

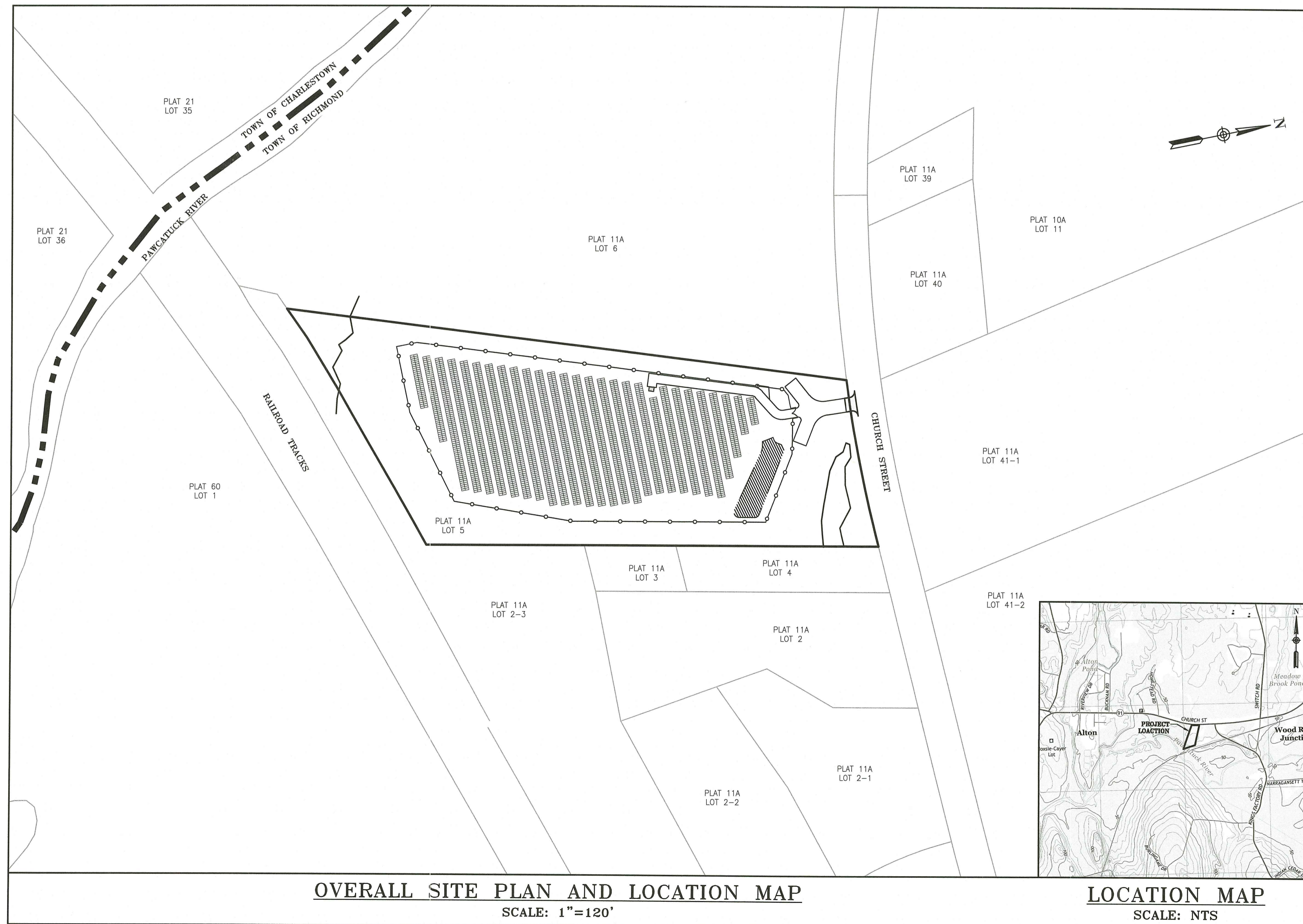
CHURCH STREET SOLAR

391 CHURCH STREET
 PLAT 11A LOT 5
 RICHMOND, RHODE ISLAND

ISSUED FOR PERMITTING

PREPARED FOR
INMAN SOLAR INC.
 LATEST ISSUED: APRIL 29, 2021

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OWNER:
 ANTOINETTE JEYAN MESSINA BOULTON
 P.O. BOX 12
 FRENCHTOWN, NJ 08825

APPLICANT:
 INMAN SOLAR INC.
 C/O MARK JONES
 320 NORTH HIGHLAND AVENUE
 ATLANTA, GA 30307

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED JUN 23 2021 FILE # 21-0003
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Nancy L. Freeman MAY - 3 2021
 Chief of Water Resources

