

McIntosh Farm

ASSESSOR'S PLAT 3C / PARCELS 7-2 & 8

22 OLD MOUNTAIN ROAD

RICHMOND, RHODE ISLAND

OCTOBER 2020 / REVISED FEBRUARY 2021

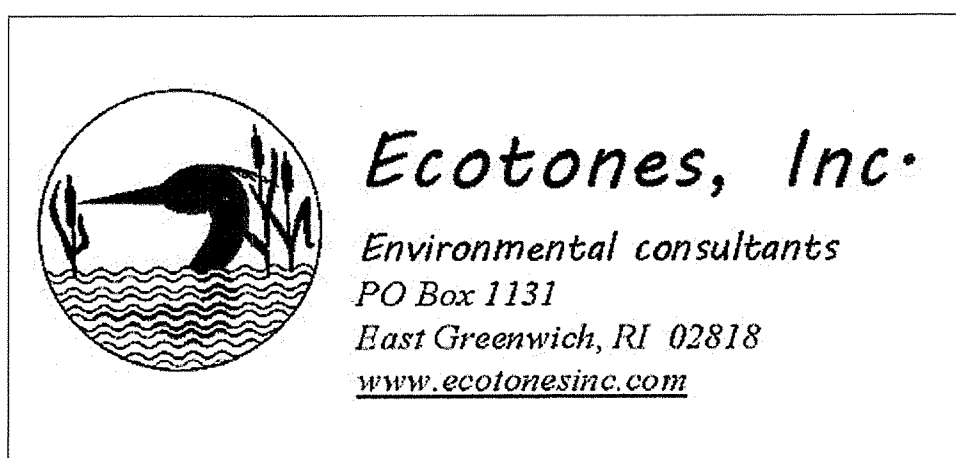
PROJECT ATTORNEY

JOHN F. KENYON, ESQ.
 KENYON LAW ASSOCIATES, LLP
 133 OLD TOWER HILL ROAD, SUITE 1
 WAKEFIELD, RI 02879
 401-789-0217
 JFK@KENYONLAWYERS.COM

PROJECT SURVEYOR / SOIL EVALUATOR / OWTS DESIGNER

Alfred W. DiOrio, RLS, Inc.
 Professional Land Surveyors and Land Use Consultants
 PO Box 999 Ashaway, Rhode Island 02804-0009
 401-377-8124 800-797-8124 401-742-1850 Cellular
 Web: www.awdrils.com Email: al@awdrils.com

PROJECT WETLAND BIOLOGIST



PROJECT ENGINEER



31 Vale Court Phone / Fax (401) 397-8745
 West Greenwich, RI 02817 Email: wel31.pw@gmail.com

PLAN SET INDEX

0 of 21		COVER SHEET
1 OF 21		SURVEY OVERVIEW SHEET
2 OF 21		SURVEY DETAIL SHEET - 1
3 OF 21		SURVEY DETAIL SHEET - 2
4 OF 21		SURVEY DETAIL SHEET - 3
5 OF 21		PLAN TO ACCOMPANY ADMINISTRATIVE SUBDIVISION
6 OF 21	SCP-1	SITE CONTEXT PLAN
7 OF 21	LS-1	OVERALL LAYOUT PLAN
8 OF 21	LS-2	LOT 1 LAYOUT PLAN
9 OF 21	LS-3	LOT 2 LAYOUT PLAN
10 OF 21	LS-4	LOT 3 LAYOUT PLAN
11 OF 21	LS-5	LOT 4 LAYOUT PLAN
12 OF 21	S-1	OVERALL DRAINAGE, GRADING & EROSION CONTROLS PLAN
13 OF 21	S-2	LOT 1 DRAINAGE, GRADING & EROSION CONTROLS PLAN
14 OF 21	S-3	LOT 2 DRAINAGE, GRADING & EROSION CONTROLS PLAN
15 OF 21	S-4	LOT 3 DRAINAGE, GRADING & EROSION CONTROLS PLAN
16 OF 21	S-5	LOT 4 DRAINAGE, GRADING & EROSION CONTROLS PLAN
17 OF 21	PP-1	AVERY WAY PLAN & PROFILE
18 OF 21	ND-1	NOTES & DETAILS NO. 1
19 OF 21	ND-2	NOTES & DETAILS NO. 2
20 OF 21	ND-3	NOTES & DETAILS NO. 3
21 OF 21	ND-4	NOTES & DETAILS NO. 4

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 REVIEWED SITE PLAN APPLICATION NO.: 20-0259
 DATED APR 27 2021
 SEE LETTER OF SAME DATE.

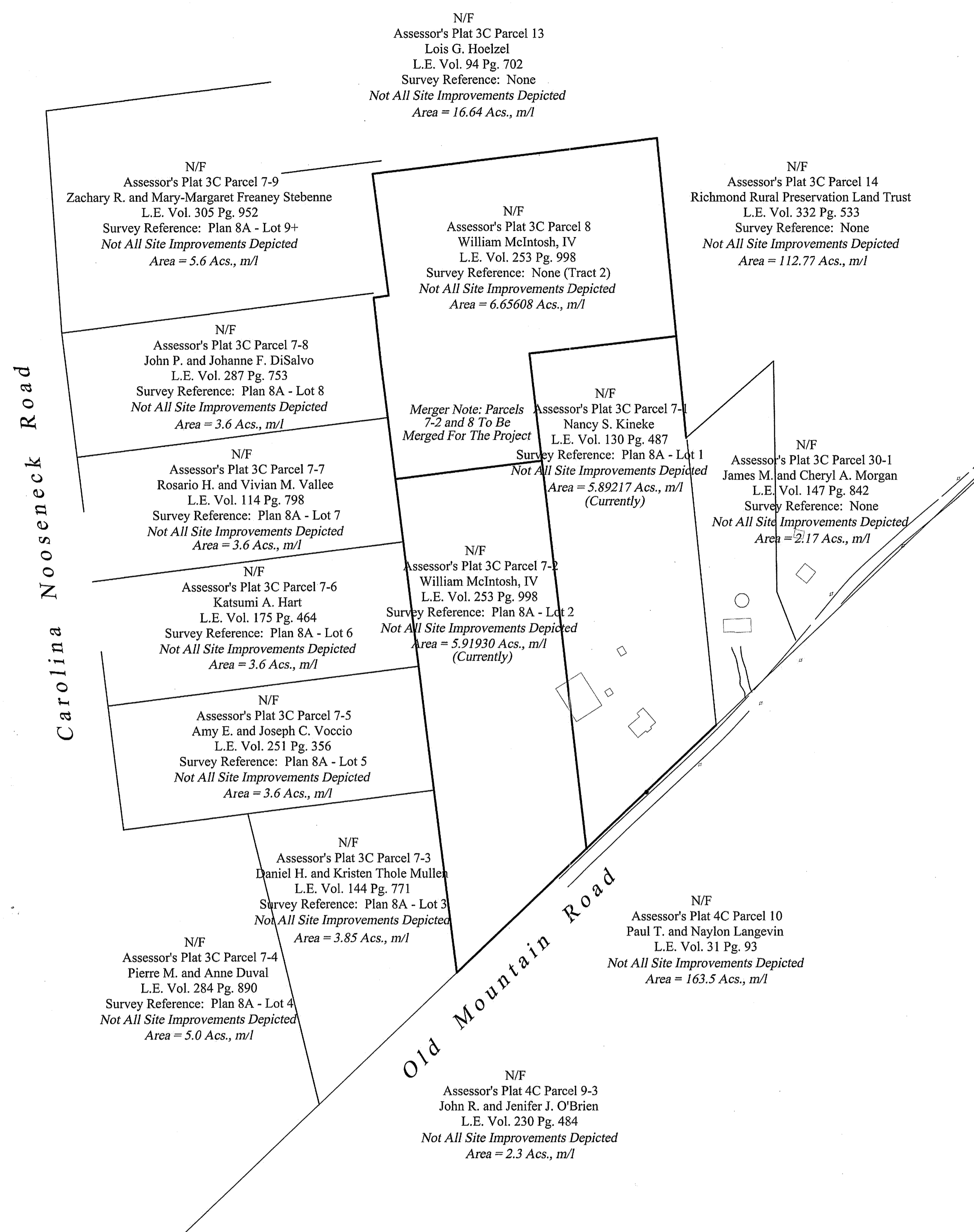
Nancy L. Freeman

Environmental Management
 MAR 1 0 2021
 Office of Water Resources

PROJECT APPLICANT
 MCINTOSH REAL ESTATE LLC
 22 OLD MOUNTAIN ROAD
 WYOMING, RI 02898

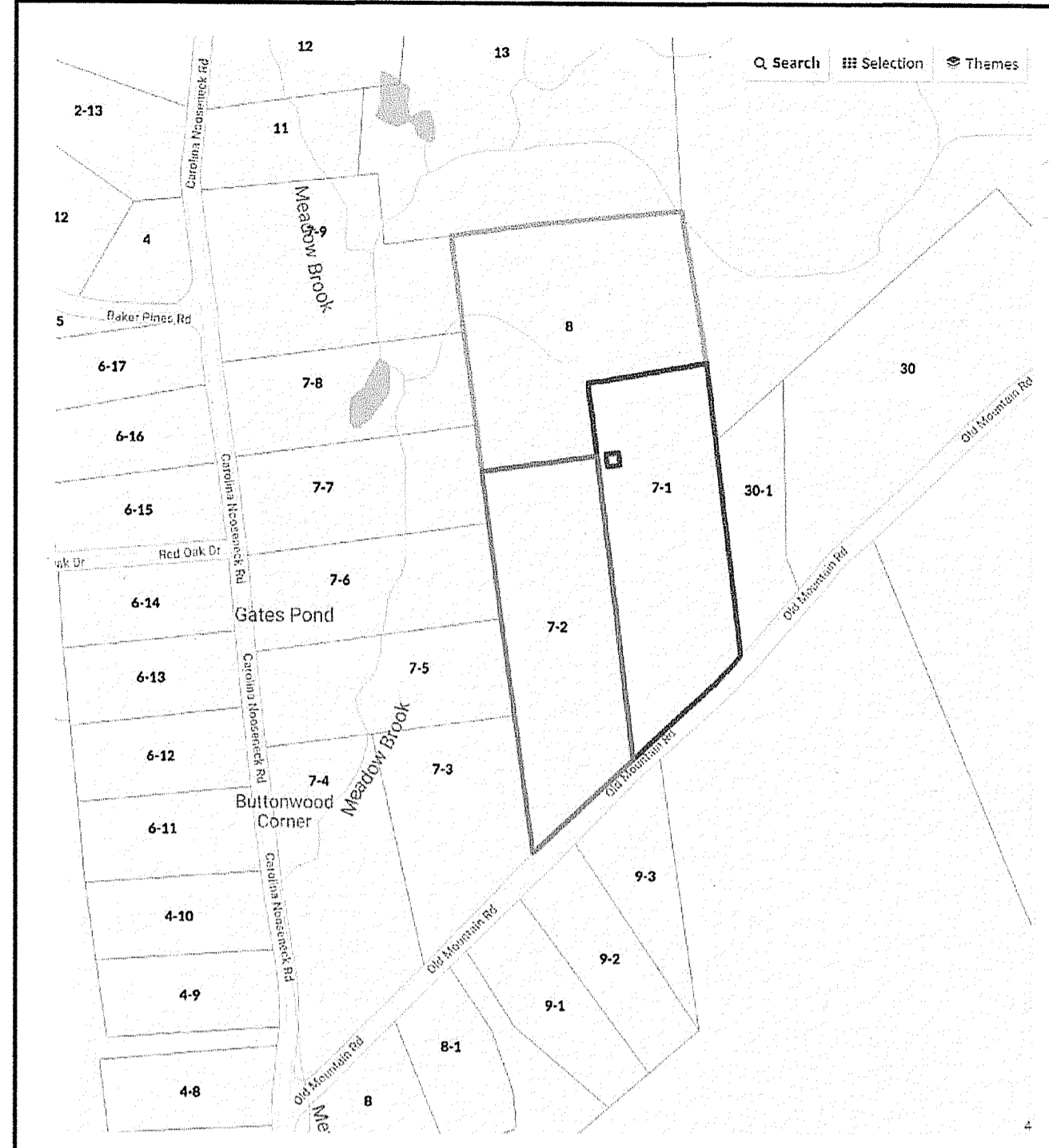
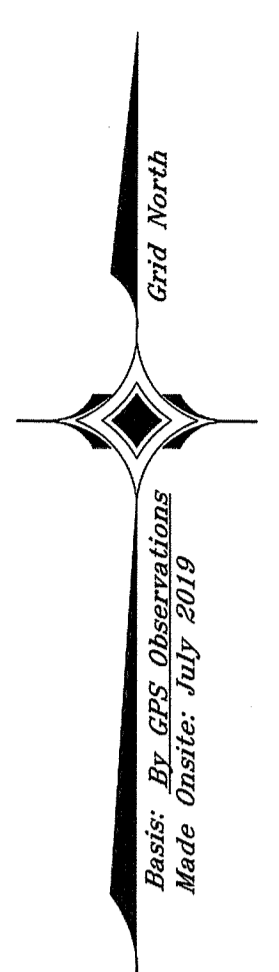
PROPERTY OWNER
 WILLIAM E. MCINTOSH, IV
 TWO MORNING ROAD
 WEST KINGSTON, RI 02892

CONTACT PERSON: WILLIAM E. MCINTOSH, IV
 WILLIAMEMCINTOSH@GMAIL.COM
 617-513-0278



PLAN NOTES:

- The subject site is substantially depicted on Town of Richmond, Rhode Island Tax Assessor's Map 3C as Parcels 7-1, 7-2, and 8.
- The subject site is zoned "R-2" per Town of Richmond, Rhode Island Geographic Information System (GIS), dated 08-21-2019. Use of and/or reliance upon this zoning designation shall be at the user's sole risk and is subject to verification of current zoning status by the Town of Richmond, Rhode Island.
- Stone Walls. The line of any stone wall(s) depicted hereon may vary slightly from the geometric centerline represented hereon. While reasonable efforts have been made to monument and/or delineate the centerline of said wall(s), these minor variations are typical of wall construction in the locale.
- Associated Locations. The geometric points and/or monumentation associated with the boundary(s) of the subject site represented hereon are consistent with the CLASS of Survey specified in the surveyor's statement. The location of all other associated site features as may be depicted hereon, are consistent with either a CLASS III or CLASS IV Standard of Survey, unless expressly stated to the contrary.
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- Reference Documentation:
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- Professional Services Agreement. Reference is hereby made to the Professional Service Agreement for the services identified hereon, together with all specifications, limitations, and conditions contained therein, and dated 06-25-2019.
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Location Map - Schematic Representation Only

May Not Be To Scale

Revision Schedule	
Revision Date	Revision Description
02-12-2021	RIDEM Wetland Comments
02-12-2021	Minor Boundary Revisions

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
REVIEWED SITE PLAN APPLICATION NO. 20-029
DATED Apr 27 2021
SEE LETTER OF SAME DATE.
Nancy L. Freeman

RIGL 34-13-1 INDEX	
ABUTTING STREETS	
Carolina Nooseneck Road	
Old Mountain Road	

LEGEND

P	Referenced Plan Measurement	Set	Survey Monumentation Placed by Alfred W. DiOrto, RLS, Inc.	Existing Overhead Utility Lines
C	Calculated Measurement	Set	Survey Monumentation Recovered and Utilized by Alfred W. DiOrto, RLS, Inc.	Delineated Wetland Edge (By Others)
M	Measured Direct	Exist.	Assessor's Plat & Parcel Reference	Perimeter Wetland Edge
S	Scaled Measurement	AWD	Land Evidence Volume	100 Foot Riverbank Wetland
D	Referenced Deed Measurement	AP Parcel	Now or Formerly	Existing Zone Setback Lines
AG	Above Grade	LE Vol	Existing Utility Pole Location	Existing Stream Centerline (as located)
BG	Below Grade	Pg	Post 53	Existing Soils Delineation
IP	Iron Pipe	M/L		Existing Soil Type Identification
IR	Iron Rod	N/F		Existing Flood Zone Delineation
DH	Drill Hole			
W	Soil Evaluation/Ground Water Test Pipe			
WL 15A	Wetland Flag Identification			
acs.	Acres			
sf	Square Feet			
911	Emergency 911 Numbering			

COMMENTS RECEIVED DURING THE TOWN OF RICHMOND'S PRE-APPLICATION REVIEW PHASE HAVE BEEN INCORPORATED, AS APPLICABLE, IN THIS PLAN SET.

SURVEYOR'S DECLARATION

This plan, and underlying survey product, was prepared for the exclusive use of the person, persons, or entity named in this Declaration. Said Declaration does not extend to any unnamed person, persons, or entity without an express Re-Declaration by the Surveyor of Record naming said person, persons, or entity.

To William E. McIntosh, IV, it is hereby declared that this survey has been conducted and this plan has been prepared pursuant to 435-RICR-00-00-1.9 of the Rules and Regulations adopted by the Rhode Island State Board of Registration for Professional Land Surveyors on November 25, 2015, as follows:

The TYPE of survey on the following sheets is a Limited Content Boundary Survey with field observations performed in accordance with the horizontal measurement specification of CLASS I. The survey data on this overview sheet is not intended to depict an accurate boundary survey.

In addition, associated mapping elements are identified as a Data Accumulation Survey with field observations performed in accordance with the horizontal measurement specification of CLASS III.

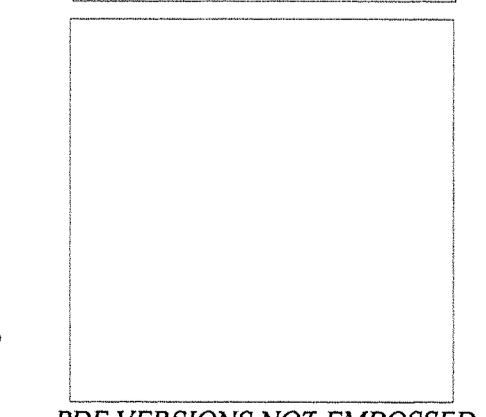
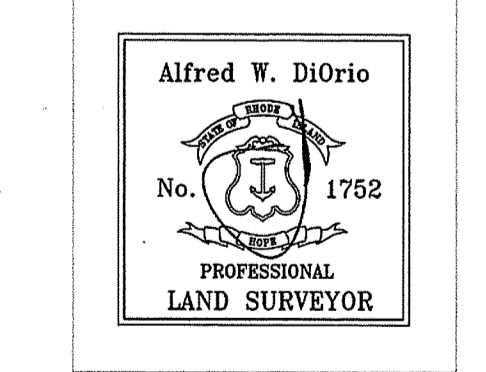
In addition, any topographic elements depicted hereon have been performed in accordance with the vertical measurement specification of T-4.

Further, the information depicted hereon was obtained (a) from field observations made on the site between July and January 2020, (b) that these field observations were subsequently reduced and computations performed that resulted in the (typically) indirect geometric information depicted hereon, (c) that the client has not requested that any additional monumentation be placed as a result of this survey; (d) that the purpose of the conduct of the survey and for the preparation of the plan was solely for the reconstruction of portions of the parcel boundaries, (e) that this information is correct to the best of my knowledge and belief and is subject to all limitation, notations, and qualification stated hereon.

Alfred W. DiOrto, PLS, CPESC, [RI PLS #1752]
Principal Surveyor and President, Alfred W. DiOrto, RLS, Inc.
RI Certificate of Authorization No. A37

If the Surveyor or Record's seal is not embossed and the Surveyor of Record's signature in blue ink, the plan shall be considered unauthorized and not properly issued by the Surveyor of Record.

A valid reproduction of this plan contains BOTH an inked stamp impression and a live embossed seal impression of RI Professional Land Surveyor #1752



PFV VERSIONS NOT EMBOSSED

Alfred W. DiOrto, RLS, Inc.
PO Box 999, Ashaway, Rhode Island 02804
401-577-8124 800/997-8124
Cellular 401-743-1850
www.awdris.com Email: al@awdris.com

PROPERTY OWNERS:
William E. McIntosh, IV
2 Morning Road
West Kingston, Rhode Island 02892

APPLICANT:
McIntosh Real Estate Development, LLC
22 Old Mountain Road
Wyoming, Rhode Island 02898

RECEIVED FOR RECORD
RICHMOND, RHODE ISLAND 20
AT O'CLOCK M. AND
RECORDED IN BOOK NO
PAGE OF THE LAND EVIDENCE RECORDS

Sarah Rapose
WITNESS TOWN CLERK

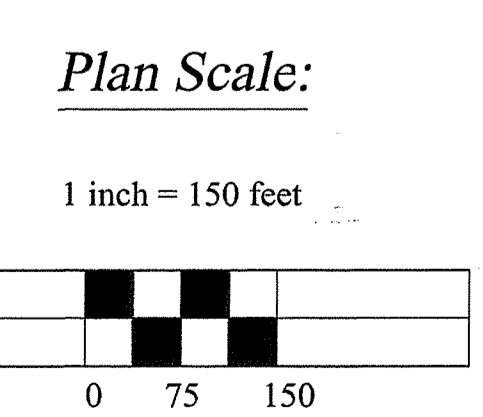
Richmond Planning Board
Approved
Planning Board Chair: _____
Date: _____

R-2 Zone Criteria - Single Family

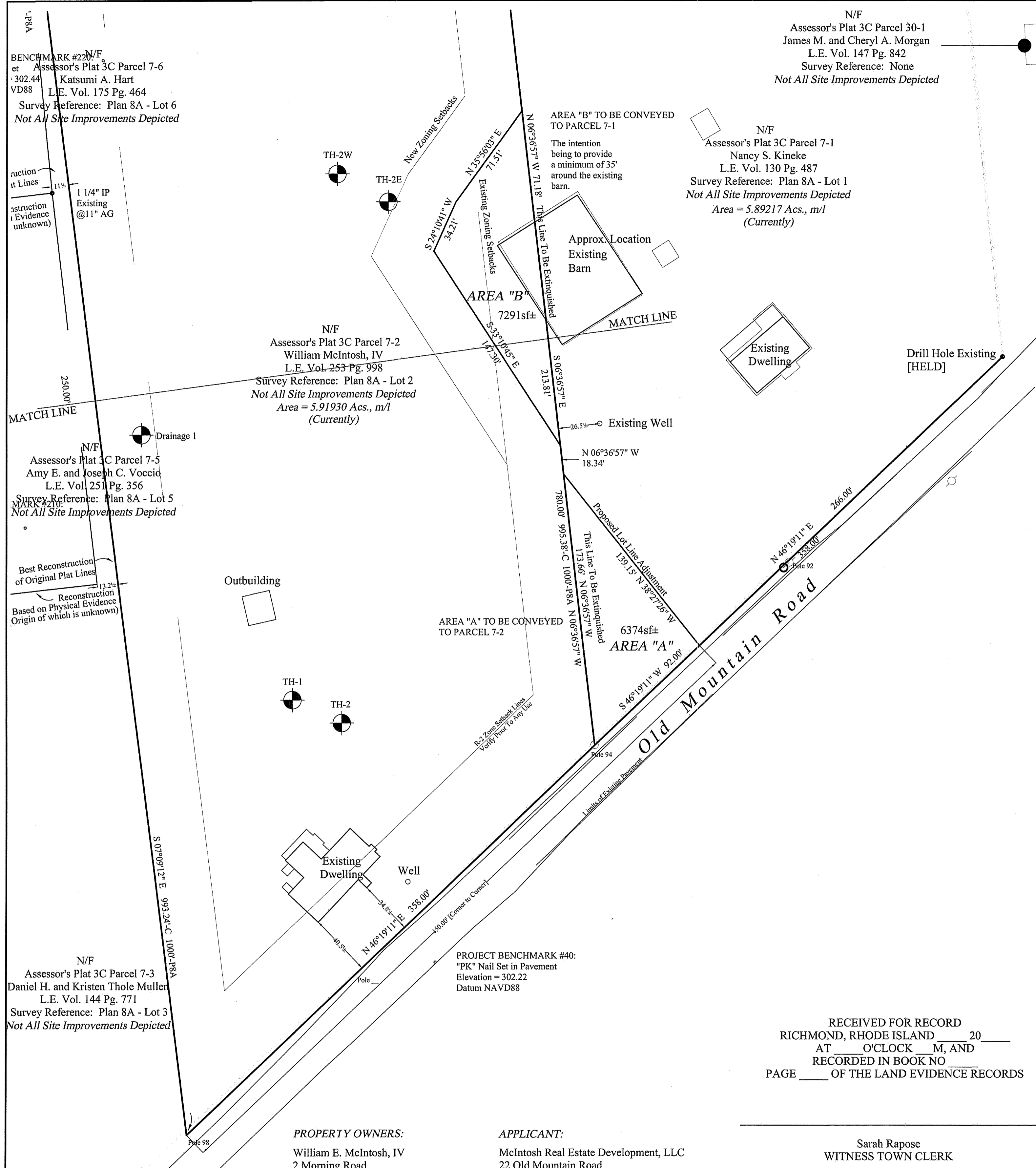
Minimum Lot Size	2 acres
Minimum Lot Frontage	200 feet
Max. Percent Imper. Surface	10%
Max. Height Princ. Bldg.	35 feet
Max Height Acc. Bldg.	25 feet
Minimum Front Yard	50 feet
Minimum Side Yard	35 feet
Minimum Rear Yard	100 feet
Minimum Side Yard (Acc.)	15 feet
Minimum Rear Yard (Acc.)	15 feet

PARCEL AREA MATRIX

Parcel ID	Current Area	Proposed Area After Adjustment
Parcel 7-2	257845sf±	256928sf±
Parcel 8	289939sf±	N/A
Kineke Parcel	256663sf±	257580sf±

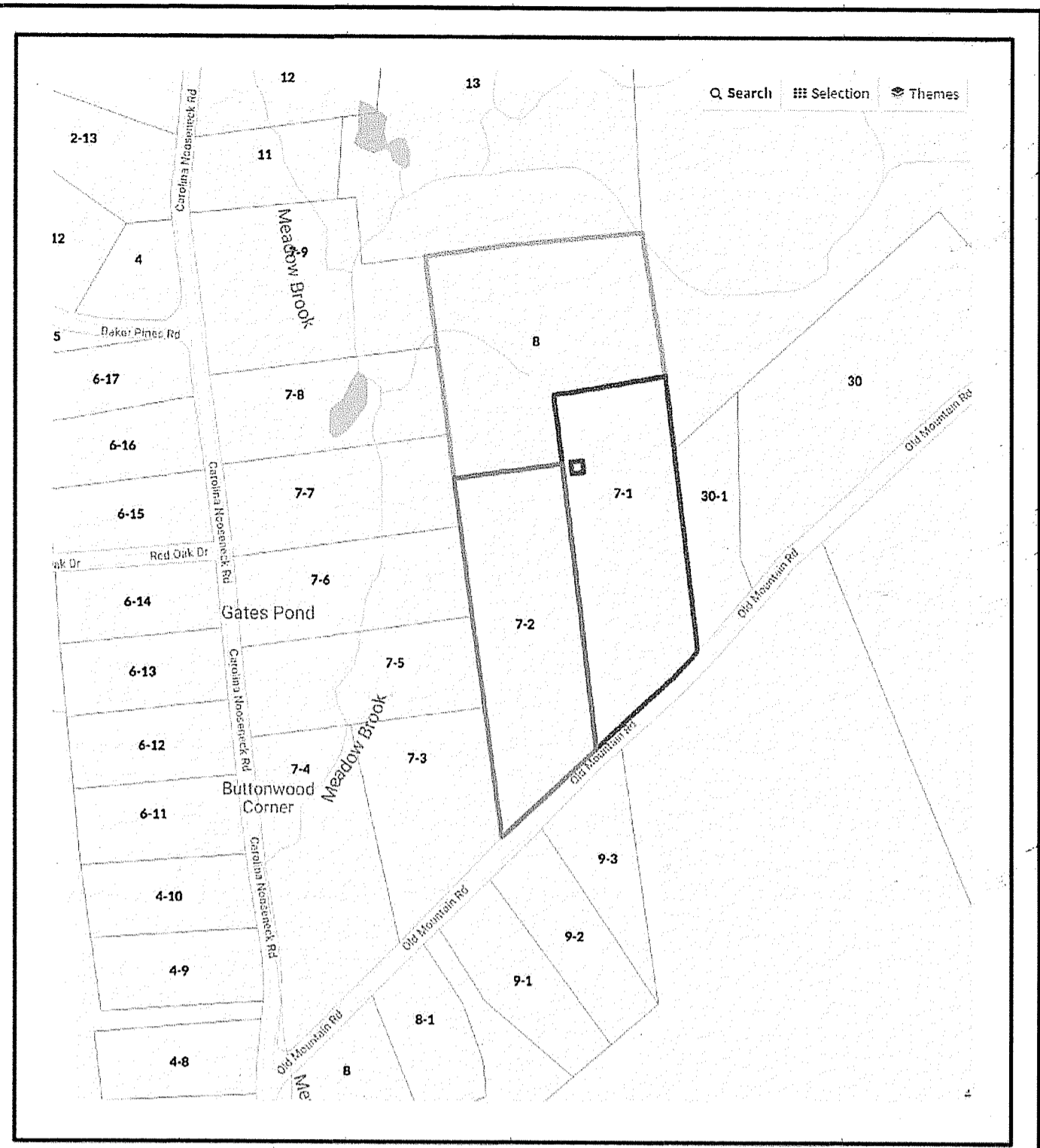
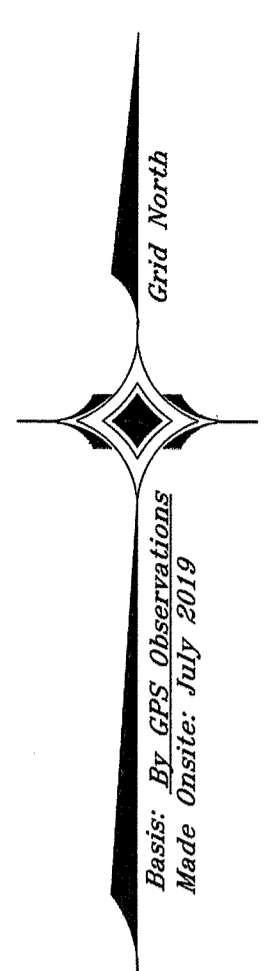


This mapping was developed and intended to be viewed at a scale of 1"=150' on a 24"X36" sheet. Reduced versions may not be legible.



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Location Map - Schematic Representation Only
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SUBDIVISION NOTES:

- Total Area of the combined parcels is approximately 12.76074 acres, more or less.
- Land Unsuitable for Development (as defined in Article 2. Definitions) is 3.61444 acres, more or less.
- Based on visual inspection, there are no unusual geologic formations, including rock outcroppings, cliffs, kettle holes, and eskers.
- Soils from SoilWeb and digitized into mapping.
- Flood zone area from ESRI mapping as published on RIGIS and digitized into mapping.
- There are no easements, including utility easements, on the subject site.
- The site vegetation is (a) portions improved in the area of the existing residence, and (b) specimen vegetation with moderate understory in the unimproved portions of the site.
- Refer to the aerial imagery for improvements on abutting properties. The location of OWTS and wells on abutting properties has not been undertaken.
- There are no noteworthy natural, cultural, historic and/or scenic features, including historical cemeteries, stone walls, and/or viewsheds, on the subject site (excluding boundary walls).

LEGEND

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S	Scaled Measurement		Above Grade	100 Foot Riverbank Wetland
D	Referenced Deed Measurement	AWD	Below Grade	Existing Zone Subline Lines
AG	Above Grade	AP Parcel	Iron Pipe	Existing Stream Centerline (as located)
BG	Below Grade	LE Vol	Iron Rod	Existing Soils Delineation
IP	Iron Pipe	Pg	Drill Hole	Existing Soil Type Identification
IR	Iron Rod	ML	Soil Evaluation/Ground Water Test Pipe	Existing Flood Zone Delineation
DH	Drill Hole	NF	Wetland Flag Identification	
●	Soil Evaluation/Ground Water Test Pipe	Now or Formerly	Emergency 911 Numbering	
WL 15A	Wetland Flag Identification	Pole 53	ac.	Acres
ac.	Acres		sf	Square Feet
sf	Square Feet			

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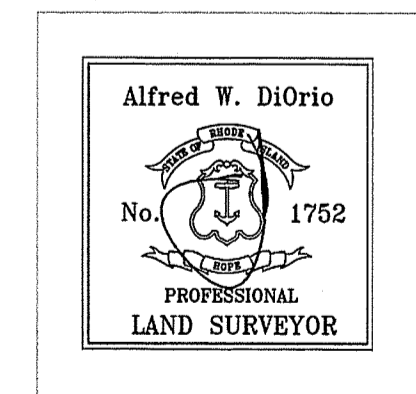
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In addition, any topographic elements depicted hereon have been performed in accordance with the vertical measurement specification of T-4. While this data has been taken from unverified sources, the Surveyor of Record has made select onsite field observations to confirm the elevations in the vicinity of the roadway centerline and the proposed building pad locations. These observations have been performed in accordance with the vertical measurement specification of T-3.

Further, the information depicted hereon was obtained (a) from field observations made on the site between July and January, 2020, (b) that these field observations were subsequently reduced and computations performed that resulted in the (typically) indirect geometric information depicted hereon, (c) that the client has not requested that any additional monumentation be placed as a result of this survey; (d) that the purpose of the conduct of the survey and for the preparation of the plan was solely for the reconstruction of portions of the parcel boundaries, (see associated notations on Areas "A" and "B"), and (e) that this information is correct to the best of my knowledge and belief and is subject to all limitation, notations, and qualification stated hereon.

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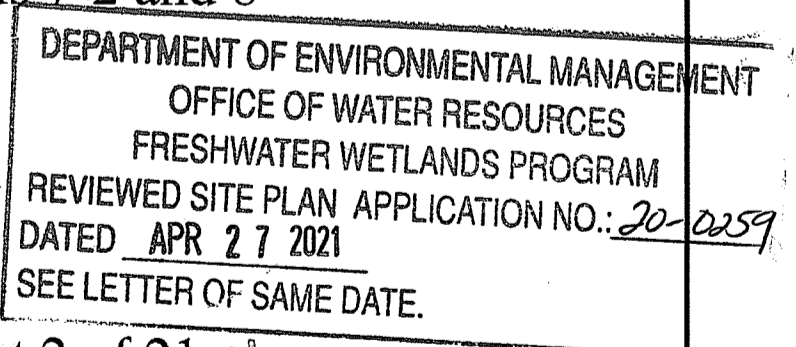
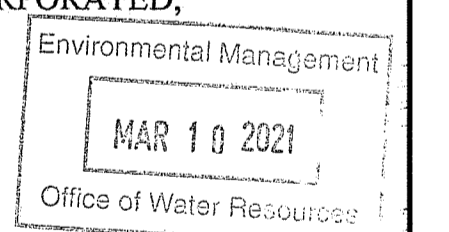
SURVEY DETAIL SHEET - 1

"McIntosh Farm"
McIntosh Real Estate Development, LLC
William E. McIntosh, IV
Assessor's Plat 3C Parcels 7-2 and 8

Old Mountain Road
Richmond, Rhode Island
Scale: 1"=40'

October 28, 2020 Sheet 2 of 21 *Alfred W. DiOrto*

Alfred W. DiOrto, RLS, Inc.
Professional Land Surveyors • Land Use Consultants
Certified Professional Erosion Control Specialists
Licensed OWTS Designers • Installers • Inspectors • Soil Evaluators
Hopkinton, Rhode Island



PROPERTY OWNERS:
William E. McIntosh, IV
2 Morning Road
West Kingston, Rhode Island 02892

APPLICANT:
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Wyoming, Rhode Island 02898

Sarah Rapose
WITNESS TOWN CLERK

Revision Schedule	
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02-12-2021	Minor Boundary Revisions

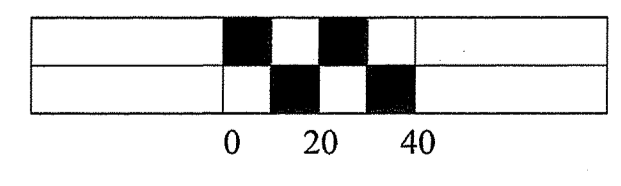
Richmond Planning Board Approved
Planning Board Chair: _____
Date: _____

RIGL 34-13-1 INDEX	
ABUTTING STREETS	
	Carolina Nooseneck Road
	Old Mountain Road

R-2 Zone Criteria - Single Family	
Minimum Lot Size	2 acres
Minimum Lot Frontage	200 feet
Max. Percent Imper. Surface	10%
Max. Height Princ. Bldg.	35 feet
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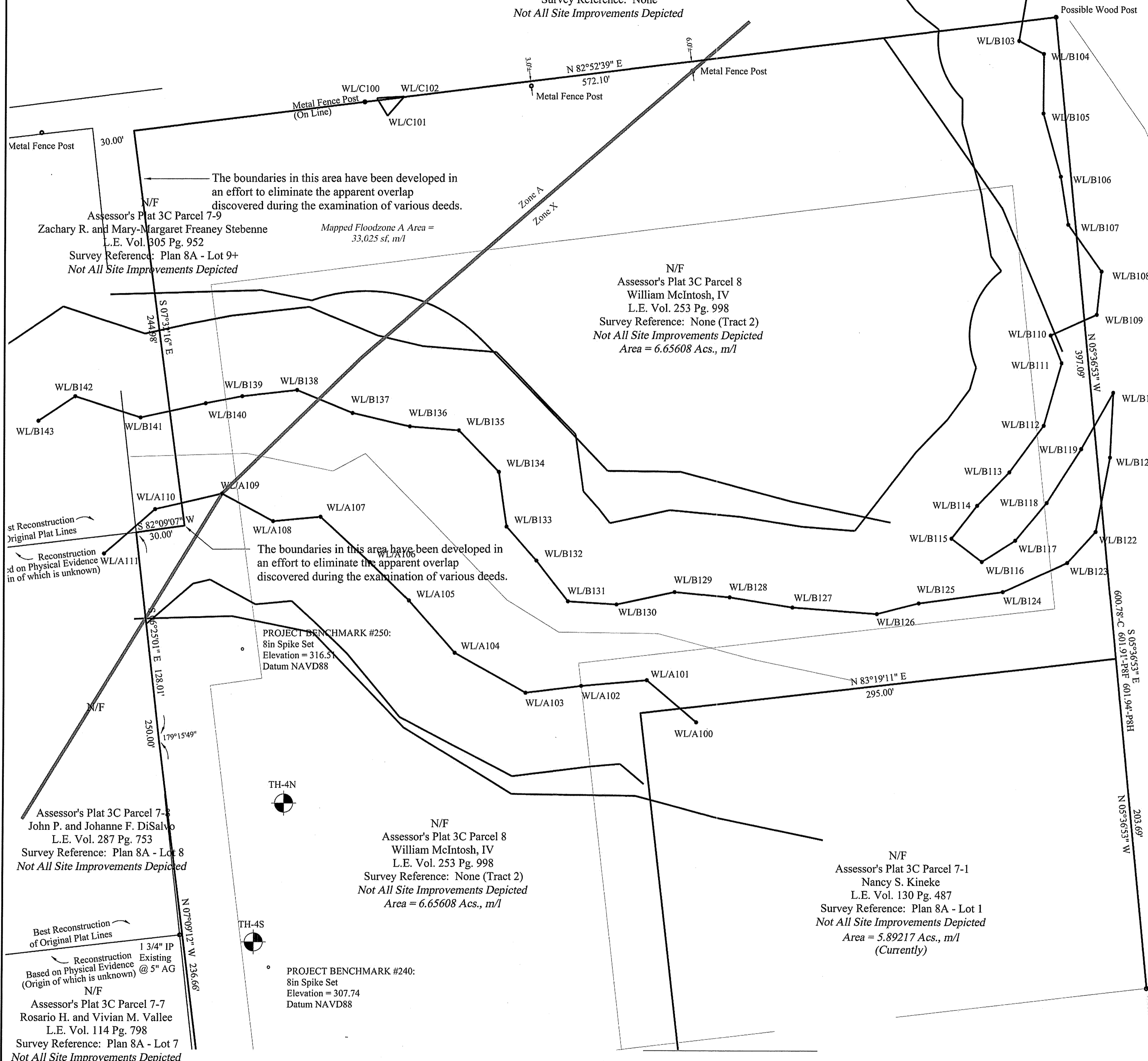
Plan Scale:

1 inch = 40 feet



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 - Flood Zone Data. Based solely upon graphic analysis, the subject site's structures appear to fall in a ZONE X per FEMA Flood Insurance Rate Map (FIRM), Map Number 44009C068H, Map Effective: 10-19-2010, as obtained from online sources as of 08-21-2019.

LEGEND

P	Referenced Plan Measurement	Set	Survey Monumentation Placed by Alfred W. DiOrto, RLS, Inc.	Existing Overhead Utility Lines
C	Calculated Measurement	Set	Survey Monumentation Recovered and Utilized by Alfred W. DiOrto, RLS, Inc.	Delineated Wetland Edge (By Others)
M	Measured Direct	Exist.	Survey Monumentation Recovered and Utilized by Alfred W. DiOrto, RLS, Inc.	Perimeter Wetland Edge
S	Scaled Measurement	Exist.	Survey Monumentation Recovered and Utilized by Alfred W. DiOrto, RLS, Inc.	100 Foot Riverbank Wetland
D	Referenced Dered Measurement	AWD	Alfred W. DiOrto, RLS, Inc.	Existing Zone Setback Lines
AG	Above Grade	AP Parcel	Assessor's Plat & Parcel Reference	Existing Stream Centerline (as located)
BG	Below Grade	LE Vol	Land Evidence Volume	Existing Soils Delineation
IP	Iron Pipe	Pg	Page	Existing Soil Type Identification
IR	Iron Rod	M/L	More or Less	Existing Flood Zone Delineation
DH	Drill Hole	M/L	More or Less	
SW	Soil Evaluation/Ground Water Test Pipe	N/F	Now or Formerly	
WL 15A	Wetland Flag Identification	Pole 53	Existing Utility Pole Location	
ac.	Acres	911	Emergency 911 Numbering	
sf	Square Feet	35	Emergency 911 Numbering	

SURVEYOR'S DECLARATION

This plan, and underlying survey product, was prepared for the exclusive use of the person, persons, or entity named in this Declaration. Said Declaration does not extend to any unnamed person, persons, or entity without an express Re-Declaration by the Surveyor of Record naming said person, persons, or entity.

