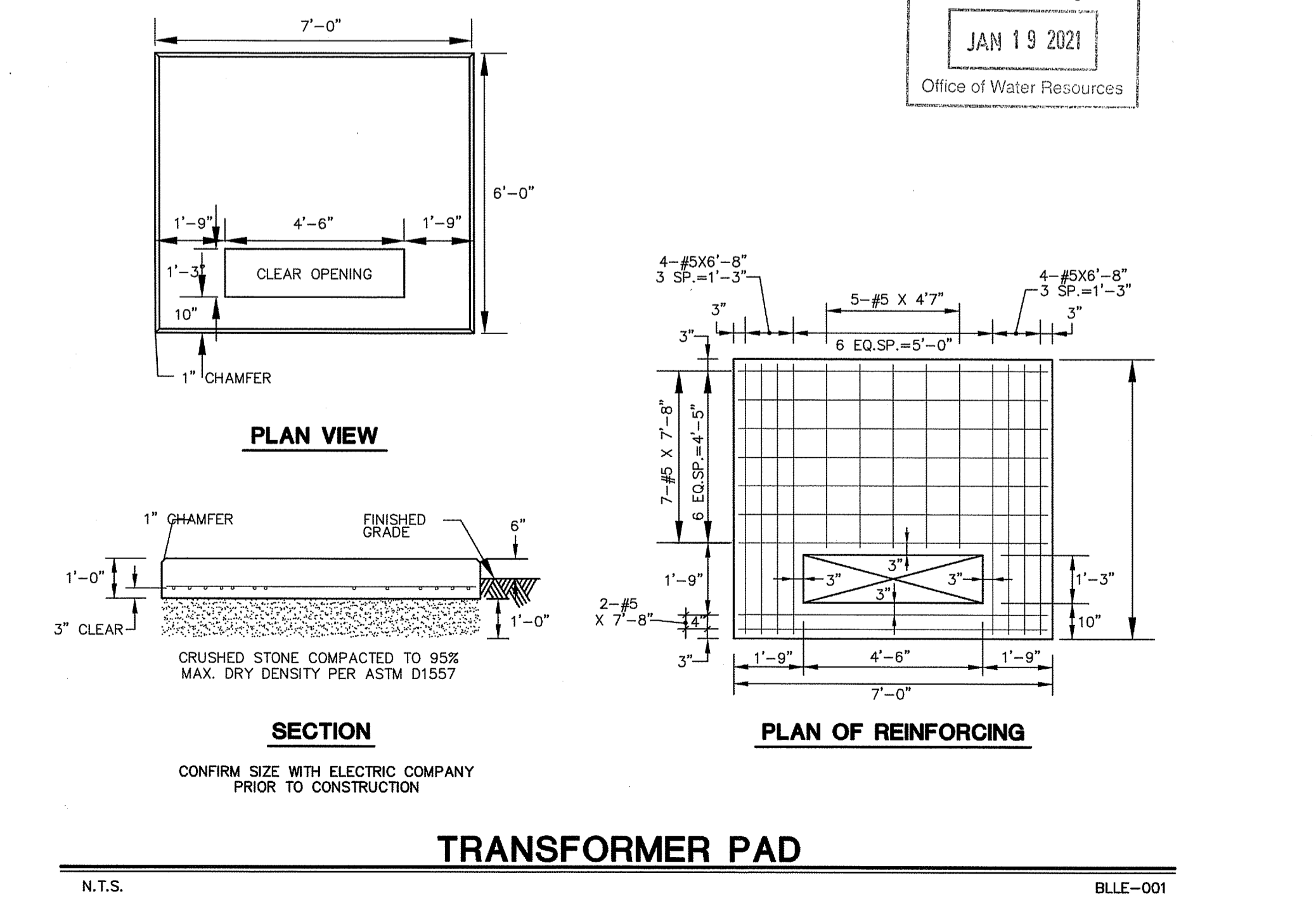
CLEANOUT IN LANDSCAPED AREA

N.T.S. BLSS-007



CLEANOUT IN PAVED AREA

N.T.S. BLSS-008



TRANSFORMER PAD

N.T.S. BLUE-001

Environmental Management
JAN 19 2021
Office of Water Resources



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10th Floor
Hartford, CT 06103
(860) 249-2200
(860) 249-2400 Fax

SUZANNE M. KING
REGISTERED PROFESSIONAL ENGINEER
Civil

APPLICANT:
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PROPOSED RETAIL DEVELOPMENT
1860 KINGSTOWN ROAD (RI ROUTE 108)
SOUTH KINGSTOWN, RHODE ISLAND

REVISIONS
No. 1
Date 01/15/2021
Disc: REVISED PER RIDEBA COMMENTS

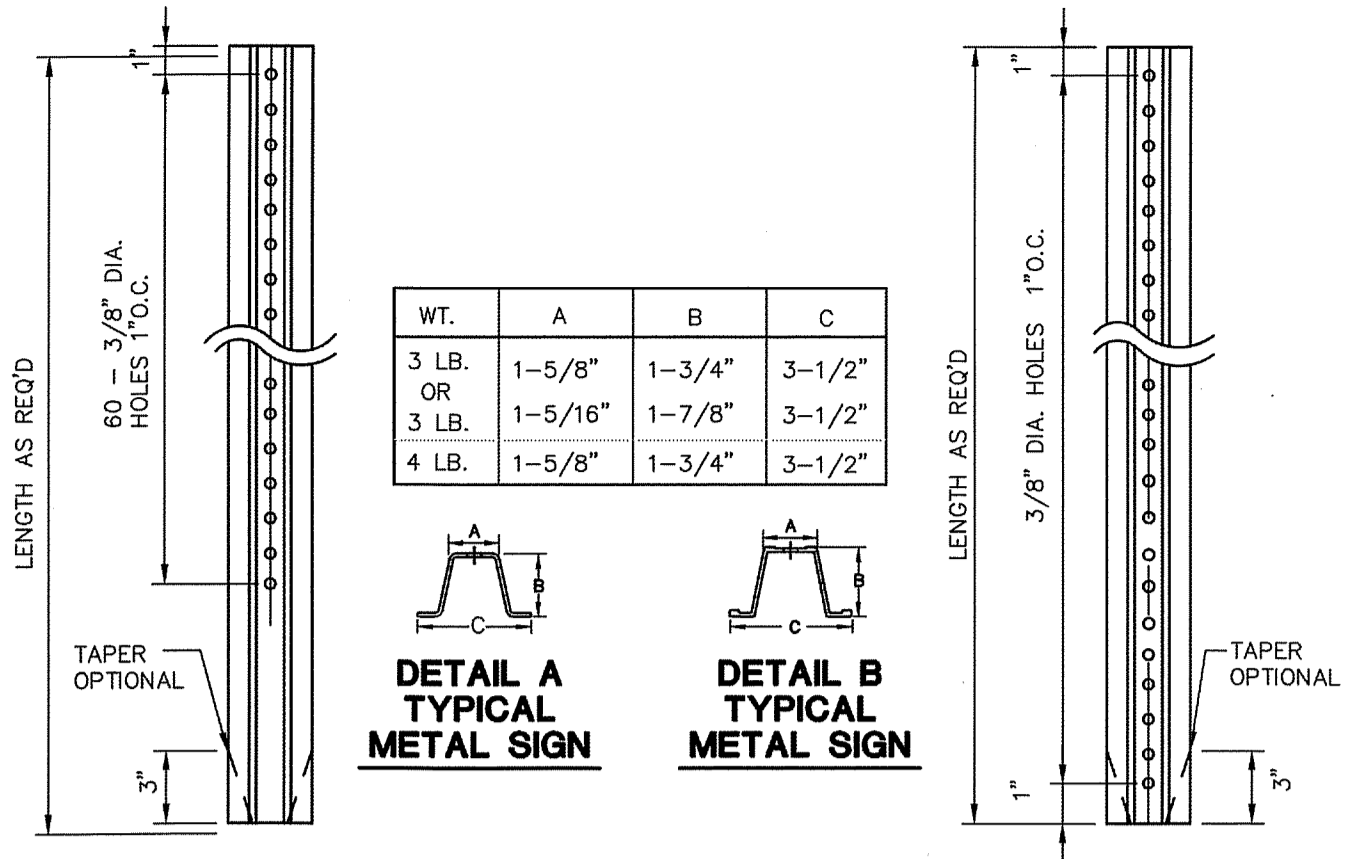
Designed C.J.L.
Drawn C.J.L.
Reviewed M.J.B.
Scale N.T.S.
Project No. 18C474
Date 7/30/2020
CAD File: DN18C47401

SITE DETAILS

Sheet No.

DN-2

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED Feb. 3, 2021 FILE # 20-0238
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE
Kenneth L. Freeman

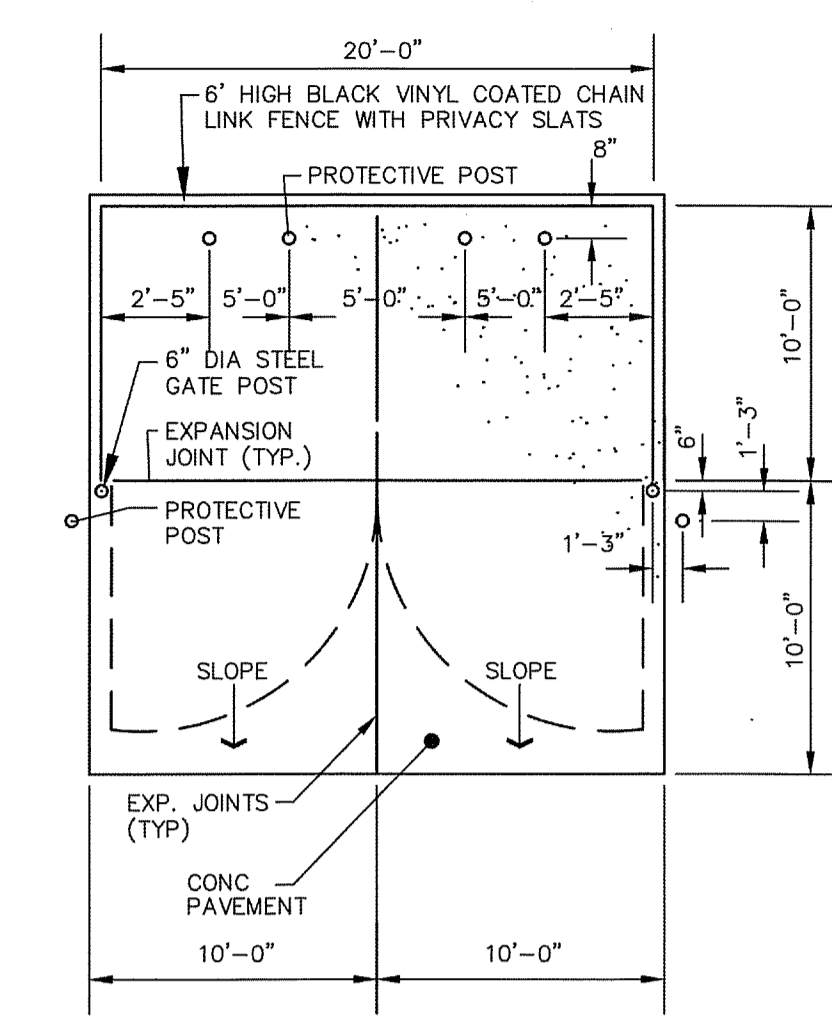


WT.	A	B	C
3 LB.	1-5/8"	1-3/4"	3-1/2"
3 LB. OR	1-5/16"	1-7/8"	3-1/2"
4 LB.	1-5/8"	1-3/4"	3-1/2"

