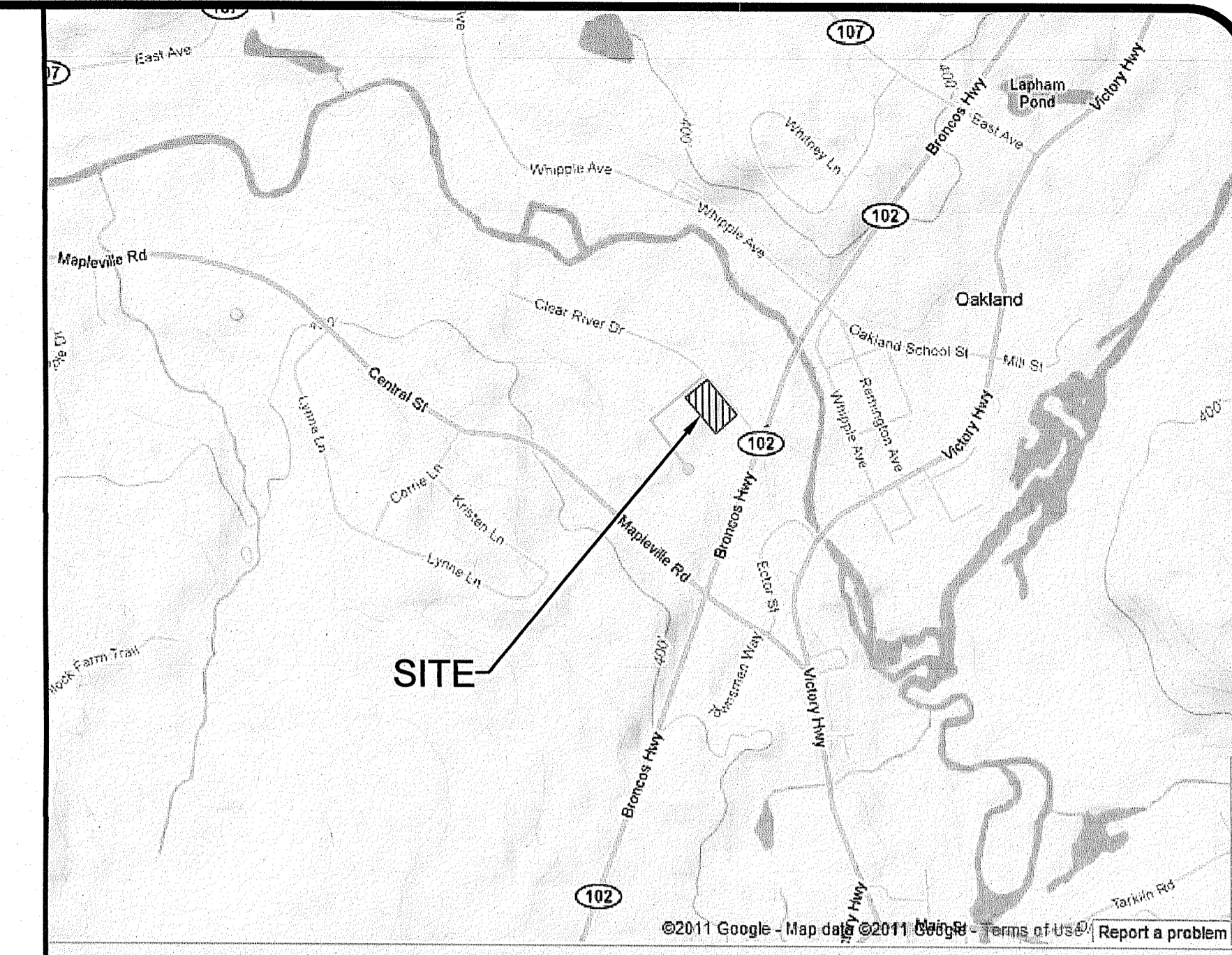


# Lot 118 Clear River Industrial Park

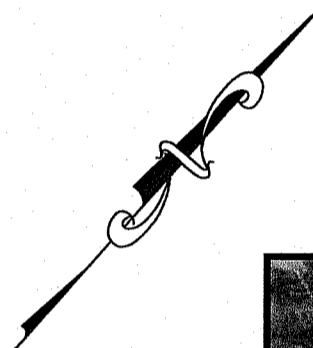
## Major Land Development

A.P. 179 Lot 118

Aspen Way & Clear River Drive  
Burrillville, Rhode Island



Locus Map 1"=1000'



Aerial Map

1"=200'

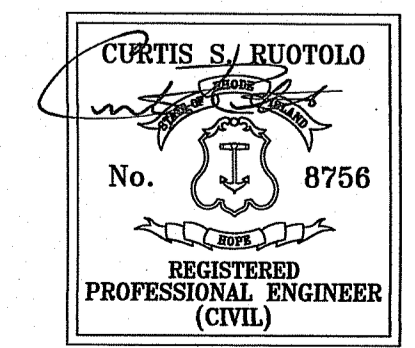
Sheet Index	
SHEET NO.	TITLE
C1.0	NOTES & LEGEND
	BOUNDARY STAKEOUT SURVEY
C2.0	SOIL EROSION & SEDIMENT CONTROL PLAN
C3.0	LAYOUT & MATERIALS PLAN
C4.0	GRADING, DRAINAGE & UTILITY PLAN
C5.0	DETAILS
C5.1	DETAILS
C5.2	DETAILS

**Owner/Applicant:**

ADLER PROPERTIES, LLC  
604 PUTNAM PIKE  
GREENVILLE, RI 02828

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS  
AS SPECIFIED IN THE LETTER OF APPROVAL  
DATED 3/4/2021 FILE # 20-0267  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
APPROVED PLANS MUST BE AT CONSTRUCTION SITE  
*Stanley L. Freeman*

FEB 16 2021



**Advanced Civil Design, Inc.**  
CIVIL ENGINEERS  
88 PEEPTOAD ROAD  
SITUATE, RI 02857  
PH: (401) 473-4404



**Construction Sequence Notes**

1. SURVEY LOCATE AND INSTALL EROSION CONTROL MEASURES AND TEMPORARY CONSTRUCTION FENCE AT LIMITS OF WORK;
2. INSTALL ANTI-TRACKING PAD(S) / WHEEL WASH STATION(S) AT SITE CONSTRUCTION ENTRANCE(S);
3. INSTALL INLET PROTECTION DEVICES AT ALL EXISTING CATCH BASINS;
4. BEGIN SITE DEMOLITION OPERATIONS INCLUDING ANY STRIPPING OF PAVEMENTS, TREE REMOVAL, CUTTING/CAPPING AND/OR REMOVAL OF UTILITIES, ETC.;
5. CLEAR & GRUB AND STRIP TOPSOIL & STOCKPILE. INSTALL HAYBALES OR SILT FENCE AROUND STOCKPILES;
6. COMMENCE CUT AND FILL OPERATION TO ACHIEVE SITE SUBGRADE;
7. INSTALL FOUNDATIONS AND UNDERSLAB PLUMBING;
8. INSTALL BUILDING SLAB AND BEGIN SHELL CONSTRUCTION;
9. INSTALL STORMWATER INFILTRATION AND WATER QUALITY SYSTEMS, MANHOLES, CATCH BASINS, AND PIPING;
10. INSTALL UNDERGROUND UTILITIES INCLUDING SEWER SERVICE AND FIRE/DOMESTIC SERVICES;
11. CONNECT DOWNSPOUTS TO ROOF DRAIN PIPING;
12. BEGIN INTERIOR BUILDING CONSTRUCTION;
13. INSTALL CURBING AS SHOWN;
14. RE-SPREAD LOAM FROM STOCKPILE IN ALL PLANTING AREAS.
15. REMOVE ANTI-TRACKING PAD(S) AND INSTALL GRAVEL, FINE GRADE, AND ASPHALT BINDER;
16. FINISH BUILDING EXTERIOR AND CONTINUE INTERIOR BUILDING CONSTRUCTION.
17. INSTALL GRAVEL, FINE GRADE, AND SITE CONCRETE FLATWORK;
18. SWEEP AND INSTALL PAVEMENT TOP COURSE.
19. INSTALL ANY ADDITIONAL LOAM REQUIRED FOR PLANT AREAS.
20. SEED AND LANDSCAPE ALL AREAS.
21. INSTALL PAVEMENT MARKINGS, SITE SIGNAGE, AND ANY SITE FURNISHINGS.
22. FINISH BUILDING INTERIOR CONSTRUCTION;
23. REMOVE TEMPORARY CONSTRUCTION FENCE;
24. REMOVE EROSION CONTROLS AT SITE PERIMETER AND CATCH BASIN FILTERS ONCE VEGETATION HAS ESTABLISHED;
25. INSPECT AND CLEAN ANY SEDIMENT FROM INFILTRATION SYSTEMS, CATCH BASINS, AND PIPING.

**Construction (Short-Term) BMP Maintenance**

1. ADLER BROS. CONSTRUCTION WILL BE RESPONSIBLE FOR THE MAINTENANCE OF THE BEST MANAGEMENT PRACTICES (BMPs) DURING CONSTRUCTION.
2. A SOIL EROSION AND SEDIMENT CONTROL (SESC) PLAN HAS BEEN PREPARED BY ADVANCED CIVIL DESIGN, INC. AND SUBMITTED TO RIDEM. THE SITE CONTRACTOR AND/OR OPERATOR SHALL MAINTAIN A COPY OF THIS PLAN ON-SITE, INCLUDING ALL INSPECTION REPORTS, AND MAKE MODIFICATIONS TO THE PLAN AS REQUIRED DURING CONSTRUCTION. ALL RECORDS SHALL BE RETAINED FOR A MINIMUM OF FIVE (5) YEARS FROM THE DATE OF THE REPORT.
3. THE TEMPORARY CONSTRUCTION BMPs WILL BE MAINTAINED AS FOLLOWS:

**STRAW WATTLES, HAYBALES, OR SILT FENCE**

WHERE: BOTTOM SLOPE OF LAND DISTURBING ACTIVITY  
WHEN: EVERY 7 DAYS AND EACH RAINFALL AMOUNT OF 0.25" AND GREATER

MAINTENANCE: REPLACE OR REPAIR IMMEDIATELY FOLLOWING RAIN EVENT. TAKE PICTURES AND DOCUMENT RESTORATION. ACCUMULATED SEDIMENT BEHIND THE CONTROL IS NECESSARY IF 1/2 OF THE ORIGINAL HEIGHT OF THE CONTROL BECOMES FILLED WITH SEDIMENT.

**ANTI-TRACKING PAD**

WHERE: SITE ENTRANCES

WHEN: AS REQUIRED

MAINTENANCE: REMOVE AND REPLACE RIP-RAP IF RIP-RAP BECOMES FILLED WITH SEDIMENT AND WHEN ANTI-TRACKING PAD IS NOT MAINTAINING A CLEAN RIGHT-OF-WAY.

**SILT SACK**

WHERE: CATCH BASINS

WHEN: EVERY 7 DAYS AND WITHIN 24 HOURS AFTER EACH RAINFALL AMOUNT 0.25" AND GREATER

MAINTENANCE: REMOVE AND DISPOSE SEDIMENT FROM SITE.

**TEMPORARY SEEDING OR HAY**

WHERE: LANDSCAPE AREAS

WHEN: AS REQUIRED

MAINTENANCE: RE-SEED ANY ERODED OR BARE AREAS. IF HAY IS USED, INSTALL NEW HAY IF BARE SOIL IS SHOWING.

**RIP-RAP SLOPE PROTECTION**

WHERE: SLOPES > 3:1

WHEN: NOTICEABLE WASHOUTS

MAINTENANCE: REPLACE DISPLACED STONES, RE-COMPACT AND REBUILD SLOPE IF EROSION IS APPARENT

**TEMPORARY SEDIMENT BASIN(S)**

WHERE: SEE SESC PLAN

WHEN: UNTIL SITE IS PAVED

MAINTENANCE: REMOVE SEDIMENT FROM BASIN AS NEEDED TO MAINTAIN STORAGE SUFFICIENT ENOUGH TO CAPTURE RUNOFF FROM A 0.25" RAINFALL.

4. PICTURES SHALL BE TAKEN TO DOCUMENT MAINTENANCE ALONG WITH FILLING OUT THE MAINTENANCE LOSS WITHIN THE SESC PLAN.

5. INSPECTION REPORTS WILL BE COMPLETED AND MAINTAINED FOR FIVE (5) YEARS FROM DATE OF STABILIZATION.

**General Site Construction Notes**

1. CONTRACTOR SHALL NOTIFY "DIG-SAFE" (1-888-344-7233) AT LEAST 72 HOURS BEFORE EXCAVATING.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. CONSTRUCTION ACTIVITIES SHALL BE IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS.
3. ACCESSIBLE ROUTES, PARKING SPACES, RAMPS, SIDEWALKS AND WALKWAYS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE FEDERAL AMERICANS WITH DISABILITIES ACT AND WITH STATE AND LOCAL LAWS AND REGULATIONS (WHICHEVER ARE MORE STRINGENT).
4. AREAS DISTURBED DURING CONSTRUCTION AND NOT RESTORED WITH IMPERVIOUS SURFACES (BUILDINGS, PAVEMENTS, WALKS, ETC.) SHALL RECEIVE LOAM AND SEED. SEE LANDSCAPE PLANS.
5. UPON AWARD OF CONTRACT, CONTRACTOR SHALL MAKE NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN NECESSARY PERMITS, PAY FEES, AND POST BONDS ASSOCIATED WITH THE WORK INDICATED ON THE DRAWINGS, IN THE SPECIFICATIONS, AND IN THE CONTRACT DOCUMENTS. DO NOT CLOSE OR OBSTRUCT ROADWAYS, SIDEWALKS, AND FIRE HYDRANTS, WITHOUT APPROPRIATE PERMITS.
6. AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
7. IN THE EVENT THAT SUSPECTED CONTAMINATED SOIL, GROUNDWATER, AND OTHER MEDIA ARE ENCOUNTERED DURING EXCAVATION AND CONSTRUCTION ACTIVITIES BASED ON VISUAL, OLFACTORY, OR OTHER EVIDENCE, THE CONTRACTOR SHALL STOP WORK IN THE VICINITY OF THE SUSPECT MATERIAL TO AVOID FURTHER SPREADING OF THE MATERIAL, AND SHALL NOTIFY THE OWNER IMMEDIATELY SO THAT THE APPROPRIATE TESTING AND SUBSEQUENT ACTION CAN BE TAKEN.
8. CONTRACTOR SHALL PREVENT DUST, SEDIMENT, AND DEBRIS FROM EXITING THE SITE AND SHALL BE RESPONSIBLE FOR CLEANUP, REPAIRS AND CORRECTIVE ACTION IF SUCH OCCURS.
9. DAMAGE RESULTING FROM CONSTRUCTION LOADS SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO OWNER.

**Long-Term BMP/Stormwater System O&M**

1. ADLER PROPERTIES, LLC WILL BE THE RESPONSIBLE PARTY TO FUND AND PERFORM LONG-TERM MAINTENANCE OF THE STORMWATER SYSTEMS.
2. A LEGALLY BINDING AGREEMENT HAS BEEN OR WILL BE PREPARED AND MUST BE MAINTAINED FOR CURRENT AND FUTURE PROPERTY OWNERS AS IT RELATES TO BMP AND STORMWATER SYSTEM MAINTENANCE.
3. A STORMWATER OPERATION AND MAINTENANCE (O&M) PLAN HAS BEEN PREPARED AND IS PART OF THE PROJECT DOCUMENTS. THIS PLAN IS TO BE RECORDED IN THE LAND EVIDENCE BOOK FOR LONG-TERM MAINTENANCE AND FUNCTIONALITY OF THE BMPs.
4. NO "LAND USES WITH HIGHER POTENTIAL POLLUTANT LOADS" (LHPLPS) WILL BE ALLOWED TO UTILIZE THE PROPERTY IN THE FUTURE. THE FOLLOWING LAND USES AND ACTIVITIES ARE CONSIDERED STORMWATER LHPLPS:
  - A. AREAS WITHIN AN INDUSTRIAL SITE (AS DEFINED IN RIPDES RULE 310(15)) THAT ARE THE LOCATION OF ACTIVITIES SUBJECT TO THE RIPDES MULTI-SECTOR GENERAL PERMIT (EXCEPT WHERE A NO EXPOSURE CERTIFICATION FOR EXCLUSION FROM RIPDES STORMWATER PERMITTING HAS BEEN EXECUTED);
  - B. AUTO FUELING FACILITIES (I.E., GAS STATIONS);
  - C. EXTERIOR VEHICLE SERVICE, MAINTENANCE AND EQUIPMENT CLEANING AREAS;
  - D. ROAD SALT STORAGE AND LOADING AREAS (IF EXPOSED TO RAINFALL); AND
  - E. OUTDOOR STORAGE AND LOADING/UNLOADING OF HAZARDOUS SUBSTANCES.

**Construction Waste Management**

1. BUILDING MATERIALS AND OTHER CONSTRUCTION SITE WASTES MUST BE PROPERLY MANAGED AND DISPOSED OF TO PREVENT THE DISCHARGE OF SOLID MATERIALS FROM WIND AND PRECIPITATION. ALL TYPES OF WASTE GENERATED AT THE SITE SHALL BE DISPOSED OF IN A MANNER CONSISTENT WITH STATE LAW AND/OR REGULATIONS. IV.E.2.C.II
2. A WASTE COLLECTION AREA SHALL BE DESIGNATED ON THE SITE THAT DOES NOT RECEIVE A SUBSTANTIAL AMOUNT OF RUNOFF FROM UPLAND AREAS.
3. ALL WASTE CONTAINERS SHALL BE COVERED TO AVOID CONTACT WITH WIND AND PRECIPITATION.
4. WASTE COLLECTION SHALL BE SCHEDULED FREQUENTLY ENOUGH TO PREVENT CONTAINERS FROM OVERFILLING.
5. ALL CONSTRUCTION SITE WASTES SHALL BE COLLECTED, REMOVED, AND DISPOSED OF IN ACCORDANCE WITH APPLICABLE REGULATORY REQUIREMENTS AND ONLY AT AUTHORIZED DISPOSAL SITES.
6. EQUIPMENT AND CONTAINERS SHALL BE CHECKED FOR LEAKS, CORROSION, SUPPORT OR FOUNDATION FAILURE, OR OTHER SIGNS OF DETERIORATION. THOSE THAT ARE FOUND TO BE DEFECTIVE SHALL BE IMMEDIATELY REPAIRED OR REPLACED.