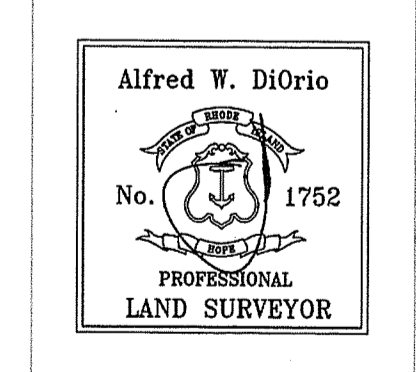
To William E. McIntosh, IV, it is hereby declared that this survey has been conducted and this plan has been prepared pursuant to 435-RICR-00-00-1.9 of the Rules and Regulations adopted by the Rhode Island State Board of Registration for Professional Land Surveyors on November 25, 2015, as follows:

The TYPE of survey is a Limited Content Boundary Survey with field observations performed in accordance with the horizontal measurement specification of CLASS I.

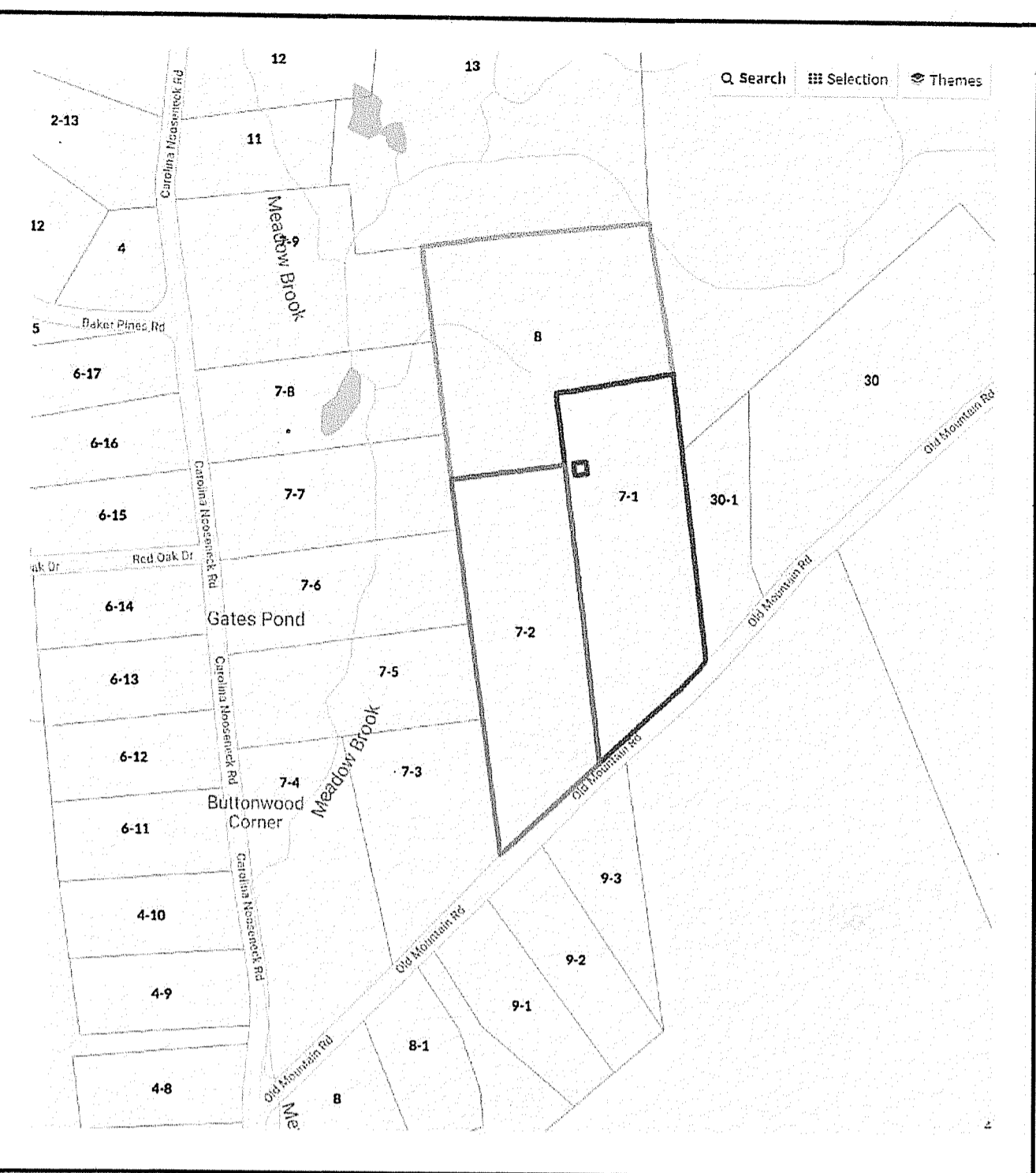
In addition, associated mapping elements are identified as a Data Accumulation Survey with field observations performed in accordance with the horizontal measurement specification of CLASS III.

In addition, any topographic elements depicted hereon have been performed in accordance with the vertical measurement specification of T-4. While this data has been taken from unverified sources, the Surveyor of Record has made select onsite field observations to confirm the elevations in the vicinity of the roadway centerline and the proposed building pad locations. These observations have been performed in accordance with the vertical measurement specification of T-3.

Further, the information depicted hereon was obtained (a) from field observations made on the site between July and January, 2020, (b) that these field observations were subsequently reduced and computations performed that resulted in the (typically) indirect geometric information depicted hereon, (c) that the client has not requested that any additional monumentation be placed as a result of this survey; (d) that the purpose of the conduct of the survey and for the preparation of the plan was solely for the reconstruction of portions of the parcel boundaries, (see associated notations on Areas "A" and "B"), and (e) that this information is correct to the best of my knowledge and belief and is subject to all limitation, notations, and qualification stated hereon.



Alfred W. DiOrto, RLS, Inc.
PO Box 999, Ashaway, Rhode Island 02804
401/377-8124
Cellular 401/742-1850
www.awdrls.com Email: al@awdrls.com



Location Map - Schematic Representation Only
May Not Be To Scale



PROPERTY OWNERS:
William E. McIntosh, IV
2 Morning Road
West Kingston, Rhode Island 02892

APPLICANT:
McIntosh Real Estate Development, LLC
22 Old Mountain Road
Wyoming, Rhode Island 02898

SURVEY DETAIL SHEET - 3

"McIntosh Farm"

McIntosh Real Estate Development, LLC
William E. McIntosh, IV
Assessor's Plat 3C Parcels 7-2 and 8
Old Mountain Road
Richmond, Rhode Island

Scale: 1"=40'
October 28, 2020 Sheet 4 of 21

Environmental Management
MAR 10 2021
Office of Water Resources

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
REVIEWED SITE PLAN APPLICATION NO.: 20-0257
DATED APR 27 2021
SEE LETTER OF SAME DATE.

Alfred W. DiOrto, RLS, Inc.
Professional Land Surveyors • Land Use Consultants
Certified Professional Erosion Control Specialists
Licensed OWTS Designers • Installers • Inspectors • Soil Evaluators
Hopkinton, Rhode Island



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Plan No.
File: OMR_071119.dwg

RECEIVED FOR RECORD
RICHMOND, RHODE ISLAND 20
AT O'CLOCK M, AND
RECORDED IN BOOK NO
PAGE OF THE LAND EVIDENCE RECORDS

Richmond Planning Board
Approved
Planning Board Chair: _____
Date: _____

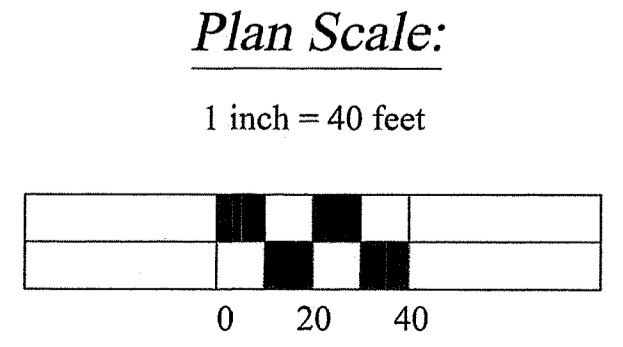
Sarah Rapose
WITNESS TOWN CLERK

RIGL 34-13-1 INDEX

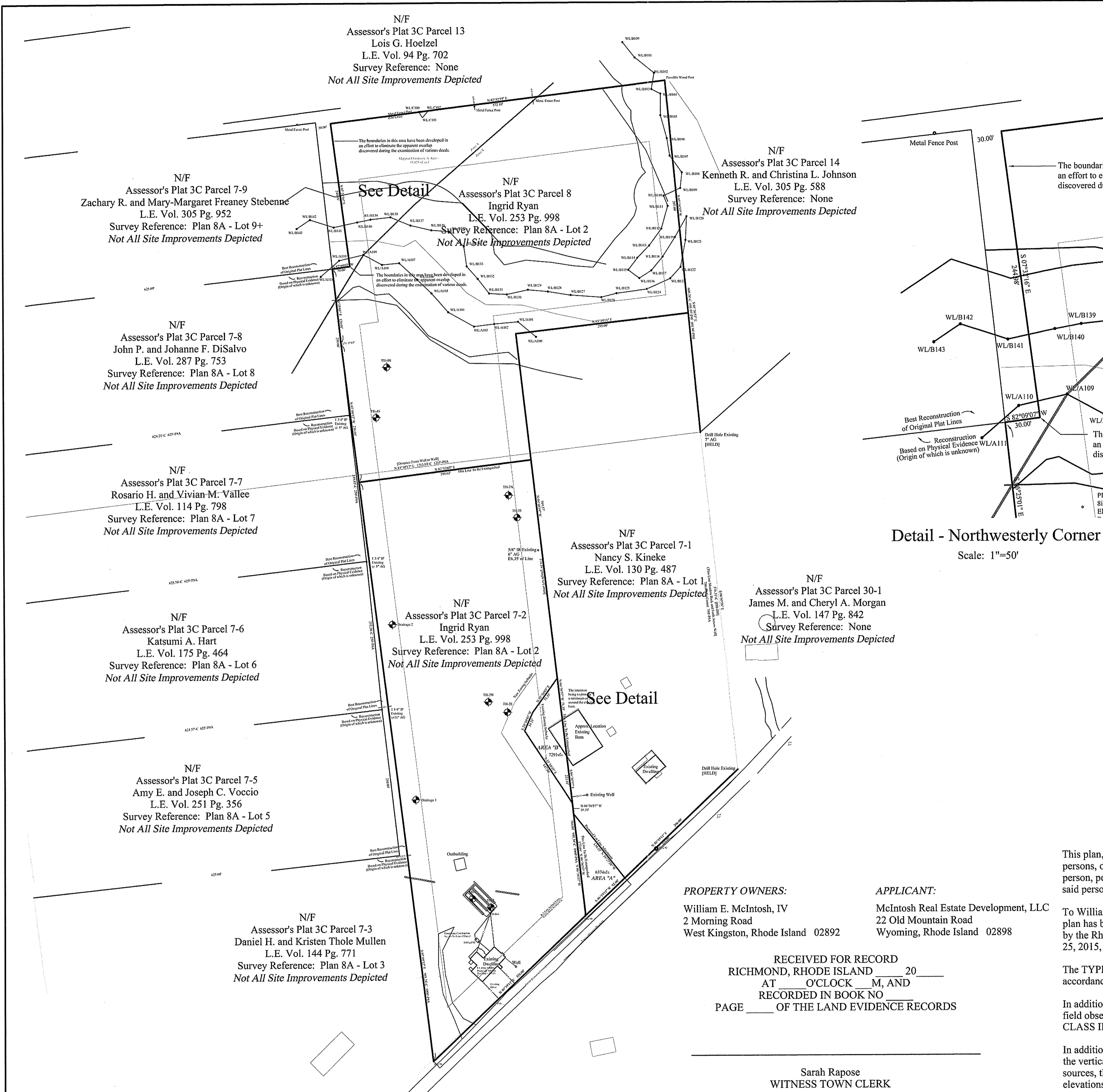
ABUTTING STREETS
Carolina Nooseneck Road
Old Mountain Road

Revision Schedule

Revision Date	Revision Description
02-12-2021	RIDEM Wetland Comments
02-12-2021	Minor Boundary Revisions

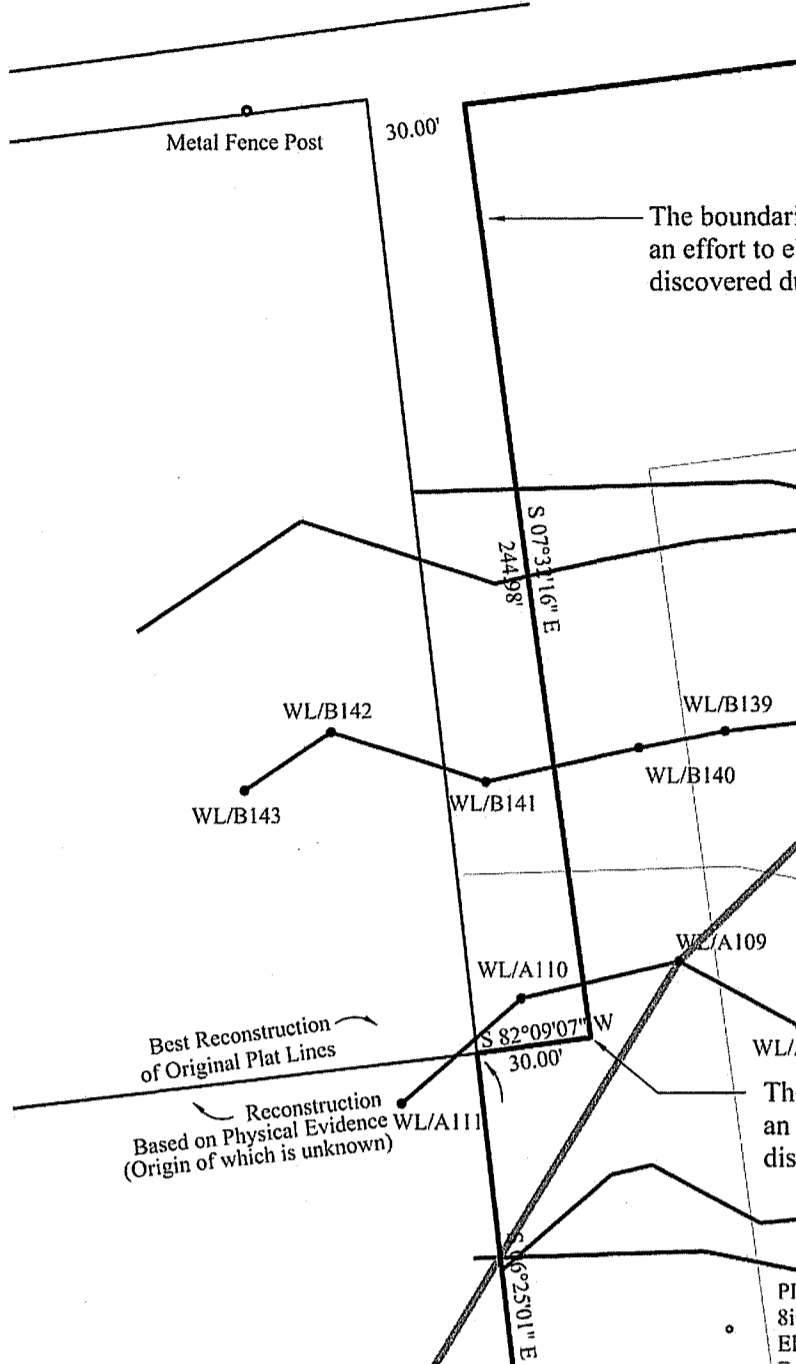


This mapping was developed and intended to be viewed at a scale of 1"=40' on a 24"X36" sheet. Reduced versions may not be legible.

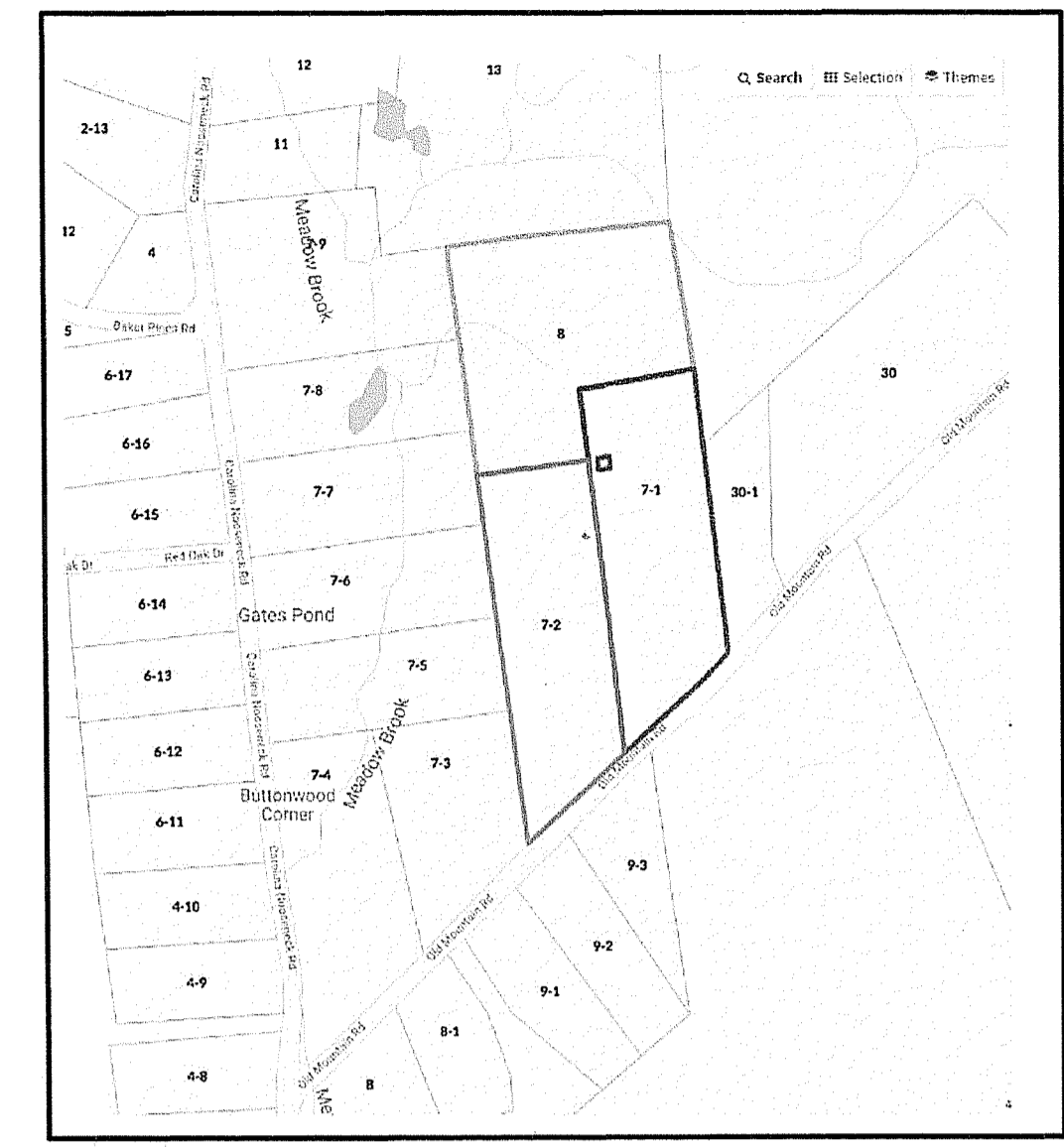


PLAN NOTES:

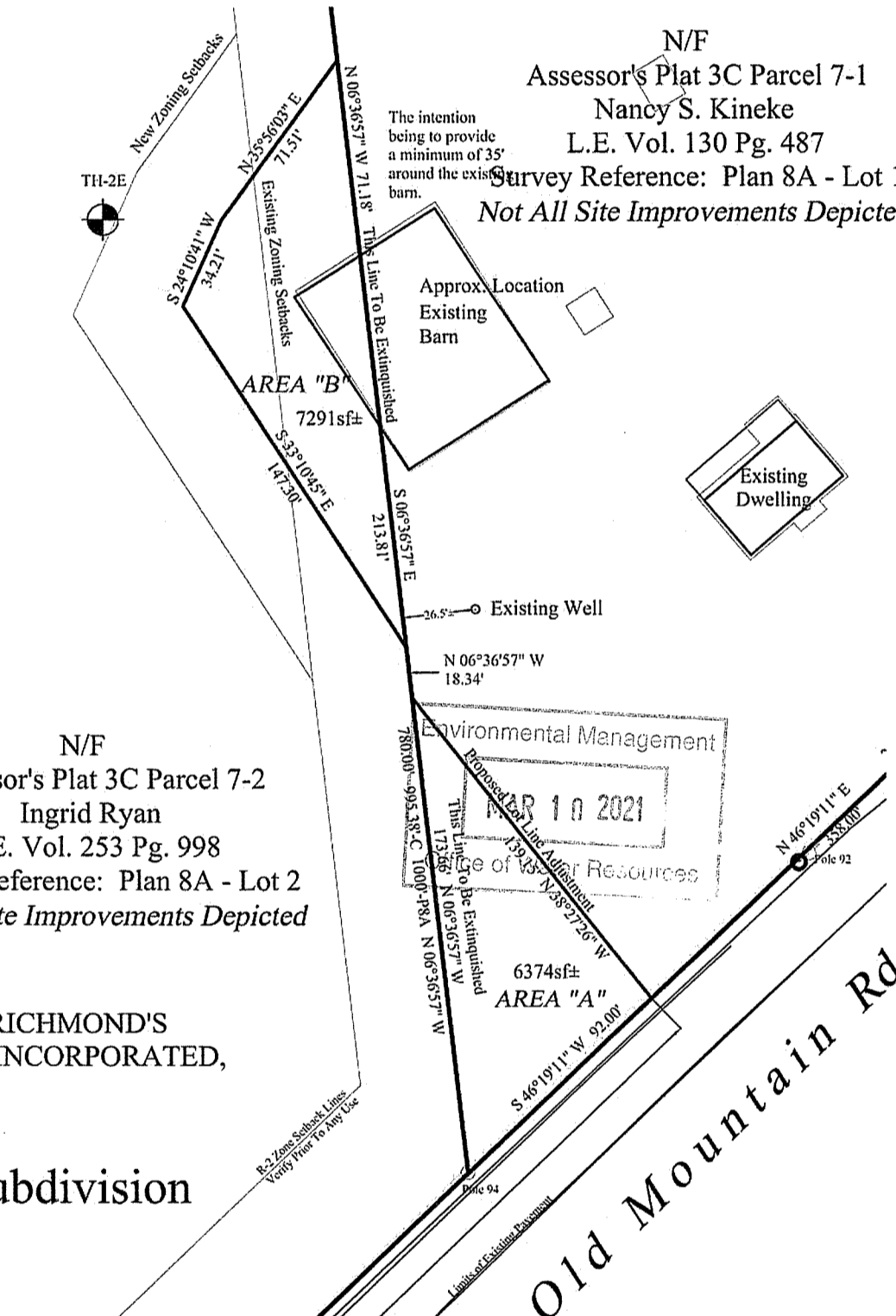
- The subject site is substantially depicted on Town of Richmond, Rhode Island Tax Assessor's Map 3C as Parcels 7-1, 7-2, and 8.
- The subject site is zoned "R-2" per Town of Richmond, Rhode Island Geographic Information System (GIS), dated 08-21-2019. Use of and/or reliance upon this zoning designation shall be at the user's sole risk and is subject to verification of current zoning status by the Town of Richmond, Rhode Island.
- Stone Walls. The line of any stone wall(s) depicted hereon may vary slightly from the geometric centerline represented hereon. While reasonable efforts have been made to monument and/or delineate the centerline of said wall(s), these minor variations are typical of wall construction in the locale.
- Associated Locations. The geometric points and/or monumentation associated with the boundary(s) of the subject site represented hereon are consistent with the CLASS of Survey specified in the surveyor's statement. The location of all other associated site features as may be depicted hereon, are consistent with either a CLASS III or CLASS IV Standard of Survey, unless expressly stated to the contrary.
- Water Boundaries. As may be applicable, the subject site may contain natural or man-made water boundaries which are subject to change due to natural or artificial causes and may or may not represent the actual location of the limits of title.
- Building Locations. As may be applicable, building depicted hereon have been located at the foundation corners or structure face, unless expressly stated to the contrary. Building overhangs and/or protrusions at elevation above the foundation are NOT necessarily depicted.
- Utility Locations. Utility lines and locations that are visible and apparent have been depicted hereon. The existence of any underground utilities, and the location of those utilities, have been estimated from associated surface features and/or recollections of knowledgeable parties, unless expressly stated hereon. The use of and reliance upon these utility locations shall be at the user's sole risk and shall be subject to verification of the actual location by the appropriate regulatory agency. Said verification to be at the direction and expense of the end user of this data.
- Reference Documentation:
 - "Plan of Brook-Wood Sites, Section A, Richmond, R.I., Owner Rice Associates, Inc., Alphonse R. Cardi, Treasurer, April 1965, Scale: 1-in=100', Stanley H. Mowry, Surveyor" as is recorded in the Land Evidence records of the Town of Richmond, Rhode Island.
- Regulated Freshwater Wetland Features. There are regulated freshwater wetland features on, and in proximity to, the subject site. Wetland delineation by Ecotones, Inc. Location of those features by Alfred W. DiOrio, RLS, Inc. The end user of this mapping product shall be responsible for the identification, location, and protection of these features, together with procuring any and all necessary permits and approvals that may be required.
- Professional Services Agreement. Reference is hereby made to the Professional Service Agreement for the services identified hereon, together with all specifications, limitations, and conditions contained therein, and dated 06-25-2019.
- Basis for Bearings and Elevations. Where depicted, these values are based upon the Rhode Island State Plane Coordinate System (currently NAD 83 and NAVD88 respectively) as determined by data transmitted from SmartNet reference stations using the SmartNet RTK Reference Network via Leica GS14 GPS receiver, together with site observations made on the date(s) cited hereon.
- Flood Zone Data. Based solely upon graphic analysis, the subject site's structures appear to fall in a ZONE X per FEMA Flood Insurance Rate Map (FIRM), Map Number 44009C0068H, Map Effective: 10-19-2010, as obtained from online sources as of 08-21-2019.



Detail - Northwesterly Corner
Scale: 1"=50'



Location Map - Schematic Representation Only
May Not Be To Scale



Detail - Administrative Subdivision
Scale: 1"=60'

LEGEND

P	Referenced Plan Measurement	Set	Survey Monumentation Placed by Alfred W. DiOrio, RLS, Inc.
C	Calculated Measurement		Survey Monumentation Recovered and Utilized by Alfred W. DiOrio, RLS, Inc.
M	Measured Direct	Exist.	Survey Monumentation Recovered and Utilized by Alfred W. DiOrio, RLS, Inc.
S	Sealed Measurement		
D	Referenced Deed Measurement	AWD	Alfred W. DiOrio, RLS, Inc.
AG	Above Grade	AP Parcel	Assessor's Plat & Parcel Reference
BG	Below Grade	LE Vol	Land Evidence Volume
IP	Iron Pipe	Pg	Page
IR	Iron Rod	MIL	More or Less
DH	Drill Hole	MIL	More or Less
●	Soil Evaluation/Ground Water Test Pipe	N/F	Now or Formerly
WL 15A	Wetland Flag Identification	Pole 53	Existing Utility Pole Location
ac.	Acre	911	Emergency 911 Numbering
sf	Square Feet	35	

—	Existing Overhead Utility Lines
—	Delineated Wetland Edge (By Others)
—	Perimeter Wetland Edge
—	100 Foot Riverbank Wetland
—	Existing Zone Setback Lines
—	Existing Stream Centerline (as located)
—	Existing Soils Delineation
—	Existing Soil Type Identification
—	Existing Flood Zone Delineation

COMMENTS RECEIVED DURING THE TOWN OF RICHMOND'S PRE-APPLICATION REVIEW PHASE HAVE BEEN INCORPORATED, AS APPLICABLE, IN THIS PLAN SET.

SURVEYOR'S DECLARATION

This plan, and underlying survey product, was prepared for the exclusive use of the person, persons, or entity named in this Declaration. Said Declaration does not extend to any unnamed person, persons, or entity without an express Re-Declaration by the Surveyor of Record naming said person, persons, or entity.

To William E. McIntosh, IV, it is hereby declared that this survey has been conducted and this plan has been prepared pursuant to 435-RICR-00-00-1.9 of the Rules and Regulations adopted by the Rhode Island State Board of Registration for Professional Land Surveyors on November 25, 2015, as follows:

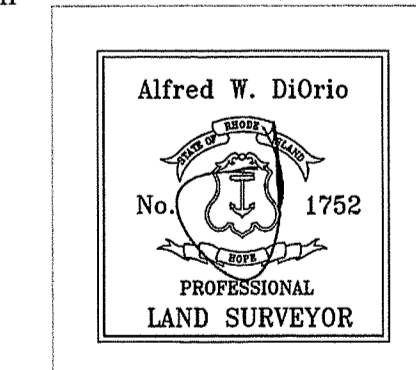
The TYPE of survey is a Limited Content Boundary Survey with field observations performed in accordance with the horizontal measurement specification of CLASS I.

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Alfred W. DiOrio, PLS, CPESC, [RI PLS #1752]
Principal Surveyor and President, Alfred W. DiOrio, RLS, Inc.
RI Certificate of Authorization No. A37



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Alfred W. DiOrio, RLS, Inc.
PO Box 999, Ashaway, Rhode Island 02804
401/377-8124
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www.awdris.com Email: al@awdris.com

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1980-2020



Plan No.
File: OMR_071119.dwg

R-2 Zone Criteria - Single Family	
Minimum Lot Size	2 acres
Minimum Lot Frontage	200 feet
Max. Percent Imper. Surface	10%
Max. Height Princ. Bldg.	35 feet
Max Height Acc. Bldg.	25 feet
Minimum Front Yard	50 feet
Minimum Side Yard	35 feet
Minimum Rear Yard	100 feet
Minimum Side Yard (Acc.)	15 feet
Minimum Rear Yard (Acc.)	15 feet

Revision Schedule	
Revision Date	Revision Description
02-12-2021	RIDEM Wetland Comments
02-12-2021	Minor Boundary Revisions

Richmond Administrative Officer Approved
Administrative Officer: _____
Date: _____

RIGL 34-13-1 INDEX	
ABUTTING STREETS	
Carolina Noosneck Road	
Old Mountain Road	

PROPERTY OWNERS:
William E. McIntosh, IV
22 Morning Road
West Kingston, Rhode Island 02892

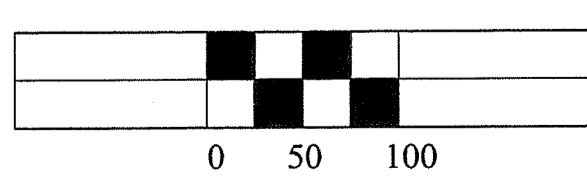
APPLICANT:
McIntosh Real Estate Development, LLC
22 Old Mountain Road
Wyoming, Rhode Island 02898

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RECORDED IN BOOK NO
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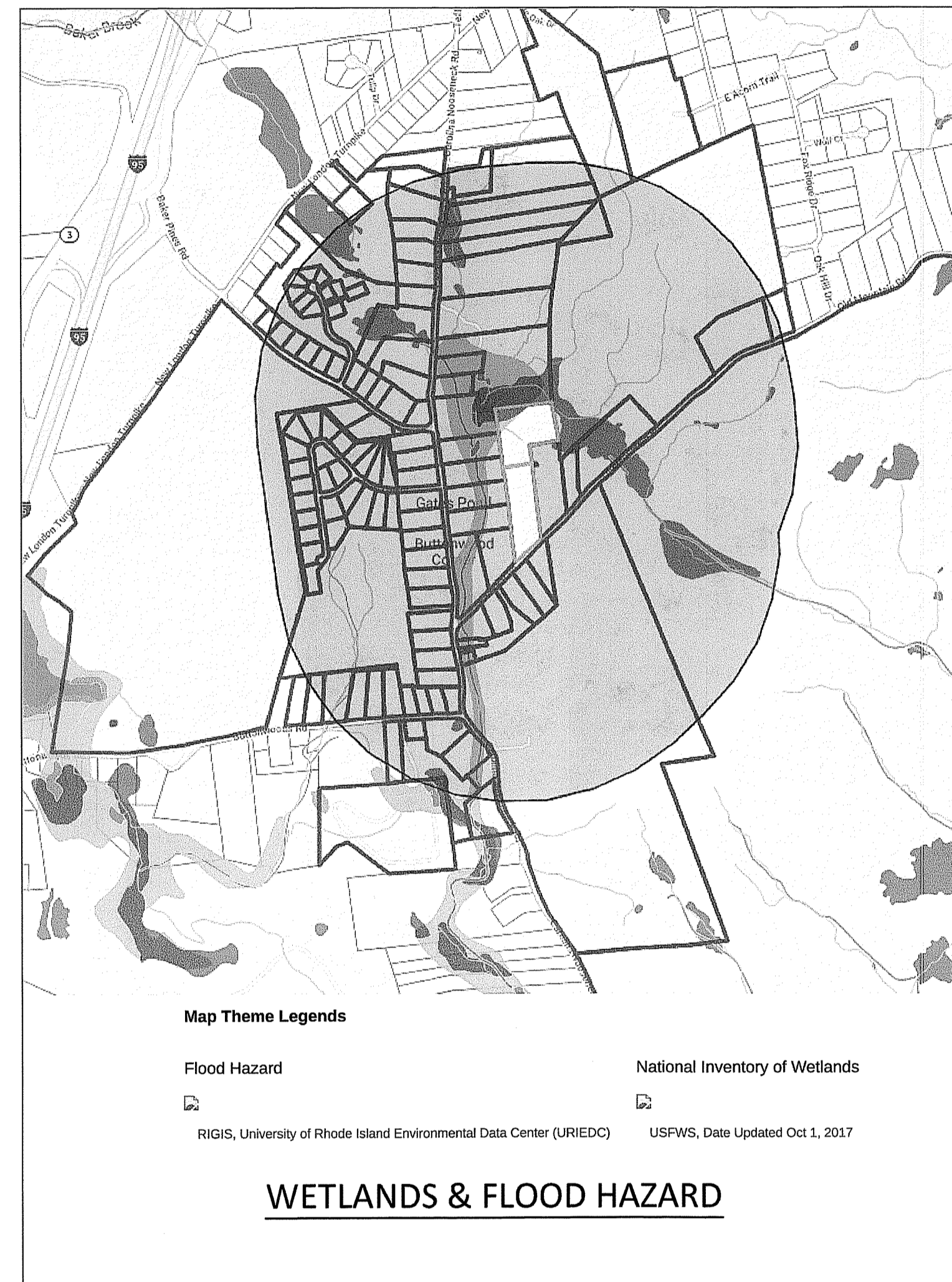
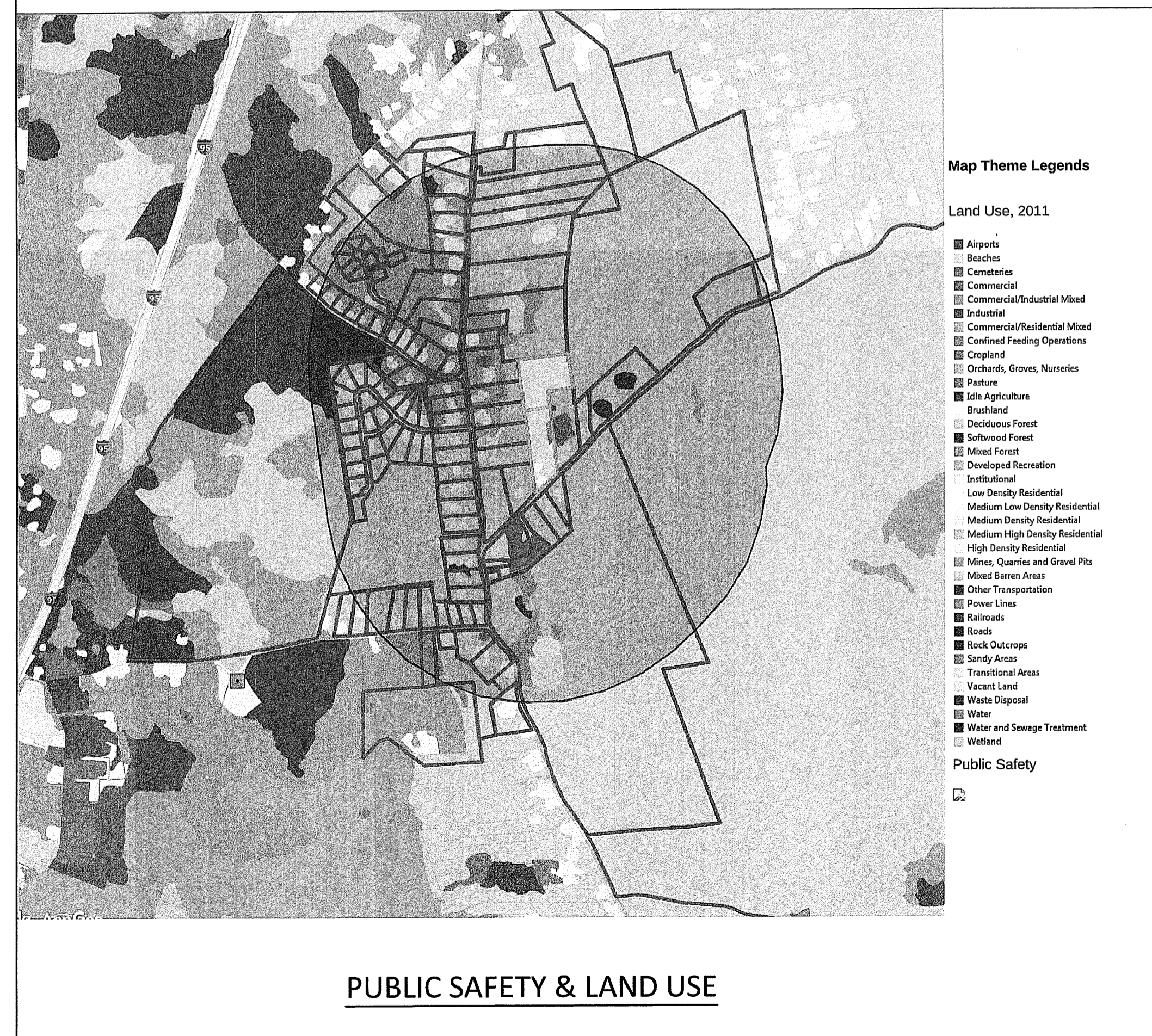
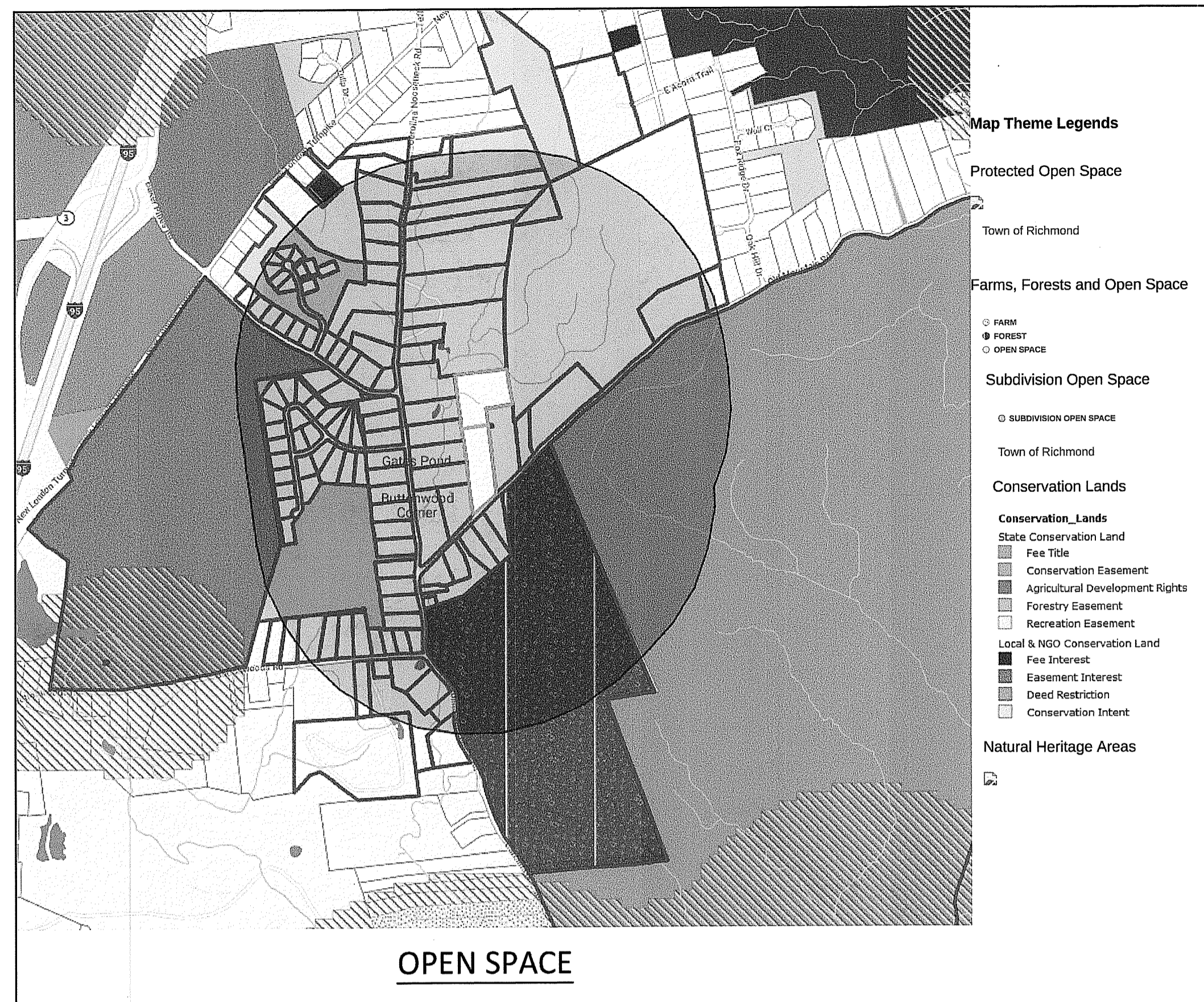
Sarah Rapose
WITNESS TOWN CLERK

Plan Scale:

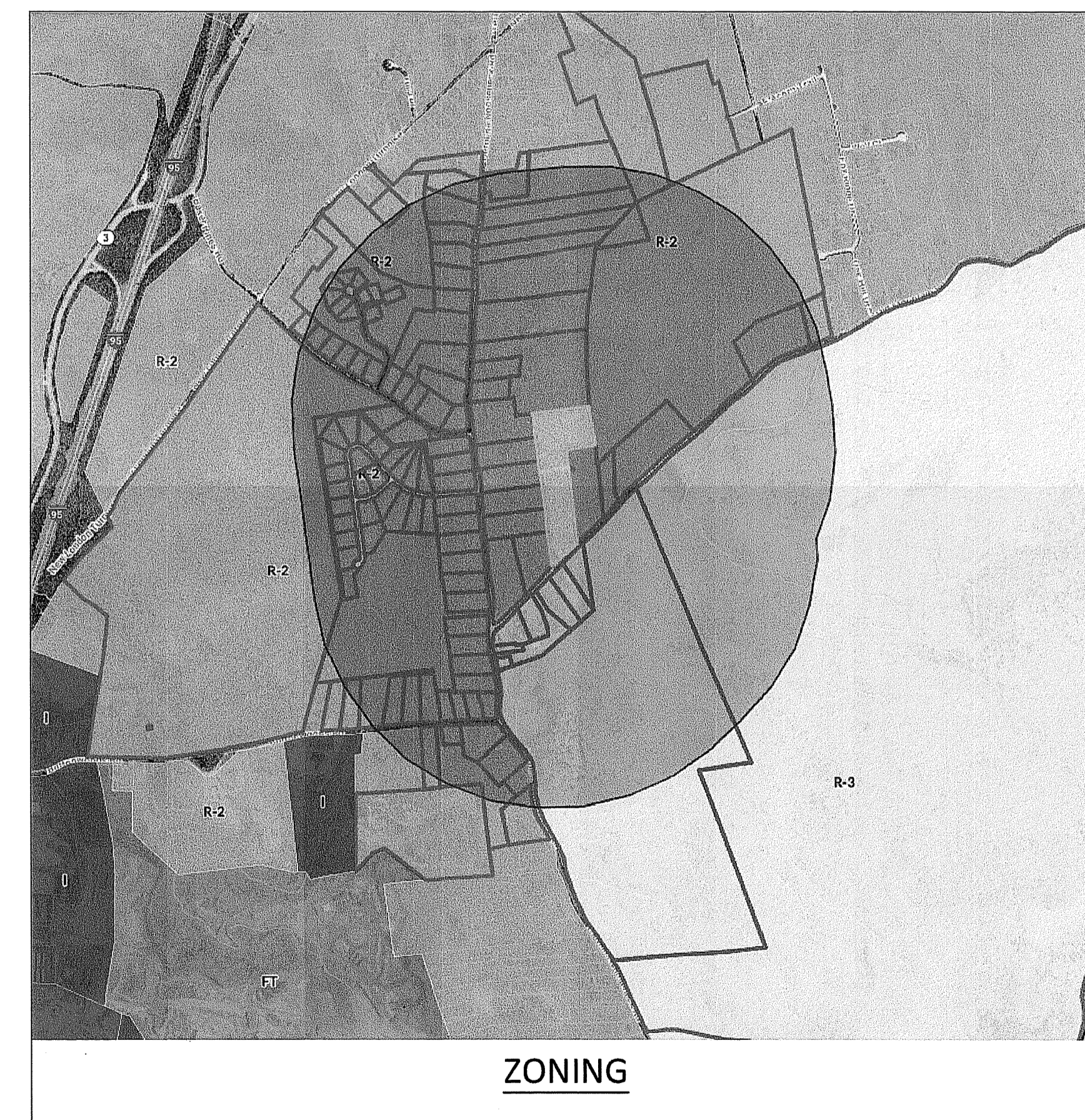
1 inch = 100 feet



This mapping was developed and intended to be viewed at a scale of 1"=100' on a 24"x36" sheet. Reduced versions may not be legible.