TYPICAL METAL SIGN POSTS

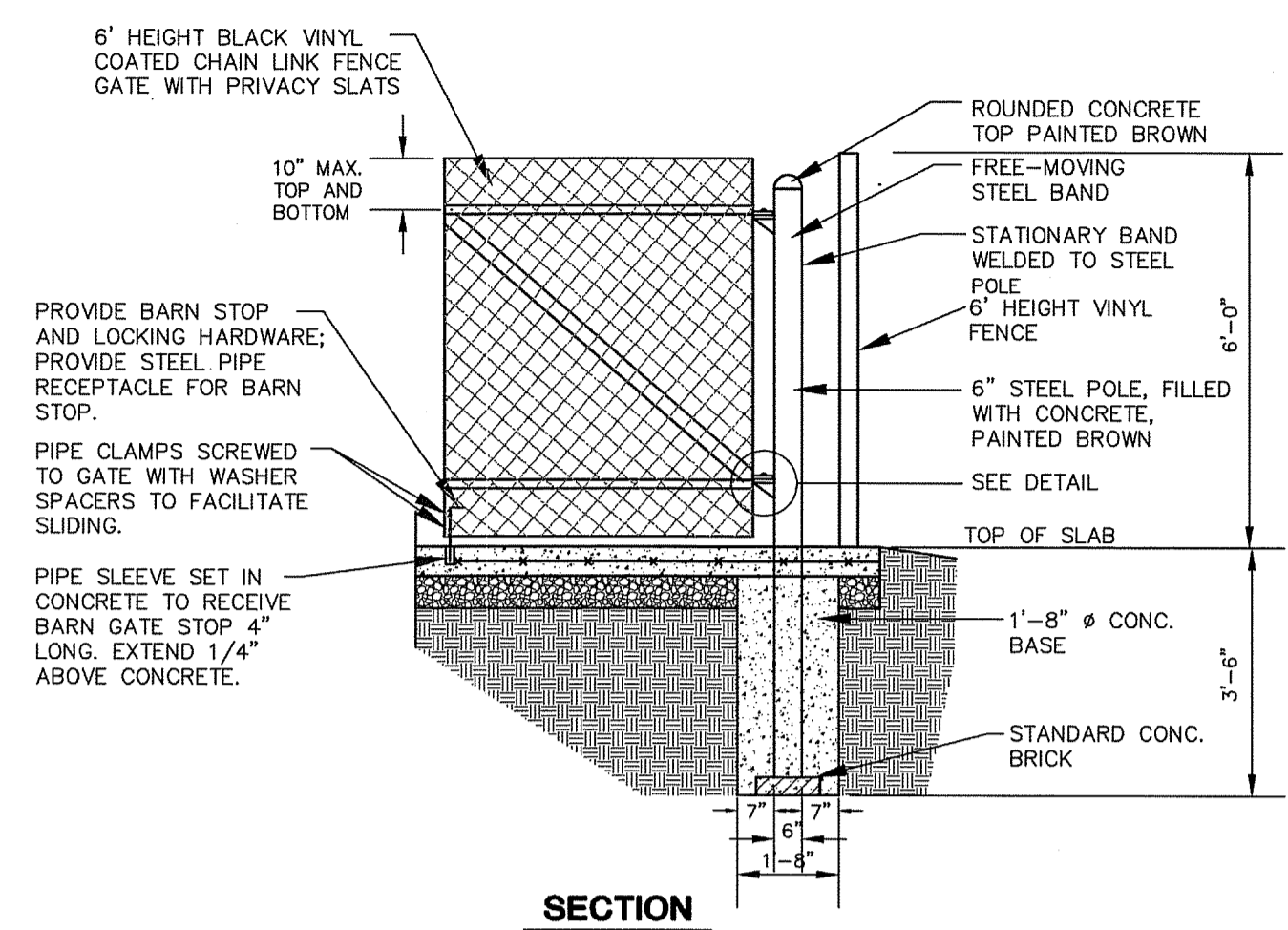
NOTES:
 STEEL FOR POSTS SHALL CONFORM TO THE MECHANICAL REQUIREMENTS OF ASTM A 499-81 GRADE 60 AND TO THE CHEMICAL REQUIREMENTS OF ASTM A1-76 CARBON STEEL TEE RAIL HAVING NOMINAL WEIGHT OF 91 LBS OR GREATER PER LINEAR YARD.
 AFTER FABRICATION ALL STEEL POSTS SHALL BE GALVANIZED TO MEET THE REQUIREMENTS OF ASTM A-123.
 SIGN MOUNTING HEIGHT TO BE APPROVED BY THE ENGINEER.

N.T.S. BLS0-001



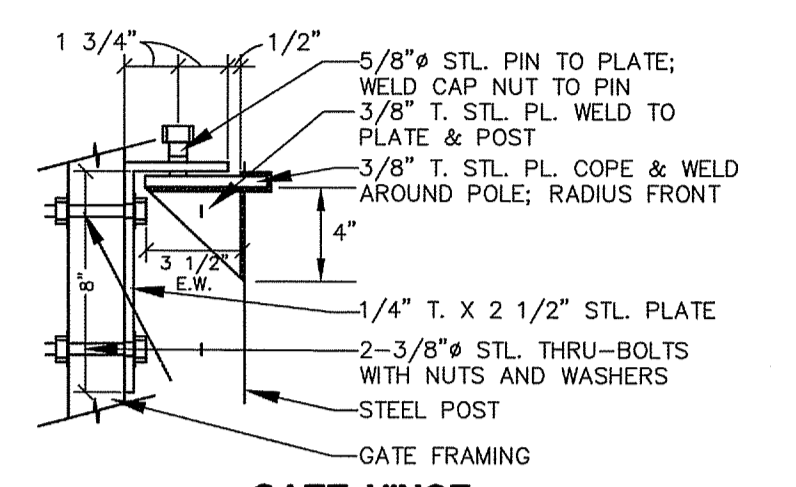
TRASH ENCLOSURE PLAN

N.T.S. BLSE-004



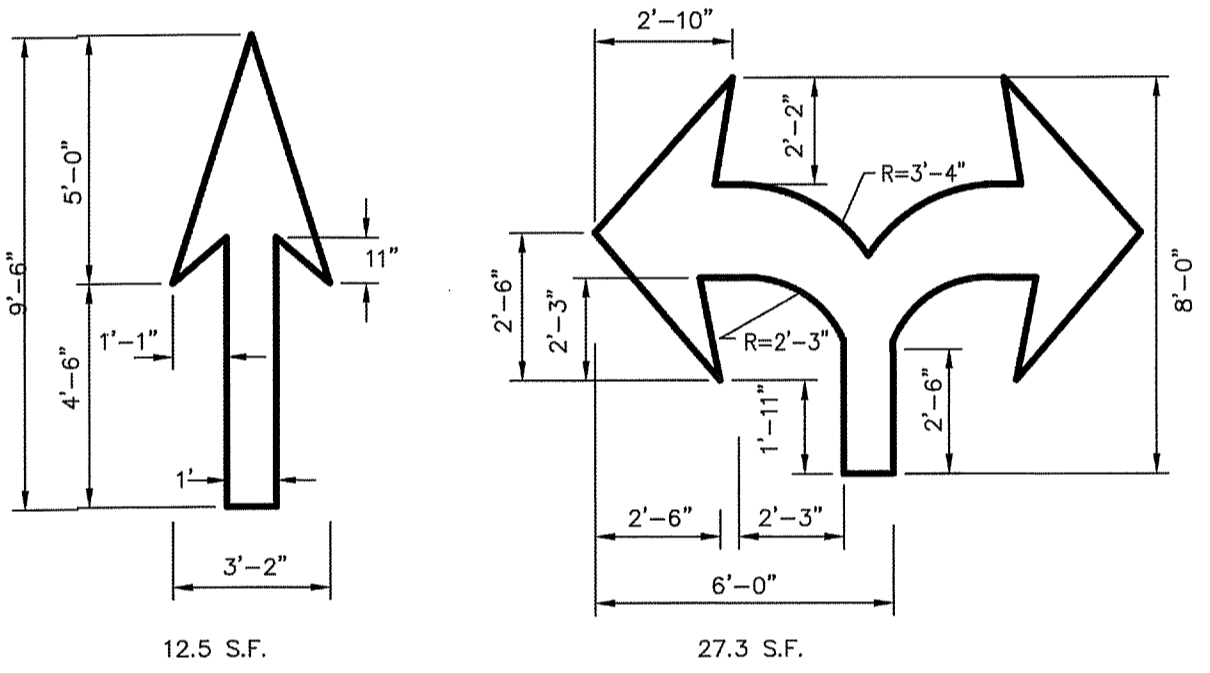
TRASH ENCLOSURE CHAIN LINK FENCE GATE

N.T.S. BLFD-001



DUMPSTER ENCLOSURE GATE (HALF SECTION)

