

N/F
A.P. 13, LOT 398
CITY PLACE LLC
VOLUME 2402, PAGE 90

N/F
A.P. 13, LOT 401
OAK HILL REALTY LLC
VOLUME 1727, PAGE 12

N/F
A.P. 13, LOT 404
DOMENICO & FRANCESCO
CASSISI
VOLUME 1704, PAGE 22

N/F
A.P. 13, LOT 405
DOMENICO & FRANCESCO
CASSISI
VOLUME 1704, PAGE 22

N/F
A.P. 13, LOT 406
DOMENICO & FRANCESCO
CASSISI
VOLUME 1704, PAGE 22

N/F
A.P. 114, LOT 364
(PROVIDENCE)
CINDY VARGAS
VOLUME 11573, PAGE 208

N/F
A.P. 114, LOT 363
(PROVIDENCE)
CINDY VARGAS
VOLUME 11573, PAGE 208

N/F
A.P. 114, LOT 360
(PROVIDENCE)
CINDY VARGAS
VOLUME 11573, PAGE 208

N/F
A.P. 114, LOT 357
(PROVIDENCE)
ALFRED A.E. & ANASTASIA R.
FAUBERT
VOLUME 10938, PAGE 244

OAKDALE AVENUE
(PUBLIC - 49.5' WIDTH)

N/F
A.P. 13, LOT 484
CITY PLACE LLC
VOLUME 2402, PAGE 90

S 16°12'13" E DRILL HOLE
50.00'
(FND.) 0.07'

STATE HIGHWAY LINE

APPROXIMATE 8" C.I. WATER

APPROXIMATE 24" DI. WATER

APPROXIMATE 8" A.C. SEWER MAIN

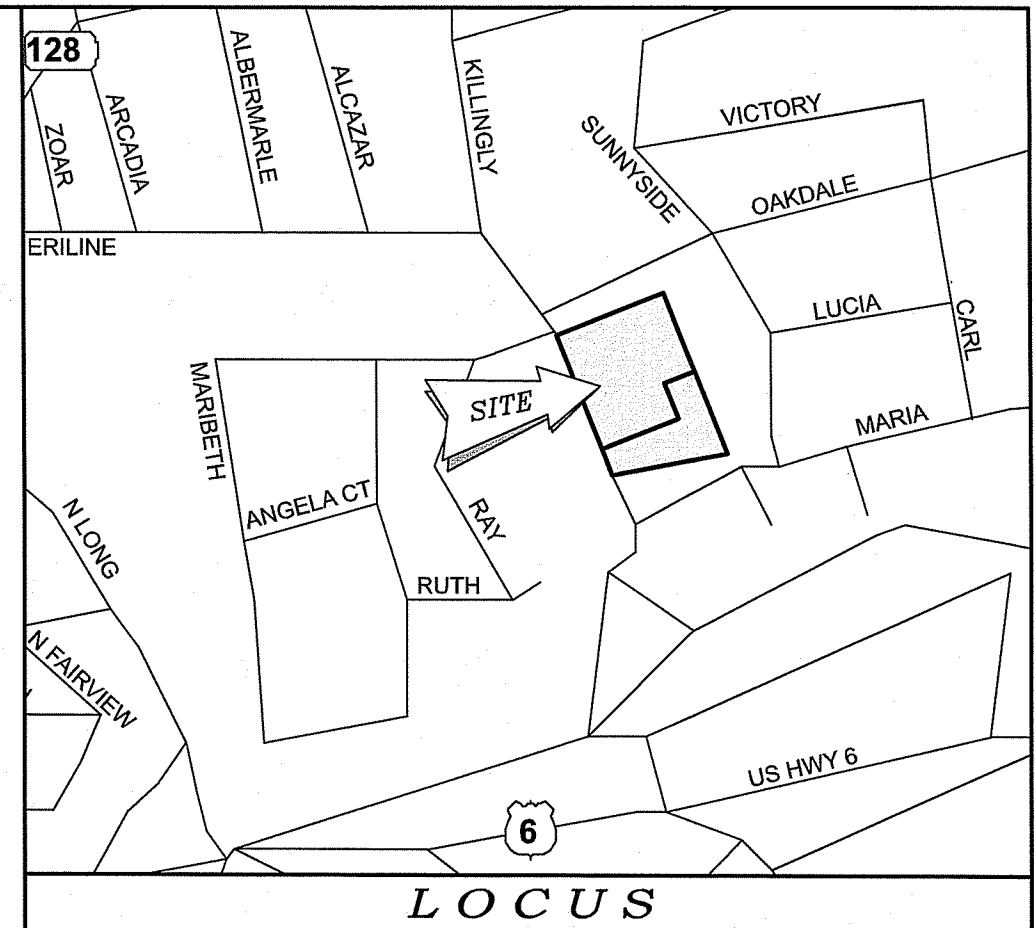
KILLINGLY (ROUTE 128) STREET
(PUBLIC - 49.5' WIDTH)