AERIAL PHOTOGRAPH & WATER BODIES



DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
REVIEWED SITE PLAN APPLICATION NO.: 20-0259
DATED APR 27 2021
SEE LETTER OF SAME DATE
Walter J. Freeman

Environmental Management
MAR 10 2021
Office of Water Resources

PROJECT APPLICANT
MCINTOSH REAL ESTATE LLC
22 OLD MOUNTAIN ROAD
WYOMING, RI 02898

PROPERTY OWNER
WILLIAM E. MCINTOSH, IV
TWO MORNING ROAD
WEST KINGSTON, RI 02892

CONTACT PERSON:
WILLIAM E. MCINTOSH, IV
WILLIAMEMCINTOSH@GMAIL.COM
617-513-0278

PROJECT ATTORNEY
JOHN F. KENYON, ESQ.
KENYON LAW ASSOCIATES, LLP
133 OLD TOWER HILL ROAD, SUITE 1
WAKEFIELD, RI 02879
401-789-0217
JFK@KENYONLAWYERS.COM

REVISIONS	DESCRIPTION	DATE

REFERENCE INFORMATION PROVIDED AS REQUIRED BY TOWN OF RICHMOND

W^EL Walker Engineering, Ltd.

31 Vale Court
West Greenwich, RI 02817
Phone / Fax (401) 397-8745
Email: wel31.pw@gmail.com

SITE CONTEXT PLAN

McIntosh Farm

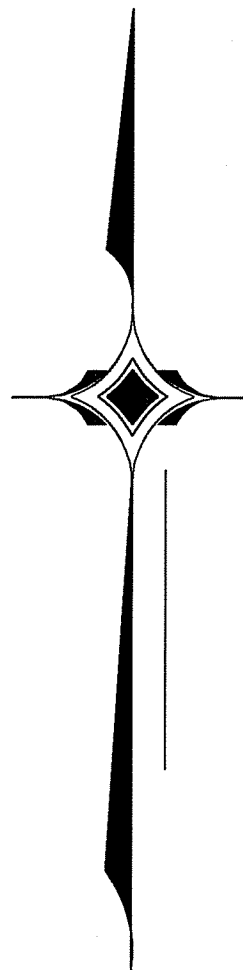
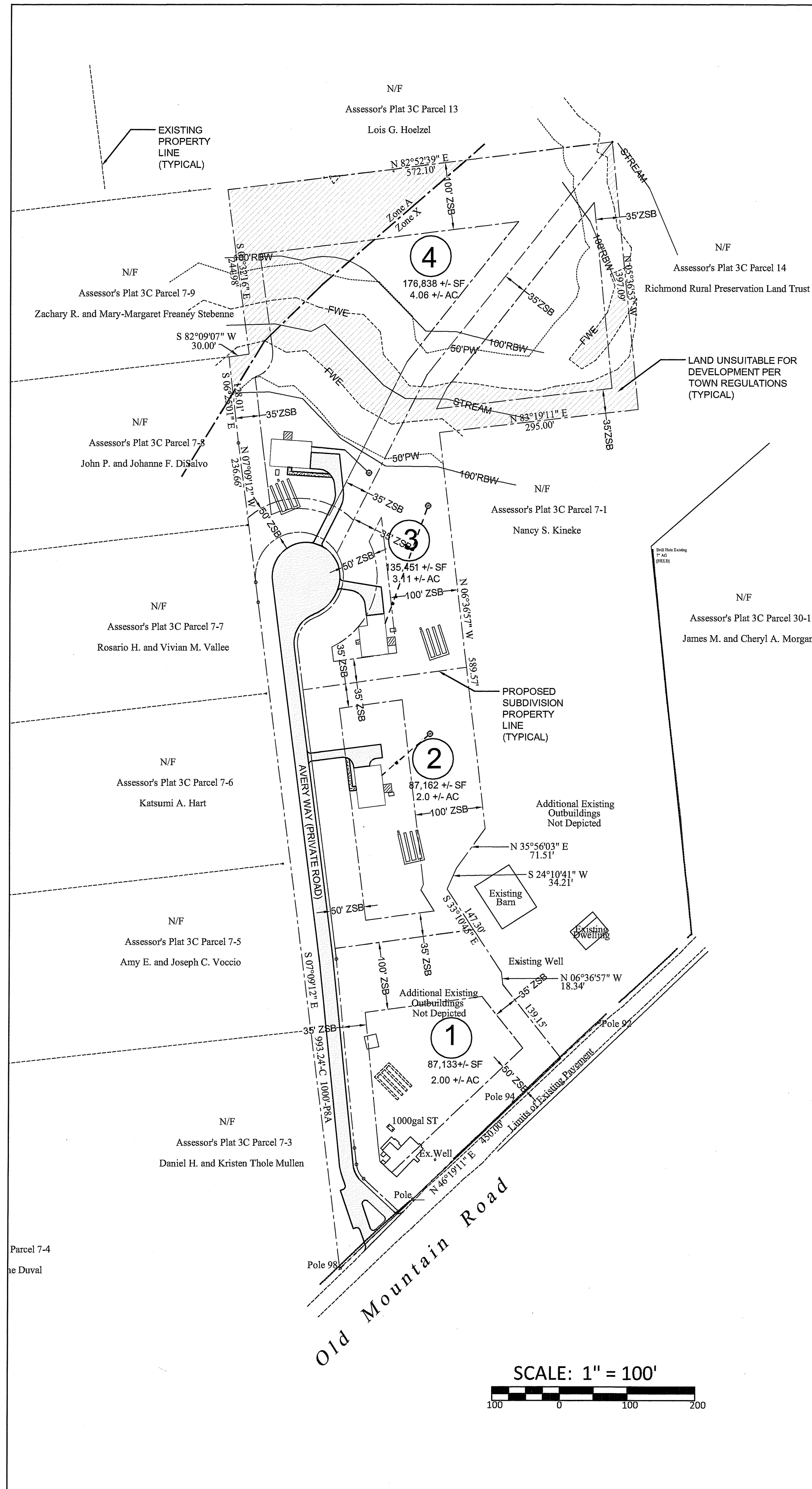
ASSESSOR'S PLAT 3C / PARCELS 7-2 & 8
22 OLD MOUNTAIN ROAD
RICHMOND, RHODE ISLAND

DATE: OCTOBER 2020
SHEET: SCP - 1
SHEET 6 OF 21

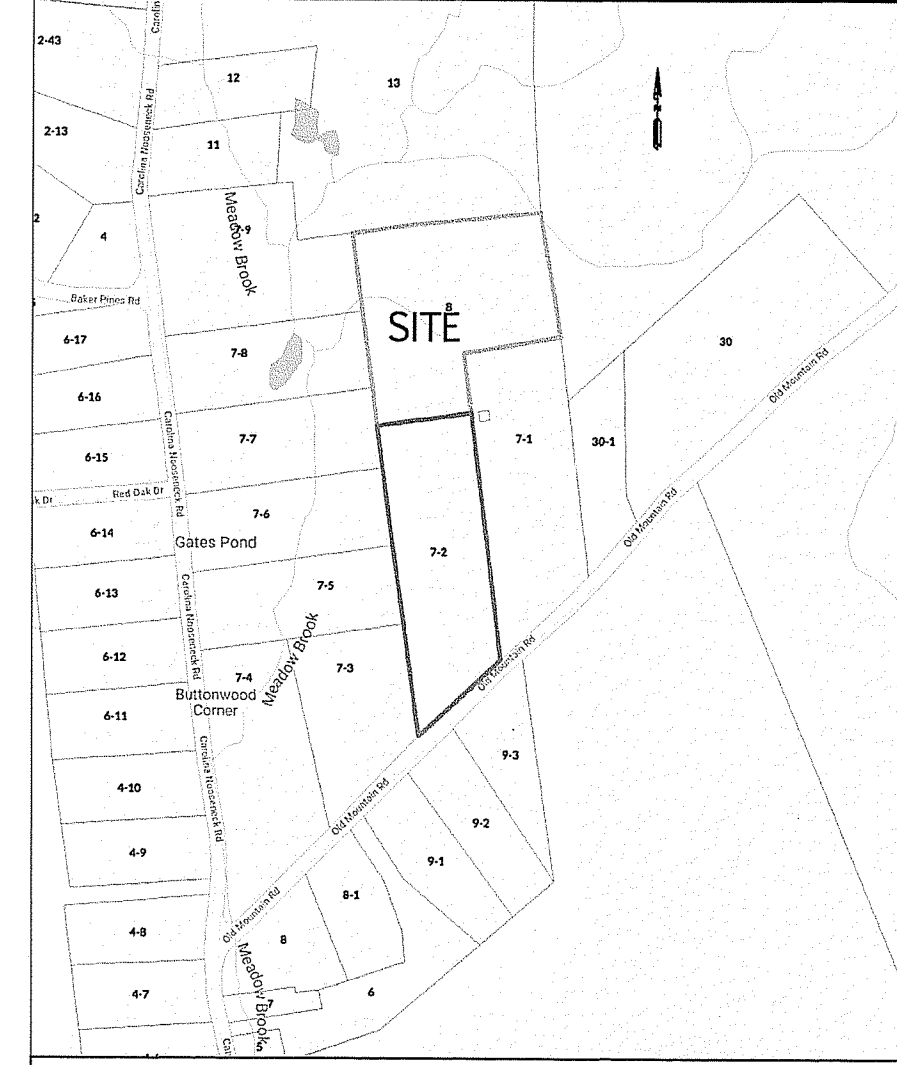
PLAN NOTES:

- INFORMATION CONTAINED ON THIS PLAN IS FROM TOWN OF RICHMOND GIS AS OF FEBRUARY 2020
- AREA SHOWN DEPICTS VICINITY OF PROJECT WITHIN 1/2 MILE RADIUS

NOT TO SCALE

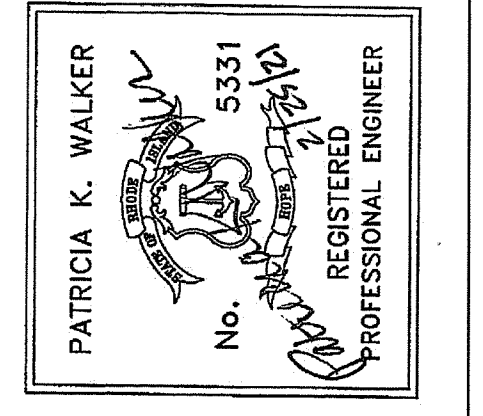


LEGEND		
EXISTING	DESCRIPTION	PROPOSED
[Symbol]	SINGLE FAMILY HOUSE	[Symbol]
[Symbol]	DRIVING SURFACE	[Symbol]
[Symbol]	WALK	[Symbol]
[Symbol]	DECK	[Symbol]
[Symbol]	DRY WELL FOR ROOF RUNOFF	DW [Symbol]
[Symbol]	VEGETATED SWALE FOR DRIVE RUNOFF	VS [Symbol]
[Symbol]	INFILTRATION BASIN FOR ROADWAY RUNOFF	IB [Symbol]
[Symbol]	OWTS LEACH FIELD	[Symbol]
[Symbol]	PRIVATE WELL	[Symbol]
[Symbol]	PROPERTY LINE	[Symbol]
[Symbol]	ZONING SETBACK LINE	[Symbol]
[Symbol]	FLOOD ZONE DELINEATION	[Symbol]
[Symbol]	CONTOUR ELEVATION	[Symbol]
[Symbol]	RIVERBANK WETLAND	[Symbol]
[Symbol]	PERIMETER WETLAND	[Symbol]
[Symbol]	SOIL EVALUATION/TEST HOLE	[Symbol]
[Symbol]	SEPTIC TANK	[Symbol]
[Symbol]	OWTS DISTRIBUTION BOX	[Symbol]
[Symbol]	FLAGGED WETLAND EDGE	[Symbol]
[Symbol]	TOP OF FOUNDATION ELEVATION	TOF EL 00
[Symbol]	WETLAND FLAG	[Symbol]
[Symbol]	SUBDIVISION LOT # WITH AREA	[Symbol]
[Symbol]	LIMITS OF DISTURBANCE	[Symbol]
[Symbol]	EROSION & SEDIMENTATION CONTROLS	[Symbol]



DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
REVIEWED SITE PLAN APPLICATION NO. 20-0259
DATED APR 27 2021
SEE LETTER OF SAME DATE.
Nancy J. Freeman

REVISIONS	
DATE	DESCRIPTION
FEB 2021	RIDEW WETLANDS COMMENTS, BOUNDARY LINE BY SURVEY



PROJECT NOTES

- REFER TO PLAN SHEET 5 FOR ADMINISTRATIVE SUBDIVISION DETAILS RELATED TO MERGING OF EXISTING PARCELS 7-2 & 8 AND PROPERTY LINE ADJUSTMENTS BETWEEN PARCELS 7-1 & 7-2.
- PROPERTY LINES SHOWN ON PLAN SHEETS LS-1 THROUGH LS-5, S-1 THROUGH S-5, AND PP-1 ILLUSTRATE RESULTING FINAL PROPERTY LINES FOLLOWING ADMINISTRATIVE SUBDIVISION.
- EXISTING TOPOGRAPHY AND CONDITIONS PROVIDED BY PROJECT SURVEYOR PROVIDED ON PLAN SHEETS 1 THROUGH 4.
- SUBDIVISION LOT 1 SHALL CONTAIN THE EXISTING SINGLE FAMILY RESIDENCE AND ASSOCIATED AMENITIES.
- SUBDIVISION LOTS 2, 3, AND 4 SHALL CONTAIN A 3-BEDROOM SINGLE FAMILY RESIDENCE WITH ASSOCIATED AMENITIES INCLUDING 2-CAR GARAGE, PRIVATE WELL, OWTS, DRIVE AND WALK AREAS, AND DECK.
- EVERY WAY IS A PRIVATE ROAD PROVIDING ACCESS FOR SUBDIVISION LOTS 2, 3 AND 4.
- DRY WELLS TO BE PROVIDED TO ADDRESS ROOF RUNOFF ONLY.
- VEGETATED SWALES TO BE PROVIDED TO ADDRESS DRIVE RUNOFF FOR EACH LOT.
- INFILTRATION BASINS TO BE PROVIDED ALONG THE SIDE THE ROADWAY SURFACE TO ADDRESS RUNOFF.
- PLAN SHEETS LS-1 THROUGH LS-5 SHALL SERVE AS THE REQUIRED YIELD PLAN PER SUBDIVISION REGULATIONS SECTION 3.3 SINCE THE PROJECT IS DESIGNED AS A CONVENTIONAL SUBDIVISION.
- COMMENTS RECEIVED DURING THE TOWN OF RICHMOND'S PRE-APPLICATION REVIEW PHASE HAVE BEEN INCORPORATED, AS APPLICABLE, IN THIS PLAN SET.

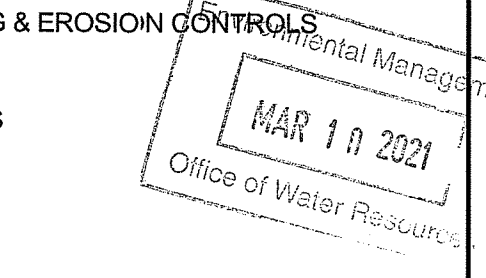
ZONING SUMMARY TABLE					
R-2 ZONE	REQUIRED	PROVIDED			
SUBDIVISION LOT #		1	2	3	4
LOT AREA	ACRES	2.00	2.00	3.11	4.06
	SF	87120	87133	87211	135451
LOT FRONTAGE	FEET	200	329.15	382.05	232.32
FRONTAGE ON CUL-DE-SAC AT FRONT SETBACK	FEET	150	NA	NA	273.76
FRONT YARD	FEET	50	34.81 (EXISTING)	59.99	50.00
SIDE YARD	FEET	35	35.01	125.43	35.00
REAR YARD	FEET	100	287.80	130.27	100.00
MAX BUILDING COVERAGE	%	10	2.45%	2.75%	1.62%
SIDE & REAR YARD SETBACK - ACCESSORY STRUCTURE	FEET	15	30.08	NA	NA
LAND UNSUITABLE FOR DEVELOPMENT PER DEFINITION INCLUDE WETLANDS (EXCLUDES PERIMETER & RIVERBANK WETLANDS) AND FLOOD ZONES A AREAS	SF	0	0	24078	61925
	ACRES	0	0	0.55	1.42
NET LOT AREA EXCLUDING LAND UNSUITABLE FOR DEVELOPMENT	SF	87133	87211	111373	114913
	ACRES	2.00	2.00	2.56	2.64
PRIVATE ROAD	EVERY WAY	62392 +/- SF =		1.43 +/- ACRES	

PLAN REFERENCE NOTES

- THIS PLAN SHEET PROVIDED FOR GENERAL LAYOUT OVERVIEW OF THE MCINTOSH FARM PROJECT.
- REFER TO PLAN SHEETS 1 THROUGH 4 FOR EXISTING CONDITIONS AND SURVEY INFORMATION.
- REFER TO PLAN SHEET 5 FOR ADMINISTRATIVE SUBDIVISION.
- REFER TO PLAN SHEET LS-2 THROUGH LS-5 FOR DETAILED LAYOUT INFORMATION OF SUBDIVISION LOTS AND EVERY WAY.
- REFER TO PLAN SHEETS S-1 THROUGH S-5 FOR DRAINAGE, GRADING & EROSION CONTROLS INFORMATION.
- REFER TO PLAN SHEET PP-1 FOR AVERY WAY PLAN & PROFILE.
- REFER TO PLAN SHEETS ND-1 THROUGH ND-4 FOR NOTES & DETAILS.

SURVEY LEGEND			
P	Referenced Plan Measurement	Set	Survey Monumentation Placed by Alfred W. DiOrto, RLS, Inc.
C	Calculated Measurement		M/L More or Less
M	Measured Direct		N/F Now or Formerly
S	Scaled Measurement	Exist.	100 Existing Contour
D	Referenced Deed Measurement		100 Proposed Contour
AG	Above Grade	AWD	gms Existing Spot Location
BG	Below Grade	PC	Pole 53 Existing Utility Pole Location
IP	Iron Pipe	PT	Point of Tangency
IR	Iron Rod	AP Parcel	Assessor's Plat & Parcel Reference
DH	Drill Hole	LE Vol	Land Evidence Volume
	Soil Evaluation/Ground Water Test Pipe	Pg	Page
WL 15A	Wetland Flag Identification		Wetland Feature
acs.	Acres		
sf	Square Feet		

In the Context of Curves:
 A= Central Angle
 R= Radius
 T= Tangent
 L= Arc Length
 C= Long Chord



PROJECT APPLICANT
MCINTOSH REAL ESTATE LLC
22 OLD MOUNTAIN ROAD
WYOMING, RI 02898

PROPERTY OWNER
WILLIAM E. MCINTOSH, IV
TWO MORNING ROAD
WEST KINGSTON, RI 02892

CONTACT PERSON:
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PROJECT ATTORNEY
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401-789-0217
JFK@KENYONLAWYERS.COM

W^E Walker Engineering, Ltd.

31 Yale Court
West Greenwich, RI 02817

Phone / Fax (401) 397-8745
Email: wel31.pr@gmail.com

OVERALL LAYOUT PLAN

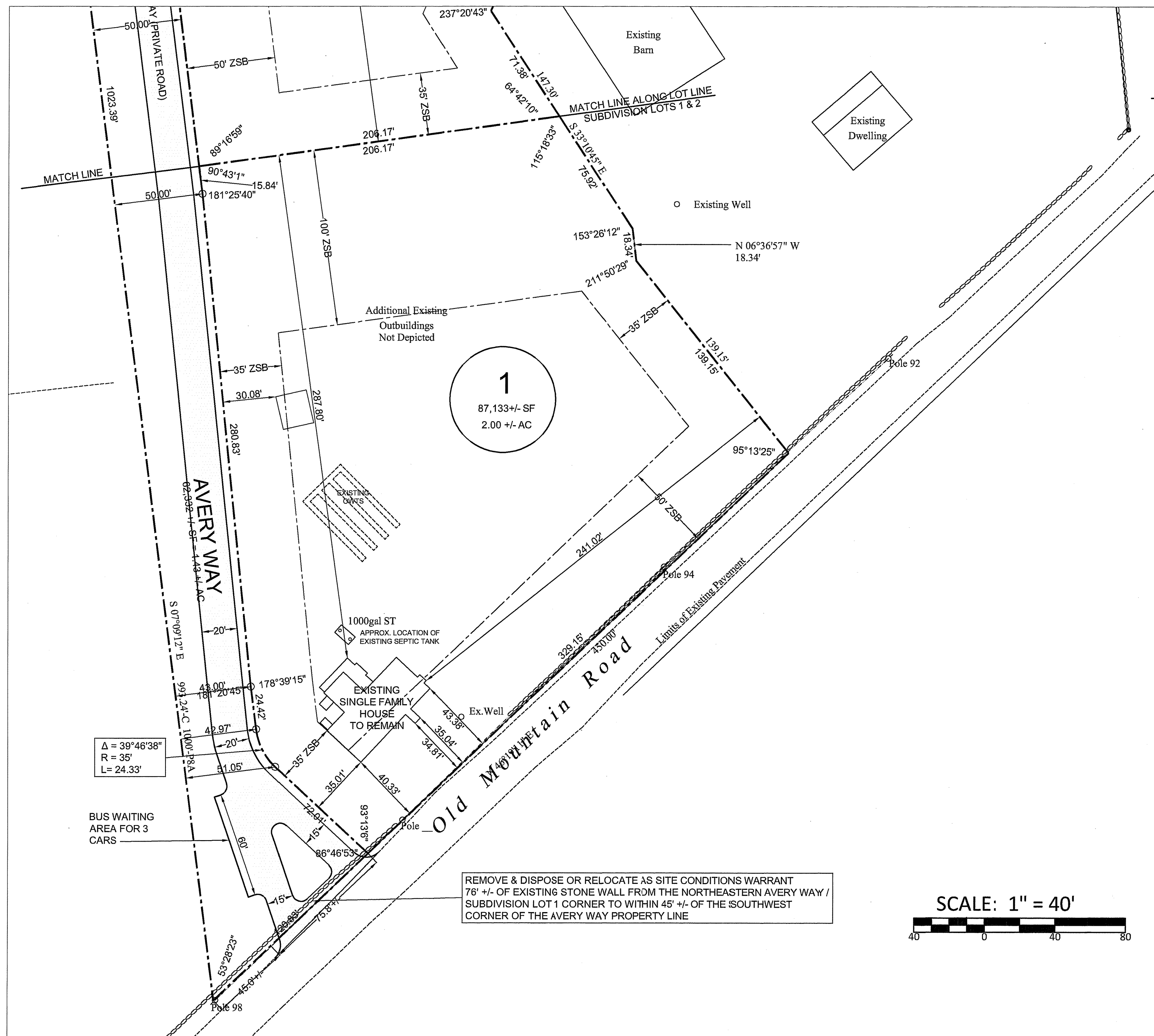
McIntosh Farm

ASSESSOR'S PLAT 3C / PARCELS 7-2 & 8
22 OLD MOUNTAIN ROAD
RICHMOND, RHODE ISLAND

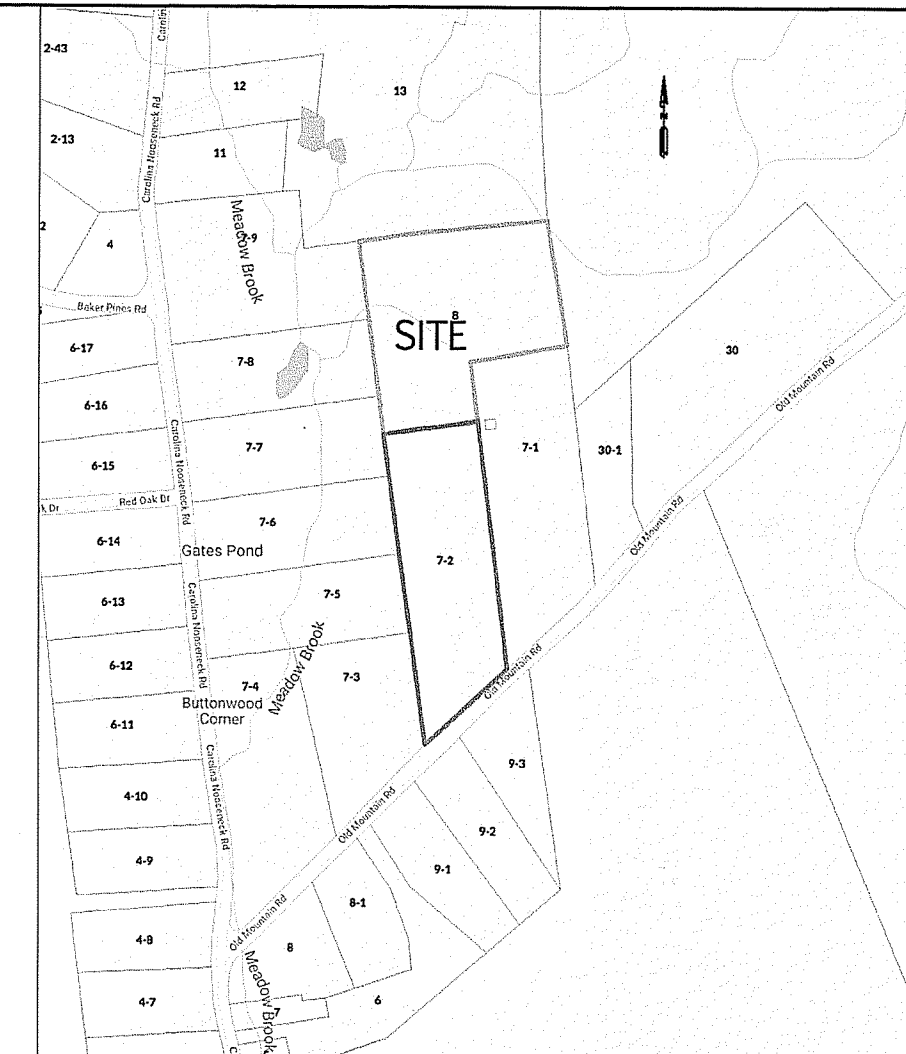
DATE: OCTOBER 2020
REVISED FEBRUARY 2021

SHEET: LS - 1

SHEET 7 OF 21



EXISTING	DESCRIPTION	PROPOSED
[Symbol]	SINGLE FAMILY HOUSE	[Symbol]
[Symbol]	DRIVING SURFACE	[Symbol]
[Symbol]	WALK	[Symbol]
[Symbol]	DECK	[Symbol]
[Symbol]	DRY WELL FOR ROOF RUNOFF	DW [Symbol]
[Symbol]	VEGETATED SWALE FOR DRIVE RUNOFF	VS [Symbol]
[Symbol]	INFILTRATION BASIN FOR ROADWAY RUNOFF	IB [Symbol]
[Symbol]	OWTS LEACH FIELD	[Symbol]
[Symbol]	PRIVATE WELL	(W)
[Symbol]	PROPERTY LINE	[Symbol]
[Symbol]	ZONING SETBACK LINE	[Symbol]
[Symbol]	FLOOD ZONE DELINEATION	ZONE
[Symbol]	CONTOUR ELEVATION	[Symbol]
100'RBW	RIVERBANK WETLAND	[Symbol]
50'PW	PERIMETER WETLAND	[Symbol]
[Symbol]	SOIL EVALUATION/TEST HOLE	[Symbol]
[Symbol]	SEPTIC TANK	[ST]
[Symbol]	OWTS DISTRIBUTION BOX	[DB]
FWE	FLAGGED WETLAND EDGE	[Symbol]
[Symbol]	TOP OF FOUNDATION ELEVATION	TOF EL 00
WL/B00	WETLAND FLAG	[Symbol]
[Symbol]	SUBDIVISION LOT # WITH AREA	[Symbol]
[Symbol]	LIMITS OF DISTURBANCE	[Symbol]
[Symbol]	EROSION & SEDIMENTATION CONTROLS	[Symbol]



DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
REVIEWED SITE PLAN APPLICATION NO.: 20-0259
DATED APR 27 2021
SEE LETTER OF SAME DATE.
Monica J. Freeman

REVISIONS	DESCRIPTION
DATE	DESCRIPTION
FEB 2021	RIDEM WETLANDS COMMENTS, BOUNDARY LINE BY SURVEY

PATRICIA K. WALKER
No. 5331
REGISTERED PROFESSIONAL ENGINEER

W^E Walker Engineering, Ltd.
31 Vale Court
West Greenwich, RI 02817
Phone / Fax (401) 397-8745
Email: wsl31.pw@gmail.com

R-2 ZONE	ZONING SUMMARY TABLE				
	REQUIRED	1	2	3	4
SUBDIVISION LOT #					
LOT AREA	ACRES	2	2.00	3.11	4.06
SF		87120	87133	135451	176838
LOT FRONTAGE	FEET	200	329.15	382.05	176.34
FRONTAGE ON CUL-DE-SAC AT FRONT SETBACK	FEET	150	NA	NA	170.69
FRONT YARD	FEET	50	34.81 (EXISTING)	59.99	50.00
SIDE YARD	FEET	35	35.01	125.43	35.00
REAR YARD	FEET	100	287.80	130.27	100.00
MAX BUILDING COVERAGE	%	10	2.45%	2.75%	1.62%
SIDE & REAR YARD SETBACK - ACCESSORY STRUCTURE	FEET	15	30.08	NA	NA
LAND UNSUITABLE FOR DEVELOPMENT PER DEFINITION INCLUDE WETLANDS (EXCLUDES PERIMETER & RIVERBANK WETLANDS) AND FLOOD ZONES A AREAS	SF	0	0	24078	61925
	ACRES	0	0	0.55	1.42
NET LOT AREA EXCLUDING LAND UNSUITABLE FOR DEVELOPMENT	SF	87133	87211	111373	114913
	ACRES	2.00	2.00	2.56	2.64
PRIVATE ROAD					
AVERY WAY		62332 +/- SF =		1.43 +/- ACRES	

SCALE: 1" = 40'

PLAN REFERENCE NOTES

- THIS PLAN SHEET PROVIDED FOR DETAILED LAYOUT INFORMATION OF SUBDIVISION LOT 1
- REFER TO PLANS SHEETS 1 THROUGH 4 FOR EXISTING CONDITIONS AND SURVEY INFORMATION
- REFER TO PLAN SHEET 6 FOR ADMINISTRATIVE SUBDIVISION
- REFER TO PLAN SHEET LS-1 FOR GENERAL LAYOUT OVERVIEW OF THE MCINTOSH FARM PROJECT
- REFER TO PLAN SHEET LS-3 THROUGH LS-5 FOR DETAILED LAYOUT INFORMATION OF OTHER SUBDIVISION LOTS AND AVERY WAY
- REFER TO PLAN SHEETS S-1 THROUGH S-5 FOR DRAINAGE, GRADING & EROSION CONTROLS INFORMATION
- REFER TO PLAN SHEET PP-1 FOR AVERY WAY PLAN & PROFILE
- REFER TO PLAN SHEETS ND-1 THROUGH ND-4 FOR NOTES & DETAILS

PROJECT NOTES

- REFER TO PLAN SHEET 5 FOR ADMINISTRATIVE SUBDIVISION DETAILS RELATED TO MERGING OF EXISTING PARCELS 7-2 & 8 AND PROPERTY LINE ADJUSTMENTS BETWEEN PARCELS 7-1 & 7-2.
- PROPERTY LINES SHOWN ON PLAN SHEETS LS-1 THROUGH LS-5, S-1 THROUGH S-5, AND PP-1 ILLUSTRATE RESULTING FINAL PROPERTY LINES FOLLOWING ADMINISTRATIVE SUBDIVISION.
- EXISTING TOPOGRAPHY AND CONDITIONS PROVIDED BY PROJECT SURVEYOR PROVIDED ON PLAN SHEETS 1 THROUGH 4.
- SUBDIVISION LOT 1 SHALL CONTAIN THE EXISTING SINGLE FAMILY RESIDENCE AND ASSOCIATED AMENITIES
- SUBDIVISION LOTS 2, 3, AND 4 SHALL CONTAIN A 3-BEDROOM SINGLE FAMILY RESIDENCE WITH ASSOCIATED AMENITIES INCLUDING 2-CAR GARAGE, PRIVATE WELL, OWTS, DRIVE AND WALK AREAS, AND DECK
- AVERY WAY IS A PRIVATE ROAD PROVIDING ACCESS FOR SUBDIVISION LOTS 2, 3 AND 4
- DRY WELLS TO BE PROVIDED TO ADDRESS ROOF RUNOFF ONLY
- VEGETATED SWALES TO BE PROVIDED TO ADDRESS DRIVE RUNOFF FOR EACH LOT
- INFILTRATION BASINS TO BE PROVIDED ALONG THE SIDE THE ROADWAY SURFACE TO ADDRESS RUNOFF
- PLAN SHEETS LS-1 THROUGH LS-5 SHALL SERVE AS THE REQUIRED YIELD PLAN PER SUBDIVISION REGULATIONS SECTION 3.3 SINCE THE PROJECT IS DESIGNED AS A CONVENTIONAL SUBDIVISION.
- COMMENTS RECEIVED DURING THE TOWN OF RICHMOND'S PRE-APPLICATION REVIEW PHASE HAVE BEEN INCORPORATED, AS APPLICABLE, IN THIS PLAN SET.