**Establishment of Vegetative Cover**

1. SLOPES SHALL NOT BE LEFT UNATTENDED OR EXPOSED FOR EXCESSIVE PERIODS OF TIME SUCH AS THE INACTIVE WINTER SEASON.
2. PLANTABLE SOIL SHALL HAVE A SANDY LOAM TEXTURE, RELATIVELY FREE OF SUBSOIL MATERIAL, STONES, ROOTS, TREE LIMBS, TRASH OR CONSTRUCTION DEBRIS AND SHALL CONFORM WITH RHODE ISLAND'S STANDARD SPECIFICATIONS, AS AMENDED.
3. THE DESIGN MIX SHALL BE COMPRISED OF THE FOLLOWING:
 

TYPE	LBS/ACRE
CREeping RED FESCUE	75
KENTUCKY BLUE GRASS	15
COLONIAL BENT GRASS	5
PERENNIAL RYE GRASS	5
4. EARLY SPRING OR LATE SUMMER SEEDING IS RECOMMENDED. ADD LIME, FERTILIZER, OR COMPOST TO STRIPPED AND SCREENED TOPSOIL AS REQUIRED FROM TESTING.
5. THE SEED MIX SHALL BE INOCULATED WITHIN 24 HOURS BEFORE MIXING AND PLANTING, WITH APPROPRIATE INOCULUM FOR EACH VARIETY.
6. THE RECOMMENDED SEEDING DATES ARE APRIL 1ST THROUGH JUNE 15 AND AUGUST 15 THROUGH SEPTEMBER 30. TEMPORARY TREATMENTS SHALL CONSIST OF NORTH AMERICAN GREEN SI50BN OR APPROVED EQUAL. THEY SHALL BE INCORPORATED INTO THE WORK AS SHOWN ON THE PLANS.
7. HAY OR STRAW APPLICATIONS SHALL BE IN THE AMOUNT OF 2 TONS/ACRE. ALL HAY BALES OR TEMPORARY PROTECTION SHALL REMAIN IN PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED. ALL FILL SHALL BE THOROUGHLY COMPACTED UPON PLACEMENT IN STRICT CONFORMANCE WITH THE RHODE ISLAND STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION, SECTION 202.
8. STOCKPILES OF TOPSOIL SHALL NOT BE LOCATED NEAR WATERWAY. THEY SHALL HAVE SIDE SLOPES NO GREATER THAN 2:1.
9. ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE STABILIZED WITH PERMANENT SEEDING IMMEDIATELY FOLLOWING FINISH GRADING. PERMANENTLY SEEDED AREAS SHALL BE PROTECTED DURING ESTABLISHMENT WITH MULCH. ALL SEEDED AREAS WILL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHALL BE FERTILIZED AND RESEED AS NECESSARY.
10. REFERENCE THE "RHODE ISLAND EROSION AND SEDIMENTATION CONTROL HANDBOOK" PREPARED BY THE USDA SOIL CONSERVATION SERVICE AS A GUIDE. TEMPORARY HAY MULCH TO BE TACKED IN PLACE WITH NYLON MESH NETTING. MAXIMUM GRADED SLOPE WITHIN THE SITE TO BE 3:1, UNLESS SPECIFIED OTHERWISE.

**Soil Erosion & Sediment Control Notes**

1. A SOIL EROSION AND SEDIMENT CONTROL (SESC) PLAN HAS BEEN PREPARED BY ADVANCED CIVIL DESIGN, INC. AND SUBMITTED TO RIDEM. THE SITE CONTRACTOR AND/OR OPERATOR SHALL MAINTAIN A COPY OF THIS PLAN ON-SITE, INCLUDING ALL INSPECTION REPORTS, AND MAKE MODIFICATIONS TO THE PLAN AS REQUIRED DURING CONSTRUCTION. ALL RECORDS SHALL BE RETAINED FOR A MINIMUM OF FIVE (5) YEARS FROM THE DATE OF THE REPORT.
2. ALL DISTURBED AREAS SHALL BE SEED, PROTECTED, AND MAINTAINED BY THE CONTRACTOR. THE CONTRACTOR SHALL CHECK REGULARLY ALL SEEDED AREAS TO SEE THAT A GOOD STAND IS MAINTAINED.
3. THE CONTRACTOR MUST STABILIZE (SEED) ALL AREAS WITHIN 14 DAYS UNLESS ACTIVITY RESUMES WITHIN 21 DAYS.
4. EROSION CONTROLS SHALL BE MAINTAINED BY THE CONTRACTOR THROUGHOUT CONSTRUCTION AND SHALL REMAIN IN PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED.
5. THE CONTRACTOR SHALL MAINTAIN ALL TOP SOIL STOCKPILES AND SEDIMENT BARRIERS THROUGHOUT CONSTRUCTION. EXTREME CARE SHALL BE TAKEN TO ENSURE THAT SEDIMENTS DO NOT SPILL OVER THE SEDIMENT BARRIER.
6. EROSION CONTROL BARRIER SHALL BE MONITORED BY THE CONTRACTOR ON A WEEKLY BASIS AND AFTER EACH STORM FOR UNDERMINING OR DETERIORATION. CONTRACTOR SHALL REPAIR OR REPLACE AS NECESSARY.
7. CONTRACTOR SHALL CLEAN THE ACCUMULATED SEDIMENT IF HALF OF THE ORIGINAL HEIGHT OF THE EROSION CONTROL BECOMES FILLED IN WITH SEDIMENTS.
8. THE STONE STABILIZATION PAD AT THE SITE ENTRANCE SHALL BE MAINTAINED BY THE CONTRACTOR. THE MAINTENANCE SHALL INCLUDE TOP DRESSING WITH ADDITIONAL STONE OR ADDITIONAL LENGTH AS CONDITIONS DEMAND.
9. ALL SEDIMENTS SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY BY THE CONTRACTOR.
10. PRIOR TO SITE CONTRACTOR DEMOBILIZING FROM SITE, FLUSH DRAIN PIPES AND REMOVE SEDIMENT FROM WATER QUALITY STRUCTURES, UNDERGROUND DETENTION SYSTEM, AND DETENTION POND.

**Drainage & Utility Notes**

1. THE LOCATIONS, SIZES, AND TYPES OF EXISTING UTILITIES ARE SHOWN AS AN APPROXIMATE REPRESENTATION ONLY. THE OWNER OR ITS REPRESENTATIVE(S) HAVE NOT INDEPENDENTLY VERIFIED THIS INFORMATION AS SHOWN ON THE PLANS. THE UTILITY INFORMATION SHOWN DOES NOT GUARANTEE THE ACTUAL EXISTENCE, DEEPENABILITY, OR OTHER DATA CONCERNING THE UTILITIES, NOR DOES IT GUARANTEE AGAINST THE POSSIBILITY THAT ADDITIONAL UTILITIES MAY BE PRESENT THAT ARE NOT SHOWN ON THE PLANS. PRIOR TO ORDERING MATERIALS AND BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY AND DETERMINE THE EXACT LOCATIONS, SIZES, AND ELEVATIONS OF THE POINTS OF CONNECTIONS TO EXISTING UTILITIES AND, SHALL CONFIRM THAT THERE ARE NO INTERFERENCES WITH EXISTING UTILITIES AND THE PROPOSED UTILITY ROUTES, INCLUDING ROUTES WITHIN THE PUBLIC RIGHTS OF WAY.
2. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, OR EXISTING CONDITIONS DIFFER FROM THOSE SHOWN SUCH THAT THE WORK CANNOT BE COMPLETED AS INTENDED, THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED IN WRITING TO THE OWNER'S REPRESENTATIVE FOR THE RESOLUTION OF THE CONFLICT AND CONTRACTOR'S FAILURE TO NOTIFY PRIOR TO PERFORMING ADDITIONAL WORK RELEASES OWNER FROM OBLIGATIONS FOR ADDITIONAL PAYMENTS WHICH OTHERWISE MAY BE WARRANTED TO RESOLVE THE CONFLICT.
3. EXISTING UTILITIES SHALL BE TERMINATED, UNLESS OTHERWISE NOTED, IN CONFORMANCE WITH LOCAL STATE AND INDIVIDUAL UTILITY COMPANY STANDARD SPECIFICATIONS AND DETAILS. THE CONTRACTOR SHALL COORDINATE UTILITY SERVICE DISCONNECTS WITH THE UTILITY REPRESENTATIVES.
4. ALL CATCH BASINS AND DRAIN MANHOLES SHALL BE 4 FT. DIAMETER, UNLESS SPECIFIED OTHERWISE. CATCH BASINS SHALL UTILIZE HOODS AT THE OUTLET PIPE.
5. SET CATCH BASIN RIMS, INVERTS OF DRAINS AND GRADE DITCHES IN ACCORDANCE WITH ELEVATIONS ON THE GRADING AND UTILITY PLANS.
6. RIM ELEVATIONS FOR MANHOLES, WATER VALVE COVERS, GAS GATES, ELECTRIC AND TELEPHONE PULL BOXES, AND MANHOLES, AND OTHER SUCH ITEMS, ARE APPROXIMATE AND SHALL BE SET/RESET AS FOLLOWS:
  - PAVEMENTS AND CONCRETE SURFACES: FLUSH
  - ALL SURFACES ALONG ACCESSIBLE ROUTES: FLUSH
7. LANDSCAPE, LOAM AND SEED, AND OTHER EARTH SURFACE AREAS: ONE INCH ABOVE SURROUNDING AREA AND TAPER EARTH TO THE RIM ELEVATION.
8. THE LOCATION, SIZE, DEPTH, AND SPECIFICATIONS FOR CONSTRUCTION OF PROPOSED PRIVATE UTILITY SERVICES SHALL BE INSTALLED ACCORDING TO THE REQUIREMENTS PROVIDED BY, AND APPROVED BY, THE RESPECTIVE UTILITY COMPANY (GAS, TELEPHONE, ELECTRIC, FIRE ALARM, ETC.). FINAL DESIGN LOADS AND LOCATIONS TO BE COORDINATED WITH OWNER AND ARCHITECT.
9. CONTRACTOR SHALL MAKE ARRANGEMENTS FOR AND SHALL BE RESPONSIBLE FOR PAYING FEES FOR POLE RELOCATION AND FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE, FIRE ALARM, AND ANY OTHER PRIVATE UTILITIES, WHETHER WORK IS PERFORMED BY CONTRACTOR OR BY THE UTILITIES COMPANY.
10. UTILITY PIPE MATERIALS SHALL BE AS FOLLOWS, UNLESS OTHERWISE NOTED ON THE PLAN:
  - DOMESTIC WATER SERVICE SHALL BE COPPER TYPE "K".
  - FIRE SERVICE SHALL BE CEMENT LINED DUCTILE IRON CLASS 52.
  - STORM DRAINS SHALL BE HDPE (ADS-N12 OR EQUAL).
11. CONTRACTOR SHALL COORDINATE WITH ELECTRICAL CONTRACTOR AND SHALL FURNISH EXCAVATION, INSTALLATION, AND BACKFILL OF ELECTRICAL FURNISHED SITEWORK RELATED ITEMS SUCH AS PULL BOXES, CONDUITS, DUCT BANKS, LIGHT POLE BASES, AND CONCRETE PADS. SITE CONTRACTOR SHALL FURNISH CONCRETE ENCASUREMENT OF DUCT BANKS IF REQUIRED BY THE UTILITY COMPANY AND AS INDICATED ON THE DRAWINGS.
12. CONTRACTOR TO CREATE POSITIVE DRAINAGE TOWARDS ALL DRAIN INLETS.

**PARKING CALCULATION:**

ZONING SECTION 30-156.(g) OFFSTREET PARKING  
1.1. INDUSTRIAL USE: 2 PARKING SPACES FOR EVERY 3 EMPLOYEES  
12 SPACES X 1.5 EMPLOYEES/SPACE = 18 EMPLOYEES ALLOWABLE

**DIMENSIONAL REQUIREMENTS**

ZONE GI	MINIMUM
LOT AREA	NONE
LOT WIDTH	200'-0"
FRONT SETBACK	40'-0"
SIDE SETBACK	15'-0"
REAR SETBACK	40'-0"
BUILDING COVERAGE	25%
BUILDING HEIGHT	35'-0"

**OTHER REQUIREMENTS:**

- 10' STRUCTURE SETBACK FROM R OR F ZONE OR USE

**Town Specific Notes**

1. THIS SITE IS PART OF THE ROUTE 102 DEVELOPMENT MANAGEMENT DISTRICT.
2. THIS SITE LIES WITHIN A NON-COMMUNITY WELL-HEAD PROTECTION AREA.
3. THIS SITE LIES WITHIN AQUIFER OVERLAY ZONE A-120.
4. THIS SITE LIES WITHIN ZONE "X" AS DETERMINED FROM FEMA FLOOD INSURANCE RATE MAP COMMUNITY PANEL 135 OF 451 MAP NO. 4407021350 DATED MARCH 2, 2009. ZONE "X" = AREAS DETERMINED TO BE OUTSIDE THE 100-YEAR AND 500-YEAR FLOODPLAINS, RESPECTIVELY.

**Layout & Materials**

1. DIMENSIONS SHOWN ARE FROM FACE OF CURB/BERM, FACE OF BUILDING, AND FACE OF WALL UNLESS SPECIFIED OTHERWISE.
2. CURBING SHALL BE PRECAST CONCRETE CURB AT ENTRANCE RADIUS. ALL OTHER CURB SHALL BE BITUMINOUS BERM OR BITUMINOUS CURB.
3. SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND DETAILS CONTIGUOUS TO THE BUILDING INCLUDING ENTRANCE LOCATIONS, STAIRWAYS, UTILITY PENETRATIONS, ETC.
4. THE SITE CONTRACTOR SHALL OBTAIN SERVICES OF A REGISTERED LAND SURVEYOR TO LAYOUT BUILDING CORNERS AND ASSOCIATED OFFSETS AS WELL AS PROVIDE AT LEAST ONE (1) CONTROL POINT.
5. CONTRACTOR SHALL VERIFY LOCATIONS OF SITE FEATURES AND UNDERGROUND UTILITIES. ANY DISCREPANCIES SHALL BE NOTED AND THE SITE CONTRACTOR SHALL NOTIFY THE CIVIL ENGINEER THESE CONDITIONS CAUSE CONCERN OR POTENTIAL ISSUES.
6. SYMBOLS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THEIR ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE SITE CONTRACTOR SHALL REFER TO THE DETAIL SHEET DIMENSIONS, MANUFACTURER'S LITERATURE, SHOP DRAWINGS, AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.

**LEGEND & SYMBOLS**

**EXISTING**

- 100 --- CONTOUR
- W WATER PIPE
- S SEWER PIPE
- ⊕ FIRE HYDRANT
- ⊙ SEWER MANHOLE
- ⊕ CATCH BASIN
- ⊙ UTILITY POLE
- ⊕ WATER VALVE
- ⊕ GAS VALVE
- PCC PRECAST CONCRETE CURB

**PROPOSED**

- 100 CONTOUR
- 100.0 SPOT ELEVATION
- DRAIN PIPE
- W WATER PIPE
- S SEWER PIPE
- GAS PIPE
- LIMIT OF WORK
- STRAW WATTLES
- LAWN / LANDSCAPE
- STONE / RIP-RAP
- CONCRETE PAVEMENT
- SITE SIGN ON POST
- ⊕ CATCH BASIN
- ⊕ DRAIN MANHOLE
- ⊕ FLARED END SECTION
- ⊕ ADA PARKING SPACE
- PCC PRECAST CONCRETE CURB
- TC/BC TOP/BOTTOM OF CURB

**Advanced Civil Design, Inc.**

SITE/CIVIL ENGINEERS  
88 PEEPTOAD ROAD  
SCITUATE, RI 02857  
PH: (401) 473-4404

NO.	DATE	REVISION
1	1/30/21	ADDRESS RIDEM COMMENTS

PROJECT TITLE:

**New Industrial Building**

A.P. 179 Lot 118  
Aspen Way  
Burrillville, RI

PREPARED FOR:  
ADLER PROPERTIES, LLC  
115 MAPLEVILLE RD  
GREENVILLE, RI 02828

DRAWING TITLE:

**NOTES**

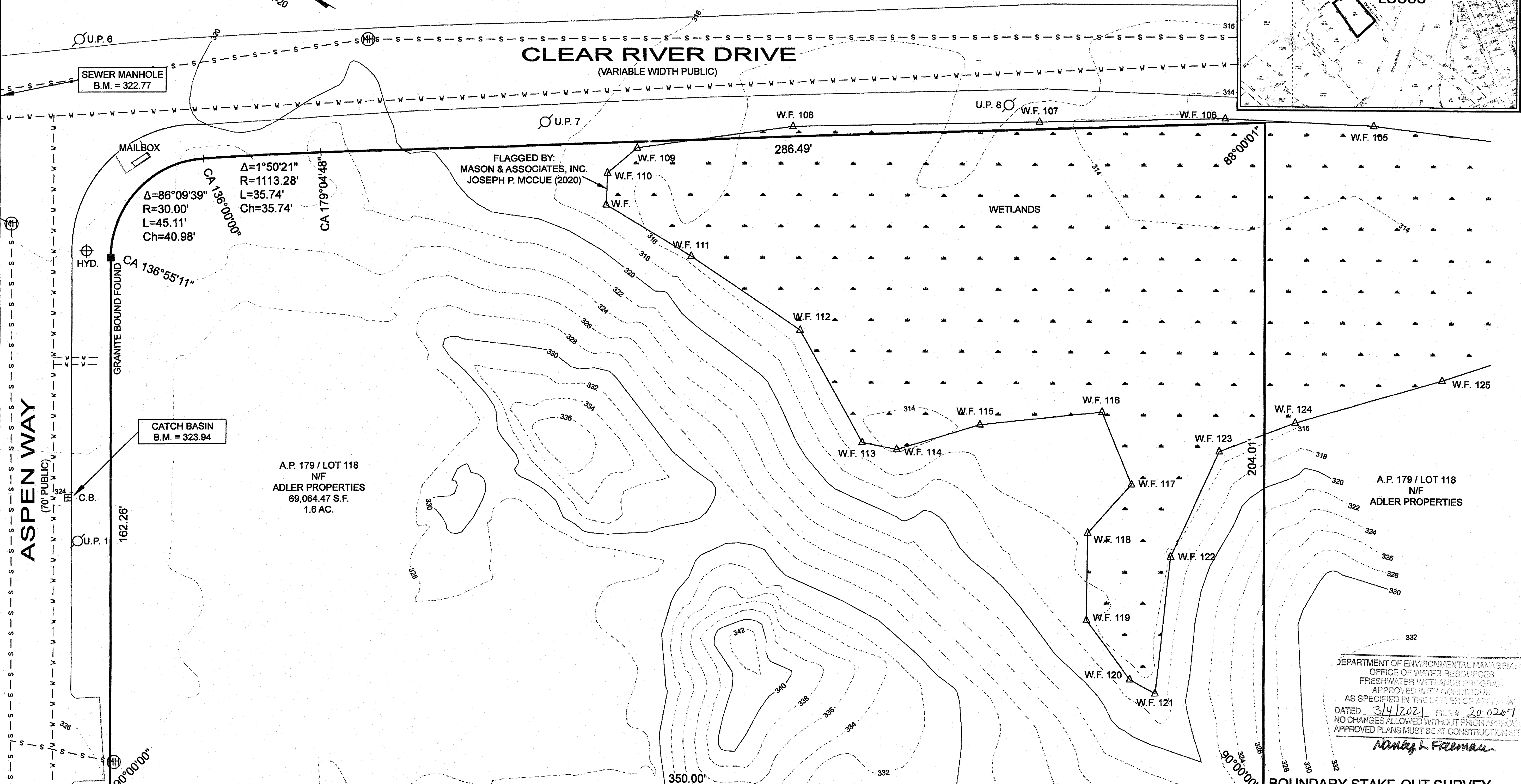
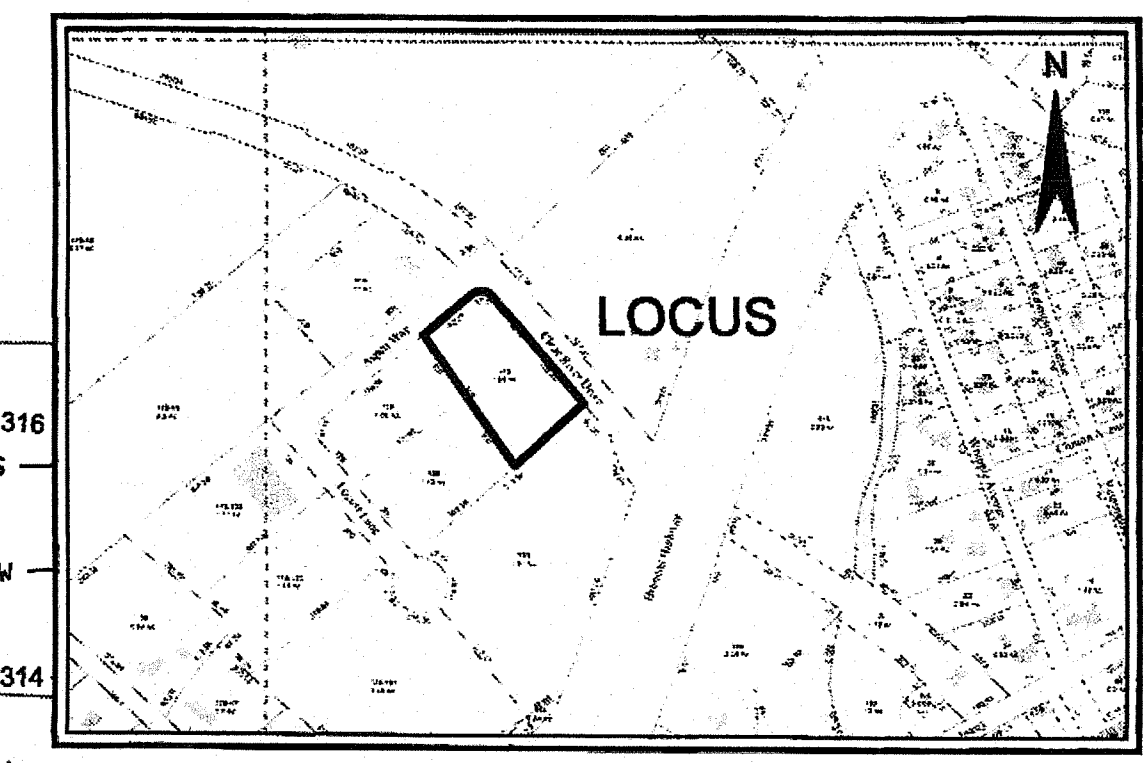
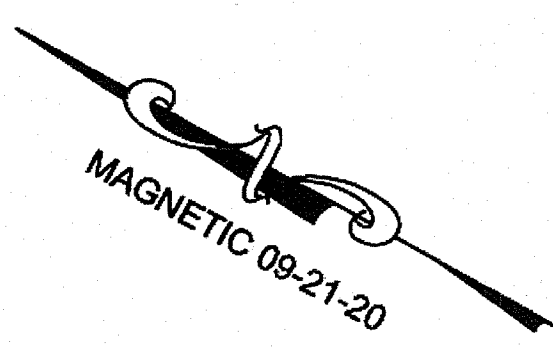
DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS  
AS SPECIFIED IN THE LETTER OF APPROVAL  
DATED 3/4/2021 FILE # 20-0267  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
APPROVED PLANS MUST BE AT CONSTRUCTION SITE  
*Nancy J. Freeman*

DATE: OCTOBER 2020 DRAWN BY: C.S.R.  
SCALE: CHECKED BY: C.S.R.

