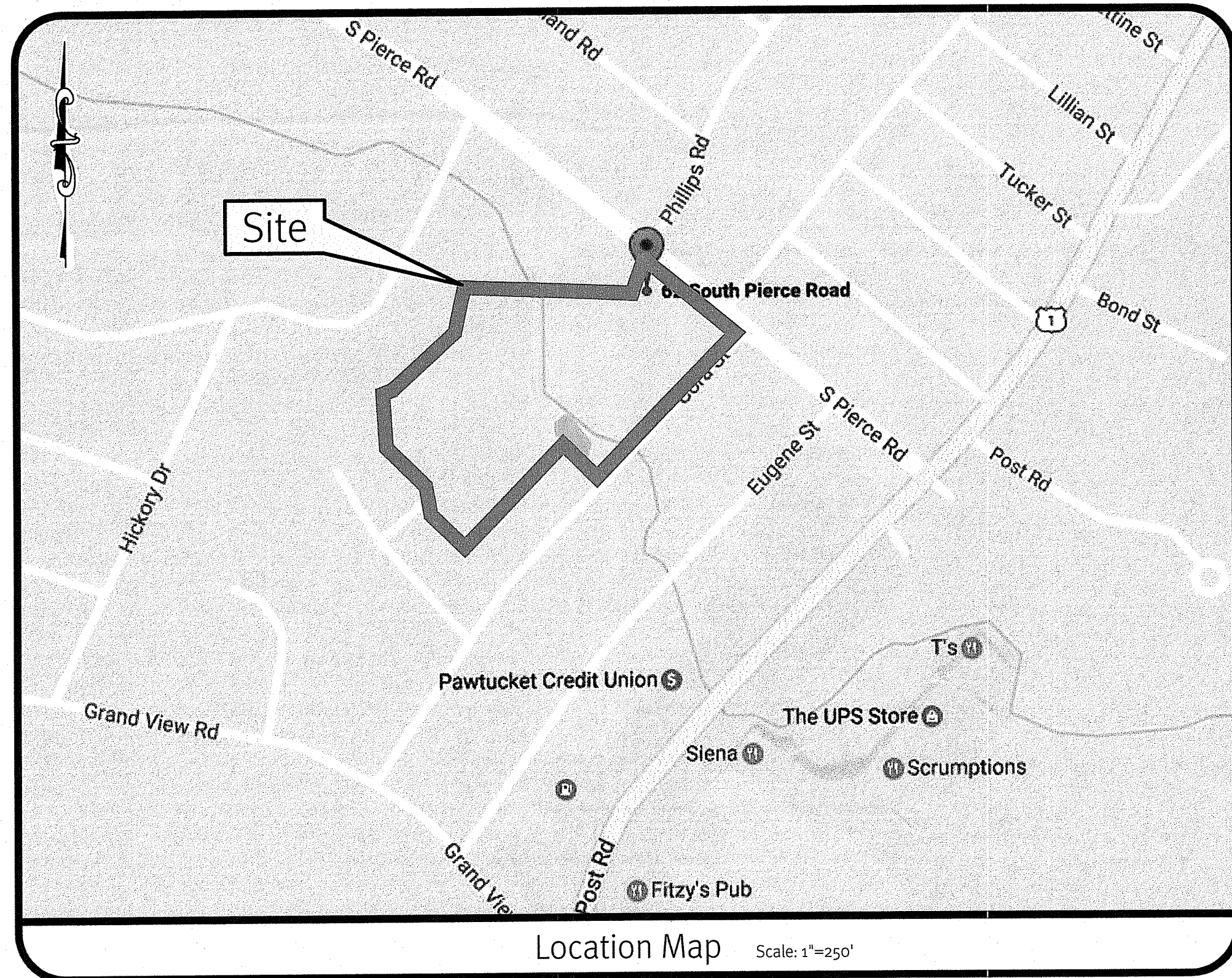


RIDEM Submission

Coggeshall Preserve

62 South Pierce Road
East Greenwich, Rhode Island

Assessor's Map 54 Plat 11 Lot 66



Sheet Index

- 1 Cover Sheet
- 2 Aerial Half-Mile Radius & USGS Map
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- 11 Site Restoration Plan

RI Environmental Management
JUL 26 2021
Office of Water Resources

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED AUG 19 2021 FILE # 21-0001
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Martin D. Wemak

Cover Sheet
Coggeshall Preserve
East Greenwich, Rhode Island
Assessor's Map 54, Plat 11 Lot 66
Prepared for
Philip Ryan Homes Ltd.
826 Middle Road, Unit 6, East Greenwich, Rhode Island 02818
tel: 401-742-1616

NO.	DATE	DESCRIPTION	DESIGNED BY	DRAWN BY	CHECKED BY
1	07-22-2021	RI/DEM Response to Comments			
2	07-22-2021	RI/DEM Response to Comments			
3	07-22-2021	RI/DEM Response to Comments			
4	07-22-2021	RI/DEM Response to Comments			
5	07-22-2021	RI/DEM Response to Comments			
6	07-22-2021	RI/DEM Response to Comments			
7	07-22-2021	RI/DEM Response to Comments			
8	07-22-2021	RI/DEM Response to Comments			
9	07-22-2021	RI/DEM Response to Comments			
10	07-22-2021	RI/DEM Response to Comments			
11	07-22-2021	RI/DEM Response to Comments			

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DiPrete Engineering only warrants plans on a DiPrete Engineering title block stamped by a registered Professional Engineer of DiPrete Engineering, Inc. DiPrete Engineering, Inc. does not warrant plans by any other party.

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z:\v\main\projects\2470-001_south_pierce_road\2470-001_south_pierce_road\2470-001_south_pierce_road.dwg Plotted: 7/23/2021

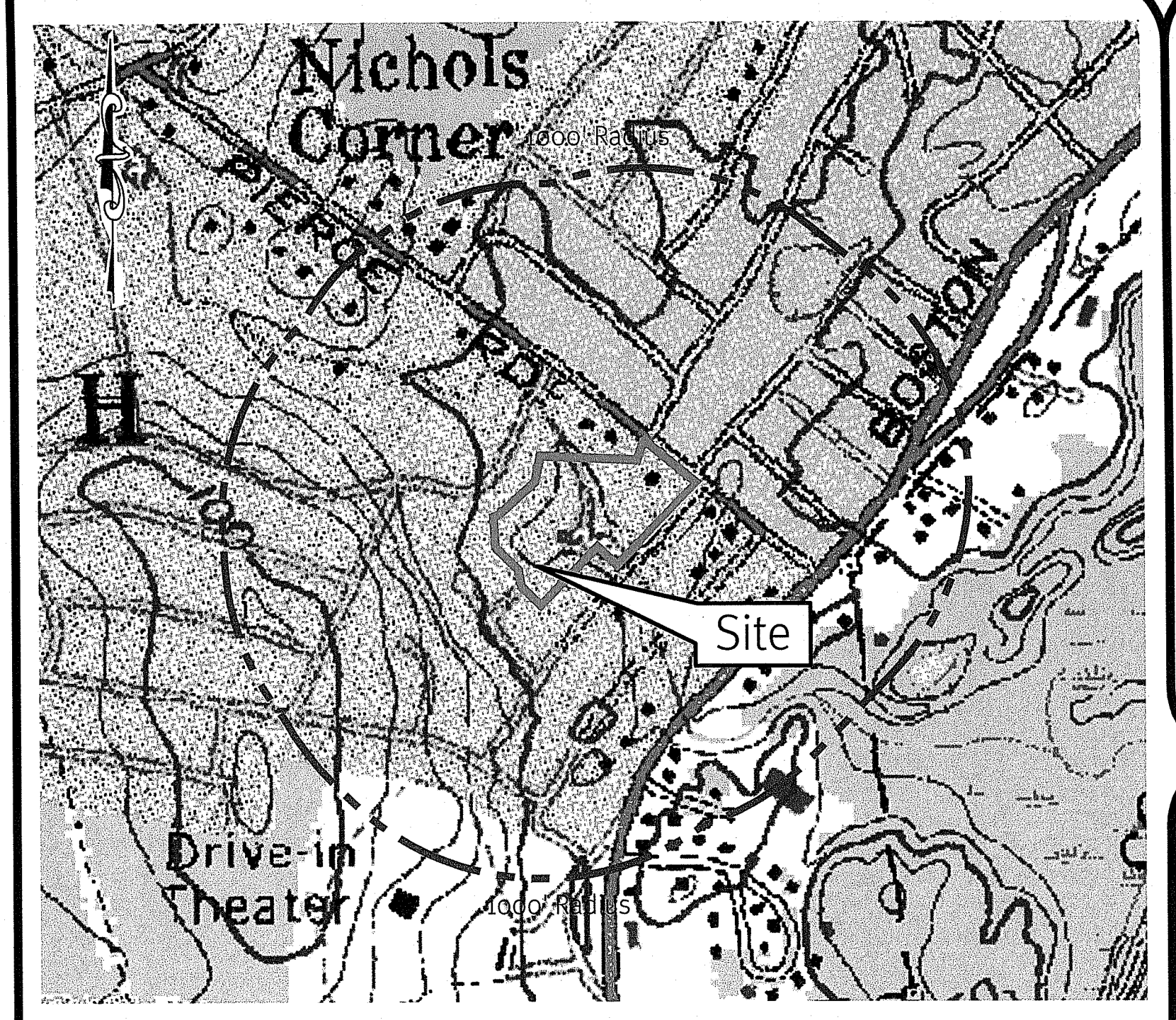
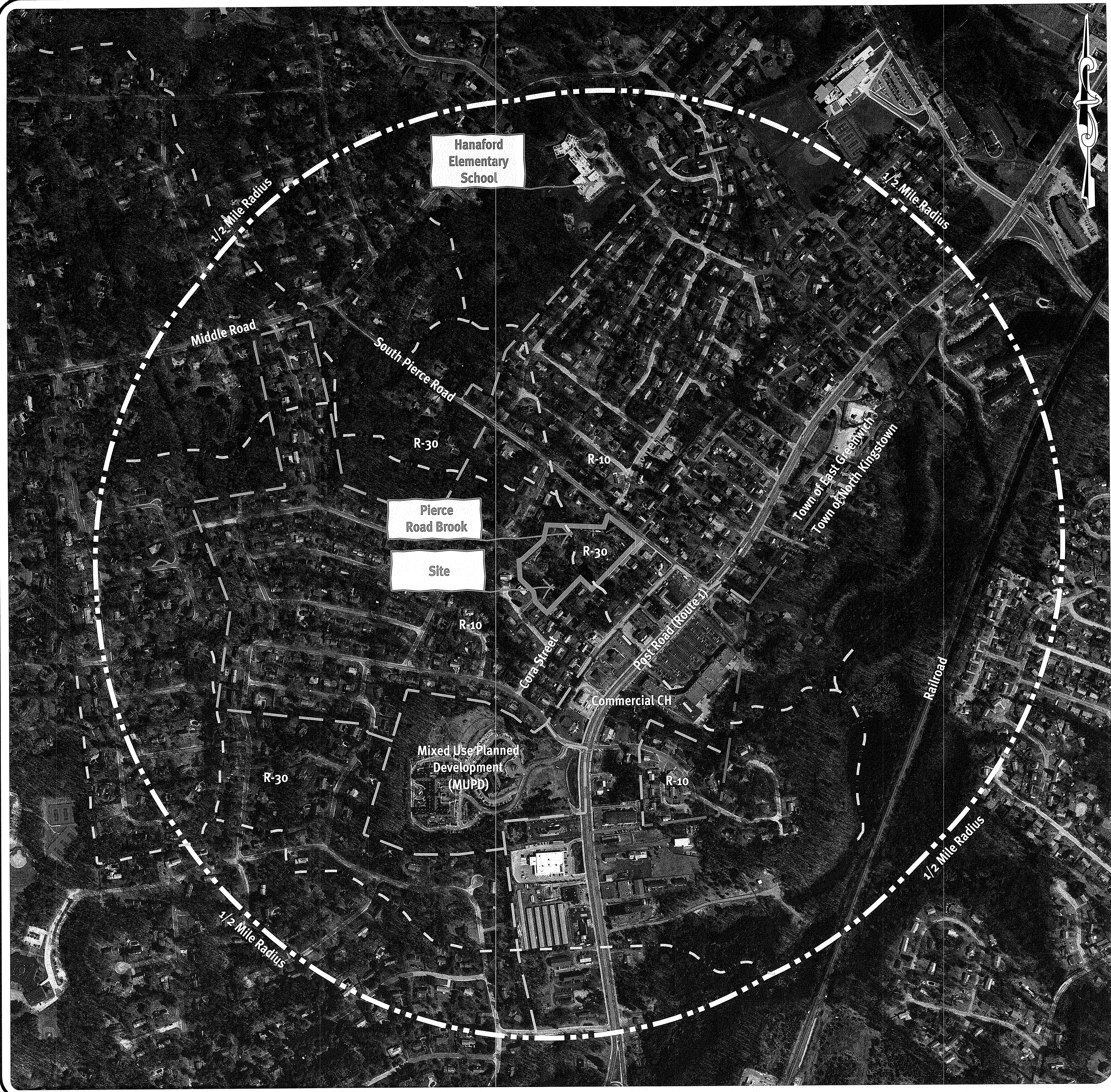
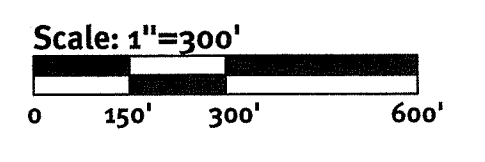
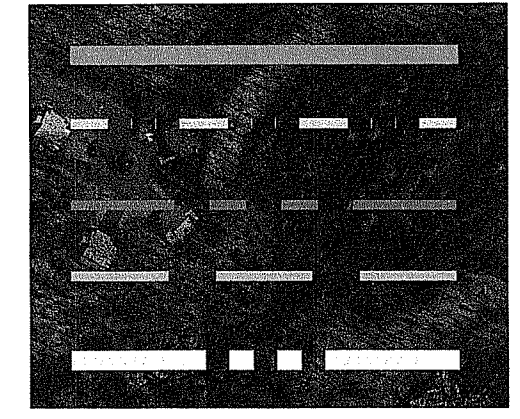


Photo obtained from the RI-GIS.



- Legend**
- PROPERTY LINE
 - STREAM CENTERLINE (RIGIS)
 - TOWN LINE (ASSESSOR'S MAP)
 - ZONE LINE
 - HALF MILE RADIUS LINE



Environmental Management
JUL 26 2021
 Office of Water Resources

This plan set must not be used for construction purposes unless approved by a registered Professional Engineer of DiPrete Engineering.
 DiPrete Engineering only warrants plans on a DiPrete Engineering title block stamped by registered Professional Engineer of DiPrete Engineering. DiPrete Engineering does not warrant plans by any other party.
 The user is responsible for all utility, traffic, safety, and other requirements, and O&M, conformance to the implementation of this plan and design.
 Existing utilities shown on this plan are approximate only. DiPrete Engineering assumes no responsibility for damages incurred due to locations of existing utilities. See Utility Note on sheet 3.

NO.	DATE	DESCRIPTION	BY
2	02-22-2021	REVISIONS TO COMMENTS	K.E.D.
1	02-22-2021	Water and Sewer Submission	K.E.D.
1	02-22-2021	Design	B.K.
Drawn By: R.B.S.			Design By: D.R.N.

It is to be advised that this map is not to be used as a basis for any type or extent of engineering without the site.

AUG 19 2021 21-0001
 Martin D. Wemek

Aerial Half-Mile Radius & USGS Map
Coggeshall Preserve
 East Greenwich, Rhode Island
 Assessor's Map 54, Plat 11 Lot 66
Philip Ryan Homes Ltd.
 816 Middle Road, Unit 6, East Greenwich, Rhode Island 02818
 Tel: 401-742-1616
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General Notes:

- 1. THE SITE IS LOCATED ON THE TOWN OF EAST GREENWICH ASSESSOR'S MAP 54 PLAT 11 LOT 66.
2. THE SITE IS APPROXIMATELY 5.40± ACRES AND IS ZONED R-30.
3. THE OWNER IS: DONALD W MCKENNA PO BOX 45 EAST GREENWICH, RI 02818
THE SUBMISSION IS PREPARED FOR: PHILIP RYAN HOMES, LTD. 816 MIDDLE ROAD, UNIT 6 EAST GREENWICH, RI 02818
4. THIS SITE IS LOCATED IN FEMA FLOOD ZONES AE, X (SHADED) AND X (UNSHADED). REFERENCE FEA FLOOD INSURANCE RATE MAP 4403001386, MAP REVISED DECEMBER 3, 2010 AND MAP 4403001394, MAP REVISED SEPTEMBER 18, 2013, WITH ITS ASSOCIATED LETTER OF MAP AMENDMENT (LOMA) DATED SEPTEMBER 22, 2017.
ZONE AE - THIS SITE IS LOCATED IN FEMA FLOOD ZONE AE. ZONE AE ARE SPECIAL FLOOD HAZARD AREAS INUNDTATED BY 100-YEAR FLOOD. BASE FLOOD ELEVATIONS HAVE BEEN DETERMINED.
ZONE X (SHADED) - THIS SITE IS LOCATED IN FEMA FLOOD ZONE X. ZONE X ARE AREAS OF 0.2% ANNUAL CHANCE OF FLOOD; AREAS OF 1% ANNUAL CHANCE OF FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE, AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.
ZONE X (UNSHADED) - THIS SITE IS LOCATED IN FEMA FLOOD ZONE X. ZONE X ARE AREAS WHERE THERE IS MINIMAL FLOODING.
5. THE BOUNDARY LINE AS SHOWN ON THIS PLAN DEPICTS THE RESULTS OF A CLASS I BOUNDARY RETRACEMENT SURVEY AS PERFORMED BY DIPRETE ENGINEERING ASSOCIATES, INC. THIS PLAN IS NOT TO BE CONSTRUED AS A CLASS I BOUNDARY RETRACEMENT SURVEY PLAN AND IS NOT SUITABLE FOR RECORDING AS A CLASS I STANDARD SURVEY PLAN.
6. CONTOUR DATA SHOWN ON THIS PLAN CONFORMS TO A 1-4 TOPOGRAPHICAL SURVEY STANDARD AS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS; SAID DATA IS BASED ON ELEVATION INFORMATION THAT WAS COLLECTED WITH AIRBORNE LIDAR TECHNOLOGY FOR THE ENTIRE AREA OF RHODE ISLAND BETWEEN APRIL 22 AND MAY 6, 2011 AS PART OF THE NORTHEAST LIDAR PROJECT. THIS DATA'S POSITIONAL ACCURACY AND RELIABILITY HAS NOT BEEN VERIFIED BY DIPRETE ENGINEERING AND IS SUBJECT TO CHANGES AN AUTHORITY FIELD SURVEY MAY DISCLOSE.
7. ALL WORK PERFORMED HEREIN IS TO BE GOVERNED BY CURRENT EDITIONS OF THE RHODE ISLAND STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION, TOWN OF EAST GREENWICH STANDARD SPECIFICATIONS AND DETAILS AND SPECIFICATIONS INCLUDED AS PART OF THE DRAWINGS. IN AREAS OF CONFLICT BETWEEN THE DIFFERENT SPECIFICATIONS, THE DESIGN PLANS AND PROJECT SPECIFICATIONS WILL TAKE PRECEDENCE OVER THE GENERAL SPECIFICATIONS AND THE DESIGN ENGINEER WILL INTERPRET THE CONSTRUCTION REQUIREMENT. THE CONTRACTOR IS ADVISED TO SUBMIT A REQUEST FOR INFORMATION (RFI) FOR ANY AREAS OF CONFLICT BEFORE COMMITTING TO CONSTRUCTION.
8. SOIL MAPPING OBTAINED FROM SOIL SURVEY OF RHODE ISLAND, PREPARED BY U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE.
9. THE SITE IS WITHIN A: GROUNDWATER PROTECTION AREA (RIDEM) GROUNDWATER RECHARGE AREA (RIDEM & TOWN) COMMUNITY WELL HEAD PROTECTION AREA (RIDEM) LOCAL HISTORIC OVERLAY DISTRICT (TOWN)
THE SITE IS NOT WITHIN A: NATURAL HERITAGE AREAS (RIDEM) NARROW RIVER SPECIAL AREA MANAGEMENT PLAN (CRMC) SALT PONDS SPECIAL AREA MANAGEMENT PLAN (CRMC)
10. THE SITE IS LISTED ON THE RHODE ISLAND NATIONAL REGISTERED LIST OF HISTORICAL PROPERTIES FOR THE JOSHUA COGGESHALL HOUSE BUILT c. 1690.
11. THE SITE IS TO BE SERVICED BY PUBLIC WATER AND PUBLIC SEWER.
12. SITE WITHIN A MODERATE DENSITY RESIDENTIAL AREA UNDER THE FUTURE LAND USE MAP 11C AND IS CLASSIFIED AS A WASTE DISPOSAL SITE UNDER THE EXISTING LAND COVER/LAND USE MAP 11B OF THE TOWN OF EAST GREENWICH COMPREHENSIVE COMMUNITY PLAN UPDATE 2012.
13. THE DRAINAGE SYSTEM IS DESIGNED TO MEET THE TOWN OF EAST GREENWICH SUBDIVISION AND LAND DEVELOPMENT REGULATIONS WITH THE USE OF DRYWELLS AND PERVIOUS PAVEMENT DRIVEWAYS. THE STORMWATER MANAGEMENT SYSTEM MEETS RIDEM BEST MANAGEMENT PRACTICES.
14. THE SITE IS PROPOSED TO BE BUILT IN MULTIPLE PHASES.
15. THE FOLLOWING DOCUMENTS ARE CONSIDERED PART OF THE PROJECT PLANS AND THE CONTRACTOR/OWNER MUST MAINTAIN THESE DOCUMENTS AS PART OF A FULL PLAN SET.
• SOIL EROSION AND SEDIMENT CONTROL PLAN (SESC). THE SESC CONTAINS THE FOLLOWING:
o EROSION CONTROL MEASURES
o SHORT TERM MAINTENANCE
o ESTABLISHMENT OF VEGETATIVE COVER
o CONSTRUCTION POLLUTION PREVENTION
o SEQUENCE OF CONSTRUCTION
• STORMWATER OPERATION AND MAINTENANCE PLAN (O&M). THE O&M CONTAINS:
o LONG TERM MAINTENANCE
o LONG TERM POLLUTION PREVENTION
16. THIS PLAN SET REFERENCES RIDOT STANDARD DETAILS (DESIGNATED AS RIDOT STD X.X.X.). RIDOT STANDARD DETAILS ARE AVAILABLE FROM RIDOT AND ONLINE AT: HTTP://WWW.DOT.RI.GOV/BUSINESS/CONTRACTORSANDCONSULTANTS.PHP.
17. SOIL EVALUATIONS, WERE COMPLETED BY DIPRETE ENGINEERING ON JANUARY 25, 2017.
18. WETLAND EDGE DELINEATED BY DIPRETE ENGINEERING AND SURVEYED BY DIPRETE ENGINEERING USING SUBMETER GPS IN JANUARY 2017.
19. ANY PROPRIETARY PRODUCTS REFERENCED IN THIS PLAN SET ARE REPRESENTATIVE OF THE MINIMUM DESIGN REQUIREMENTS FOR THE PURPOSE IT PROPOSES TO SERVE. ALTERNATIVES TO ANY PROPRIETARY PRODUCT MAY BE SUBMITTED TO THE ENGINEER OF RECORD FOR CONSIDERATION, WHICH MUST BE ACCOMPANIED BY APPROPRIATE SPECIFICATION SHEETS/ DESIGN CALCULATIONS THAT DEMONSTRATE THE ALTERNATIVE(S) MEET THE MINIMUM DESIGN PARAMETERS OF THE PRODUCT SHOWN ON THE PLANS. NO ALTERNATIVES MAY BE USED WITHOUT THE WRITTEN APPROVAL OF THE ENGINEER OF RECORD.
20. THIS PLAN SET MAY REFERENCE AND/ OR INCLUDE REPRODUCTIONS OF PROPRIETARY PRODUCTS/ DETAILS BY OTHERS, AND/ OR THEIR ASSOCIATED SPECIFICATIONS. ANY REFERENCED OR REPRODUCED PROPRIETARY PRODUCT OR DETAIL BY OTHERS THAT IS SHOWN ON DIPRETE PLANS IS STRICTLY FOR INFORMATION/ SPECIFICATION PURPOSES ONLY. DIPRETE ENGINEERING DOES NOT WARRANT ANY PROPRIETARY PRODUCTS, DETAILS BY OTHERS OR THEIR RESPECTIVE DESIGNS. IF A DIPRETE ENGINEERING PLAN INCLUDES A PROPRIETARY PRODUCT/ DETAIL BY OTHERS (EITHER EXPLICITLY OR IMPLIED) AND IS STAMPED BY A REGISTERED PROFESSIONAL ENGINEER AND/OR REGISTERED LANDSCAPE ARCHITECT OF DIPRETE ENGINEERING, SAID STAMP DOES NOT EXTEND TO ANY PORTION OF THE PROPRIETARY PRODUCT/ DETAIL BY OTHERS OR ITS DESIGN.