SURVEY LEGEND			
P	Referenced Plan Measurement	Set	Survey Monumentation Placed by Alfred W. DiOrto, RLS, Inc.
C	Calculated Measurement		
M	Measured Direct	Exist.	Survey Monumentation Recovered and Utilized by Alfred W. DiOrto, RLS, Inc.
S	Scaled Measurement		
D	Referenced Deed Measurement		Stone Wall
AG	Above Grade	AWD	Alfred W. DiOrto, RLS, Inc.
BG	Below Grade	PC	Point of Curvature
IP	Iron Pipe	PT	Point of Tangency
IR	Iron Rod	AP Parcel	Assessor's Plat & Parcel Reference
DH	Drill Hole	LE Vol	Land Evidence Volume
[Symbol]	Soil Evaluation/Ground Water Test Pipe	Pg	Page
WL 15A	Wetland Flag Identification	[Symbol]	Wetland Feature
acs.	Acres		
sf	Square Feet		
[Symbol]	Emergency 911 Numbering		
		In the Context of Curves:	
		A=	Central Angle
		R=	Radius
		T=	Tangent
		L=	Arc Length
		C=	Long Chord
		M/L	More or Less
		N/F	Now or Formerly
		100	Existing Contour
		[Symbol]	Proposed Contour
		[Symbol]	Existing Spot Location
		Pole 53	Existing Utility Pole Location
		[Symbol]	Existing Overhead Utility Lines
		[Symbol]	Delineated Wetland Edge (By Others)
		[Symbol]	Perimeter Wetland Edge
		[Symbol]	100 Foot Riverbank Wetland
		[Symbol]	200 Foot Riverbank Wetland
		[Symbol]	Proposed Location Erosion Control Measures

Environmental Management
MAR 10 2021
Office of Water Resources

PROJECT APPLICANT
MCINTOSH REAL ESTATE LLC
22 OLD MOUNTAIN ROAD
WYOMING, RI 02898

PROPERTY OWNER
WILLIAM E. MCINTOSH, IV
TWO MORNING ROAD
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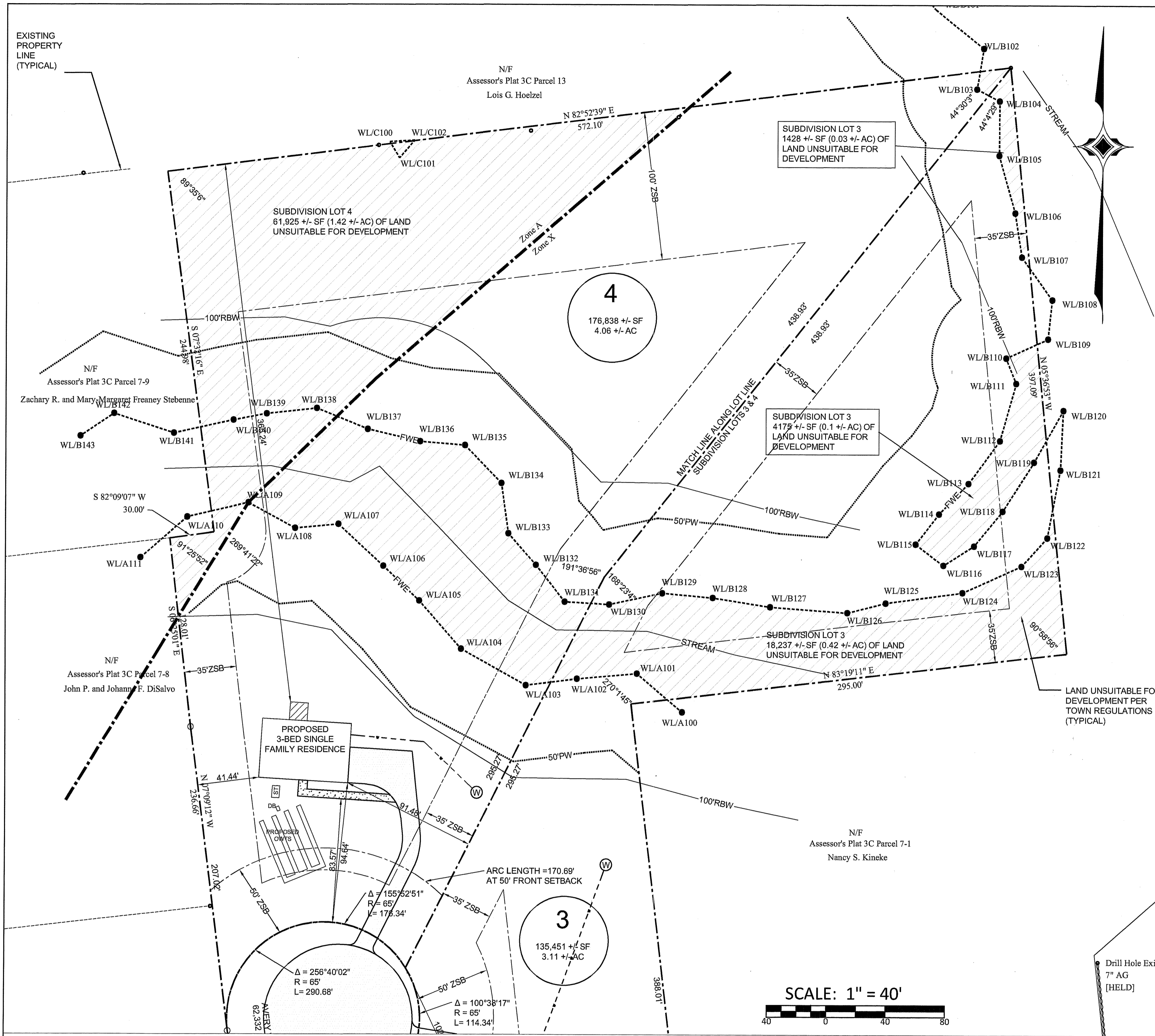
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LOT 1 LAYOUT PLAN
McIntosh Farm
ASSESSOR'S PLAT 3C / PARCELS 7-2 & 8
22 OLD MOUNTAIN ROAD
RICHMOND, RHODE ISLAND

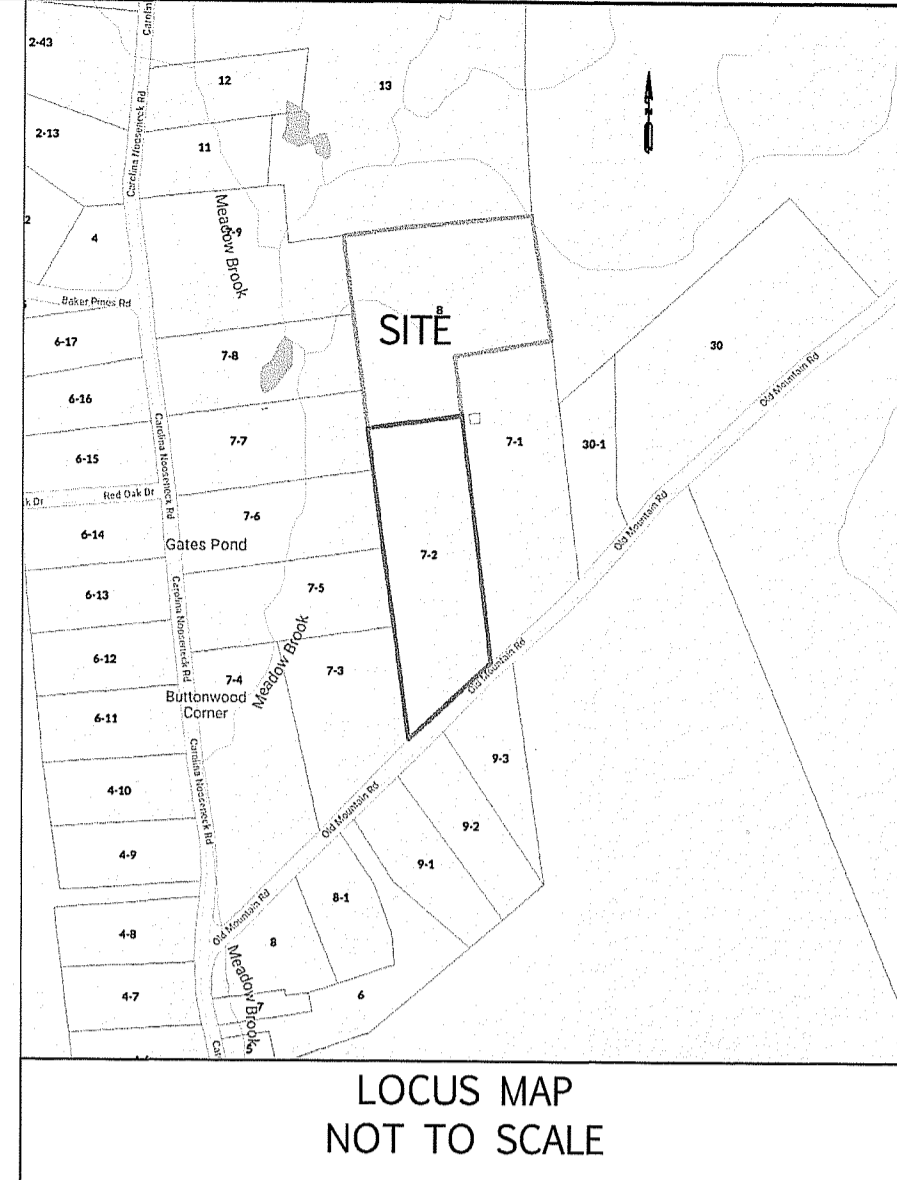
DATE: OCTOBER 2020
REVISED FEBRUARY 2021

SHEET: LS - 2

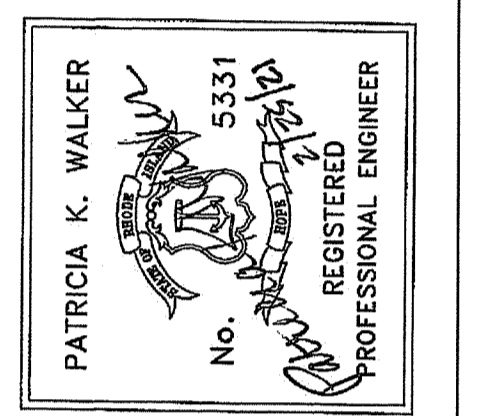
SHEET 8 OF 21



EXISTING	DESCRIPTION	PROPOSED
[Symbol]	SINGLE FAMILY HOUSE	[Symbol]
[Symbol]	DRIVING SURFACE	[Symbol]
[Symbol]	WALK	[Symbol]
[Symbol]	DECK	[Symbol]
[Symbol]	DRY WELL FOR ROOF RUNOFF	DW [Symbol]
[Symbol]	VEGETATED SWALE FOR DRIVE RUNOFF	VS [Symbol]
[Symbol]	INFILTRATION BASIN FOR ROADWAY RUNOFF	IB [Symbol]
[Symbol]	OWTS LEACH FIELD	[Symbol]
[Symbol]	PRIVATE WELL	[Symbol]
[Symbol]	PROPERTY LINE	[Symbol]
[Symbol]	ZONING SETBACK LINE	[Symbol]
[Symbol]	FLOOD ZONE DELINEATION	[Symbol]
[Symbol]	CONTOUR ELEVATION	[Symbol]
[Symbol]	100' RBW	RIVERBANK WETLAND
[Symbol]	50' PW	PERIMETER WETLAND
[Symbol]	SOIL EVALUATION/TEST HOLE	[Symbol]
[Symbol]	SEPTIC TANK	[Symbol]
[Symbol]	OWTS DISTRIBUTION BOX	[Symbol]
[Symbol]	FWE	FLAGGED WETLAND EDGE
[Symbol]		TOP OF FOUNDATION ELEVATION
[Symbol]	WL/B00	WETLAND FLAG
[Symbol]		SUBDIVISION LOT # WITH AREA
[Symbol]		LIMITS OF DISTURBANCE
[Symbol]		EROSION & SEDIMENTATION CONTROLS

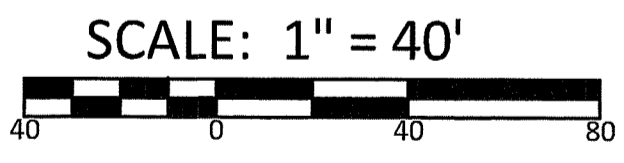


REVISIONS	DATE	DESCRIPTION
	FEB 2021	RIDEM WETLANDS COMMENTS, BOUNDARY LINE BY SURVEY



DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 REVIEWED SITE PLAN APPLICATION NO. 20-0051
 DATED APR 27 2021
 SEE LETTER OF SAME DATE.
Nancy L. Freeman

R-2 ZONE	SUBDIVISION LOT #	ZONING SUMMARY TABLE				
		REQUIRED	1	2	3	4
LOT AREA	ACRES	2	2.00	2.00	3.11	4.06
SF		87120	87211	87211	135451	176838
LOT FRONTAGE	FEET	200	329.15	382.05	232.32	176.34
FRONTAGE ON CUL-DE-SAC AT FRONT SETBACK	FEET	150	NA	NA	273.76	170.69
FRONT YARD	FEET	50	34.81 (EXISTING)	59.99	50.00	94.64
SIDE YARD	FEET	35	35.01	125.43	35.00	41.44
REAR YARD	FEET	100	287.80	130.27	100.00	365.24
MAX BUILDING COVERAGE	%	10	2.45%	2.75%	1.62%	1.36%
SIDE & REAR YARD SETBACK - ACCESSORY STRUCTURE	FEET	15	30.08	NA	NA	NA
LAND UNSUITABLE FOR DEVELOPMENT PER DEFINITION INCLUDE WETLANDS (EXCLUDES PERIMETER & RIVERBANK WETLANDS) AND FLOOD ZONES A AREAS	SF	0	0	24078	61925	
	ACRES	0	0	0.55	1.42	
NET LOT AREA EXCLUDING LAND UNSUITABLE FOR DEVELOPMENT	SF	87133	87211	111373	114913	
	ACRES	2.00	2.00	2.56	2.64	
PRIVATE ROAD	AVERY WAY	62332 +/- SF =			1.43 +/- ACRES	



SURVEY LEGEND			
P	Referenced Plan Measurement	Set	Survey Monumentation Placed by Alfred W. DiOrto, RLS, Inc.
C	Calculated Measurement		
M	Measured Direct	Exist.	Survey Monumentation Recovered and Utilized by Alfred W. DiOrto, RLS, Inc.
S	Scaled Measurement		
D	Referenced Deed Measurement		Stone Wall
AG	Above Grade	AWD	Alfred W. DiOrto, RLS, Inc.
BG	Below Grade	PC	Point of Curvature
IP	Iron Pipe	PT	Point of Tangency
IR	Iron Rod	AP	Assessor's Plat & Parcel Reference
DH	Drill Hole	LE	Land Evidence Volume
SW	Soil Evaluation/Ground Water Test Pipe	Pg	Page
WL 15A	Wetland Flag Identification	W	Wetland Feature
acs.	Acres		
sf	Square Feet		
In the Context of Curves:			
A	Central Angle		
R	Radius		
T	Tangent		
L	Arc Length		
C	Long Chord		
M/L	More or Less		
N/F	Now or Formerly		
100	Existing Contour		
100.00	Proposed Contour		
99.99	Existing Spot Location		
Pole 53	Existing Utility Pole Location		
---	Existing Overhead Utility Lines		
---	Delineated Wetland Edge (By Others)		
---	Perimeter Wetland Edge		
---	100 Foot Riverbank Wetland		
---	200 Foot Riverbank Wetland		
---	Proposed Location Erosion Control Measures		

- PLAN NOTES**
- THIS PLAN SHEET PROVIDED FOR DETAILED LAYOUT INFORMATION OF SUBDIVISION LOT 4
 - REFER TO PLAN SHEETS 1 THROUGH 4 FOR EXISTING CONDITIONS AND SURVEY INFORMATION
 - REFER TO PLAN SHEET 5 FOR ADMINISTRATIVE SUBDIVISION
 - REFER TO PLAN SHEET PP-1 FOR AVERY WAY PLAN & PROFILE
 - REFER TO PLAN SHEET LS-2 THROUGH LS-4 FOR DETAILED LAYOUT INFORMATION OF OTHER SUBDIVISION LOTS AND AVERY WAY
 - REFER TO PLAN SHEETS S-1 THROUGH S-5 FOR DRAINAGE, GRADING & EROSION CONTROLS INFORMATION
 - REFER TO PLAN SHEET PP-1 FOR AVERY WAY PLAN & PROFILE
 - REFER TO PLAN SHEETS ND-1 THROUGH ND-4 FOR NOTES & DETAILS

- PROJECT NOTES**
- REFER TO PLAN SHEET 5 FOR ADMINISTRATIVE SUBDIVISION DETAILS RELATED TO MERGING OF EXISTING PARCELS 7-2 & 8 AND PROPERTY LINE ADJUSTMENTS BETWEEN PARCELS 7-1 & 7-2
 - PROPERTY LINES SHOWN ON PLAN SHEETS LS-1 THROUGH LS-5, S-1 THROUGH S-5, AND PP-1 ILLUSTRATE RESULTING FINAL P PROPERTY LINES FOLLOWING ADMINISTRATIVE SUBDIVISION
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 - DRY WELLS TO BE PROVIDED TO ADDRESS ROOF RUNOFF ONLY
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 - COMMENTS RECEIVED DURING THE TOWN OF RICHMOND'S PRE-APPLICATION REVIEW PHASE HAVE BEEN INCORPORATED, AS APPLICABLE, IN THIS PLAN SET.

PROJECT APPLICANT
 MCINTOSH REAL ESTATE LLC
 22 OLD MOUNTAIN ROAD
 WYOMING, RI 02898

PROPERTY OWNER
 WILLIAM E. MCINTOSH, IV
 TWO MORNING ROAD
 WEST KINGSTON, RI 02892

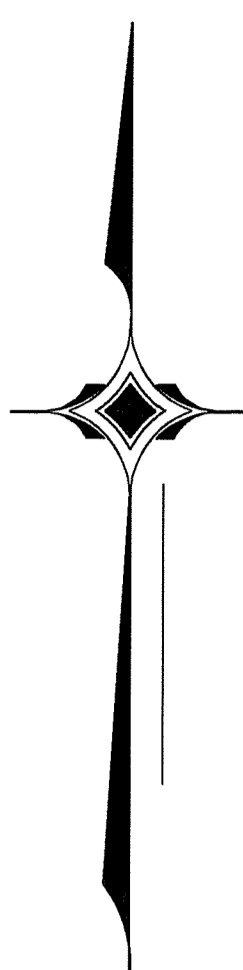
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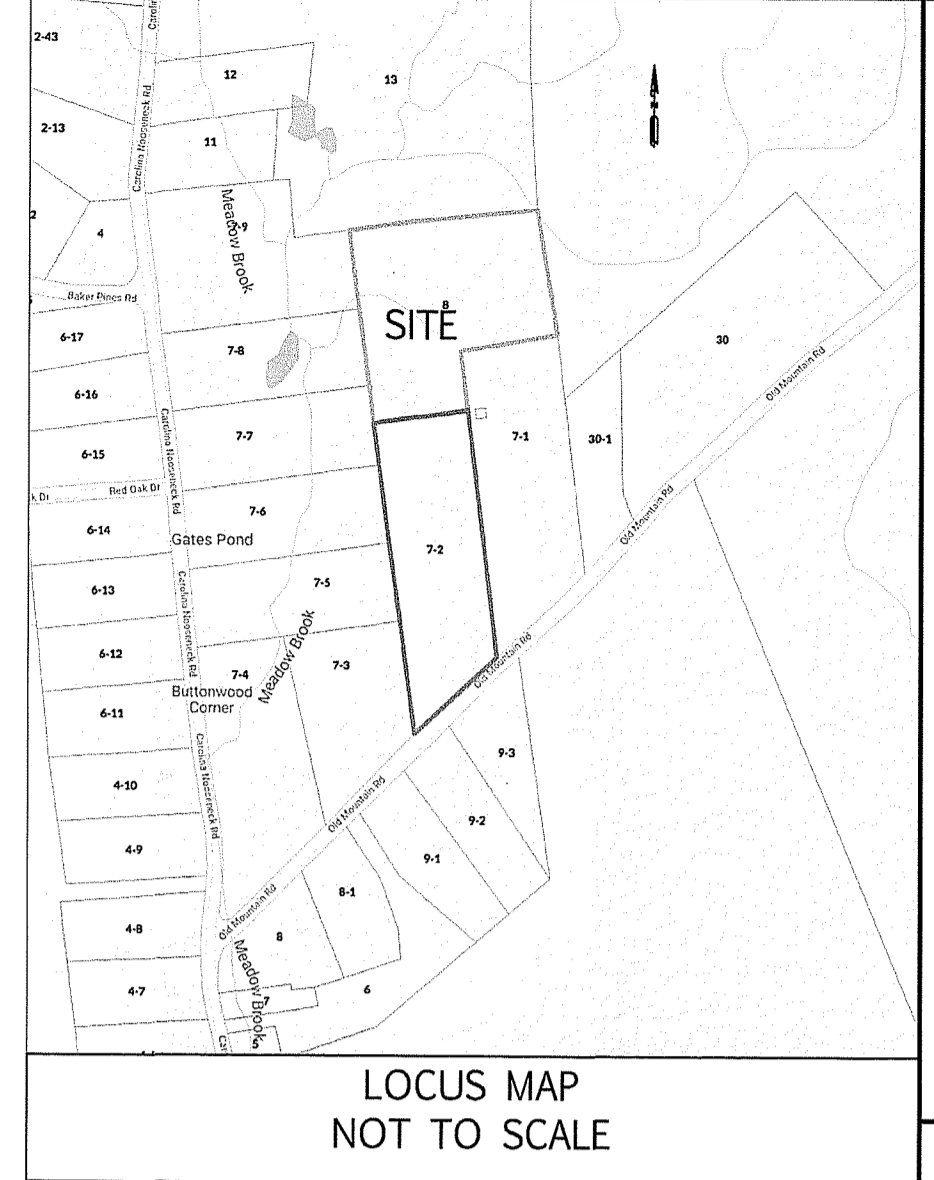
W_E Walker Engineering, Ltd.
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McIntosh Farm
 LOT 4 LAYOUT PLAN
 ASSESSOR'S PLAT 3C / PARCELS 7-2 & 8
 22 OLD MOUNTAIN ROAD
 RICHMOND, RHODE ISLAND

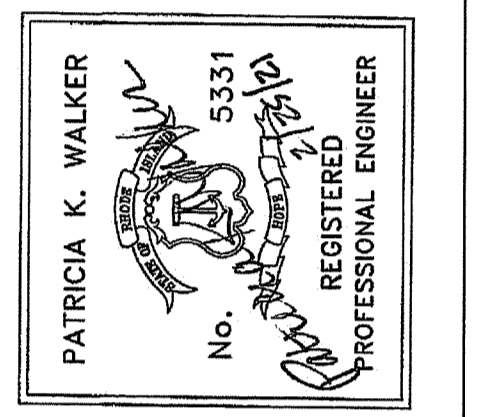
DATE: OCTOBER 2020
 REVISED FEBRUARY 2021
 SHEET: LS - 5
 SHEET 11 OF 21



EXISTING	DESCRIPTION	PROPOSED
[Symbol]	SINGLE FAMILY HOUSE	[Symbol]
[Symbol]	DRIVING SURFACE	[Symbol]
[Symbol]	WALK	[Symbol]
[Symbol]	DECK	[Symbol]
[Symbol]	DRY WELL FOR ROOF RUNOFF	DW [Symbol]
[Symbol]	VEGETATED SWALE FOR DRIVE RUNOFF	VS [Symbol]
[Symbol]	INFILTRATION BASIN FOR ROADWAY RUNOFF	IB [Symbol]
[Symbol]	OWTS LEACH FIELD	[Symbol]
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[Symbol]	OWTS DISTRIBUTION BOX	[Symbol]
[Symbol]	FWE	[Symbol]
[Symbol]	TOP OF FOUNDATION ELEVATION	TOF EL 00
[Symbol]	WL/B00	[Symbol]
[Symbol]	SUBDIVISION LOT # WITH AREA	[Symbol]
[Symbol]	LIMITS OF DISTURBANCE	[Symbol]
[Symbol]	EROSION & SEDIMENTATION CONTROLS	[Symbol]

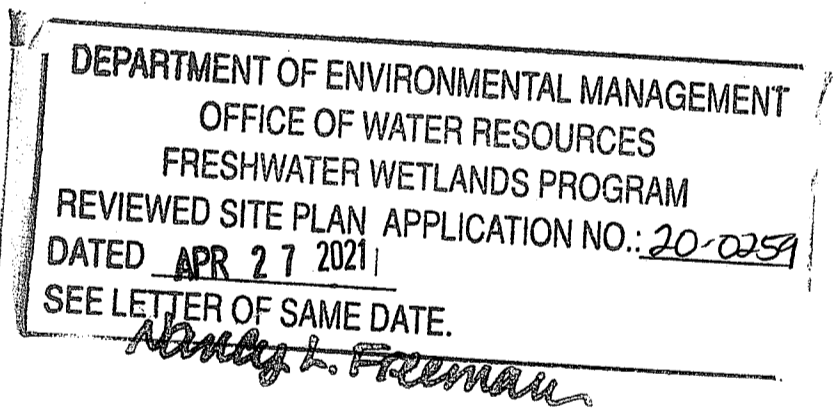


REVISIONS	DESCRIPTION
DATE	DESCRIPTION
FEB 2021	RIDEM WETLANDS COMMENTS, BOUNDARY LINE BY SURVEY



PROJECT NOTES

- REFER TO PLAN SHEET 5 FOR ADMINISTRATIVE SUBDIVISION DETAILS RELATED TO MERGING OF EXISTING PARCELS 7-2 & 8 AND PROPERTY LINE ADJUSTMENTS BETWEEN PARCELS 7-1 & 7-2.
- PROPERTY LINES SHOWN ON PLAN SHEETS LS-1 THROUGH LS-5, S-1 THROUGH S-5, AND PP-1 ILLUSTRATE RESULTING FINAL PROPERTY LINES FOLLOWING ADMINISTRATIVE SUBDIVISION.
- EXISTING TOPOGRAPHY AND CONDITIONS PROVIDED BY PROJECT SURVEYOR PROVIDED ON PLAN SHEETS 1 THROUGH 4.
- SUBDIVISION LOT 1 SHALL CONTAIN THE EXISTING SINGLE FAMILY RESIDENCE AND ASSOCIATED AMENITIES.
- SUBDIVISION LOTS 2, 3, AND 4 SHALL CONTAIN A 3-BEDROOM SINGLE FAMILY RESIDENCE WITH ASSOCIATED AMENITIES INCLUDING 2-CAR GARAGE, PRIVATE WELL, OWTS, DRIVE AND WALK AREAS, AND DECK.
- EVERY WAY IS A PRIVATE ROAD PROVIDING ACCESS FOR SUBDIVISION LOTS 2, 3 AND 4.
- DRY WELLS TO BE PROVIDED TO ADDRESS ROOF RUNOFF ONLY FOR EACH LOT.
- VEGETATED SWALES TO BE PROVIDED TO ADDRESS DRIVE RUNOFF FOR EACH LOT.
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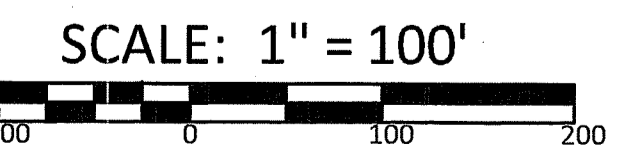


PLAN REFERENCE NOTES

- THIS PLAN SHEET PROVIDED FOR GENERAL DRAINAGE, GRADING & EROSION CONTROLS OVERVIEW OF THE MCINTOSH FARM PROJECT.
- REFER TO PLAN SHEETS 1 THROUGH 4 FOR EXISTING CONDITIONS AND SURVEY INFORMATION.
- REFER TO PLAN SHEET 5 FOR ADMINISTRATIVE SUBDIVISION.
- REFER TO PLAN SHEET LS-1 THROUGH LS-5 FOR LAYOUT INFORMATION.
- REFER TO PLAN SHEETS S-2 THROUGH S-5 FOR DETAILED DRAINAGE, GRADING & EROSION CONTROLS INFORMATION OF SUBDIVISION LOTS AND EVERY WAY.
- REFER TO PLAN SHEET PP-1 FOR EVERY WAY PLAN & PROFILE.
- REFER TO PLAN SHEETS ND-1 THROUGH ND-4 FOR NOTES & DETAILS.



SURVEY LEGEND			
P	Referenced Plan Measurement	Set	Survey Monumentation Placed by Alfred W. DiOrto, RLS, Inc.
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DH	Drill Hole	Pg	Page
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WL 15A	Wetland Flag Identification	In the Context of Curves:	
acs.	Acre	A=	Central Angle
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		T=	Tangent
		L=	Arc Length
		C=	Long Chord
911	Emergency 911 Numbering		
35			



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 ASSESSOR'S PLAT 3C / PARCELS 7-2 & 8
 22 OLD MOUNTAIN ROAD
 RICHMOND, RHODE ISLAND

OVERALL DRAINAGE, GRADING & EROSION CONTROLS PLAN

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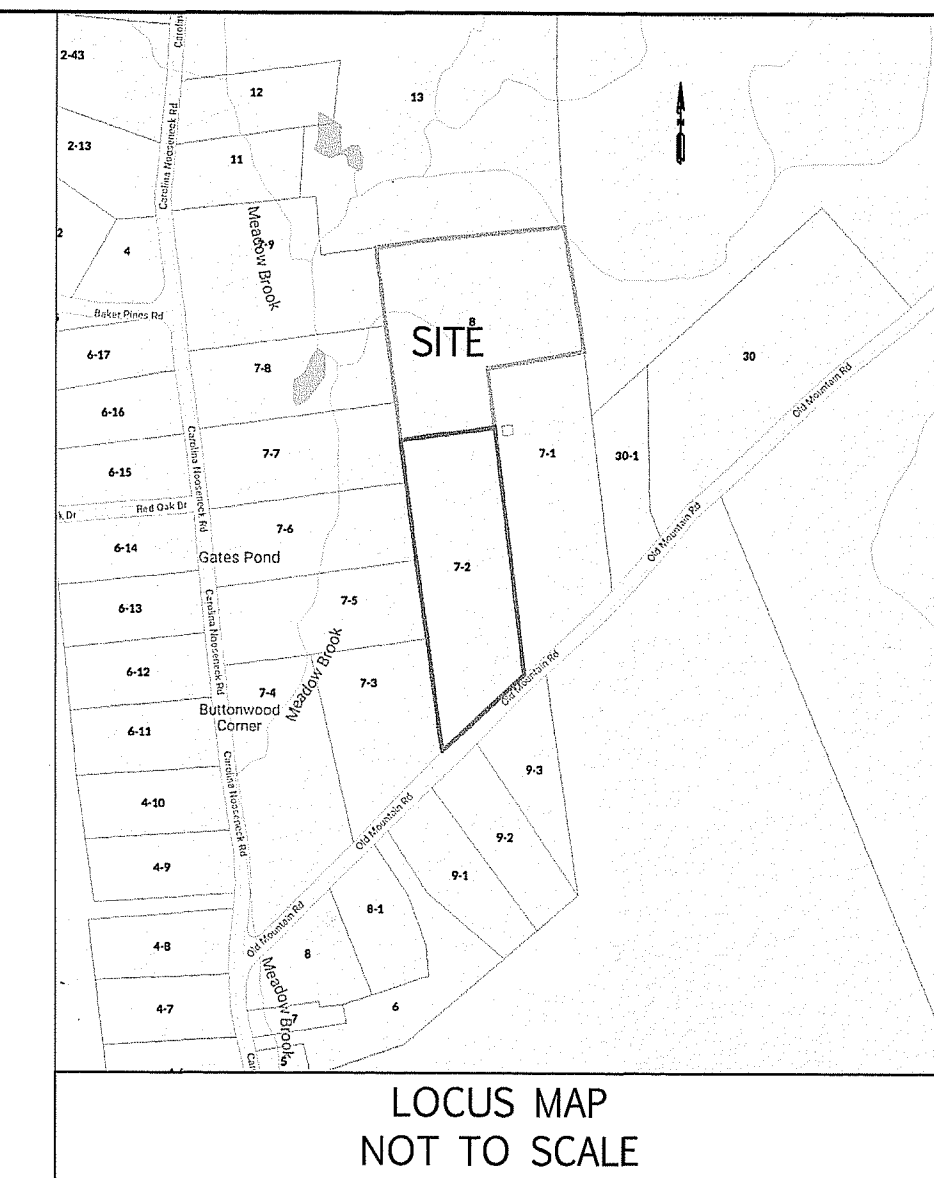
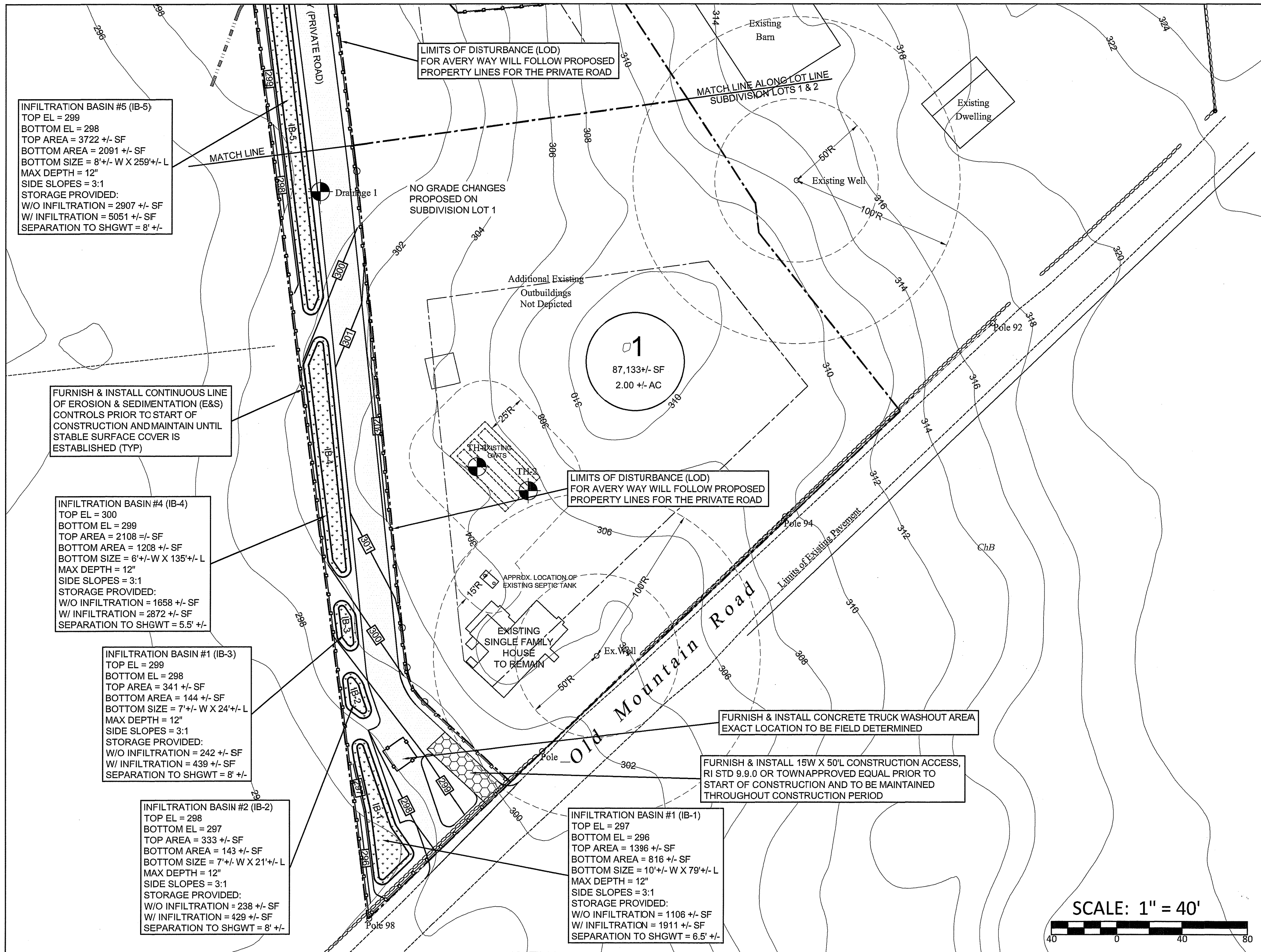
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 617-513-0278

PROJECT ATTORNEY
 JOHN F. KENYON, ESQ.
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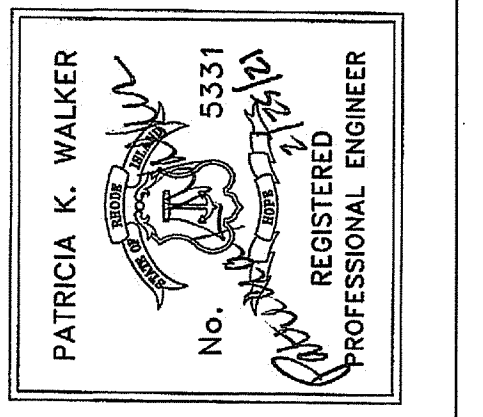
DATE: OCTOBER 2020
 REVISED FEB 2021

SHEET: S - 1

SHEET 12 OF 21



REVISIONS	DATE	DESCRIPTION
	FEB 2021	RIDEM WETLANDS COMMENTS, BOUNDARY LINE BY SURVEY



EXISTING	DESCRIPTION	PROPOSED
[Symbol]	SINGLE FAMILY HOUSE	[Symbol]
[Symbol]	DRIVING SURFACE	[Symbol]
[Symbol]	WALK	[Symbol]
[Symbol]	DECK	[Symbol]
[Symbol]	DRY WELL FOR ROOF RUNOFF	DW [Symbol]
[Symbol]	VEGETATED SWALE FOR DRIVE RUNOFF	VS [Symbol]
[Symbol]	INFILTRATION BASIN FOR ROADWAY RUNOFF	IB [Symbol]
[Symbol]	OWTS LEACH FIELD	[Symbol]
[Symbol]	PRIVATE WELL	[Symbol]
[Symbol]	PROPERTY LINE	[Symbol]
[Symbol]	ZONING SETBACK LINE	[Symbol]
[Symbol]	FLOOD ZONE DELINEATION	[Symbol]
[Symbol]	CONTOUR ELEVATION	[Symbol]
[Symbol]	100' RBW	RIVERBANK WETLAND
[Symbol]	50' PW	PERIMETER WETLAND
[Symbol]	SOIL EVALUATION/TEST HOLE	[Symbol]
[Symbol]	SEPTIC TANK	ST [Symbol]
[Symbol]	OWTS DISTRIBUTION BOX	DB [Symbol]
[Symbol]	FWE	FLAGGED WETLAND EDGE
[Symbol]	TOP OF FOUNDATION ELEVATION	TOF EL 00
[Symbol]	WL/B00	WETLAND FLAG
[Symbol]		SUBDIVISION LOT # WITH AREA
[Symbol]		LIMITS OF DISTURBANCE
[Symbol]		EROSION & SEDIMENTATION CONTROLS

- PROJECT NOTES**
- REFER TO PLAN SHEET 5 FOR ADMINISTRATIVE SUBDIVISION DETAILS RELATED TO MERGING OF EXISTING PARCELS 7-2 & 8 AND PROPERTY LINE ADJUSTMENTS BETWEEN PARCELS 7-1 & 7-2.
 - PROPERTY LINES SHOWN ON PLAN SHEETS LS-1 THROUGH LS-5, S-1 THROUGH S-5, AND PP-1 ILLUSTRATE RESULTING FINAL PROPERTY LINES FOLLOWING ADMINISTRATIVE SUBDIVISION.
 - EXISTING TOPOGRAPHY AND CONDITIONS PROVIDED BY PROJECT SURVEYOR PROVIDED ON PLAN SHEETS 1 THROUGH 4.
 - SUBDIVISION LOT 1 SHALL CONTAIN THE EXISTING SINGLE FAMILY RESIDENCE AND ASSOCIATED AMENITIES.
 - SUBDIVISION LOTS 2, 3, AND 4 SHALL CONTAIN A 3-BEDROOM SINGLE FAMILY RESIDENCE WITH ASSOCIATED AMENITIES INCLUDING 2-CAR GARAGE, PRIVATE WELL, OWTS, DRIVE AND WALK AREAS, AND DECK.
 - EVERY WAY IS A PRIVATE ROAD PROVIDING ACCESS FOR SUBDIVISION LOTS 2, 3 AND 4.
 - DRY WELLS TO BE PROVIDED TO ADDRESS ROOF RUNOFF ONLY.
 - VEGETATED SWALES TO BE PROVIDED TO ADDRESS DRIVE RUNOFF FOR EACH LOT.
 - INFILTRATION BASINS TO BE PROVIDED ALONG THE SIDE THE ROADWAY SURFACE TO ADDRESS RUNOFF.
 - PLAN SHEETS LS-1 THROUGH LS-5 SHALL SERVE AS THE REQUIRED YIELD PLAN PER SUBDIVISION REGULATIONS SECTION 3.3 SINCE THE PROJECT IS DESIGNED AS A CONVENTIONAL SUBDIVISION.
 - COMMENTS RECEIVED DURING THE TOWN OF RICHMOND'S PRE-APPLICATION REVIEW PHASE HAVE BEEN INCORPORATED, AS APPLICABLE, IN THIS PLAN SET.

- PLAN REFERENCE NOTES**
- THIS PLAN SHEET PROVIDED FOR DETAILED DRAINAGE, GRADING & EROSION CONTROLS INFORMATION OF SUBDIVISION LOT 1.
 - REFER TO PLAN SHEETS 1 THROUGH 4 FOR EXISTING CONDITIONS AND SURVEY INFORMATION.
 - REFER TO PLAN SHEET 5 FOR ADMINISTRATIVE SUBDIVISION.
 - REFER TO PLAN SHEETS LS-1 THROUGH LS-5 FOR LAYOUT INFORMATION.
 - REFER TO PLAN SHEET S-1 FOR GENERAL DRAINAGE, GRADING & EROSION CONTROLS INFORMATION.
 - REFER TO PLAN SHEETS S-3 THROUGH S-5 FOR DETAILED DRAINAGE, GRADING & EROSION CONTROLS INFORMATION OF OTHER SUBDIVISION LOTS AND AVERY WAY.
 - REFER TO PLAN SHEET PP-1 FOR AVERY WAY PLAN & PROFILE.
 - REFER TO PLAN SHEETS ND-1 THROUGH ND-4 FOR NOTES & DETAILS.

MAR 10 2021
Office of Water Resources

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
REVIEWED SITE PLAN APPLICATION NO. 20-0259
DATED APR 27 2021
SEE LETTER OF SAME DATE.

