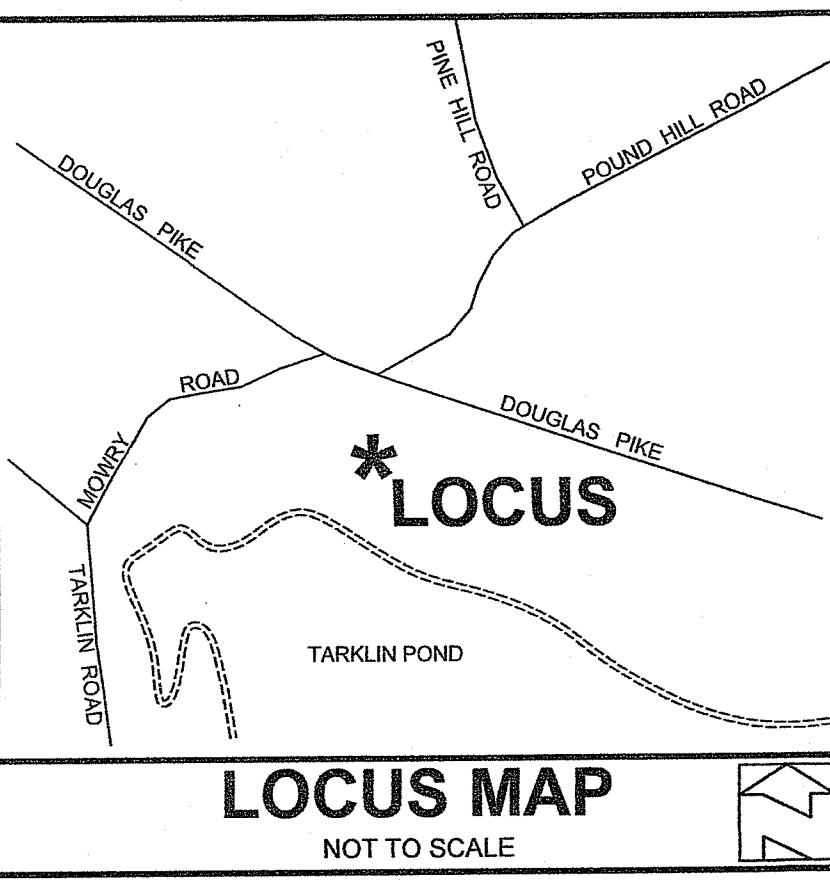


NO.	DATE	DESCRIPTION	BY

ZONING CRITERIA

ZONING DISTRICT	RA-65
MINIMUM LOT AREA	65,000 SQ. FT.
MINIMUM LOT FRONTAGE	200'
MINIMUM FRONT YARD SETBACK	40'
MINIMUM SIDE YARD SETBACK	25'
MINIMUM REAR YARD SETBACK	40'
MAXIMUM BUILDING COVERAGE	25%
MAXIMUM BUILDING HEIGHT	35'

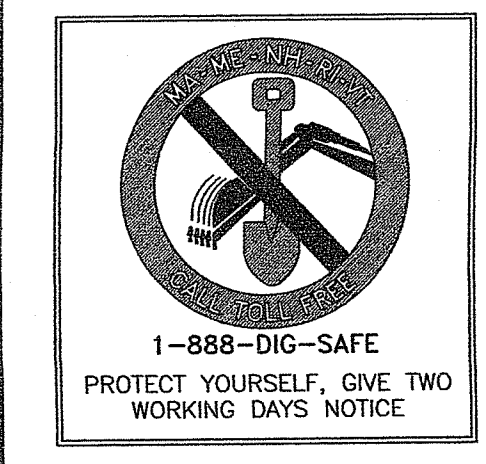


GENERAL NOTES:

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2. WETLANDS SHOWN HEREIN WERE DELINEATED BY MASON & ASSOCIATES, INC. 711 PLAINFIELD PIKE, NORTH SCITUATE, RHODE ISLAND ON JULY 23, 2020.
3. SOIL EVALUATION APPLICATION NUMBER 9725-0295
4. AREA IS WITHIN ZONE X AS PER FLOOD INSURANCE RATE MAP PER THE TOWN OF NORTH SMITHFIELD RHODE ISLAND MAP NUMBER 44007C01556 DATED MARCH 2 2009.

REFERENCES:

1. A PLAN ENTITLED : " MINOR SUBDIVISION FOE DANIEL & MURIEL HALLORAN 62 DOUGLAS PIKE NORTH SMITHFIELD RHODE ISLAND 02898 ASSESSORS PLAT 10 LOT 144 AND WARREN J. JR. & WARREN J. III SHAW 55 DOUGLAS PIKE NORTH SMITHFIELD RHODE ISLAND 02898 ASSESSORS PLAT 10 LOT 159 DOUGLAS PIKE NORTH SMITHFIELD RHODE ISLAND SCALE 1"=60' DATED NOVEMBER 1995" BY NATIONAL SURVEYORS-DEVELOPERS INC. AND RECORDED IN THE NORTH SMITHFIELD REGISTRY OF DEEDS.



DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
OWTS & FRESHWATER WETLANDS
JOINT PERMIT APPROVAL

OWTS# 9725-0295 FWW# 20-0284
APPROVED: [Signature] DATE 11/31/21
No Charges Allowed Without RIDEM Approval
Approved Plans/Permit Must Be Kept at Construction Site

NORBERT A. THERIEN
No. 1739
PROFESSIONAL LAND SURVEYOR
42 Hamlet Ave., Woonsocket, R.I.
(401) 769-7779