DRAWING NO.

CURTIS S. RUOTOLO  
No. 8756  
REGISTERED PROFESSIONAL ENGINEER (CIVIL)  
**C1.0**  
SHEET 1 OF 8

REFERENCE:  
1. DEED BK. 212 PG. 613



$\Delta=86^{\circ}09'39''$   
 $R=30.00'$   
 $L=45.11'$   
 $Ch=40.98'$

$\Delta=1^{\circ}50'21''$   
 $R=1113.28'$   
 $L=35.74'$   
 $Ch=35.74'$

A.P. 179 / LOT 118  
N/F  
ADLER PROPERTIES  
69,064.47 S.F.  
1.6 AC.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS  
AS SPECIFIED IN THE LETTER OF APPROVAL  
DATED 3/4/2021 FILE # 20-0267  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
APPROVED PLANS MUST BE AT CONSTRUCTION SITE  
*Richard J. Freeman*

**BOUNDARY STAKE-OUT SURVEY**

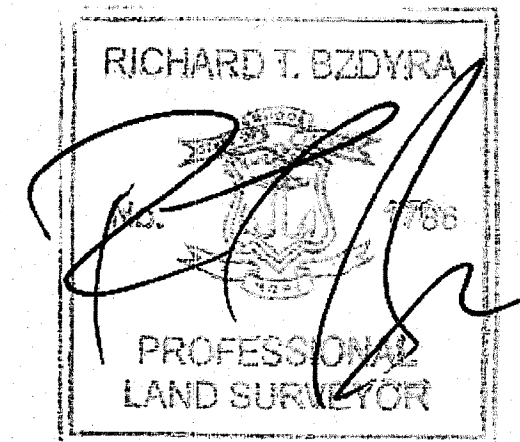
A.P. 179 / LOT 118  
20 ASPEN WAY  
BURRILLVILLE, R.I. 02830  
SCALE: 1"=20' DATE: SEPTEMBER 23, 2020  
REVISION: OCTOBER 14, 2020 (AJB)  
PREPARED FOR:  
**ADLER PROPERTIES, LLC.**  
115 MAPLEVILLE ROAD, GREENVILLE R.I. 02828  
PHONE: (401) 949-2727  
PREPARED BY:

**OCEAN STATE PLANNERS, INC.**  
1255 OAKLAWN AVENUE, CRANSTON, RI 02920  
PHONE: (401) 463-9696 info@osplanners.com  
JOB NO. 4960 / DWG. NO. 4960 - C3 - (AJB)  
GRAPHIC SCALE 1" = 20'

**SURVEY CLASSIFICATION:**

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:  
TYPE OF BOUNDARY SURVEY: LIMITED CONTENT BOUNDARY SURVEY  
MEASUREMENT SPECIFICATION: DATA ACCUMULATION SURVEY  
CLASS I  
CLASS III

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS:  
TO ESTABLISH AND STAKE RECORD BOUNDARY LINES.  
BY: *Richard T. Bzdyra* DATE: 09/14/2020  
RICHARD T. BZDYRA, PLS. LICENSE #1786; COA # LS-A60

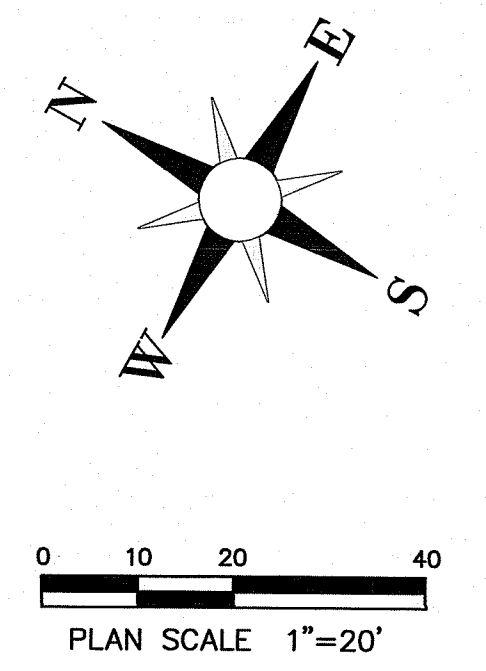
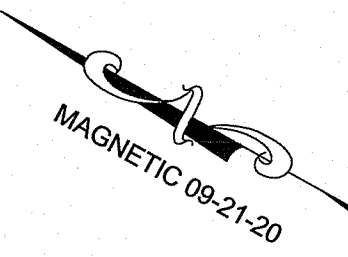
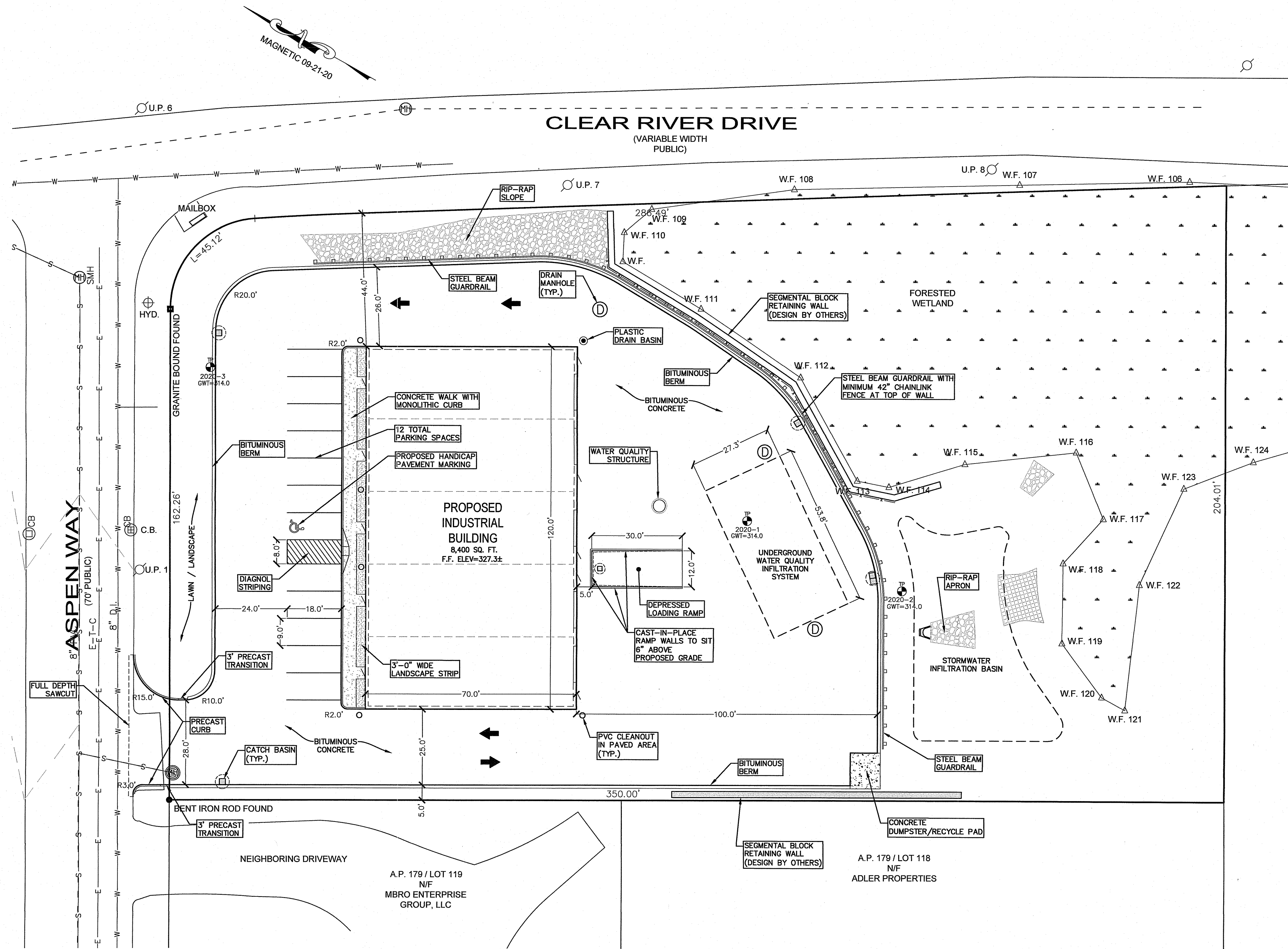


**ZONING DISTRICT G1**

MINIMUM LOT AREA NONE  
MINIMUM LOT FRONTAGE 200 FT.  
MINIMUM SETBACKS: FRONT 40 FT.  
SIDE 15 FT.  
REAR 40 FT.







**Advanced Civil Design, Inc.**  
 SITE/CIVIL ENGINEERS  
 88 PEEPTOAD ROAD  
 SCITUATE, RI 02857  
 PH: (401) 473-4404

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
 OFFICE OF WATER RESOURCES  
 FRESHWATER WETLANDS PROGRAM  
 APPROVED WITH CONDITIONS  
 AS SPECIFIED IN THE LETTER OF APPROVAL  
 DATED 3/14/2021 FILE # 20-0267  
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE  
*Nancy L. Freeman*

NO.	DATE	REVISION
1	1/30/21	ADDRESS RIDEM COMMENTS

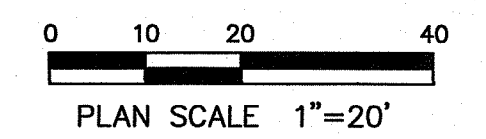
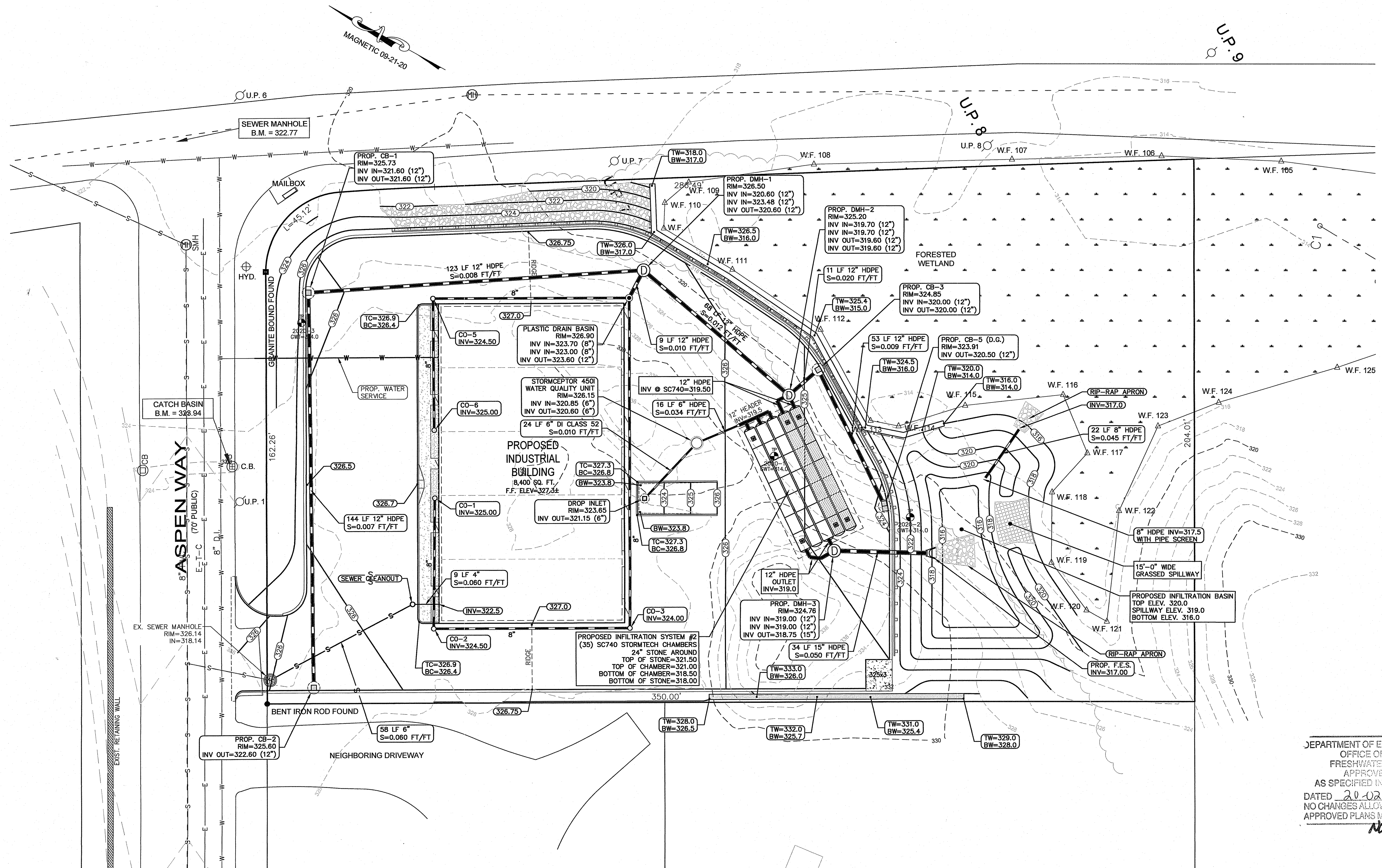
PROJECT TITLE:  
**New Industrial Building**  
 A.P. 179 Lot 118  
 Aspen Way  
 Burrillville, RI

PREPARED FOR:  
 ADLER PROPERTIES, LLC  
 115 MAPLEVILLE RD  
 GREENVILLE, RI 02828

DRAWING TITLE:  
**Layout & Materials Plan**

DATE: OCTOBER 2020 DRAWN BY: C.S.R.  
 SCALE: 1"=20' CHECKED BY: C.S.R.

DRAWING NO.  
**C3.0**  
 SHEET 4 OF 8



DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
 OFFICE OF WATER RESOURCES  
 FRESHWATER WETLANDS PROGRAM  
 APPROVED WITH CONDITIONS  
 AS SPECIFIED IN THE LETTER OF APPROVAL  
 DATED 20-02-21 PER # 20-0267  
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE  
*Nancy L. Freeman*

TESTHOLE DATA				
TESTHOLE #	GROUND ELEV.	TOTAL EXCAVATED DEPTH	BOTTOM ELEVATION	DESIGN GWT
2020-1	324.0	12'-0"	312.00	314.0
2020-2	327.0	15'-0"	312.00	314.0
2020-3	324.0	10'-0"	314.00	314.0

- NOTES**
- THE STORMWATER SYSTEM HAS BEEN DESIGNED FOR WATER QUALITY AND STORAGE CONTROL IN ACCORDANCE WITH THE 2015 RHODE ISLAND STORMWATER DESIGN AND INSTALLATION STANDARDS MANUAL.
  - ALL CATCH BASINS SHALL HAVE HOODS INSTALLED ON OUTLET PIPES.

**Advanced Civil Design, Inc.**  
 SITE/CIVIL ENGINEERS  
 88 PEEPTOAD ROAD  
 SCITUATE, RI 02857  
 PH: (401) 473-4404

NO.	DATE	REVISION	ADDRESS	REDEM COMMENTS
1	1/30/21			

PROJECT TITLE:  
**New Industrial Building**  
 A.P. 179 Lot 118  
 Aspen Way  
 Burrillville, RI