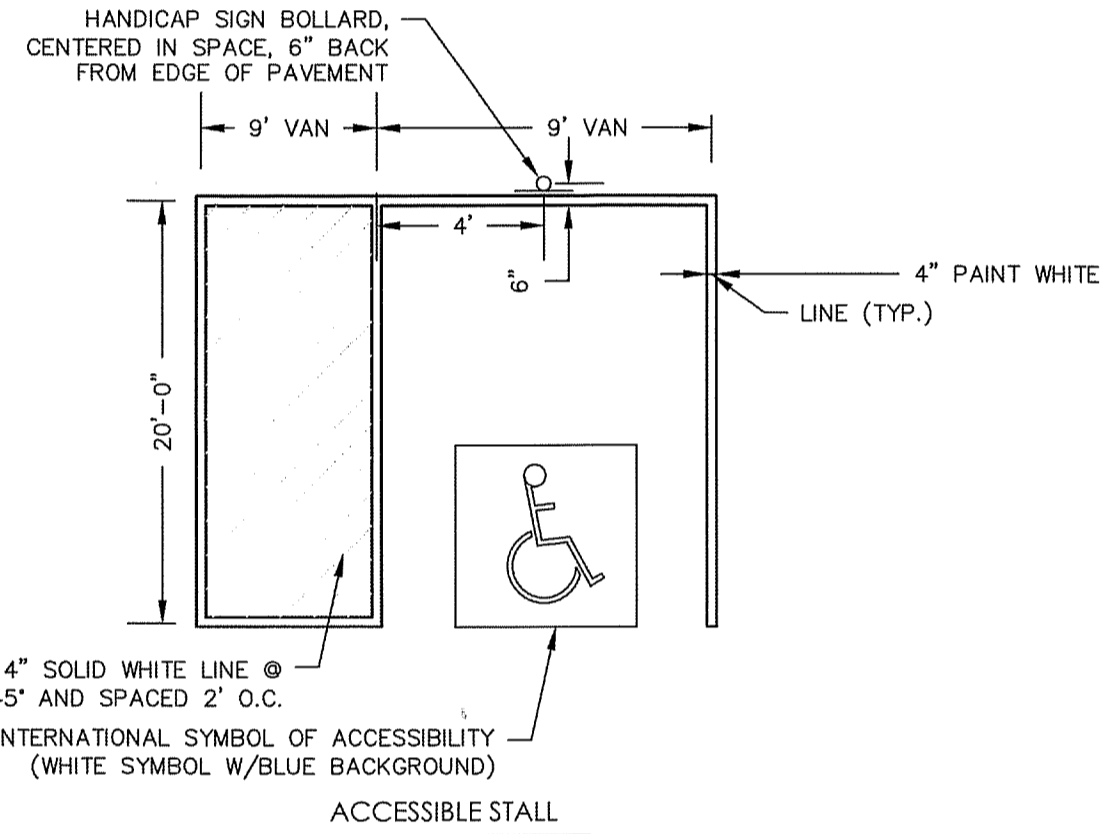
N.T.S. BLSE-001



PAINTED TRAFFIC ARROW DETAILS

NOTES:
 1. WHITE (ARROWS TO BE CENTERED IN TRAVEL LANE)

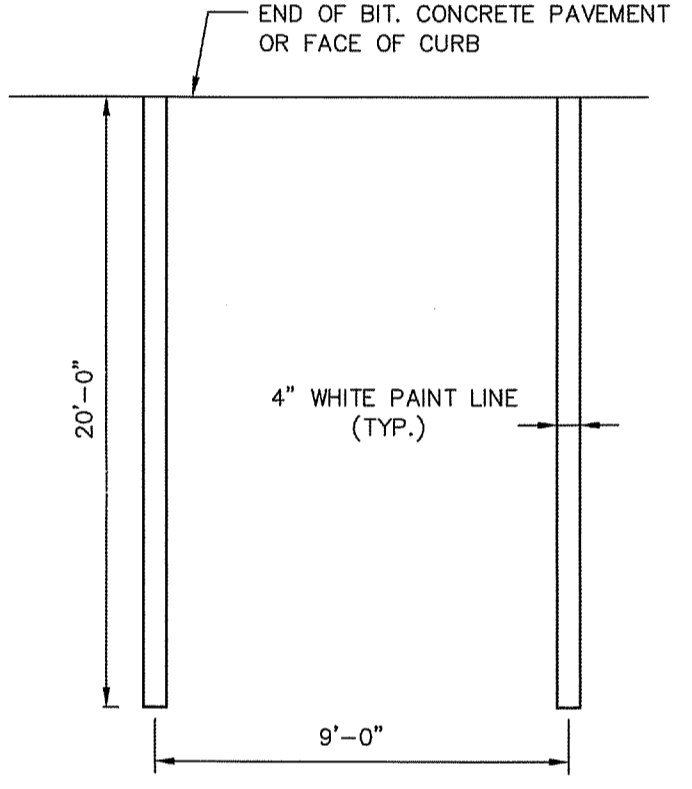
N.T.S.



TYPICAL HANDICAP PARKING STALL LAYOUT

NOTE:
 UNIFORM FEDERAL ACCESSIBILITY STANDARDS, SECTION 4.30. & 2010 ADA

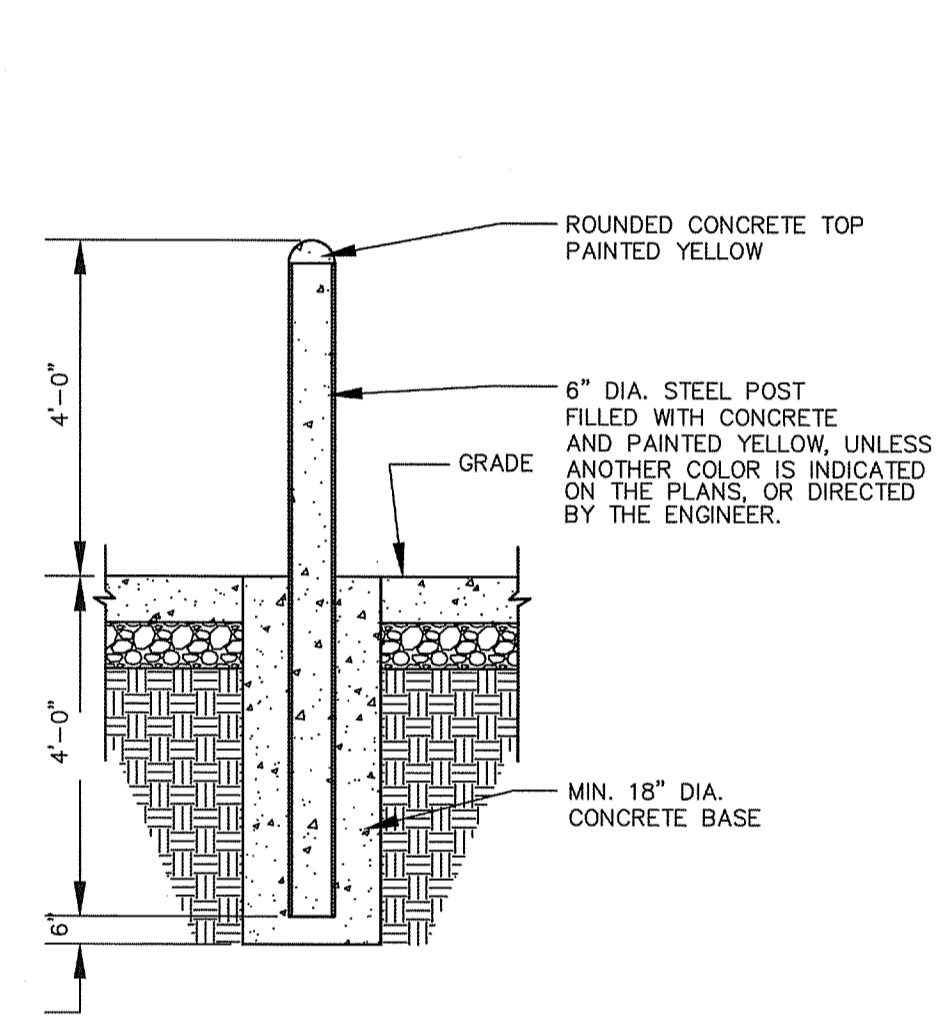
N.T.S.



TYPICAL PARKING SPACE DETAIL

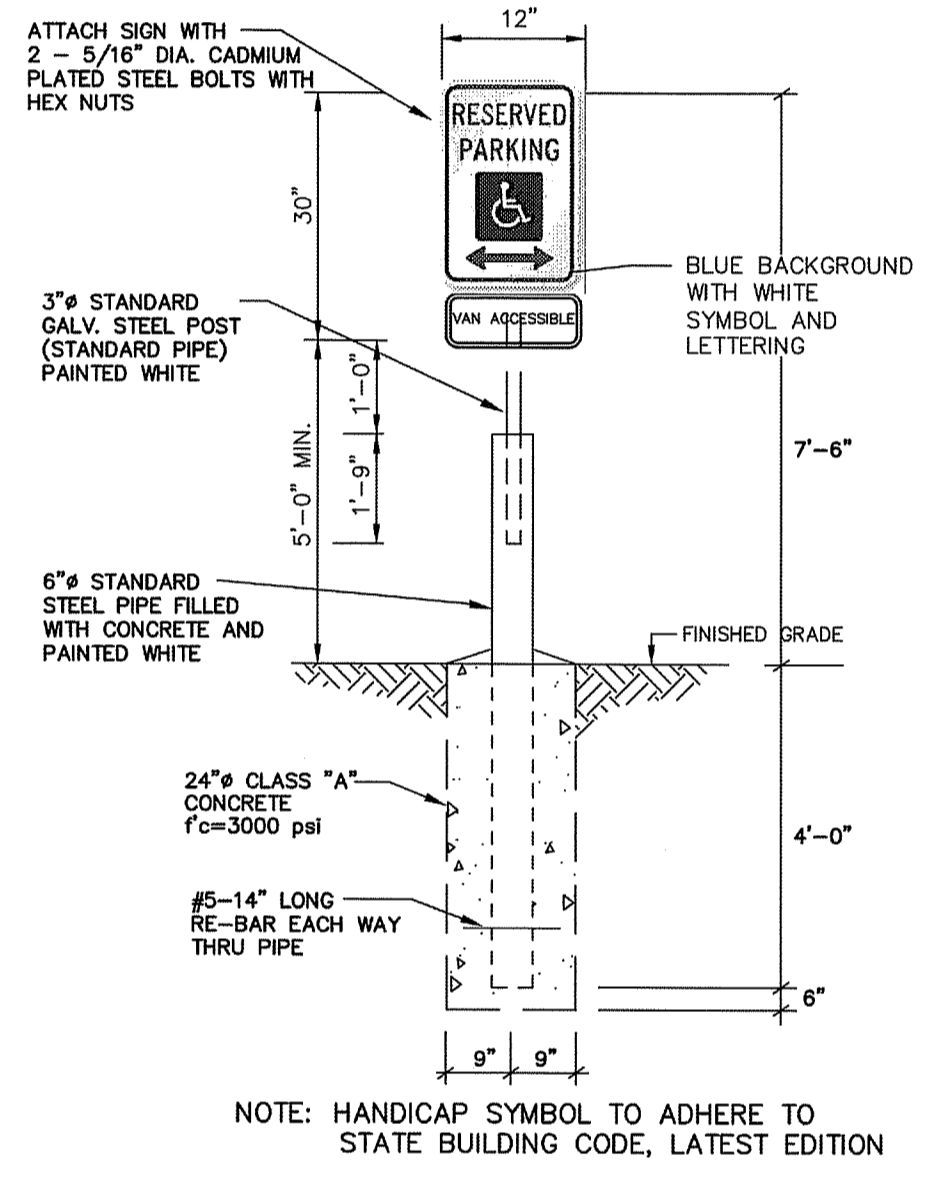
NOTE:
 1. PROVIDE 2 COATS OF PAINT ON ALL SURFACES.
 2. SEE PLAN FOR ACTUAL SPACE LOCATION AND DIMENSIONS.