SURVEY LEGEND

P	Referenced Plan Measurement	Set	Survey Monumentation Placed by Alfred W. DiOrto, RLS, Inc.	M/L	More or Less
C	Calculated Measurement			N/F	Now or Formerly
M	Measured Direct	Exist.	Survey Monumentation Recovered and Utilized by Alfred W. DiOrto, RLS, Inc.	100	Existing Contour
S	Scaled Measurement			-100	Proposed Contour
D	Referenced Deed Measurement		Stone Wall	gpk	Existing Spot Location
AG	Above Grade	AWD	Assessor's Plat & Parcel Reference	Pole 53	Existing Utility Pole Location
BG	Below Grade	PC	Point of Curvature		Existing Overhead Utility Lines
IP	Iron Pipe	PT	Point of Tangency		Delineated Wetland Edge (By Others)
IR	Iron Rod	AP Parcel	Assessor's Plat & Parcel Reference		Perimeter Wetland Edge
DH	Drill Hole	LE Vol	Land Evidence Volume		100 Foot Riverbank Wetland
	Soil Evaluation/Ground Water Test Pipe	Pg	Page		200 Foot Riverbank Wetland
WL 15A	Wetland Flag Identification		Wetland Feature		Proposed Location Erosion Control Measures
acs.	Acres				
sf	Square Feet				

In the Context of Curves:
A = Central Angle
R = Radius
T = Tangent
L = Arc Length
C = Long Chord

PROJECT APPLICANT
MCINTOSH REAL ESTATE LLC
22 OLD MOUNTAIN ROAD
WYOMING, RI 02898

PROPERTY OWNER
WILLIAM E. MCINTOSH, IV
TWO MORNING ROAD
WEST KINGSTON, RI 02892

CONTACT PERSON:
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617-513-0278

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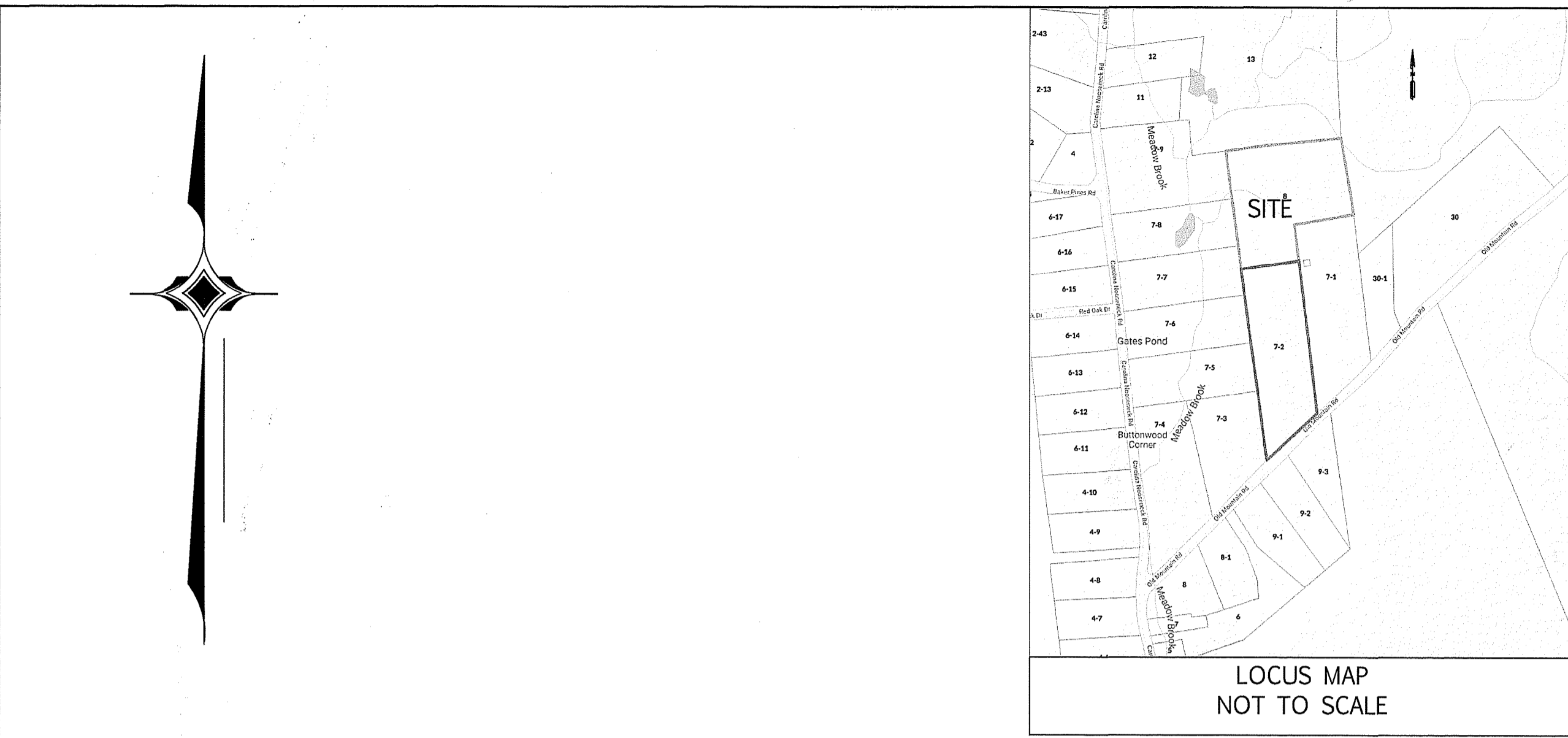
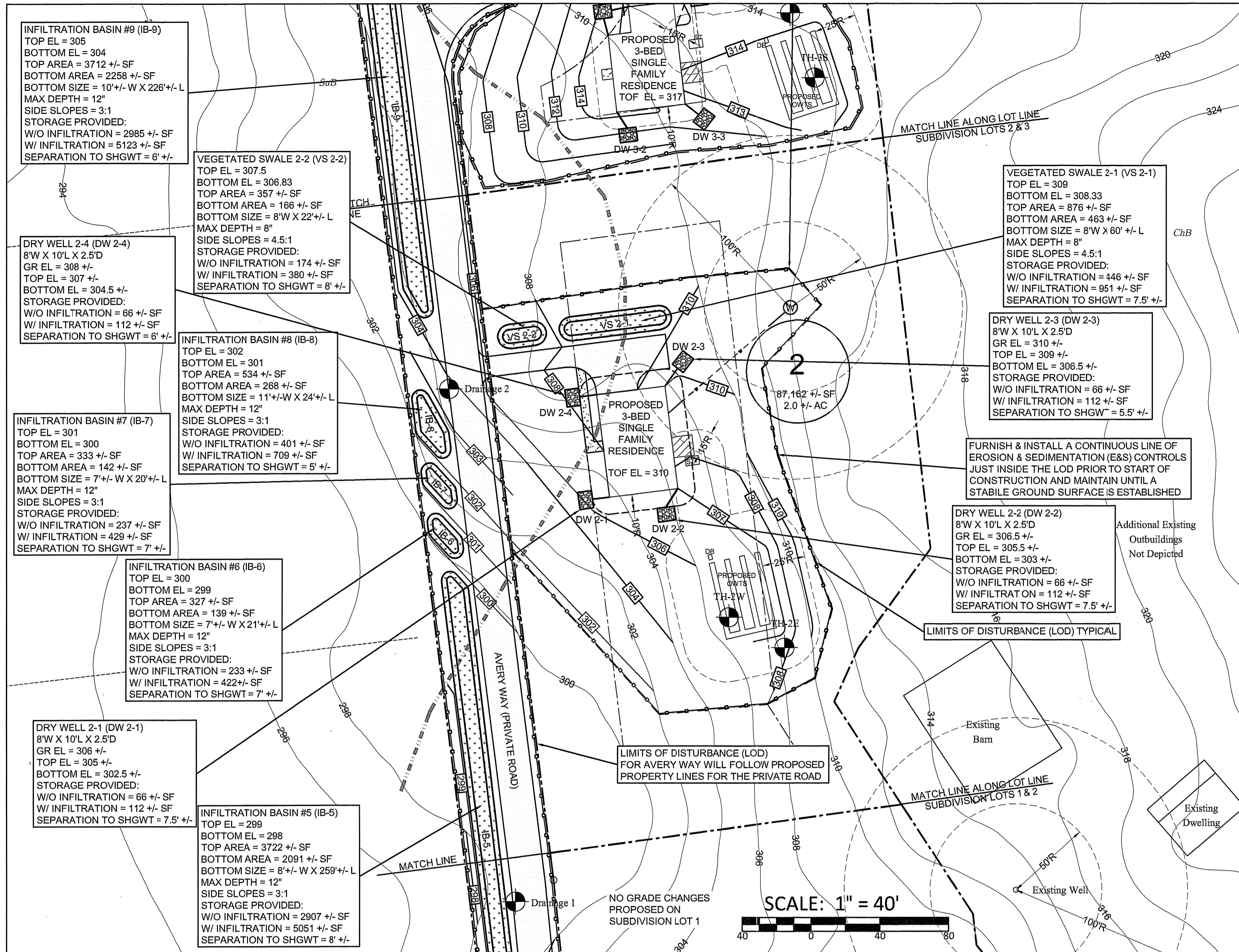
LOT 1 DRAINAGE, GRADING & EROSION CONTROLS PLAN

McIntosh Farm

ASSESSOR'S PLAT 3C / PARCELS 7-2 & 8
22 OLD MOUNTAIN ROAD
RICHMOND, RHODE ISLAND

DATE: OCTOBER 2020
REVISED FEBRUARY 2021

SHEET: S - 2
SHEET 13 OF 21



EXISTING	DESCRIPTION	PROPOSED
[Symbol]	SINGLE FAMILY HOUSE	[Symbol]
[Symbol]	DRIVING SURFACE	[Symbol]
[Symbol]	WALK	[Symbol]
[Symbol]	DECK	[Symbol]
[Symbol]	DRY WELL FOR ROOF RUNOFF	DW [Symbol]
[Symbol]	VEGETATED SWALE FOR DRIVE RUNOFF	VS [Symbol]
[Symbol]	INFILTRATION BASIN FOR ROADWAY RUNOFF	IB [Symbol]
[Symbol]	OWTS LEACH FIELD	[Symbol]
[Symbol]	PRIVATE WELL	[Symbol]
[Symbol]	PROPERTY LINE	[Symbol]
[Symbol]	ZONING SETBACK LINE	[Symbol]
[Symbol]	FLOOD ZONE DELINEATION	[Symbol]
[Symbol]	CONTOUR ELEVATION	[Symbol]
100' RBW	RIVERBANK WETLAND	[Symbol]
50' PW	PERIMETER WETLAND	[Symbol]
[Symbol]	SOIL EVALUATION/TEST HOLE	[Symbol]
[Symbol]	SEPTIC TANK	[ST]
[Symbol]	OWTS DISTRIBUTION BOX	[DB]
FWE	FLAGGED WETLAND EDGE	[Symbol]
[Symbol]	TOP OF FOUNDATION ELEVATION	TOP EL 00
WL/B00	WETLAND FLAG	[Symbol]
[Symbol]	SUBDIVISION LOT # WITH AREA	[Symbol]
[Symbol]	LIMITS OF DISTURBANCE	[Symbol]
[Symbol]	EROSION & SEDIMENTATION CONTROLS	[Symbol]

- PROJECT NOTES**
- REFER TO PLAN SHEET 5 FOR ADMINISTRATIVE SUBDIVISION DETAILS RELATED TO MERGING OF EXISTING PARCELS 7-2 & 8 AND PROPERTY LINE ADJUSTMENTS BETWEEN PARCELS 7-1 & 7-2.
 - PROPERTY LINES SHOWN ON PLAN SHEETS LS-1 THROUGH LS-5, S-1 THROUGH S-5, AND PP-1 ILLUSTRATE RESULTING FINAL PROPERTY LINES FOLLOWING ADMINISTRATIVE SUBDIVISION.
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- PLAN NOTES**
- THIS PLAN SHEET PROVIDED FOR DETAILED DRAINAGE, GRADING & EROSION CONTROLS INFORMATION OF SUBDIVISION LOT 2.
 - REFER TO PLAN SHEETS 1 THROUGH 4 FOR EXISTING CONDITIONS AND SURVEY INFORMATION.
 - REFER TO PLAN SHEET 5 FOR ADMINISTRATIVE SUBDIVISION.
 - REFER TO PLAN SHEETS LS-1 THROUGH LS-5 FOR LAYOUT INFORMATION.
 - REFER TO PLAN SHEET S-1 FOR GENERAL DRAINAGE, GRADING & EROSION CONTROLS INFORMATION.
 - REFER TO PLAN SHEETS S-3 THROUGH S-5 FOR DETAILED DRAINAGE, GRADING & EROSION CONTROLS INFORMATION OF OTHER SUBDIVISION LOTS AND AVERY WAY.
 - REFER TO PLAN SHEET PP-1 FOR AVERY WAY PLAN & PROFILE.
 - REFER TO PLAN SHEETS ND-1 THROUGH ND-4 FOR NOTES & DETAILS.

SURVEY LEGEND

P	Referenced Plan Measurement	Set	Survey Monumentation Placed by Alfred W. DiOrto, RLS, Inc.	M/L	More or Less
C	Calculated Measurement			N/F	Now or Formerly
M	Measured Direct	Exist.	Survey Monumentation Recovered and Utilized by Alfred W. DiOrto, RLS, Inc.	100'	Existing Contour
S	Scaled Measurement			100'	Proposed Contour
D	Referenced Deed Measurement		Stone Wall	100'	Existing Spot Location
AG	Above Grade	AWD	Alfred W. DiOrto, RLS, Inc.	g/b	
BG	Below Grade	PC	Point of Curvature	Pole 53	Existing Utility Pole Location
IP	Iron Pipe	PT	Point of Tangency		
IR	Iron Rod	AP Parcel	Assessor's Plat & Parcel Reference		Existing Overhead Utility Lines
DH	Drill Hole	LE Vol	Land Evidence Volume		Delineated Wetland Edge (By Others)
⊕	Soil Evaluation/Ground Water Test Pipe	Pg	Page		Perimeter Wetland Edge
WL 15A	Wetland Flag Identification	Wetland Feature			100 Foot Riverbank Wetland
acs.	Acres				200 Foot Riverbank Wetland
sf	Square Feet				Proposed Location Erosion Control Measures

In the Context of Curves:
 A= Central Angle
 R= Radius
 T= Tangent
 L= Arc Length
 C= Long Chord

PROJECT APPLICANT
 MCINTOSH REAL ESTATE LLC
 22 OLD MOUNTAIN ROAD
 WYOMING, RI 02898

PROPERTY OWNER
 WILLIAM E. MCINTOSH, IV
 TWO MORNING ROAD
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 JFK@KENYONLAWYERS.COM

LOT 2 DRAINAGE, GRADING & EROSION CONTROLS PLAN

McIntosh Farm
 ASSESSOR'S PLAT 3C / PARCELS 7-2 & 8
 22 OLD MOUNTAIN ROAD
 RICHMOND, RHODE ISLAND

W Walker Engineering, Ltd.
 31 Vale Court
 West Greenwich, RI 02817
 Phone / Fax (401) 397-8745
 Email: wet31.pw@gmail.com

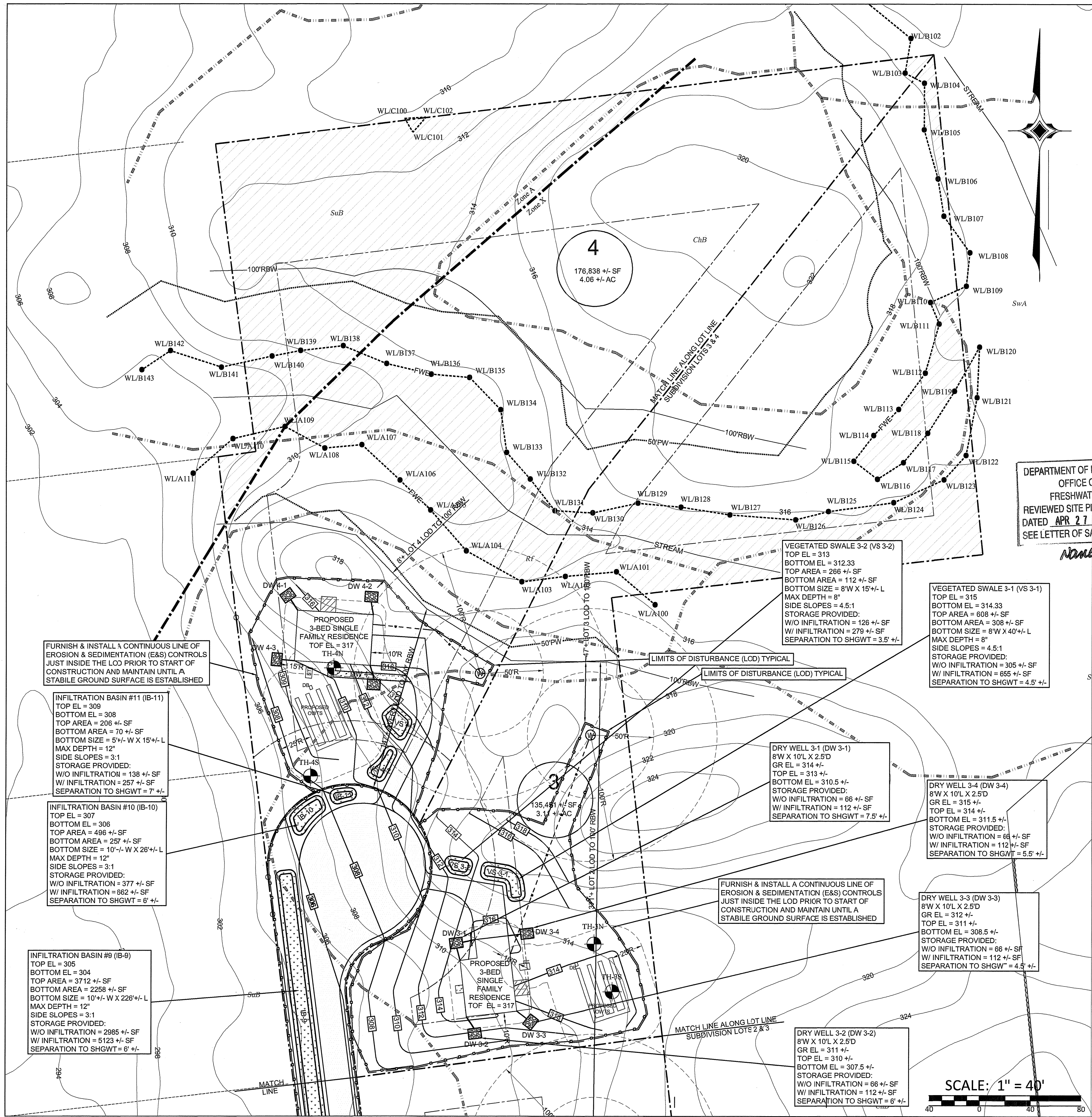
REVISIONS

DATE	DESCRIPTION
FEB 2021	RIDEM WETLANDS COMMENTS, BOUNDARY LINE BY SURVEY

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 REVIEWED SITE PLAN APPLICATION NO.: 20-0257
 DATED APR 27 2021
 SEE LETTER OF SAME DATE.

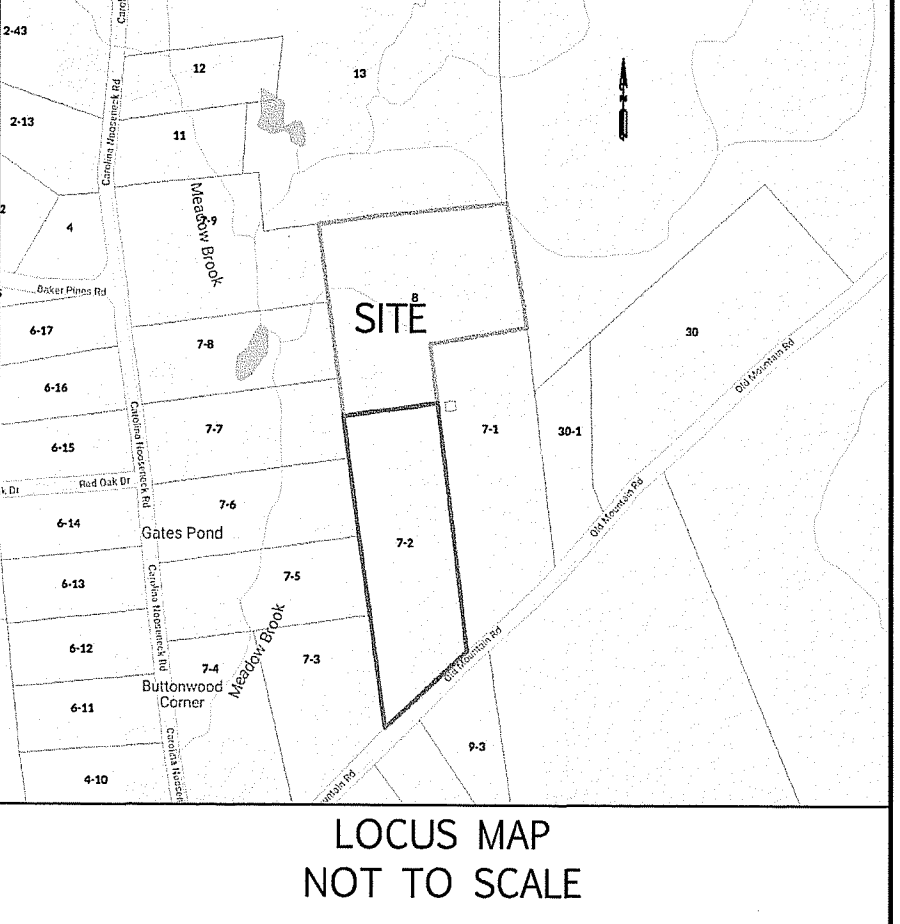
DATE: OCTOBER 2020
REVISED: FEBRUARY 2021

SHEET: S - 3
SHEET 14 OF 21



PROJECT NOTES

- REFER TO PLAN SHEET 5 FOR ADMINISTRATIVE SUBDIVISION DETAILS RELATED TO MERGING OF EXISTING PARCELS 7-2 & 8 AND PROPERTY LINE ADJUSTMENTS BETWEEN PARCELS 7-1 & 7-2.
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EXISTING	DESCRIPTION	PROPOSED
[Symbol]	SINGLE FAMILY HOUSE	[Symbol]
[Symbol]	DRIVING SURFACE	[Symbol]
[Symbol]	WALK	[Symbol]
[Symbol]	DECK	[Symbol]
[Symbol]	DRY WELL FOR ROOF RUNOFF	DW [Symbol]
[Symbol]	VEGETATED SWALE FOR DRIVE RUNOFF	VS [Symbol]
[Symbol]	INFILTRATION BASIN FOR ROADWAY RUNOFF	IB [Symbol]
[Symbol]	OWTS LEACH FIELD	[Symbol]
[Symbol]	PRIVATE WELL	[Symbol]
[Symbol]	PROPERTY LINE	[Symbol]
[Symbol]	ZONING SETBACK LINE	[Symbol]
[Symbol]	FLOOD ZONE DELINEATION	[Symbol] ZONE
[Symbol]	CONTOUR ELEVATION	[Symbol] 00
[Symbol]	RIVERBANK WETLAND	[Symbol]
[Symbol]	PERIMETER WETLAND	[Symbol]
[Symbol]	SOIL EVALUATION/TEST HOLE	[Symbol]
[Symbol]	SEPTIC TANK	[Symbol] ST
[Symbol]	OWTS DISTRIBUTION BOX	[Symbol] DB
[Symbol]	FLAGGED WETLAND EDGE	[Symbol]
[Symbol]	TOP OF FOUNDATION ELEVATION	TOF EL 00
[Symbol]	WETLAND FLAG	[Symbol]
[Symbol]	SUBDIVISION LOT # WITH AREA	[Symbol]
[Symbol]	LIMITS OF DISTURBANCE	[Symbol]
[Symbol]	EROSION & SEDIMENTATION CONTROLS	[Symbol]

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
REVISED SITE PLAN APPLICATION NO. 20-0259
DATED APR 27 2021
SEE LETTER OF SAME DATE.

Nancy L. Freeman

FURNISH & INSTALL A CONTINUOUS LINE OF EROSION & SEDIMENTATION (E&S) CONTROLS JUST INSIDE THE LOD PRIOR TO START OF CONSTRUCTION AND MAINTAIN UNTIL A STABLE GROUND SURFACE IS ESTABLISHED

INFILTRATION BASIN #11 (IB-11)
TOP EL = 309
BOTTOM EL = 308
TOP AREA = 206 +/- SF
BOTTOM AREA = 70 +/- SF
BOTTOM SIZE = 5' +/- W X 15' +/- L
MAX DEPTH = 12"
SIDE SLOPES = 3:1
STORAGE PROVIDED:
W/O INFILTRATION = 138 +/- SF
W/ INFILTRATION = 257 +/- SF
SEPARATION TO SHGWT = 7' +/-

INFILTRATION BASIN #10 (IB-10)
TOP EL = 307
BOTTOM EL = 306
TOP AREA = 496 +/- SF
BOTTOM AREA = 257 +/- SF
BOTTOM SIZE = 10' +/- W X 26' +/- L
MAX DEPTH = 12"
SIDE SLOPES = 3:1
STORAGE PROVIDED:
W/O INFILTRATION = 377 +/- SF
W/ INFILTRATION = 662 +/- SF
SEPARATION TO SHGWT = 6' +/-

INFILTRATION BASIN #9 (IB-9)
TOP EL = 305
BOTTOM EL = 304
TOP AREA = 3712 +/- SF
BOTTOM AREA = 2258 +/- SF
BOTTOM SIZE = 10' +/- W X 226' +/- L
MAX DEPTH = 12"
SIDE SLOPES = 3:1
STORAGE PROVIDED:
W/O INFILTRATION = 2985 +/- SF
W/ INFILTRATION = 5123 +/- SF
SEPARATION TO SHGWT = 6' +/-

VEGETATED SWALE 3-2 (VS 3-2)
TOP EL = 313
BOTTOM EL = 312.33
TOP AREA = 286 +/- SF
BOTTOM AREA = 112 +/- SF
BOTTOM SIZE = 8' W X 15' +/- L
MAX DEPTH = 8"
SIDE SLOPES = 4.5:1
STORAGE PROVIDED:
W/O INFILTRATION = 126 +/- SF
W/ INFILTRATION = 279 +/- SF
SEPARATION TO SHGWT = 3.5' +/-

VEGETATED SWALE 3-1 (VS 3-1)
TOP EL = 315
BOTTOM EL = 314.33
TOP AREA = 608 +/- SF
BOTTOM AREA = 308 +/- SF
BOTTOM SIZE = 8' W X 40' +/- L
MAX DEPTH = 8"
SIDE SLOPES = 4.5:1
STORAGE PROVIDED:
W/O INFILTRATION = 305 +/- SF
W/ INFILTRATION = 655 +/- SF
SEPARATION TO SHGWT = 4.5' +/-

DRY WELL 3-1 (DW 3-1)
8' W X 10' L X 2.5' D
GR EL = 314 +/-
TOP EL = 313 +/-
BOTTOM EL = 310.5 +/-
STORAGE PROVIDED:
W/O INFILTRATION = 66 +/- SF
W/ INFILTRATION = 112 +/- SF
SEPARATION TO SHGWT = 7.5' +/-

DRY WELL 3-4 (DW 3-4)
8' W X 10' L X 2.5' D
GR EL = 315 +/-
TOP EL = 314 +/-
BOTTOM EL = 311.5 +/-
STORAGE PROVIDED:
W/O INFILTRATION = 66 +/- SF
W/ INFILTRATION = 112 +/- SF
SEPARATION TO SHGWT = 5.5' +/-

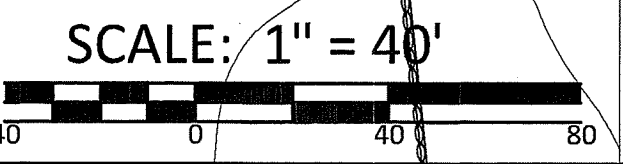
DRY WELL 3-3 (DW 3-3)
8' W X 10' L X 2.5' D
GR EL = 312 +/-
TOP EL = 311 +/-
BOTTOM EL = 308.5 +/-
STORAGE PROVIDED:
W/O INFILTRATION = 66 +/- SF
W/ INFILTRATION = 112 +/- SF
SEPARATION TO SHGWT = 4.5' +/-

DRY WELL 3-2 (DW 3-2)
8' W X 10' L X 2.5' D
GR EL = 311 +/-
TOP EL = 310 +/-
BOTTOM EL = 307.5 +/-
STORAGE PROVIDED:
W/O INFILTRATION = 66 +/- SF
W/ INFILTRATION = 112 +/- SF
SEPARATION TO SHGWT = 6' +/-

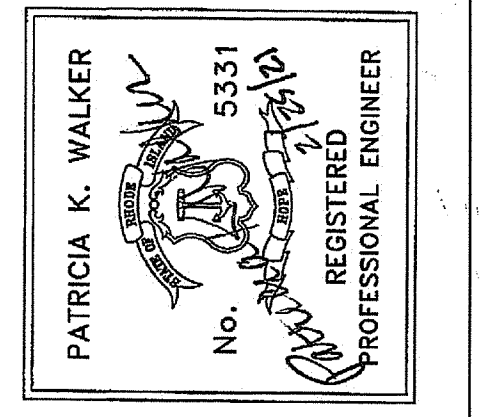
SURVEY LEGEND		More or Less	
P	Referenced Plan Measurement	Set	Survey Monumentation Placed by Alfred W. DiOrio, RLS, Inc.
C	Calculated Measurement	Exist.	Survey Monumentation Recovered and Utilized by Alfred W. DiOrio, RLS, Inc.
M	Measured Direct	100	Existing Contour
S	Scaled Measurement	g/ft	Proposed Contour
D	Referenced Deed Measurement	Stone Wall	Existing Spot Location
AG	Above Grade	AWD	Alfred W. DiOrio, RLS, Inc.
BG	Below Grade	PC	Point of Curvature
IP	Iron Pipe	PT	Point of Tangency
IR	Iron Rod	AP Parcel	Assessor's Plat & Parcel Reference
DH	Drill Hole	LE Vol	Land Evidence Volume
WL 15A	Wetland Flag Identification	Pg	Page
ac.	Acres	Wetland Feature	
sf	Square Feet		
911	Emergency 911 Numbering		
35			
		In the Context of Curves:	
		A =	Central Angle
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		M/L	More or Less
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		100	Existing Contour
		g/ft	Proposed Contour
		100.00	Existing Spot Location
		Pole 53	Existing Utility Pole Location
		---	Existing Overhead Utility Lines
		---	Delineated Wetland Edge (By Others)
		---	Perimeter Wetland Edge
		---	100 Foot Riverbank Wetland
		---	200 Foot Riverbank Wetland
		---	Proposed Location Erosion Control Measures

PLAN NOTES

- THIS PLAN SHEET PROVIDED FOR DETAILED DRAINAGE, GRADING & EROSIONS CONTROLS INFORMATION OF SUBDIVISION LOT 3
- REFER TO PLAN SHEETS 1 THROUGH 4 FOR EXISTING CONDITIONS AND SURVEY INFORMATION
- REFER TO PLAN SHEET 5 FOR ADMINISTRATIVE SUBDIVISION
- REFER TO PLAN SHEETS LS-1 THROUGH LS-5 FOR LAYOUT INFORMATION
- REFER TO PLAN SHEET S-1 FOR GENERAL DRAINAGE, GRADING & EROSION CONTROLS INFORMATION
- REFER TO PLAN SHEETS S-2, S-4, AND S-5 FOR DETAILED DRAINAGE, GRADING & EROSION CONTROLS INFORMATION OF OTHER SUBDIVISION LOTS AND EVERY WAY
- REFER TO PLAN SHEET PP-1 FOR AVERY WAY PLAN & PROFILE
- REFER TO PLAN SHEETS ND-1 THROUGH ND-4 FOR NOTES & DETAILS



REVISIONS	DATE	DESCRIPTION
	FEB 2021	RIDEM WETLANDS COMMENTS, BOUNDARY LINE BY SURVEY



Walker Engineering, Ltd.
31 Vale Court
West Greenwich, RI 02817
Phone / Fax (401) 397-9745
Email: wel31.pw@gmail.com

McIntosh Farm
ASSESSOR'S PLAT 3C / PARCELS 7-2 & 8
22 OLD MOUNTAIN ROAD
RICHMOND, RHODE ISLAND

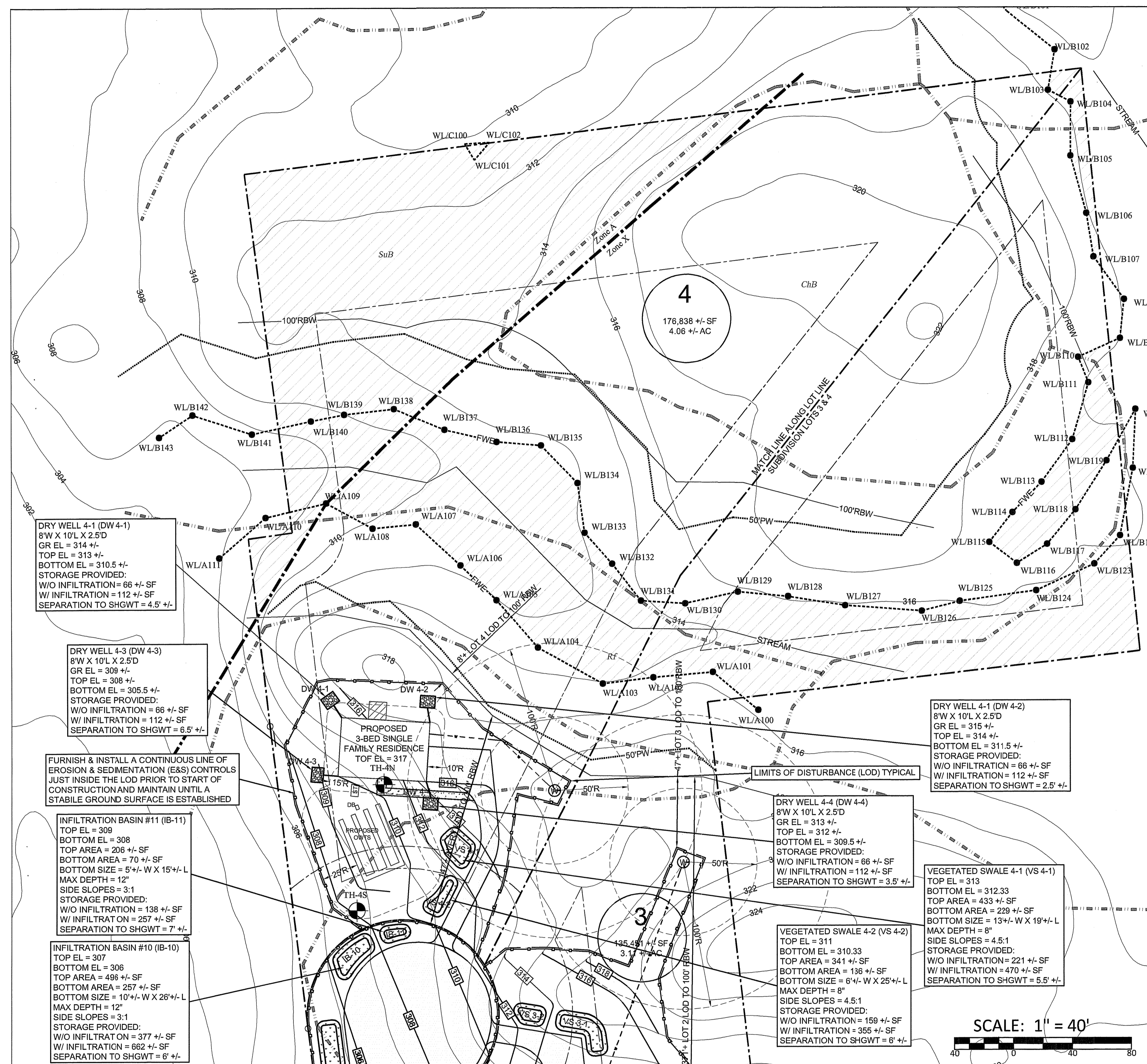
LOT 3 DRAINAGE, GRADING & EROSION CONTROLS PLAN
DATE: OCTOBER 2020
REVISED FEBRUARY 2021
SHEET: S - 4
SHEET 15 OF 21

PROJECT APPLICANT:
MCINTOSH REAL ESTATE LLC
22 OLD MOUNTAIN ROAD
WYOMING, RI 02898

PROPERTY OWNER:
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DRY WELL 4-1 (DW 4-1)
 8'W X 10'L X 2.5'D
 GR EL = 314 +/-
 TOP EL = 313 +/-
 BOTTOM EL = 310.5 +/-
 STORAGE PROVIDED:
 W/O INFILTRATION = 66 +/- SF
 W/ INFILTRATION = 112 +/- SF
 SEPARATION TO SHGWT = 4.5' +/-

DRY WELL 4-3 (DW 4-3)
 8'W X 10'L X 2.5'D
 GR EL = 309 +/-
 TOP EL = 308 +/-
 BOTTOM EL = 305.5 +/-
 STORAGE PROVIDED:
 W/O INFILTRATION = 66 +/- SF
 W/ INFILTRATION = 112 +/- SF
 SEPARATION TO SHGWT = 6.5' +/-

FURNISH & INSTALL A CONTINUOUS LINE OF EROSION & SEDIMENTATION (E&S) CONTROLS JUST INSIDE THE LOD PRIOR TO START OF CONSTRUCTION AND MAINTAIN UNTIL A STABLE GROUND SURFACE IS ESTABLISHED

INFILTRATION BASIN #11 (IB-11)
 TOP EL = 308
 BOTTOM EL = 308
 TOP AREA = 206 +/- SF
 BOTTOM AREA = 70 +/- SF
 BOTTOM SIZE = 5' +/- W X 15' +/- L
 MAX DEPTH = 12"
 SIDE SLOPES = 3:1
 STORAGE PROVIDED:
 W/O INFILTRATION = 138 +/- SF
 W/ INFILTRATION = 257 +/- SF
 SEPARATION TO SHGWT = 7' +/-

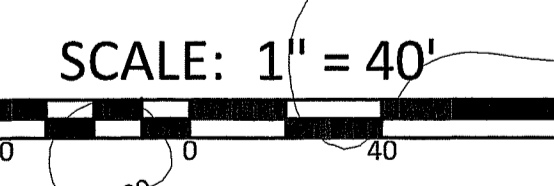
INFILTRATION BASIN #10 (IB-10)
 TOP EL = 307
 BOTTOM EL = 306
 TOP AREA = 496 +/- SF
 BOTTOM AREA = 257 +/- SF
 BOTTOM SIZE = 10' +/- W X 28' +/- L
 MAX DEPTH = 12"
 SIDE SLOPES = 3:1
 STORAGE PROVIDED:
 W/O INFILTRATION = 377 +/- SF
 W/ INFILTRATION = 662 +/- SF
 SEPARATION TO SHGWT = 6' +/-

DRY WELL 4-4 (DW 4-4)
 8'W X 10'L X 2.5'D
 GR EL = 313 +/-
 TOP EL = 312 +/-
 BOTTOM EL = 309.5 +/-
 STORAGE PROVIDED:
 W/O INFILTRATION = 66 +/- SF
 W/ INFILTRATION = 112 +/- SF
 SEPARATION TO SHGWT = 3.5' +/-

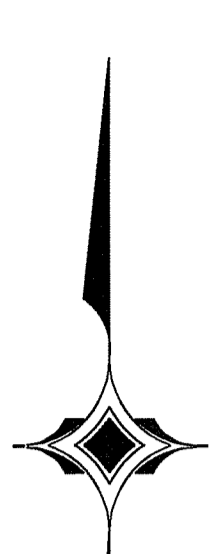
VEGETATED SWALE 4-1 (VS 4-1)
 TOP EL = 313
 BOTTOM EL = 312.33
 TOP AREA = 433 +/- SF
 BOTTOM AREA = 229 +/- SF
 BOTTOM SIZE = 13' +/- W X 19' +/- L
 MAX DEPTH = 8"
 SIDE SLOPES = 4.5:1
 STORAGE PROVIDED:
 W/O INFILTRATION = 221 +/- SF
 W/ INFILTRATION = 470 +/- SF
 SEPARATION TO SHGWT = 5.5' +/-

VEGETATED SWALE 4-2 (VS 4-2)
 TOP EL = 311
 BOTTOM EL = 310.33
 TOP AREA = 341 +/- SF
 BOTTOM AREA = 136 +/- SF
 BOTTOM SIZE = 6' +/- W X 25' +/- L
 MAX DEPTH = 8"
 SIDE SLOPES = 4.5:1
 STORAGE PROVIDED:
 W/O INFILTRATION = 159 +/- SF
 W/ INFILTRATION = 355 +/- SF
 SEPARATION TO SHGWT = 6' +/-

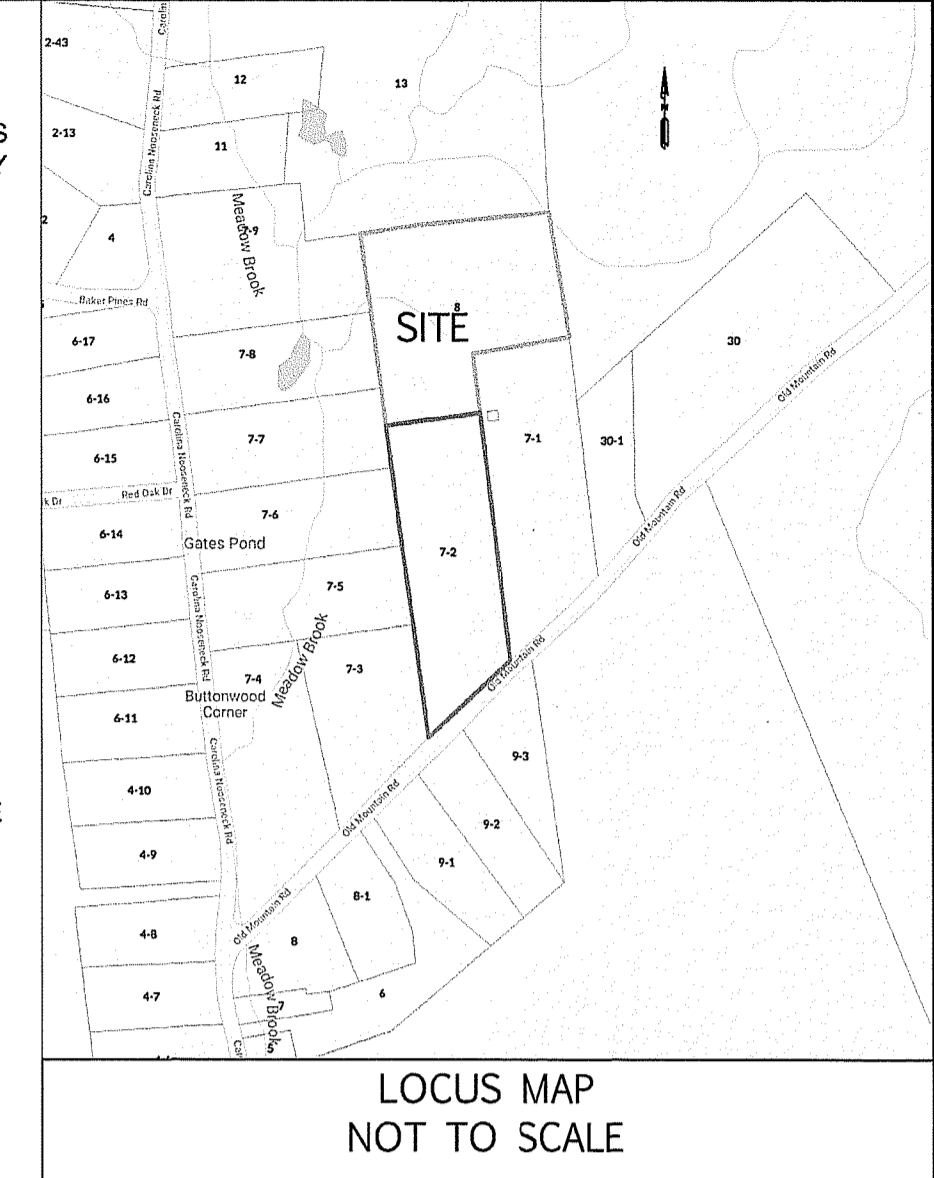
DRY WELL 4-2 (DW 4-2)
 8'W X 10'L X 2.5'D
 GR EL = 315 +/-
 TOP EL = 314 +/-
 BOTTOM EL = 311.5 +/-
 STORAGE PROVIDED:
 W/O INFILTRATION = 66 +/- SF
 W/ INFILTRATION = 112 +/- SF
 SEPARATION TO SHGWT = 2.5' +/-



- PLAN NOTES**
- THIS PLAN SHEET PROVIDED FOR DETAILED DRAINAGE, GRADING & EROSION CONTROLS INFORMATION OF SUBDIVISION LOT 4
 - REFER TO PLAN SHEETS 1 THROUGH 4 FOR EXISTING CONDITIONS AND SURVEY INFORMATION
 - REFER TO PLAN SHEET 5 FOR ADMINISTRATIVE SUBDIVISION
 - REFER TO PLAN SHEETS LS-1 THROUGH LS-5 FOR LAYOUT INFORMATION
 - REFER TO PLAN SHEET S-1 FOR GENERAL DRAINAGE, GRADING AND EROSION CONTROLS INFORMATION
 - REFER TO PLAN SHEETS S-2 THROUGH S-4 FOR DETAILED DRAINAGE, GRADING & EROSION CONTROLS INFORMATION OF OTHER SUBDIVISION LOTS AND AVERY WAY
 - REFER TO PLAN SHEET PP-1 FOR AVERY WAY PLAN & PROFILE
 - REFER TO PLAN SHEETS ND-1 THROUGH ND-4 FOR NOTES & DETAILS



- PROJECT NOTES**
- REFER TO PLAN SHEET 5 FOR ADMINISTRATIVE SUBDIVISION DETAILS RELATED TO MERGING OF EXISTING PARCELS 7-2 & 8 AND PROPERTY LINE ADJUSTMENTS BETWEEN PARCELS 7-1 & 7-2.
 - PROPERTY LINES SHOWN ON PLAN SHEETS LS-1 THROUGH LS-5, S-1 THROUGH S-5, AND PP-1 ILLUSTRATE RESULTING FINAL PROPERTY LINES FOLLOWING ADMINISTRATIVE SUBDIVISION.
 - EXISTING TOPOGRAPHY AND CONDITIONS PROVIDED BY PROJECT SURVEYOR PROVIDED ON PLAN SHEETS 1 THROUGH 4.
 - SUBDIVISION LOT 1 SHALL CONTAIN THE EXISTING SINGLE FAMILY RESIDENCE AND ASSOCIATED AMENITIES
 - SUBDIVISION LOTS 2, 3, AND 4 SHALL CONTAIN A 3-BEDROOM SINGLE FAMILY RESIDENCE WITH ASSOCIATED AMENITIES INCLUDING 2-CAR GARAGE, PRIVATE WELL, OWTS, DRIVE AND WALK AREAS, AND DECK
 - AVERY WAY IS A PRIVATE ROAD PROVIDING ACCESS FOR SUBDIVISION LOTS 2, 3 AND 4
 - DRY WELLS TO BE PROVIDED TO ADDRESS ROOF RUNOFF ONLY
 - VEGETATED SWALES TO BE PROVIDED TO ADDRESS DRIVE RUNOFF FOR EACH LOT
 - INFILTRATION BASINS TO BE PROVIDED ALONG THE SIDE THE ROADWAY SURFACE TO ADDRESS RUNOFF
 - PLAN SHEETS LS-1 THROUGH LS-5 SHALL SERVE AS THE REQUIRED YIELD PLAN PER SUBDIVISION REGULATIONS SECTION 3.3 SINCE THE PROJECT IS DESIGNED AS A CONVENTIONAL SUBDIVISION.
 - COMMENTS RECEIVED DURING THE TOWN OF RICHMOND'S PRE-APPLICATION REVIEW PHASE HAVE BEEN INCORPORATED, AS APPLICABLE, IN THIS PLAN SET.