N 16°12'13" W 50.00'

STONE BOUND (FND. & HELD)

8" A.C. SEWER MAIN

PAVE / CURB EDGE



NOTES / REFERENCES

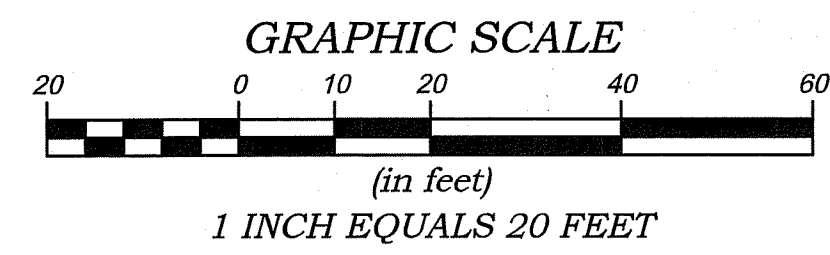
- REFERENCE IS MADE TO THE FOLLOWING MAPS AND PLANS OF RECORD:
 - PLAN ENTITLED "PLAN OF SURVEY IN JOHNSTON, R.I. FOR SHELL OIL COMPANY BY STANLEY ENGINEERING, INC., SCALE 1" = 10', DECEMBER, 1971."
 - PLAN ENTITLED "OAKDALE BELONGING TO M.A. WHITE BY FRANK E. WATERMAN CO., DECEMBER, 1919, SCALE: 1" = 80'."
 - PLAN ENTITLED "ALTA / NSPS LAND TITLE SURVEY PLAN A.P. 13, LOT 485 KILLINGLY STREET JOHNSTON, RHODE ISLAND, PREPARED FOR ADLER, POLLOCK & SHEPHERD, P.C. PREPARED BY WATERMAN ENGINEERING COMPANY, DATED: 07/18/77, SCALE: 1" = 20'."
 - R.I. HIGHWAY PLAT No. 1221
 - PLAN SET ENTITLED "COLBEA, 2050 PLAINFIELD TURNPIKE, CRANSTON, RHODE ISLAND 02921, PROPOSED PRIMARY 505 KILLINGLY STREET, JOHNSTON, RHODE ISLAND, CONSULTING SITE / BUILDING, TO DESIGN, 85 ARBOR STREET, HARTFORD, CT 06183, STRUCTURAL, C.A. FRETZER ASSOCIATES, INC., 191 FRANKLIN AVENUE, CRANSTON, RI 02910, KILLINGLY ST., 82700 (ISSUED FOR CONSTRUCTION)
- REFERENCE IS MADE TO THE FOLLOWING TOWN OF JOHNSTON LAND EVIDENCE RECORDS REGARDING RECORDED TITLE TO THE PREMISES SURVEYED:
 - A.P. 13, LOT 397 - COLBEA ENTERPRISES, L.L.C. - VOLUME 845, PAGE 348
 - A.P. 13, LOT 485 - COLBEA ENTERPRISES, L.L.C. - VOLUME 2610, PAGE 75
- THESE PREMISES MAY BE SUBJECT TO THE FOLLOWING EASEMENTS, RIGHTS OF WAY OR AGREEMENTS OF RECORD:
 - EASEMENTS / AGREEMENTS MAY EXIST REGARDING THE LOCATION OF THE EXISTING BIT, PAVEMENT, STONE RETAINING WALLS & OVERHEAD WIRES AS SHOWN. (NO RECORDS FOUND)
 - EXCEPTING ALL RIGHT, TITLE AND INTEREST IN AND TO ANY OIL, GAS AND OTHER MINERALS AS DESCRIBED IN VOLUME 845, PAGE 348. (MINERAL RIGHTS RELEASED TO MOTIVA ENTERPRISES LLC FROM SHELL OIL COMPANY AS DESCRIBED IN VOLUME 846, PAGE 4.)
- THESE PREMISES ARE SITUATED IN AN "B2 ZONE" (GENERAL BUSINESS)