N.T.S. BLPC-003



BOLLARD DETAIL

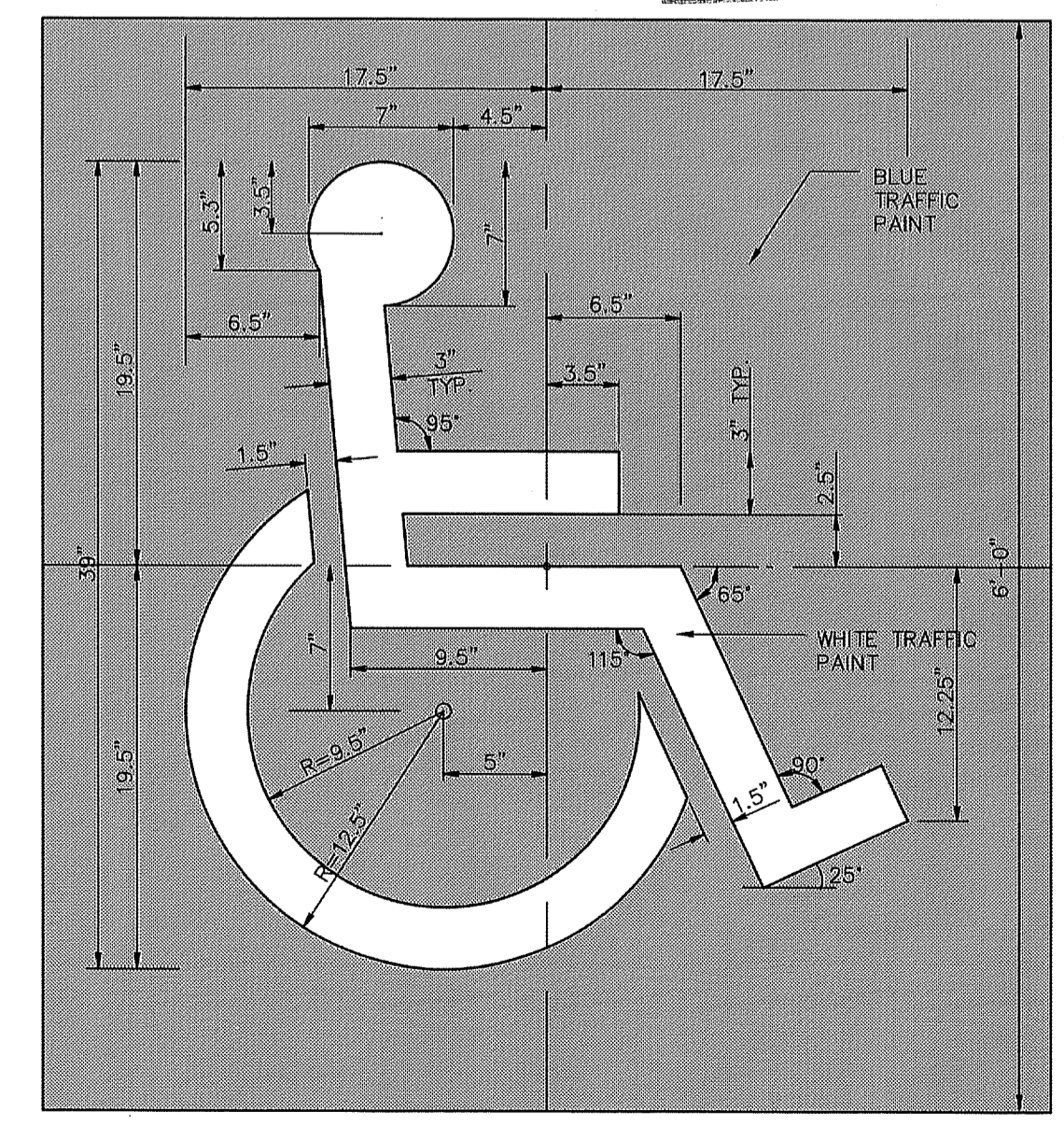
N.T.S. BLSE-005



HANDICAP SIGN BOLLARD

NOTE: HANDICAP SYMBOL TO ADHERE TO STATE BUILDING CODE, LATEST EDITION

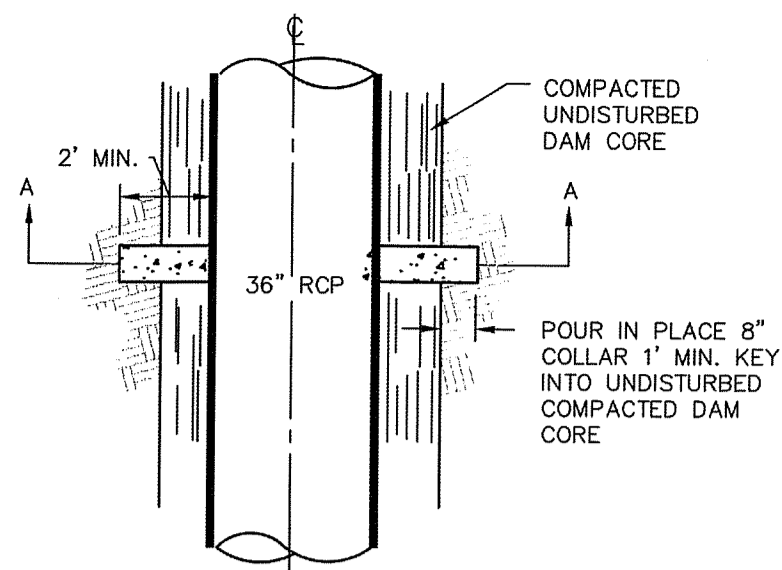
N.T.S.



INTERNATIONAL SYMBOL OF ACCESSIBILITY PAVEMENT MARKING

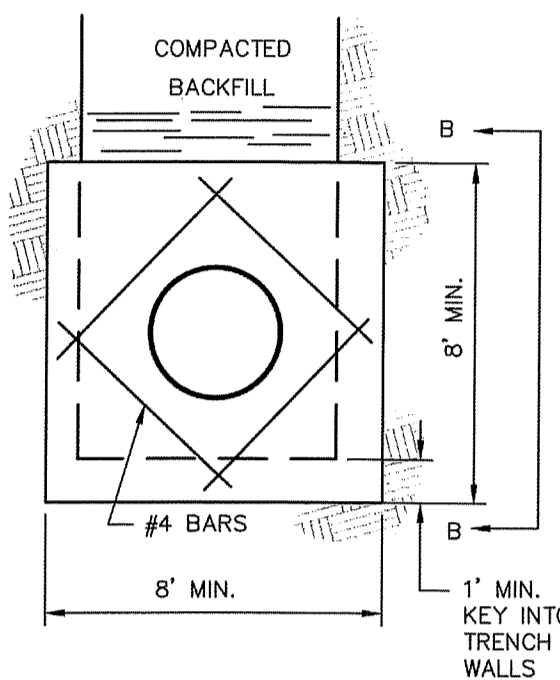
NOTE: SEE SITE PLAN FOR LOCATIONS
 N.T.S.

NOT FOR CONSTRUCTION
 FOR PERMITTING PURPOSES ONLY



PLAN

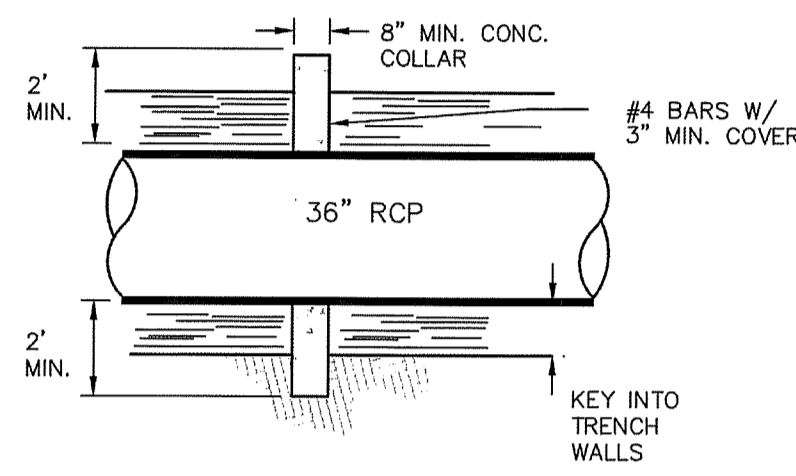
- NOTES:
1. CONCRETE SHALL BE 4,000 PSI
 2. REINFORCING STEEL SHALL BE #4 BARS 3" MIN. CLEARANCE
 3. POUR COLLAR IN PLACE AGAINST EXCAVATED KEY IN COMPACTED CORE
 4. INSTALL 2 COLLARS 16" ON CENTER INSIDE COMPACTED IMPERVIOUS CORE
 5. COMPACT PIPE BEDDING & BACKFILL WITH IMPERVIOUS CORE MATERIAL TO DAM CORE REQUIREMENTS WITH SUITABLE COMPACTION EQUIPMENT