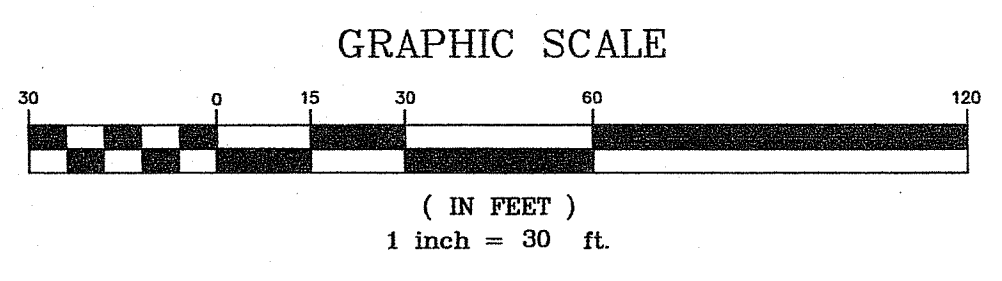
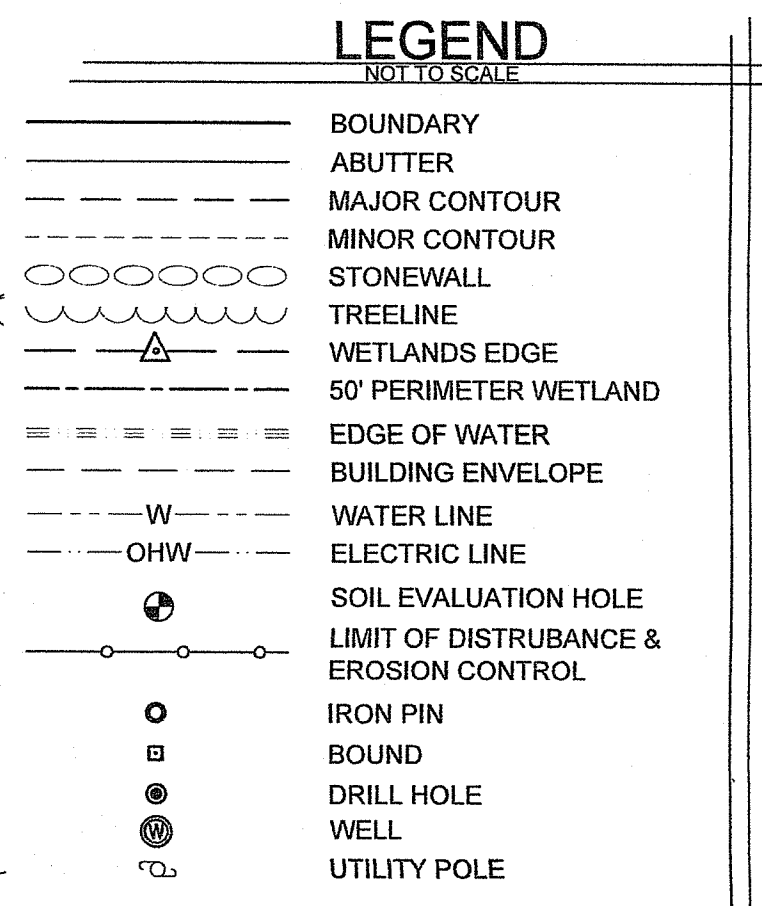
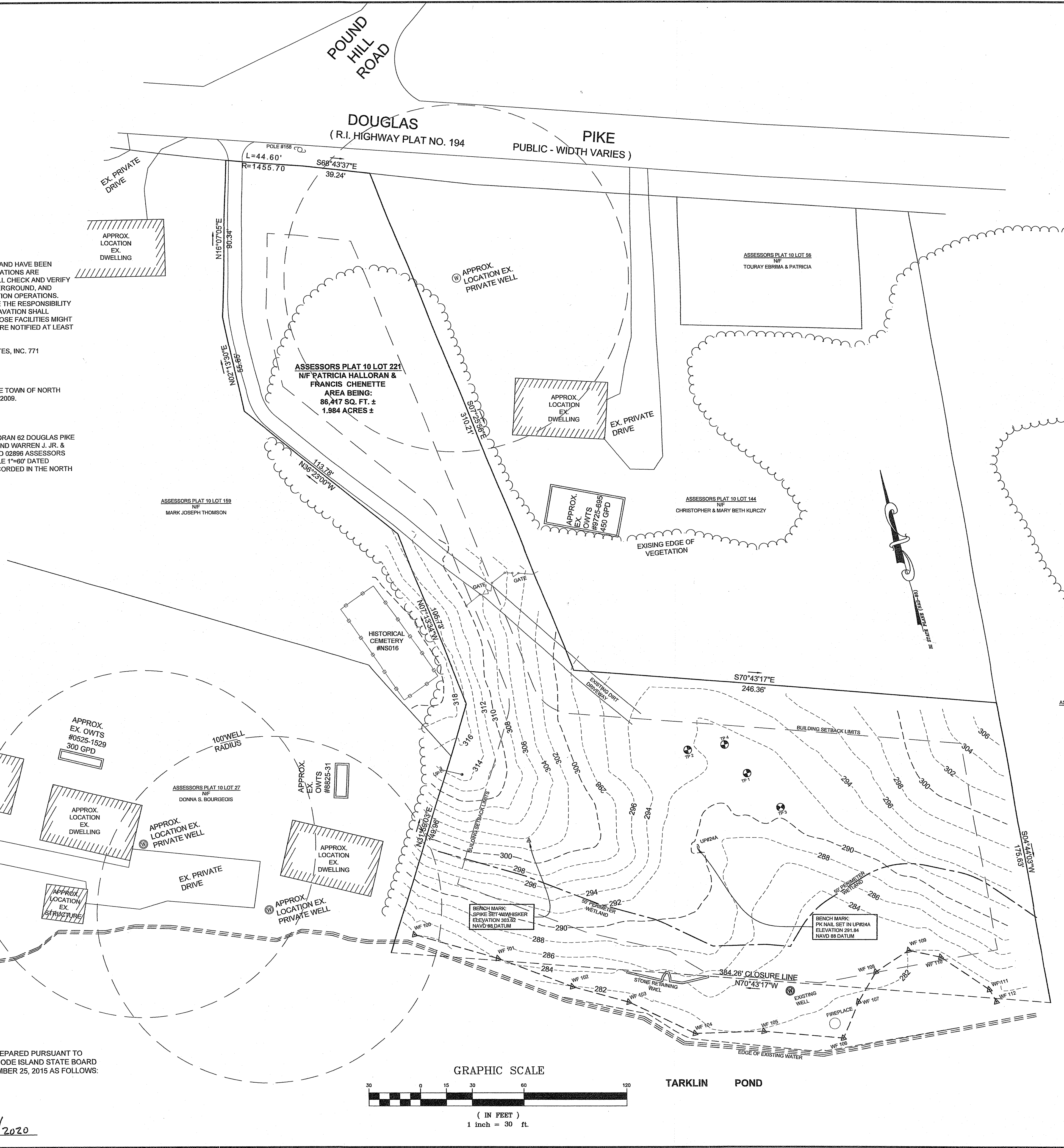
DAVID KENNETH MANONI
No. 12484
REGISTERED PROFESSIONAL ENGINEER (Civil)
GROUND BREAKING DESIGNS, LLC
90 HIGHLAND AVE.
SOUTH KINGSTOWN, R.I.
(401) 622-2932