LEGEND		
EXISTING	DESCRIPTION	PROPOSED
[Symbol]	SINGLE FAMILY HOUSE	[Symbol]
[Symbol]	DRIVING SURFACE	[Symbol]
[Symbol]	WALK	[Symbol]
[Symbol]	DECK	[Symbol]
[Symbol]	DRY WELL FOR ROOF RUNOFF	DW [Symbol]
[Symbol]	VEGETATED SWALE FOR DRIVE RUNOFF	VS [Symbol]
[Symbol]	INFILTRATION BASIN FOR ROADWAY RUNOFF	IB [Symbol]
[Symbol]	OWTS LEACH FIELD	[Symbol]
[Symbol]	PRIVATE WELL	[Symbol]
[Symbol]	PROPERTY LINE	[Symbol]
[Symbol]	ZONING SETBACK LINE	[Symbol]
[Symbol]	FLOOD ZONE DELINEATION	[Symbol]
[Symbol]	CONTOUR ELEVATION	[Symbol]
[Symbol]	RIVERBANK WETLAND	[Symbol]
[Symbol]	PERIMETER WETLAND	[Symbol]
[Symbol]	SOIL EVALUATION/TEST HOLE	[Symbol]
[Symbol]	SEPTIC TANK	[Symbol]
[Symbol]	OWTS DISTRIBUTION BOX	[Symbol]
[Symbol]	FLAGGED WETLAND EDGE	[Symbol]
[Symbol]	TOP OF FOUNDATION ELEVATION	TOF EL 00
[Symbol]	WETLAND FLAG	[Symbol]
[Symbol]	SUBDIVISION LOT # WITH AREA	[Symbol]
[Symbol]	LIMITS OF DISTURBANCE	[Symbol]
[Symbol]	EROSION & SEDIMENTATION CONTROLS	[Symbol]

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 REVIEWED SITE PLAN APPLICATION NO. 20-0229
 DATED APR 27 2021
Nancy L. Palermo

REVISIONS	
DATE	DESCRIPTION
FEB 2021	RIDEM WETLANDS COMMENTS, BOUNDARY LINE BY SURVEY

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 REGISTERED
 PROFESSIONAL ENGINEER

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LOT 4 DRAINAGE, GRADING & EROSION CONTROLS PLAN
McIntosh Farm
 ASSESSOR'S PLAT 3C / PARCELS 7-2 & 8
 22 OLD MOUNTAIN ROAD
 RICHMOND, RHODE ISLAND

PROJECT APPLICANT
 MCINTOSH REAL ESTATE LLC
 22 OLD MOUNTAIN ROAD
 WYOMING, RI 02898

PROPERTY OWNER
 WILLIAM E. MCINTOSH, IV
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DATE: OCTOBER 2020
 REVISED FEBRUARY 2021

SHEET: S - 5
 SHEET 16 OF 21

SURVEY LEGEND

P	Referenced Plan Measurement	Set	Survey Monumentation Placed by Alfred W. DiOrto, RLS, Inc.	M/L	More or Less
C	Calculated Measurement			N/F	Now or Formerly
M	Measured Direct	Exist.	Survey Monumentation Recovered and Utilized by Alfred W. DiOrto, RLS, Inc.	100'	Existing Contour
S	Scaled Measurement			[Symbol]	Proposed Contour
D	Referenced Deed Measurement		Stone Wall	[Symbol]	Existing Spot Location
AG	Above Grade	AWD	Alfred W. DiOrto, RLS, Inc.	[Symbol]	100.00'
BG	Below Grade	PC	Point of Curvature	Pole 53	Existing Utility Pole Location
IP	Iron Pipe	PT	Point of Tangency		
IR	Iron Rod	AP Parcel	Assessor's Plat & Parcel Reference		Existing Overhead Utility Lines
DH	Drill Hole	LE Vol	Land Evidence Volume		Delineated Wetland Edge (By Others)
[Symbol]	Soil Evaluation/Ground Water Test Pipe	Pg	Page		Perimeter Wetland Edge
WL 15A	Wetland Flag Identification	[Symbol]	Wetland Feature		100 Foot Riverbank Wetland
acs.	Acres				200 Foot Riverbank Wetland
sf	Square Feet				Proposed Location Erosion Control Measures

In the Context of Curves:
 A= Central Angle
 R= Radius
 T= Tangent
 L= Arc Length
 C= Long Chord

[Symbol] Emergency 911 Numbering

ORDER OF PROCEDURE

1. PRIOR TO COMMENCING OPERATIONS, THE APPROVED LIMITS OF DISTURBANCE (VEGETATIVE CLEARING AND SOIL DISTURBANCE) SHALL BE LOCATED AND FLAGGED IN THE FIELD BY THE PROJECT SURVEYOR. SAID FLAGGING SHALL BE TEMPORARY, HIGH-VISIBILITY MARKINGS.
2. PRIOR TO COMMENCING OPERATIONS, EROSION CONTROLS SHALL BE PLACED SO AS TO PREVENT SEDIMENT FROM ENTERING EXISTING AND PROPOSED DRAINAGE SYSTEMS AND WETLAND AREAS.
3. ALL SEDIMENTATION BARRIERS SHALL BE PROPERLY INSTALLED, AS APPLICABLE AND AS SHOWN ON THE PLANS AND AS MAY BE REQUIRED IN THE FIELD.
4. A CONTINUOUS SEDIMENTATION BARRIER SHALL BE INSTALLED WITHIN THE APPROVED LIMITS OF DISTURBANCE AS SHOWN ON THE PLANS PRIOR TO ANY SITE GRADING OR SOIL DISTURBANCE ACTIVITIES.
5. PRIOR TO GENERAL BUILDING CONSTRUCTION, TEMPORARY SEDIMENTATION BASINS SHALL BE CONSTRUCTED AS MAY BE REQUIRED TO RECEIVE AND CONTAIN CONSTRUCTION STORMWATER RUNOFF. SAID SEDIMENTATION BASINS SHALL BE CONSTRUCTED OUTSIDE OF ANY WETLAND OR ASSOCIATED PERIMETERS AS SITE CONDITIONS WARRANT.
6. ALL EROSION AND SEDIMENTATION CONTROL STRUCTURES SHALL BE PERIODICALLY MAINTAINED AS PER THE RESPECTIVE PROGRAMS DURING THE CONSTRUCTION.
7. DURING CONSTRUCTION PHASE, SITE STABILIZATION ACTIVITIES INCLUDING SEEDING AND EROSION & SEDIMENTATION CONTROL REPLACEMENT SHALL BE INITIATED ON SEPTEMBER 1 OF THE YEAR IN PREPARATION FOR SITE OVER WINTER PERIOD.
8. IF WORK PROGRESS IS TO BE INTERRUPTED AT ANY TIME, REFERENCE EROSION AND SEDIMENTATION PROGRAMS FOR TEMPORARY CONTROLS.
9. ALL EROSION AND SEDIMENTATION CONTROL STRUCTURES SHALL BE PERIODICALLY MAINTAINED AS PER THE RESPECTIVE PROGRAMS DURING THE CONSTRUCTION.
10. TEMPORARY EROSION AND SEDIMENTATION CONTROLS AND SANDBAGS ALONG AND AT THE ENDS OF THE ROADWAY MAY ALSO BE REMOVED AFTER FINAL SOIL STABILIZATION HAS BEEN ACHIEVED AND APPROVED.
11. TEMPORARY EROSION AND SEDIMENTATION CONTROLS AT THE DRAINAGE STRUCTURES MUST REMAIN UNTIL SUCH TIME THAT A DESIRABLE STAND OF GRASS OR GROUND COVER HAS BEEN ESTABLISHED AND THE PROJECT RECEIVES A FAVORABLE APPROVAL FOR FINAL ACCEPTANCE FROM THE ENGINEER.

PHASING AND GENERAL CONSTRUCTION SEQUENCE

IN ORDER TO FURTHER MINIMIZE SEDIMENT LOSS ON THE SITE, A GENERAL CONSTRUCTION SEQUENCE PLAN HAS BEEN DEVELOPED.

1. PRIOR TO CONDUCTING WORK ASSOCIATED WITH THIS PROJECT, THE CONTRACTOR SHALL BE REQUIRED TO OBTAIN ALL COPIES OF PERMIT APPLICATIONS AND APPROVALS THAT OUTLINE CONDITIONS GOVERNING THE PROPOSED WORK. THE CONTRACTOR WILL ALSO REVIEW THE DRAWINGS PREPARED FOR THE PROJECT.
2. THE CONTRACTOR WILL PLACE ALL EROSION AND SEDIMENTATION CONTROL SYSTEMS IN ACCORDANCE WITH THE DRAWINGS, OR AS MAY BE DICTATED BY SITE CONDITIONS. IN ORDER TO MAINTAIN THE INTENT OF THE SPECIFICATIONS AND PERMITS, DEFICIENCIES OR CHANGES ON THE DRAWINGS SHALL BE CORRECTED OR IMPLEMENTED AS SITE CONDITIONS CHANGE. CHANGES DURING CONSTRUCTION SHALL BE NOTED AND POSTED ON THE DRAWINGS (SITE PLANS).
3. THE INTENT IS TO DIRECT ALL WATER FROM DISTURBED AREAS THROUGH A SEDIMENTATION CONTROL PRIOR TO DISCHARGING TO RECEIVING DRAINAGE AREAS OR TO OFF-SITE WETLANDS. THERE SHALL BE NO DISCHARGE OF UNTREATED CONSTRUCTION RUNOFF FROM THIS SITE. THE CONTRACTOR SHALL CREATE SUFFICIENT HOLDING CAPACITY WITHIN THE TEMPORARY SEDIMENTATION BASINS TO HOLD ALL UNTREATED SITE RUNOFF.
4. THE CONTRACTOR SHALL MAINTAIN TEMPORARY EROSION AND SEDIMENTATION CONTROL SYSTEMS AS DICTATED BY SITE CONDITIONS, INDICATED IN THE CONSTRUCTION DOCUMENTS, OR AS DIRECTED BY GOVERNING AUTHORITIES OR OWNER TO CONTROL SEDIMENT UNTIL FINAL STABILIZATION.
5. THE CONTRACTOR SHALL RESPOND TO ANY MAINTENANCE OR ADDITIONAL WORK ORDERED BY OWNER OR GOVERNING AUTHORITIES IMMEDIATELY IF REQUIRED, AND ALWAYS WITHIN 7 DAYS.
6. THE CONTRACTOR SHALL INCORPORATE PERMANENT EROSION CONTROL FEATURES, PERMANENT SLOPE STABILIZATION, AND VEGETATION INTO THE PROJECT PLANS AT THE EARLIEST PRACTICAL TIME TO MINIMIZE THE NEED FOR TEMPORARY CONTROLS.
7. THE CONTRACTOR SHALL STABILIZE ALL DISTURBED AREAS WITHIN 7 CALENDAR DAYS. IN THE EVENT THAT IT IS NOT PRACTICAL TO SEED AREAS, SLOPES MUST BE STABILIZED WITH GEOTEXTILE FABRIC OR OTHER MEANS TO REDUCE THE EROSION POTENTIAL OF THE AREA.

TREATMENT OF EXISTING CONDITIONS

1. EXISTING VEGETATION SHALL BE PRESERVED TO THE GREATEST EXTENT POSSIBLE ALONG THE PERIMETER OF THE PROPERTY AND WITHIN THE LIMITS OF DISTURBANCE
2. VEGETATION SHALL BE SUPPLEMENTED WHERE SITE CONDITIONS WARRANT BY PROPOSED LANDSCAPING TO ENSURE ADEQUATE SCREENING BUFFERS ARE PROVIDED IN ACCORDANCE WITH TOWN OF RICHMOND REQUIREMENTS.
3. LANDSCAPING EVALUATIONS SHALL BE PERFORMED DURING CONSTRUCTION TO ENSURE THE TOWN'S LANDSCAPING REQUIREMENTS HAVE BEEN MET.

LIMITS OF DISTURBANCE NOTES:

1. PROPOSED LIMITS OF DISTURBANCE (LOD) SHOWN ILLUSTRATES AREA OF IMPACT OF CONSTRUCTION.
2. THE CONTINUOUS LINE OF EROSION CONTROLS (HAYBALES & SILT FENCE, RI STD. 9.3.0 OR STRAW WATTLES) SHALL BE LOCATED WITHIN THE LOD AS SITE CONDITIONS WARRANT AND AS SHOWN ON THE PLANS ON THE DOWNHILL SIDE OF THE LOD. ADDITIONAL EROSION CONTROLS SHALL BE INSTALLED AS SITE CONDITIONS WARRANT.
3. EXISTING VEGETATION WITHIN THE LOD SHALL BE MAINTAINED AND PROTECTED TO THE GREATEST EXTENT POSSIBLE DURING CONSTRUCTION.
4. AREAS DISTURBED DURING CONSTRUCTION, EXCLUDING THE DRIVES, STRUCTURES, AND DRAINAGE BASINS SHALL BE LANDSCAPED PER OWNER'S DIRECTIONS AND AT A MINIMUM BE LOAM & SEEDED.
5. ALL EROSION CONTROLS SHALL BE INSTALLED PRIOR TO CONSTRUCTION AND MAINTAINED UNTIL STABLE GROUND COVER IS ESTABLISHED
6. NO BOULDERS OR STUMPS SHALL BE BURIED ON SITE. EXISTING BOULDERS MAY BE UTILIZED FOR LANDSCAPING PURPOSES AS SITE CONDITIONS WARRANT.
7. CONSERVATION AREAS SHALL INCLUDE ALL LAND OUTSIDE THE LIMITS OF DISTURBANCE (LOD)

GENERAL WELL AND WATER NOTES

1. IT SHALL BE THE CONTRACTOR'S AND/OR OWNER'S SOLE RESPONSIBILITY TO OBTAIN ANY AND ALL PERMITS REQUIRED BY THE STATE OF RHODE ISLAND AND TOWN OF RICHMOND PRIOR TO COMMENCING ANY WORK.
2. THE CONTRACTOR SHALL COORDINATE ALL WORK WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL AGENCIES.
3. ALL WORK, MATERIALS, ETC. WILL BE IN ACCORDANCE WITH AWWA AND RI DEPARTMENT OF HEALTH (RIDOH) RULES, REGULATIONS, SPECIFICATIONS, AND DETAILS.
4. WATER PIPE SHALL BE IN ACCORDANCE WITH AWWA & RIDOH STANDARDS.
5. ALL INSTALLATION, JOINTS, CONSTRUCTION METHODS, AND MATERIALS SHALL BE ACCORDING TO MANUFACTURER'S RECOMMENDATIONS, AWWA STANDARDS, AND STATE AND GOVERNMENTAL REQUIREMENTS.
6. CONSTRUCTION SHALL INCLUDE ALL PIPE, JOINTS, BENDS, TEES, FITTINGS, TH RUST RESTRAINTS, GATE VALVES, GATE BOXES, SERVICE CONNECTIONS AND ALL MISCELLANEOUS ITEMS REQUIRED TO CONSTRUCT THE PROPOSED SYSTEM.
7. LEAKAGE TESTS AND DISINFECTING PIPES SHALL BE PERFORMED BY THE CONTRACTOR IN CONFORMANCE TO RIDOH REQUIREMENTS, AWWA RECOMMENDATIONS, RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL MANAGEMENT (RIDEM) REQUIREMENTS AND GOVERNMENTAL AGENCIES HAVING JURISDICTION.
8. ALL SYSTEM COMPONENTS AND CONSTRUCTION METHODS, SUCH AS GATE VALVE, PIPE, THRUST RESTRAINTS, FITTINGS, CASTINGS, ETC. SHALL BE AWWA, RIDOH, AND RIDEM APPROVED MATERIALS AND METHODS (AT THE TIME OF CONSTRUCTION).
9. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND VALIDATIONS OF STANDARDS AND SPECIFICATIONS AS REQUIRED BY TOWN AND STATE AGENCIES.
10. METHODS OF TRENCHING, BEDDING, INSTALLATION, BACKFILLING, TESTING AND CHLORINATING OF WATER FACILITIES SHALL CONFORM TO RIDOH, AWWA, RIDEM, STATE AND LOCAL REQUIREMENTS.
11. CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING AS-BUILT PLANS DETAILING LOCATION OF CONNECTIONS, TEES, AND VALVES AS REQUIRED BY AND IN CONFORMANCE WITH STATE AND TOWN REQUIREMENTS.
12. CHLORINATION OF WATER SYSTEM SHALL CONFORM TO RIDOH AND RIDEM REQUIREMENTS AND REGULATIONS AND SHALL NOT RESULT IN THE DISCHARGE OF CHLORINATED WATER TO ON-SITE WETLANDS AND WATERCOURSES.

GENERAL NOTES

1. IT SHALL BE THE CONTRACTOR'S AND/OR OWNER'S SOLE RESPONSIBILITY TO OBTAIN ANY AND ALL PERMITS REQUIRED BY THE STATE OF RHODE ISLAND AND TOWN OF RICHMOND PRIOR TO COMMENCING ANY WORK.
2. THE CONTRACTOR SHALL COORDINATE ALL WORK WITH THE TOWN PUBLIC WORKS AND ENGINEERING DEPARTMENTS.
3. IN ALL EXCAVATION AND PLACEMENT OF FILL, THE CONTRACTOR SHALL PERFORM THE WORK IN FULL COMPLIANCE WITH THE RI STANDARD SPECIFICATIONS.
4. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ANY AND ALL UNDERGROUND UTILITIES BEFORE EXCAVATION BEGINS BY CONTACTING "DIG SAFE" AND THE INDIVIDUAL UTILITY COMPANIES. EXCAVATION SHALL BE IN ACCORDANCE WITH ALL STATUTES, ORDINANCES, RULES AND REGULATIONS OF ANY TOWN, STATE, OR FEDERAL AGENCY THAT MAY BE APPLICABLE. ANY DAMAGE TO EXISTING UTILITIES SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
5. THE CONTRACTOR SHALL COORDINATE ALL UTILITY CONNECTIONS WITH THE APPROPRIATE UTILITY COMPANIES. ALL WORK, MATERIALS, AND CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE UTILITY COMPANY.
6. ALL WORK, MATERIALS, ETC. WILL BE IN ACCORDANCE WITH THE STATE OF RHODE ISLAND AND TOWN OF RICHMOND RULES, REGULATIONS, SPECIFICATIONS AND DETAILS.
7. ALL DISTURBED AREAS ARE TO BE PROTECTED AGAINST EROSION AND/OR SEDIMENTATION.
8. PRIVATE ROADWAYS SHALL GENERALLY CONFORM TO TOWN OF RICHMOND REQUIREMENTS. REFER TO DETAILS PROVIDED ON PLAN SHEET ND -1. PRIVATE ROADWAYS AND DRIVEWAYS SHALL BE A PREVIOUS SURFACE PER THE APPROVED MASTER PLAN CONDITIONS.
9. PERIMETER CONDITIONS AND DRAINAGE PATTERNS SHALL REMAIN UNCHANGED.
10. EMBANKMENT SLOPES ARE NOT TO EXCEED 3:1 AND SHALL BE FULLY COMPACTED TO PROVIDE A STABLE PRODUCT.
11. ALL EARTH FILL USED FOR EMBANKMENT CONSTRUCTION SHALL BE FREE OF DETRIMENTAL AMOUNTS OF SODS, ROOTS, FROZEN SOILS, STONES, AND OTHER QUESTIONABLE MATERIAL.
12. EROSION AND SEDIMENTATION CONTROLS SHALL BE PLACED ALONG THE LIMITS OF DISTURBANCE AND WHERE SHOWN AND AS REQUIRED.
13. NO BOULDERS OR STUMPS SHALL BE BURIED ON SITE.
14. EXISTING BOULDERS MAY BE USED FOR LANDSCAPING PURPOSES AS SITE CONDITIONS WARRANT. NO BOULDER RETAINING WALL SHALL EXCEED A 3-FOOT MAXIMUM HEIGHT.

GENERAL OPERATION AND MAINTENANCE PLAN

ON-GOING PRIVATE ROADWAY O&M PLAN

1. PERIODIC INSPECTIONS OF THE INFILTRATION BASINS SHALL BE MADE BY THE RESPONSIBLE MAINTENANCE ENTITY.
2. ACCUMULATIONS OF TRASH, LEAVES, BRANCHES, SEDIMENT, OR ANY MATERIAL WHICH IS INTERFERING WITH THE INFILTRATION OF WATER SHALL BE REMOVED.
3. RUTS OR EROSION IN THE PRIVATE ROADS MAY BE FILLED IN ACCORDANCE WITH TOWN OF RICHMOND REQUIREMENTS AND SMOOTHED AS NECESSARY.

VEGETATION MAINTENANCE PLAN

1. VEGETATION WITHIN THE PRIVATE ROADWAY RIGHT-OF-WAY AND OTHER LOCATION THROUGHOUT THE SITE, SHALL BE MOWN PERIODICALLY AS NEEDED.

RESTRICTIONS

- ANY SUBDIVISION RESTRICTIONS IMPOSED BY THE PLANNING COMMISSION SHALL BE NOTED ON THE SUBDIVISION PLAN AND IN ANY DEEDS RECORDED IN THE LAND EVIDENCE RECORDS OF THE TOWN CONVEYING ANY LOTS IN AN APPROVED RESIDENTIAL COMPOUND.
- IN ADDITION, THE FOLLOWING NOTATIONS SHALL BE ADDED TO THE FINAL PLANS:
 1. EACH RESIDENTIAL SUBDIVISION SHALL BE LIMITED TO AGRICULTURAL USE, SINGLE FAMILY RESIDENTIAL USE, AND ACCESSORY USES CUSTOMARILY INCIDENTAL AND SUBORDINATE TO SUCH AGRICULTURAL AND SINGLE FAMILY RESIDENTIAL USES.
 2. THE PRIVATE WAY SHALL BE PRIVATELY MAINTAINED AND SHALL REMAIN PERMANENTLY A PRIVATE WAY, WHICH SHALL NOT BE EXTENDED. THE OWNER OR OWNERS OF THE PRIVATE WAY, FOR THEMSELVES, THEIR SUCCESSORS, HEIRS AND ASSIGNS HEREBY WAIVE ALL RIGHTS TO HAVE THE PRIVATE WAY ACCEPTED INTO THE HIGHWAY SYSTEM OF THE TOWN OF RICHMOND.
 3. NO FURTHER DIVISION OR SUBDIVISION OF THIS APPROVED RESIDENTIAL SUBDIVISION LOT SHALL TAKE PLACE AT ANY FUTURE DATE.

LANDSCAPE NOTES

1. THE CONTRACTOR SHALL LAY OUT ALL WORK. THE CONTRACTOR SHALL STAKE OUT ALL LOCATIONS OF ALL ROADWAYS, DRIVEWAYS, WALKS, DRAINAGE MEASURES, HOUSES, AND RELATED SITE IMPROVEMENTS FOR APPROVAL BY THE ENGINEER OR SITE LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL MAKE ADJUSTMENTS TO THE ALIGNMENT, GRADE, ETC. AS DIRECTED IN THE FIELD AS WARRANTED.
2. ALL WORK SHALL BE BASED UPON THE USE OF SPECIFIC MATERIALS AS INDICATED ON THE PLANS OR AS MAY BE REQUIRED BY LOCAL AND STATE PLANTING MEASURES. NO SUBSTITUTION SHALL BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER AND/OR DEVELOPER.
3. ALL PLANT MATERIAL AND LANDSCAPE IMPROVEMENTS SHALL CARRY A ONE (1) YEAR GUARANTEE. ALL PLANT MATERIAL SHALL MEET AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS AS TO GRADING AND QUALITY.
4. MULCH ALL PLANTINGS (EXCLUDING GROUND COVER AND PERENNIAL BEDS) WITH 3" DARK BROWN, FINE SHREDDED PINE BARK MULCH. GROUND COVER AND PERENNIAL BEDS SHALL BE PREPARED TO A DEPTH OF 12" MINIMUM WITH A LOAM/COMPOST MIX.
5. EXISTING BOULDERS MAY BE USED FOR LANDSCAPING PURPOSES AS SITE CONDITIONS WARRANT. NO BOULDER RETAINING WALL SHALL EXCEED A 3-FOOT MAXIMUM HEIGHT.
6. ALL LAWN AREAS SHALL BE PREPARED TO A DEPTH OF 6" (MIN.) WITH SCREENED LOAM.
7. ALL WORK SHALL BE EXECUTED IN A THOROUGH AND WORKMANLIKE MANNER IN ACCORDANCE TO STATE AND LOCAL CODES TO THE SATISFACTION OF THE OWNER.
8. SEEDING SHALL BE DONE IN ACCORDANCE WITH SECTION L02.03 OF THE RI STANDARD SPECIFICATIONS AND ONLY DURING THE FOLLOWING DATES:

MARCH 15 - MAY 31
AUGUST 15 - OCTOBER 15
9. RESTORATION SEED MIXES:

UPLAND: PERIMETER/RIVERBANK WETLAND AND OTHER UPLAND AREAS

- 30% HARD FESCUE (FESTUCA PRATENSIS)
- 30% ORCHARD GRASS (DACTYLIS GLOMERATA)
- 15% TIMOTHY (PHLEUM PRATENSE)
- 10% LITTLE BLUESTEM (SCHIZACHYRIUM SCOPARIUM)
- 10% RED TOP (AGROSTIS ALBA)
- 5% WHITE CLOVER (TRIFOLIUM REPENS)
- APPLY AT A RATE OF 35 LBS./ACRE

WETLAND: BASIN BOTTOM AREAS

- 30% SWITCHGRASS (Panicum virgatum)
- 20% LITTLE BLUESTEM (SCHIZACHYRIUM SCOPARIUM)
- 20% BIG BLUESTEM (ANDROPOGON GERARDII)
- 15% WOOD REEDGRASS (CINNA ARUNDINACEA)
- 15% BLUEJOINT GRASS (CALAMAGROSTIS CANADENSIS)
- 8% FOX SEDGE (CAREX VULPINOIDEA)
- 2% SOFT RUSH (JUNCUS EFFUSUS)
- APPLY AT A RATE OF 25 LBS./ACRE
- SUBSTITUTION TO SPECIES SELECTIONS AND AMOUNTS MAY OCCUR ONLY AFTER APPROVAL OF THE OWNER / DEVELOPER AND THEIR REPRESENTATIVES. STATE-LISTED RARE SPECIES SHALL NOT BE INCLUDED IN ANY OF THE SUBSTITUTED RESTORATION SEED MIXTURES

RESTORATION SEED MIX SOURCES:

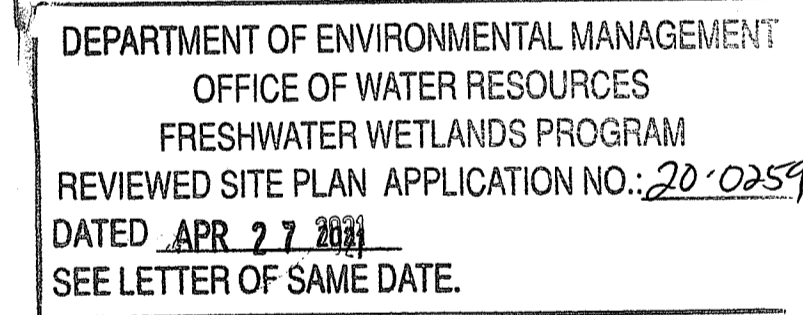
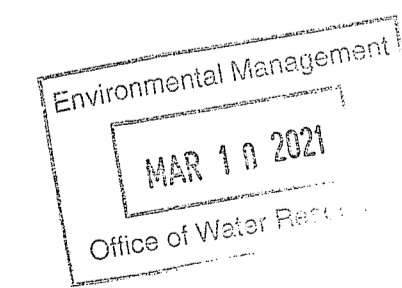
ERNST CONSERVATION SEEDS
9006 MERCER PIKE
MEADVILLE, PA 16335
800-873-3321

NEW ENGLAND WETLAND PLANTS
800 MAIN STREET
AMHERST, MA 01002
413-256-1752

QUANSETT NURSERIES
794 HORSENECK ROAD
SOUTH DARTMOUTH, MA 02748

LAWN SEED MIX:

- LESCO PARK ATHLETIC MIX OR EQUAL:
- 32.89% SHAMROCK KENTUCKY BLUEGRASS
- 32.65% CREEPING RED FESCUE
- 32.38% LAREDO PERENNIAL RYEGRASS
- APPLY AT A RATE OF 200 LBS./ACRE



Nancy L. Freeman

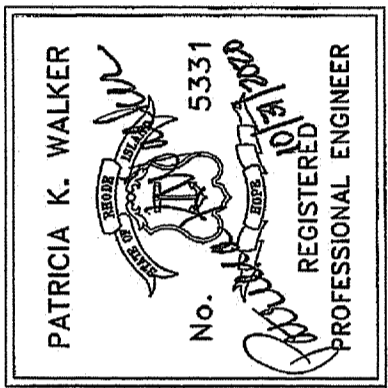
PROJECT APPLICANT
MCINTOSH REAL ESTATE LLC
22 OLD MOUNTAIN ROAD
WYOMING, RI 02898

PROPERTY OWNER
WILLIAM E. MCINTOSH, IV
TWO MORNING ROAD
WEST KINGSTON, RI 02892

CONTACT PERSON:
WILLIAM E. MCINTOSH, IV
WILLIAMEMCINTOSH@GMAIL.COM
617-513-0278

PROJECT ATTORNEY
JOHN F. KENYON, ESQ.
KENYON LAW ASSOCIATES, LLP
133 OLD TOWER HILL ROAD, SUITE 1
WAKEFIELD, RI 02879
401-789-0217
JFK@KENYONLAWYERS.COM

REVISIONS	DESCRIPTION	DATE



W Walker Engineering, Ltd.