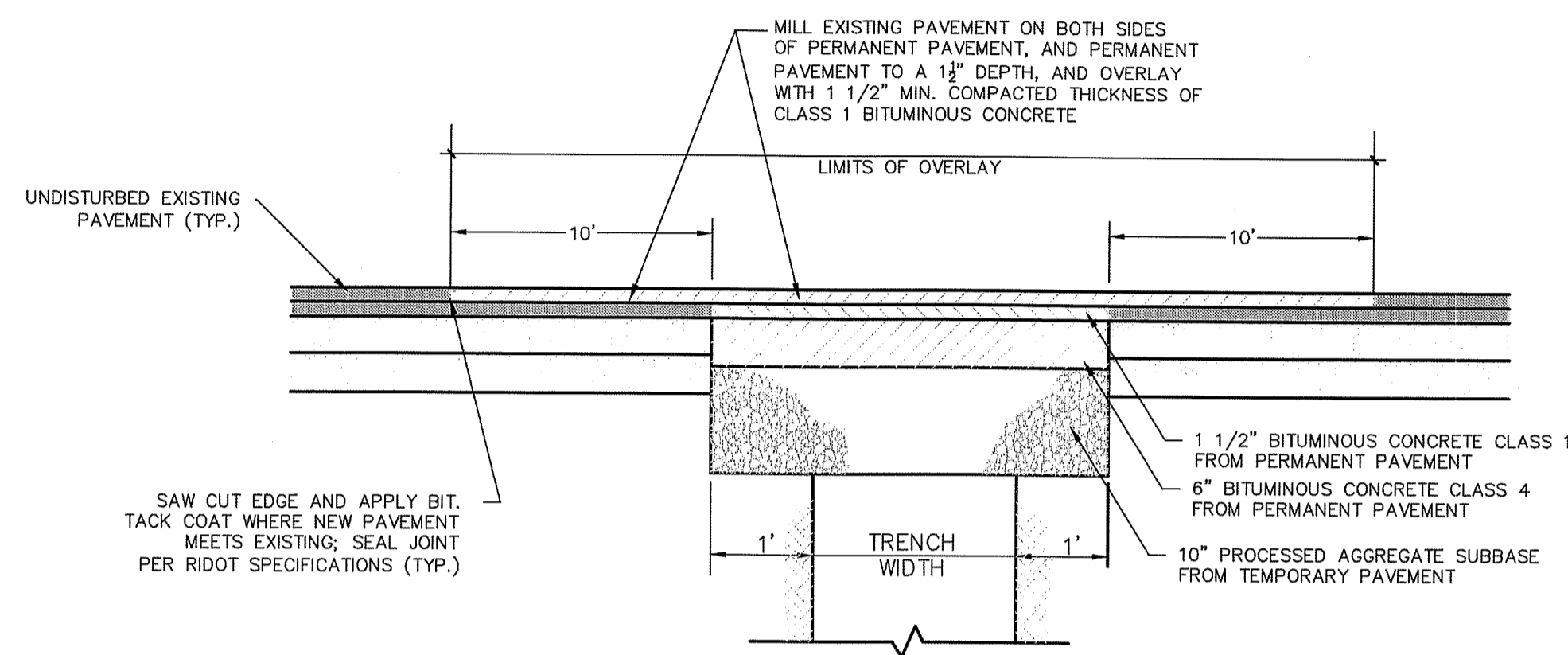
SECTION A-A

ANTI-SEEP COLLAR

N.T.S. BLDD-001

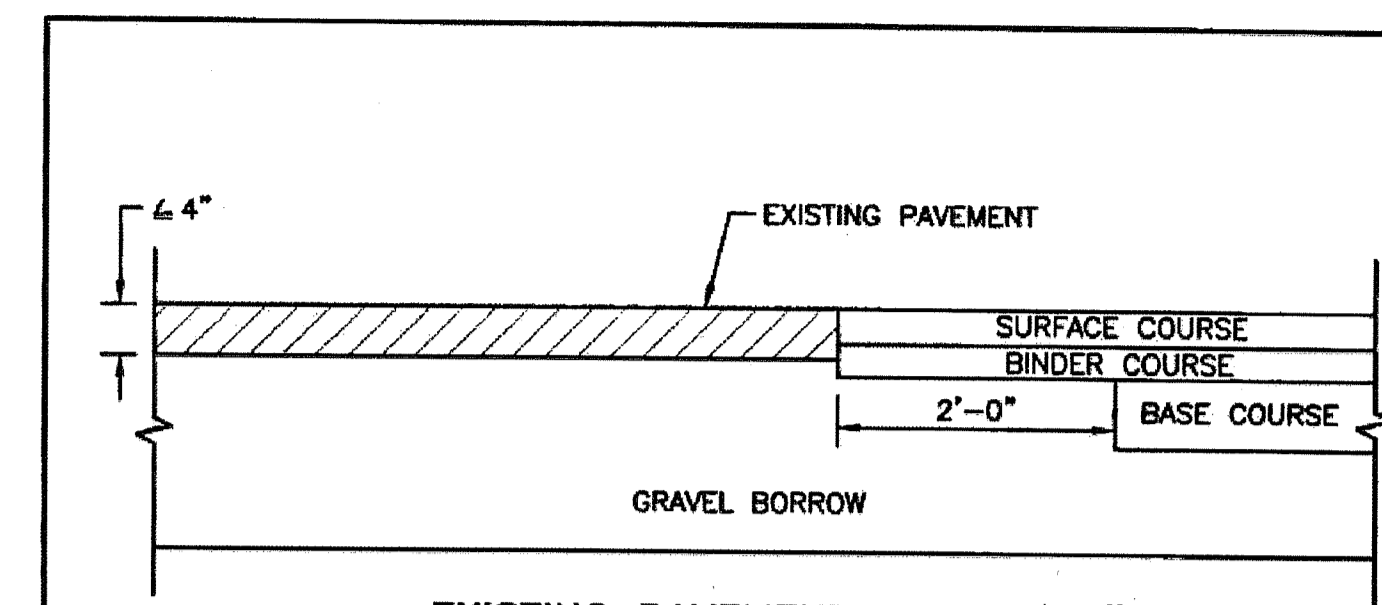


SECTION B-B

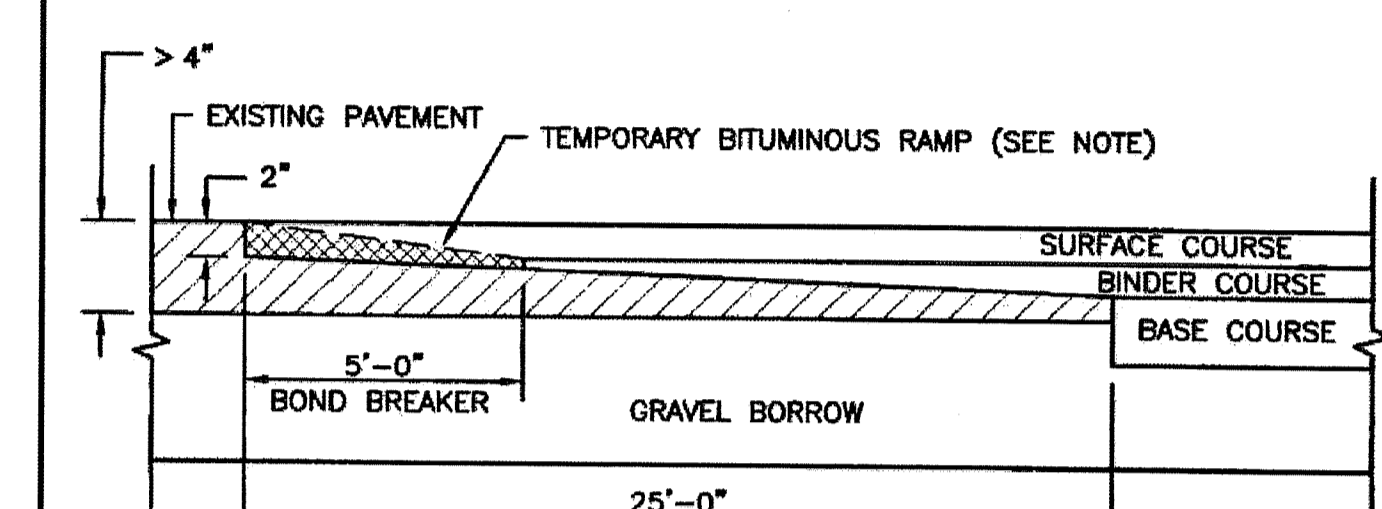


MILLING AND OVERLAY TRENCHES PERPENDICULAR TO EDGE OF PAVEMENT

N.T.S.



EXISTING PAVEMENT DEPTH < 4"



EXISTING PAVEMENT DEPTH > 4"

NOTE:
A BOND BREAKER (TAPERED OR EQUIVALENT) WILL BE PLACED 5'-0" FROM THE JOINT AND COVERED WITH THE BINDER COURSE AS THE TEMPORARY RAMP. PRIOR TO PLACING THE SURFACE COURSE, THE BINDER COURSE AND BOND BREAKER WILL BE REMOVED.