Soil Erosion and Sedimentation Control Notes:

- 1. THE CONTRACTOR IS RESPONSIBLE FOR ALL SOIL EROSION AND SEDIMENT CONTROL ON SITE WHICH MUST BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE APPLICABLE REGULATIONS AND AUTHORITY HAVING JURISDICTION. THE CONTRACTOR IS TO NOTIFY THE DESIGN ENGINEER, THE DIRECTOR OF PUBLIC WORKS, THE TOWN ENGINEER, AND RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
2. ALL EROSION CONTROL INCLUDING (BUT NOT LIMITED TO) TEMPORARY SWALES, SILT FENCE, ETC. TO BE INSTALLED PER THE LATEST EDITION OF THE RHODE ISLAND SOIL EROSION AND SEDIMENTATION CONTROL (RISESC) HANDBOOK AND THE SOIL EROSION & SEDIMENTATION CONTROL PLAN(S). NOTE THE SOIL EROSION AND SEDIMENT CONTROL SHOWN ON THESE PLANS ARE THE MINIMUM QUANTITY/ TYPE OF EROSION CONTROL DEVICES AND MATERIALS DEEMED REQUIRED BY DIPRETE ENGINEERING TO MEET THE OBJECTIVES OF THE RISESC HANDBOOK, BUT IS CONSIDERED A GUIDE ONLY. ADDITIONAL MEASURES/ ALTERNATE CONFIGURATIONS MAY BE REQUIRED IN ORDER TO MEET THE RISESC HANDBOOK BASED ON FACTORS INCLUDING (BUT NOT LIMITED TO) SITE PARAMETERS, WEATHER, INSPECTIONS AND UNIQUE FEATURES. THE SESC WILL CONTINUE TO EVOLVE THROUGHOUT CONSTRUCTION/PHASES. PURSUANT TO NOTE 1 ABOVE, SESC REMAINS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL THE SITE IS FULLY STABILIZED AND/ OR SESC RESPONSIBILITIES ARE ASSUMED BY THE OWNER IN WRITING.
3. TEMPORARY SWALES ARE TO BE USED TO CONTROL RUNOFF DURING CONSTRUCTION OF THE PROPOSED SITE WORKS. TEMPORARY SWALES TO BE VEGETATED AFTER CONSTRUCTION. EROSION CONTROL MATS ARE TO BE INSTALLED, IF NECESSARY, TO PREVENT EROSION AND SUPPORT VEGETATION. AFTER CONSTRUCTION IS COMPLETE AND TRIBUTARY AREAS TO THE SWALES HAVE BEEN STABILIZED, THE TEMPORARY SWALES ARE TO BE CLEARED AND FINAL DESIGN, INCLUDING INSTALLATION OF THE GRASS SWALE TO BE PER THE DESIGN PLANS.
4. INLET PROTECTION IS TO BE INSTALLED ON ALL EXISTING CATCH BASINS IN THE VICINITY OF SITE WORK.
5. FOR SEQUENCE OF CONSTRUCTION, PROJECT PHASING AND CONSTRUCTION PHASING SEE SESC PLAN.
6. CONTRACTOR MAY MODIFY SEQUENCE OF CONSTRUCTION WITH APPROVAL FROM DESIGN ENGINEER AND OWNER.
7. IF CONCRETE TRUCKS ARE WASHED ON SITE, ALL WASHOUT MUST BE COMPLETED IN THE DESIGNATED CONCRETE WASHOUT AREA.

Demolition Notes:

- 1. CONTRACTOR TO OBTAIN ALL FEDERAL, STATE, AND MUNICIPAL APPROVALS PRIOR TO THE START OF CONSTRUCTION.
2. CONTRACTOR TO PERFORM DAILY SWEEPING AT CONSTRUCTION ENTRANCE DURING DEMOLITION AND CONSTRUCTION TO MINIMIZE SEDIMENTS ON EXTERNAL STREETS.
3. ANY EXISTING BUILDING(S) AND PROPERTY PROPOSED TO REMAIN WHICH ARE DAMAGED BY THE CONTRACTOR MUST BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
4. CONTRACTOR IS RESPONSIBLE FOR REMOVING AND LEGALLY DISPOSING (R&D) ALL MATERIALS INDICATED ON THE PLANS UNLESS SPECIFIED OTHERWISE HERE IN. R&D MATERIALS MUST INCLUDE BUT ARE NOT LIMITED TO PAVEMENT, GRAVEL, CATCH BASINS, MANHOLES, GRATES/FRAMES/COVERS, AND ANY EXCESS SOIL THAT IS NOT INCORPORATED INTO THE WORK.
5. IN ADDITION TO THOSE AREAS SPECIFICALLY DESIGNATED ON THE PLANS, ALL DISTURBED AREAS INCLUDING THE CONTRACTOR'S STOCKPILE AND STAGING AREAS WITHIN THE LIMIT OF WORK MUST BE RESTORED TO MATCH THE DESIGN PLANS.
6. CONTRACTOR MUST DOCUMENT LOCATION OF ALL SUBSURFACE UTILITIES REMAINING IN PLACE AFTER DEMOLITION (ACTIVE AND INACTIVE/ABANDONED). LOCATION MUST BE DOCUMENTED BY FIELD SURVEY OR SWING TIES. COPIES OF LOCATION DOCUMENTATION MUST BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF DEMOLITION AND PRIOR TO START OF NEW CONSTRUCTION. A MARKER MUST BE INSTALLED TO FINISH GROUND AT ALL INSTALLED CAPS/PLUGS. THE MARKER CAN BE A POST IN CONSTRUCTION AREAS OR PAINTED ON A PERMANENT SURFACE.

Traffic Notes:

- 1. ALL TRAFFIC CONTROL MUST CONFORM TO THE FEDERAL HIGHWAY ADMINISTRATION (FHWA) MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) CURRENT EDITION.
2. DURING CONSTRUCTION, TRAFFIC CONES ARE TO BE USED FOR SEPARATION OF ACTIVE TRAFFIC FROM WORK ZONE PER MUTCD REQUIREMENTS.
3. DURING CONSTRUCTION FLAGGERS MUST BE EMPLOYED TO ENSURE SAFETY FOR INTERACTION OF CONSTRUCTION VEHICLES AND ACTIVE TRAFFIC.
4. ALL SIGNS, FLAGGERS, TRAFFIC CONTROL DEVICES, AND TEMPORARY TRAFFIC ZONE ACTIVITIES MUST MEET THE REQUIREMENTS OF THE MANUAL ON UNIFORM TRAFFIC (MUTCD) LATEST EDITION AND SUBSEQUENT ADDENDA.
5. TEMPORARY CONSTRUCTION SIGNS MUST BE MOUNTED ON RIDOT APPROVED SUPPORTS AND MUST BE REMOVED OR COVERED WHEN NOT APPLICABLE.

As-Built Notes:

ALL COMPONENTS OF THE DRAINAGE, SEWER, AND WATER SYSTEMS MUST BE AS-BUILT PRIOR TO COVERING. ENGINEER TO BE NOTIFIED PRIOR TO COVERING TO SURVEY AS-BUILT LOCATIONS. ENGINEER WILL NOT ACCEPT FIELD MEASUREMENTS FROM THE SITE CONTRACTOR.

Layout and Materials:

- 1. DIMENSIONS ARE FROM THE FACE OF CURB, FACE OF BUILDING, FACE OF WALL, AND CENTER LINE OF PAVEMENT MARKINGS, UNLESS OTHERWISE NOTED.
2. SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THEIR ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR MUST REFER TO THE DETAIL SHEET DIMENSIONS, MANUFACTURERS' LITERATURE, SHOP DRAWINGS AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.
3. SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND DETAILS CONTIGUOUS TO THE BUILDING, INCLUDING SIDEWALKS, RAMPS, BUILDING ENTRANCES, STAIRWAYS, UTILITY PENETRATIONS, CONCRETE DOOR PADS, COMPACTOR PAD, LOADING DOCKS, BOLLARDS, ETC.
4. PROPOSED BOUNDS AND ANY EXISTING PROPERTY LINE MONUMENTATION DISTURBED DURING CONSTRUCTION MUST BE SET OR RESET BY A PROFESSIONAL LICENSED SURVEYOR.
5. CONTRACTOR MUST NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS, AND DATA FILES THAT ARE OBTAINED FROM THE DESIGNERS. CONTRACTOR MUST VERIFY LOCATION OF PROJECT FEATURES IN ACCORDANCE WITH THE STAMPED PAPER COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.

Soil Information:

Table with 2 columns: SOIL NAME, DESCRIPTION. NP NEWPORT-URBAN LAND COMPLEX, Rf RIDGEBURY, WHITMAN, AND LEICESTER EXTREMELY STONY FINE SANDY LOAMS, Ss SUDBURY SANDY LOAM

Grading and Utility Notes:

- 1. CONSTRUCTION TO COMMENCE FALL 2021 OR UPON RECEIPT OF ALL NECESSARY APPROVALS.
2. THE CONTRACTOR MUST COORDINATE WITH ALL OF THE APPROPRIATE UTILITY COMPANIES FOR AGREEMENTS TO SERVICE THE PROPOSED BUILDING. THIS MUST BE DONE PRIOR TO CONSTRUCTION. NO REPRESENTATIONS ARE MADE BY DIPRETE ENGINEERING THAT UTILITY SERVICE IS AVAILABLE.
3. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING FINISH GRADING AND DRAINAGE AROUND THE BUILDING TO ENSURE SURFACE WATER AND/OR GROUNDWATER ARE DIRECTED AWAY FROM THE STRUCTURE.
4. PRIOR TO START OF CONSTRUCTION, CONTRACTOR MUST VERIFY EXISTING PAVEMENT ELEVATIONS AT INTERFACE WITH PROPOSED PAVEMENTS, AND EXISTING GROUND ELEVATIONS ADJACENT TO DRAINAGE OUTLETS TO ASSURE PROPER TRANSITIONS BETWEEN EXISTING AND PROPOSED FACILITIES. CONTRACTOR MUST NOTIFY DESIGN ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
5. ALL PROPOSED UTILITIES SERVING THE SITE AND BUILDINGS TO BE COORDINATED WITH OWNER, ARCHITECT, AND ENGINEER PRIOR TO INSTALLATION.
6. ALL RETAINING WALLS AND STEEP SLOPES ARE SUBJECT TO FINAL STRUCTURAL DESIGN. DIPRETE ENGINEERING IS NOT PROVIDING THE STRUCTURAL DESIGN OF THESE ITEMS. ALL WALLS AND STEEP SLOPES ARE TO BE DESIGNED AND BUILT UNDER THE DIRECTION OF A RHODE ISLAND LICENSED PROFESSIONAL ENGINEER SUITABLY QUALIFIED IN GEOTECHNICAL ENGINEERING AND CERTIFIED TO THE OWNER PRIOR TO THE COMPLETION OF THE PROJECT. SHOP DRAWINGS TO BE SUBMITTED PRIOR TO CONSTRUCTION. FINAL STRUCTURAL DESIGN MUST INCORPORATE THE INTENT OF THE GRADING SHOWN ON THESE PLANS AND ALL WORK MUST BE WITHIN THE LIMIT OF DISTURBANCE SHOWN ON THE PLANS.
7. ALL CUT AND FILL AREAS ARE TO BE DONE UNDER THE DIRECTION OF A PROFESSIONAL GEOTECHNICAL ENGINEER WITH TESTING AND CERTIFICATION TO BE PROVIDED TO THE APPLICANT AT THE COMPLETION OF THE PROJECT. DIPRETE ENGINEERING IS NOT PROVIDING THE FILL SPECIFICATION, GEOTECHNICAL ENGINEERING, STRUCTURAL ENGINEERING SERVICES, OR SUPERVISION AS PART OF THESE DRAWINGS.
8. NO STOCKPILING OF MATERIAL TO BE LOCATED IN THE RIGHT OF WAY AND NO OPEN TRENCHES ARE TO BE LEFT OVERNIGHT.
9. ALL LOAM IN DISTURBED AREAS TO BE STOCKPILED FOR FUTURE USE.
10. ALL EXCESS SOIL, TREES, ROCKS, BOLLARDS, AND OTHER REFUSE, MUST BE DISPOSED OFF SITE IN AN ACCEPTABLE MANNER AT AN APPROVED LOCATION. STUMPS MUST BE GROUND ON SITE OR REMOVED.
11. NO STUMP DUMPS ARE PROPOSED ON SITE.

DRAINAGE:

ALL DRAINAGE PIPING TO BE HIGH-DENSITY POLYETHYLENE (HDPE) WITH WATERTIGHT JOINTS WHERE INSTALLED WITHIN THE SEASONAL HIGH GROUNDWATER, UNLESS NOTED OTHERWISE ON THE PLANS OR IN THE SPECIFICATIONS. ALL STORMWATER PIPE WITHIN THE STATE'S RIGHT OF WAY TO BE REINFORCED CONCRETE PIPE (RCP) PIPE.

ALL DRAINAGE STRUCTURES MUST BE WATERTIGHT.

DRAINAGE CONNECTIONS FROM ALL DOWNSPOUTS (DS) AND ROOF LEADERS (RL) ARE SHOWN FOR SCHEMATIC PURPOSES ONLY. THE LEVEL OF DETAIL SHOWN DOES NOT INCLUDE ALL JOINTS THAT MAY BE REQUIRED FOR CONSTRUCTION. ALL FITTINGS & PIPE SLOPES TO THE INTO MAIN TRUNK LINE TO BE FIELD FIT BY CONTRACTOR.

SANITARY SEWER:

ALL SANITARY SEWER PIPING TO BE SDR 35 UNLESS NOTED OTHERWISE ON THE PLANS OR IN THE SPECIFICATIONS. ALL SEWER IMPROVEMENTS MUST COMPLY WITH THE EAST GREENWICH DEPARTMENT OF PUBLIC WORKS AND ANY APPLICABLE AUTHORITY HAVING JURISDICTION, INCLUDING (BUT NOT LIMITED TO) MATERIALS, DIMENSIONS AND ACCESS COVERS. CONTRACTOR MUST SUBMIT SHOP DRAWINGS FOR APPROVAL BY ENGINEER OF RECORD PRIOR TO CONSTRUCTION.

WATER:

ALL WATER MAINS TO BE CONCRETE LINED DUCTILE IRON PIPE (CLDIP). ALL WATER MAIN IMPROVEMENTS MUST COMPLY WITH THE KENT COUNTY WATER AUTHORITY (KWCA) REGULATIONS AND ANY APPLICABLE AUTHORITY HAVING JURISDICTION, INCLUDING (BUT NOT LIMITED TO) MATERIALS, DIMENSIONS AND ACCESS COVERS. CONTRACTOR TO PROVIDE SHOP DRAWINGS AND SUBMITTALS TO THE ENGINEER OF RECORD FOR APPROVAL FOR ALL WATER IMPROVEMENTS AND APPURTENANCES INCLUDING BUT NOT LIMITED TO PIPES, VALVES, FITTINGS, HEAT ENCLOSURES, AND BACKFLOWS. ALL COMPONENTS OF THE WATER SYSTEM TO BE ASBUILT PER THE KWCA REQUIREMENTS. ALL COMPONENTS OF THE WATER SYSTEM TO BE INSPECTED BY THE KWCA. CONTRACTOR TO COORDINATE ALL IMPROVEMENTS WITH THE KWCA TO ENSURE INSPECTOR IS ON SITE.

ELECTRIC/TELECOM/GAS:

PROPOSED GAS, ELECTRIC, CABLE AND DATA UTILITIES ARE SHOWN SCHEMATICALLY AND ARE PROPOSED TO BE UNDERGROUND. OWNER & CONTRACTOR TO COORDINATE FINAL DESIGN WITH APPROPRIATE UTILITY COMPANIES. ALL WORK TO BE IN ACCORDANCE WITH EACH UTILITY COMPANY'S STANDARDS AND DETAILS AS WELL AS LOCAL AND FEDERAL REGULATIONS. THIS INCLUDES BUT IS NOT LIMITED TO, POLES, TRANSFORMERS, PULL BOXES, CONCRETE PADS, CONCRETE ENCASEMENTS AND CONDUITS. CONNECTION POINTS FOR ELECTRIC AND TELECOM UTILITIES, AT THE EXISTING INFRASTRUCTURE, ARE CURRENTLY SHOWN AS UNDERGROUND UTILITIES. THESE UTILITIES MAY BE UNDERGROUND OR OVERHEAD AND WILL BE COORDINATED WITH NATIONAL GRID PRIOR TO CONSTRUCTION.

Abbreviations Legend

Table listing abbreviations and their meanings: ADA AMERICANS WITH DISABILITY ACT, AHJ AUTHORITY HAVING JURISDICTION, AP ASSESSOR'S PLAT, BC BOTTOM OF CURB, BT BOTTOM OF TESTHOLE, BIT BITUMINOUS (BERM), BIO BIORETENTION, BS BASEMENT SLAB ELEVATION, BW FINISHED GRADE AT BOTTOM OF WALL, CB CATCH BASIN, CW CATCH BASIN, C CALCULATED, (C) CENTERLINE, (CA) CHORD ANGLE, CLDIP CONCRETE LINED DUCTILE IRON PIPE, CO CLEAN OUT, CONC CONCRETE, (D) DEED, DCB DOUBLE CATCH BASIN, DI DROP INLET, DMH DRAINAGE MANHOLE, DP DETENTION POND, ELEV ELEVATION, EOP EDGE OF PAVEMENT, ESC EROSION AND SEDIMENT CONTROL, EX EXISTING, FES FLARED END SECTION, FF FINISH FLOOR ELEVATION, GS GARAGE SLAB ELEVATION, GWT GROUND WATER TABLE, HW HEADWALL, HC HIGH CAPACITY CATCH BASIN GRATE, HDPE HIGH DENSITY POLYETHYLENE, ID INLINE DRAIN, INV INVERT, IP INFILTRATION POND, LF LINEAR FEET, LD LIGHT LOSS OF DISTURBANCE, LP LIGHT POLE, (M) MEASURED, N/F NOW OR FORMERLY, OHW OVERHEAD WIRE, PE POLYETHYLENE, P PROPERTY LINE, PR PROPOSED, PVC POLYVINYL CHLORIDE, R RADIUS, R&D REMOVE AND DISPOSE, RCP REINFORCED CONCRETE PIPE, RHIB RHODE ISLAND, RIB HIGHWAY BOUND, RL ROOF LEADER, ROW RIGHT-OF-WAY, S SLOPE, SD SUBDRAN, SED SEDIMENT FOREBAY, SF SQUARE FOOT, SFL STATE FREEWAY LINE, SPM SEWER FORCE MAIN, SG SLAB ON GRADE ELEVATION, SHL STATE HIGHWAY LINE, SMH SEWER MANHOLE, SNDF SAND FILTER, SS SIDE SLOPE, STA STATION, TC TOP OF CURB, TD TRENCH DRAIN, TF TOP OF FOUNDATION, TRANS TRANSITION, TW TOP OF WALL (FINISHED GRADE AT TOP OF WALL), TYP TYPICAL, UDS UNDERGROUND, ID INLINE DRAIN, INV INVERT, IP INFILTRATION POND, LF LINEAR FEET, LD LIGHT LOSS OF DISTURBANCE, LP LIGHT POLE, (M) MEASURED, N/F NOW OR FORMERLY

Existing Legend

Table listing existing features and their symbols: AS SHOWN ON PROPOSED PLANS, NOT ALL ITEMS SHOWN WILL APPEAR ON PLANS. Includes symbols for PROPERTY LINE, ASSESSORS LINE, BUILDING, BRUSHLINE, TREETLINE, GUARDRAIL, FENCE, RETAINING WALL, STONE WALL, MINOR CONTOUR LINE, MAJOR CONTOUR LINE, WATER LINE, SEWER LINE, SEWER FORCE MAIN, GAS LINE, ELECTRIC LINE, OVERHEAD WIRES, DRAINAGE LINE, SOILS LINES, 50' PERIMETER WETLAND, 100' RIVERBANK WETLAND, 200' RIVERBANK WETLAND, FEMA BOUNDARY, STREAM, WETLAND LINE & FLAG, STATE HIGHWAY LINE, STATE FREEWAY LINE.

Proposed Legend

Table listing proposed features and their symbols: NOT ALL ITEMS SHOWN WILL APPEAR ON PLANS. Includes symbols for PROPERTY LINE, BUILDING SETBACKS, CHAINLINK FENCE, RETAINING WALL, MINOR CONTOUR LINE, MAJOR CONTOUR LINE, SPOT ELEVATION, EDGE OF PAVEMENT, BITUMINOUS BERM, CONCRETE CURB (RIDOT STD 7.1.0), BUILDING FOOTPRINT, BUILDING OVERHANG, PERVIOUS PAVEMENT, HEAVY DUTY ASPHALT PAVEMENT, HEAVY DUTY CONCRETE, CONCRETE, ASPHALT SIDEWALK, SAWCUT LINE, SIGN (RIDOT STD 24.6.2 AS APPLICABLE), SINGLE LIGHT, DOUBLE LIGHT, OVERHANGING LIGHT, ACCESSIBLE PARKING SPACE SYMBOLS, BUILDING INGRESS/EGRESS, DRAINAGE LINE, PERFORATED SUBDRAIN, SWALE, SEWER FORCE MAIN, GAS LINE, WATER LINE, HYDRANT ASSEMBLY, WATER SHUT OFF, WATER VALVE, THRUST BLOCK, SEWER LINE, UTILITY POLE, OVERHEAD WIRE, CABLE LINE, LIMIT OF DISTURBANCE/ LIMIT OF CLEARING, SEDIMENTATION BARRIER, SILT FENCE (RIDOT STD 9.2.0), COMPOST SOCK OR APPROVED EQUAL, UNDERGROUND INFILTRATION OUTLINE, POND ACCESS, RIPRAP, SAND FILTER, BIO RETENTION, CATCH BASIN, DOUBLE CATCH BASIN, MANHOLE, FLARED END SECTION, HEADWALL.

Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT OFFICE OF WATER RESOURCES FRESHWATER WETLANDS PROGRAM APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL DATED AUG 19 2021 FILE # 21-001 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL APPROVED PLANS MUST BE AT CONSTRUCTION SITE Martin D. Wemack

Utility Note:

ALL UNDERGROUND UTILITIES SHOWN ON THESE PLANS WERE PROVIDED BY OTHERS AND ARE APPROXIMATE ONLY. LOCATIONS MUST BE DETERMINED IN THE FIELD BEFORE EXCAVATION, BLASTING, UTILITY INSTALLATION, BACKFILLING, GRADING, PAVEMENT RESTORATION, AND ALL OTHER SITE WORK. ALL UTILITY COMPANIES, PUBLIC AND PRIVATE, MUST BE CONTACTED INCLUDING THOSE IN CONTROL OF UTILITIES NOT SHOWN ON THESE DOCUMENTS. CONTACT DIG SAFE A MINIMUM OF 72 WORKING HOURS PRIOR TO ANY CONSTRUCTION AT 811. DIG SAFE IS RESPONSIBLE FOR CONTACTING MEMBER UTILITY COMPANIES. DIG SAFE MEMBER UTILITY COMPANIES ARE RESPONSIBLE TO MARK ONLY THE FACILITIES THAT THEY OWN OR MAINTAIN. NON DIG SAFE MEMBER COMPANIES ARE NOT NOTIFIED BY DIG SAFE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INVESTIGATE AND NOTIFY IF ANY PRIVATELY OWNED OR NON DIG SAFE MEMBER UTILITIES ARE IN THE AREA. PER THE CODE OF FEDERAL REGULATIONS - TITLE 29, PART 1926 IT IS THE SITE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ACCURATE UNDERGROUND UTILITY LINE LOCATIONS FROM THE UTILITY COMPANIES, UTILITY OWNERS AND, OR VIA UNDERGROUND UTILITY LOCATION EQUIPMENT AS NEEDED TO ESTABLISH ACCURATE LOCATIONS PRIOR TO ANY EXCAVATION. THE USE OF PROFESSIONAL UTILITY LOCATING COMPANIES PRIOR TO ANY EXCAVATION IS RECOMMENDED. DIPRETE ENGINEERING IS NOT A PROFESSIONAL UTILITY LOCATION COMPANY, AND IS NOT RESPONSIBLE FOR UNDERGROUND UTILITIES, DEPICTED OR NOT, EITHER IN SERVICE OR ABANDONED, ANY SIZES, LOCATIONS, EXISTENCE, OR LACK OF EXISTENCE OF UTILITIES SHOWN ON THESE PLANS SHOULD BE CONSIDERED APPROXIMATE UNTIL VERIFIED BY A PROFESSIONAL UTILITY LOCATION COMPANY. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED.

DiPrete Engineering logo and contact information: Two Stafford Court, Cranston, RI 02920, Tel: 401-943-1000, Fax: 401-641-6006, www.diprete-eng.com

Notes & Legend, Coggeshall Preserve logo, Philip Ryan Homes Ltd. logo, and project details: Assessor's Map 54, Plat 11 Lot 66, East Greenwich, Rhode Island 02818.

Project details and signatures: Design By: R.B.S., Drawn By: R.B.S., Date: 07-23-2021, 07-24-2021, 07-24-2021, 07-24-2021.

Plan References:

- "MONROSE ESTATES SECTION NO. 1 EAST GREENWICH, R.I. BELONGING TO JOHN E. MC KENNA ET UX SCALE 1"=50' AUG. 1962" WHICH PLAT IS RECORDED IN THE RECORDS OF LAND EVIDENCE OF THE TOWN OF EAST GREENWICH AS PLAT #59A.
- "MONROSE ESTATES NO. 2 EAST GREENWICH, R.I. BELONGING TO JOHN E. MC KENNA ET UX SCALE 1"=50' MAR. 1964" WHICH PLAT IS RECORDED IN THE RECORDS OF LAND EVIDENCE OF THE TOWN OF EAST GREENWICH AS PLAT #173.
- "PLAT OF LAND IN EAST GREENWICH, BELONGING TO JOHN E. & VIOLET MC KENNA, SCALE 1"=50' MARCH 1960".
- "SPRINGBROOK PLAT EAST GREENWICH, R.I. BELONGING TO PAUL L. WEINDEL ET AL SCALE 1"=60' APRIL 1959" WHICH PLAT IS RECORDED IN THE RECORDS OF LAND EVIDENCE OF THE TOWN OF EAST GREENWICH AS PLAT #108B.

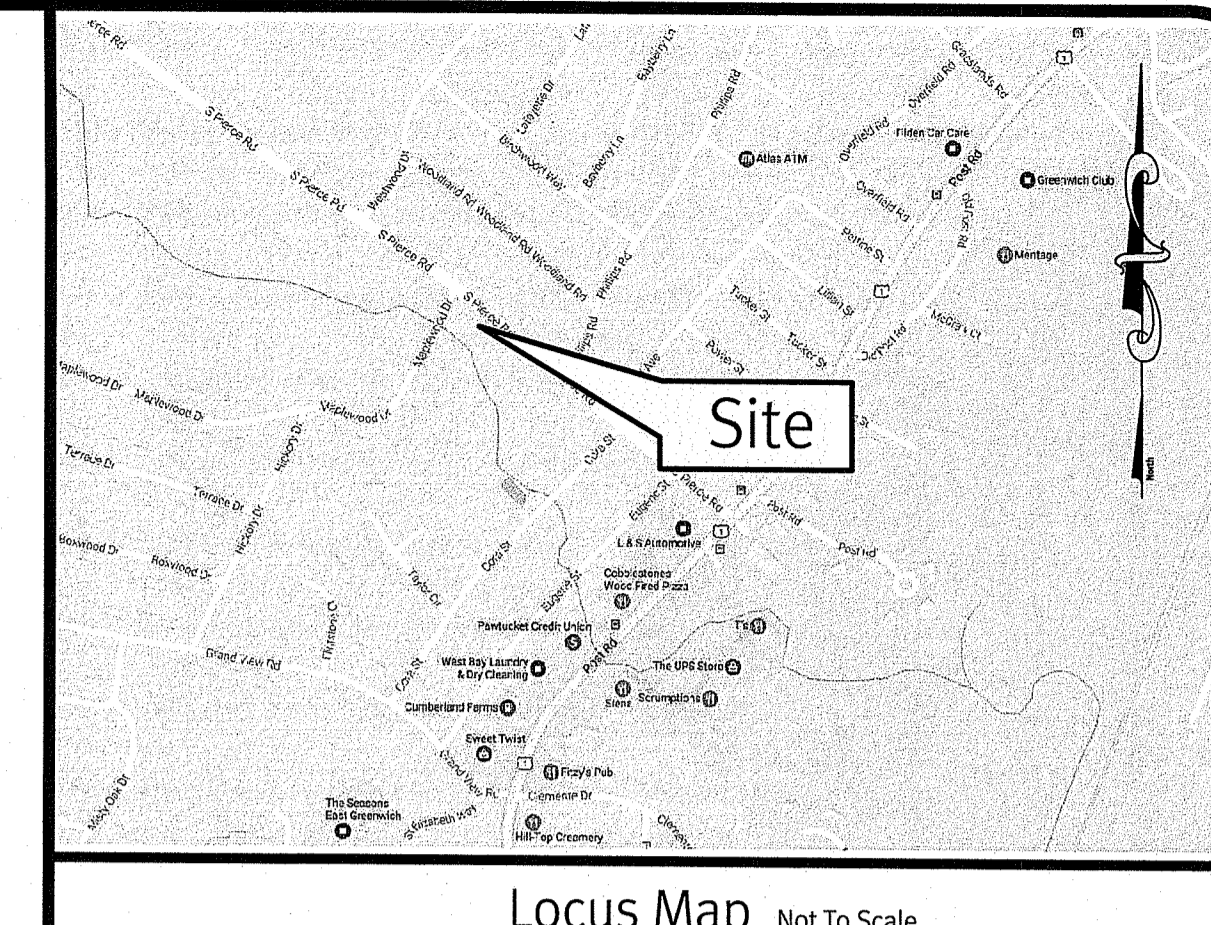
Datum Note:

1. ELEVATIONS SHOWN HEREON, IN U.S. SURVEY FEET, ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88), AS DETERMINED BY DIPRETE ENGINEERING USING REAL TIME KINEMATIC G.P.S. OBSERVATIONS.

Legend

NOT ALL ITEMS SHOWN WILL APPEAR ON THE SURVEY

BUILDING	▲/△	NAIL FOUND/SET
ASPHALT	●/◎	DRILL HOLE FOUND/SET
AP	○/⊙	IRON ROD/PIPE FOUND/SET
N/F	■/□	BOUND FOUND/SET
(D)	⊕	SIGN
(M)	⊗	BOLLARD
(C)	⊗	SOIL EVALUATION
(CA)	⊗	CATCH BASIN
HC	⊗	DOUBLE CATCH BASIN
PROPERTY LINE	⊗	DRAINAGE MANHOLE
ASSESSOR'S PLAT	⊗	FLARED END SECTION
NOW OR FORMERLY	⊗	GUY POLE
DEED	⊗	ELECTRIC MANHOLE/HANDHOLE
MEASURED	⊗	UTILITY/POWER POLE
CALCULATED	⊗	LIGHTPOST
CHORD ANGLE	⊗	SMH
HANDICAPPED	⊗	SEWER/SEPTIC MANHOLE
PROPERTY LINE	⊗	SEWER VALVE
ASSESSOR'S LINE	⊗	CLEANOUT
TREELINE	⊗	HYDRANT
GUARDRAIL	⊗	IRRIGATION VALVE
FENCE	⊗	WATER VALVE
RETAINING WALL	⊗	WELL
STONE WALL	⊗	MONITORING WELL
MINOR CONTOUR LINE	⊗	UNKNOWN MANHOLE
MAJOR CONTOUR LINE	⊗	GAS VALVE
WATER LINE	⊗	WETLAND FLAG
SEWER LINE	⊗	BENCH MARK
SEWER FORCE MAIN	⊗	BUSH
ELECTRIC LINE	⊗	TREE
GAS LINE	⊗	
OVERHEAD WIRES	⊗	
DRAINAGE LINE	⊗	

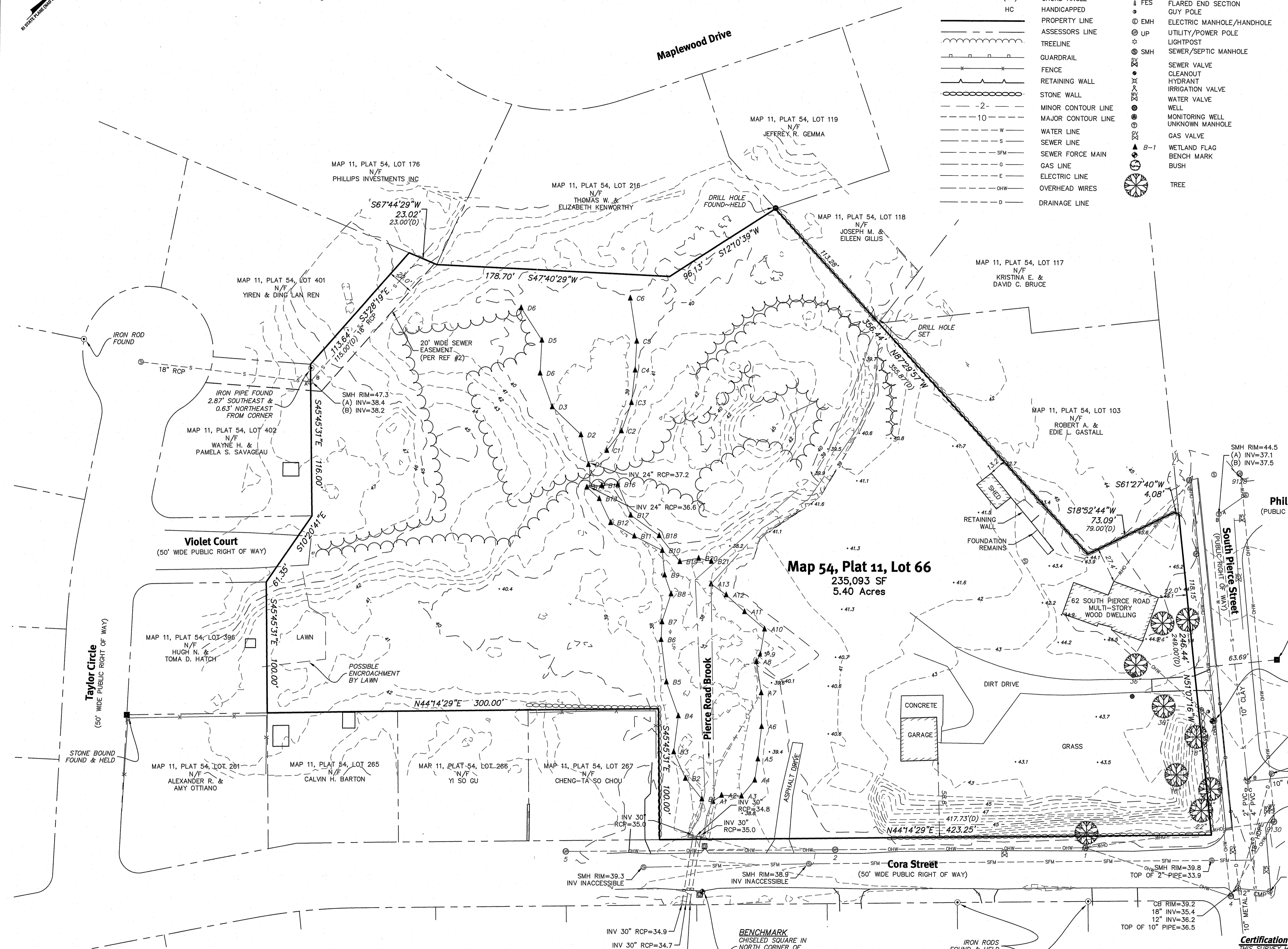


Locus Map Not To Scale

General Notes

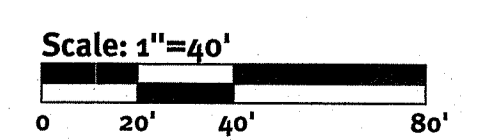
- THE PARCEL IS FOUND ON ASSESSOR'S PLAT 54, PLAT 11, LOT 66 IN THE TOWN OF EAST GREENWICH, KENT COUNTY, RHODE ISLAND.
- THE OWNER PER DEED BOOK 213, PAGE 565 IS DONALD W. MCKENNA.
- BASED ON GRAPHICAL PLOTTING ONLY THE PARCEL IS LOCATED IN ZONE X, X (SHADED), AE (L 42-43) PER FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP 4403C0138H, DATED SEPTEMBER 18, 2013 & 4403C0138G DATED DECEMBER 3, 2010. THIS DESIGNATION MAY CHANGE BASED UPON REVIEW BY A FLOOD ZONE SPECIALIST OR BY THE RESULTS OF A COMPREHENSIVE FLOOD STUDY.
- THE PARCEL IS ZONED R-30 PER THE ASSESSOR'S ONLINE DATABASE. PLEASE CONTACT THE ZONING DEPARTMENT FOR ANY ADDITIONAL INFORMATION OR FOR A CERTIFICATE OF ZONING.
- THERE WERE NO CEMETERIES, GRAVE SITES AND OR BURIAL GROUNDS OBSERVED WITHIN THE LIMITS OF THE SURVEY.
- FIELD SURVEY PERFORMED BY DIPRETE ENGINEERING BETWEEN JANUARY 17-27, 2017. THIS PLAN REFLECTS ON THE GROUND CONDITIONS AS OF THAT DATE.
- ALL UNDERGROUND UTILITIES SHOWN ON THIS PLAN HAVE BEEN LOCATED FROM FIELD SURVEY OBSERVATIONS ONLY. DIPRETE ENGINEERING IS NOT RESPONSIBLE FOR MISSING UNDERGROUND UTILITIES, EITHER IN SERVICE OR ABANDONED, NOT OBSERVED AT THE TIME OF THE SURVEY. (PLEASE CONTACT DIGSAFE 72 WORKING HOURS PRIOR TO ANY CONSTRUCTION AT 1-888-344-7233).
- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT. DIPRETE ENGINEERING IS NOT RESPONSIBLE FOR ANY UNKNOWN OR UNRECORDED EASEMENTS, DEEDS OR CLAIMS THAT A TITLE REPORT WOULD DISCLOSE.
- AREA NORTH OF 'A' SERIES WETLANDS TO CORA STREET AND SOUTH PIERCE STREET WERE SURVEYED ON THE GROUND BY DIPRETE ENGINEERING. REMAINING AREAS OF TOPOGRAPHY SHOWN BASED ON ELEVATION INFORMATION THAT WAS COLLECTED WITH AIRBORNE LIDAR TECHNOLOGY FOR THE ENTIRE AREA OF RHODE ISLAND BETWEEN APRIL 22 AND MAY 6, 2011 AS PART OF THE NORTHEAST LIDAR PROJECT. THIS DATA'S POSITIONAL ACCURACY AND RELIABILITY HAS NOT BEEN VERIFIED BY DIPRETE ENGINEERING AND IS SUBJECT TO CHANGES AN AUTHORITY FIELD SURVEY MAY DISCLOSE.

Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.



This Plan Should Be Indexed By The Following Streets:

- South Pierce Street
- Cora Street
- Violet Court

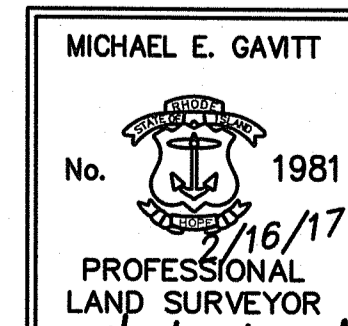


Certification

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON JANUARY 1, 2016, AS FOLLOWS:

TYPE OF SURVEY	MEASUREMENT SPECIFICATION
COMPREHENSIVE BOUNDARY SURVEY	CLASS I
DATA ACCUMULATION SURVEY	CLASS III
	TOPOGRAPHY ACCURACY
	TOPOGRAPHY ACCURACY
	VERTICAL ACCURACY
	VERTICAL ACCURACY

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS:
PERIMETER RETRACEMENT AND TOPOGRAPHIC SURVEY PERFORMED BY DIPRETE ENGINEERING FOR THE PURPOSE OF SITE ENGINEERING AND PERMITTING.



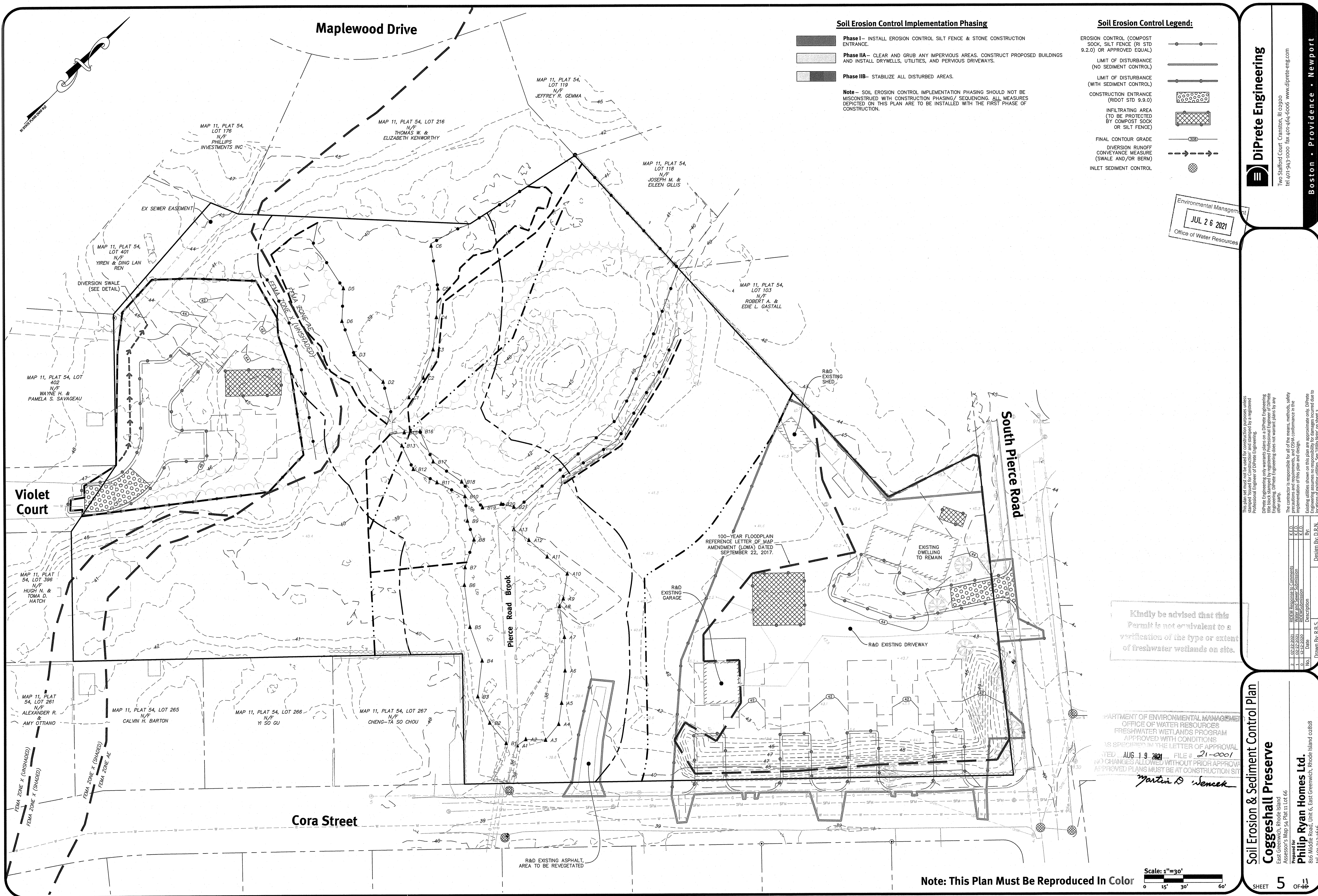
MICHAEL E. GAWITT
No. 11616/17
1981
PROFESSIONAL
LAND SURVEYOR

DiPrete Engineering
Two Stafford Court Cranston, RI 02920
tel 401-943-1000 fax 401-464-6066 www.diprete-eng.com

Environmental Management
JUL 26 2021
Office of Water Resources

No.	Date	Description	Drawn By: E.L.T.
0	2-22-2017	Boundary/Topographic Survey	

Existing Conditions Survey
62 South Pierce Road
East Greenwich, Rhode Island
Client: Philip Ryan Homes Ltd.
115 Love Lane, Warwick, Rhode Island 02886
tel 401-742-1616
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Soil Erosion Control Implementation Phasing

- Phase I** - INSTALL EROSION CONTROL, SILT FENCE & STONE CONSTRUCTION ENTRANCE.
- Phase II** - CLEAR AND GRUB ANY IMPERVIOUS AREAS, CONSTRUCT PROPOSED BUILDINGS AND INSTALL DRYWELLS, UTILITIES, AND PVIOUS DRIVEWAYS.
- Phase III** - STABILIZE ALL DISTURBED AREAS.