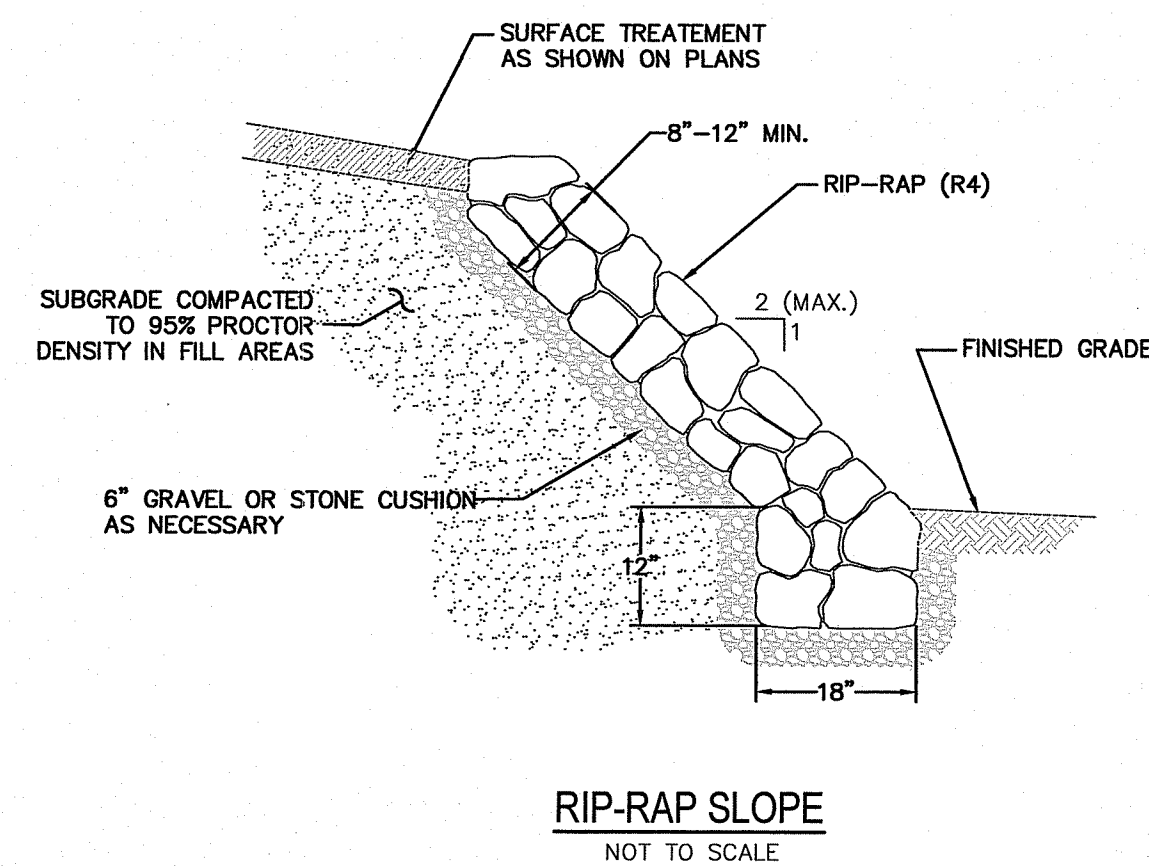
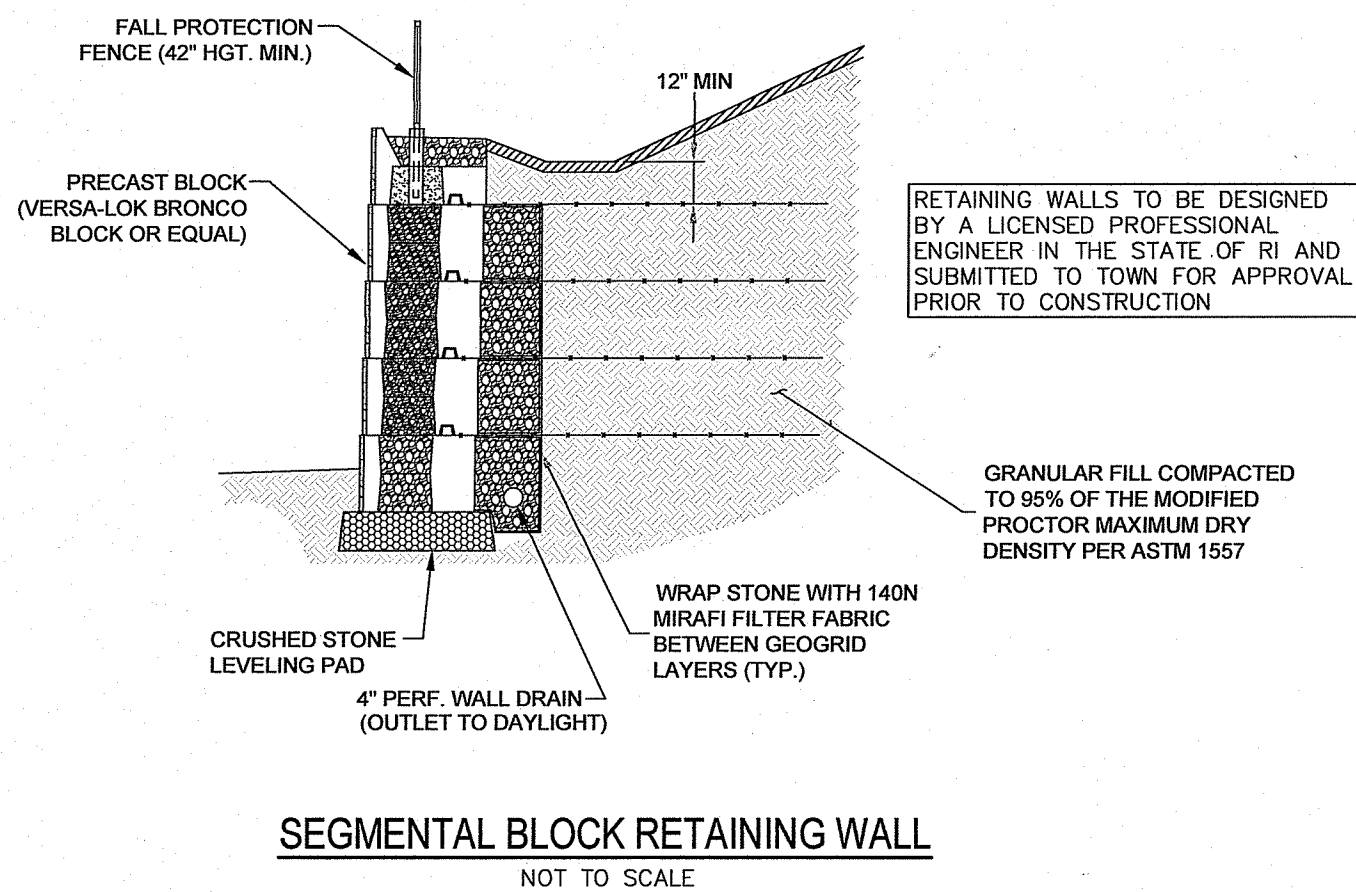
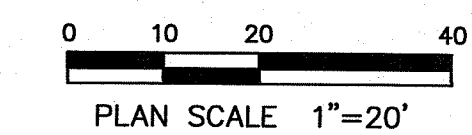
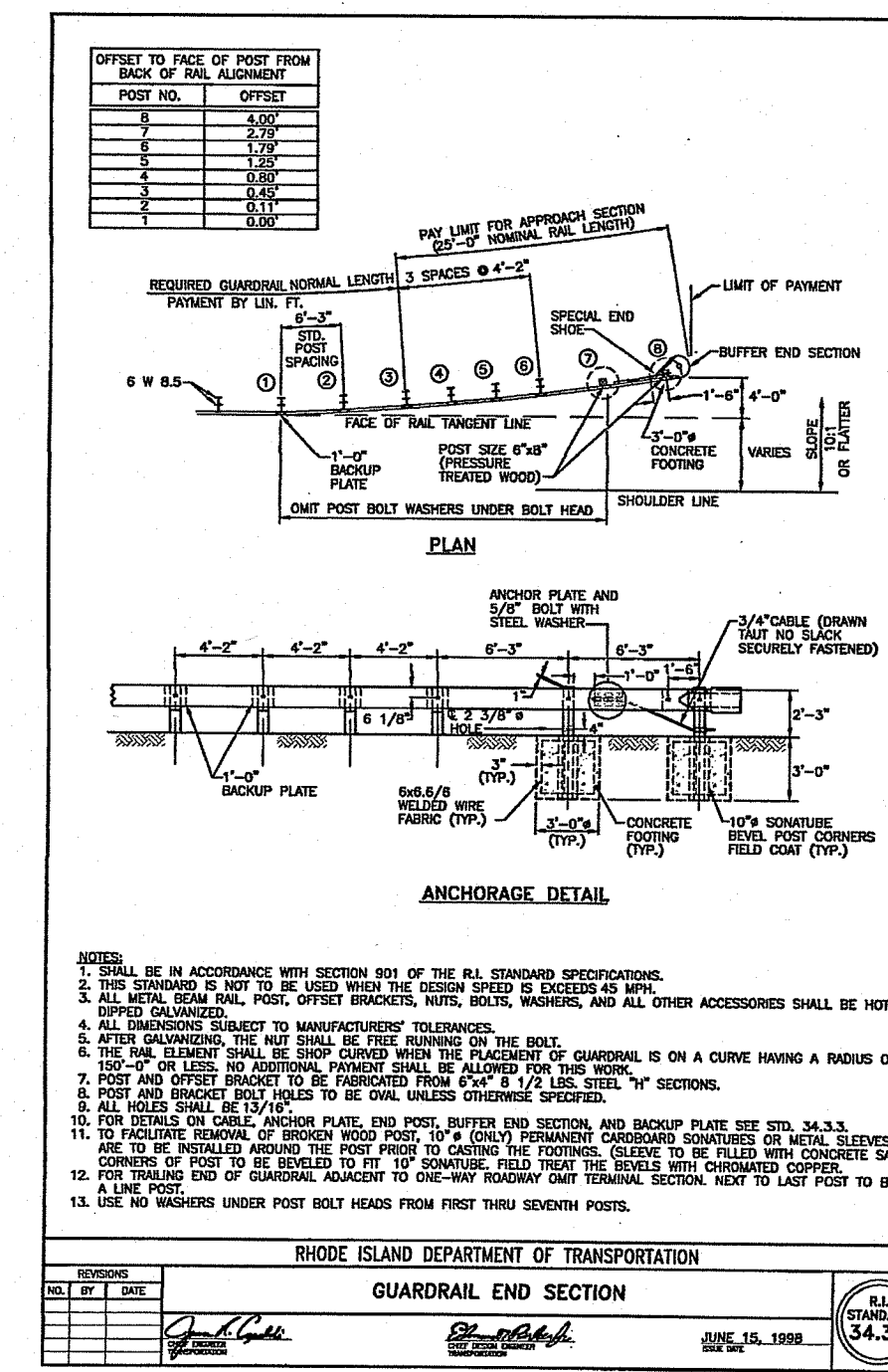
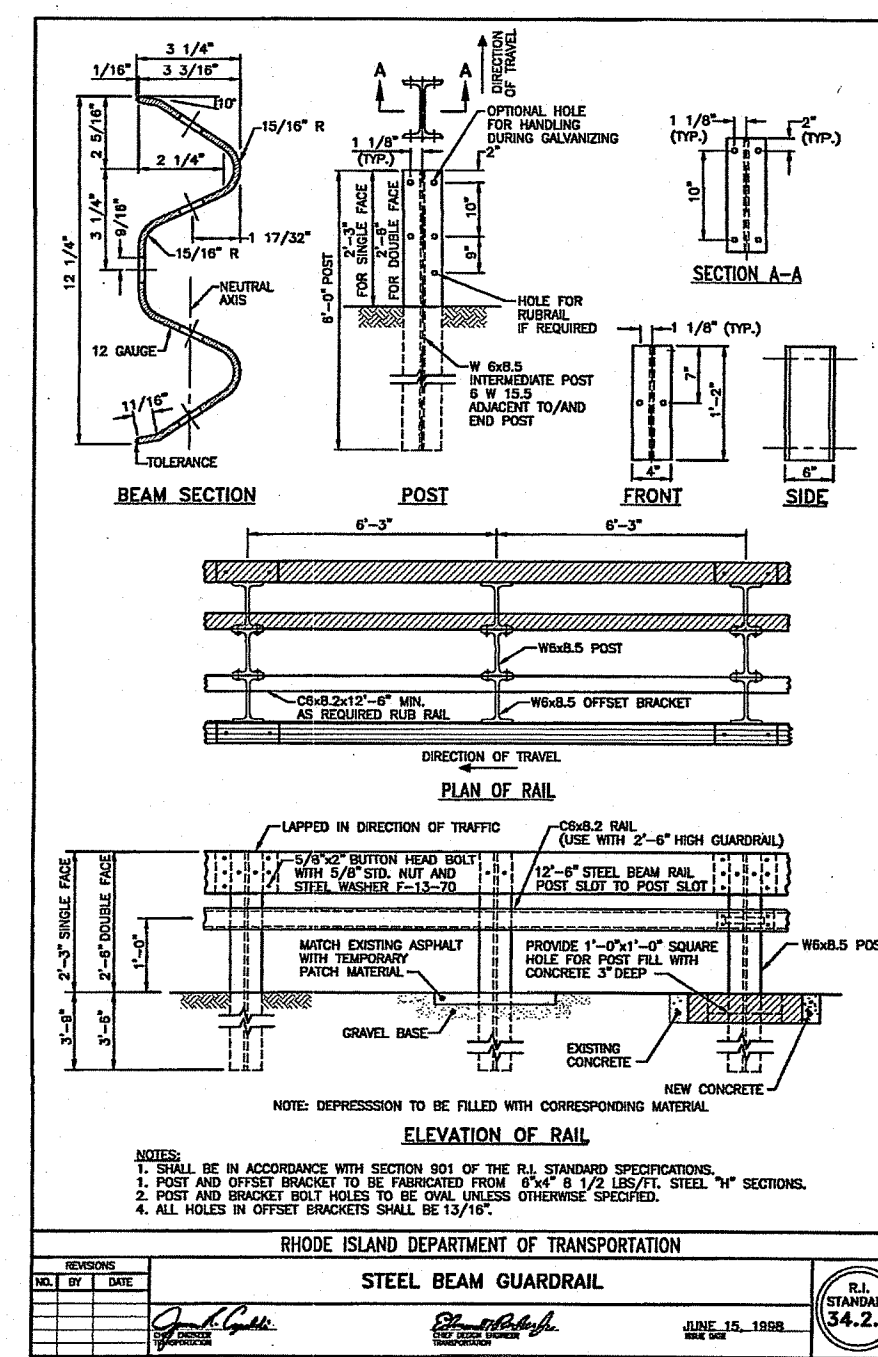
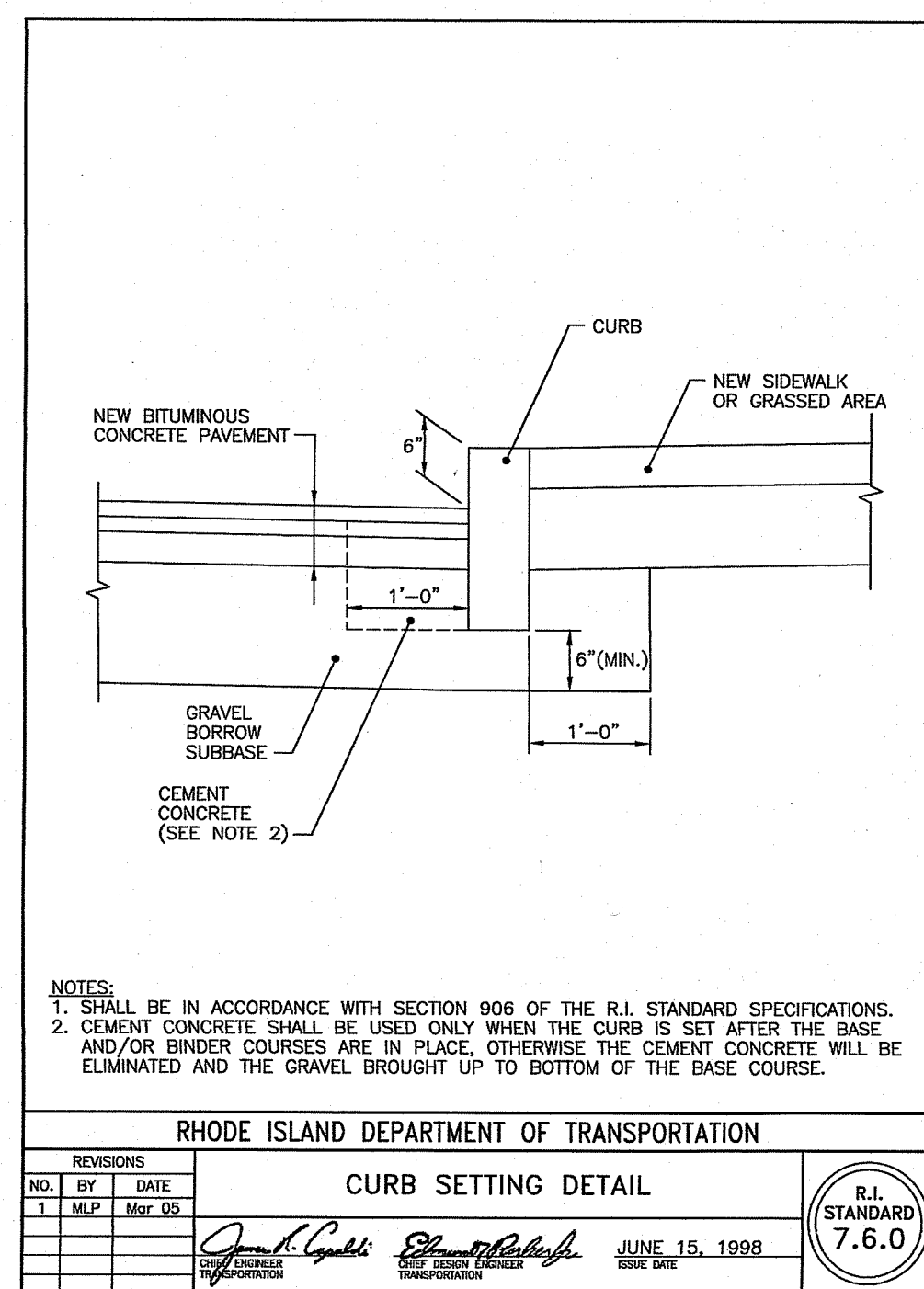
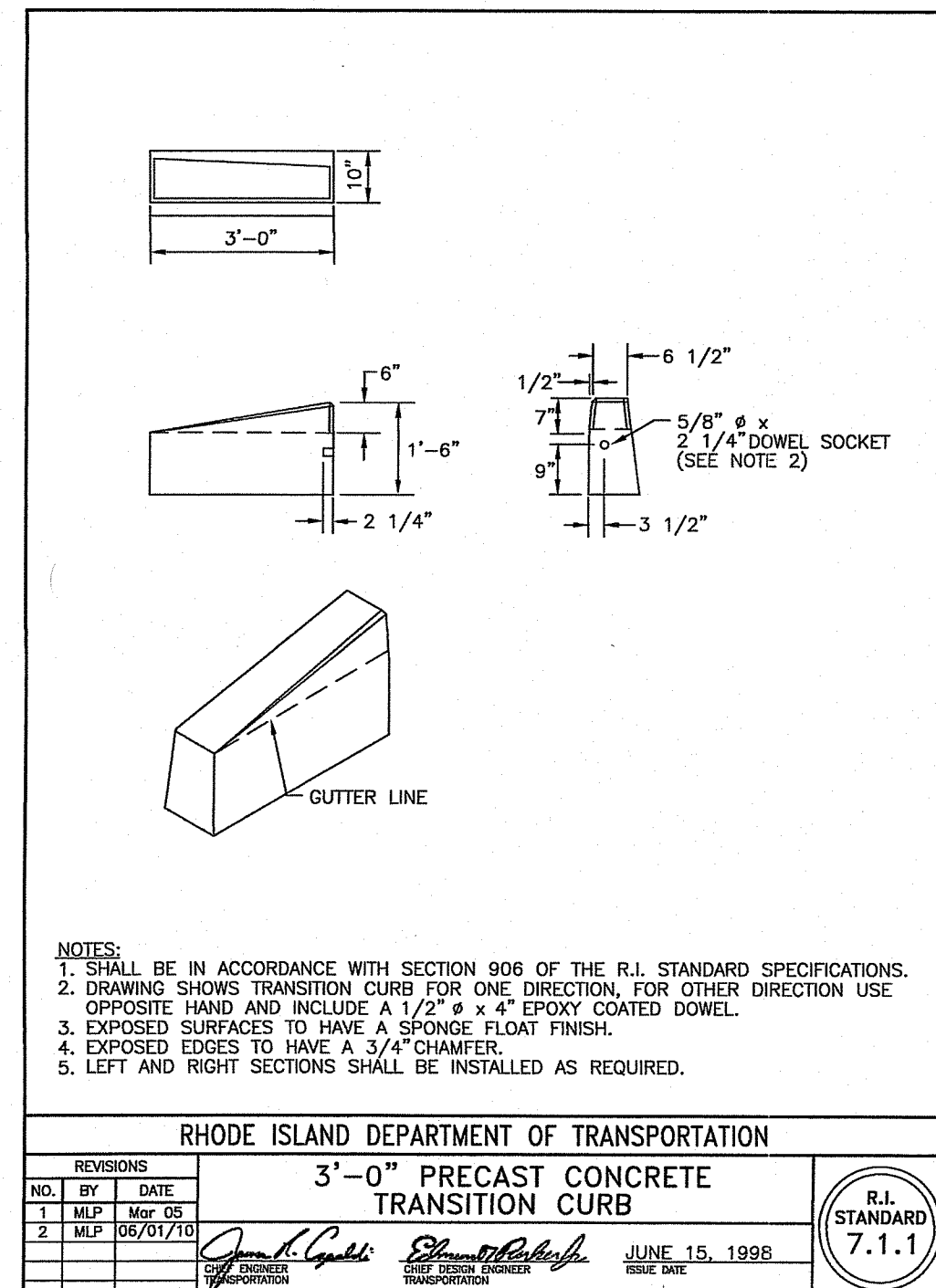
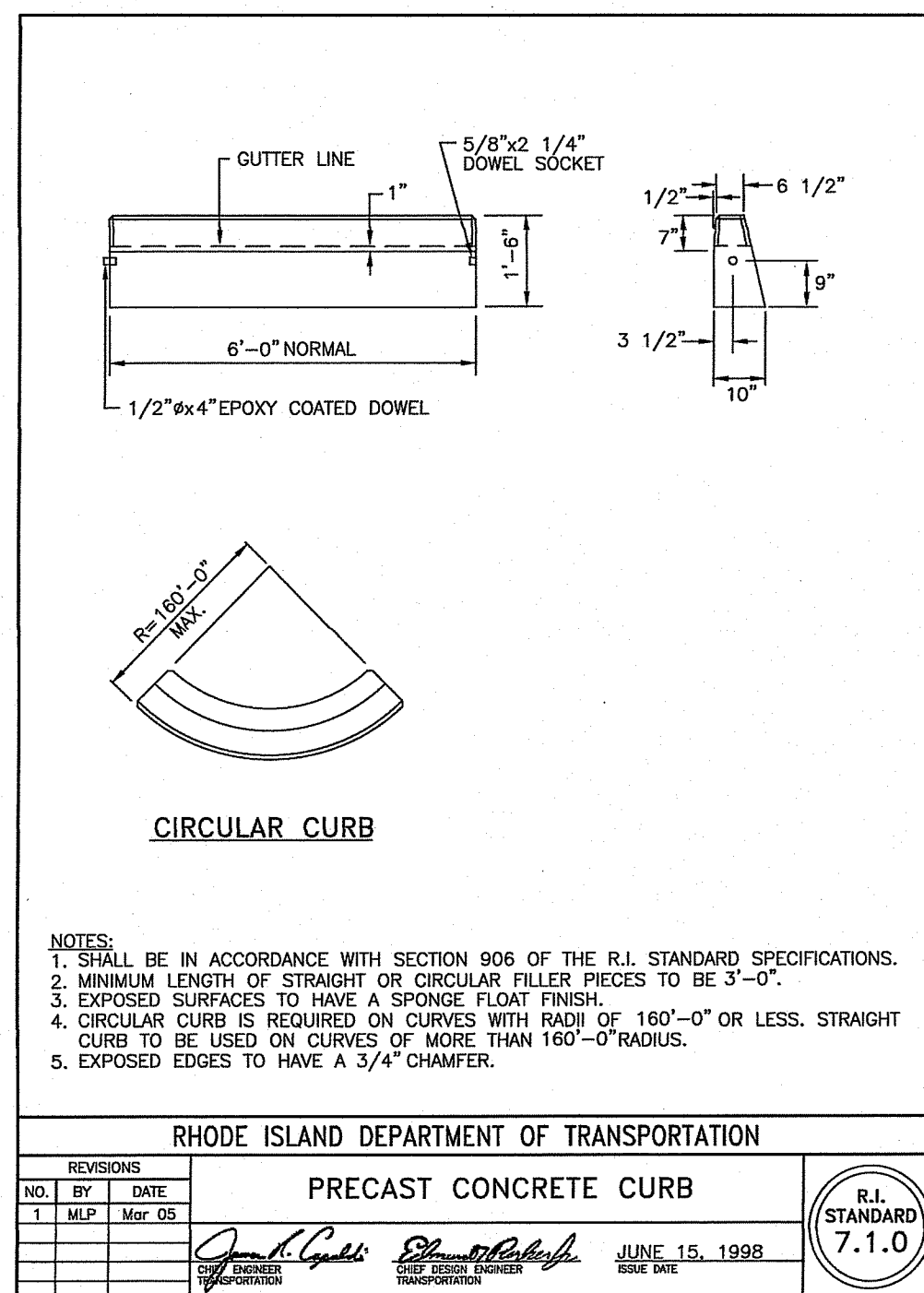
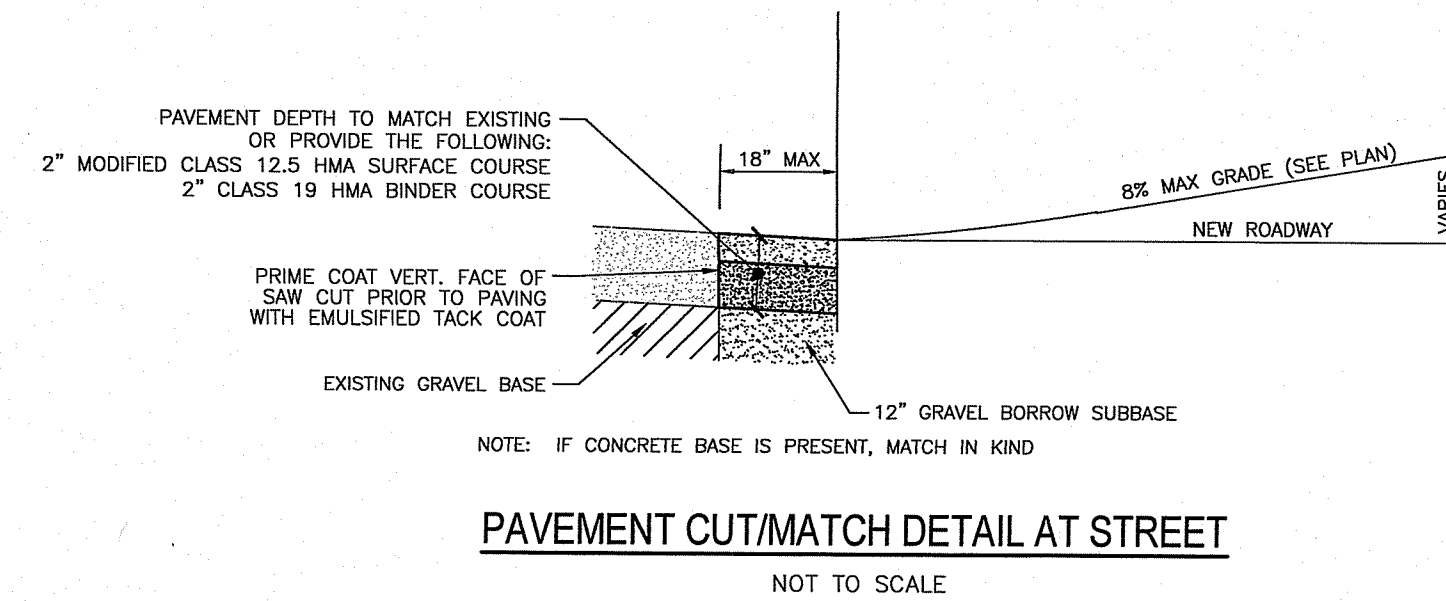
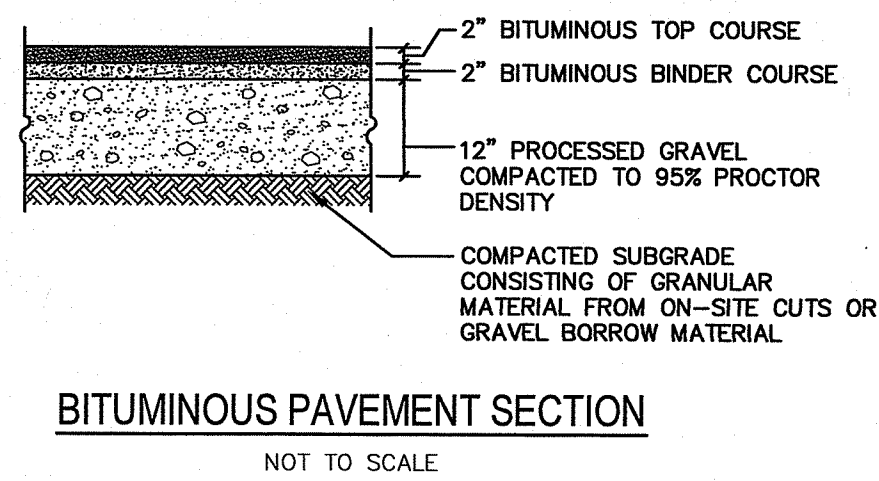
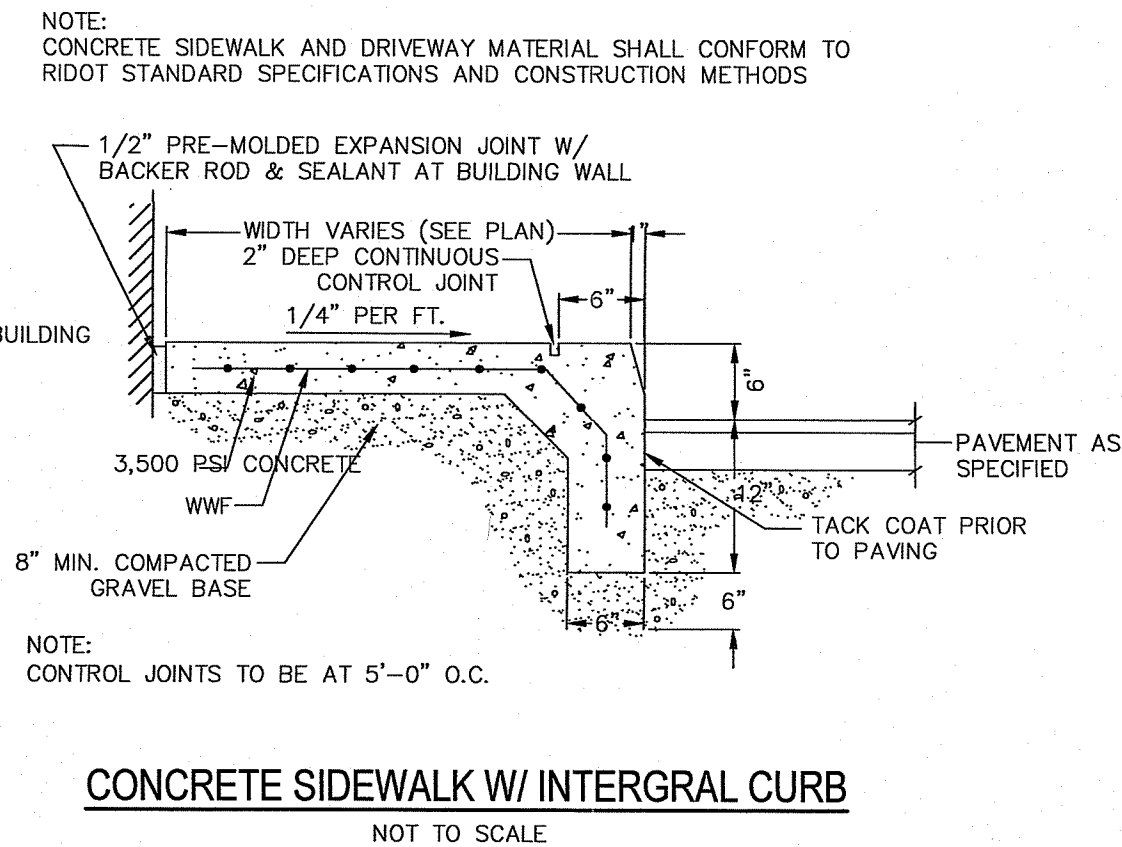
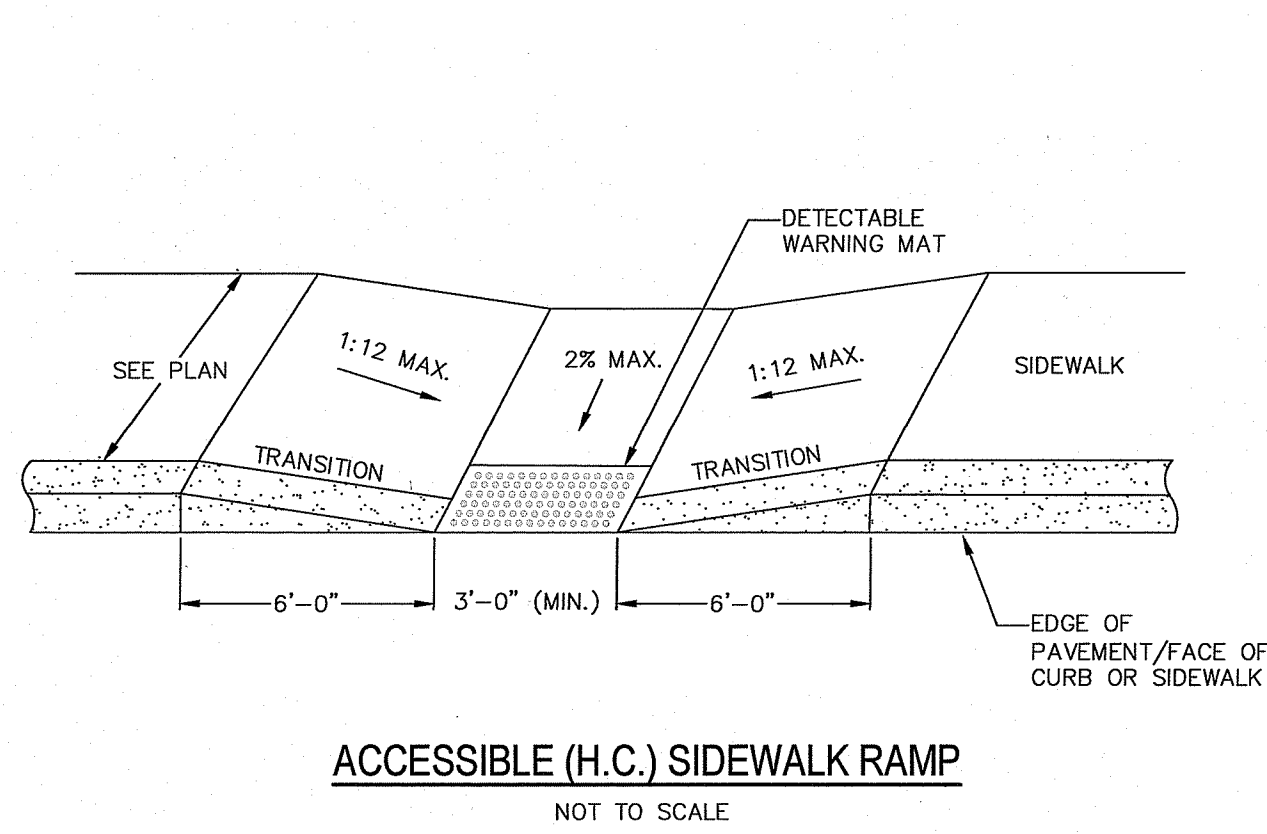
PREPARED FOR:  
 ADLER PROPERTIES, LLC  
 115 MAPLEVILLE RD  
 GREENVILLE, RI 02828