RHODE ISLAND DEPARTMENT OF TRANSPORTATION

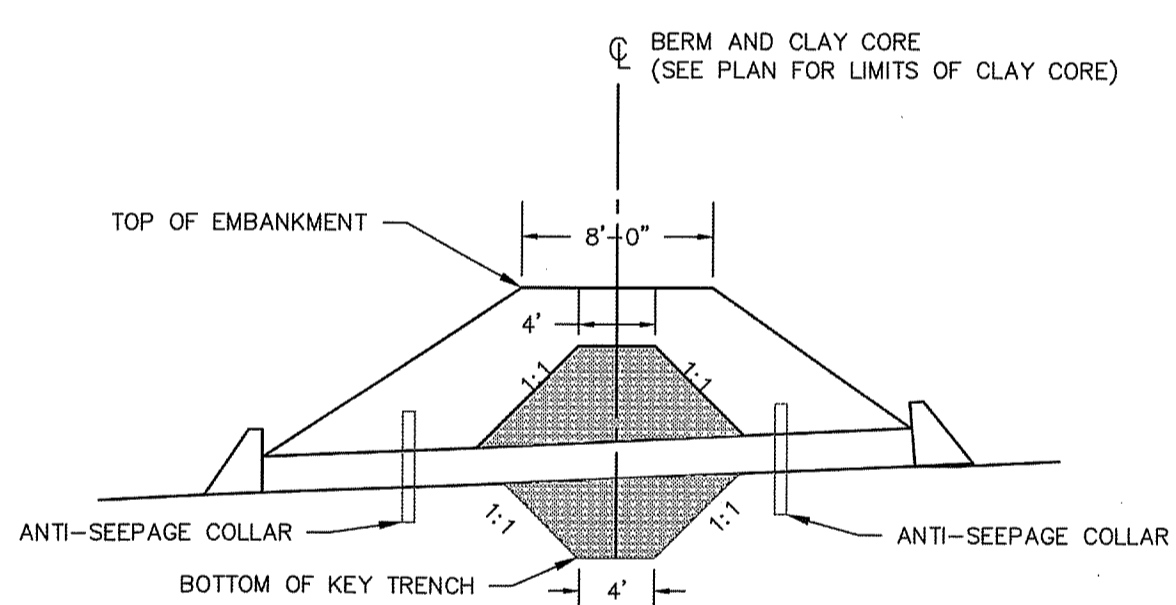
REVISIONS		
NO.	BY	DATE

TRANSVERSE PAVEMENT CUT AND MATCH

James D. Capelli
CLAY ENGINEER
TRANSPORTATION

JUNE 15, 1998
ISSUE DATE

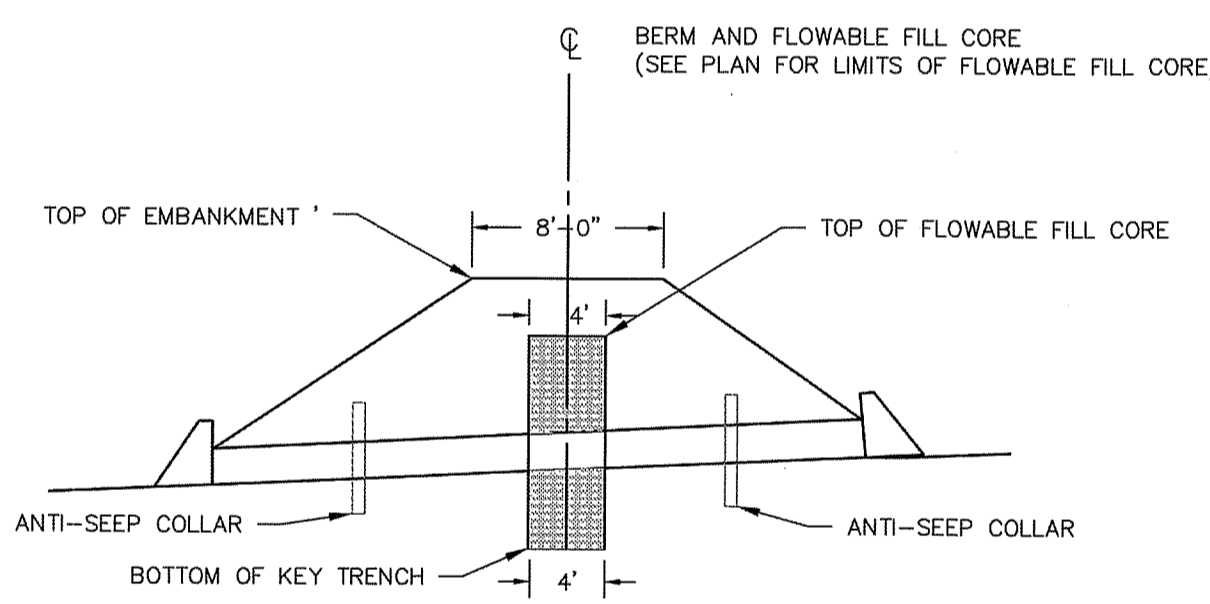
R.I. STANDARD
47.1.1



- NOTES:
1. CLAY CORE SHALL BE COMPOSED OF IMPORTED CL, CH, MH OR CL-ML SOILS WITH A PERMEABILITY LESS THAN OR EQUAL TO 1.0x10⁻⁹ CM/S. MATERIAL SHALL BE COMPACTED TO A MINIMUM OF 95% MAXIMUM DENSITY PER ASTM-D 1557; WITHIN ± 3% OPTIMUM MOISTURE CONTENT.
 2. SCARIFY EXISTING GROUND OF LEAFY LITTER AND ORGANIC MATTER PRIOR TO PLACING BERM OR IMPERVIOUS CLAY CORE.

IMPERMEABLE CORE - CLAY OPTION

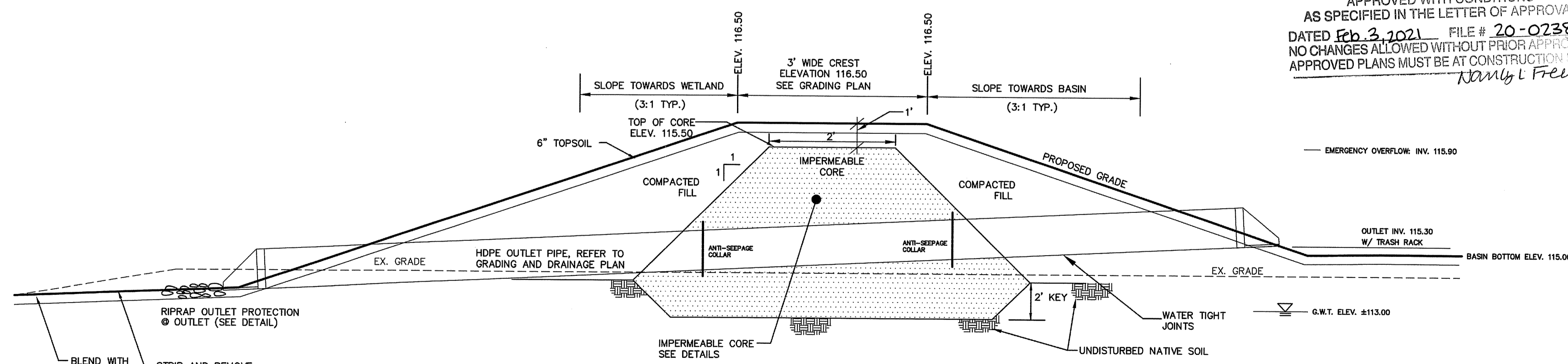
N.T.S.



- NOTES:
1. CONTRACTOR MAY ADD 3" STONE TO FLOWABLE FILL MIX. CRUSHED STONE TO BE MAXIMUM OF 30% BY VOLUME OF MIX. CONTRACTOR TO ARRANGE FOR TESTING LAB TO TAKE 4 CYLINDER SAMPLES FOR COMPRESSIVE STRENGTH TESTING AT 7 AND 28 DAYS.
 2. SCARIFY EXISTING GROUND OF LEAFY LITTER AND ORGANIC MATTER PRIOR TO PLACING BERM OR IMPERVIOUS FLOWABLE FILL CORE.

IMPERMEABLE CORE - FLOWABLE FILL OPTION

N.T.S.

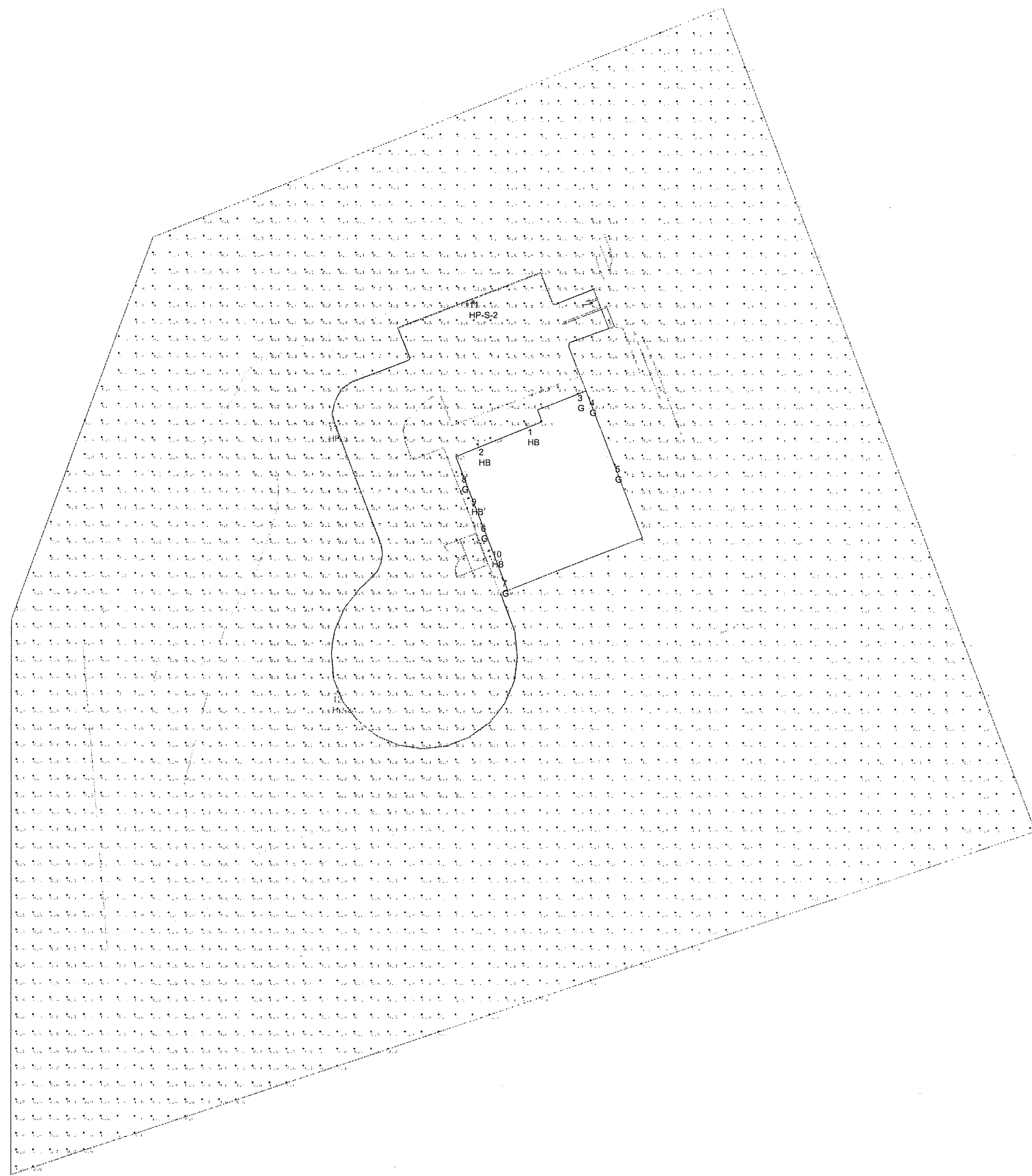


STORMWATER MANAGEMENT BASIN TYPICAL SECTION

N.T.S.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED Feb 3, 2021 FILE # 20-0238
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE
Jamie L. Freeman