Phone / Fax (401) 397-8745
Email: wsl31.pw@gmail.com

31 Vale Court
West Greenwich, RI 02817

NOTES & DETAILS NO. 1

McIntosh Farm

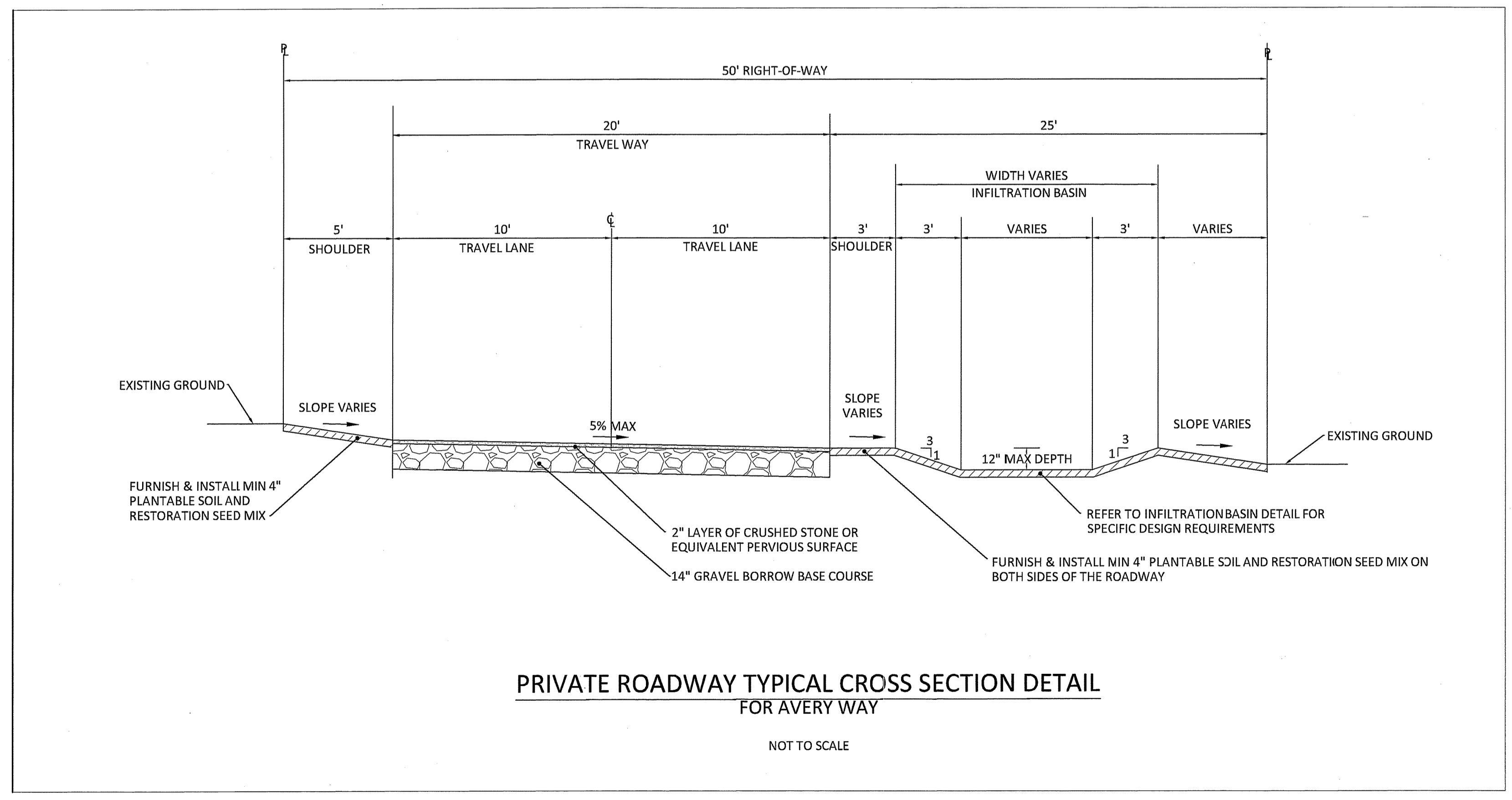
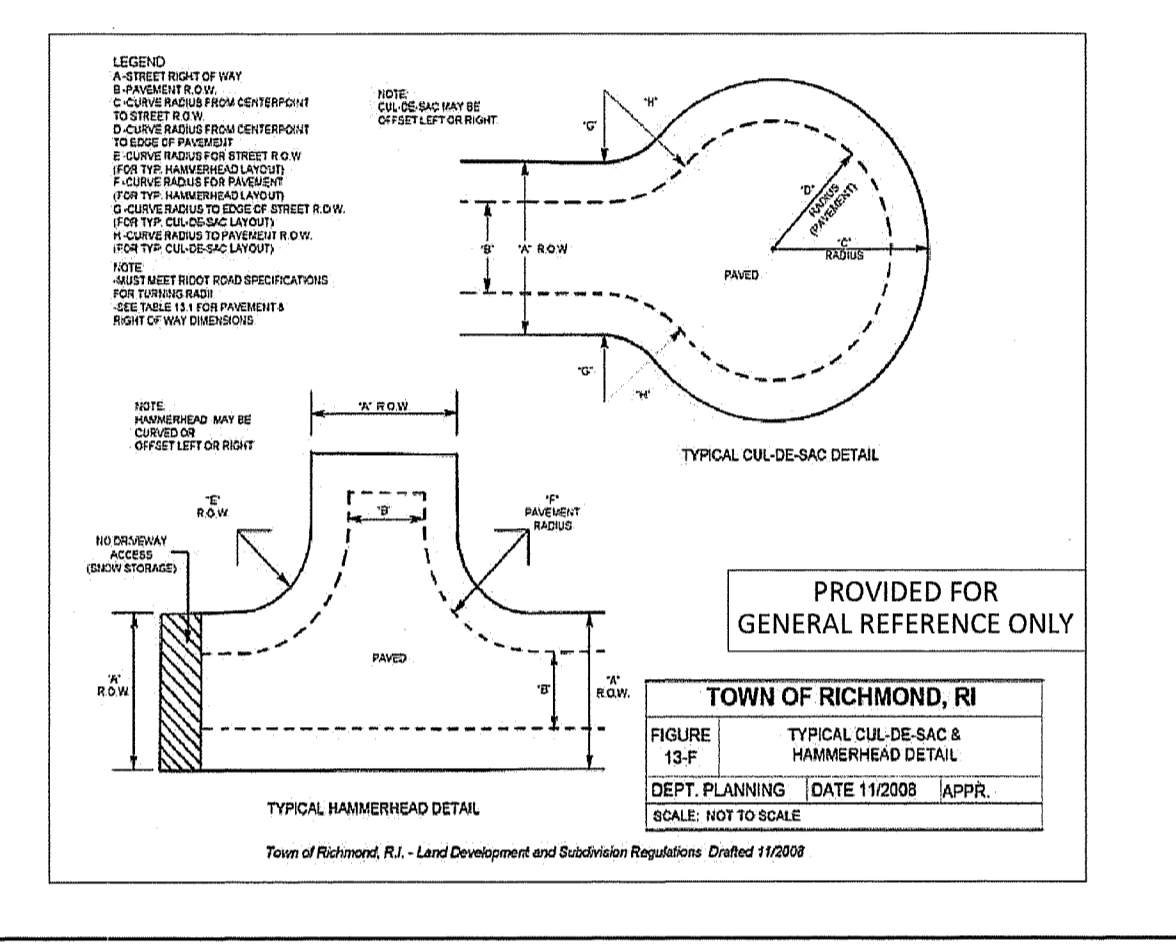
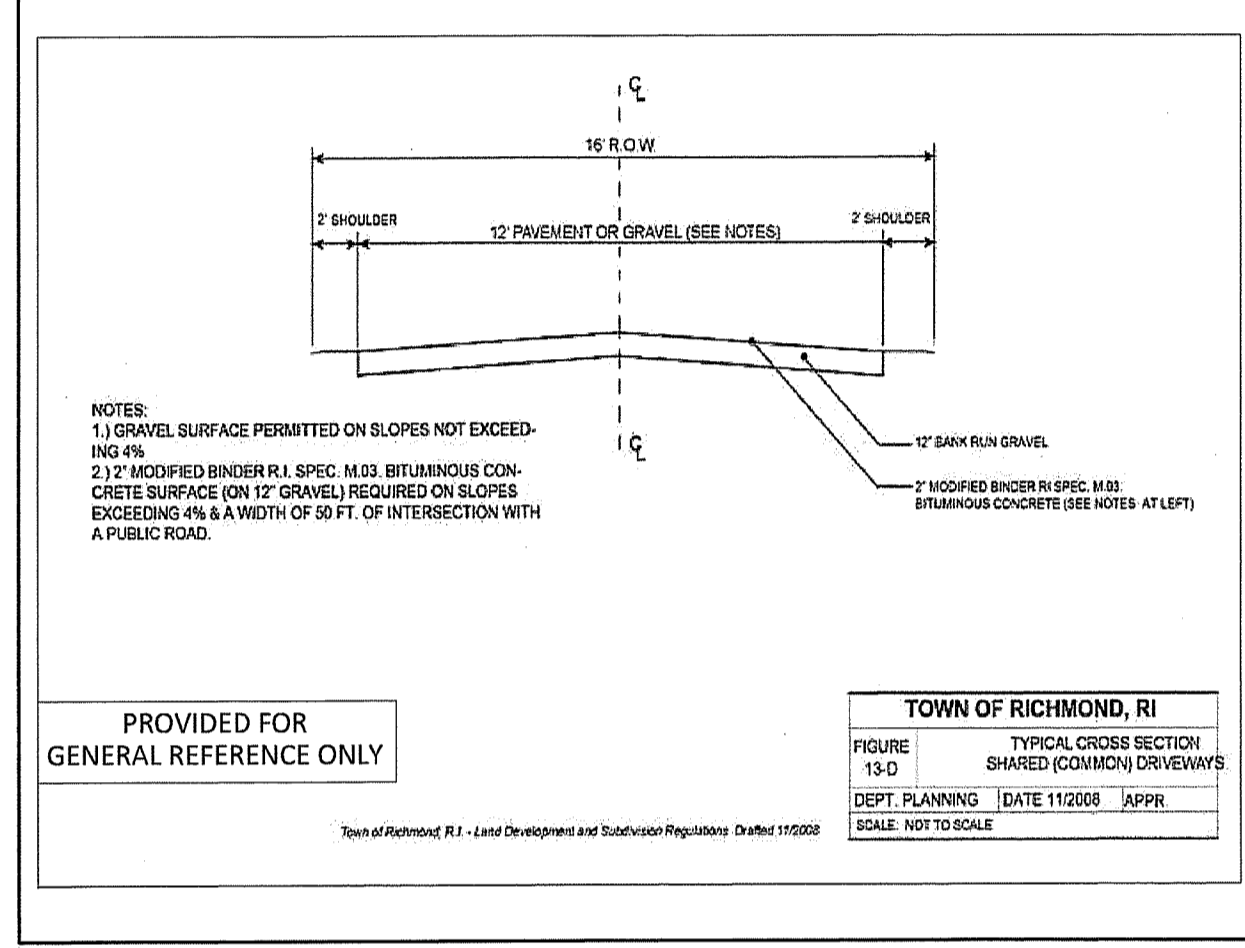
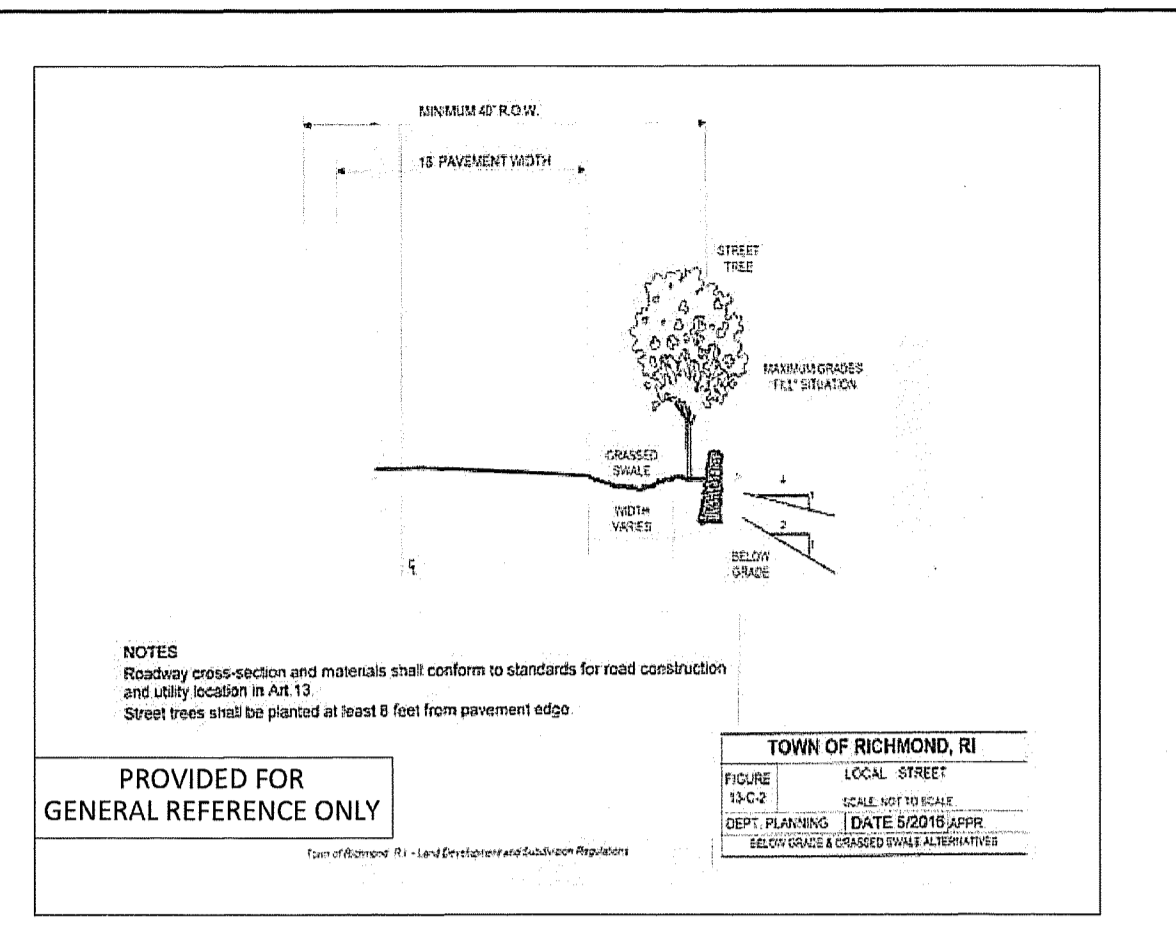
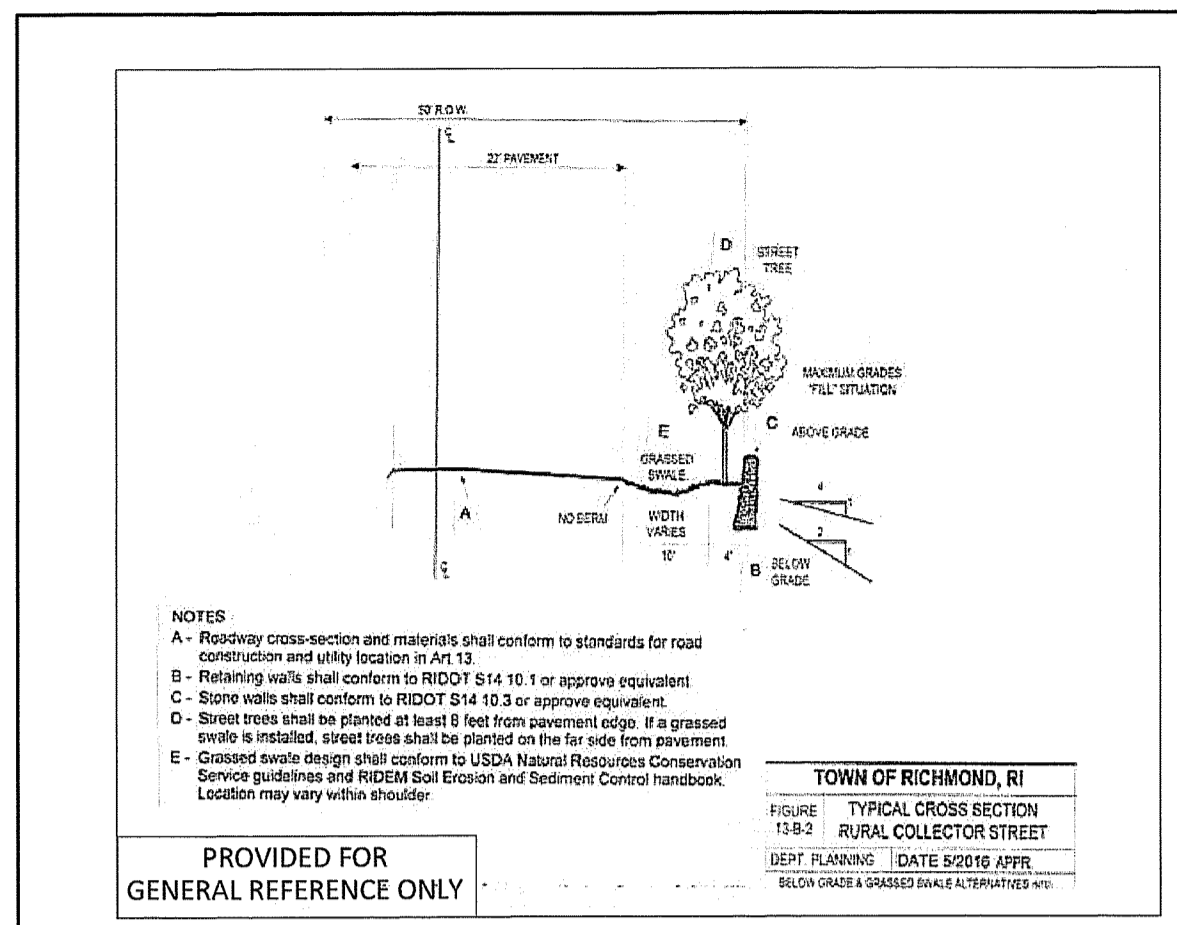
ASSESSOR'S PLAT 3C / PARCELS 7-2 & 8
22 OLD MOUNTAIN ROAD
RICHMOND, RHODE ISLAND

DATE: OCTOBER 2020

SHEET: ND - 1

SHEET 18 OF 21

NOT TO SCALE



- RESTRICTIONS**
- ANY SUBDIVISION RESTRICTIONS IMPOSED BY THE PLANNING COMMISSION SHALL BE NOTED ON THE SUBDIVISION PLAN AND IN ANY DEEDS RECORDED IN THE LAND EVIDENCE RECORDS OF THE TOWN CONVEYING ANY LOTS IN AN APPROVED RESIDENTIAL SUBDIVISION.
 - IN ADDITION, THE FOLLOWING NOTATIONS SHALL BE ADDED TO THE FINAL PLANS:
 - EACH RESIDENTIAL SUBDIVISION SHALL BE LIMITED TO AGRICULTURAL USE, SINGLE FAMILY RESIDENTIAL USE, AND ACCESSORY USES CUSTOMARILY INCIDENTAL AND SUBORDINATE TO SUCH AGRICULTURAL AND SINGLE FAMILY RESIDENTIAL USES.
 - THE PRIVATE WAY SHALL BE PRIVATELY MAINTAINED AND SHALL REMAIN PERMANENTLY A PRIVATE WAY, WHICH SHALL NOT BE EXTENDED. THE OWNER OR OWNERS OF THE PRIVATE WAY, FOR THEMSELVES, THEIR SUCCESSORS, HEIRS AND ASSIGNS HEREBY WAIVE ALL RIGHTS TO HAVE THE PRIVATE WAY ACCEPTED INTO THE HIGHWAY SYSTEM OF THE TOWN OF RICHMOND.
 - NO FURTHER DIVISION OR SUBDIVISION OF THIS APPROVED RESIDENTIAL SUBDIVISION LOT SHALL TAKE PLACE AT ANY FUTURE DATE.

- PRIVATE ROAD AND DRIVE CONSTRUCTION NOTES**
- THE PROPOSED PRIVATE ROADWAY IS A EVERY WAY
 - REFER TO TOWN OF RICHMOND, FIGURES 13-B-2, 13-C-2, 13-D, AND 13-F FOR GENERAL REFERENCE FOR CONSTRUCTION REQUIREMENTS
 - THE PRIVATE ROADWAY SHALL BE CONSTRUCTED DURING THE OVERALL CONSTRUCTION
 - CONSTRUCTION SHALL BE IN ACCORDANCE WITH TOWN OF RICHMOND REQUIREMENTS AND PER PRELIMINARY PLAN APPROVAL AND CONDITIONS
 - ROADWAY SURFACE (PAVEMENT) SHALL BE CRUSHED STONE IN ACCORDANCE WITH TOWN OF RICHMOND REQUIREMENTS OR EQUIVALENT PERVIOUS SURFACE PER PRELIMINARY PLAN APPROVAL CONDITION
 - ROADWAY SURFACE WIDTH SHALL BE 20 FEET WITHIN A 50 FOOT RIGHT-OF-WAY
 - THE SURFACE SHALL MATCH THE EXISTING PAVEMENT ON OLD MOUNTAIN ROAD
 - CORNER RADII AT OLD MOUNTAIN ROAD INTERSECTION SHALL BE A 10-FOOT RADIUS
 - INFILTRATION BASINS SHALL BE INSTALLED AS SHOWN ON THE PLANS ALONG THE SIDE OF THE ROADWAY SURFACE WITHIN THE ROADWAY RIGHT-OF-WAY
 - INFILTRATION BASINS SHALL GENERALLY HAVE A BOTTOM WIDTH VARYING FROM 5 TO 11 FEET WITH 3:1 SLOPES AND A MAXIMUM DEPTH OF 12" AND SHALL BE LOCATED 3 FEET OFF THE EDGE OF THE ROADWAY SURFACE (REFER TO PRIVATE ROADWAY TYPICAL CROSS SECTION)
 - ROADWAY SURFACE SHALL HAVE A MINIMUM SLOPE OF 1% AND MAXIMUM SLOPE OF 5%. REFER TO PLAN & PROFILE FOR THE PRIVATE ROAD
 - INFILTRATION BASINS SHALL BE SEEDED WITH A MINIMUM OF 6" PLANTABLE SOIL.
 - MAINTENANCE WITHIN THE PRIVATE ROADWAY RIGHT-OF-WAY SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR DURING CONSTRUCTION.
 - FOLLOWING THE COMPLETION OF THE CONSTRUCTION AND AS PART OF THE SALE OF EACH SUBDIVISION LOT, THE PROPERTY OWNERS SHALL BE MEMBERS OF A HOMEOWNERS ASSOCIATION THAT WILL BE RESPONSIBLE FOR ALL MAINTENANCE OF THE PRIVATE ROADWAY INCLUDING ON-GOING MAINTENANCE OF THE ROADWAY SURFACE AND INFILTRATION BASINS AS REQUIRED.
 - THE PROPOSED PRIVATE DRIVES FOR EACH LOT
 - THE DRIVEWAY SURFACE SHALL BE COMPACTED AND STABILIZED IN ACCORDANCE WITH TOWN OF RICHMOND REQUIREMENTS
 - EACH PRIVATE DRIVEWAY SHALL BE CONSTRUCTED DURING THE OVERALL LOT CONSTRUCTION
 - CONSTRUCTION SHALL BE IN ACCORDANCE WITH TOWN OF RICHMOND REQUIREMENTS AND PER PRELIMINARY PLAN APPROVAL AND CONDITIONS
 - DRIVEWAY SURFACE (PAVEMENT) SHALL BE CRUSHED STONE IN ACCORDANCE WITH TOWN OF RICHMOND REQUIREMENTS OR EQUIVALENT PERVIOUS SURFACE
 - DRIVEWAY SURFACE WIDTH SHALL BE 12 FEET AT THE ROADWAY AND WIDEN AT THE GARAGE AREA TO PROVIDE ACCESS TO THE 2-CAR GARAGE AND PROVIDE ADDITIONAL PARKING FOR 2 VEHICLES
 - THE DRIVEWAY SURFACE SHALL MATCH THE PRIVATE ROADWAY SURFACE FOR THE LOTS.
 - CORNER RADII AT THE ROADWAY SURFACE INTERSECTION SHALL BE A 5-FOOT RADIUS
 - VEGETATED SWALES SHALL BE INSTALLED AS SHOWN ON THE PLANS ALONG THE SIDE OF THE DRIVEWAY SURFACE
 - VEGETATED SWALES SHALL GENERALLY HAVE A BOTTOM WIDTH OF 8 FEET WITH 4.5:1 SLOPES AND A MAXIMUM DEPTH OF 8" AND SHALL BE LOCATED 3 FEET OFF THE EDGE OF THE DRIVEWAY SURFACE
 - DRIVEWAY SURFACE SHALL HAVE A MINIMUM SLOPE OF 1% AND MAXIMUM SLOPE OF 8%.
 - VEGETATED SWALES SHALL BE VEGETATED WITH NATIVE GRASSES OR SEDGES. REFER TO DETAIL FOR ADDITIONAL REQUIREMENTS.
 - MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR DURING CONSTRUCTION.
 - FOLLOWING THE COMPLETION OF THE CONSTRUCTION AND AS PART OF THE SALE OF EACH LOT, THE PROPERTY OWNERS SHALL BE RESPONSIBLE FOR ALL MAINTENANCE OF THE DRIVEWAY INCLUDING ON-GOING MAINTENANCE OF THE SURFACE AND VEGETATED SWALES AS REQUIRED.
 - TRIMMING FOR INSTALLATION OF THE PROPOSED PRIVATE ROADWAY AND DRIVE LOCATIONS SHALL BE MINIMIZED TO THE GREATEST EXTENT POSSIBLE. SUGGESTED TRIMMING SHOULD BE TO PROVIDE A MINIMUM OF 3 FEET OFF DRIVE EDGE. ALL TRIMMING CONDUCTED SHALL BE BASED ON FIELD CONDITIONS.
 - ALL DRAINAGE MEASURES ASSOCIATED WITH THE PRIVATE ROADWAY AND DRIVE PORTIONS SHALL BE INSTALLED AS DESCRIBED AND SHOWN ON THIS PLAN SET WHEN THEY ARE BEING CONSTRUCTED

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 REVIEWED SITE PLAN APPLICATION NO.: 20-0259
 DATED APR 27 2021
 SEE LETTER OF SAME DATE.
Nancy L. Freeman

Environmental Management
 MAR 10 2021

PROJECT APPLICANT
 MCINTOSH REAL ESTATE LLC
 22 OLD MOUNTAIN ROAD
 WYOMING, RI 02898

PROPERTY OWNER
 WILLIAM E. MCINTOSH, IV
 TWO MORNING ROAD
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 401-789-0217
 JFK@KENYONLAWYERS.COM

REVISIONS	DESCRIPTION	DATE
	RIDEM WETLANDS COMMENTS	FEB 2021

W^EL Walker Engineering, Ltd.
 Patricia K. Walker, No. 5331, Registered Professional Engineer

31 Vale Court, West Greenwich, RI 02817
 Phone / Fax: (401) 397-8745
 Email: wsl31.pw@gmail.com

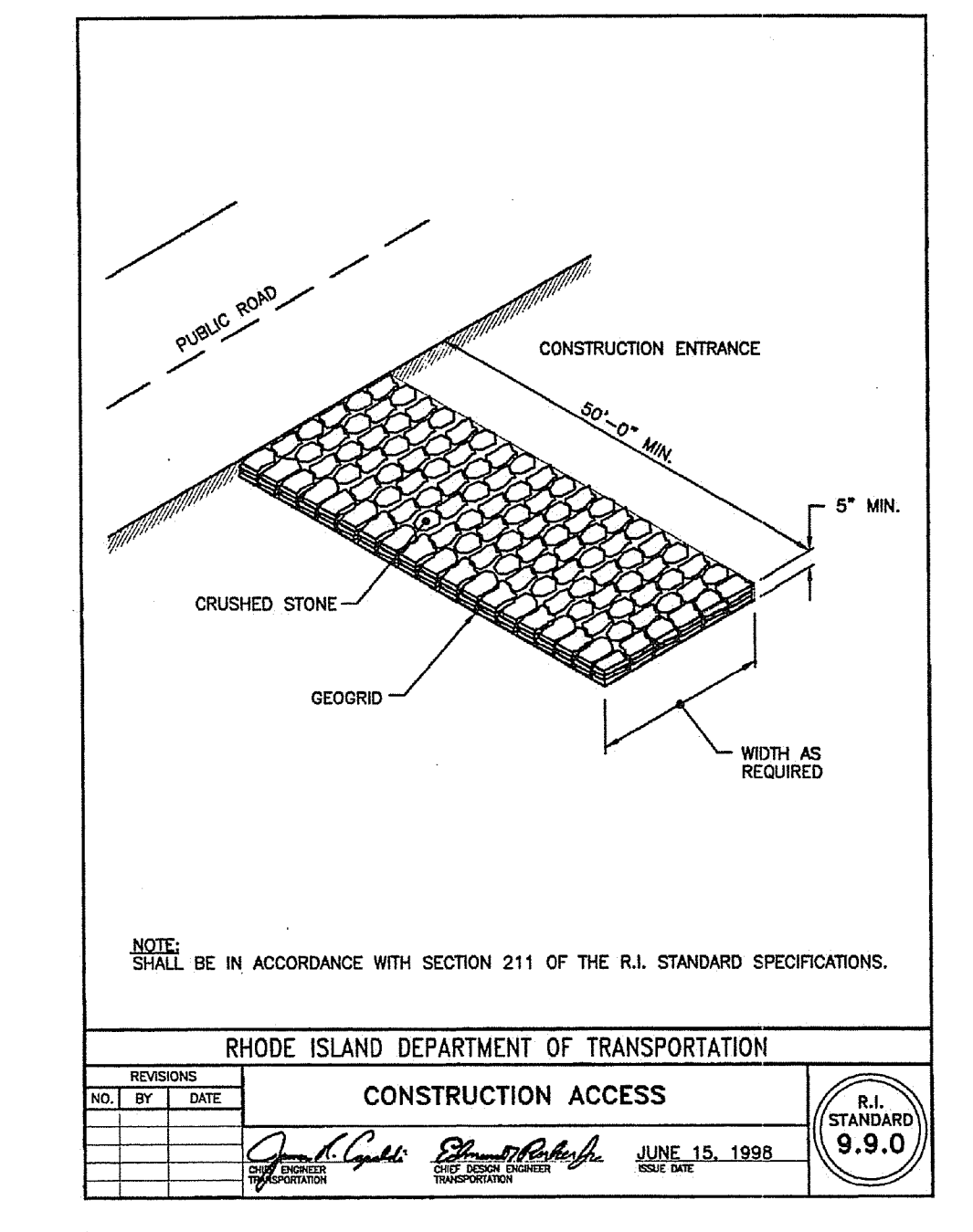
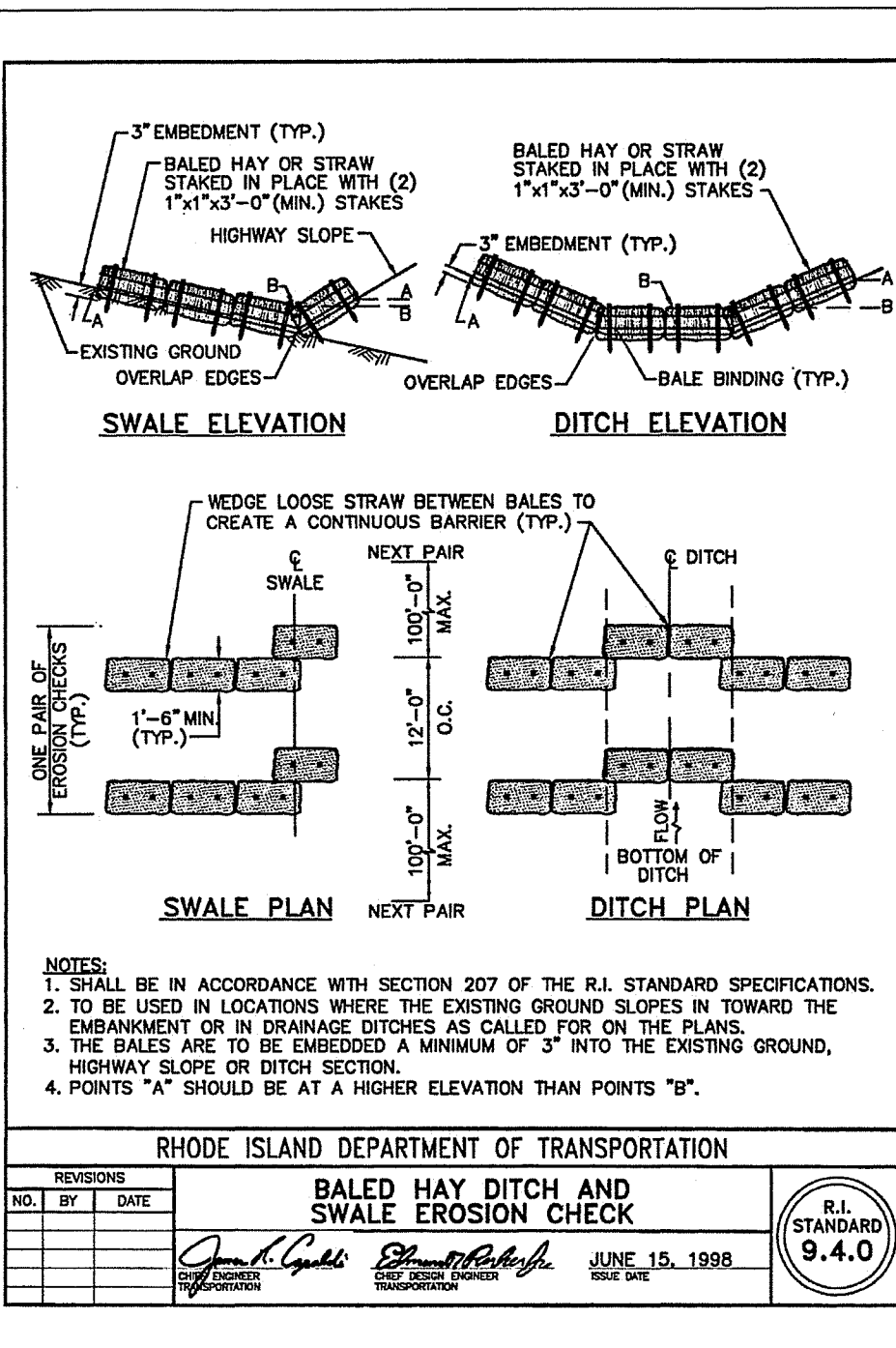
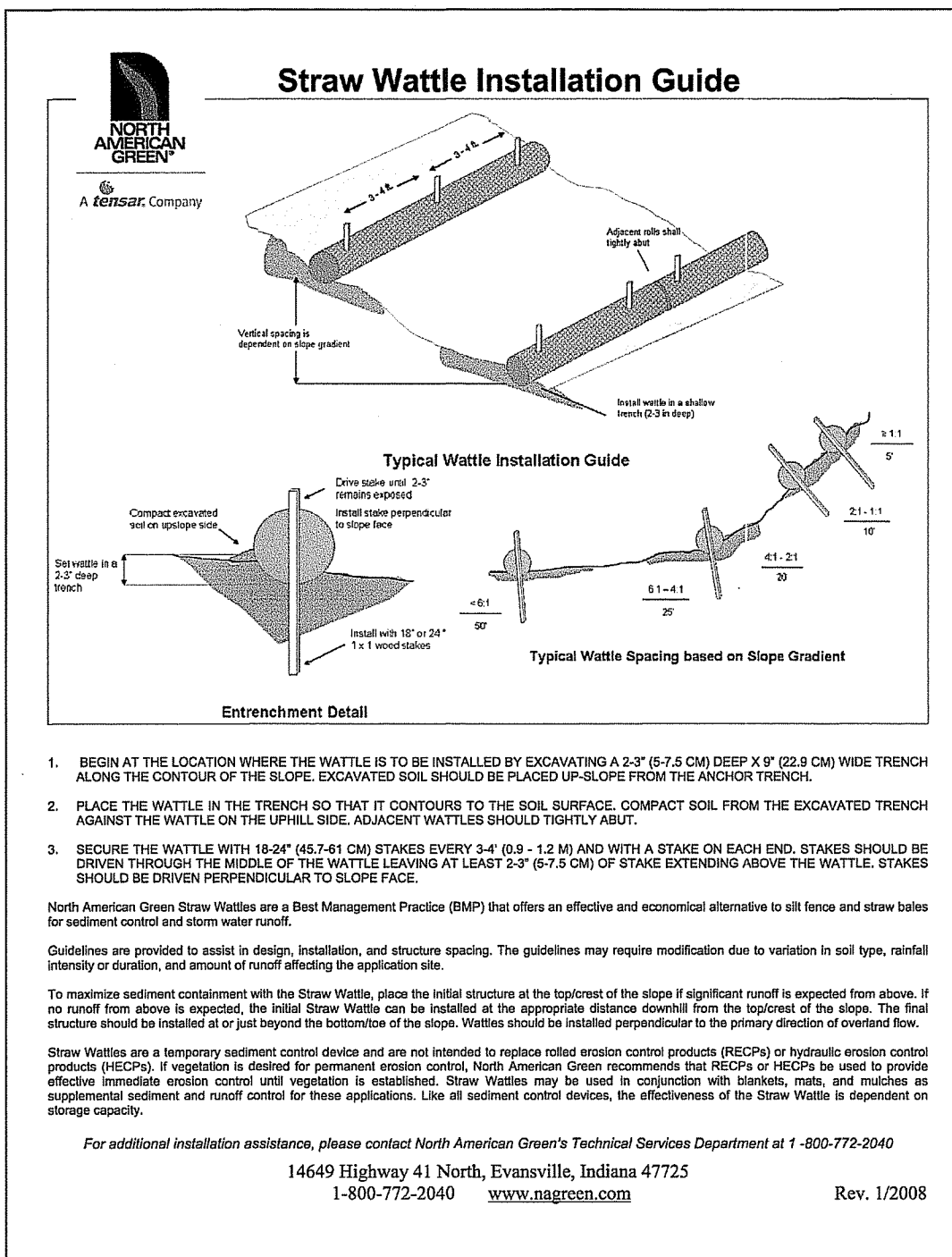
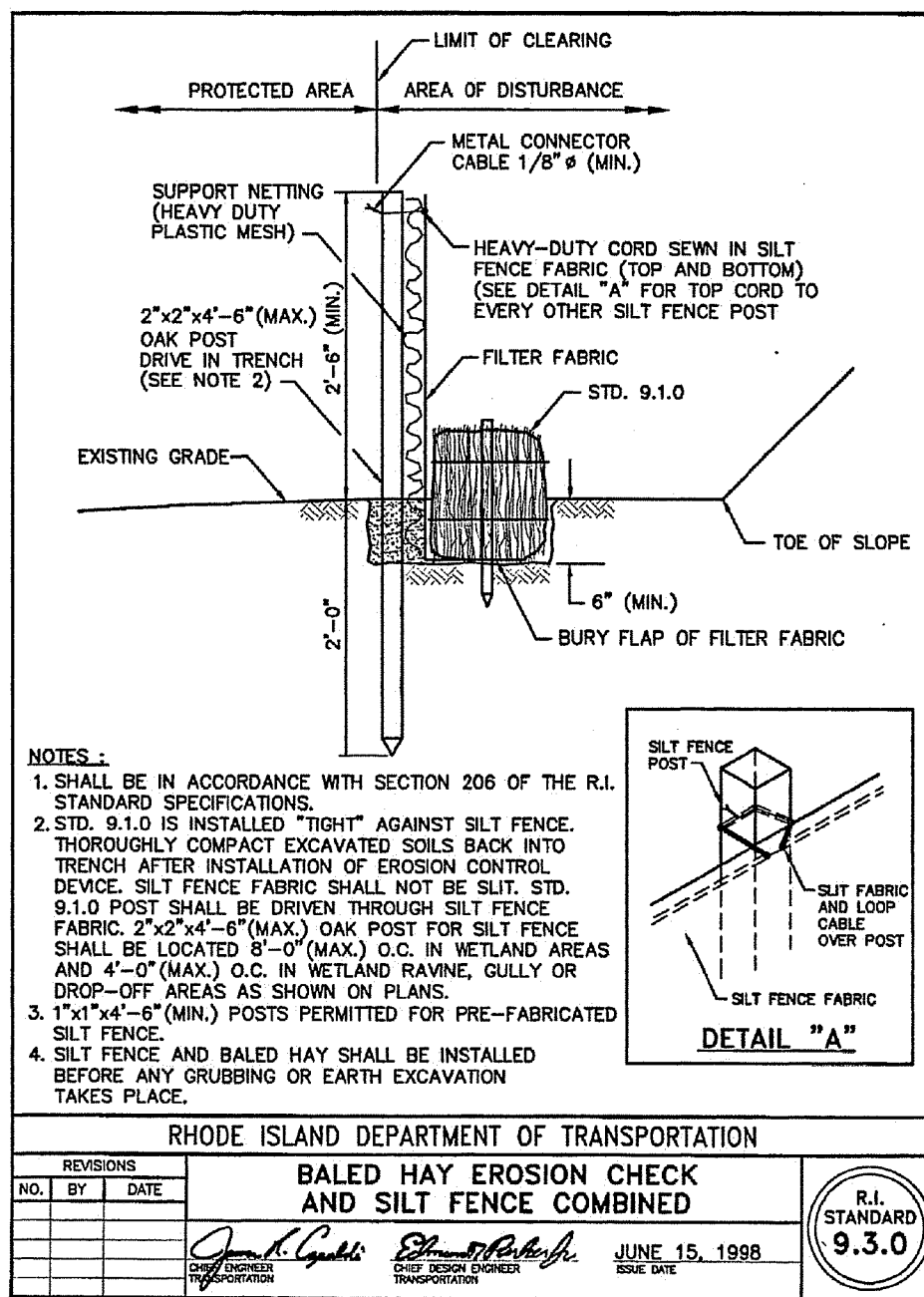
McIntosh Farm
 ASSESSOR'S PLAT 3C / PARCELS 7-2 & 8
 22 OLD MOUNTAIN ROAD
 RICHMOND, RHODE ISLAND

NOTES & DETAILS NO. 2

DATE: OCTOBER 2020
 REVISED FEBRUARY 2021

SHEET: ND - 2
 SHEET 19 OF 21

NOT TO SCALE



- ORDER OF PROCEDURE**
- PRIOR TO ANY CONSTRUCTION OR EXCAVATION, HAYBALES AND SILT FENCE OR STRAW WATTLES SHALL BE INSTALLED AT THE PROPERTY LINE OR LIMIT OF DISTURBANCE. TEMPORARY HAYBALES, SILT FENCE OR STRAW WATTLES SHALL BE INSTALLED AT THE LIMIT OF WORK ACTIVITY IF CONSTRUCTION IS TO BE DONE IN PHASES.
 - PRIOR TO COMMENCING OPERATIONS, TEMPORARY HAY BALES, SILT FENCES AND/OR STRAW WATTLES SHALL BE PLACED SO AS TO PREVENT SEDIMENT FROM ENTERING EXISTING AND PROPOSED DRAINAGE SYSTEMS OR WETLANDS.
 - ALL EROSION AND SEDIMENTATION CONTROL STRUCTURES SHALL BE PERIODICALLY MAINTAINED AS PER THE RESPECTIVE PROGRAMS DURING THE CONSTRUCTION.
 - IF WORK PROGRESS IS TO BE INTERRUPTED AT ANY TIME, REFERENCE EROSION AND SEDIMENTATION PROGRAMS FOR TEMPORARY CONTROLS.
 - TEMPORARY HAYBALES AND SANDBAGS ALONG AND AT THE ENDS OF THE ROADWAY MAY ALSO BE REMOVED AFTER FINAL SOIL STABILIZATION HAS BEEN ACHIEVED AND APPROVED.
 - HAYBALES AND SILT FENCE OR STRAW WATTLES AT THE DRAINAGE STRUCTURES MUST REMAIN UNTIL SUCH TIME THAT A DESIRABLE STAND OF GRASS OR GROUND COVER HAS BEEN ESTABLISHED AND THE PROJECT RECEIVES A FAVORABLE APPROVAL FOR FINAL ACCEPTANCE FROM THE ENGINEER.

- OTHER CONTROLS**
- THE FOLLOWING ADDITIONAL CONTROLS SHALL BE IMPLEMENTED DURING CONSTRUCTION IN ORDER TO MINIMIZE EROSION AND RUNOFF FROM THE PROJECT LOCATION:
- NO CHEMICALS (CEMENT, MORTAR, ETC.) SHALL BE MIXED OR POURED WITHIN ANY WETLANDS.
 - SOLID WASTE WILL BE COLLECTED AND STORED IN A SECURE DUMPSTER. THE DUMPSTER SHALL MEET ALL LOCAL AND STATE SOLID WASTE MANAGEMENT REGULATIONS.
 - CONSTRUCTION DEBRIS WILL INCLUDE ALL WOOD, STONE AND OTHER DEBRIS AND SITE MATERIALS REQUIRING REMOVAL. THESE MATERIALS WILL BE DISPOSED OF ACCORDING TO STATE AND FEDERAL LAW AND WILL NOT BE DISPOSED OF ON-SITE.
 - THE LIMITS OF ALL GRADING AND DISTURBANCE SHALL BE KEPT TO A MINIMUM WITHIN THE PROPOSED AREA OF CONSTRUCTION. ALL AREAS OUTSIDE THE LIMITS OF DISTURBANCE SHALL REMAIN UNDISTURBED.
 - CONTINUOUS LINES OF EROSION CONTROLS SHALL BE INSTALLED PRIOR TO START OF CONSTRUCTION AND SHALL BE MAINTAINED UNTIL WORK IS COMPLETE AND A STABLE GROUND SURFACE IS ESTABLISHED.
 - ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED OR REPLACED AS REQUIRED TO ASSURE PROPER FUNCTION.
 - ALL BREACHES OR FAILURES IN SEDIMENT CONTROLS SHALL BE IMMEDIATELY REPAIRED OR REPLACED.
 - DEBRIS AND LITTER, WHICH ACCUMULATES ALONG THE CONSTRUCTION AREA, SHALL BE REMOVED DAILY AND DISPOSED OF OFF-SITE.
 - SEDIMENT BUILD-UP BEHIND ANY SILT FENCES OR EROSION CONTROL BARRIERS WILL BE MONITORED AND REMOVED WHENEVER SEDIMENT HAS ACCUMULATED TO 6-INCHES IN DEPTH.