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATIONS FOR PROFESSIONAL LAND SURVEYORS NOVEMBER 25, 2015 AS FOLLOWS:

TYPE OF SURVEY: LIMITED CONTENT BOUNDARY SURVEY
MEASUREMENT SPECIFICATION: CLASS I & III STANDARD

PURPOSE OF SURVEY: JOINT APPLICATION

BY: [Signature] DATE: 11/30/2020
NORBERT A. THERIEN, PLS NO. 1739

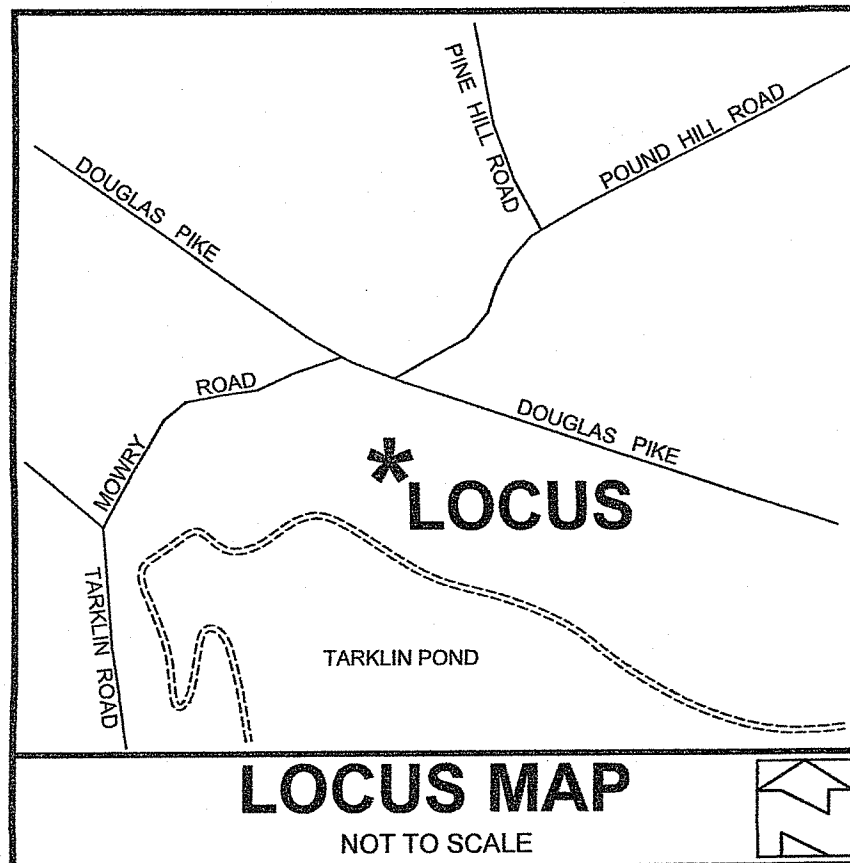


APPLICANT / OWNER:
PATRICIA HALLORAN
22 PARK STREET
QUINCY MASSACHUSETTS 02170
1-857-526-6328

JOINT APPLICATION
PATRICIA HALLORAN & FRANCIS CHENETTE
ASSESSORS PLAT 10 LOT 221
DOUGLAS PIKE
NORTH SMITHFIELD, RHODE ISLAND