DRAWING TITLE:  
**Grading, Drainage, & Utility Plan**

DATE: OCTOBER 2020  
 SCALE: 1"=20'

DRAWN BY: C.S.R.  
 CHECKED BY: C.S.R.  
 DRAWING NO.

**C4.0**  
 SHEET 5 OF 8



**Advanced Civil Design, Inc.**  
SITE/CIVIL ENGINEERS  
88 PEEPTOAD ROAD  
SCITUATE, RI 02857  
PH: (401) 473-4404

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WATER QUALITY DIVISION  
APPROVED FOR CONSTRUCTION  
AS SPECIFIED IN THESE PLANS AND APPROVAL  
DATED 3/4/2021 BY 20-02107  
NO CHANGES ALLOWED WITHOUT PERMIT FROM PLANNING  
APPROVED PLANS MUST BE AT CONSTRUCTION SITE  
*Nancy L. Freeman*

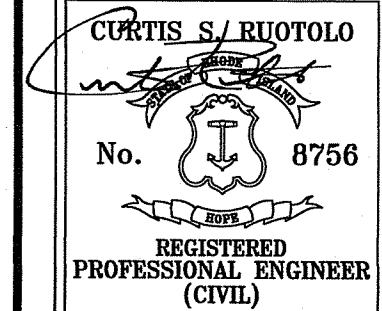
1 1/30/21 ADDRESS RIDEM COMMENTS  
NO. DATE REVISION  
PROJECT TITLE:  
**New Industrial Building**  
A.P. 179 Lot 118  
20 Aspan Way  
Burrillville, RI

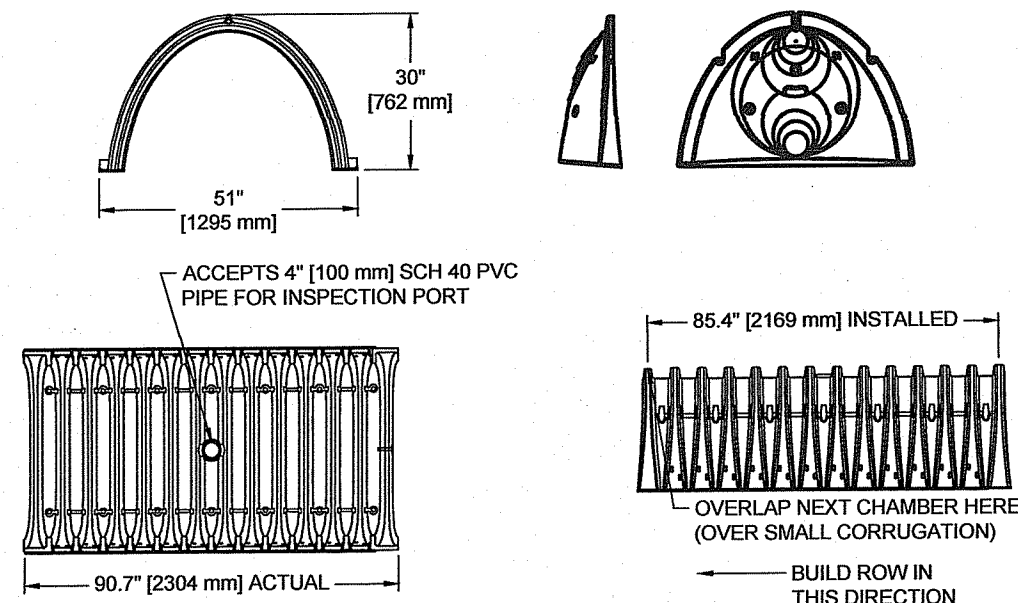
PREPARED FOR:  
ADLER PROPERTIES, LLC  
115 MAPLEVILLE RD  
GREENVILLE, RI 02828

DRAWING TITLE:  
**Details**

DATE: OCTOBER 2020 DRAWN BY: C.S.R.  
SCALE: AS NOTED CHECKED BY: C.S.R.