EROSION CONTROL AND SOIL STABILIZATION PROGRAM

- DEMUDED SLOPES SHALL NOT BE UNATTENDED OR EXPOSED FOR EXCESSIVE PERIODS OF TIME.
- STAKED HAY BALES AND SILT FENCES OR STRAW WATTLES SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, MAINTAINED ON A REGULAR BASIS, AND SHALL BE PLACED TO PREVENT SEDIMENTATION ONTO ADJACENT PROPERTY OR INTO DRAINAGE SYSTEMS OR WETLANDS.
- DURING CONSTRUCTION, THE CONTRACTOR AND/OR OWNER SHALL BE RESPONSIBLE FOR ALL EROSION CONTROLS MAINTENANCE AND SHALL INSPECT AND/OR REPLACE AS NEEDED.
- DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING DRAINAGE AND RUNOFF FLOW.
- ADDITIONAL HAY BALES AND SILT FENCES OR STRAW WATTLES WILL BE INSTALLED AS CONDITIONS WARRANT OR AS DIRECTED BY THE ENGINEER.
- ALL EROSION CONTROL MEASURES (HAY BALES AND SILT FENCE OR STRAW WATTLES) WILL REMAIN IN PLACE UNTIL AN ACCEPTABLE GROUND COVER DEVELOPS AND POTENTIAL SEDIMENTATION SOURCES ARE REMOVED.
- NORMAL ACCEPTABLE SEASONAL SEEDING DATES ARE APRIL 1 TO OCTOBER 15. REFER TO LANDSCAPE PLANTING PLAN, DETAILS AND NOTES FOR ADDITIONAL INFORMATION.
- ALL SEDIMENTS SHALL BE REMOVED FROM THE DRAINAGE FACILITIES WHEN DIRECTED BY THE ENGINEER, LOCAL DEPARTMENT OF PUBLIC WORKS, RIDOT OR RIDEEM.
- ALL AREAS SUBJECT TO EROSION FORCES SHALL RECEIVE PROTECTION.
- HAY, STRAW, OR LINING APPLICATIONS SHALL BE USED AS REQUIRED ON EXPOSED SURFACES TO PREVENT EROSION. ALL METHODS SHALL BE APPROVED BY THE ENGINEER.
- ALL VEGETATION WHICH DOES NOT SURVIVE AND DEVELOP WITHIN THE PERIOD OF ONE (1) YEAR SHALL BE REPLACED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE.
- STABILIZATION OF ONE FORM OR ANOTHER AS DESCRIBED ABOVE SHALL BE ACHIEVED WITHIN 15 DAYS OF FINAL GRADING.
- THE DRAINAGE SYSTEM SHALL BE CLEANED PRIOR TO ACCEPTANCE OF THE OVERALL PROJECT BY THE OWNER. SEDIMENTS SHALL BE DISPOSED OF IN A PROPER MANNER.
- AS REQUIRED AND WARRANTED, SEDIMENTATION TRAPS WILL BE PROVIDED AT ALL DRAINAGE OUTLET STRUCTURES UNTIL PERMANENT STABILIZATION HAS OCCURRED.
- NO SLOPES TO EXCEED 3:1.
- STOCKPILES EXPOSED FOR EXCESSIVE PERIODS SHALL RECEIVE TEMPORARY TREATMENT CONSISTING OF HAY, STRAW, OR FIBER MATTING.
- STOCKPILES SHALL NOT BE LOCATED NEAR WATERWAYS AND SHALL HAVE NO SLOPE STEEPER THAN 3:1 AND SHALL BE SURROUNDED BY STAKED HAY BALES AND SEEDED AND/OR STABILIZED.
- FINAL TREATMENT FOR DISTURBED AREAS SHALL BE 4" PLANTABLE SOIL AND EROSION CONTROL SEED MIX, UNLESS OTHERWISE SHOWN ON LANDSCAPING PLANS.
- LANDSCAPING SHALL BE LOCATED AT LOCATIONS AS SHOWN ON THE PLANS AND/OR SHALL BE LOCATED AT THE DISCRETION AND PREFERENCE OF THE OWNER.
- THE TOPSOIL SHALL HAVE A SANDY LOAM TEXTURE RELATIVELY FREE OF SUBSOIL MATERIAL, STONES, ROOTS, LUMPS OF SOIL, TREE LIMBS, TRASH OR CONSTRUCTION DEBRIS AND SHALL CONFORM WITH RI STANDARD SPECIFICATIONS.
- THE SEED MIX SHALL BE INOCULATED 24 HOURS BEFORE MIXING AND PLANTING WITH APPROPRIATE INOCULUM FOR EACH VARIETY.
- HAY OR STRAW APPLICATIONS SHOULD BE IN THE AMOUNT OF 3000 TO 4000 LBS PER ACRE.
- ON BOTH STEEP AND LONG SLOPES CONSIDERATION SHOULD BE GIVEN TO "CRIMPING" OR "TRACKING" TO TACK DOWN MULCH APPLICATIONS.
- ALL DISTURBED SLOPES, EITHER NEWLY CREATED OR EXPOSED PRIOR TO OCTOBER 15 SHALL BE SEEDED AND PROTECTED BY THAT DATE FOR ANY WORK COMPLETED DURING EACH CONSTRUCTION YEAR.
- REFER TO THE LANDSCAPE DESIGN FOR PERMANENT SEEDING TREATMENT AND MIXTURES
- TEMPORARY TREATMENTS SHALL CONSIST OF A HAY, STRAW OR FIBER MULCH OR PROTECTIVE COVERS SUCH AS A MAT OR FIBER LINING (BURLAP, JUTE, FIBERGLASS NETTING, EXCELSIOR BLANKETS) AND SHALL BE INCORPORATED INTO THE WORK AS WARRANTED OR AS ORDERED BY THE ENGINEER OR LANDSCAPE ARCHITECT.
- ALL HAYBALES OR TEMPORARY PROTECTION SHALL REMAIN IN PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED. IF NEEDED, TEMPORARY SEEDING CAN HELP TO MINIMIZE EROSION. A TEMPORARY SEEDING GUIDE MUST BE INCLUDED AS A REFERENCE. THE FOLLOWING SPECIES ARE RECOMMENDED.

SPECIES	LBS/1000 SF	LBS/ACRE	SEEDING
ANNUAL RYEGRASS	1.0 - 1.5	40 - 60	MARCH 1 - JUNE 1
PERENNIAL RYEGRASS	1.0 - 1.5	40 - 60	MARCH 1 - JUNE 1
SUDAN GRASS	0.7 - 1.0	30 - 40	MAY 15 - AUGUST
MILLET	0.7 - 1.0	30 - 40	MAY 15 - JUNE 15
WINTER RYE	3.0	120	APRIL 15 - JUNE 15

- ALL FILL SHALL BE THOROUGHLY COMPACTED UPON PLACEMENT IN STRICT CONFORMANCE WITH THE RIDPW STD SPECIFICATIONS SECTION 202
- REFERENCE THE SEDIMENTATION CONTROL PROGRAM AND ORDER OF PROCEDURE FOR PROPER COORDINATION.

SEDIMENTATION CONTROL PROGRAM

- EXTREME CARE SHALL BE EXERCISED SO AS TO PREVENT ANY UNSUITABLE MATERIAL FROM ENTERING THE DRAINAGE SYSTEMS, STATE HIGHWAY, TOWN ROADWAY, WETLANDS OR ADJOINING PROPERTIES.
- ALL DISTURBED AREAS SUBJECT TO EROSION TENDENCIES WHETHER THEY BE NEWLY FILLED OR EXCAVATED SHALL RECEIVE SLOPE PROTECTION.
- BANKS OR SLOPES OVER 5 PERCENT SHALL BE SEEDED AS SOON AS POSSIBLE AND SHALL BE PROTECTED WITH A HAY, STRAW OR FIBER MULCH.
- DURING CONSTRUCTION, THE CONTRACTOR AND/OR OWNER SHALL BE RESPONSIBLE FOR MAINTAINING DRAINAGE AND RUNOFF FLOW DURING STORMS AND PERIODS OF RAINFALL.
- SEDIMENTATION CONTROL DEVICES SHALL BE INSPECTED CLOSELY AND MAINTAINED PROMPTLY AFTER EACH RAINFALL.
- CARE SHALL BE TAKEN SO AS NOT TO PLACE "REMOVED SEDIMENTS" WITHIN THE PATH OF EXISTING, NEWLY CREATED (BOTH TEMPORARY AND PERMANENT) OR PROPOSED WATER COURSES OR WETLANDS OR THOSE AREAS SUBJECT TO STORM WATER FLOW.
- ADDITIONAL HAY BALES OR SANDBAGS SHALL BE LOCATED AS CONDITIONS WARRANT OR AS DIRECTED BY THE ENGINEER.
- ALL SEDIMENTS SHALL BE REMOVED FROM THE DRAINAGE FACILITIES WHEN DIRECTED BY THE ENGINEER OR THE LOCAL DEPARTMENT OF PUBLIC WORKS.
- REFERENCE THE "RI EROSION AND SEDIMENT CONTROL HANDBOOK" PREPARED BY RIDEEM AND THE US DEPARTMENT OF AGRICULTURE, SOIL CONSERVATION SERVICE, AND THE TOWN OF RICHMOND SOILS AND EROSION CONTROL ORDINANCES AS TOWNS.
- ALL EARTH FILL USED FOR EMBANKMENT CONSTRUCTION SHALL BE FREE OF DETRIMENTAL AMOUNTS OF SODS, ROOTS, FROZEN SOILS, STONES, AND OTHER QUESTIONABLE MATERIAL.
- A CONTINUOUS LINE OF STAKED HAY BALES AND SILT FENCES, RI STANDARDS OR TOWN APPROVED EQUIVALENTS, OR STRAW WATTLES SHALL BE PLACED ALONG AND INSIDE THE LIMITS OF DISTURBANCE AND WHERE SHOWN AND AS REQUIRED.

EROSION CONTROL PLAN

- ALL WORK PROPOSED SHALL COMPLY WITH THE CONDITIONS SET FORTH IN THE "GENERAL PERMIT - RHODE ISLAND POLLUTANT DISCHARGE ELIMINATION SYSTEM STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITY, EFFECTIVE DATE: SEPTEMBER 26, 2013 AND SHALL BE IN ACCORDANCE WITH THE "RI STORMWATER DESIGN AND INSTALLATION STANDARDS MANUAL, AMENDED MARCH 2015.
- EROSION AND SEDIMENT CONTROL METHODS FOR THE SITE INCLUDE STRUCTURAL AND STABILIZATION PRACTICES. STABILIZATION PRACTICES WILL BE IMPLEMENTED TO COVER EXPOSED SOIL SO THAT DISCHARGE OF SEDIMENT INTO WETLAND AREAS IS MINIMIZED. STABILIZATION PRACTICES REDUCE THE TIME SOIL IS EXPOSED TO THE ELEMENTS THEREFORE REDUCING THE POSSIBILITY OF EROSION. AN ADEQUATE STOCKPILE OF EROSION CONTROL MATERIALS WILL BE MAINTAINED AT THE CONSTRUCTION SITE IN THE EVENT OF EMERGENCY OR ROUTINE REPAIRS.
- STRUCTURAL PRACTICES INVOLVE THE CONSTRUCTION OF DEVICES TO DIVERT AND LIMIT RUNOFF. THESE PRACTICES LIMIT THE AMOUNT OF STORMWATER ENTERING A DISTURBED AREA OR TRAP SEDIMENT PRIOR TO STORMWATER LEAVING A SITE. THE FOLLOWING ARE THE PROCEDURES TO BE FOLLOWED:
 - THE SITE CONSTRUCTION FOREMAN SHALL BE DESIGNATED AS THE ON-SITE INDIVIDUAL WHO WILL BE RESPONSIBLE FOR THE DAILY MAINTENANCE OF ALL SEDIMENT AND EROSION CONTROLS, AND SHALL IMPLEMENT ALL MEASURES NECESSARY TO CONTROL EROSION AND TO PREVENT SEDIMENT FROM LEAVING THE SITE.
 - PRIOR TO ANY SITE GRADING OR SITE WORK, THE CONTRACTOR SHALL INSTALL ALL SPECIFIED SEDIMENT AND EROSION CONTROLS JUST INSIDE THE LIMITS OF DISTURBANCE. THE SEDIMENT CONTROLS WILL BE A CONTINUOUS LINE OF HAYBALES AND SILT FENCE OR STRAW WATTLES.
 - A 50-FOOT LONG CONSTRUCTION ACCESS, RI STD 9.9.0 SHALL BE INSTALLED TO SHED DIRT FROM CONSTRUCTION VEHICLE TIRES PRIOR TO ENTERING THE ROADWAY. THE CRUSHED STONE PAD WILL BE REPLACED/CLEANED AS NEEDED TO MAINTAIN ITS EFFECTIVENESS.
 - INFILTRATION BASIN(S) AND SEDIMENT FOREBAY(S) IF NECESSARY, SHALL BE USED AS TEMPORARY SEDIMENT BASINS DURING CONSTRUCTION. SEDIMENT SHALL BE REMOVED FROM THE BASINS ON AN AS NEEDED BASIS OR WHEN THE SEDIMENT REACHES A DEPTH OF MORE THAN 3".
 - CONSTRUCTION DEBRIS AND SEDIMENT SHALL BE KEPT ON SITE AND SHALL NOT BE PERMITTED TO MIGRATE BEYOND THE PROJECT BOUNDARIES OR TO ANY WETLAND AREA.
 - ONCE THE SITE HAS BEEN LOAMED AND SEEDED AND THE SITE IS STABLE, THE SEDIMENT AND EROSION CONTROLS MAY BE REMOVED.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
REVIEWED SITE PLAN APPLICATION NO. 20-059
DATED APR 27 2021
SEE LETTER OF SAME DATE.

PROJECT APPLICANT
MCINTOSH REAL ESTATE LLC
22 OLD MOUNTAIN ROAD
WYOMING, RI 02898

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NOTES & DETAILS NO. 3
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ASSESSOR'S PLAT 3C / PARCELS 7-2 & 8
22 OLD MOUNTAIN ROAD
RICHMOND, RHODE ISLAND

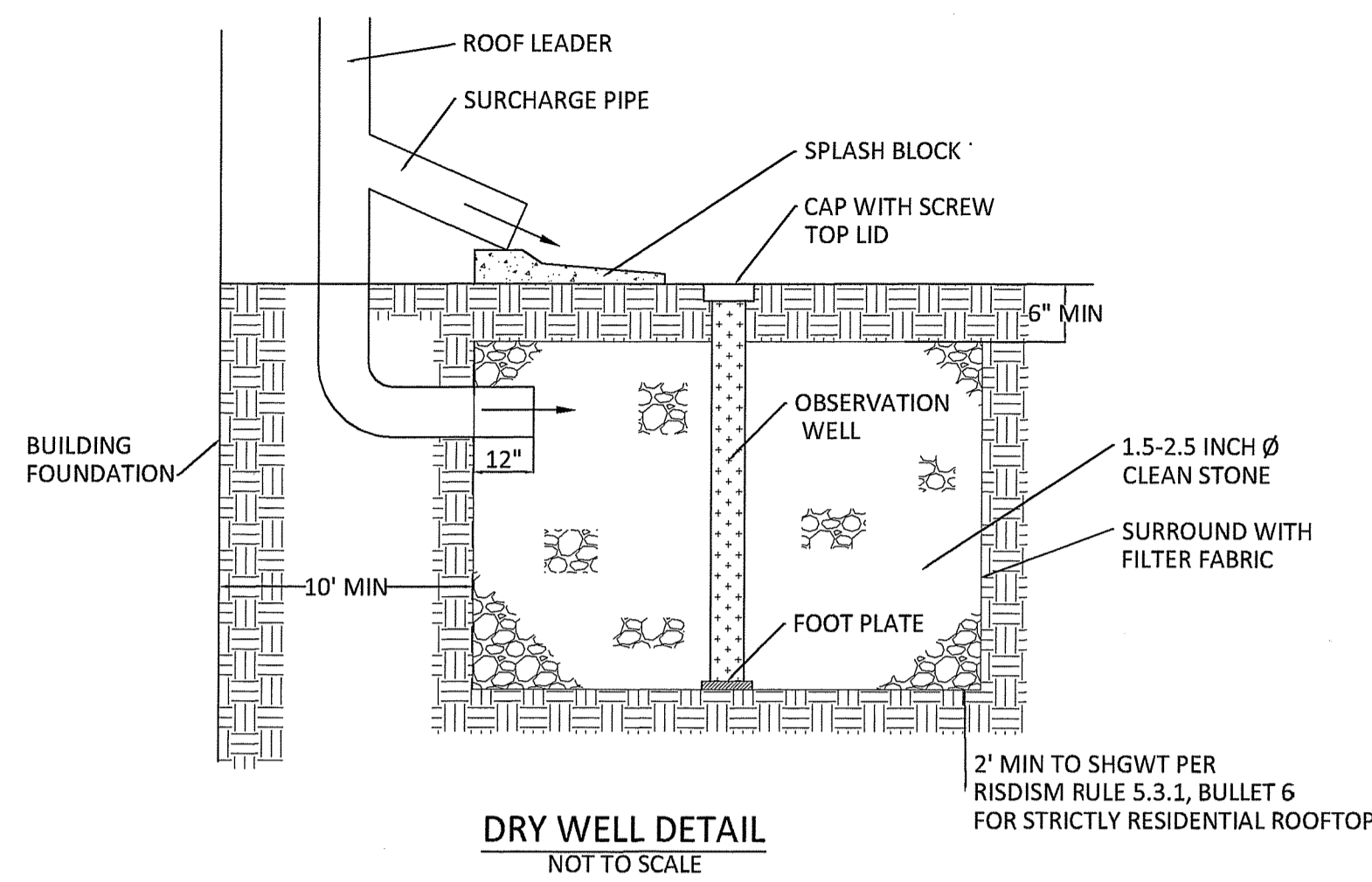
DATE: OCTOBER 2020
SHEET: ND - 3
SHEET 20 OF 21

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REVISIONS	DESCRIPTION
DATE	

NOT TO SCALE



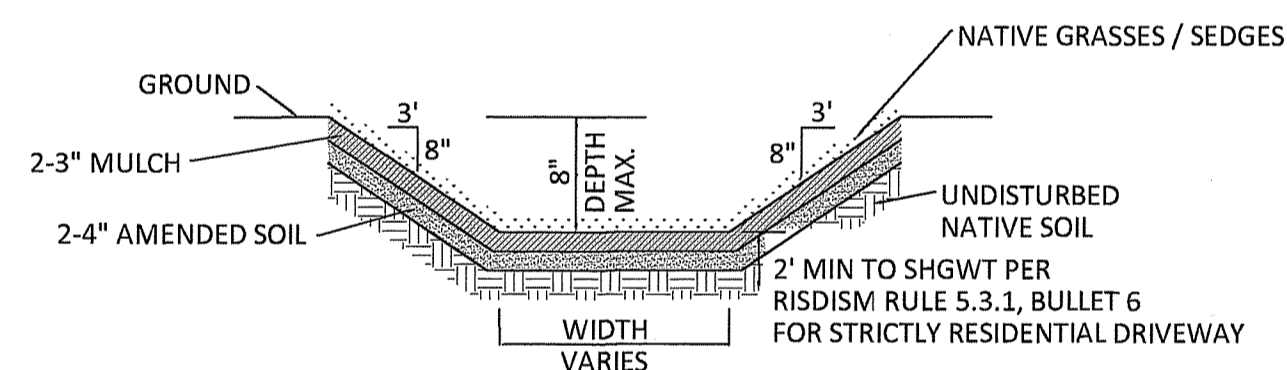
DRY WELL DETAIL
NOT TO SCALE

DRY WELLS NOTES

1. THE DRY WELLS ARE DESIGNED ONLY TO ACCEPT ROOF RUNOFF FROM THE HOUSE
2. THE MAXIMUM DEPTH OF ALL DRY WELLS SHALL BE 30 INCHES
3. THE DRY WELLS SHALL BE LOCATED A MINIMUM OF 10 FEET FROM THE FOUNDATION AND 25 FEET FROM ANY OWTS LEACH FIELD AND 15 FEET FROM ANY OTHER OWTS COMPONENT
4. THE DRY WELLS SHALL BE 8' X 10'
5. THE BOTTOM OF THE STONE RESERVOIR SHALL BE COMPLETELY FLAT OR NEARLY SO IN ORDER THAT INFILTRATED RUNOFF WILL BE ABLE TO INFILTRATE THROUGH THE ENTIRE BOTTOM SURFACE AREA
6. THE BOTTOM OF THE DRY WELL SHALL BE LOCATED A MINIMUM OF 2 FEET VERTICALLY FROM THE SEASONAL HIGH GROUNDWATER TABLE (SHGWT) PER RISDISM RULE 5.3.1 FOR RESIDENTIAL ROOFTOPS
7. THE BOTTOM OF THE DRY WELL MUST BE LOCATED IN THE SOIL PROFILE
8. GREAT CARE MUST BE TAKEN TO PREVENT THE INFILTRATION AREA FROM COMPACTION BY MARKING OFF THE LOCATION BEFORE CONSTRUCTION AT THE SITE AND CONSTRUCTING THE DRY WELL LAST
9. AN OBSERVATION WELL SHALL BE INSTALLED IN THE DRY WELL, CONSISTING OF AN ANCHORED 4 TO 6 INCH DIAMETER PERFORATED PVC PIPE WITH A SCREW-TOP CAP INSTALLED FLUSH WITH THE GROUND SURFACE

DRY WELLS MAINTENANCE NOTES

1. THE DRY WELL SHALL BE INSPECTED ANNUALLY AND REPAIRED IF NECESSARY TO ENSURE PROPER DRAINAGE
2. ACCUMULATED SEDIMENT AND DEBRIS SHALL BE REMOVED FROM THE SURFACE OF THE DRYWELL ANNUALLY
3. DRY WELL MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.



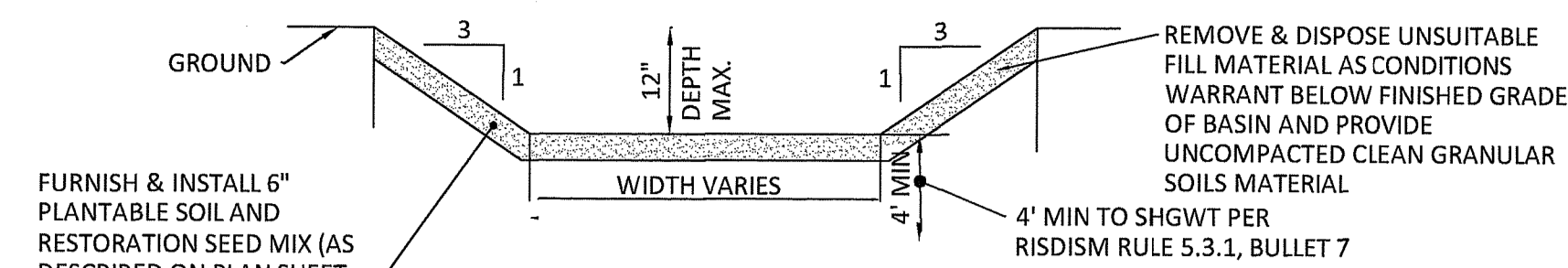
VEGETATED SWALE DETAIL
NOT TO SCALE

VEGETATED SWALES NOTES

1. THE MAXIMUM DEPTH OF ALL VEGETATED SWALES SHALL BE 8 INCHES
2. THE BOTTOM WIDTH OF THE VEGETATED SWALES VARIES
3. THE SWALES SHALL HAVE A SIDE SLOPE OF 4.5:1 (3 FEET IN 8 INCHES)
4. THE SWALES SHALL CONTAIN A 2 TO 4 INCH AMENDED SOIL LAYER AND A 2 TO 3 INCH MULCH LAYER
5. THE AMENDED SOIL LAYER OF THE VEGETATED SWALE SHOULD BE A 50/50 MIXTURE OF THE EXCAVATED NATIVE SOILS AND MATURE ORGANIC COMPOST
6. GRASSES OR SEDGES ARE TYPICALLY USED IN VEGETATED SWALES, BUT OTHER NATIVE PLANTS CAN BE USED IN ACCORDANCE WITH THE RI STORMWATER INSTALLATION STANDARDS MANUAL (APPENDIX B), CRMC RI COASTAL PLANT GUIDE OR CRMC COASTAL BUFFER ZONE PLANTING GUIDE

VEGETATED SWALES MAINTENANCE NOTES

1. THE VEGETATED SWALES SHALL BE INSPECTED ANNUALLY AND AFTER LARGE STORM EVENTS
2. ERODED SIDE SLOPES AND CHANNEL BOTTOMS SHALL BE STABILIZED AS NECESSARY
3. IF THE SURFACE OF THE DRY SWALE BECOMES CLOGGED TO THE POINT THAT STANDING WATER IS OBSERVED ON THE SURFACE 48 HOURS AFTER PRECIPITATION EVENTS, THE BOTTOM SHALL BE ROTO-TILLED OR CULTIVATED TO BREAK UP ANY HARD-PACKED SEDIMENT, AND THEN RESEEDED
4. VEGETATION IN DRY SWALES SHALL BE MOWED AS REQUIRED TO MAINTAIN MINIMUM GRASS HEIGHTS IN THE 4 TO 6 INCH RANGE
5. EVERY FIVE YEARS, THE CHANNEL BOTTOM OF DRY SWALES SHOULD BE SCRAPED TO REMOVE SEDIMENT AND TO RESTORE ORIGINAL CROSS SECTION AND INFILTRATION RATE, AND SHOULD BE SEED TO RESTORE GROUND COVER, WHERE NECESSARY
6. THE MAINTENANCE OF THE VEGETATED SWALES SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.



INFILTRATION BASIN DETAIL
NOT TO SCALE

INFILTRATION VEGETATED BASIN INSTALLATION

1. INSTALL SEDIMENT CONTROL DEVICES
2. GRADE SITE TO ELEVATIONS SHOWN ON PLAN. INSTALL SAFETY FENCE AROUND CONSTRUCTION AREA OR EXCAVATION
3. STABILIZE GRADING WITHIN THE LIMIT OF DISTURBANCE EXCEPT FOR THE INFILTRATION BASIN TO BE PLANTED. SURROUND THE BASIN WITH A BIOLOG, STRAW BALES OR COMPOST BERM TO KEEP SEDIMENT OUT OF THE BASIN.
4. EXCAVATE BASIN AREA TO PROPOSED INVERT DEPTH AND SCARIFY THE EXISTING SOIL SURFACES, TAKING CARE NOT TO COMPACT THE IN-SITU MATERIALS. DO NOT LEAVE ANY OPEN AREAS OR PITS OPEN AT THE END OF THE DAY AND NO EXCAVATION OVER LOCAL JURISDICTION OR OSHA LIMITS.
5. IF EXISTING SOIL IS NOT WELL-DRAINED PLANTING SOIL, REMOVE EXISTING SOIL TO DEPTH OF AT LEAST 4' OR TO WATER TABLE. FILL BOTTOM OF CELL WITH A 4-INCH THICK LAYER OF WASHED GRAVEL OR STONE.
6. BACKFILL BASIN WITH PLANTING SOIL. FILL THE CELL WITH 8" LIFTS OF SOIL. SATURATE EACH LIFT AND LET IT DRAIN AND THEN PLACE THE NEXT LIFT. BE CAREFUL NOT TO COMPACT THE SOIL WITH EQUIPMENT AND OVER-SATURATE IT.
7. PLANT VEGETATION.
8. MULCH AND INSTALL EROSION PROTECTION AT ENTRANCE POINTS. REMOVE SEDIMENT CONTROL PRACTICES OR ENTRANCE BLOCKS WITH INSPECTOR AUTHORIZATION. LEAVE PERIMETER BIODEGRADABLE CONTROLS TO REDUCE SEDIMENT LOADS TO CELL UNTIL VEGETATION IS ESTABLISHED.

GENERAL INFILTRATION BASIN AREAS NOTES

1. ALL SIDE SLOPES OF THE INFILTRATION BASIN AREA SHALL BE 3:1 (MAX.). THE MAXIMUM DEPTH OF ALL INFILTRATION BASINS SHALL BE 12 INCHES AND THE BOTTOM WIDTH OF THE INFILTRATION BASINS VARIES.
2. BOTTOM OF INFILTRATION BASIN SHALL HAVE A MINIMUM OF 6" PLANTABLE SOIL. ALL OTHER AREAS NOT RIP RAPPED SHALL HAVE A MINIMUM OF 6" PLANTABLE SOIL. REFERENCE RESTORATION SEED MIXES AS DESCRIBED ON PLAN SHEET ND-1.
3. INFILTRATION BASIN SHALL BE CONSTRUCTED AND STABILIZED PRIOR TO OTHER CONSTRUCTION. TEMPORARY INFILTRATION SHALL BE DIVERTED TO TEMPORARY SEDIMENT BASINS. TEMPORARY SEDIMENT BASINS SHALL BE LOCATED IN THE FIELD AS CONDITIONS WARRANT ON UPLAND AREAS OUTSIDE OF THE PERIMETER AND RIVERBANK WETLAND AREAS.
4. INFILTRATION BASIN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE RI STORMWATER DESIGN AND INSTALLATION STANDARDS MANUAL.

GENERAL INFILTRATION BASIN MAINTENANCE PLAN

1. THE GRASS WITHIN THE INFILTRATION BASIN SHALL BE MOWED A MINIMUM OF THREE (3) TIMES BETWEEN THE MONTHS OF MAY AND OCTOBER. MOWED HEIGHT OF THE VEGETATION SHALL NOT BE LESS THAN TWO (2) INCHES.
2. ACCUMULATED SILT AND DEBRIS SHALL BE REMOVED FROM THE INFILTRATION BASINS A MINIMUM OF THREE (3) TIMES PER YEAR, PREFERABLY AT THE TIME OF MOWING.
3. AT THE TIME OF MOWING, ANY AREAS THAT SHOW SIGNS OF EROSION SHALL BE RESEED IMMEDIATELY.
4. DURING THE FIRST YEAR, WEEKLY MONITORING OF THE INFILTRATION BASINS SHALL OCCUR AND MAINTENANCE PERFORMED AT THAT TIME AS MAY BE REQUIRED BY CONDITIONS.
5. ACCUMULATED SILT AND DEBRIS SHALL BE REMOVED FROM THE INFILTRATION BASIN AS NECESSARY TO ENSURE PROPER BASIN FUNCTIONING.
6. ALL LONG TERM CARE AND MAINTENANCE OF THE INFILTRATION BASIN SHALL BE IN ACCORDANCE WITH THE RI STORMWATER MANUAL AND TOWN OF RICHMOND REQUIREMENTS.
7. THE HOMEOWNERS' ASSOCIATION COMPRISED OF THE PROPERTY OWNERS OF SUBDIVISION LOTS 2, 3 AND 4 SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE INFILTRATION BASINS ALONG THE PRIVATE ROADWAY.

DRAINAGE NOTES DURING CONSTRUCTION

1. ANY DRAINAGE STRUCTURES SHALL BE CLEANED AND FLUSHED AS REQUIRED.
2. DRAINAGE DESIGNED FOR A 100 YEAR, 24 HOUR STORM EVENT FOR THE CHANGED CONDITIONS OF THE PROPOSED SITE IMPROVEMENTS PER STATE OF RHODE ISLAND REQUIREMENTS.
3. THE CONTRACTOR AND/OR OWNER SHALL BE RESPONSIBLE FOR MAINTAINING THE DRAINAGE SYSTEMS IN ACCORDANCE WITH THE RI STORMWATER MANUAL AND TOWN OF RICHMOND REQUIREMENTS.
4. THE DRAINAGE SYSTEMS SHALL BE PROPERLY MAINTAINED AT ALL TIMES.
5. ALL DRAINAGE SYSTEM AREAS SHALL BE KEPT CLEAR OF DEBRIS AT ALL TIMES.
6. NO FOREIGN SUBSTANCES SHALL BE DUMPED INTO THE DRAINAGE SYSTEM AT ANY TIME.
7. ANY AREAS EXPERIENCING EROSION TENDENCIES SHALL BE REPAIRED AND RESEED IMMEDIATELY.
8. NO DRAINAGE MEASURES SHALL BE LOCATED WITHIN 25 FEET OF ANY OWTS LEACH FIELD AND 15 FEET FROM ANY OTHER COMPONENTS OF THE PROPOSED ONSITE WASTEWATER TREATMENT SYSTEM (OWTS).
9. AS CONDITIONS WARRANT, RIPRAP SHALL BE PLACED BETWEEN THE ROADWAY AREAS AND THE DRAINAGE BASINS TO PROTECT EMBANKMENTS FROM EROSION TENDENCIES.
10. THE DRAINAGE STRUCTURES SHALL BE CLEANED ON AN ANNUAL BASIS AND AS CONDITIONS MAY WARRANT.
11. MAINTENANCE OF THE SYSTEM SHALL BE PERFORMED ON AN ANNUAL BASIS UNDER NORMAL FUNCTIONING OF THE SYSTEM AT A MINIMUM. ANY OBSERVED BLOCKAGE, OVERFLOW OF ANY DRAINAGE SYSTEM COMPONENT OR OTHER OBSERVED ISSUES IN THE FIELD SHALL WARRANT AN INSPECTION AND CLEANOUT AS MAY BE REQUIRED OF ANY PORTION OF THE SYSTEM. MAINTENANCE OF THE SYSTEM SHALL BE THE RESPONSIBILITY OF THE OWNER AND/OR CONTRACTED TO A PROFESSIONAL SERVICER AS CONDITIONS WARRANT.
12. ANY AREAS EXPERIENCING EROSION TENDENCIES SHALL BE REPAIRED AND RESEED IMMEDIATELY.

LAYOUT NOTES

1. LAYOUT FOR THE MCINTOSH FARM PROJECT IS BASED ON HOUSE SIZES PROVIDED BY MCINTOSH REAL ESTATE LLC AND ARE CURRENT THROUGH OCTOBER 2020.
2. PROPOSED OWTS TO BE DESIGNED BY OTHERS. LAYOUTS SHOWN ARE PRELIMINARY AND SHALL BE FINALIZED DURING FINAL OWTS DESIGN.
3. REFER TO LAYOUT PLAN FOR ADDITIONAL DETAILS RELATED TO LAYOUT DIMENSIONS AND DETAILS

GENERAL DRAINAGE NOTES

1. DESIGN OF PROPOSED HOUSE PROVIDED BY MCINTOSH REAL ESTATE LLC, AS OF OCTOBER 2020.
2. DRAINAGE HAS BEEN DESIGNED FOR THE 100-YEAR, 24-HOUR STORM EVENT IN ACCORDANCE WITH THE "RHODE ISLAND STORMWATER DESIGN AND INSTALLATION STANDARDS MANUAL, AMENDED MARCH 2015" AND TOWN OF RICHMOND REQUIREMENTS.
3. CREDIT HAS BEEN TAKEN FOR INFILTRATION OF PROPOSED DRAINAGE MEASURES.
4. GRADING AROUND THE OWTS WILL BE REVISED AS REQUIRED DURING FINAL DESIGN. NO CHANGES TO THE GRADING AROUND THE HOUSE, DRIVE AND DRAINAGE SYSTEMS WILL BE MADE AS PART OF ANY REQUIRED GRADING MODIFICATIONS RESULTING FROM THE OWTS FINAL DESIGN.
5. DRY WELLS, VEGETATED SWALES, AND INFILTRATION BASINS SHOWN SHALL BE CONSTRUCTED AND INSTALLED AS PART OF THE OVERALL SITE IMPROVEMENTS PROPOSED.

GENERAL STORMWATER MANAGEMENT SYSTEM OPERATION & MAINTENANCE PLAN

THE STORMWATER MANAGEMENT SYSTEM OPERATION & MAINTENANCE PLAN DESCRIBED HEREIN IS FOR THE PROPOSED MCINTOSH FARM SUBDIVISION LOCATED ON ASSESSOR'S MAP 3C, PARCELS 7-2 & 8 (NOTE: LOTS TO BE MERGED ADMINISTRATIVELY)

RESPONSIBLE PARTY FOR MAINTENANCE

- THE OWNER / DEVELOPER SHALL BE RESPONSIBLE FOR ALL MAINTENANCE ASSOCIATED WITH THE STORMWATER SYSTEM UNTIL THEY ARE COMPLETELY CONSTRUCTED.
- ONCE THE LOTS ARE SOLD, THE PROPERTY OWNER SHALL ASSUME ALL RESPONSIBILITY FOR MAINTENANCE ON THEIR INDIVIDUAL LOT.
- PRIVATE OWNERS OF LOTS 2, 3, AND 4 SHALL ALSO BE MEMBERS OF THE HOMEOWNERS ASSOCIATION WHO WILL BE RESPONSIBLE FOR ALL ROADWAY MAINTENANCE INCLUDING SURFACE COVER AND INFILTRATION BASINS LOCATED ALONG AVERY WAY.

DURING CONSTRUCTION

- PRIOR TO THE START OF ANY CONSTRUCTION, THE EROSION CONTROLS SHALL BE INSTALLED AND SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION UNTIL A STABLE GROUND COVER IS ESTABLISHED.
- DURING CONSTRUCTION, THE SOIL EROSION AND SEDIMENTATION PROGRAMS FOUND ON THE SITE PLANS PREPARED SHALL BE FOLLOWED AND BE THE RESPONSIBILITY OF THE OWNER AND/OR CONTRACTOR AS APPLICABLE.
- PREPARATION OF THE AREA FOR THE VEGETATED SWALES, DRY WELLS, AND INFILTRATION BASINS SHALL CONFORM TO THE PROCEDURES DESCRIBED AS PART OF THIS PLAN SET PREPARED.
- CONSTRUCTION VEHICLES SHALL NOT BE ALLOWED TO DRIVE OVER THE VEGETATED SWALES AND INFILTRATION BASIN AREAS DURING CONSTRUCTION. IF THE AREA BECOMES COMPACTED, SOIL MUST BE SUITABLY AMENDED, TILLED, AND REVEGETATED ONCE CONSTRUCTION IS COMPLETE TO RESTORE INFILTRATION CAPACITY.

DESCRIPTION OF ANNUAL MAINTENANCE TASKS

- THE YARD AREA (LAWN AREA) SHALL BE CREATED AROUND THE PROPOSED RESIDENCES AND THEIR ASSOCIATED AMENITIES.
- THE DRIVEWAY SHALL BE CREATED AND SHALL BE MAINTAINED BY THE PROPERTY OWNER. MAINTENANCE OF THE DRIVING SURFACE SHALL BE ON-GOING TO ENSURE A SMOOTH, STABLE SURFACE.
- THE VEGETATED SWALES SHALL BE MAINTAINED TO ENSURE PROPER GROWTH AND LIFE, SHOULD ANY OF THESE MATERIALS BECOME DISEASED OR DIE, THEY SHALL BE REPLACED IN KIND AND LOCATION. ALL MAINTENANCE PERFORMED SHALL BE DONE IN A MANNER TO MAINTAIN THE INFILTRATION CAPACITY OF THE VEGETATED SWALES.
- THE DRY WELLS SHALL BE MAINTAINED THROUGHOUT THE YEAR. SAID MAINTENANCE SHALL INCLUDE ANNUALLY INSPECTING THE DRY WELL AND REPAIR IF NECESSARY TO ENSURE PROPER DRAINAGE, AND TO REMOVE ANY ACCUMULATED SEDIMENT AND DEBRIS FROM THE SURFACE OF THE DRYWELL ANNUALLY
- ANY AREA SUBJECT TO EROSION TENDENCIES SHALL BE REPLACED IN KIND TO ENSURE THAT A STABLE GROUND COVER IS MAINTAINED AT ALL TIMES.
- MOWING AND OTHER RELATED MAINTENANCE SHALL BE PERFORMED AS SITE CONDITIONS WARRANT THROUGHOUT THE YEAR.

PRIVATE ROADWAY

- THE HOMEOWNERS ASSOCIATION SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE PRIVATE ROADWAY ON WHICH THEIR HOME IS LOCATED
- THE INFILTRATION BASINS SHALL BE MAINTAINED THROUGHOUT THE YEAR. SAID MAINTENANCE IS PROVIDED AS PART OF THE DESIGN. ALL PLANT MATERIALS SHALL BE MAINTAINED TO ENSURE PROPER GROWTH AND LIFE, SHOULD ANY OF THESE MATERIALS BECOME DISEASED OR DIE, THEY SHALL BE REPLACED IN KIND AND LOCATION. ALL MAINTENANCE PERFORMED SHALL BE DONE IN A MANNER TO MAINTAIN THE INFILTRATION CAPACITY OF THE BASINS.
- ANY AREA SUBJECT TO EROSION TENDENCIES SHALL BE REPLACED IN KIND TO ENSURE THAT A STABLE GROUND COVER IS MAINTAINED AT ALL TIMES.
- MOWING AND OTHER RELATED MAINTENANCE SHALL BE PERFORMED AS SITE CONDITIONS WARRANT THROUGHOUT THE YEAR.

DESCRIPTION OF APPLICABLE EASEMENTS

NO EASEMENTS ARE REQUIRED TO PERFORM ANNUAL MAINTENANCE.

DESCRIPTION OF FUNDING SOURCES

THE PROPERTY OWNERS AND HOMEOWNERS ASSOCIATION, AS APPLICABLE SHALL BE RESPONSIBLE FOR ALL MAINTENANCE AND OPERATION OF THE STORMWATER SYSTEMS. AS SUCH, THE OWNER'S AND/OR ASSOCIATION FUNDS SHALL BE USED AS REQUIRED.

MINIMUM VEGETATIVE COVER REQUIREMENTS

- THE VEGETATIVE COVER REQUIREMENTS ARE PROVIDED AS PART OF THE LANDSCAPE AND DRAINAGE DESIGN PROVIDED ON THE PLANS.
- ALL VEGETATION PROPOSED SHALL BE MAINTAINED AT ALL TIMES AND BE REPLACED IN KIND SHOULD IT BECOME DISEASED OR DIE.

ACCESS & SAFETY ISSUES

- THERE ARE NO SAFETY ISSUES RELATED TO THE MAINTENANCE AND OPERATION OF THE STORMWATER SYSTEM.

POLLUTION PREVENTION MEASURES

- ANY SEDIMENTATION THAT MAY ENTER THE STORMWATER SYSTEMS SHALL BE REMOVED PROMPTLY.
- NO PESTICIDES OR FERTILIZERS SHALL BE USED IN THE VEGETATED SWALES AND INFILTRATION BASINS.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
REVIEWED SITE PLAN APPLICATION NO.: 20-0251
DATED APR 27 2021
SEE LETTER OF SAME DATE.
William E. Mcintosh

Environmental Management
MAR 10 2021
Office of Water Resources

REVISIONS	DESCRIPTION
DATE	DESCRIPTION
FEB 2021	RIDEM WETLANDS COMMENTS

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McIntosh Farm
ASSESSOR'S PLAT 3C / PARCELS 7-2 & 8
22 OLD MOUNTAIN ROAD
RICHMOND, RHODE ISLAND

NOTES & DETAILS NO. 4

DATE: OCTOBER 2020
REVISED FEBRUARY 2021

SHEET: ND - 4

SHEET 21 OF 21

NOT TO SCALE