FINAL
EXISTING CONDITIONS PLAN

DRAWN BY: W.C.R. CHECKED BY: N.A.T. FIELD BY: R.W.,J.S.
SEPTEMBER 2020 JOB No. 2020-112 SHEET 1 OF 4

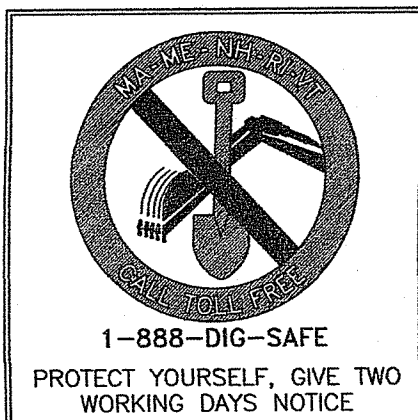


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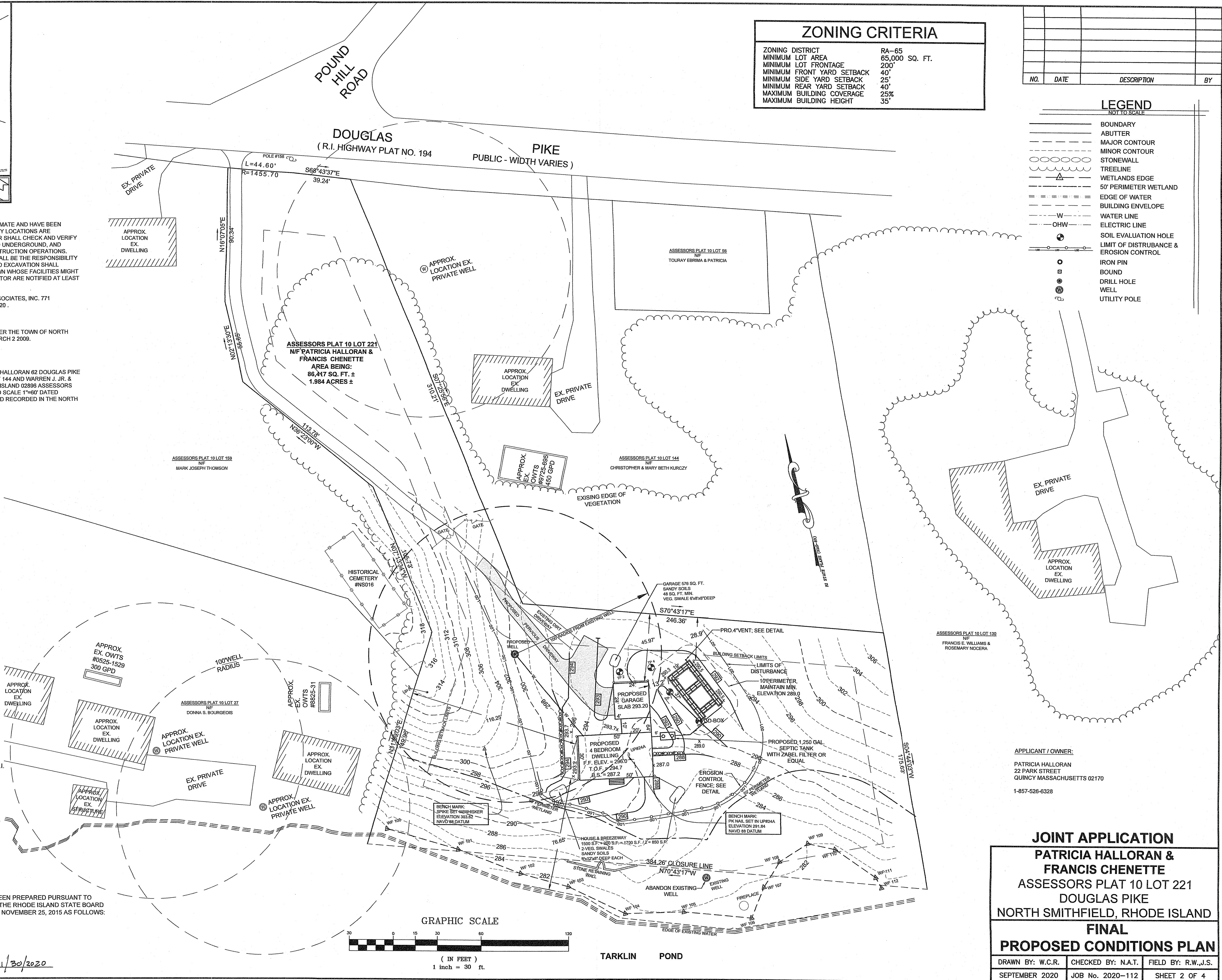
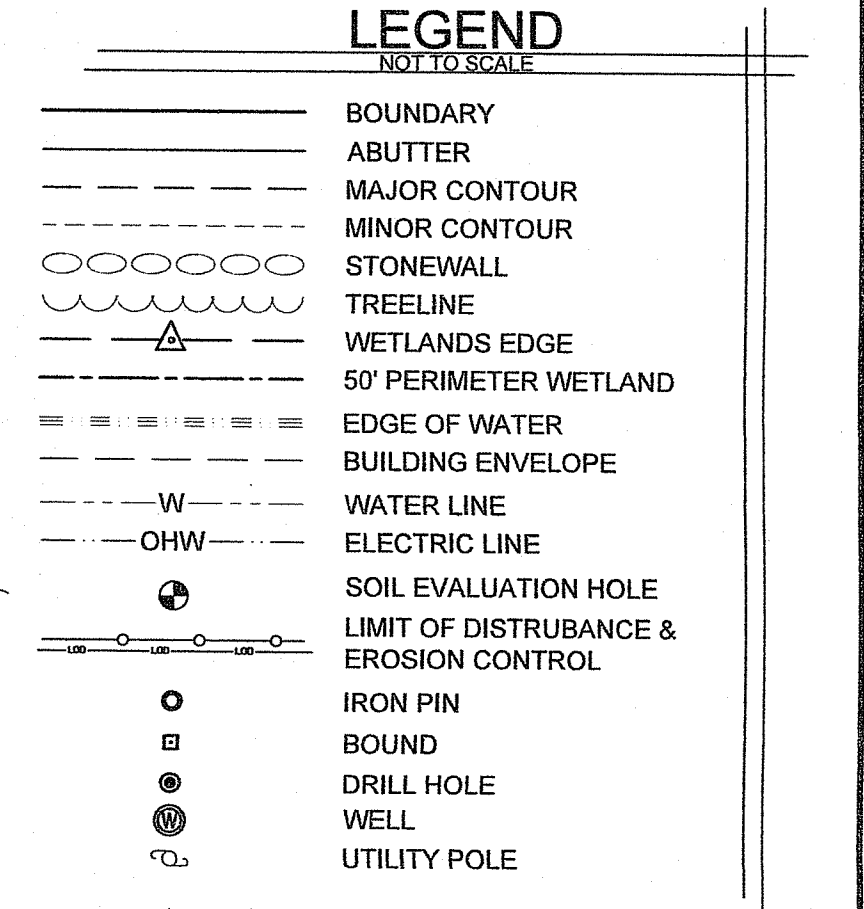
TYPE OF SURVEY: LIMITED CONTENT BOUNDARY SURVEY
MEASUREMENT SPECIFICATION: CLASS I & III STANDARD

PURPOSE OF SURVEY: JOINT APPLICATION

BY: *Norbert A. Therien* DATE: 11/30/2020
NORBERT A. THERIEN, PLS NO. 1739

ZONING CRITERIA	
ZONING DISTRICT	RA-65
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NO.	DATE	DESCRIPTION	BY



APPLICANT / OWNER:
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22 PARK STREET
QUINCY MASSACHUSETTS 02170
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JOINT APPLICATION
PATRICIA HALLORAN & FRANCIS CHENETTE
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NORTH SMITHFIELD, RHODE ISLAND

FINAL
PROPOSED CONDITIONS PLAN

DRAWN BY: W.C.R. CHECKED BY: N.A.T. FIELD BY: R.W.J.S.
SEPTEMBER 2020 JOB No. 2020-112 SHEET 2 OF 4

SOIL EROSION AND SEDIMENTATION CONTROL NOTES:

THE HAYBALE AND SILT FENCE LINE ILLUSTRATED ON THESE PLANS SHALL SERVE AS THE STRICT LIMIT OF DISTURBANCE FOR THE PROJECT WITHIN OR ADJACENT TO REGULATED FRESHWATER WETLAND AREAS.

THE LIMITS OF CLEARING, GRADING, AND DISTURBANCE SHALL BE KEPT TO A MINIMUM WITHIN THE PROPOSED AREA OF CONSTRUCTION. ALL AREAS OUTSIDE OF THESE LIMITS, AS DEPICTED ON THE PLAN SHALL BE TOTALLY UNDISTURBED, TO REMAIN IN NATURAL CONDITION.

ALL CATCH BASINS SHALL BE PROTECTED WITH STAKED HAYBALES (R.I. STD. 9.8.0) DURING CONSTRUCTION ACTIVITIES. ALL PROPOSED STORMWATER DISCHARGE AREAS SHALL BE LINED WITH A RIPRAP SPLASH PAD AND PROTECTED WITH STAKED HAYBALE OUTLET PROTECTION (R.I. STD. 9.1.0), OR STAKED HAYBALE WITH SILT FENCE (R.I. STD. 9.3.0) SHALL ALSO BE INSTALLED AT ALL EXISTING STORMWATER DISCHARGE LOCATIONS WHERE DISTRIBUTING PIPES, CATCH BASINS, AND MANHOLES ARE TO BE CLEANED AND FLUSHED.