DRAWING NO.  
**C5.0**  
SHEET 6 OF 8





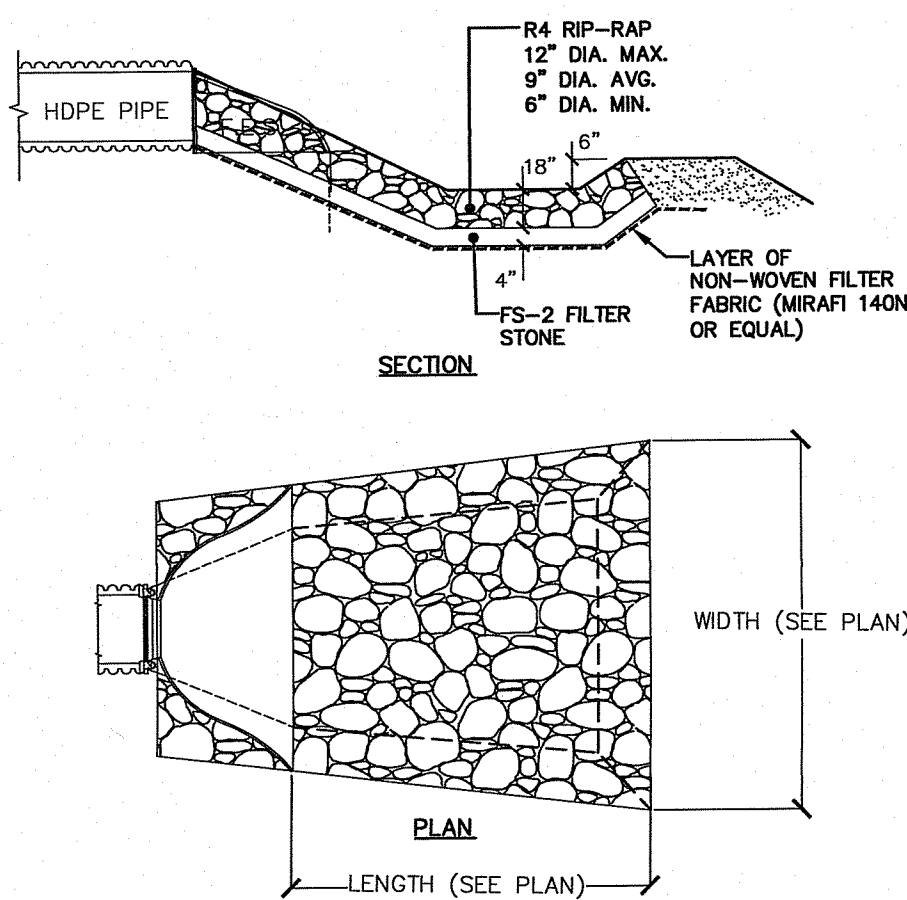
**NOMINAL CHAMBER SPECIFICATIONS**  
 SIZE (W x H x INSTALLED LENGTH) 51.0" x 30.0" x 85.4" [1295 mm x 762 mm x 2169 mm]  
 CHAMBER STORAGE 45.9 CUBIC FEET [1.30 m³]  
 MINIMUM INSTALLED STORAGE 74.9 CUBIC FEET [2.12 m³]  
 WEIGHT 75 lbs. [33.6 kg]

STUBS AT BOTTOM OF END CAP FOR PART NUMBERS ENDING WITH "B"  
 STUBS AT TOP OF END CAP FOR PART NUMBERS ENDING WITH "T"

PART#	STUB	A	B	C
SC740EPE06T	6" [150 mm]	10.90" [277 mm]	18.50" [470 mm]	N/A
SC740EPE06B	6" [150 mm]	10.90" [277 mm]	N/A	0.50" [13 mm]
SC740EPE08T	8" [200 mm]	12.20" [310 mm]	16.50" [419 mm]	N/A
SC740EPE08B	8" [200 mm]	12.20" [310 mm]	N/A	0.60" [15 mm]
SC740EPE10T	10" [250 mm]	13.40" [340 mm]	14.50" [368 mm]	N/A
SC740EPE10B	10" [250 mm]	13.40" [340 mm]	N/A	0.70" [18 mm]
SC740EPE12T	12" [300 mm]	14.70" [373 mm]	12.50" [318 mm]	N/A
SC740EPE12B	12" [300 mm]	14.70" [373 mm]	N/A	1.20" [30 mm]
SC740EPE15T	15" [375 mm]	18.40" [467 mm]	9.00" [229 mm]	N/A
SC740EPE15B	15" [375 mm]	18.40" [467 mm]	N/A	1.30" [33 mm]
SC740EPE18T	18" [450 mm]	19.70" [500 mm]	5.00" [127 mm]	N/A
SC740EPE18B	18" [450 mm]	19.70" [500 mm]	N/A	1.60" [41 mm]
SC740EPE24B	24" [600 mm]	18.50" [470 mm]	N/A	0.10" [3 mm]

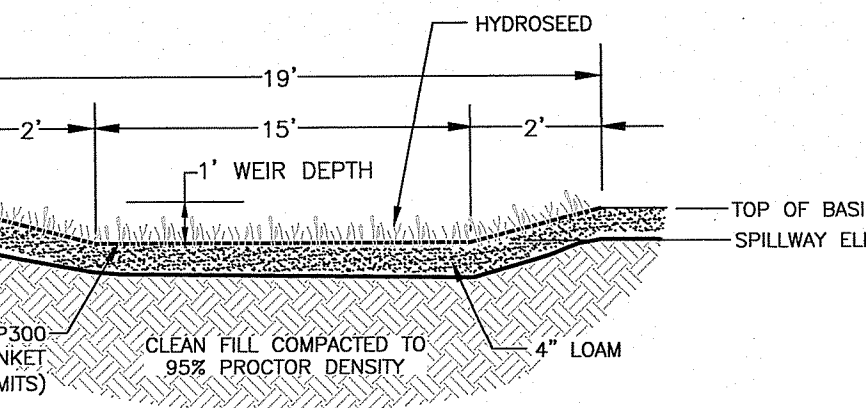
NOTE: ALL DIMENSIONS ARE NOMINAL.  
 ALL STUBS, EXCEPT FOR THE SC740EPE24B ARE PLACED AT BOTTOM OF END CAP SUCH THAT THE OUTSIDE DIAMETER OF THE STUB IS FLUSH WITH THE BOTTOM OF THE END CAP. FOR ADDITIONAL INFORMATION CONTACT STORMTECH AT 1-888-882-2894.  
 \*FOR THE SC740EPE24B THE 24" [600 mm] STUB LIES BELOW THE BOTTOM OF THE END CAP APPROXIMATELY 1.75" [44 mm]. BACKFILL MATERIAL SHOULD BE REMOVED FROM BELOW THE N-12 STUB SO THAT THE FITTING SITS LEVEL.

SC-740 TECHNICAL SPEC.



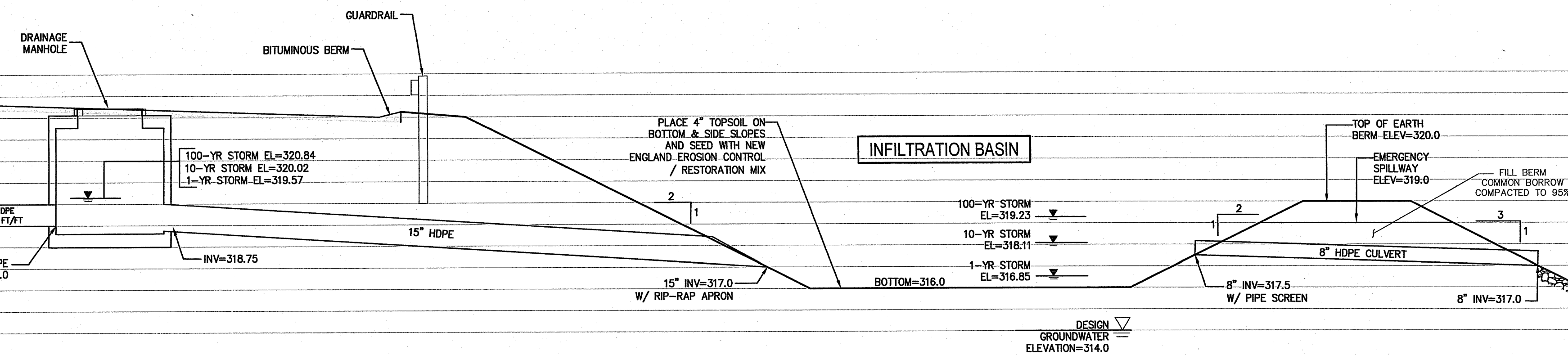
RIP-RAP SCOUR PAD DETAIL

NOT TO SCALE



Grass Spillway Detail

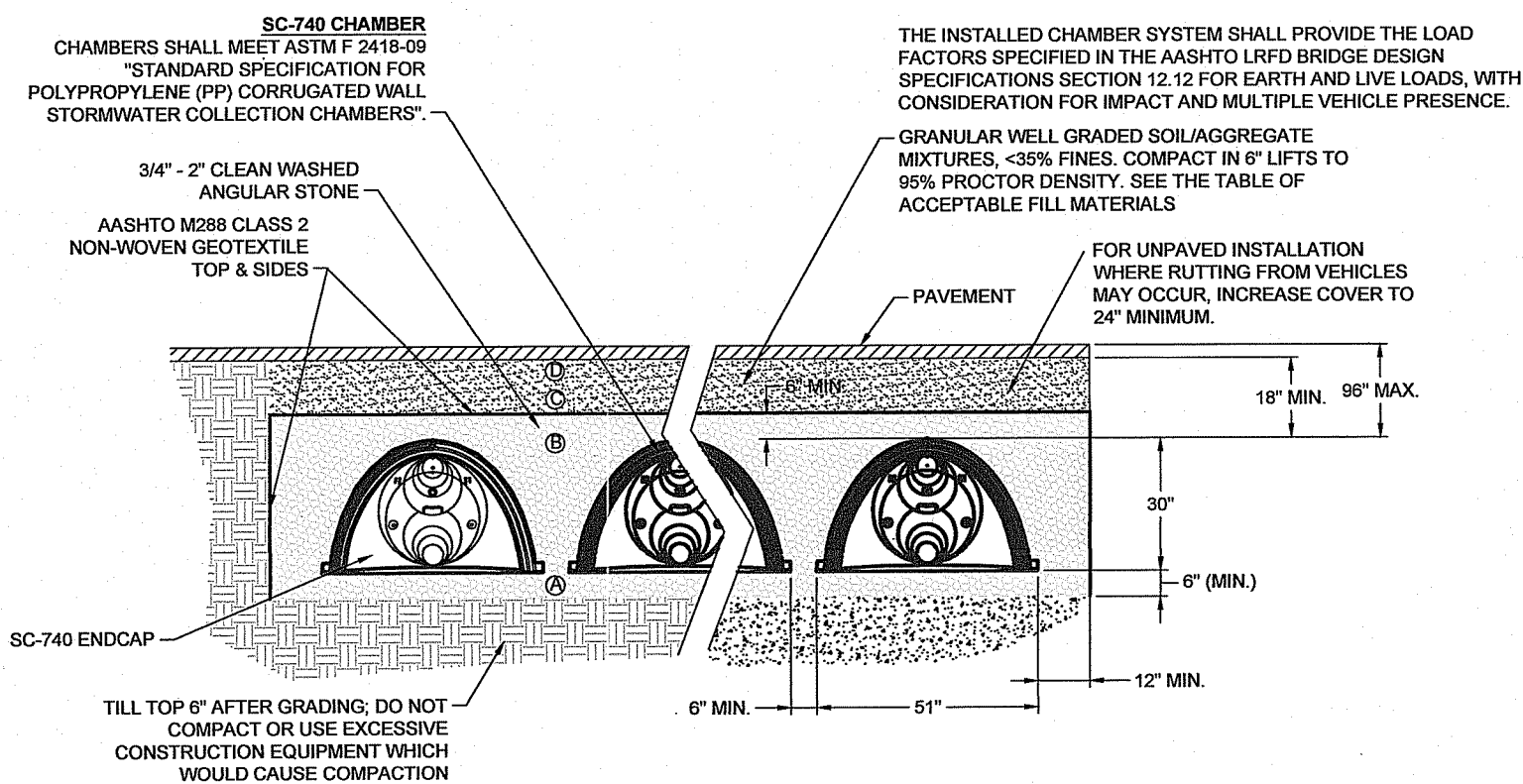
NOT TO SCALE



Stormwater Management System Cross Section

NOT TO SCALE

ISOLATOR ROW™ DETAIL



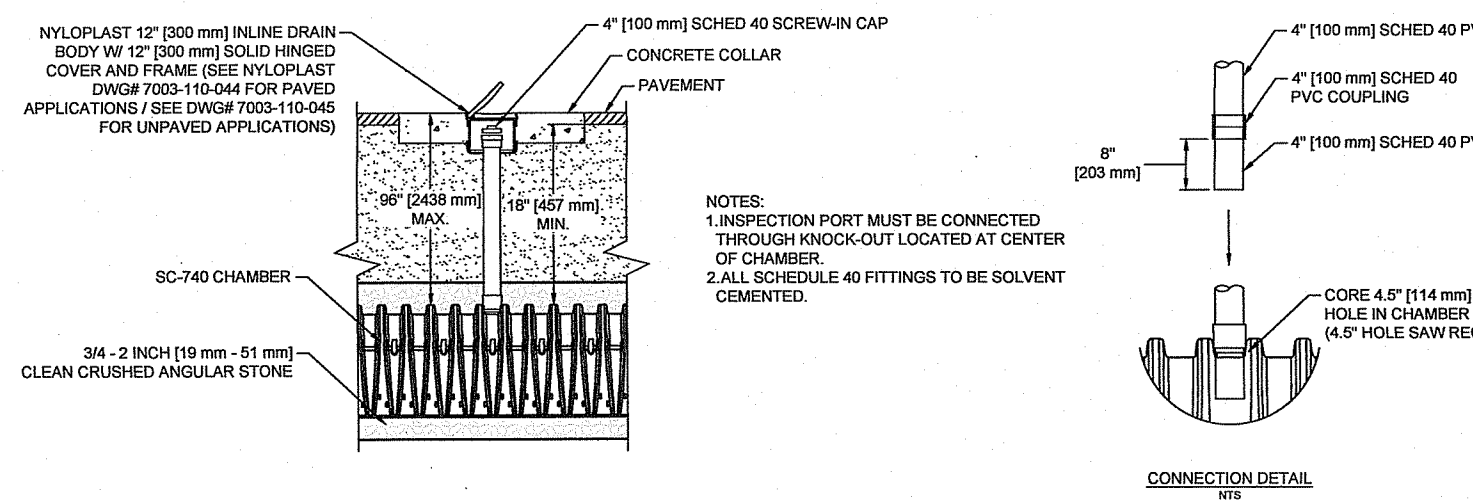
SC-740 STANDARD CROSS SECTION

ACCEPTABLE FILL MATERIALS: STORMTECH SC-740 CHAMBER SYSTEMS

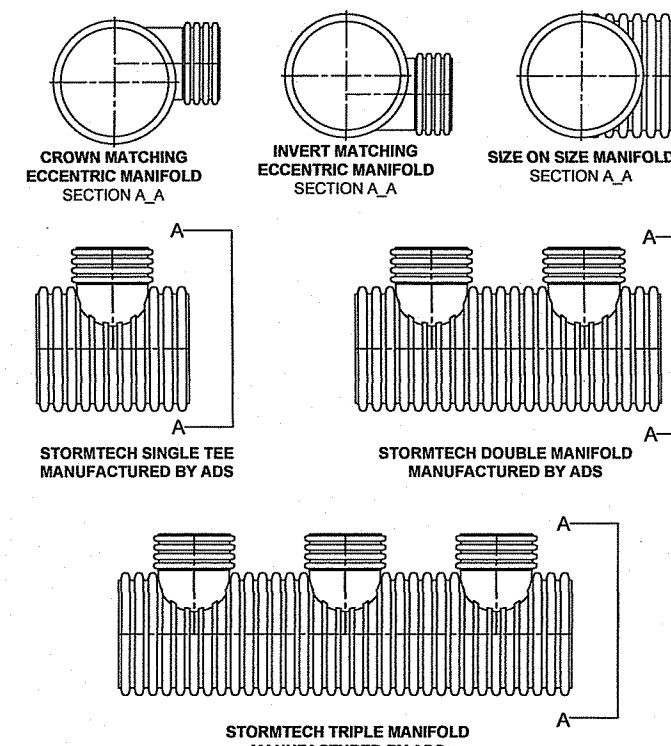
MATERIAL LOCATION	DESCRIPTION	AASHTO M33 DESIGNATION*	COMPACTION/DENSITY REQUIREMENT
(1) FILL MATERIAL FOR LAYER 12' STARTS FROM THE TOP OF THE 'CLAYERS' TO THE BOTTOM OF THE FLEXIBLE PAVEMENT OR UNPAVED FRESH GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THIS LAYER.	ANY SOIL/ROCK MATERIALS, NATIVE SOILS, OR FILL FOR ENGINEERS PLAN. CHECK PLANS FOR PAVEMENT SUBGRADE REQUIREMENTS.	N/A	FRESH FILL ENGINEERS LABEL. TESTED INSTALLATIONS MAY HAVE STRICTER MATERIAL AND PREPARATION REQUIREMENTS.
(2) FILL MATERIAL FOR LAYER 12' STARTS FROM THE TOP OF THE EMBEDMENT STONE (2' LAYERS) TO 18\"/>			

PLEASE NOTE:  
 1. THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M45) STONE."  
 2. AS AN ALTERNATE TO PROCTOR TESTING AND FIELD DENSITY MEASUREMENTS ON OPEN GRADED STONE, STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 9" [229 mm] MAX LIFTS USING TWO FULL COVERAGES WITH AN APPROPRIATE COMPACTOR.

STORMTECH ACCEPTABLE FILL MATERIALS



SC-740 INSPECTION PORT DETAIL

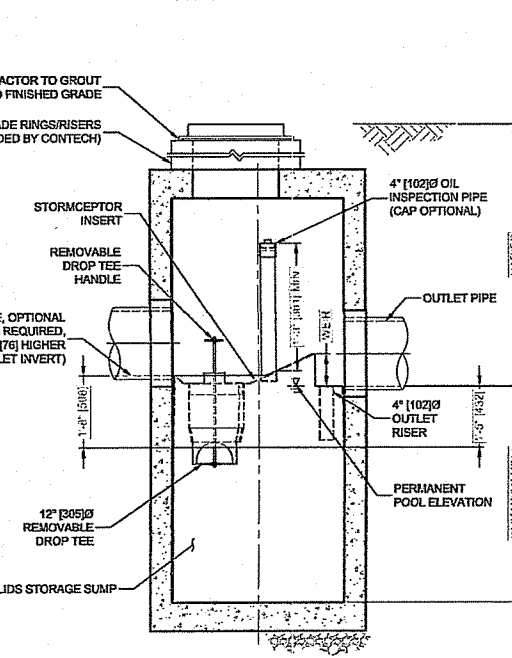
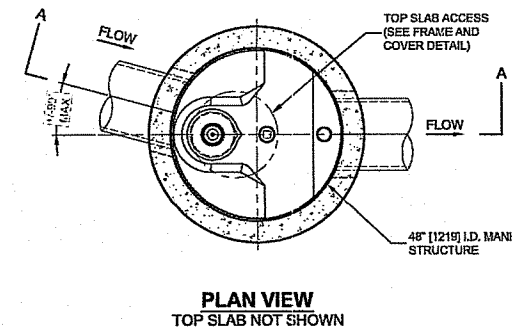


STUB SIZE	1/2\"/>						
6"	1/2"	3/4"	1"	1 1/4"	1 1/2"	1 3/4"	2"
8"	1/2"	3/4"	1"	1 1/4"	1 1/2"	1 3/4"	2"
10"	1/2"	3/4"	1"	1 1/4"	1 1/2"	1 3/4"	2"
12"	1/2"	3/4"	1"	1 1/4"	1 1/2"	1 3/4"	2"
15"	1/2"	3/4"	1"	1 1/4"	1 1/2"	1 3/4"	2"
18"	1/2"	3/4"	1"	1 1/4"	1 1/2"	1 3/4"	2"
24"	1/2"	3/4"	1"	1 1/4"	1 1/2"	1 3/4"	2"

MANIFOLDS

STORMCEPTOR DESIGN NOTES

THE STANDARD STORMCEPTOR DESIGN WITH RAINFALL SOLID FRAME AND COVER, AND INLET PIPE IS SHOWN. ALTERNATE CONFIGURATIONS ARE AVAILABLE AND WILL BE QUOTED. SOME CONFIGURATIONS MAY BE COMBINED TO MEET SITE REQUIREMENTS.  
 CONFIGURATION DESCRIPTION:  
 GRATED INLET ONLY (NO INLET PIPES)  
 GRATED INLET WITH INLET PIPE OR PIPES  
 CURB INLET ONLY (NO INLET PIPES)  
 CURB INLET WITH INLET PIPE OR PIPES



FRAME AND COVER

(MAX VARY) NOT TO SCALE

FRAME AND GRATE

(MAX VARY) NOT TO SCALE

SITE SPECIFIC DATA REQUIREMENTS

ITEM	UNIT	REMARKS
WATER QUALITY FLOW RATE (ON LAD)	MGD	
PEAK FLOW RATE (ON LAD)	MGD	
RETURN PERIOD OF PEAK FLOW (ON LAD)	YRS	
SOIL TYPE		
PILE DATA		
PILE TYPE 1		
PILE TYPE 2		
PILE TYPE 3		
NOTES/SPECIAL REQUIREMENTS		