Note - SOIL EROSION CONTROL IMPLEMENTATION PHASING SHOULD NOT BE MISCONSTRUED WITH CONSTRUCTION PHASING/ SEQUENCING. ALL MEASURES DEPICTED ON THIS PLAN ARE TO BE INSTALLED WITH THE FIRST PHASE OF CONSTRUCTION.

Soil Erosion Control Legend:

- EROSION CONTROL (COMPOST SOCK, SILT FENCE (RI STD 9.2.0) OR APPROVED EQUAL)
- LIMIT OF DISTURBANCE (NO SEDIMENT CONTROL)
- LIMIT OF DISTURBANCE (WITH SEDIMENT CONTROL)
- CONSTRUCTION ENTRANCE (RIDOT STD 9.9.0)
- INFILTRATING AREA (TO BE PROTECTED BY COMPOST SOCK OR SILT FENCE)
- FINAL CONTOUR GRADE
- DIVERSION RUNOFF CONVEYANCE MEASURE (SWALE AND/OR BERM)
- INLET SEDIMENT CONTROL

Environmental Management
JUL 26 2021
 Office of Water Resources

Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL DATED **AUG 19 2021** FILE # **21-001**
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE
Martin D. Wencsek

Scale: 1"=30'
 0 15' 30' 60'

Note: This Plan Must Be Reproduced In Color

Diprete Engineering
 Two Stafford Court Cranston, RI 02920
 Tel: 401-943-7000 Fax: 401-943-6006 www.diprete-eng.com

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This plan set must not be used for construction purposes unless approved by a Registered Professional Engineer of Diprete Engineering.

Diprete Engineering only warrants plans on a Diprete Engineering title block, stamped by registered Professional Engineer of Diprete Engineering, and signed by a Diprete Engineering professional. Diprete Engineering does not warrant plans by any other party.

The user is responsible for all of the project, methods, safety, and other details. Diprete Engineering assumes no responsibility for damages incurred due to implementation of this plan and design.

Existing utilities shown on this plan are approximate only. Diprete Engineering assumes no responsibility for damages incurred due to excavation of existing utilities. See Utility Plans on sheet 3.

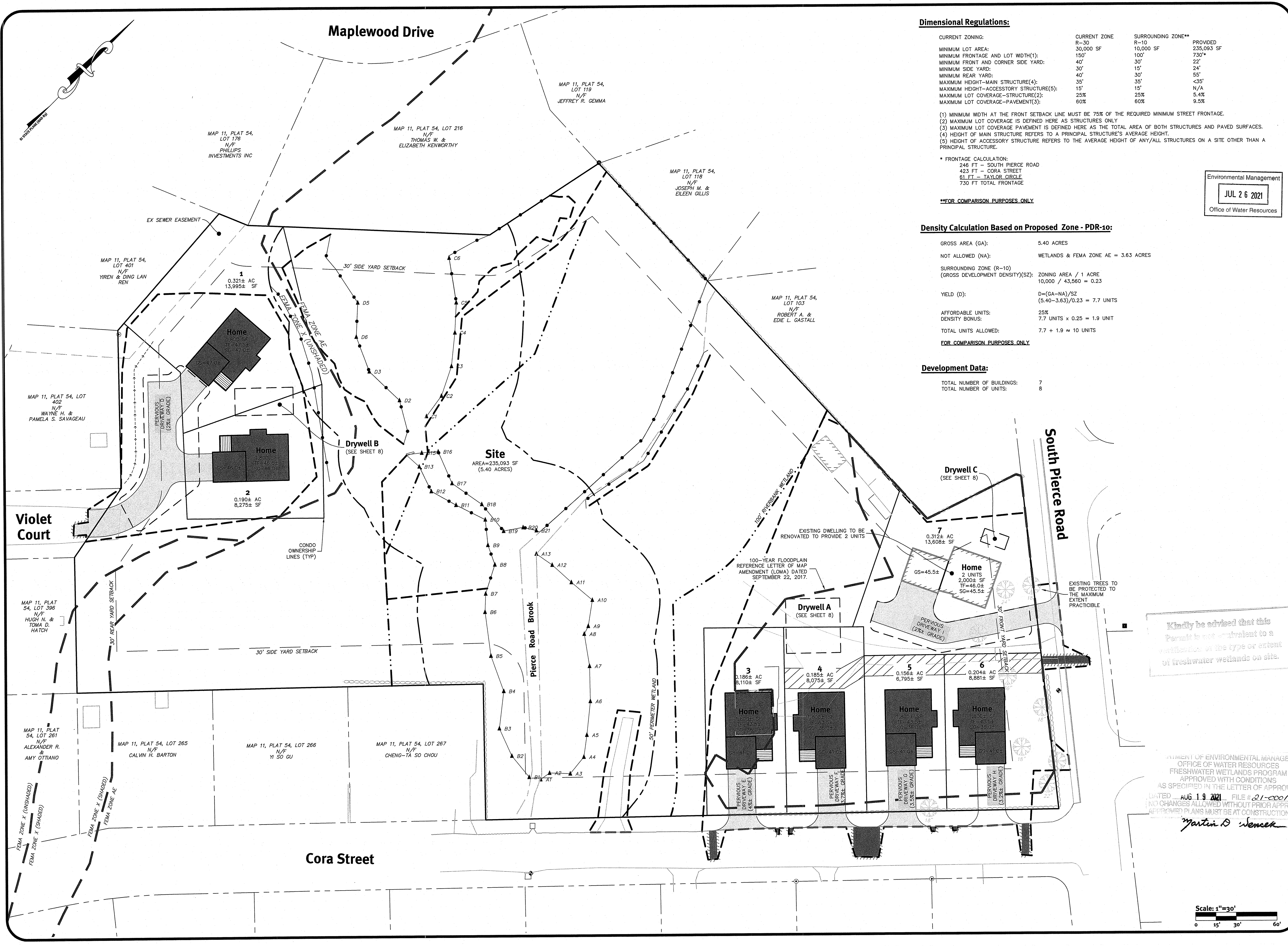
No.	Date	Description	By:
2	07-22-2021	RDMA Response to Comments	By:
1	07-27-2021	RDMA Response to Comments	By:
1	07-27-2021	RDMA Response to Comments	By:

Drawn By: R.B.S. Design By: R.B.S.

Soil Erosion & Sediment Control Plan
Coggeshall Preserve
 East Greenwich, Rhode Island
 Assessor's Map 54-54 Plat 11 Lot 66
 Prepared for
Philip Ryan Homes Ltd.
 816 Middle Road, Unit 6, East Greenwich, Rhode Island 02818
 Tel: 401-742-7616

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z:\demail\projects\2470-001_south_pierce_road\62\interior_drawing\2470-001_plm.dwg Plotter: 7/23/2021



Dimensional Regulations:

CURRENT ZONING:	CURRENT ZONE	SURROUNDING ZONE**	PROVIDED
R-30	R-30	R-10	R-10
MINIMUM LOT AREA:	30,000 SF	10,000 SF	235,093 SF
MINIMUM FRONTAGE AND LOT WIDTH(1):	150'	100'	730'
MINIMUM FRONT AND CORNER SIDE YARD:	40'	30'	22'
MINIMUM SIDE YARD:	30'	15'	24'
MINIMUM REAR YARD:	40'	30'	55'
MAXIMUM HEIGHT-MAIN STRUCTURE(4):	35'	35'	<35'
MAXIMUM HEIGHT-ACCESSORY STRUCTURE(5):	15'	15'	N/A
MAXIMUM LOT COVERAGE-STRUCTURE(2):	25%	25%	5.4%
MAXIMUM LOT COVERAGE-PAVEMENT(3):	60%	60%	9.5%

- (1) MINIMUM WIDTH AT THE FRONT SETBACK LINE MUST BE 75% OF THE REQUIRED MINIMUM STREET FRONTAGE.
- (2) MAXIMUM LOT COVERAGE IS DEFINED HERE AS STRUCTURES ONLY.
- (3) MAXIMUM LOT COVERAGE PAVEMENT IS DEFINED HERE AS THE TOTAL AREA OF BOTH STRUCTURES AND PAVED SURFACES.
- (4) HEIGHT OF MAIN STRUCTURE REFERS TO A PRINCIPAL STRUCTURE'S AVERAGE HEIGHT.
- (5) HEIGHT OF ACCESSORY STRUCTURE REFERS TO THE AVERAGE HEIGHT OF ANY/ALL STRUCTURES ON A SITE OTHER THAN A PRINCIPAL STRUCTURE.

* FRONTAGE CALCULATION:
 246 FT - SOUTH PIERCE ROAD
 423 FT - CORA STREET
 61 FT - TAYLOR CIRCLE
 730 FT TOTAL FRONTAGE

**FOR COMPARISON PURPOSES ONLY

Environmental Management
JUL 26 2021
 Office of Water Resources

Density Calculation Based on Proposed Zone - PDR-10:

GROSS AREA (GA):	5.40 ACRES
NOT ALLOWED (NA):	WETLANDS & FEMA ZONE AE = 3.63 ACRES
SURROUNDING ZONE (R-10):	ZONING AREA / 1 ACRE
(GROSS DEVELOPMENT DENSITY)(SZ):	10,000 / 43,560 = 0.23
YIELD (D):	D=(GA-NA)/SZ (5.40-3.63)/0.23 = 7.7 UNITS
AFFORDABLE UNITS:	25%
DENSITY BONUS:	7.7 UNITS x 0.25 = 1.9 UNIT
TOTAL UNITS ALLOWED:	7.7 + 1.9 = 10 UNITS

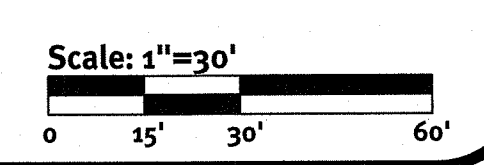
Development Data:

TOTAL NUMBER OF BUILDINGS:	7
TOTAL NUMBER OF UNITS:	8

Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.

OFFICE OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED AUG 19 2021 FILE # 21-001
 (NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL)
 APPROVED PLANS MUST BE AT CONSTRUCTION

Martin D. Wencsek



DiPrete Engineering
 Two Stafford Court Cranston, RI 02920
 Tel: 401-943-1000 Fax: 401-944-6006 www.diprete-eng.com

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This plan set must be used for construction purposes unless otherwise noted. It is the responsibility of the user to verify all regulations and requirements. DiPrete Engineering does not warrant plans by any means. DiPrete Engineering is not responsible for all of the state, federal, safety, and other regulations and requirements, and OSHA, conformance in the implementation of this plan and design. Existing utilities shown on this plan are approximate only. DiPrete Engineering assumes no responsibility for damages incurred due to locations of existing utilities. See utility maps on sheets 5, 6, and 7.

No.	Date	Description	By	Design By: D.P.N.
1	02/22/2021	Initial Response to Comments	KL	
2	02/22/2021	Minor and Major Submittal	KL	
3	02/22/2021	Final Submittal	KL	

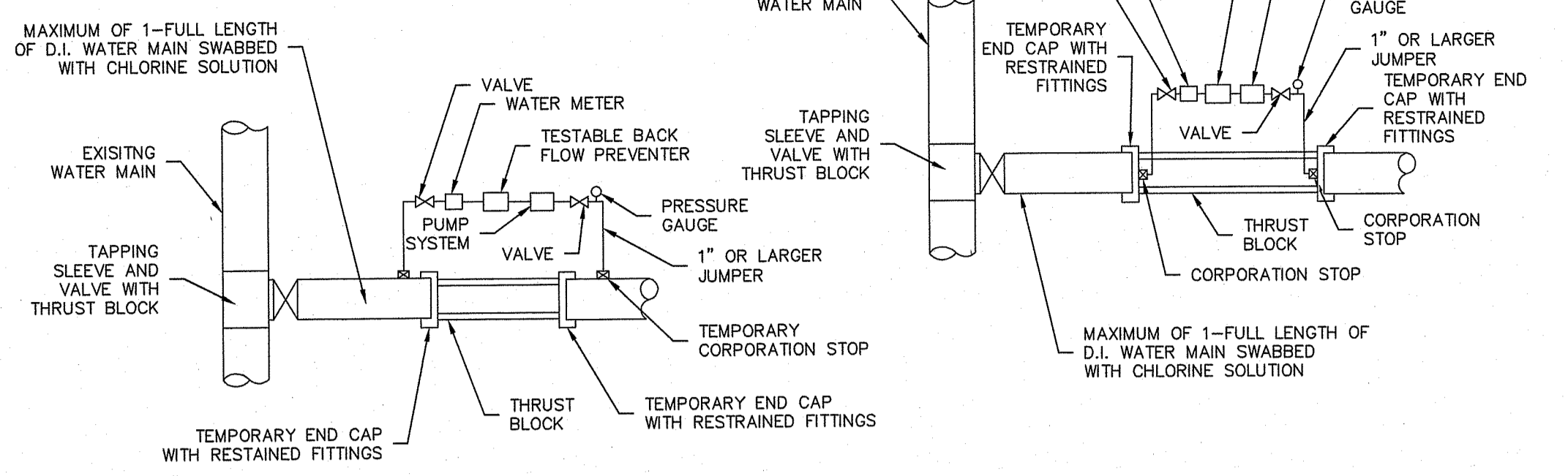
Site Layout Plan
Coggeshall Preserve
 East of Coggeshall, Rhode Island
 Assessor's Map 54, Plat 11 Lot 66

Prepared for:
Philip Ryan Homes Ltd.
 876 Middle Road, Unit 6, East Greenwich, Rhode Island 02818
 Tel: 401-742-6016

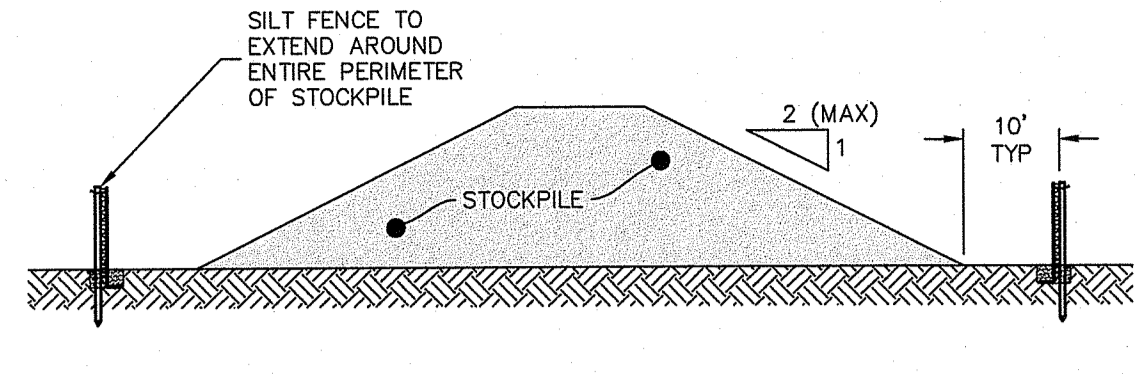
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SHEET **6** OF **11**

NOTES:
 1. UPON SUCCESSFUL TESTING AND DISINFECTION THE TEMPORARY CORPORATION STOPS SHALL BE REMOVED AND PLUGS INSTALLED
 2. SLEEVE FOR CLOSURE TO BE SWABBED WITH CHLORINE SOLUTION
 3. FROM KENT COUNTY WATER AUTHORITY DETAILS DATE: 09/2006

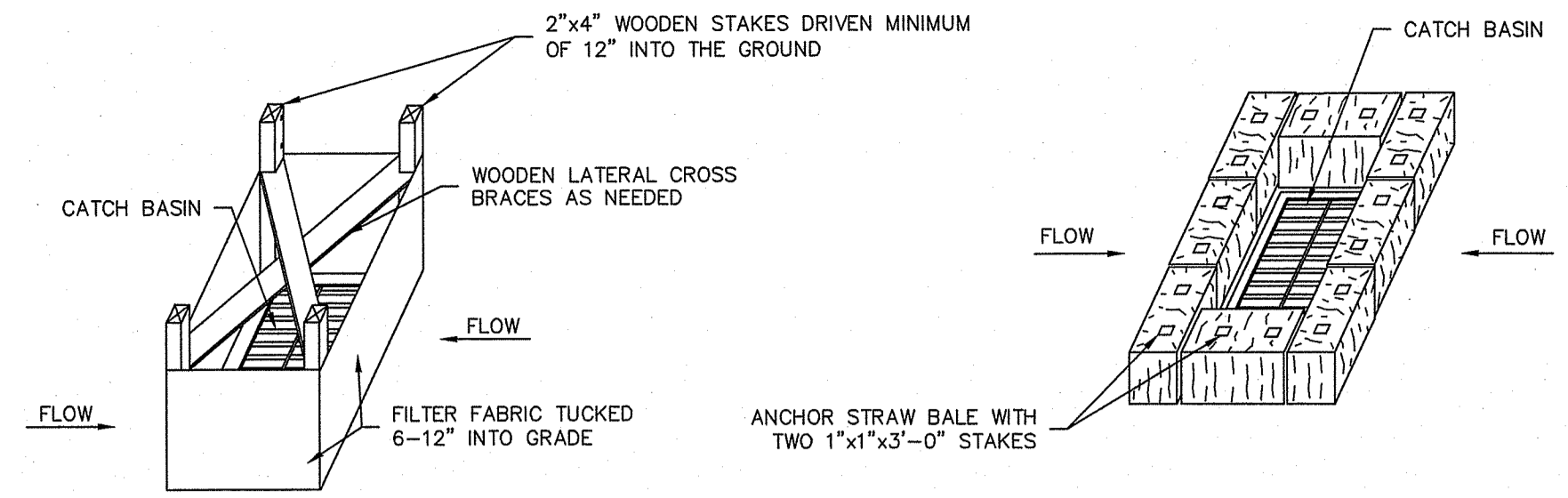


KCWA Temporary Connection For Pressure Testing & Disinfection
 NOT TO SCALE



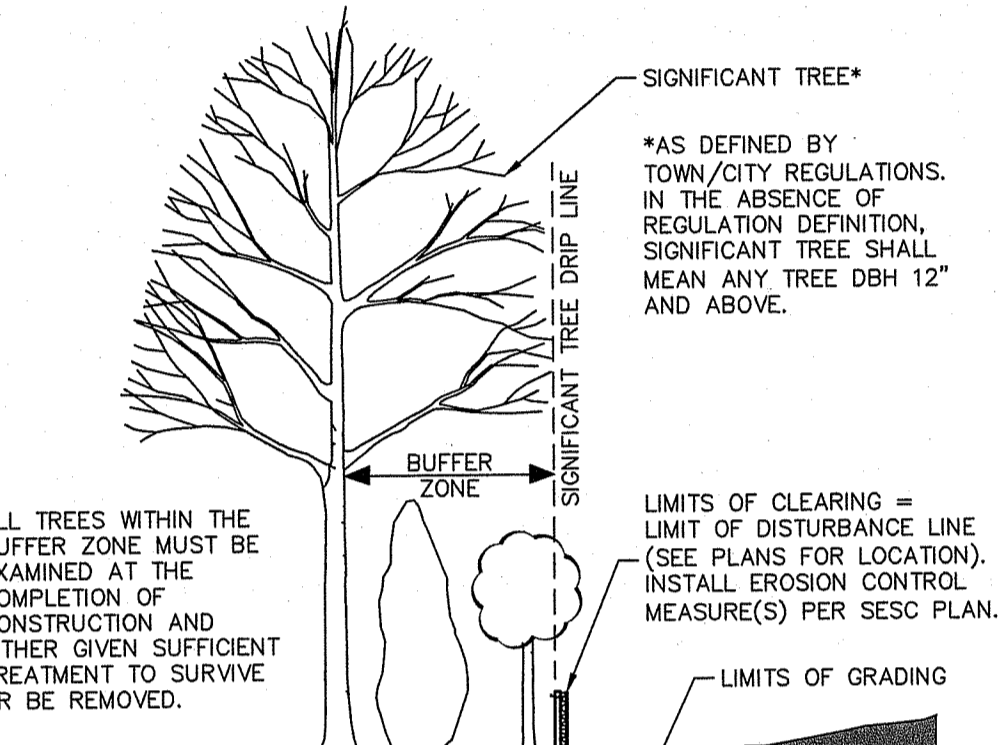
NOTES:
 1. ALL STOCKPILES MUST BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH SECTION 3 "STOCKPILE AND STAGING AREA MANAGEMENT" OF THE RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK (CURRENT EDITION).
 2. DIVERT ALL STORMWATER AWAY FROM STOCKPILES.
 3. SOIL STOCKPILES THAT ARE NOT TO BE USED WITHIN 30 DAYS MUST BE SEEDED AND MULCHED IMMEDIATELY AFTER FORMATION OF THE STOCKPILE WITH SEED MIX COMPATIBLE WITH THE SOIL TYPE.
 4. STOCKPILE AND SILT FENCE MUST BE INSPECTED AT LEAST ONCE PER WEEK AND AFTER RAIN EVENTS IN EXCESS OF 2" OF RAINFALL. REPAIR/REPLACE SILT FENCE (AND STOCKPILE COVERS WHERE APPLICABLE) AS NEEDED TO KEEP THEM FUNCTIONING ADEQUATELY.
 5. SEDIMENT TRAPPED BY SILT FENCES MUST BE REMOVED AND PROPERLY DISPOSED OF WHENEVER SIGNIFICANT ACCUMULATION OCCURS.

Stockpile Protection
 NOT TO SCALE



NOTES:
 1. STORMWATER INLETS WHICH DO NOT DISCHARGE TO SEDIMENT TRAPS OR BASINS MUST BE PROTECTED UNTIL THE TRIBUTARY AREAS ARE STABILIZED.
 2. SEDIMENT MUST BE REMOVED FROM INLET PROTECTION AFTER EACH STORM.
 3. REFER TO LONG TERM/SHORT TERM MAINTENANCE NOTES FOR TIMING OF PLACEMENT AND REMOVAL OF EROSION CONTROL ELEMENTS.