ALL DISTURBED SLOPES EITHER NEWLY CREATED OR CURRENTLY EXPOSED SHALL BE SEEDED, PROTECTED AND MAINTAINED BY THE CONTRACTOR. THE CONTRACTOR SHALL REGULARLY CHECK ALL SEEDED AREAS TO ENSURE THAT A GOOD STAND OF VEGETATION IS MAINTAINED.

ALL HAYBALES, TEMPORARY TREATMENT (HAY, STRAW, ETC.) AND TEMPORARY EROSION PROTECTION SHALL BE MAINTAINED BY THE CONTRACTOR THROUGHOUT CONSTRUCTION AND SHALL REMAIN IN PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED.

STOCKPILES OF TOPSOIL SHALL NOT BE LOCATED NEAR WATERWAYS OR WETLAND EDGES. THEY SHALL HAVE SIDE SLOPES OF NO GREATER THAN 2:1 AND SHALL BE TEMPORARILY SEEDED AND/OR STABILIZED PER CONTRACT SPECIFICATIONS.

THE HAYBALES SHALL BE CHECKED BY THE CONTRACTOR ON A WEEKLY BASIS AND AFTER EACH STORM FOR UNDERMINING OR DETERIORATION. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY HAYBALES AS NEEDED. THE CONTRACTOR SHALL CLEAN THE ACCUMULATED SEDIMENT IF HALF OF THE ORIGINAL HEIGHT OF THE BALES BECOMES FILLED WITH SEDIMENTS.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN ALL SOIL EROSION AND SEDIMENT CONTROLS ON THE PROJECT SITE FOR THE ENTIRE DURATION OF THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL FOLLOW THE DIRECTION OF THE RESIDENT ENGINEER WITH REGARD TO INSTALLATION, MAINTENANCE, AND REPAIR OF ALL SOIL EROSION AND SEDIMENTATION CONTROLS ON THE PROJECT SITE. TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROLS (HAYBALES, SILT FENCE, ETC.) SHALL BE MAINTAINED UNTIL ALL EXPOSED SOILS ARE SATISFACTORILY STABILIZED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING AND/OR RESEEDING ALL AREAS THAT DO NOT DEVELOP WITHIN ONE YEAR FROM THE COMPLETION OF CONSTRUCTION.

ALL REFERENCED SOIL EROSION AND SEDIMENTATION CONTROLS INCLUDING MATERIALS USED, APPLICATION RATES AND THE INSTALLATION PROCEDURES SHALL BE PERFORMED PER THE "RHODE ISLAND EROSION AND SEDIMENTATION HANDBOOK", DATED 1993.

BMP MAINTENANCE SCHEDULE:

ALL MAINTENANCE (INCLUDING CLEANING) REQUIRED DURING THE CONSTRUCTION PHASE OF THE PROJECT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL INCLUDE:

INSPECTION OF ALL SLOPES, BERMS, AND OTHER CONTROL STRUCTURES (INCLUDING ROADWAY SIDE SLOPES, FOR STRUCTURAL INTEGRITY/STABILITY AND EVIDENCE OF SOIL EROSION PROCESSES, AND MAINTENANCE OF THESE STRUCTURES IF NECESSARY. INSPECTIONS SHALL BE PERFORMED FOLLOWING ALL RAIN EVENTS OF 1/8" INCH RAINFALL OR MORE IN A 24-HOUR PERIOD, OR BI-MONTHLY IF NO RAINFALL EVENT OCCURS.

REPLANTING, REGRADING, OR OTHER REPAIRS NEEDED AS A RESULT OF SOIL EROSION AND SEDIMENTATION PROCESSES SHALL BE DONE PROMPTLY.

SITE PLAN NOTES:

DETAILED ENGINEERING REVIEW FOR PROPOSED UTILITIES COVERED UNDER SEPARATE SUBMISSION, TO GOVERNING AGENCIES. THE DETAILED ENGINEERING PLANS FOR UTILITIES INSTALLATION AND CONNECTION HAVE NOT BEEN PROVIDED UNDER THIS SUBMISSION.

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MAINTENANCE AND PROTECTION OF TRAFFIC NOTES:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTENANCE AND PROTECTION OF PEDESTRIAN AND VEHICULAR TRAFFIC INCLUDING POLICE PROTECTION. ALL TEMPORARY AND VEHICULAR SIGNS, BARRICADES AND LANE CLOSURES SHALL BE IN CONFORMANCE WITH THE LATEST REVISIONS OF MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.)

TEMPORARY CONSTRUCTION SIGNS AND ALL APPLICABLE TRAFFIC CONTROL DIVIDES SHALL BE IN PLACE PRIOR TO THE START OF WORK IN ANY AREA OPEN TO TRAFFIC.

THE PRIVATE VEHICLES OF CONSTRUCTION WORKERS WILL NOT BE PARKED IN THE STATE RIGHT-OF-WAY.

ALL MAINTENANCE AND PROTECTION OF TRAFFIC CONTROL SETUPS, SIGNS CHANNELING DEVICES, ETC. SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES. 1988 EDITION, INCLUDING REVISION 3, SEPTEMBER 3, 1993 AND SUBSEQUENT ADDENDA.

SIGN MOUNTINGS SHALL BE IN ACCORDANCE WITH THE R.I.D.O.T. SPECIFICATIONS FOR TEMPORARY CONSTRUCTION SIGNS.

ESTABLISHMENT OF VEGETATIVE COVER:

ALL FILL SHALL BE THOROUGHLY COMPACTED UPON PLACEMENT IN STRICT CONFORMANCE WITH THE R.I. STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION, SECTION 202.

SLOPES SHALL NOT BE LEFT UNATTENDED OR EXPOSED FOR EXCESSIVE PERIODS OF TIME SUCH AS THE INACTIVE WINTER SEASON.

THE TOPSOIL SHALL HAVE A SANDY LOAM TEXTURE RELATIVELY FREE OF SUBSOIL MATERIAL, STONES, ROOTS, LUMPS OF SOIL, TREE LIMBS, TRASH OR CONSTRUCTION DEBRIS AND SHALL CONFORM TO RHODE ISLAND STANDARD SPECIFICATION M.20.

THE SEED MIX TO BE USED ON SLOPE APPROACHING WETLAND SHALL BE THE NEW ENGLAND CONSERVATION/WILDLIFE MIX FROM NEW ENGLAND WETLAND PLANTS, INC. OR APPROVED EQUAL APPLIED AT A RATE OF 25 LBS. PER ACRE AND MULCHED WITH STRAW.