DIMENSIONAL REQUIREMENTS	
MIN. STRUCT. DISTANCE FROM RESIDENTIAL BOUNDARY ZONE	= 50 FT.
MIN. S/B FRONT YARD	= 40 FT.
MIN. S/B REAR YARD	= 40 FT.
MIN. S/B SIDE YARD	= 40 FT.
MAX. STRUCTURE HEIGHT	= 35 FT.
MAX. BUILDING COVERAGE	= 40%

NOTE - ZONING INFORMATION IS FROM CURRENT ZONING AND MAY NOT REFLECT THE CONDITIONS AT THE TIME OF CONSTRUCTION OR ANY VARIANCES GRANTED.
- THESE PREMISES ARE SITUATED IN A ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANGE FLOODPLAIN) AS DESIGNATED ON THE "NATIONAL FLOOD INSURANCE PROGRAM, FIRM FLOOD INSURANCE RATE MAP PROVIDENCE COUNTY, RHODE ISLAND (ALL JURISDICTIONS) PANEL 303 OF 451 TOWN OF JOHNSTON MAP NUMBER 44007C0303H MAP REVISED: OCTOBER 2, 2015. FEDERAL EMERGENCY MANAGEMENT AGENCY."
- ANY UTILITIES SHOWN ON THIS PLAN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING PLANS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH OR ABANDONED. THE SURVEYOR DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM ALL AVAILABLE INFORMATION. (PLEASE CONTACT DIG SAFE 72 HOURS PRIOR TO CONSTRUCTION AT PHONE NO. 1-888-DIG-SAFE/AND/OR ALL LOCAL UTILITY COMPANIES.)
- THE LOCATION OF THE TOWN / CITY LINE WAS REPRODUCED FROM THE EXISTING MONUMENT FOUND AND EXISTING DEEDS / PLATS OF RECORD. MORE RESEARCH / FIELD WORK MAY BE NEEDED TO DELINEATE THE EXACT LOCATION OF THE TOWN / CITY LINE. A COMPLETE SURVEY OF THE TOWN / CITY LINE WAS NOT CONDUCTED AS PART OF THIS PROJECT.
- SNOW COVER WAS PRESENT DURING THE COURSE OF PERFORMING THE FIELD SURVEY IN 2019, THEREFORE NOT ALL FEATURES AND / OR APPURTENANCES MAY BE SHOWN.
- THE WETLAND FLAGS SHOWN HEREON WERE DELINEATED BY NATURAL RESOURCE SERVICES, INC., P.O. BOX 311, HARRISVILLE, RI 02830 IN SEPTEMBER, 2020 AND FIELD LOCATED BY WATERMAN ENGINEERING COMPANY IN NOVEMBER, 2020.