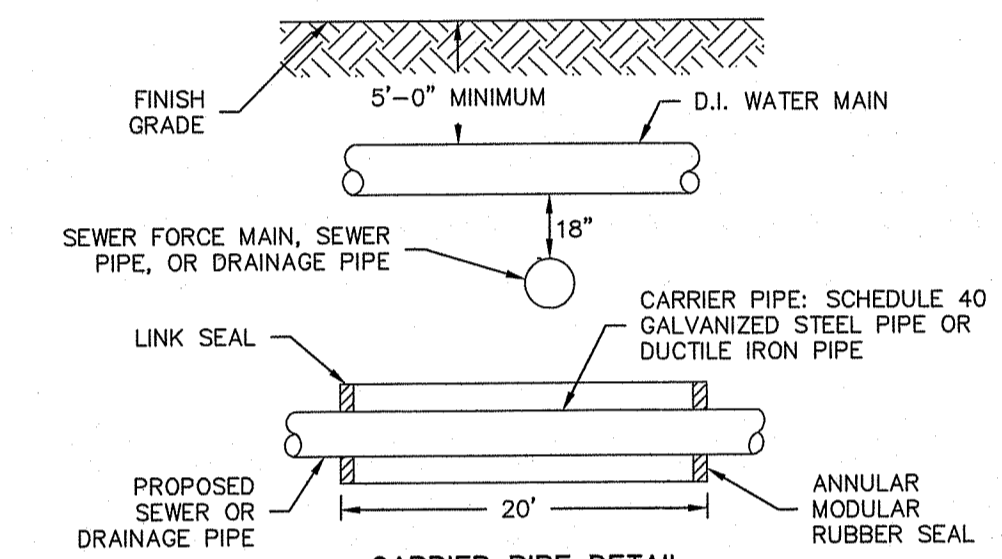
Catch Basin Erosion Control
 NOT TO SCALE



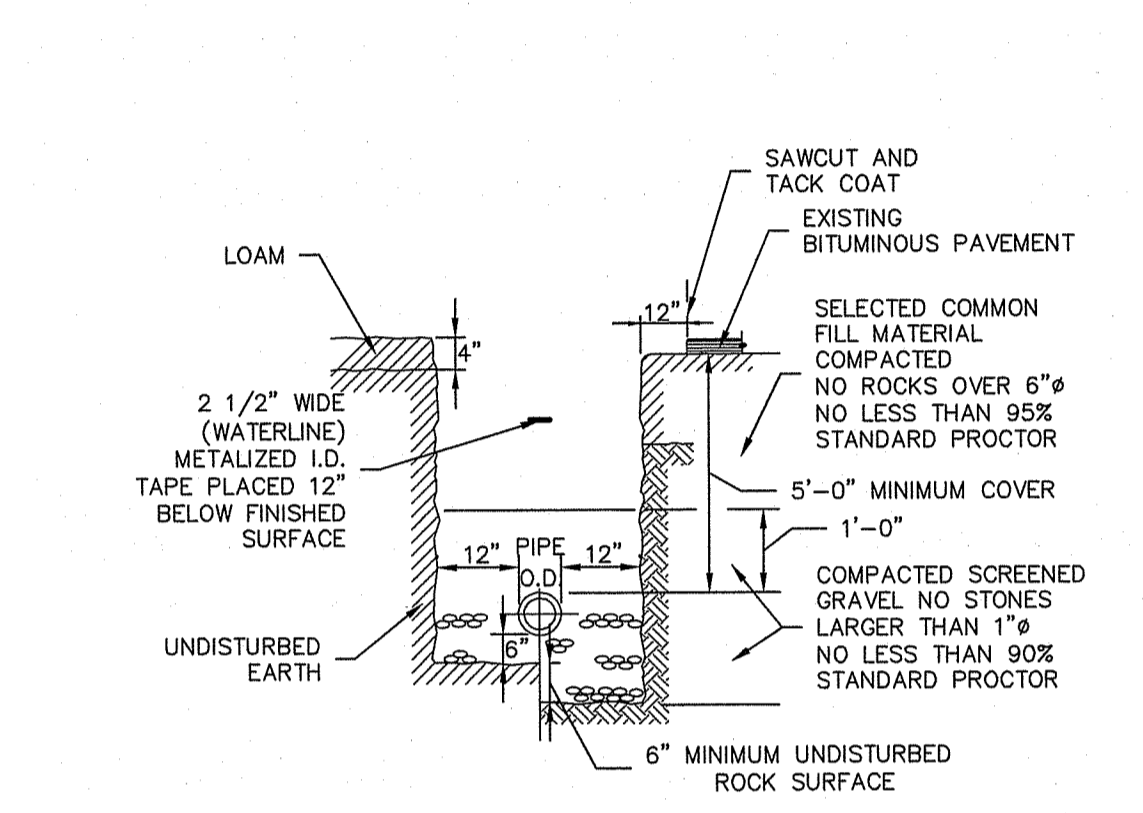
NOTE: LIMIT OF DISTURBANCE (LOD) MUST BE STAKED OUT PRIOR TO CONSTRUCTION. IF ANY SIGNIFICANT TREE DRIP LINE IS ENCRoACHING PAST THE LOD, CONTRACTOR MUST CONTACT SITE ENGINEER PRIOR TO CONSTRUCTION.

Limit of Disturbance at Vegetation
 NOT TO SCALE

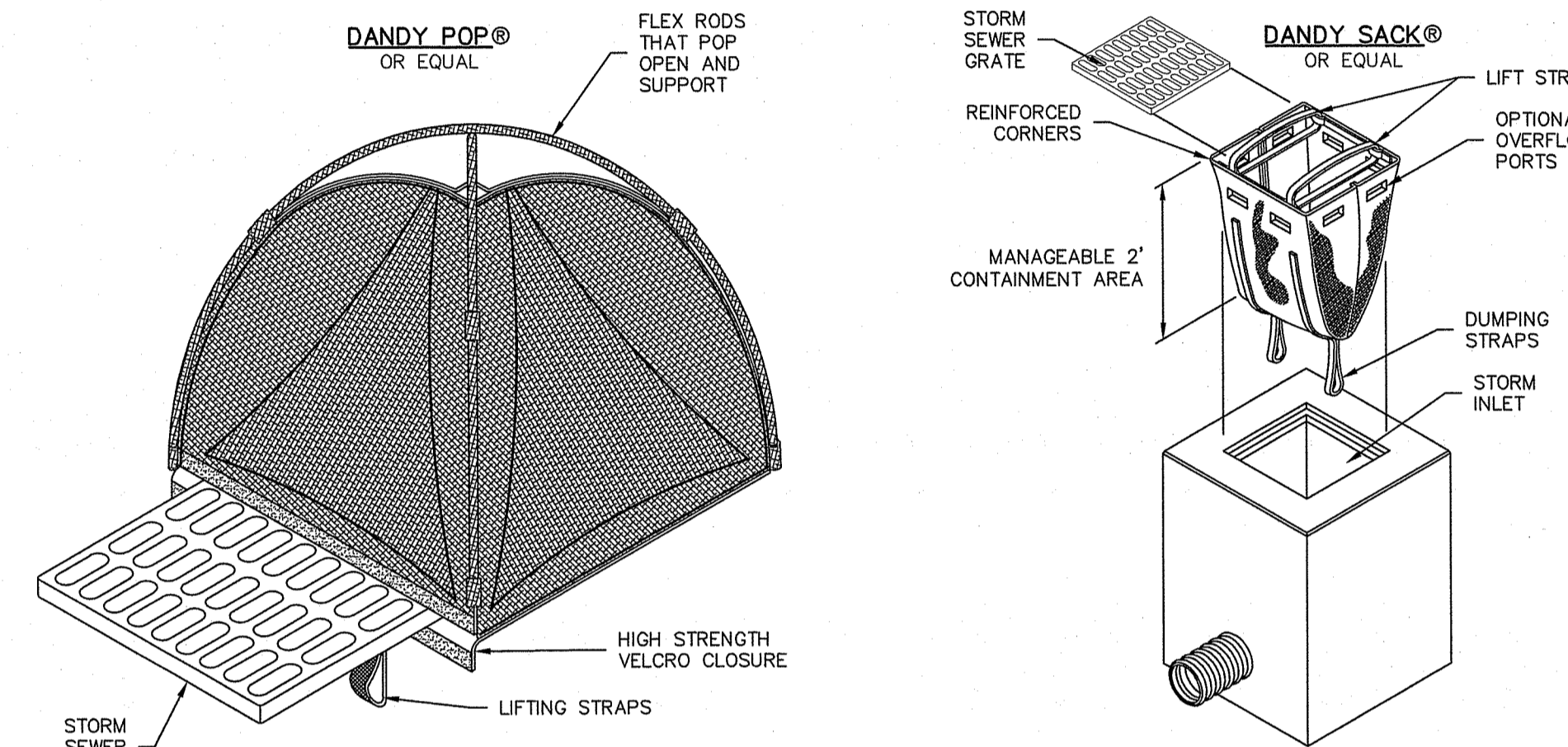
NOTES:
 1. THE VERTICAL SEPARATION BETWEEN THE WATER MAIN AND THE PROPOSED UTILITY SHOULD BE A MINIMUM OF 18".
 2. THE HORIZONTAL SEPARATION BETWEEN THE WATER MAIN AND THE PROPOSED UTILITY SHALL BE A MINIMUM OF 10".
 3. IF 1 OR 2 CAN NOT BE MAINTAINED THE PROPOSED UTILITY SHALL BE INSTALLED WITHIN A CARRIER PIPE UPON WRITTEN APPROVAL BY THE KCWA.
 4. SEWER MAIN AND SERVICES ARE NOT ALLOWED TO CROSS OVER THE TOP OF THE WATER MAIN.
 5. CONCRETE ENCASUREMENT IS NOT ALLOWED.
 6. FROM THE KENT COUNTY WATER AUTHORITY DETAIL DATE: 09/2006



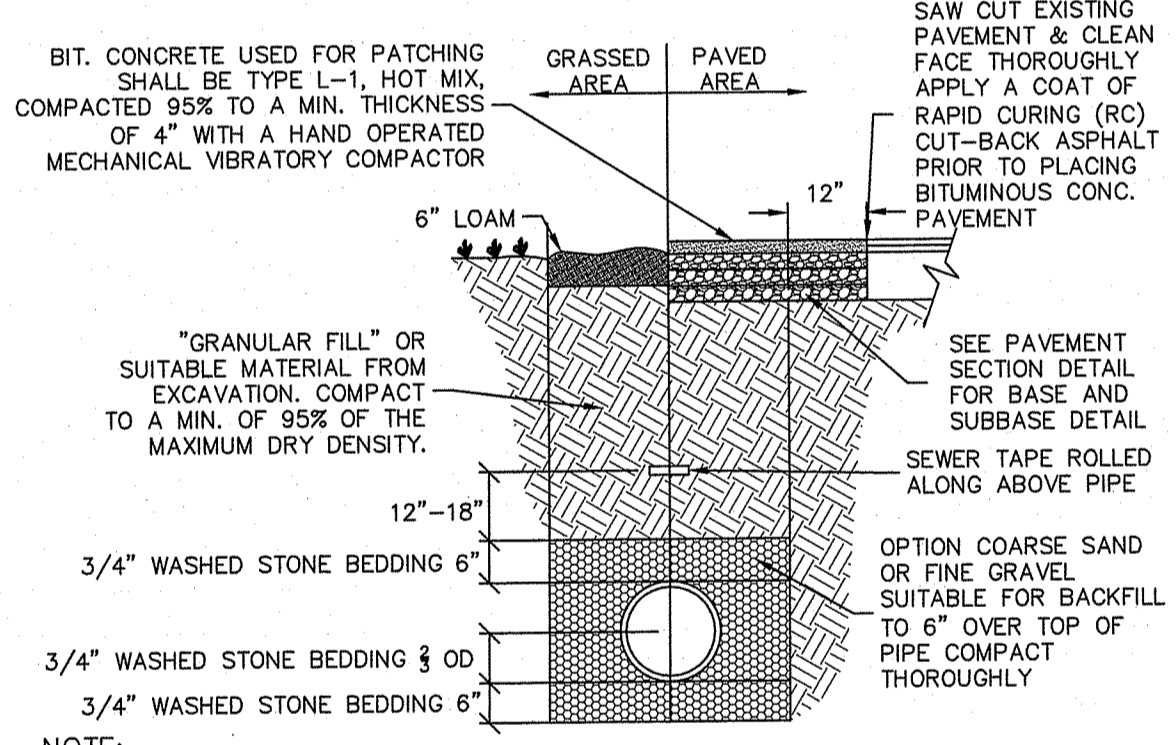
KCWA Utility Separation
 NOT TO SCALE



KCWA Trench Installation In Rock & Soil
 NOT TO SCALE



Inlet Sediment Control Devices
 NOT TO SCALE



NOTE:
 1. WIDTH (W) OF TRENCH IS EQUAL TO THE INSIDE DIAMETER OF THE PIPE PLUS 12".
 2. SOIL UNDER CRUSHED STONE FOUNDATION SHALL BE UNDISTURBED AND COMPACTED MATERIAL WITH SEVERAL PASSES OF A VIBRATORY PLATE COMPACTOR.
 3. CRUSHED STONE FOUNDATION 3/4" MAXIMUM SIZE, SHALL BE PLACED 6" UNDER THE PIPE AND UP TO THE PIPE LAID THEREON, CRUSHED STONE PULLED AGAINST THE PIPE SIDES TO FIRMLY HOLD THE PIPE IN PLACE.
 4. CRUSHED STONE HAUNCHING 3/4" MAXIMUM SIZE SHALL BE BROUGHT LEVEL TO THE TOP OF THE PIPE AND OUT TO THE TRENCH WALL AT THIS ELEVATION FOR ALL PIPE.

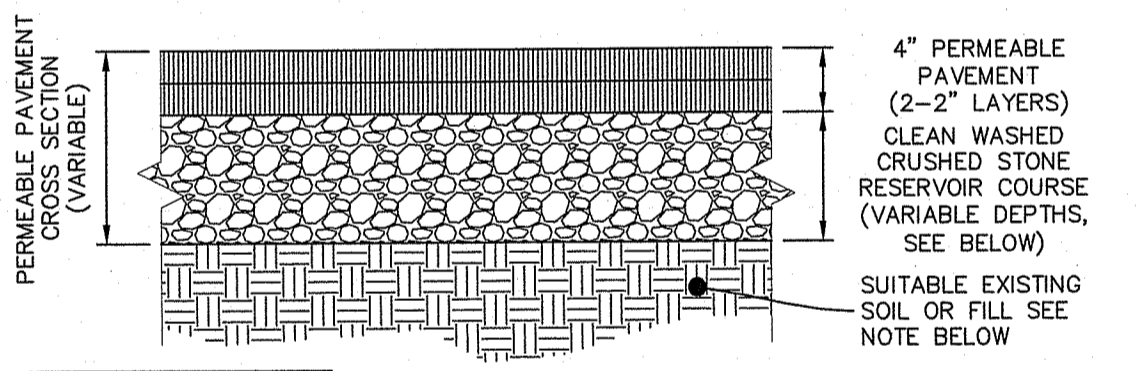
Sewer Line Trench Detail
 NOT TO SCALE

CONSTRUCTION, MAINTENANCE, & INSPECTION NOTES:

1. ROOF LEADERS ARE TO BE TIED INTO PROPOSED DRYWELLS.
2. DRYWELL AREA TO BE STAKED, MARKED, AND REMAIN UNDISTURBED PRIOR TO CONSTRUCTION. THERE IS TO BE NO CONSTRUCTION TRAFFIC ON DESIGNATED AREA PRIOR TO CONSTRUCTION.
3. PLACE FILTER FABRIC ALONG THE BOTTOM AND SIDES OF TRENCH AND FILL WITH CRUSHED, WASHED STONE.
4. OVERLAP FILTER FABRIC ON THE TOP OF THE FILTER STONE. BACK FILL WITH CLEAN FILL TO FINISH GRADE.
5. (*) MONITORING WATER LEVELS WITHIN THE INSPECTION PORT AT VARIOUS TIME INTERVALS AFTER A RAINFALL EVENT WILL INDICATE THE EFFECTIVENESS OF THE SYSTEM. IF WATER IS STANDING IN DRYWELL SYSTEM 72 HOURS AFTER A STORM EVENT, SYSTEM FAILURE HAS OCCURRED AND WILL REQUIRE FLUSHING, MAINTENANCE, REPAIR OR REPLACEMENT OF THE SYSTEM. THE OWNER WILL MAINTAIN THE DRAINAGE COMPONENTS.

SIZING NOTES:
 DRYWELLS SIZED USING HYDROCAD. SEE THE STORMWATER REPORT PREPARED BY DIPRETE ENGINEERING FOR SIZING AND GROUNDWATER TABLE DATA.

SYSTEM	PROPOSED GRADING ELEVATION	TOP OF DRYWELL	ELEVATION AT BOTTOM STONE OF DRYWELL	SEASONAL HIGH QWT ELEVATION	SEPARATION DISTANCE (FEET)
A	43.00±	41.75±	39.00±	37.00±	2.00±
B	44.00±	43.50±	41.50±	38.50±	2.50±
C	45.00±	44.50±	40.50±	38.25±	2.25±



NOTE: IF FILL IS REQUIRED FOR THE ROADWAY BEYOND THE FILTER COURSE, ASTM C-33 SAND MAY BE IMPORTED. ALTERNATIVELY, ON SITE SANDY LOAM OR LOAMY SAND MAY BE USED WITH APPROVAL FROM DESIGN ENGINEER.

Typical Permeable Pavement Cross Section (Driveway)
 NOT TO SCALE

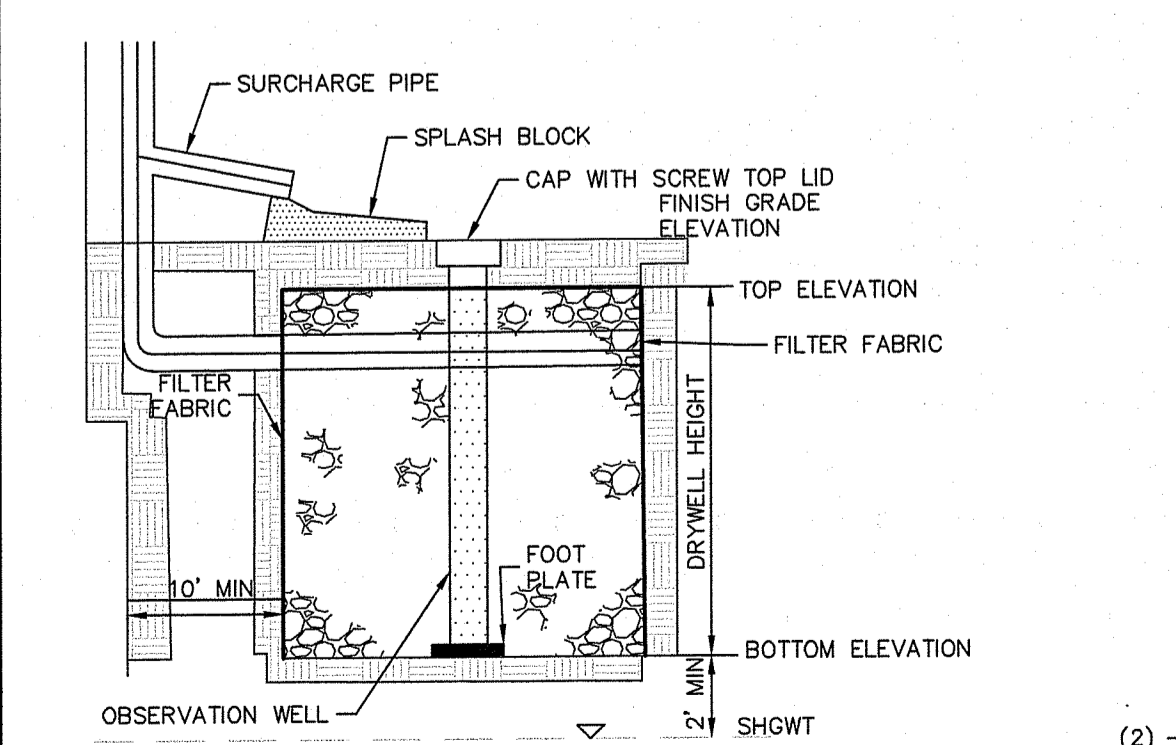
STANDARD SIEVE SIZE (INCHES)	CHOKER COURSE (AASHTO NO. 57)	FILTER COURSE (AASHTO NO. M-6)	RESERVOIR COURSE (AASHTO NO. 3)	PERVIOUS PAVEMENT
6				
2 1/2			100	
2			90-100	
1 1/2	100		35-70	
1	95-100		0-15	
3/4	-		-	100
1/2	25-60		0-5	85-100
3/8	-	100	-	55-75
#4	0-10	70-100	-	10-25
#8	0-5	-	-	5-10
#200	0	0-4	-	2-4

PERMEABLE PAVEMENT MATERIAL GRADATION (% PASSING)

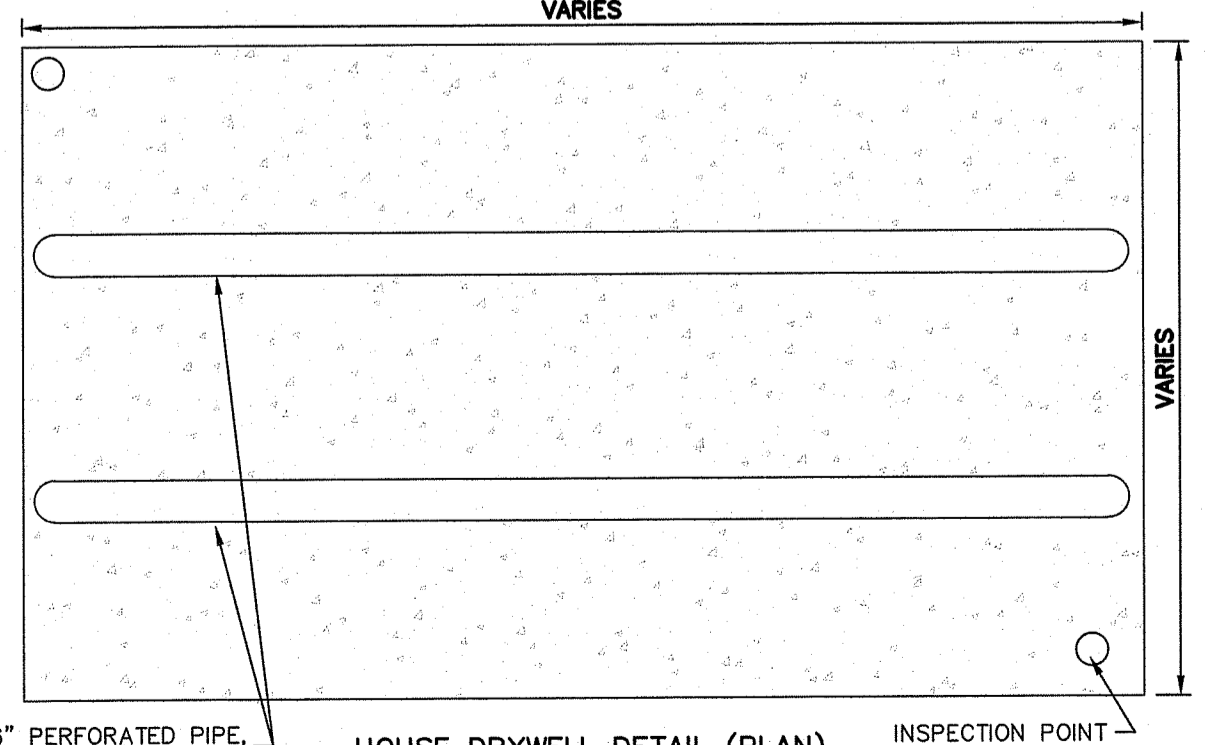
NOTES:
 1. ALL MATERIALS, METHODS OF CONSTRUCTION AND WORKMANSHIP SHALL CONFORM TO APPLICABLE REQUIREMENTS OF ASHTO, ASTM STANDARDS, AND RIDOT STANDARDS.
 2. ALL AREAS WHICH DRAIN TO PERMEABLE SURFACES SHALL BE COMPLETELY STABILIZED, INCLUDING LANDSCAPED AREAS, OR EROSION CONTROL MEASURES SHALL BE INSTALLED UPGRADIENT OF THE PERMEABLE SURFACE BEFORE PLACEMENT OF PERMEABLE SURFACE.
 3. PERMEABLE SURFACE SHALL NOT BE PLACED IN THE RAIN OR WHEN TEMPERATURES ARE BELOW 60°F.
 4. CHOKER COURSE, FILTER COURSE, AND RESERVOIR COURSE SHALL BE COMPACTED TO 95% COMPACTION PER ASTM D698.
 5. CONTRACTOR SHALL SUBMIT ALL MIX DESIGNS TO ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.
 6. ALL STONE AND GRAVEL MATERIAL BELOW THE PERMEABLE PAVEMENT SHALL BE WASHED.
 7. STRIPING PAINT SHALL BE LATEX, WATER-BASE EMULSION, READY-MIXED AND COMPLYING WITH PAVEMENT MARKING SPECIFICATIONS PS TP-P-1952.