EARLY SPRING OR LATE SUMMER SEEDING IS RECOMMENDED. LIME AND FERTILIZE AS REQUIRED BY SOIL TESTING TO COMPLIMENT OR UPGRADE EXISTING CONDITIONS.

VEGETATED COVER PLANTING:

1. THE NORMAL ACCEPTABLE SEASONABLE SEEDING DATES ARE APRIL 1ST THROUGH OCTOBER 15TH.

2. TOP SOIL FOR PERMANENT OR LONG TERM TEMPORARY SEEDING SHOULD HAVE A SANDY LOAM TEXTURE, RELATIVELY FREE OF SUBSOIL MATERIAL, STONES, ROOTS, LUMPS OF SOIL, TREE LIMBS, TRASH OR CONSTRUCTION DEBRIS. TOP SOIL SHALL CONFORM WITH RHODE ISLAND SPECIFICATIONS M18.01.

3. THE DESIGN SEED MIX UTILIZED IN ALL DISTURBED AREAS TO BE SEEDED SHALL BE COMPRISED OF THE FOLLOWING:

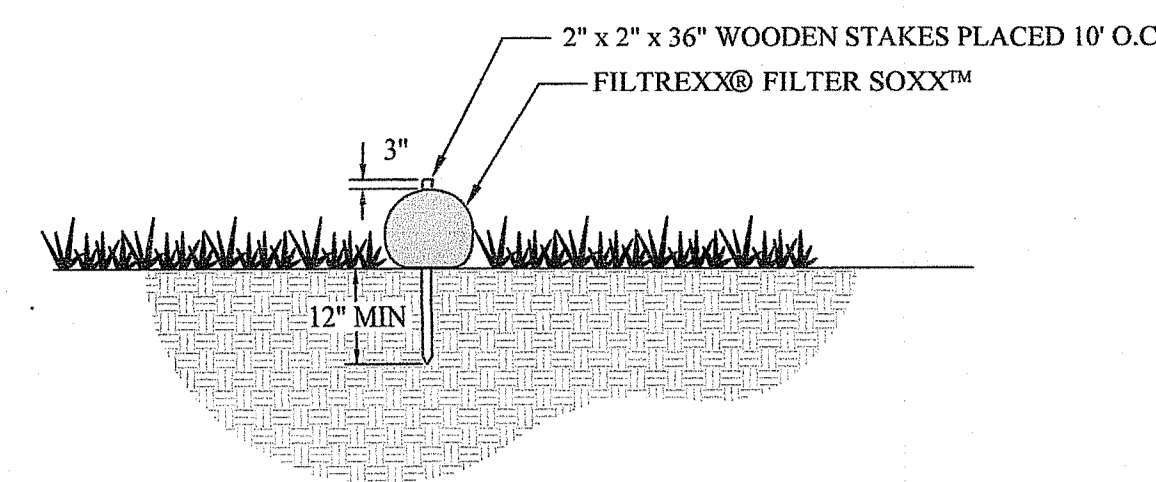
TYPE	% BY WEIGHT	SEEDING DATE
CREeping RED FESCUE	70	
ASTORIA BENTGRASS	5	APRIL 1 - JUNE 15
BIRDFOOT TREFOIL	15	AUG. - OCT 15
PERENNIAL RYE GRASS	10	

APPLICATION RATE - 100 LBS PER ACRE

SEED MIX SHALL BE INOCULATED WITHIN 24 - HOURS BEFORE MIXING AND PLANTING, WITH APPROPRIATE INOCULATION FOR EACH SEED VARIETY. ALTERNATE SEED TYPES DUE TO SITE SPECIFIC CONDITIONS AND SOILS ARE ACCEPTABLE WITH THE ENGINEER'S APPROVAL.

4. IN TOPSOIL SEEDING AREAS, THE CONTRACTOR WILL LIME AND FERTILIZE AS REQUIRED TO COMPLIMENT OR UPGRADE SOIL CONDITIONS.

5. THE CONTRACTOR MUST REPAIR AND/OR RESEED ANY PERMANENT VEGETATIVE COVER AREAS THAT DO NOT DEVELOP OR WHICH ERODE WITHIN A ONE (1) YEAR PERIOD.



SILT SOCK

Table 2. Vegetated Swale, Typical Cross-Section

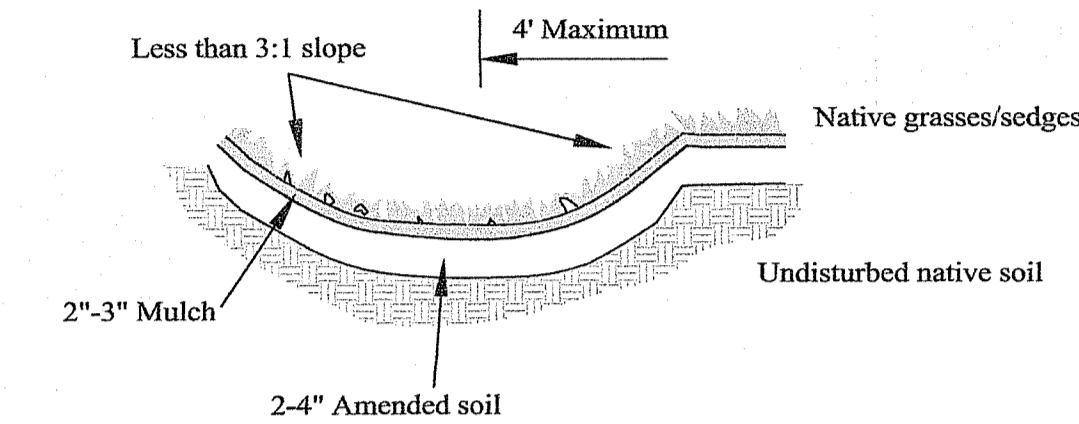
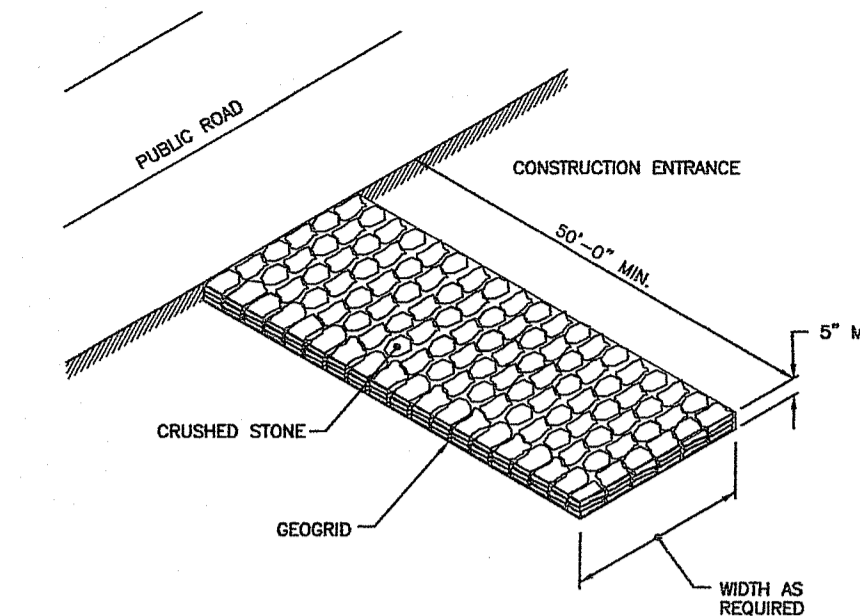