LEGEND & ABBREVIATIONS

- | | |
|--------------------------------|-------------------------------|
| N/F - NOW OR FORMERLY | — — — — — PROPERTY LINE |
| A.P. - ASSESSORS PLAT | - - - - - ZONING SETBACK LINE |
| S.F. - SQUARE FEET | - - - - - EXISTING CONTOUR |
| AC. - ACRES | - - - - - NEW CONTOUR |
| ± - PLUS OR MINUS | - - - - - STONE WALL |
| STY - STORY | X - FENCE |
| WF - WOOD FRAMED | S - SEWER LINE |
| SHP - STATE HIGHWAY PLAT | D - DRAIN LINE |
| RET. - RETAINING WALL | W - WATER LINE |
| PE.D. - PEDESTRIAN | G - GAS LINE |
| (FND.) - FOUND | E - ELECTRIC LINE |
| R/HB - RI HIGHWAY BOUND | ⊙ - SANITARY SEWER MANHOLE |
| PK NAIL - MASONRY NAIL | ⊞ - CATCH BASIN |
| FE - FLARED END | ⊕ - STORM DRAIN MANHOLE |
| RCP - REINFORCED CONCRETE PIPE | ⊗ - WATER GATE |
| CLF - CHAIN LINK FENCE | ⊘ - GAS VALVE |
| INV. - INVERT | ⊙ - ELECTRIC MANHOLE |
| x 10.80 - EXISTING SPOT GRADE | ⊠ - GRANITE BOUND |
| x 10.80 - NEW SPOT GRADE | ⊙ - DRILL HOLE |
| | ○ - IRON PIPE |



COPYRIGHT
THESE DRAWINGS ARE THE PROPERTY OF THE ENGINEER/SURVEYOR AND HAVE BEEN PREPARED FOR THE OWNER. FOR THIS PROJECT AT THIS SITE AND ARE NOT TO BE USED FOR ANY OTHER PURPOSE. LOCATION OR OWNER WITHOUT WRITTEN CONSENT OF THIS OWNER OR ONE OF ITS DIRECTORS.

** SIGNATURES MUST BE IN BLUE INK TO CONSTITUTE AN ORIGINAL PLAN

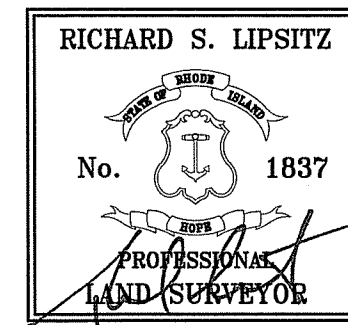
CERTIFICATION

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON JANUARY 1, 2016, AS FOLLOWS:

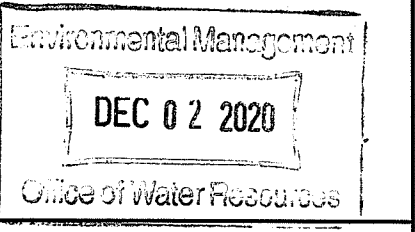
TYPE OF BOUNDARY SURVEY: MEASUREMENT / ACCURACY SPECIFICATION:
COMPREHENSIVE BOUNDARY SURVEY /

OTHER TYPE OF SURVEY: DATA ACCUMULATION SURVEY III
TOPOGRAPHIC SURVEY T-1

THE PURPOSE FOR CONDUCTING THIS SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS:
BOUNDARY & TOPOGRAPHIC SURVEY PLAN FOR THE FUTURE DEVELOPMENT OF THE SUBJECT PARCELS.



BY: *[Signature]*
RICHARD S. LIPSITZ, P.L.S. REG. NO. 1837
WATERMAN ENGINEERING COMPANY (COA No. LS.0004483) DATE 11/12/2020



NO.	DATE	REVISION	CHECKED BY
1	11/12/2020	ADDL TOPOGRAPHY / UTILITIES & WETLAND FLAGS	BJT

BOUNDARY & TOPOGRAPHIC SURVEY PLAN
A.P. 13, LOTS 397 & 485
KILLINGLY STREET
JOHNSTON, RHODE ISLAND

COLBEA / EAST SIDE ENTERPRISE, LLC
7 STARLING WAY
CRANSTON, RHODE ISLAND 02921

Waterman
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