Permeable Pavement Notes

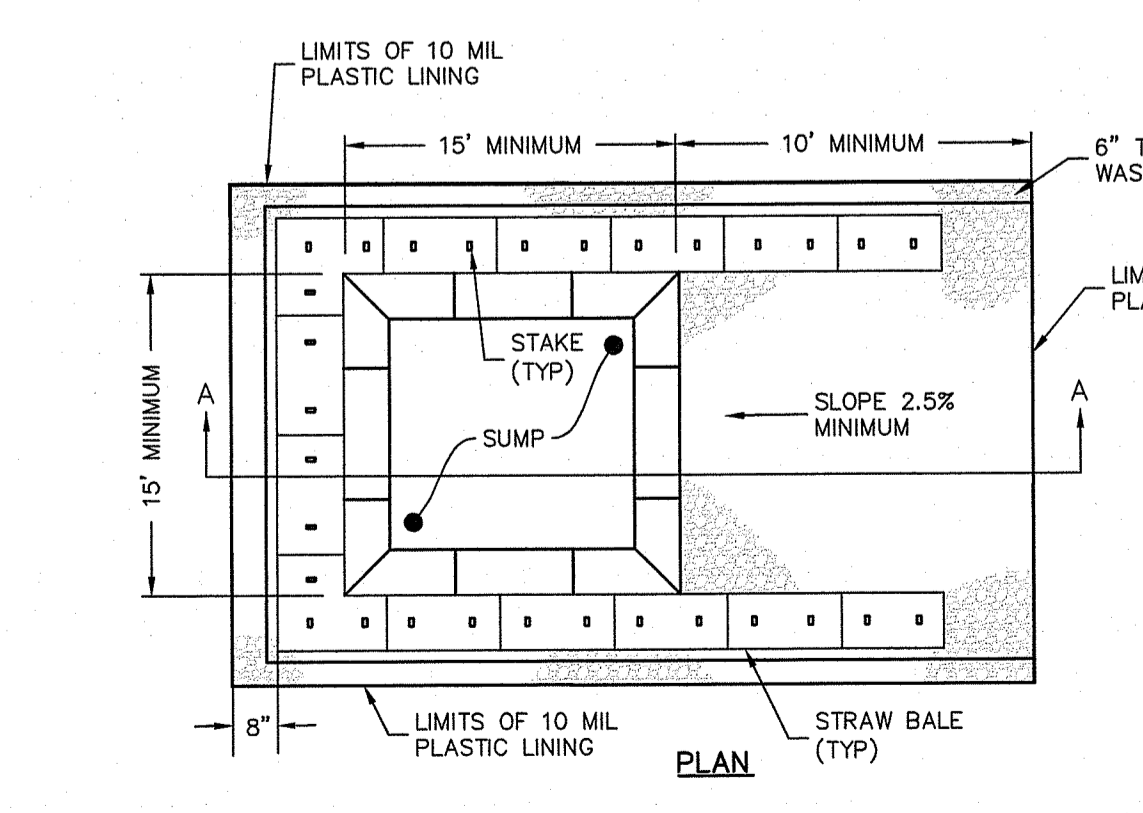
DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED AUG 19 2021 FILE # 21-001
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE
 Martin D. Weneck



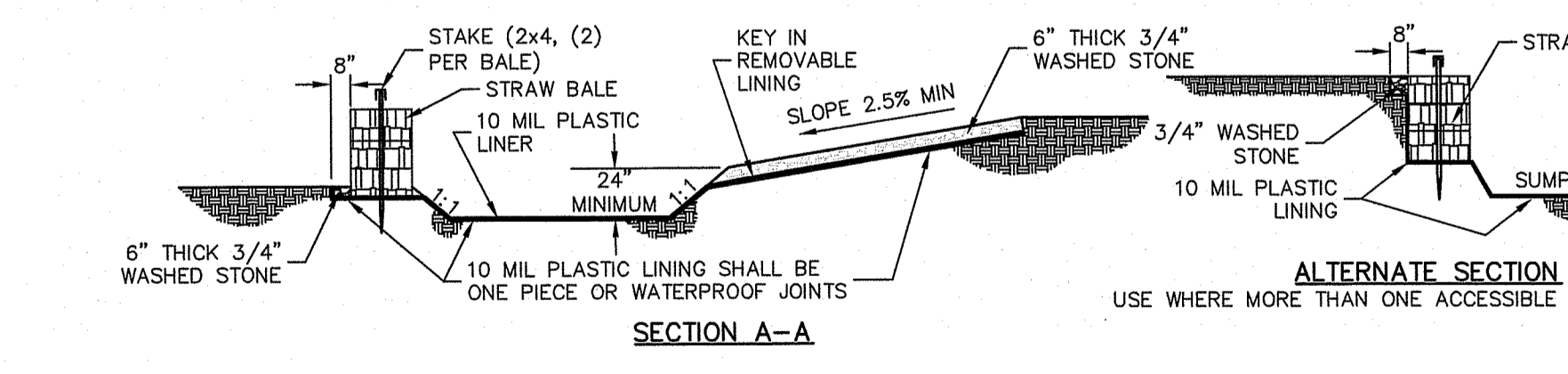
HOUSE DRYWELL DETAIL (PROFILE)
 NOT TO SCALE



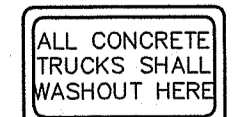
House Drywell Detail
 NOT TO SCALE



Concrete Washout Area
 NOT TO SCALE



NOTES:
 1. PIT IS SPECIFICALLY DESIGNATED, DIKED AND IMPERVIOUS CONTAINMENT TO PREVENT CONTACT BETWEEN CONCRETE WASH AND STORMWATER.
 2. WASH WATER SHALL NOT BE ALLOWED TO FLOW TO SURFACE WATER.
 3. FACILITY MUST HOLD SUFFICIENT VOLUME TO CONTAIN CONCRETE WASTE WITH A MINIMUM FREEBOARD OF 12".
 4. FACILITY SHALL NOT BE FILLED BEYOND 95% CAPACITY UNLESS A NEW FACILITY IS CONSTRUCTED.
 5. SAWCUT PORTLAND CEMENT CONCRETE, RESIDUE FROM SAWCUT AND GRINDING TO BE DISPOSED OF IN THE PIT.
 6. CONCRETE WASHOUTS SHALL BE LOCATED A MINIMUM OF 100' FROM DRAINAGE WAYS, INLETS, AND SURFACE WATERS.
 7. MANUFACTURED CONCRETE WASHOUT DEVICES MAY BE USED IF REMOVED FROM THE SITE WHEN 95% FULL CAPACITY.



WASHOUT SIGN

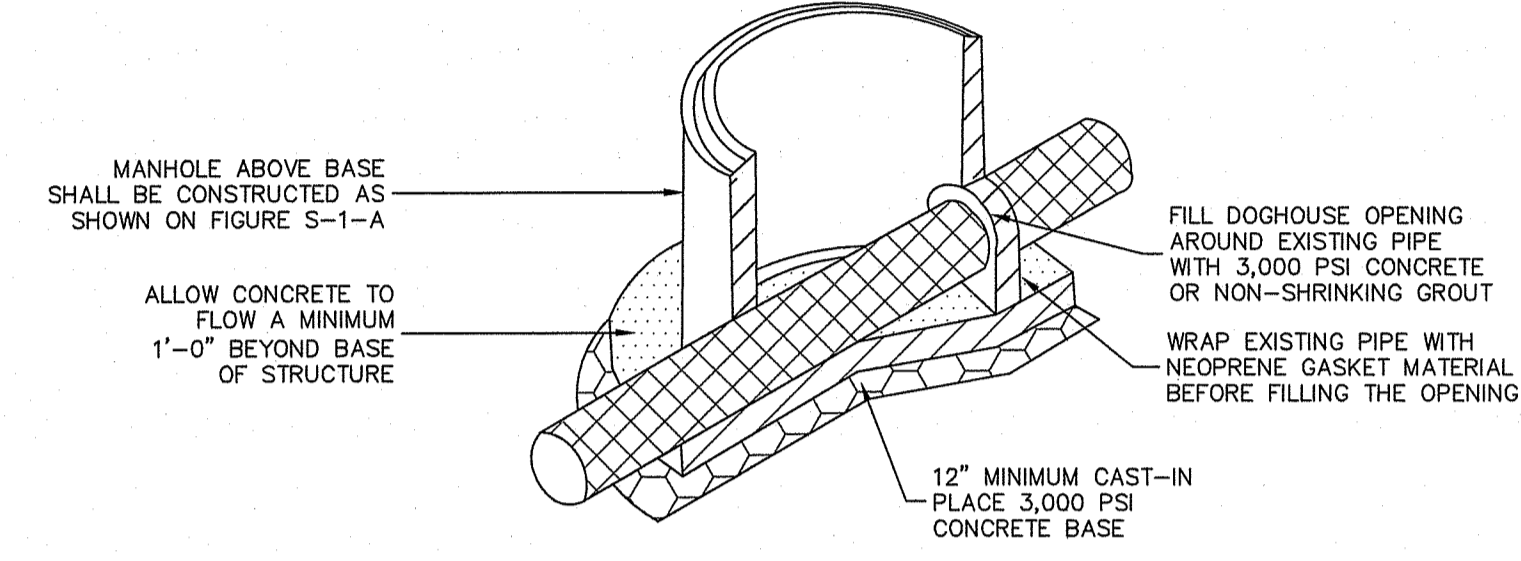
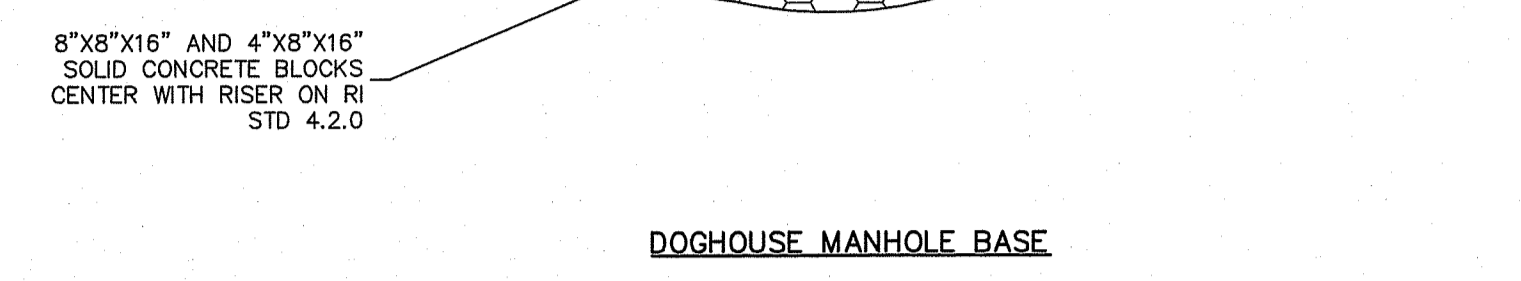
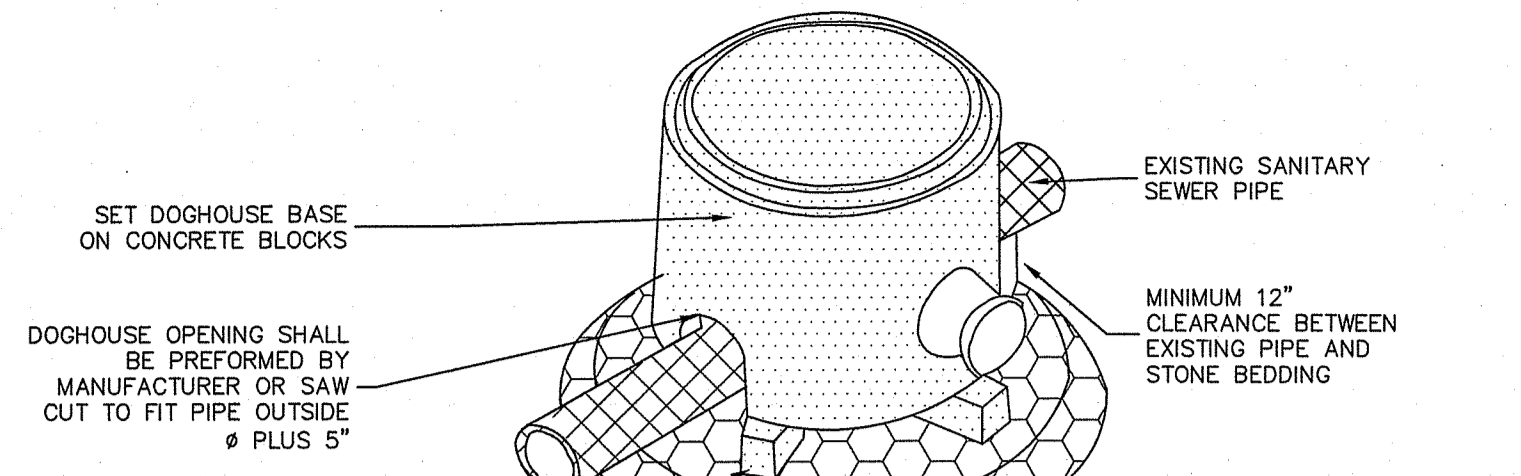
Concrete Washout Area
 NOT TO SCALE

Diprete Engineering
 Environmental Management
 JUL 26 2021
 Office of Water Resources
 Two Stafford Court, Cranston, RI 02910
 Tel: 401-943-1000 Fax: 401-464-6006 www.diprete-eng.com
 Boston • Providence • Newport

This plan set must not be used for construction purposes unless approved by the Professional Engineer of Diprete Engineering.
 Diprete Engineering only warrants plans on a Diprete Engineering title block, stamped by a registered Professional Engineer of Diprete Engineering. Diprete Engineering does not warrant plans by any other Professional Engineer.
 The user is responsible for all of the uses, methods, safety precautions and requirements, and OSHA compliance in the implementation of this plan and design.
 Existing utilities shown on this plan are approximate only. Diprete Engineering assumes no responsibility for damages incurred due to excavation of existing utilities. See utility notes on sheets 3.

No.	Date	Description	By:	Design By: D.E.N.
2	02/22/2021	RIEM Response to Comments	K.E.D.	
1	02/22/2021	Final Plan Submission	K.E.D.	
1	02/22/2021	Initial Plan Submission	K.E.D.	

Detail Sheet - 1
Coggeshall Preserve
 East Coe Rd., Rhode Island
 Assessor's Map 54, Plat 11, Lot 66
 Prepared for:
Philip Ryan Homes Ltd.
 806 Middle Road, Unit 6, East Greenwich, Rhode Island 02818
 Tel: 401-942-6166
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 SHEET 8 OF 46



- NOTES:**
- CONSTRUCT A FORMED INVERT FROM NEW SEWER LINE TO ALLOW FLOW TO THE EXISTING PIPE.
 - POUR A SHELF TO THE LOWER HALF OF THE EXISTING PIPE.
 - CUT AND REMOVE THE TOP HALF OF EXISTING PIPE TO WITHIN 6" OF THE MANHOLE WALLS AFTER THE INVERT AND SHELF HAVE BEEN FORMED AND THE MANHOLE HAS BEEN FULLY TESTED IN ACCORDANCE WITH THE SEWER AUTHORITY SPECIFICATIONS.

Typical Manhole Base (Doghouse Installation)

NOT TO SCALE

Sewer Line/Water Main Separation Policy for Design Of Sanitary Sewers

A. LATERAL PLACEMENT OF SEWERS AND WATER MAINS

SEWERS SHALL BE LAID AT LEAST 10' HORIZONTALLY FROM ANY EXISTING OR PROPOSED WATER MAIN. THE DISTANCE SHALL BE MEASURED OUTSIDE EDGE-TO-OUTSIDE EDGE. THERE IS NO MINIMUM VERTICAL SEPARATION REQUIRED PROVIDED THE 10' HORIZONTAL SEPARATION IS MAINTAINED.

IN CASES WHERE IT IS NOT POSSIBLE TO MAINTAIN A 10' HORIZONTAL SEPARATION, THE DIVISION MAY ALLOW DEVIATION ON A CASE BY CASE BASIS, IF SUPPORTED BY DATA FROM THE DESIGN ENGINEER. SUCH DEVIATION MAY ALLOW INSTALLATION OF THE SEWER CLOSER TO A WATER MAIN, PROVIDED THAT:

- THE SEWER AND WATER MAIN ARE LAID IN SEPARATE TRENCHES, OR
- THE SEWER AND WATER MAIN MAY BE INSTALLED IN THE SAME TRENCH WITH THE WATER MAIN PLACED ON A BENCH OF UNDISTURBED EARTH, AND
- IN EITHER CASE, THE CROWN OF THE SEWER SHALL BE AT LEAST 18" BELOW THE INVERT OF THE WATER MAIN.

IN SITUATIONS WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER HORIZONTAL AND VERTICAL SEPARATION AS STIPULATED ABOVE, THE FOLLOWING PROTECTION SHALL BE PROVIDED:

- ENCASEMENT OF THE SEWER PIPE IN CONCRETE (MINIMUM 6" THICKNESS) OR A CARRIER PIPE FOR AT LEAST 10' EITHER SIDE OF THE AREA NOT COMPLYING WITH THE MINIMUM HORIZONTAL AND VERTICAL SEPARATION, OR
- DESIGN AND CONSTRUCTION OF THE SEWER EQUAL TO WATER MAIN PIPE (CEMENT-LINED DUCTILE IRON OR OTHER AWWA-APPROVED MATERIAL FOR POTABLE WATER CONVEYANCE), AND PRESSURE TESTED IN ACCORDANCE WITH AWWA SPECIFICATIONS.

B. SEWERS CROSSING WATER MAINS

SEWERS CROSSING OVER WATER MAINS SHOULD BE AVOIDED, BUT IF CONDITIONS WARRANT THIS SITUATION, THEN ADEQUATE STRUCTURAL SUPPORT SHALL BE PROVIDED FOR THE SEWER TO MAINTAIN LINE AND GRADE. SEWERS CROSSING UNDER WATER MAINS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL SEPARATION OF 18" BETWEEN THE INVERT OF THE WATER MAIN AND THE CROWN OF THE SEWER. THE CROSSING SHALL BE ARRANGED SO THAT SEWER JOINTS WILL BE EQUIDISTANT AND AS FAR AS POSSIBLE FROM THE WATER MAIN JOINTS.

WHERE CONDITIONS PREVENT AN 18" VERTICAL SEPARATION FROM BEING MAINTAINED, THE FOLLOWING METHODS SHALL BE SPECIFIED:

- THE SEWER SHALL BE DESIGNED AND CONSTRUCTED EQUAL TO WATER MAIN PIPE (CEMENT-LINED DUCTILE IRON PIPE, PVC OR OTHER AWWA APPROVED MATERIAL FOR POTABLE WATER CONVEYANCE) FOR A DISTANCE OF 12' ON EACH SIDE OF THE CROSSING, MEASURED PERPENDICULAR TO THE WATER MAIN AND PRESSURE TESTED IN ACCORDANCE WITH AWWA SPECIFICATIONS, OR
- EITHER THE WATER MAIN OR THE SEWER MAY BE ENCASED IN CONCRETE (MINIMUM 6" THICKNESS) OR A CARRIER PIPE FOR A DISTANCE OF 12' ON EACH SIDE OF THE CROSSING, MEASURED PERPENDICULAR TO THE WATER MAIN. THE CARRIER PIPE SHALL BE DESIGNED AND CONSTRUCTED OF MATERIALS WHICH ARE SATISFACTORY TO THE DIVISION, OR
- ANY OTHER METHODS, IF SUPPORTED BY DATA FROM THE DESIGN ENGINEER, WHICH ENSURE ADEQUATE WATER TIGHTNESS AND ARE SATISFACTORY TO THE DIVISION.

ALL COMPONENTS OF THE WATER SYSTEMS AND ANY CROSSING UTILITIES MUST BE AS-BUILT PRIOR TO COVERING. ENGINEER TO BE NOTIFIED PRIOR TO COVERING TO SURVEY AS-BUILT LOCATIONS. ENGINEER WILL NOT ACCEPT FIELD MEASUREMENTS FROM THE SITE CONTRACTOR.

KCWA As-Built Notes

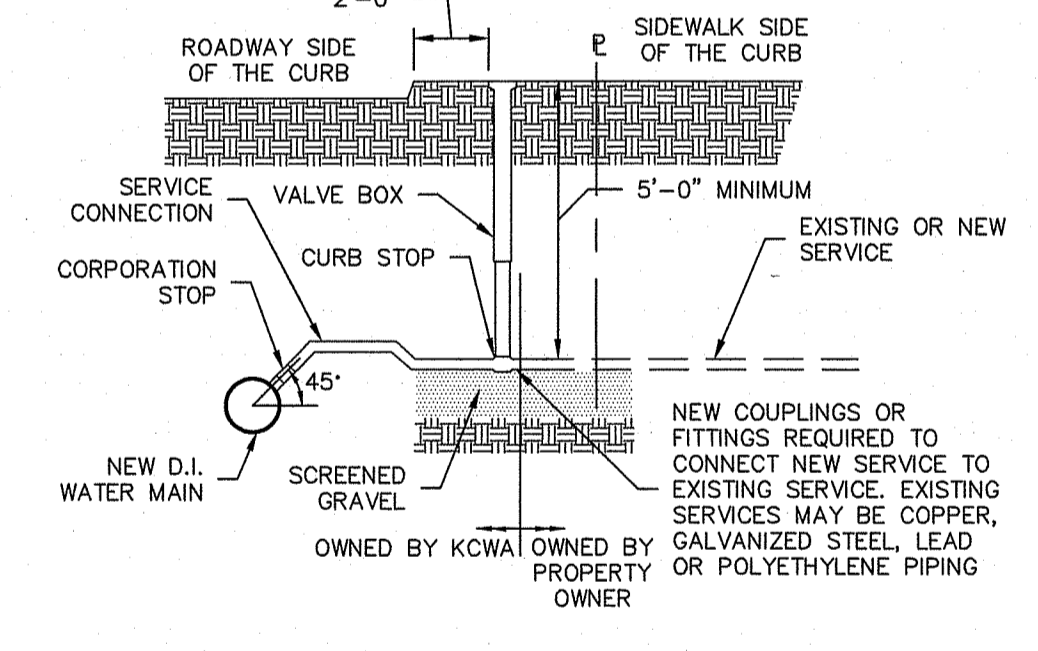
NOT TO SCALE

- INSTALLATION OF WATER MAIN AND SERVICE SHALL CONFORM TO THE "RULES AND REGULATIONS OF THE KENT COUNTY WATER AUTHORITY" SEPTEMBER 20, 2006, OR LATEST EDITION, AND IN ACCORDANCE WITH THE DUCTILE IRON PIPE RESEARCH ASSOCIATION INSTALLATION MANUAL AND ANSI/AWWA C600.
- DISTRIBUTION PIPING SHALL BE CL 52 DUCTILE IRON, DOUBLE CEMENT LINED, WITH PUSH ON JOINTS. PIPE SHALL MEET ANSI/AWWA C151 A21.51. JOINTS SHALL MEET ANSI/AWWA C11/A21.11.
- FITTINGS SHALL BE DUCTILE IRON MECHANICAL JOINT CL350 CEMENT MORTAR LINED AND MEET ANSI/AWWA/C153/A21.53. MECHANICAL JOINTS SHALL MEET ANSI/AWWA/C11/A21.11 AMERICAN MANUFACTURER ONLY.
- VALVES SHALL BE MECHANICAL JOINT, DOUBLE DISC PARALLEL SEAT OR RESILIENT SEAT GATE STYLES AS FOLLOWS:
 - MUELLER CORPORATION DOUBLE DISC PARALLEL SEAT.
 - AMERICAN DARLING VALVE RESILIENT SEAT MODEL CRS-80.
- PRESSURE TEST OF THE WATER SYSTEM SHALL BE 1.5 TIMES THE MAXIMUM WORKING PRESSURE OR 150 PSI. NOTIFY KENT COUNTY WATER AUTHORITY 2 DAYS PRIOR TO TEST AS APPLICABLE.
- NOTIFY THE KENT COUNTY AUTHORITY 5 DAYS PRIOR TO CONSTRUCTION COMMENCEMENT.
- CHLORINATION OF SYSTEM AND SAMPLING SHALL CONFORM TO SEC. 3.5 OF REQUIREMENTS FOR SERVICE AND MAIN INSTALLATION.
- NOTIFY ENGINEER PRIOR TO COVERING OF WATER SERVICE TO SURVEY AS-BUILT LOCATION AND TO COMPLETE REQUIRED AS-BUILT PLAN. ENGINEER WILL NOT ACCEPT FIELD MEASUREMENTS FROM THE CONTRACTOR.
- WATER SERVICE INSTALLATIONS GREATER THAN 200' MUST HAVE A METER PIT.
- TEMPORARY FLUSHING CONNECTIONS AND BLOW-OFFS SHALL BE SIZED TO PROVIDE 3.0- FEET PER SECOND FLOW PER AWWA STANDARD 651
- CONTRACTOR RESPONSIBLE TO COORDINATE WITH PLUMBING OFFICIAL FOR DISINFECTION OF SERVICE PIPE EXTENDING FROM CURB BOX TO HOME PER STATE PLUMBING CODE AND KENT COUNTY WATER AUTHORITY REGULATIONS. WATER SERVICE CANNOT BE ACTIVATED WITHOUT COPY OF LAB RESULTS AND PLUMBING INSPECTOR'S VERIFICATION.
- PRESSURE-REDUCING VALVES ARE REQUIRED AT ALL BUILDINGS PER RI BUILDING CODE.