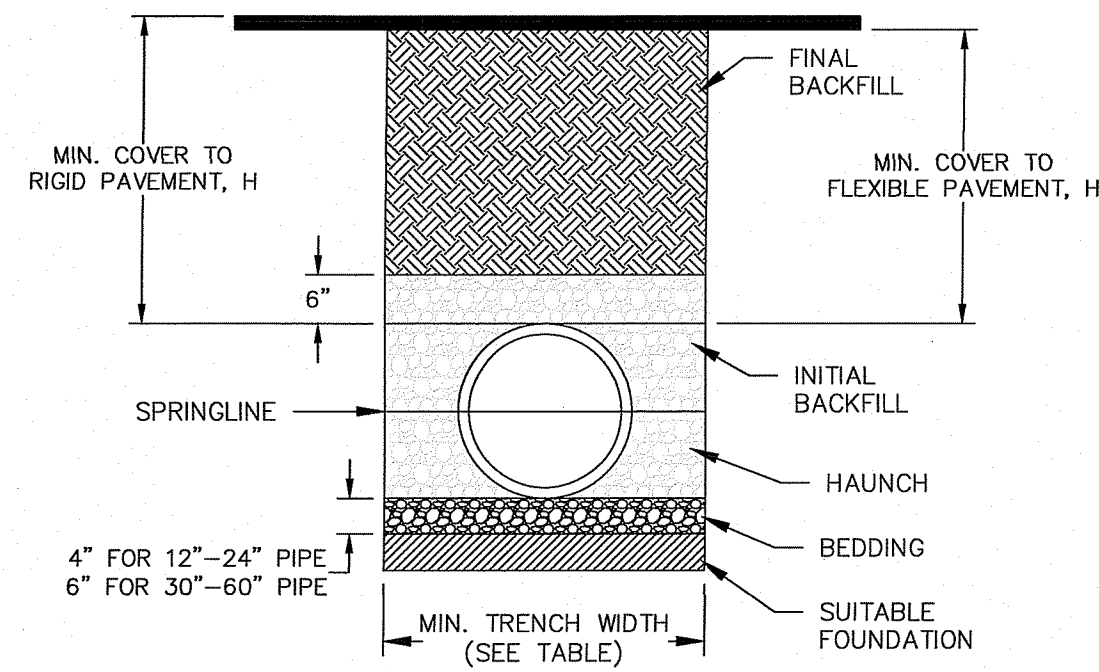
STORMCEPTOR STANDARD DETAIL

**Advanced Civil Design, Inc.**  
 SITE/CIVIL ENGINEERS  
 88 PEEPTOAD ROAD  
 SCITUATE, RI 02857  
 PH: (401) 473-4404

NO.	DATE	REVISION
1	1/30/21	ADDRESS RIDEM COMMENTS

PROJECT TITLE:  
**New Industrial Building**  
 A.P. 178 Lot 118  
 20 Aspen Way  
 Burrillville, RI  
 PREPARED FOR:  
 ADLER PROPERTIES, LLC  
 115 MAPLEVILLE RD  
 GREENVILLE, RI 02828

DRAWING TITLE:  
**Details**  
 DATE: OCTOBER 2020  
 SCALE: AS NOTED  
 DRAWN BY: C.S.R.  
 CHECKED BY: C.S.R.  
 DRAWING NO.  
**C5.1**  
 SHEET 7 OF 8



RECOMMENDED MINIMUM TRENCH WIDTHS

PIPE DIAM.	MIN. TRENCH WIDTH
4"	21"
6"	23"
8"	26"
10"	28"
12"	30"
15"	34"
18"	39"
24"	48"
30"	56"
36"	64"
42"	72"
48"	80"
54"	88"
60"	96"

MINIMUM RECOMMENDED COVER BASED ON SURFACE LIVE LOADING CONDITION

PIPE DIAM.	SURFACE LIVE LOADING CONDITION	
	H-25	HEAVY CONSTRUCTION (75T AXLE LOAD) *
12" - 48"	12"	48"
54" - 60"	24"	60"

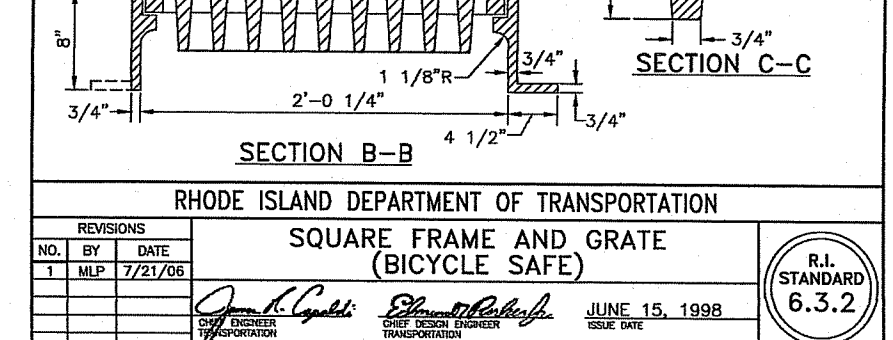
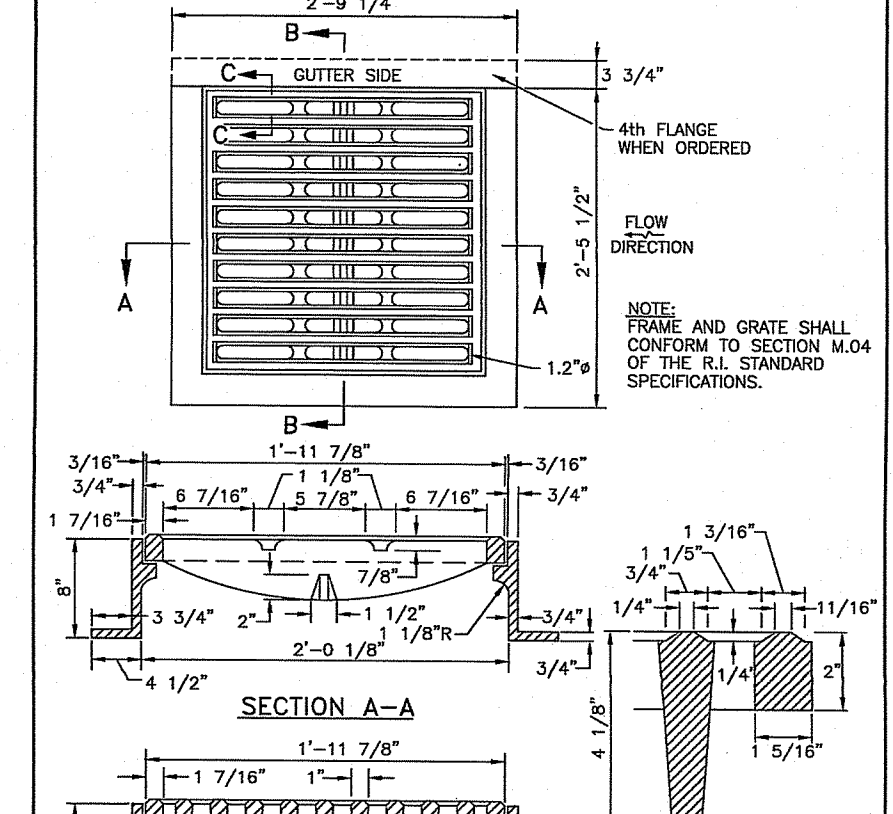
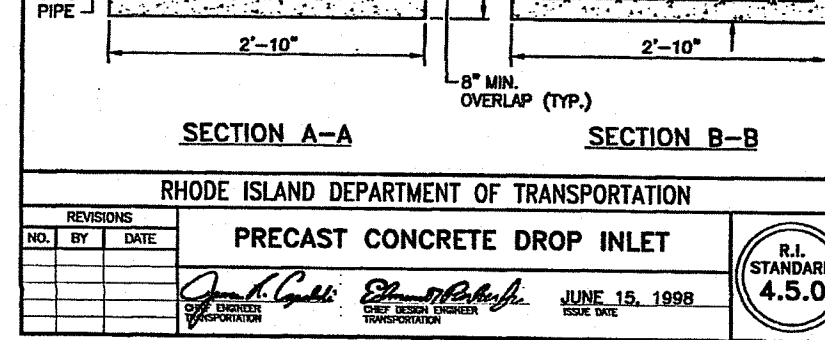
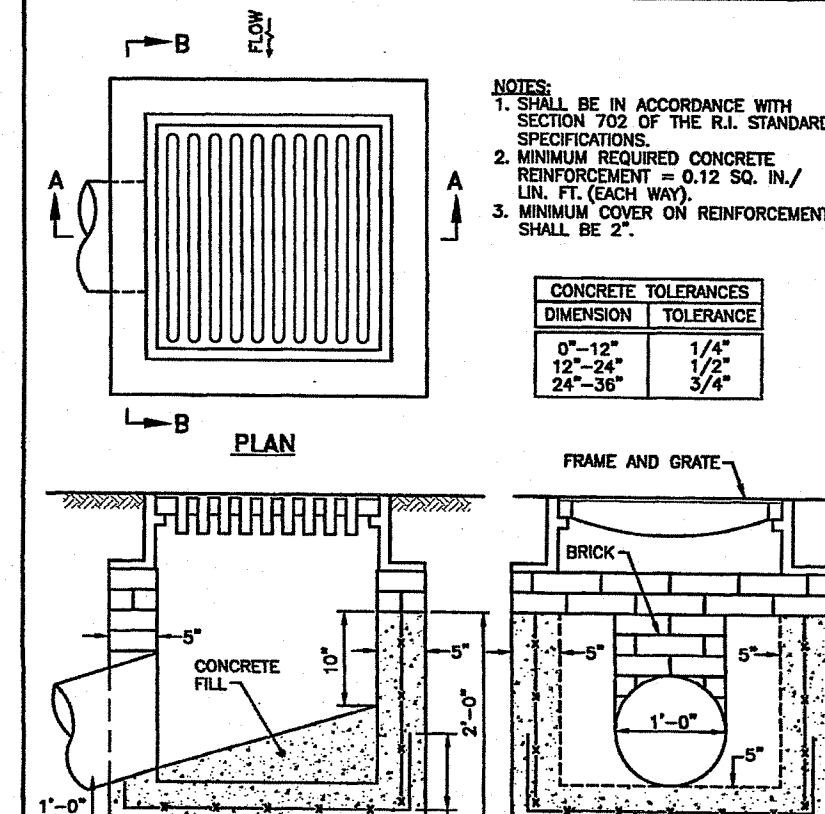
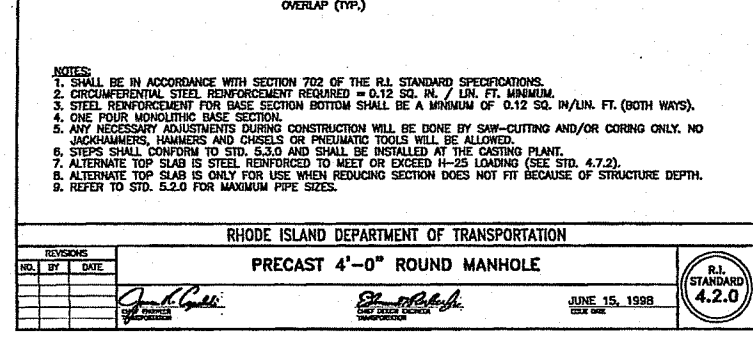
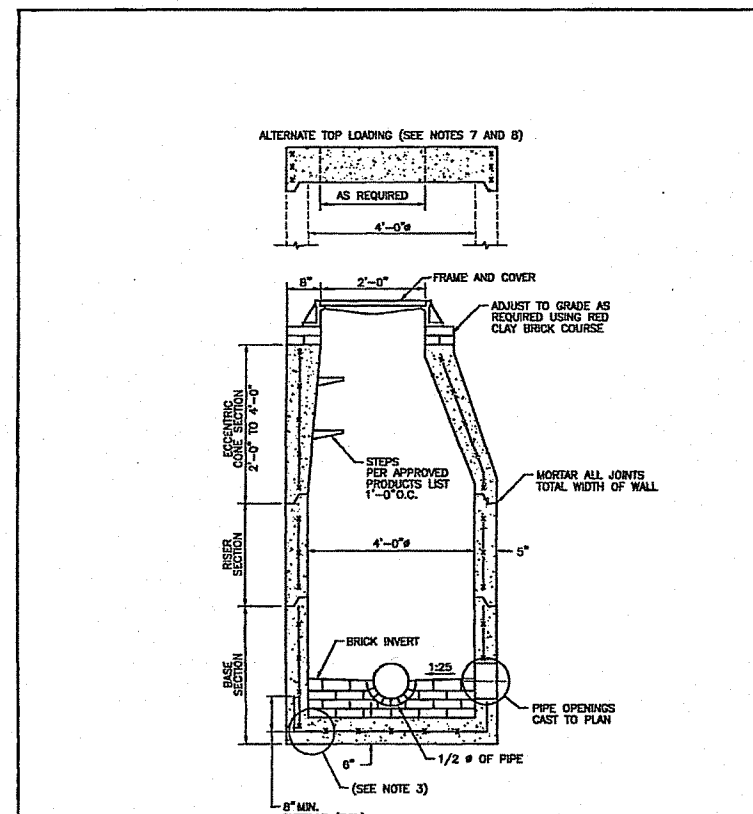
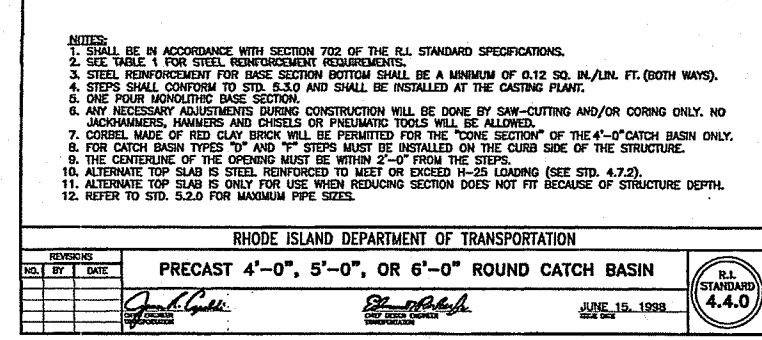
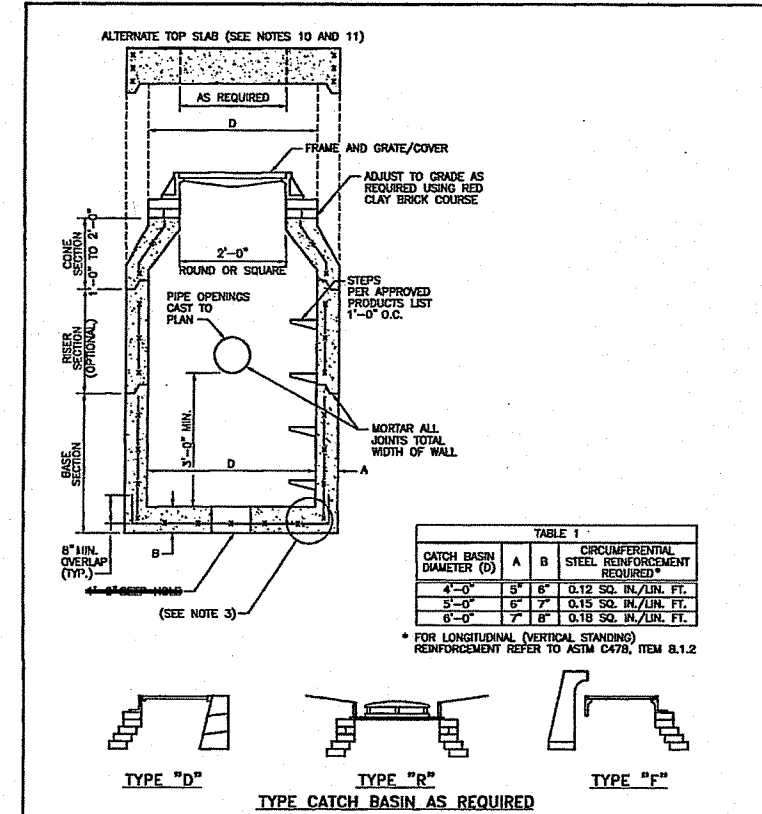
\* VEHICLES IN EXCESS OF 75T MAY REQUIRE ADDITIONAL COVER

MINIMUM RECOMMENDED COVER BASED ON RAILWAY LOADING CONDITIONS

PIPE DIAM.	COOPER	
	E-80**	E-90**
UP TO 24"	24"	24"
30"-36"	36"	36"
42"-60"	48"	48"

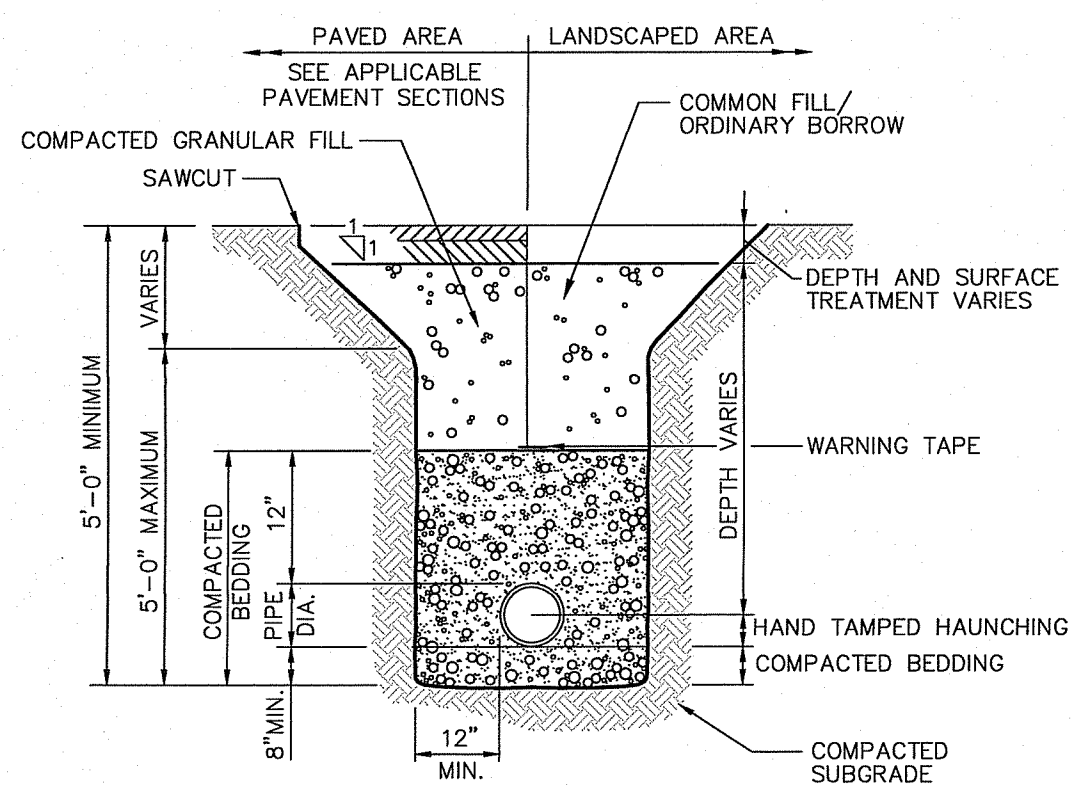
\*\* COVER IS MEASURED FROM TOP OF PIPE TO BOTTOM OF RAILWAY TIE.  
\*\*\* E-80 COVER REQUIREMENTS, ARE ONLY APPLICABLE TO ASTM F 2306 PIPE.

- NOTES:
- ALL PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS," LATEST EDITION.
  - MEASURES SHOULD BE TAKEN TO PREVENT MIGRATION OF NATIVE FINES INTO BACKFILL MATERIAL, WHEN REQUIRED.
  - WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE ENGINEER, AS AN ALTERNATIVE AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEKILE MATERIAL.
  - SUITABLE MATERIAL SHALL BE CLASS I, II OR III. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER, UNLESS OTHERWISE NOTED BY THE ENGINEER, MINIMUM BEDDING THICKNESS SHALL BE 4" (100mm) FOR 4"-24" (100mm-600mm); 6" (150mm) FOR 30"-60" (750mm-900mm).
  - SUITABLE MATERIAL SHALL BE CLASS I, II OR III IN THE PIPE ZONE EXTENDING NOT LESS THAN 6" ABOVE CROWN OF PIPE. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. MATERIAL SHALL BE INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION.
  - MINIMUM COVER, H, IN NON-TRAFFIC APPLICATIONS (GRASS OR LANDSCAPE AREAS) IS 12" FROM THE TOP OF PIPE TO GROUND SURFACE. ADDITIONAL COVER MAY BE REQUIRED TO PREVENT FLOATION. FOR TRAFFIC APPLICATIONS, MINIMUM COVER, H, IS 12" UP TO 48" DIAMETER PIPE AND 24" OF COVER FOR 54"-60" DIAMETER PIPE. MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT.