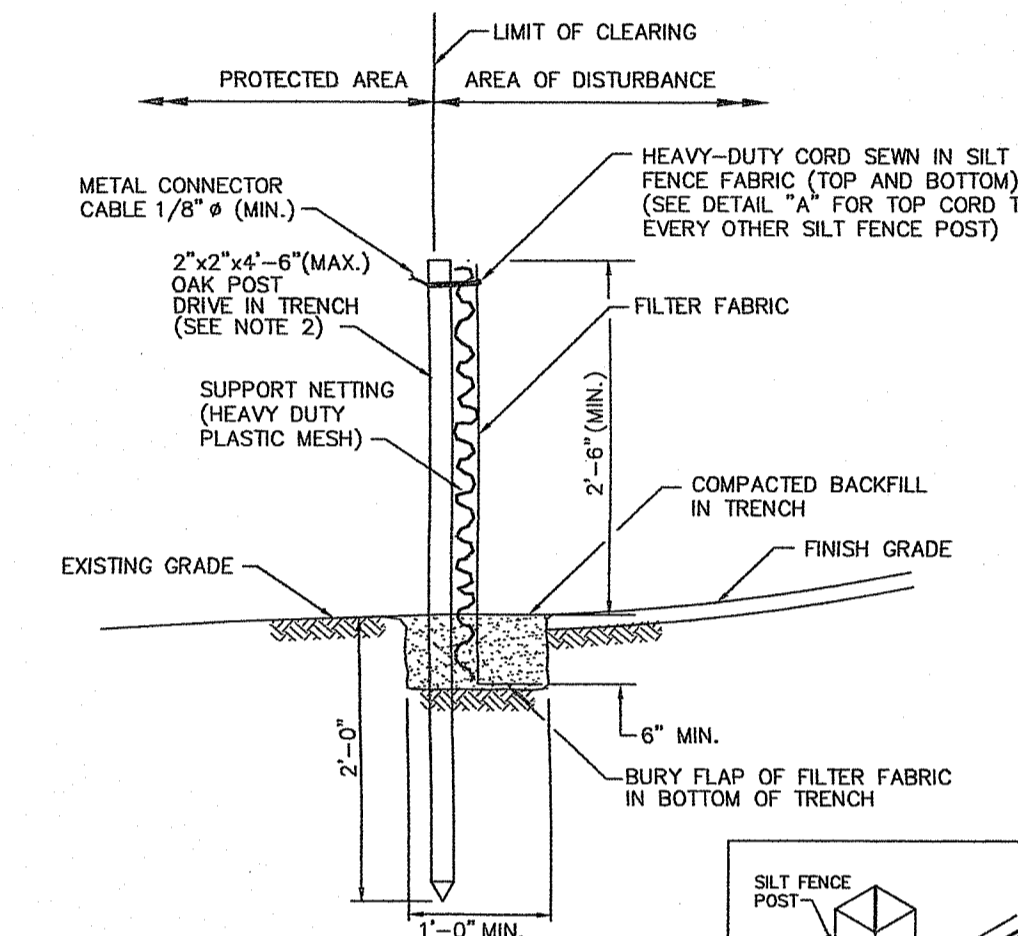
Table 5. Vegetated Swale Sizing Guidance

Drainage Area (in square feet)	Bottom surface Area (in square feet) for an 8 in. deep swale	
	Sandy Soils*	Silty Soils*
200	16	32
400	32	64
600	48	96
800	64	128
1000	80	160