KCWA Water Installation Notes

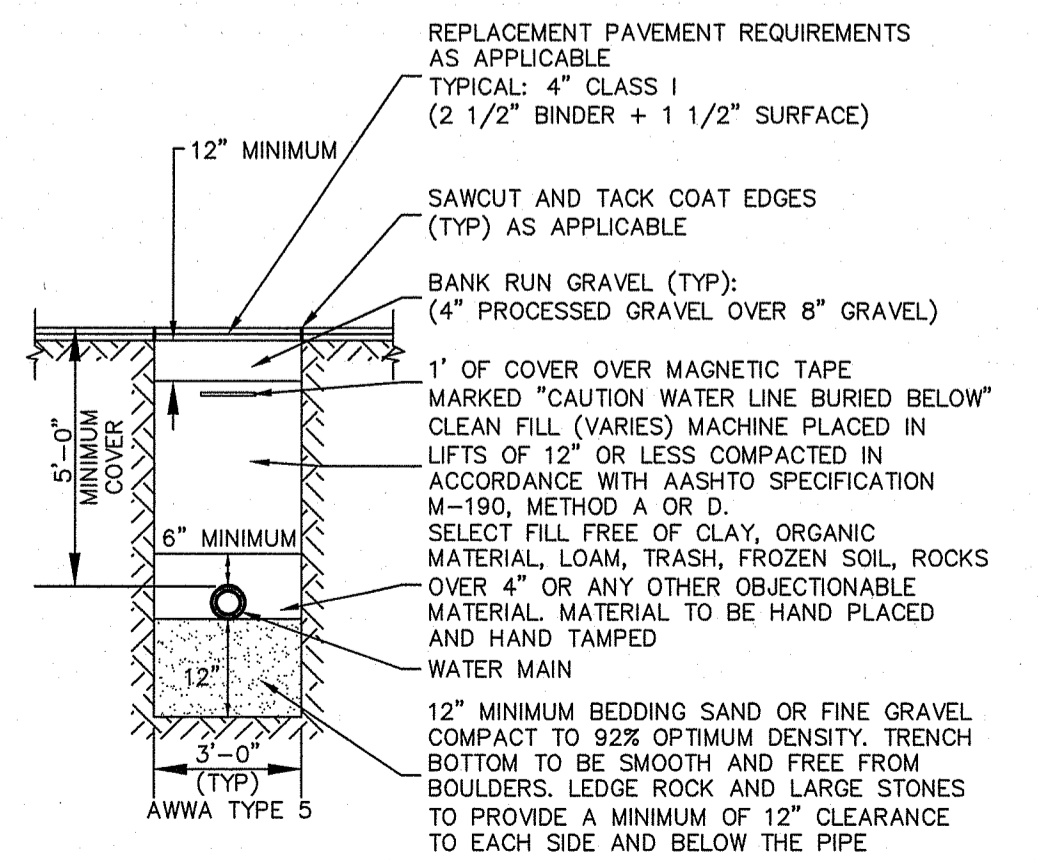
NOT TO SCALE

- NOTES:**
- SERVICE MATERIALS PER KCWA SPECIFICATIONS UNLESS CITY OR TOWN CODES REQUIRE SPECIFIC MATERIALS THAT HAVE BEEN APPROVED BY KCWA.
 - SERVICE LINE FROM CURB BOX TO BUILDING SHALL BE INSPECTED, TESTED AND APPROVED BY THE LOCAL PLUMBING INSPECTOR.
 - FROM KENT COUNTY WATER AUTHORITY DETAIL DATE: 09-2006



KCWA Service Connection

NOT TO SCALE



Water Trench Detail

NOT TO SCALE

KENT COUNTY WATER AUTHORITY RULES AND REGULATIONS 3.14.6

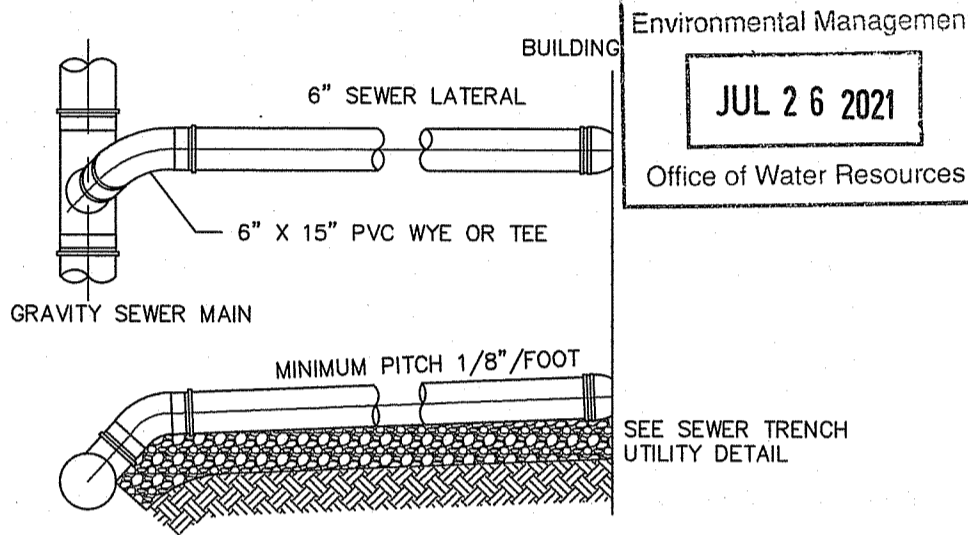
A MINIMUM OF TEN- FEET HORIZONTAL AND EIGHTEEN-INCH VERTICAL SEPARATION SHALL BE MAINTAINED IN THE PLACEMENT OF WATER MAINS, SERVICES OR APPURTENANCES WITHIN THE VICINITY OF SEWER FACILITIES OR VICE VERSA. IN CASES WHERE IT IS NOT POSSIBLE TO MAINTAIN A 10-FOOT, HORIZONTAL SEPARATION OR IN THE CASE OF CROSSING THE EIGHTEEN-INCH, VERTICAL SEPARATION, A DEVIATION FROM THIS RESTRICTION MAY BE ALLOWED ON A CASE BY CASE BASIS WITH PRIOR APPROVAL FROM THE GENERAL MANAGER/CHIEF ENGINEER AS TO THE PROPOSED MATERIALS AND INTERVENTIONS TO BE TAKEN TO PROTECT THE WATER SYSTEM FROM THE POSSIBILITY OF CONTAMINATION.

KENT COUNTY WATER AUTHORITY RULES AND REGULATIONS 3.21.18

WATER MAINS SHALL BE LAID WITH A MINIMUM OF TEN-FOOT HORIZONTAL CLEARANCE FROM ANY EXISTING SEWER FACILITIES. THE DISTANCE SHALL BE MEASURED EDGE TO EDGE. WATER MAINS CROSSING UNDER SEWERS SHALL BE FORBIDDEN. WATER MAINS CROSSING OVER SEWERS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL SEPARATION OF EIGHTEEN-INCHES BETWEEN THE INVERT OF THE WATER MAIN AND THE CROWN OF THE SEWER. RE-ALIGNMENT OF AN EXISTING WATER MAIN OR RELOCATION OF THE SEWER MAY BE NECESSARY TO ACHIEVE THIS VERTICAL SEPARATION. THE GENERAL MANAGER/CHIEF ENGINEER MUST APPROVE ANY DEVIATION FROM THESE REQUIREMENTS. CONCRETE ENCASEMENT SHALL NOT BE ALLOWED IN THE DESIGN FOR SEWER AND WATER CROSSINGS.

Sewer Line/Water Line Separation Policy

NOT TO SCALE



- NOTES:**
- ALL PIPE AND FITTINGS SHALL BE GASKETED 6" SDR 35 PVC PIPE.
 - ALL PVC CLEANOUTS SHALL BE SLEEVED WITH A CAST-IRON BOX SET FLUSH WITH THE FINAL GRADE. COVERS SHALL BE INSCRIBED WITH THE WORD "SEWER."

Sewer Wye Detail

NOT TO SCALE

- THE OWNER, PLUMBER AND/OR PLUMBING OFFICIAL SHALL COORDINATE ACTIVITIES BY CONTACTING THE KENT COUNTY WATER AUTHORITY FIVE WORKING DAYS PRIOR TO CONDUCTING THE DISINFECTION PROCESS TO:
 - OBTAIN AUTHORIZATION TO TEMPORARILY CONNECT TO THE PUBLIC WATER SYSTEM IF AN ALTERNATIVE SUPPLY IS NOT USED.
 - ARRANGE FOR A REPRESENTATIVE OF THE AUTHORITY TO EXAMINE THE ISOLATED CONNECTION TO THE PUBLIC WATER SYSTEM.
 - OBTAIN A READING FROM THE TEMPORARY METER (IF USED).
 - COORDINATE ACTIVATION OF THE WATER CONNECTION TO COMPLETE THE DISINFECTION AND SAMPLE RETRIEVAL PROCESS.
- THE SERVICE PIPE SHALL BE FLUSHED WITH CLEAN POTABLE WATER SUPPLIED BY THE CONTRACTOR OR FROM AN ISOLATED CONNECTION TO THE KENT COUNTY WATER AUTHORITY SYSTEM UNTIL ALL DELETERIOUS MATERIAL IS REMOVED. IF THE CONTRACTOR CHOOSES TO USE THE PUBLIC WATER SYSTEM, THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE A SUITABLE, ISOLATED CONNECTION TO THE AUTHORITIES SYSTEM FROM THE NEW SERVICE PIPE.
- FILL THE SERVICE PIPING THEREOF WITH A CHLORINE SOLUTION CONTAINING AT LEAST 50 PARTS PER MILLION CHLORINE. ONCE THE CHLORINE CONCENTRATION IN THE EFFLUENT DISCHARGE REVEALS THE PROPER CONCENTRATION, THE SYSTEM SHALL BE VALVED OFF AND ALLOWED TO STAND FOR THE REQUIRED TIME.
- FOLLOWING THE REQUIRED STANDING TIME, THE SERVICE PIPE SHALL BE FLUSHED WITH CLEAN POTABLE WATER UNTIL THE CHLORINE IS PURGED FROM THE SERVICE PIPING. TWO SETS OF SAMPLES OF ACCEPTABLE SAMPLES, TAKEN AT A MINIMUM OF 24 HOUR APART SHALL BE ANALYZED. THE CUSTOMER SHALL ELICIT THE SERVICES OF A LABORATORY CERTIFIED BY THE RHODE ISLAND DEPARTMENT OF HEALTH TO ANALYZE THE WATER SAMPLES USING MEMBRANE FILTER TECHNIQUE SM9222B19EDT FOR COMPLIANCE WITH RHODE ISLAND DEPARTMENT OF HEALTH COLIFORM REGULATIONS, AND STANDARD HETEROTROPHIC PLATE COUNT TEST. THIS REQUIRES TWO (2) SAMPLE BOTTLES PER SET OF SAMPLES, ONE FOR THE COLIFORM TEST AND ONE OF THE HETEROTROPHIC PLATE COUNT. THE RI DEPARTMENT OF HEALTH HAS A LISTING OF CERTIFIED LABORATORIES. THE SAMPLE RETRIEVAL SHALL BE CONDUCTED UNDER THE PURVIEW OF THE LOCAL PLUMBING OFFICIAL PER THE REQUIREMENTS CONTAINED IN THE RHODE ISLAND STATE PLUMBING CODE.
- THE DISINFECTION PROCESS SHALL BE REPEATED UNTIL THE RESULTS OF THE BACTERIOLOGICAL TESTING CONFIRM COMPLIANCE WITH THE RHODE ISLAND DEPARTMENT OF HEALTH DRINKING WATER QUALITY STANDARDS AND HETEROTROPHIC PLATE COUNT CONSISTENT WITH KENT COUNTY WATER AUTHORITY QUALITY.
- THE WATER SERVICE APPLICANT MUST PROVIDE THE AUTHORITY WITH COPIES OF THE SATISFACTORY LABORATORY TEST RESULTS AND INSPECTION VERIFICATION LETTER (PER SECTION 107 OF PLUMBING CODE) FROM THE LOCAL PLUMBING OFFICIAL, BEFORE PERMISSION WILL BE GRANTED TO COMPLETE THE PERMANENT CONNECTION TO THE PUBLIC WATER SYSTEM.
- ALL CONNECTION MATERIALS SHALL BE KEPT FREE OF ANY POTENTIAL CONTAMINATION AND BE SWABBED WITH CHLORINE SOLUTION PRIOR TO CONNECTION TO THE NEWLY DISINFECTED SERVICE.

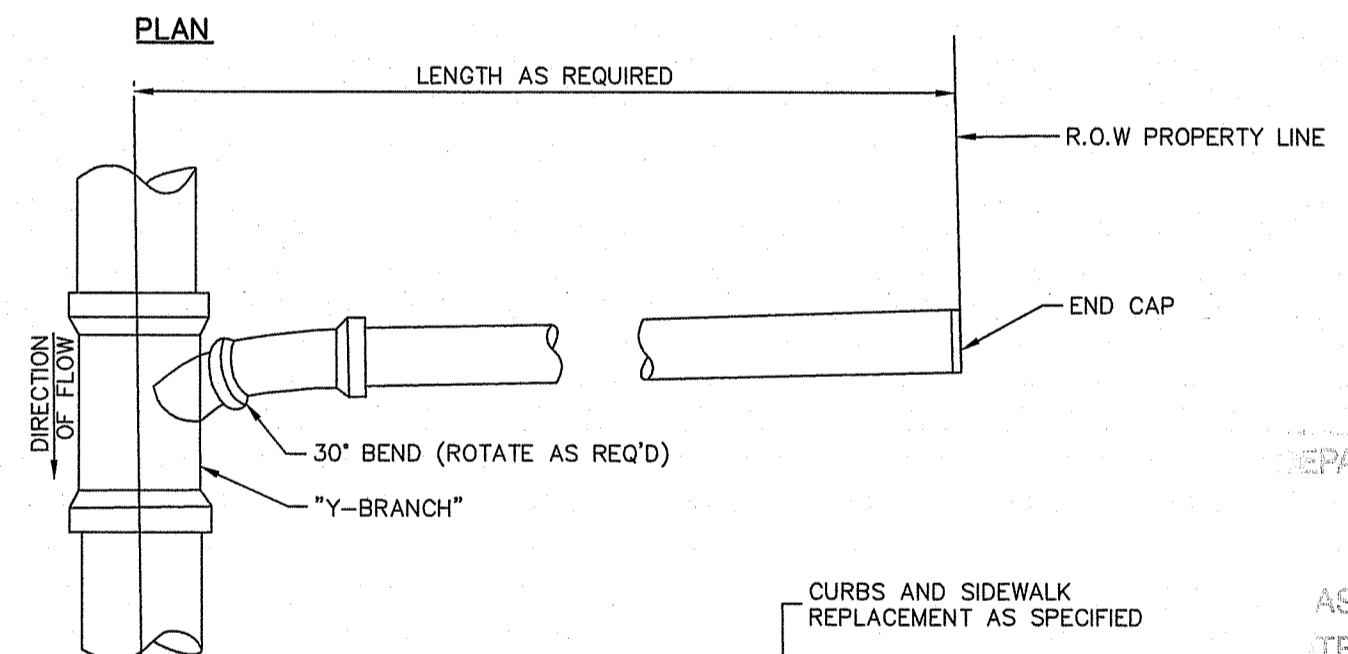
Customer Water Service Disinfection Policy

NOT TO SCALE

Chlorination & Disinfection Policy*

NOT TO SCALE

* TAKEN FROM SECTION 3.23 OF THE "RULES AND REGULATIONS OF THE KENT COUNTY WATER AUTHORITY" DATED SEPTEMBER 20, 2006.



Sewer Connection Detail

NOT TO SCALE

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED AUG 19 2021 FILE # 21-0001
CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Martin Jensen

DiPrete Engineering
Two Stafford Court, Cranston, RI 02920
Tel: 401-943-1000 Fax: 401-664-6006 www.diprete-eng.com

Environmental Management
Office of Water Resources
JUL 26 2021

6" SEWER LATERAL
6" x 15" PVC WYE OR TEE
GRAVITY SEWER MAIN
MINIMUM PITCH 1/8" FOOT
SEE SEWER TRENCH UTILITY DETAIL

NOTES:

- ALL PIPE AND FITTINGS SHALL BE GASKETED 6" SDR 35 PVC PIPE.
- ALL PVC CLEANOUTS SHALL BE SLEEVED WITH A CAST-IRON BOX SET FLUSH WITH THE FINAL GRADE. COVERS SHALL BE INSCRIBED WITH THE WORD "SEWER."

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DiPrete Engineering only warrants plans on a DiPrete Engineering title block stamped by registered Professional Engineer of DiPrete Engineering. DiPrete Engineering does not warrant plans by any other party.

The contractor is responsible for all of the means, methods, safety precautions and requirements, and OSHA conformance in the implementation of this plan and design.

Existing utilities shown on this plan are approximate only. DiPrete Engineering does not warrant the accuracy of existing utility locations of existing utilities. See Utility Waiver on sheet.

No.	Date	Description	By:	Design By:
1	07-23-2021	WORK RESPONSE TO COMMENTS	K.E.D.	D.R.N.
2	07-23-2021	WORK RESPONSE TO COMMENTS	K.E.D.	D.R.N.
3	12-12-2020	WORK RESPONSE TO COMMENTS	K.E.D.	D.R.N.
4	12-12-2020	WORK RESPONSE TO COMMENTS	K.E.D.	D.R.N.

Drawn By: R.L.S.

Detail Sheet - 2

Coggeshall Preserve
East Greenwich, Rhode Island

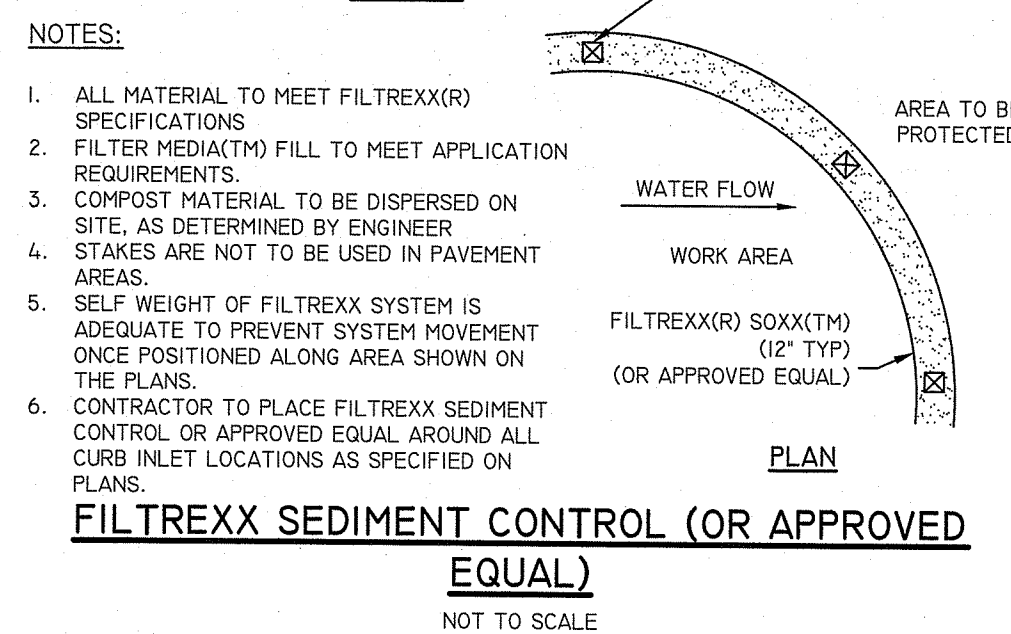
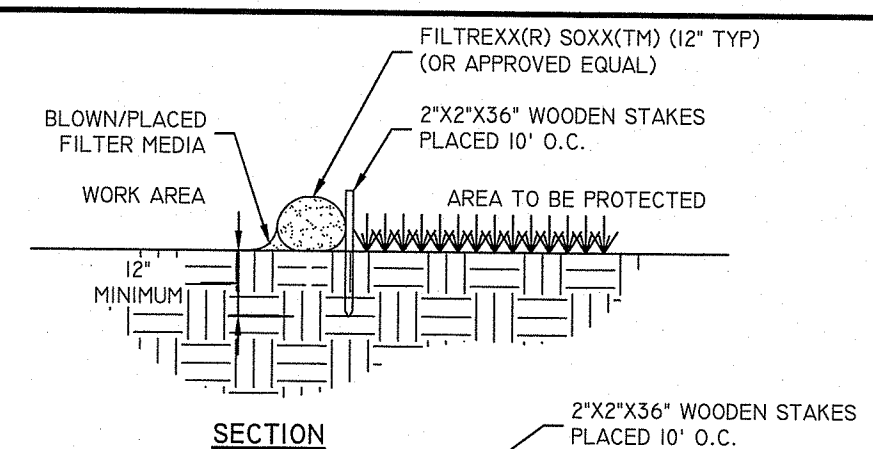
Prepared for:
Philip Ryan Homes Ltd.
84c Middle Road, Unit 6, East Greenwich, Rhode Island 02818
Tel: 401-742-1616

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Environmental Management
 JUL 26 2021
 Office of Water Resources

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
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 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED AUG 19 2021 FILE # 21-0001
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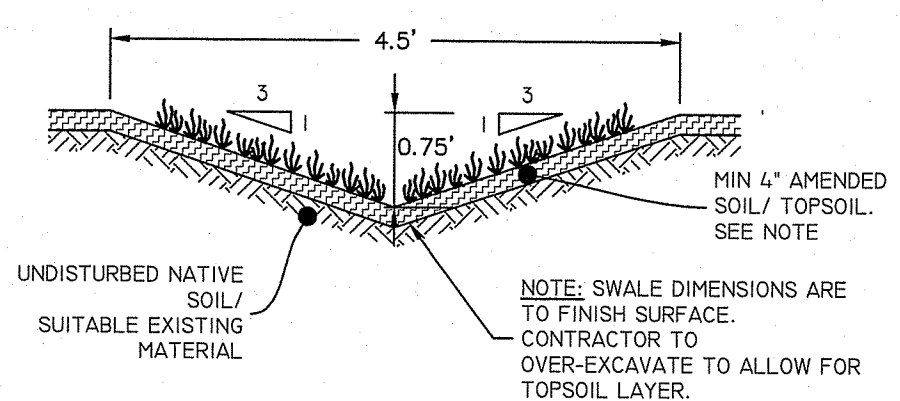
Walter J. Jensen



- NOTES:
1. ALL MATERIAL TO MEET FILTREXX(R) SPECIFICATIONS
 2. FILTER MEDIA(TM) FILL TO MEET APPLICATION REQUIREMENTS
 3. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER
 4. STAKES ARE NOT TO BE USED IN PAVEMENT AREAS.
 5. SELF WEIGHT OF FILTREXX SYSTEM IS ADEQUATE TO PREVENT SYSTEM MOVEMENT ONCE POSITIONED ALONG AREA SHOWN ON THE PLANS.
 6. CONTRACTOR TO PLACE FILTREXX SEDIMENT CONTROL, OR APPROVED EQUAL AROUND ALL CURB INLET LOCATIONS AS SPECIFIED ON PLANS.