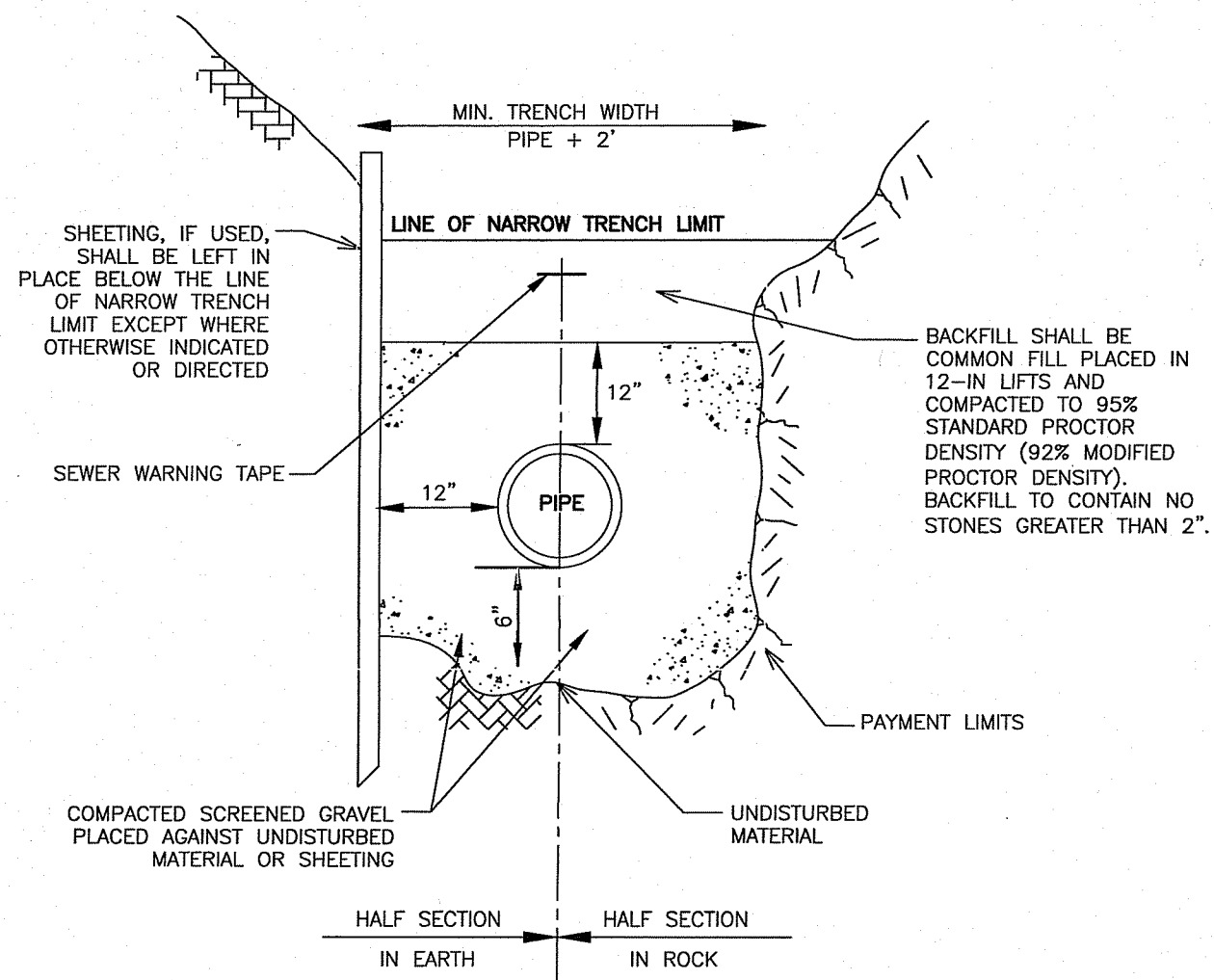
HDPE (ADS N-12) PIPE INSTALLATION

NOT TO SCALE



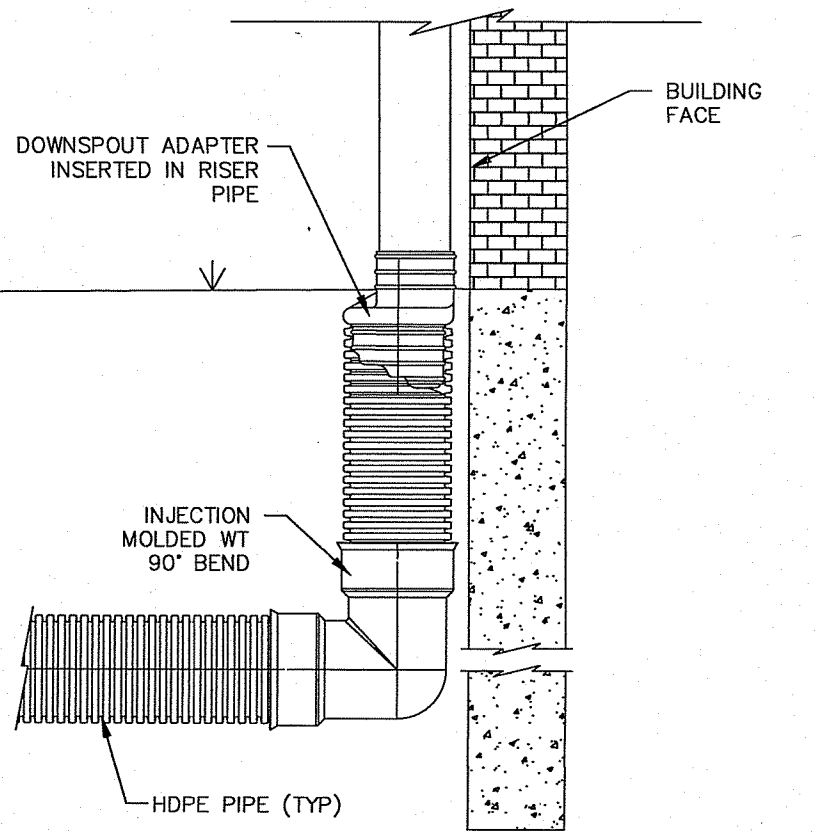
WATER LINE TRENCH DETAIL

NOT TO SCALE



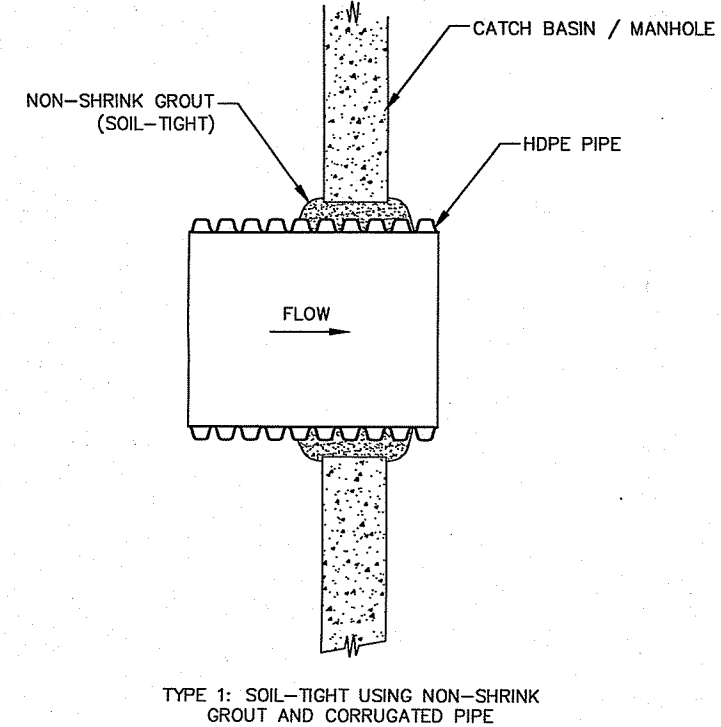
GRAVITY SEWER TRENCH

NOT TO SCALE



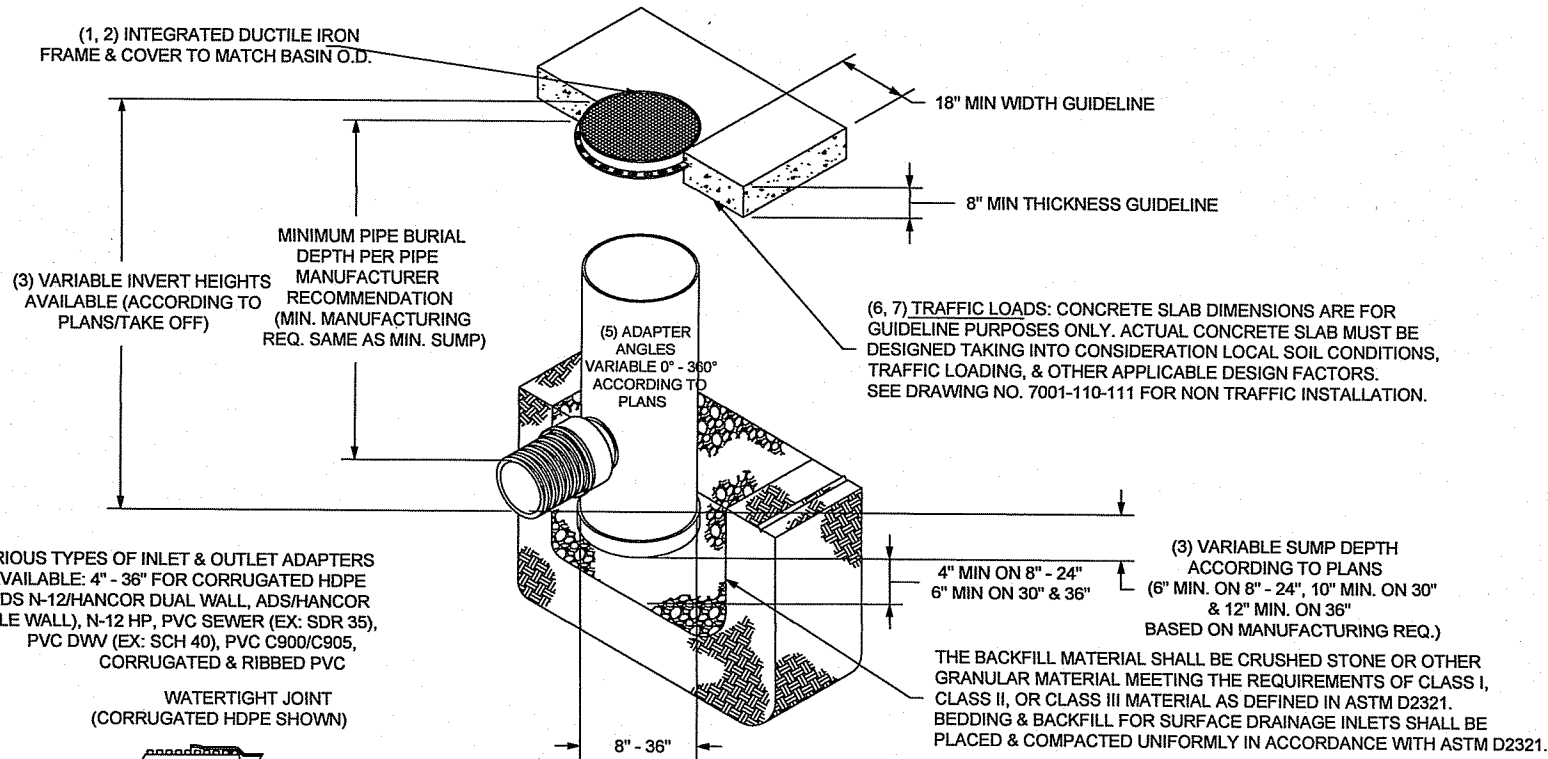
ROOF DRAIN DOWNSPOUT CONNECTION

NOT TO SCALE



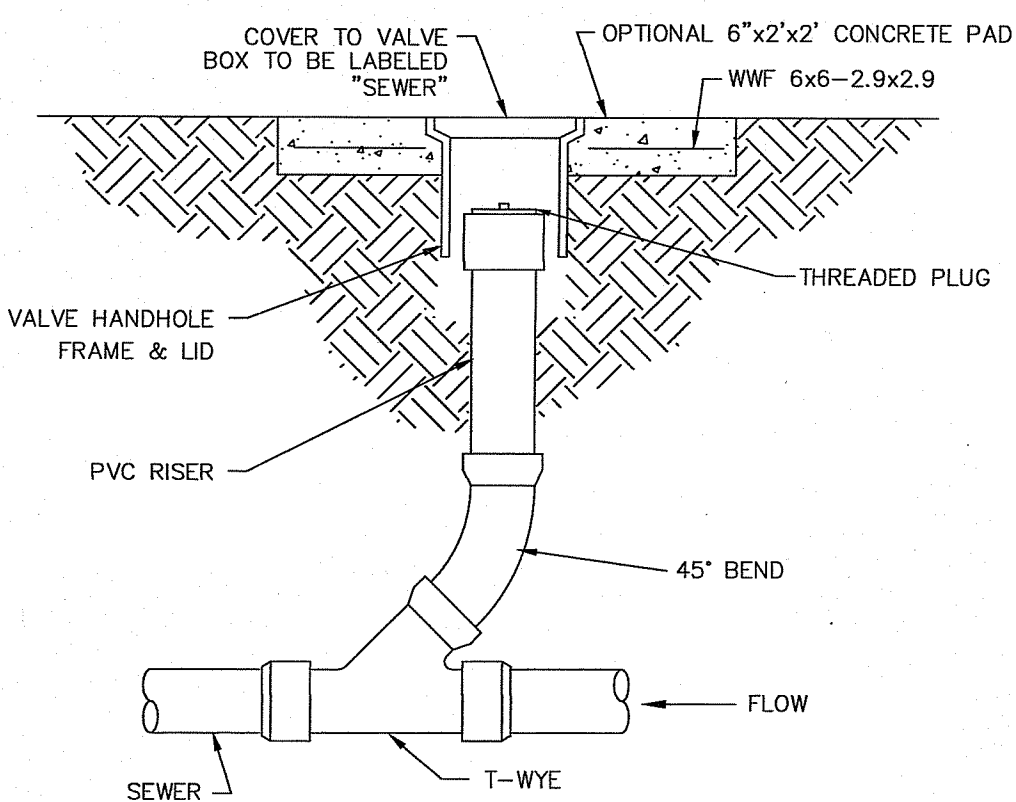
HDPE PIPE TO MANHOLE CONNECTION

NOT TO SCALE



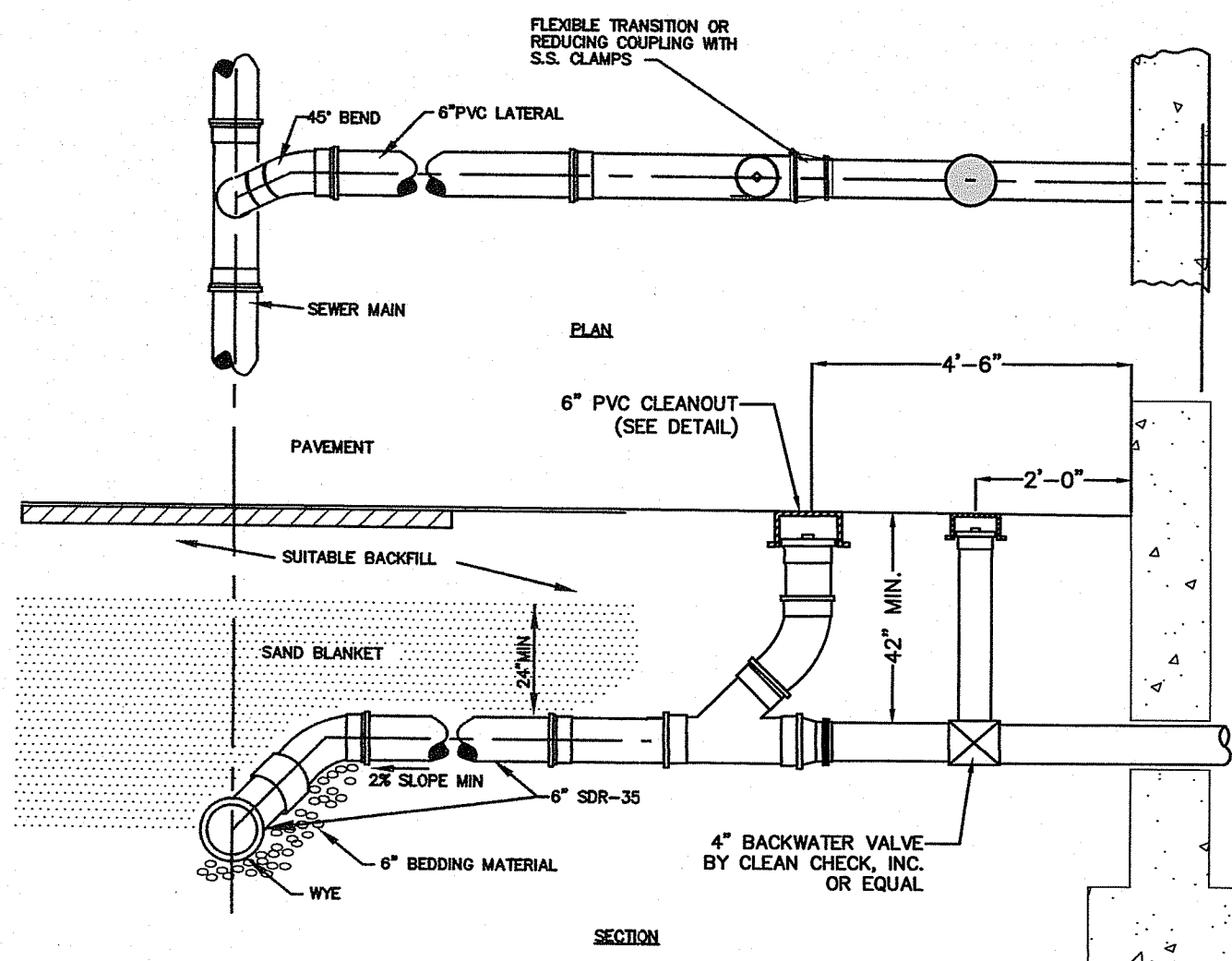
PLASTIC DRAIN BASIN

NOT TO SCALE



PVC CLEANOUT DETAIL

NOT TO SCALE



SANITARY SEWER LATERAL CONNECTION

NOT TO SCALE

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WITLAND PROGRAM  
APPROVED WITH CONDITIONS  
AS SPECIFIED IN THE PERMIT  
DATED 3/4/2021 20-0267  
NO CHANGES ALLOWED WITHOUT THE SIGNATURE OF THE DESIGNER  
APPROVED PLANS MUST BE AT THE DESIGNER'S OFFICE  
*Nancy J. Freeman*

Advanced Civil Design, Inc.

SITE/CIVIL ENGINEERS

88 PEEPTOAD ROAD  
SCITUATE, RI 02857  
PH: (401) 473-4404

1 1/30/21 ADDRESS RIDEM COMMENTS

NO. DATE REVISION

PROJECT (REVISED)

New Industrial Building

A.P. 179 Lot 118  
20 Aspen Way  
Burrillville, RI

PREPARED FOR:  
ADLER PROPERTIES, LLC  
115 MAPLEVILLE RD  
GREENVILLE, RI 02828

DRAWING TITLE:

Details

DATE: OCTOBER 2020

SCALE: AS NOTED

DRAWN BY: C.S.R.

CHECKED BY: C.S.R.

DRAWING NO.

CURTIS S. RUOTOLO  
No. 8756  
REGISTERED PROFESSIONAL ENGINEER (CIVIL)

C5.2

SHEET 8 OF 8