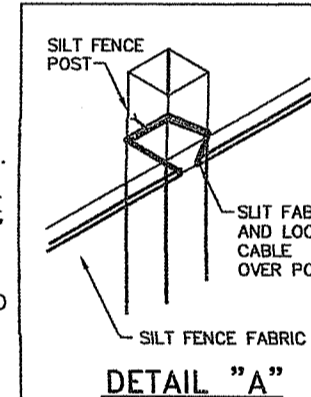
VEGETATIVE SWALE DETAIL



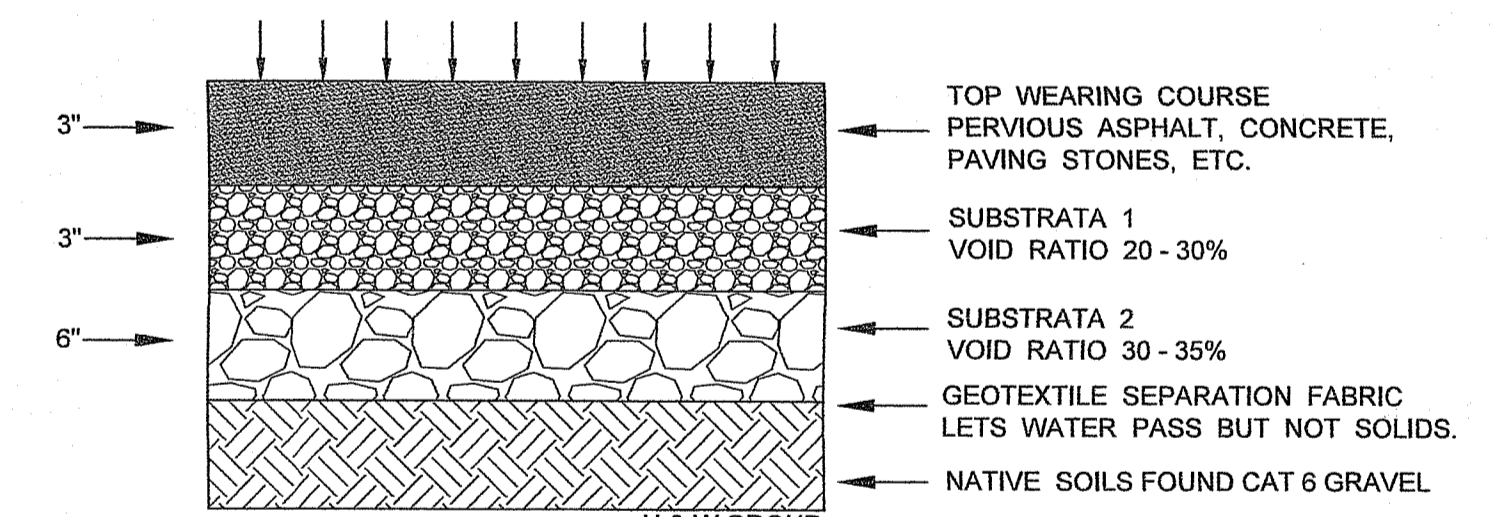
CONSTRUCTION ACCESS
R.I. STANDARD 9.9.0



- NOTES:**
- SHALL BE IN ACCORDANCE WITH SECTION 206 OF THE R.I. STANDARD SPECIFICATIONS.
 - 2"x2'-4'-6" (MAX.) OAK POSTS FOR SILT FENCE SHALL BE LOCATED 8'-0" (MAX.) O.C. IN WETLAND AREAS AND 4'-0" (MAX.) O.C. IN WETLAND RAINE, GULLY OR DROP-OFF AREAS AS SHOWN ON PLANS.
 - 1"x1'-4'-6" (MIN.) POSTS PERMITTED FOR PRE-FABRICATED SILT FENCE.
 - SILT FENCE SHALL BE INSTALLED BEFORE ANY GRUBBING OR EARTH EXCAVATION TAKES PLACE.

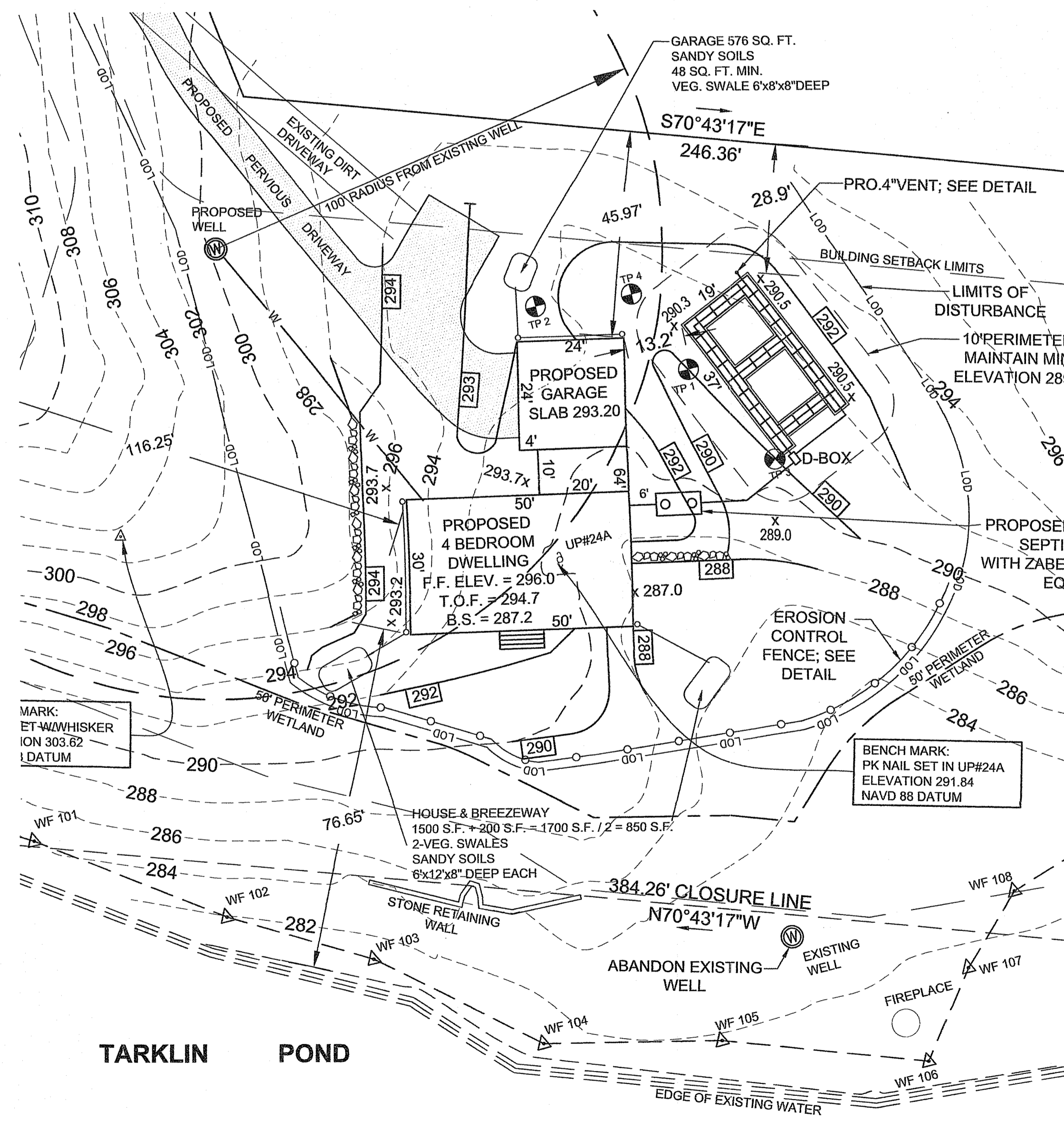


SILT FENCE DETAIL
R.I. STANDARD 9.2.0



PERVIOUS DRIVEWAY DETAIL

NOT TO SCALE



DETAIL
SCALE: 1"=20'

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JOINT APPLICATION
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ASSESSORS PLAT 10 LOT 221 DOUGLAS PIKE NORTH SMITHFIELD, RHODE ISLAND

FINAL DETAIL PLAN

DRAWN BY: W.C.R.	CHECKED BY: N.A.T.	FIELD BY: R.W.,J.S.
SEPTEMBER 2020	JOB No. 2020-112	SHEET 3 OF 4