FILTREXX SEDIMENT CONTROL (OR APPROVED EQUAL)

NOT TO SCALE



GRASS SWALE CROSS SECTION

NOT TO SCALE

Detail Sheet - 3

Coggeshall Preserve
 East Greenwich, Rhode Island
 Assessor's Map 54, Plat 11 Lot 66
 Prepared for
Philip Ryan Homes Ltd.
 836 Middle Road, Unit 6, East Greenwich, Rhode Island 02818
 Tel: 401-742-1616

DE Job No: 2470-001. Copyright 2020 by DiPrete Engineering Associates, Inc.

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Existing utilities shown on this plan are approximate only. DiPrete Engineering does not warrant the accuracy of these utilities due to the location of existing utilities. See 'Utility Map' on sheet 02.

No.	Date	Description	By:
2	02-23-2021	ISSUED FOR CONSTRUCTION	K.E.D.
1	02-22-2021	WORK AND SHOP SUBMISSION	K.E.D.
0	02-12-2020	PRELIMINARY SUBMISSION	K.E.D.

Design By: D.R.N.
 Drawn By: E.B.S.

Maplewood Drive

Soil Erosion Control Legend:

EROSION CONTROL (COMPOST SOCK, SILT FENCE (R1 SD 9.2.0) OR APPROVED EQUAL)

LIMIT OF DISTURBANCE*

* THE PROPOSED LIMIT OF DISTURBANCE IS REPRESENTED BY THE VARIOUS HATCHED AREAS. NO WORK IS PROPOSED OUTSIDE OF THESE AREAS UNLESS OTHERWISE SPECIFIED ON THE PLAN. WITHIN EACH AREA, PROPOSED WORK IS LIMITED TO THE REMOVAL OF SOIL PILES, WETLAND RESTORATION WORK, TREE AND SHRUB PLANTING AND SEEDING AS NECESSARY

General Notes:

1. THE SITE IS LOCATED ON THE TOWN OF EAST GREENWICH ASSESSOR'S MAP 54 PLAT 11 LOT 66.
2. THE SITE IS APPROXIMATELY 5.40± ACRES AND IS ZONED R-30.
3. THE OWNER IS: DONALD W MCKENNA
PO BOX 454
EAST GREENWICH, RI 02818
4. THIS SITE IS LOCATED IN FEMA FLOOD ZONES AE, X (SHADED) AND X (UNSHADED). REFERENCE FEMA FLOOD INSURANCE RATE MAP 44003001366, MAP REVISED DECEMBER 3, 2010 AND MAP 4400300139H, MAP REVISED SEPTEMBER 18, 2013, WITH ITS ASSOCIATED LETTER OF MAP AMENDMENT (LOMA) DATED SEPTEMBER 22, 2017.
5. THE BOUNDARY LINE AS SHOWN ON THIS PLAN DEPICTS THE RESULTS OF A CLASS I BOUNDARY RETRACEMENT SURVEY AS PERFORMED BY DIPRETE ENGINEERING ASSOCIATES, INC. THIS PLAN IS NOT TO BE CONSTRUED AS A CLASS I BOUNDARY RETRACEMENT SURVEY PLAN AND IS NOT SUITABLE FOR RECORDING AS A CLASS I STANDARD SURVEY PLAN.
6. CONTOUR DATA SHOWN ON THIS PLAN CONFORMS TO A T-4 TOPOGRAPHICAL SURVEY STANDARD AS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS; SAID DATA IS BASED ON ELEVATION INFORMATION THAT WAS COLLECTED WITH AIRBORNE LIDAR TECHNOLOGY FOR THE ENTIRE AREA OF RHODE ISLAND BETWEEN APRIL 22 AND MAY 6, 2011 AS PART OF THE NORTHEAST LIDAR PROJECT. THIS DATA'S POSITIONAL ACCURACY AND RELIABILITY HAS NOT BEEN VERIFIED BY DIPRETE ENGINEERING AND IS SUBJECT TO CHANGES AN AUTHORITY FIELD SURVEY MAY DISCLOSE.
7. THE SITE IS LISTED ON THE RHODE ISLAND NATIONAL REGISTERED LIST OF HISTORICAL PROPERTIES FOR THE JOSHUA COGGESHALL HOUSE BUILT c. 1690.
8. WETLAND EDGE DELINEATED BY DIPRETE ENGINEERING AND SURVEYED BY DIPRETE ENGINEERING USING SUBMETER GPS IN JANUARY 2017.

Restoration/Planting Notes:

1. ALL PROPOSED RESTORATION WORK TO BE COMPLETED BY MAY 31, 2021.
2. ALL RESTORATION WORK TO BE COMPLETED IN ACCORDANCE WITH THE "RESTORATION REQUIREMENTS" OUTLINED IN THE NOTICE OF INTENT (NOIE) (FILE NO. COO-0230, CASE NO. COI-FW-13-12), DATED JUNE 15, 2017.
3. CONTRACTOR TO VERIFY ALL UTILITY LOCATIONS BY NOTIFYING DIG-SAFE (811) AT LEAST 72 HOURS PRIOR TO ANY CONSTRUCTION OR SITE PREPARATION AND ANY/OR ALL LOCAL UTILITY COMPANIES AS REQUIRED.
4. CONTRACTOR TO PROVIDE A ONE (1) YEAR GUARANTEE FOR ALL MATERIALS. CONTRACTOR GUARANTEES THAT PLANTS WILL REMAIN HEALTHY FOR ONE (1) GROWING SEASON. CONTRACTOR TO MAINTAIN ALL PLANTING AND LAWN UNTIL FINAL PROJECT ACCEPTANCE. GUARANTEE PERIOD TO COMMENCE AT FINAL ACCEPTANCE. ANY REPLACEMENT PLANTS SHALL BE OF THE SAME SIZE AND SPECIES AS SPECIFIED WITH NEW GUARANTEE COMMENCING ON THE DATE OF REPLACEMENT.
5. PLANT SUBSTITUTION SELECTION MUST BE APPROVED BY RIDEM PRIOR TO INSTALLATION.
6. NO DISTURBANCES ARE PROPOSED OUTSIDE OF THE AREAS SHOWN ON THIS PLAN. CLEARING FOR FILL REMOVAL WILL BE LIMITED TO THE MAXIMUM EXTENT POSSIBLE. LARGE TREES ARE TO REMAIN UNDISTURBED.

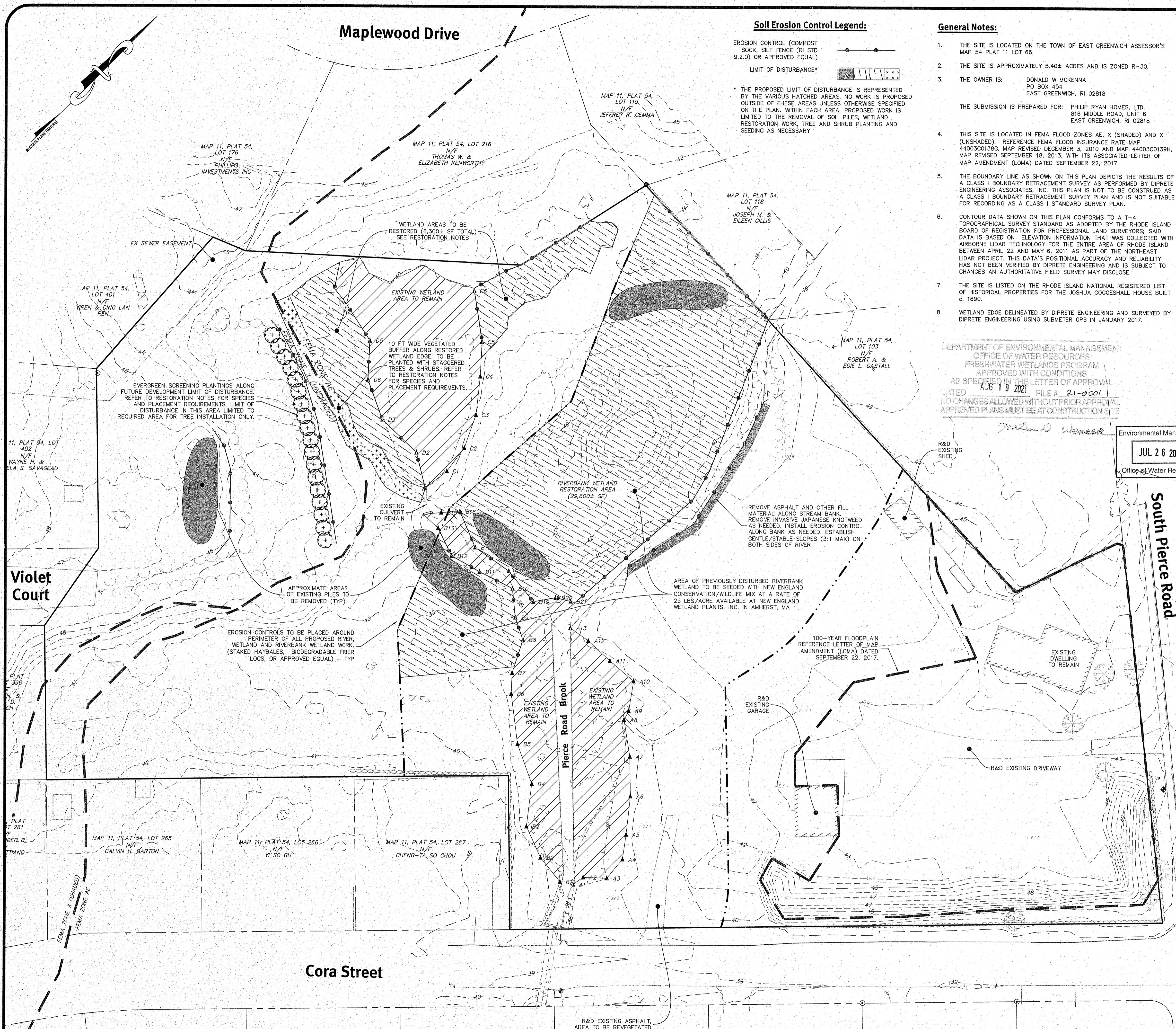
RIDEM Restoration Requirements:

1. THE FOLLOWING REQUIREMENTS ARE TAKEN FROM THE NOTICE OF INTENT TO ENFORCE (NOIE) (FILE NO. COO-0230, CASE NO. COI-FW-13-12), DATED JUNE 15, 2017. PLEASE REFER TO THIS NOIE FOR ADDITIONAL INFORMATION.
2. INSTALL A CONTINUOUS UNINTERRUPTED LINE OF STAKED HAYBALES OR BIODEGRADABLE FIBER LOGS ALONG THE OUTSIDE EDGE OF THE UNAUTHORIZED FILL MATERIAL BETWEEN ALL DISTURBED AREAS AND ANY ADJACENT UNDISTURBED WETLANDS. THESE SOIL EROSION AND SEDIMENT CONTROLS MUST BE REGULARLY INSPECTED AND PROPERLY AND CONTINUALLY MAINTAINED (AND REPLACED, IF NECESSARY) DURING AND FOLLOWING THE COMPLETION OF THE REQUIRED WETLAND RESTORATION ACTIVITIES, AND UNTIL ALL OF THE SURROUNDING AREAS ARE PROPERLY STABILIZED.
3. REMOVE THE UNAUTHORIZED FILL MATERIAL FROM THE RIVER, 100' RIVERBANK WETLAND AND FORESTED WETLAND AS FOLLOWS:
 - ALL UNAUTHORIZED FILL MUST BE REMOVED FROM THE RIVER CHANNEL AND THE ADJACENT EMBANKMENTS. IN ALL LOCATIONS WHERE THE RIVER EMBANKMENTS HAD BEEN FILL, THE INSTALLATION OF A RETAINING WALL STRUCTURE (OR OTHERWISE FILLED), FOLLOWING FILL REMOVAL, A GENTLE/STABLE SLOPE (3:1 MAXIMUM) MUST BE ESTABLISHED ON BOTH SIDES OF THE RIVER.
 - IN THE LOCATION OF THE ALTERED FORESTED WETLAND, ALL FILL MUST BE REMOVED DOWN TO THE ORIGINAL SURFACE ELEVATION OF THE WETLAND (I.E., TO AN ELEVATION WHERE ORIGINAL ORGANIC AND/OR HYDRIC SOILS ARE ENCOUNTERED) OR, IF TYPICAL SOIL CHARACTERISTICS ARE NO LONGER OBVIOUS, TO A DEPTH MATCHING THE SURFACE OF ANY ADJACENT UNDISTURBED WETLAND, OR (IF NONE EXIST) TO A DEPTH AT WHICH GROUNDWATER WILL DISCHARGE TO THE SURFACE.
 - WITHIN THE 100' RIVERBANK WETLAND SITUATED TO THE WEST OF THE RIVER, UNAUTHORIZED FILL MUST BE REMOVED TO AN ELEVATION MATCHING THE SURFACE GRADES OF THE UNDISTURBED SURROUNDING AREAS.
 - ALL FILL MATERIAL THAT IS REMOVED MUST BE DEPOSITED IN AN APPROPRIATE UPLAND LOCATION, OUTSIDE OF ANY AND ALL FRESHWATER WETLANDS.
4. FOLLOWING THE REMOVAL OF THE FILL MATERIAL FROM THE FORESTED WETLAND, IF AN ADEQUATE ORGANIC SUBSTRATE IS NO LONGER EXISTING AT THE RESTORED SURFACE GRADE, THEN AN ADDITIONAL 8" OF EXCAVATION MUST BE UNDERTAKEN, FOLLOWED BY AN APPLICATION OF HIGH-ORGANIC PLANTABLE SOIL MATERIAL. THE AFFECTED/RESTORED FORESTED WETLAND AREAS MUST BE SEEDED WITH AN APPROPRIATE WETLAND SEED MIXTURE AND ALL SURFACES MUST BE STABILIZED THROUGH THE APPLICATION OF A THICK MAT OF STRAW MULCH, WHICH IS FREE OF ANY CONTAMINANTS THAT COULD PROMOTE THE SPREAD OF INVASIVE PLANT SPECIES.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
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Environmental Management
Office of Water Resources
JUL 26 2021

South Pierce Road



5. FOLLOWING REMOVAL OF FILL MATERIALS FROM THE 100' RIVERBANK WETLAND, INCLUDING THE EMBANKMENTS IMMEDIATELY ADJACENT TO THE RIVER, ALL DISTURBED SURFACE AREAS MUST BE COVERED WITH PLANTABLE SOIL (4" MINIMUM), AS NEEDED, AND SEEDED WITH THE WILDLIFE CONSERVATION SEED MIXTURE. A THICK MAT OF STRAW MULCH, WHICH IS FREE OF ANY CONTAMINANTS THAT COULD PROMOTE THE SPREAD OF INVASIVE PLANT SPECIES, MUST ALSO BE APPLIED OVER ALL DISTURBED SURFACES TO PROVIDE STABILIZATION. VERY STEEP OR EXTREMELY UNSTABLE SURFACES (E.G., SLOPES IMMEDIATELY ADJACENT TO THE RIVER) MUST BE COVERED WITH AN APPROPRIATE BIODEGRADABLE EROSION CONTROL MATTING (EXCELSIOR MATTING, JUTE MESH OR APPROVED EQUAL).
6. FOLLOWING REMOVAL OF FILL MATERIALS FROM THE RIVER CHANNEL AND THE ESTABLISHMENT OF STABLE EMBANKMENT SLOPES, ALL DISTURBED SURFACE AREAS MUST BE COVERED WITH PLANTABLE SOIL (4" MINIMUM), SEEDED WITH THE WILDLIFE CONSERVATION SEED MIXTURE, AND COVERED WITH AN APPROPRIATE BIODEGRADABLE EROSION CONTROL MATTING (AS DESCRIBED ABOVE).
7. UPON COMPLETION OF THE WORK DESCRIBED ABOVE, PLANT TREES AND SHRUBS WITHIN THE ALTERED/RESTORED FORESTED WETLAND AS SHOWN ON THIS SITE PLAN AND AS OUTLINED BELOW. THE TREES AND SHRUBS TO BE PLANTED IN THESE LOCATIONS MUST BE OBTAINED FROM NURSERY STOCK THAT HAS BEEN RAISED IN HYDRIC CONDITIONS. IF NECESSARY, TO IMPROVE SURVIVABILITY, REQUIRED TREE AND SHRUB PLANTINGS MAY BE INSTALLED WITHIN SMALL, RAISED, MOUNDS (SLIGHTLY ELEVATED ONLY) OF HIGH-ORGANIC PLANTABLE SOIL MATERIAL (ONLY).
 - GRAY BIRCH, BETULA POPULIFOLIA;
 - BLACK BIRCH, BETULA LENTA; AND/OR
 - AMERICAN BEECH, FAGUS GRANDIFOLIA;
8. BALLED AND BURLAPPED OR TRANSPLANTED SHRUB SPECIES MUST BE PLANTED IN AN INTERSPERSED PATTERN (5' ON CENTER, THREE FEET (3') TALL AFTER PLANTING, THROUGHOUT THE AREA DEFINED ABOVE. SHRUB SPECIES MUST INCLUDE AN EQUAL DISTRIBUTION OF AT LEAST FOUR (4) OF THE FOLLOWING SELECTIONS:
 - MOUNTAIN LAUREL, KALMIA LATIFOLIA;
 - GIANT RHODODENDRON, RHODODENDRON MAXIMUM (SHADED AREAS ONLY);
 - GRAY (STIFF, RED PANICLE) DOGWOOD, CORNUS FOEMINA RACEMOSA;
 - SILKY DOGWOOD, CORNUS AMOMUM;
 - ARROWWOOD (SOUTHERN), VIBURNUM DENTATUM;
 - AMERICAN CRANBERRYBUSH, VIBURNUM TRILOBUM;
 - MAPLELEAF VIBURNUM, VIBURNUM ACERIFOLIUM;
 - INKBERY, FLEX GLABRA;
 - HIGHBUSH BLUEBERRY, VACCINIUM CORYMBOSUM;
 - LOWBUSH BLUEBERRY, VACCINIUM ANGSTIFOLIUM;
 - SWEET PEPPERBUSH, CLETHRA ALNIFOLIA;
 - BAYBERRY, MYRTICA;
 - BLACK CHOKEBERRY, ARONIA MELANOCARPA; AND/OR
 - WITCHHAZEL, HAMAMELIS VIRGINIANA;
9. IN ADDITION, BALLED AND BURLAPPED OR TRANSPLANTED EVERGREEN SCREENING TREE SPECIES MUST BE PLANTED IN A STRAIGHT LINE, EIGHT FEET (8') ON-CENTER (APART), FIVE TO SIX FEET (5-6') TALL AFTER PLANTING, ALONG THE OUTER (LANDWARD) EDGE OF THE RESTORED PORTIONS OF THE 100' RIVERBANK WETLAND SITUATED TO THE WEST OF THE RIVER. THE TREE SPECIES TO BE UTILIZED FOR THIS SCREENING LINE (DESCRIBED ABOVE) MUST BE CHOSEN FROM THE FOLLOWING SELECTIONS:
 - NORTHERN WHITE CEDAR (EASTERN ARBORVITAE), THUJA OCCIDENTALIS;
 - WHITE PINE, PINUS STROBUS;
 - EASTERN HEMLOCK, TSUGA CANADENSIS; AND/OR
 - WHITE SPRUCE, PICEA GLAUCA
10. ALL DISTURBED SURFACES MUST BE PROPERLY SEEDDED (AS DESCRIBED ABOVE) AND STABILIZED WITH A MAT OF LOOSE STRAW MULCH. IF NECESSARY, VERY STEEP OR EXTREMELY UNSTABLE SURFACES MUST BE COVERED WITH AN APPROPRIATE EROSION CONTROL MATTING OF SOME TYPE (EXCELSIOR MATTING, JUTE MESH OR APPROVED EQUAL).
11. UPON STABILIZATION OF ALL DISTURBED AREAS, ALL NON-BIODEGRADABLE EROSION AND SEDIMENT CONTROLS MUST BE REMOVED FROM THE FRESHWATER WETLAND, PRIOR TO THE REMOVAL OF THE CONTROLS. ALL ACCUMULATED SEDIMENT MUST BE REMOVED TO A SUITABLE UPLAND AREA, OUTSIDE OF ANY AND ALL FRESHWATER WETLANDS.
12. ALL RESTORED FRESHWATER WETLAND AREAS MUST BE ALLOWED TO REVERT TO A NATURAL WILD CONDITION. NO FUTURE CLEARING, MOWING, CUTTING, TRIMMING, OR OTHER ALTERATIONS OR IMPROVEMENTS ARE AUTHORIZED IN ANY WETLAND AREA ON THE SUBJECT PROPERTY WITHOUT FIRST OBTAINING A VALID PERMIT FROM RIDEM.

Diprete Engineering
Two Stafford Court, Cranston, RI 02920
Tel: 401-943-1000 Fax: 401-644-6006 www.diprete-eng.com

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF COMPLIANCE AND INSPECTION
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AS SPECIFIED IN THE LETTER OF APPROVAL
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The contractor is responsible for all of the means, methods, methods, safety precautions and arrangements, and OSHA compliance in the performance of this project.
Engineers assume no responsibility for damages incurred due to locations of existing utilities. See Utility Note on sheets.

No.	Date	Description	By:	DRN
1	6/22/2021	2021 Submission		
2				
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4				
5				
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10				
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12				

Site Restoration Plan
Coggeshall Preserve
East Assessor's Map 54, Plat 11, Lot 66
Prepared for
Philip Ryan Homes Ltd.
855 Middle Road, Unit 6, East Greenwich, Rhode Island 02818
Tel: 401-742-7426

Note: This Plan Must Be Reproduced In Color

RECEIVED
15 2021
Scale: 1"=30'

z:\dem\proj\2470-001_south_pierce_road\2470-001_pln.dwg Plotter: 4/23/2021