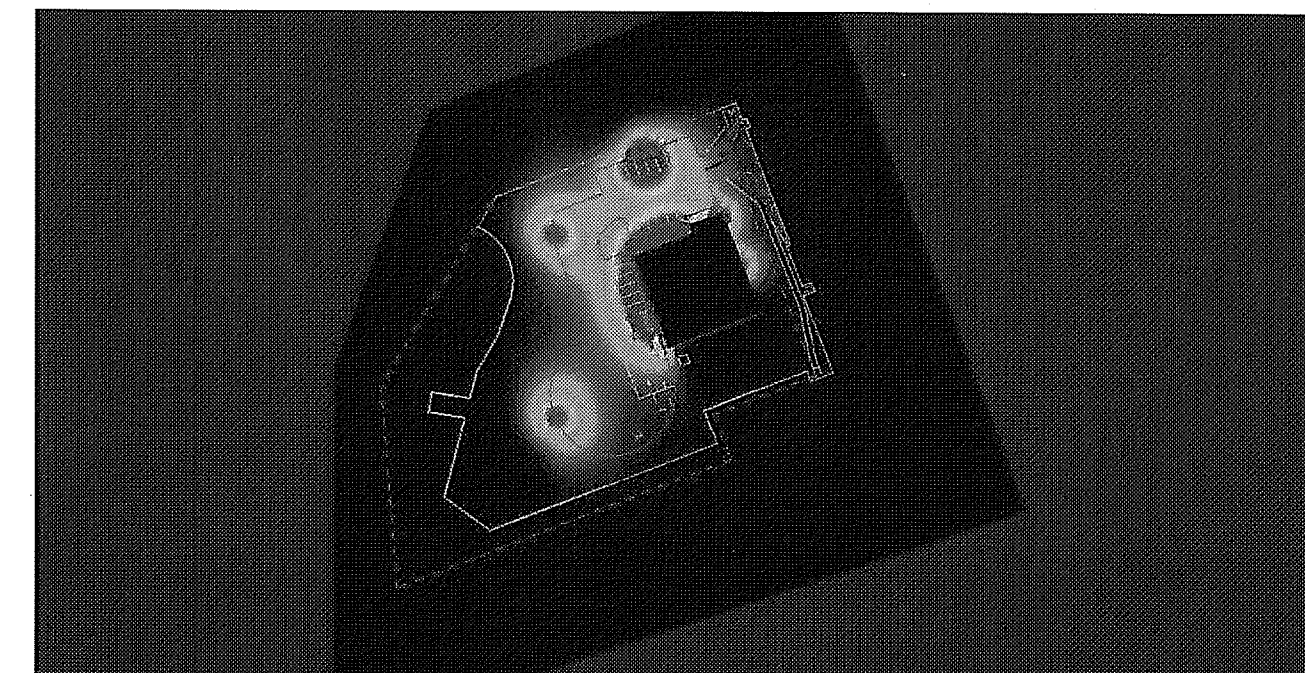
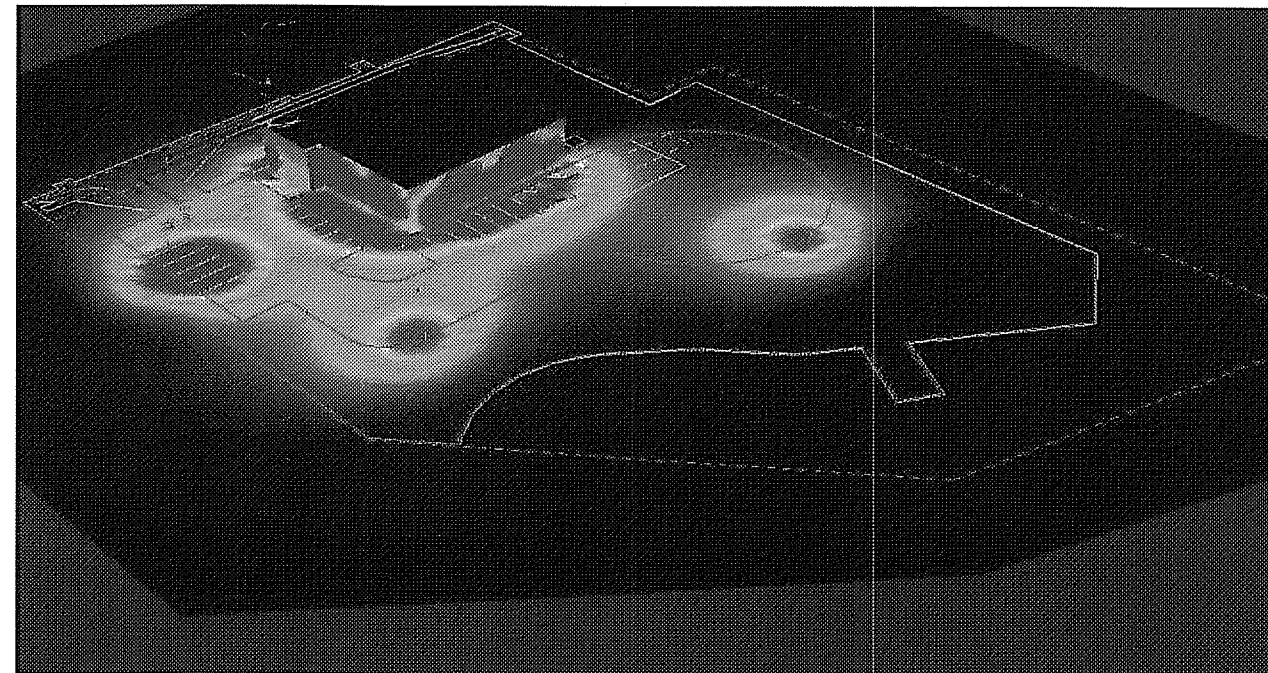
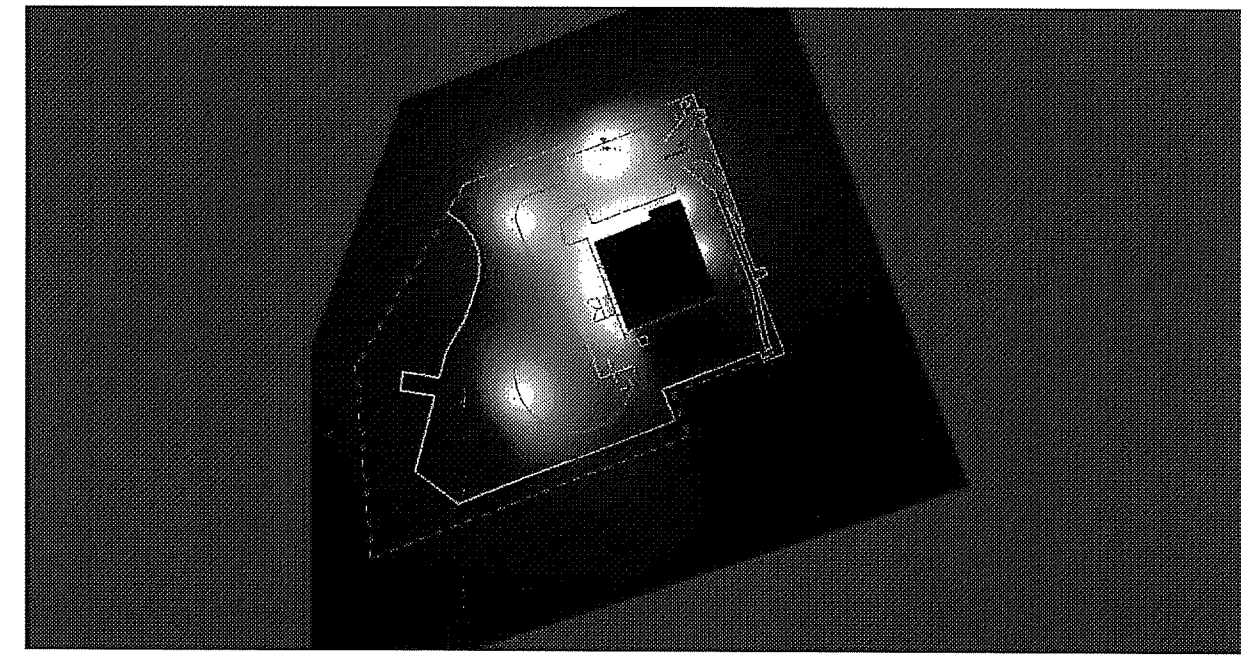
Environmental Management
JAN 19 2021
Office of Water Resources



Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description
1	4	HB	SINGLE	18720	0.950	LED5-AL-150W-T4-5K - Wall Mt. 42in Upwarp Arm, Type 4, 5K
2	8	G	SINGLE	18192	0.950	LED5-WP-FC-4600-5K - Wall Poles, Full Cut-off, 5K
3	2	HP-S	SINGLE	16462	0.950	LED5-AL-150W-T4-5K-S - Single Pole Mt. 150w, Type 4, 5K Shielded
4	1	HP-S-2	TWIN	16462	0.950	LED5-AL-150W-T4-5K-S - Double Pole Mt. 150w, Type 4, 5K Shielded

Label	Calc Type	Units	Avg	Max	Min	Avg/Min	Max/Min
Site	Illuminance	FC	1.20	21.0	0.0	N/A	N/A
Parking Lot	Illuminance	FC	1.20	21.0	0.0	42.00	210.00

LumNo	Label	Z
1	HB	18.5
2	HB	18.5
3	G	12
4	G	12
5	G	12
6	G	12
7	G	12
8	G	12
9	G	12
10	HB	18.5
11	HP-S-2	22
12	HP-S	22
13	HP-S	22

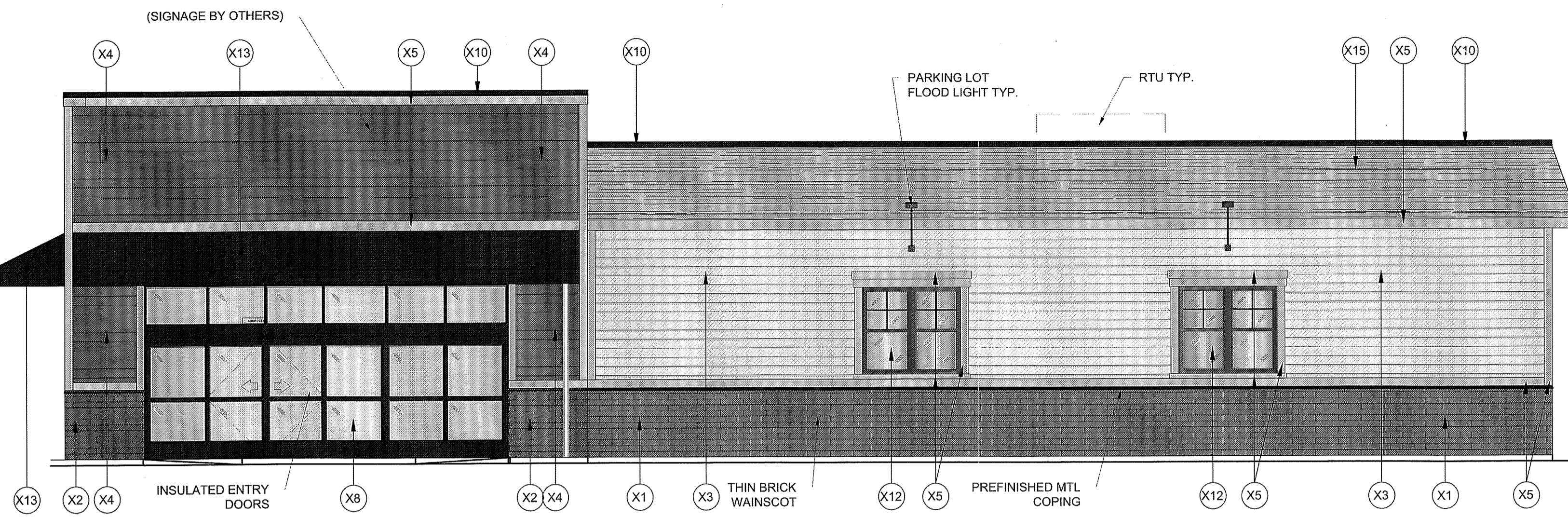


#	Date	Comments
Revisions		

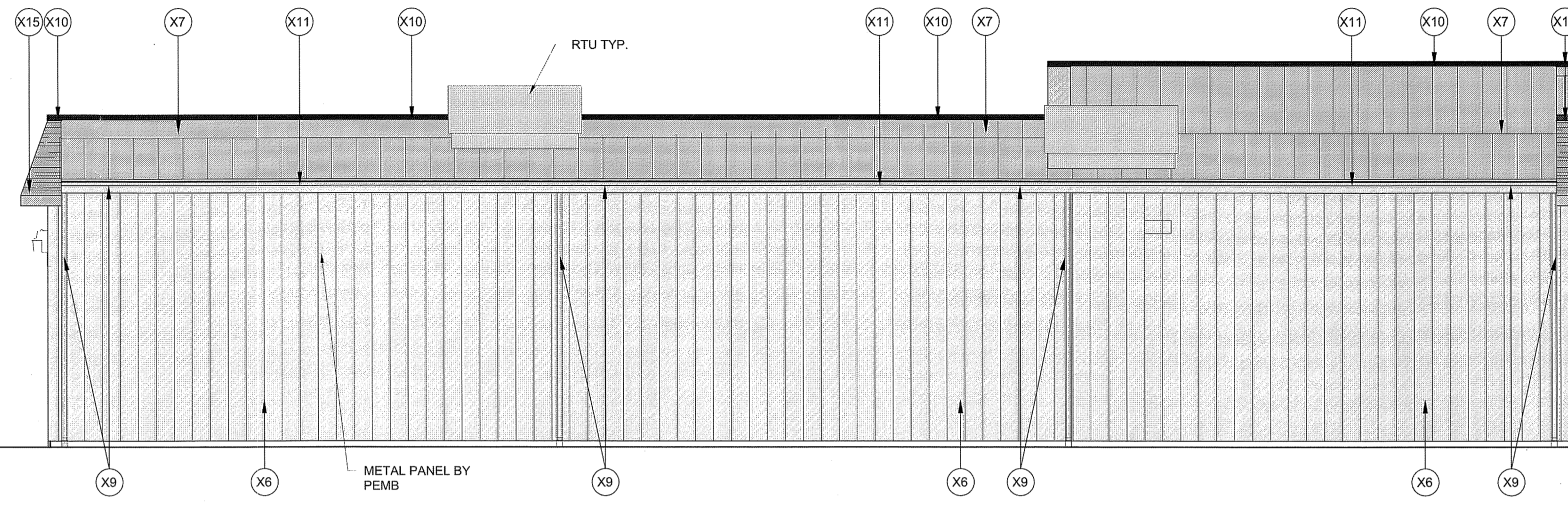
Drawn By: BMF, LC
 Checked By:
 Date: 7/19/2020
 Scale:

Proposed Retail Development
South Kingstown 20236

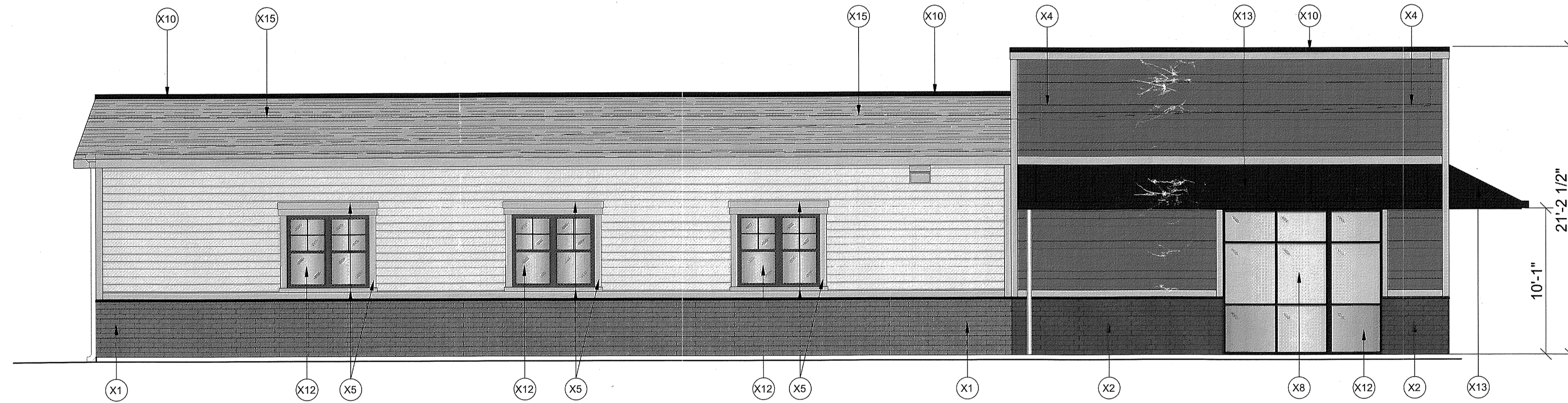
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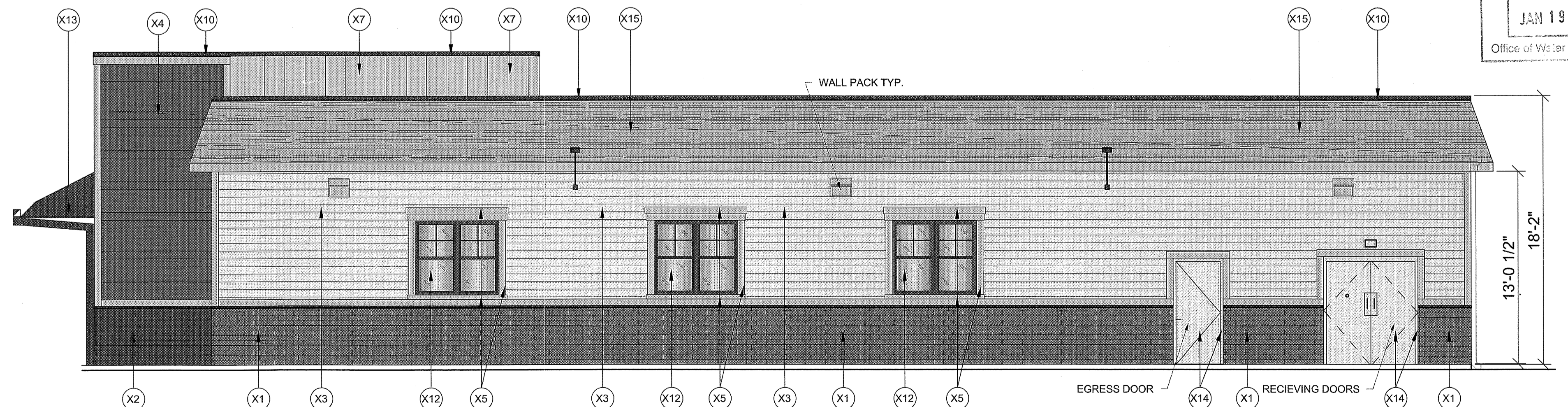
1 PROPOSED FRONT ELEVATION
 SCALE: 1/8"-1'-0"



2 PROPOSED REAR ELEVATION
 SCALE: 1/8"-1'-0"



3 PROPOSED SIDE ELEVATION (KINGSTOWN RD RT 108)
 SCALE: 1/8"-1'-0"



4 PROPOSED SIDE ELEVATION
 SCALE: 1/8"-1'-0"

TAG	MATERIAL/ MFG.	COLOR/NO.	NOTES
X1	THIN BRICK WAINSCOT	COLOR: SW 7032 WARM STONE	PAINTED
X2	THIN BRICK WAINSCOT	COLOR: SW 7041 VAN DYKE BROWN	PAINTED
X3	HARDIE BOARD LAPBOARD	COLOR: SAIL CLOTH	PREFINISHED
X4	HARDIE BOARD LAPBOARD	COLOR: TIMBERBARK	PREFINISHED
X5	HARDIE BOARD TRIM BOARD	COLOR: NAVAJO BEIGE	PREFINISHED
X6	METAL PANEL CLADDING	COLOR: PARCHMENT	FINISH BY PEMB
X7	STANDARD METAL ROOF PANEL	COLOR: GALVALUME	FINISH BY PEMB
X8	STANDARD ENTRY DOORS/ STOREFRONT	COLOR: DARK BRONZE	PRE-FINISHED
X9	MTL GUTTERS, DOWNSPOUTS	COLOR: PARCHMENT	FINISH BY PEMB
X10	MTL COPING	COLOR: DARK BRONZE	FINISH BY PEMB
X11	MTL COPING	COLOR: PARCHMENT	FINISH BY PEMB
X12	SPANDREL WINDOWS	FRAME COLOR: DARK BRONZE	PREFINISHED LT GREY SPANDREL
X13	MTL AWNING	COLOR: DARK BRONZE	FINISH BY PEMB
X14	MTL DOOR & FRAME	COLOR: PAINTED TO MATCH (C)	PAINTED
X15	ARCH ASPHALT SHINGLES	COLOR: WEATHER WOOD	GAF TIMBERLINE 30 YR SHINGLE

Environmental Management
 JAN 19 2021
 Office of Water Resources