ISSUED FOR PERMITTING

LATEST ISSUE: APRIL 29, 2021
 CA JOB # 220041



CHURCH STREET SOLAR
 391 CHURCH STREET
 PLAT 11A LOT 5
 RICHMOND, RHODE ISLAND

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Civil Engineers
 Land Surveyors
 Land Use Planners
 Environmental Engineers

www.cherenzia.com

LEGEND

EXIST	PROP	EXIST	PROP
27.05 10'x 27.15 85'x	27.05 10'x 27.15 85'x	TOP/BOTTOM CURB ELEVATION	SUBJECT PROPERTY LINE
21.25'x	21.25'x	SPOT GRADE	ADJUTERS PROPERTY LINE
SB-1	SB-1	SOIL BORING LOCATION	LEASE LINE
TP-1	TP-1	TEST PIT LOCATION	BUILDING SETBACK
MW-1	MW-1	MONITORING WELL	CURB
BM #1	BM #1	BENCH MARK	LIMIT OF CURB TYPE
DMH	DMH	DRAIN MANHOLE	SAWCUT
CB	CB	CATCH BASIN	MATCHLINE
DCB	DCB	DOUBLE CATCH BASIN	STOP BAR
RES	RES	FLARED END SECTION	GUARD RAIL
		DRAINAGE LINE	STONE DUST PATH
		UNDERDRAIN PIPE	TREE LINE
		STONE TRENCH	CHAIN LINK FENCE
		OVERHEAD WIRE	STONE WALL
		WATER LINE	RETAINING WALL
		FIRE PROTECTION LINE	SILT FENCE
		GAS LINE	STRAW WATTLE
		UNDERGROUND ELECTRIC	LIMIT OF DISTURBANCE
		UNDERGROUND TELEPHONE	LOD STAKE
		FIRE ALARM	MINOR CONTOUR
		CABLE TV	MAJOR CONTOUR
		PLUG/STUB	BUILDING
		SEWER MANHOLE	BUILDING DOOR
		GRAVITY SEWER LINE	BOLLARD
		FORCE MAIN SEWER LINE	DUMPSTER PAD
		WATER GATE	SIGN
		TAPPING SLEEVE, VALVE, & BOX	DOUBLE SIGN
		FIRE HYDRANT	PARKING COUNT
		WELL	CONC. PAVEMENT
		GAS GATE	PAVEMENT
		ELECTRIC MANHOLE	CRUSHED STONE
		SINGLE LIGHT POLE	GRAVEL/PAVE/GRASSPAVE
		DOUBLE LIGHT POLE	ADA PARKING
		TRIPLE LIGHT POLE	50 FT PERIMETER WETLAND
		QUAD LIGHT POLE	100 FT RIVERBANK WETLAND
		BUILDING MOUNTED LIGHT	200 FT RIVERBANK WETLAND
		TELEPHONE MANHOLE	WETLAND FLAG
		TRANSFORMER PAD	WETLAND EDGE
		UTILITY POLE	WETLAND SYMBOL
		GUY POLE	

ABBREVIATIONS

ABAN	ABANDON	LOD	LIMIT OF DISTURBANCE
ADJ	ADJUST	MAX	MAXIMUM
ASSF	AREA SUBJECT TO STORM FLOWAGE	MIN	MINIMUM
ASTM	AMERICAN SOCIETY FOR TESTING & MATERIALS	MCC	MONOLITHIC CONCRETE CURB
ADA	AMERICANS WITH DISABILITIES ACT	NTS	NOT TO SCALE
APPROX	APPROXIMATE	OC	ON CENTER
BIT	BITUMINOUS	PVC	POLYVINYLCHLORIDE PIPE
BCC	BITUMINOUS CURB	PCC	PRECAST CONCRETE CURB
BW	GRADE AT THE BOTTOM OF THE WALL	PL	PROPERTY LINE
BWL	BROKEN WHITE LINE	PROP	PROPOSED
BYL	BROKEN YELLOW LINE	R	RADIUS
CCB	CAPE COD BERM	RC	REINFORCED CONCRETE PIPE
CB	CATCH BASIN	R&D	REMOVE AND DISPOSE
COL	COLUMN	R&R	REMOVE AND RESET
CONC	CONCRETE	R&S	REMOVE AND STORE
CONST	CONSTRUCTION	SMH	SEWER MANHOLE
CY	CUBIC YARD	SESC	SOIL EROSION SEDIMENT CONTROL
DBL	DOUBLE	SWL	SINGLE WHITE LINE
DCB	DOUBLE CATCH BASIN	SWCL	SINGLE WHITE CHANNELIZING LINE
DYL	DOUBLE YELLOW LINE	SYL	SINGLE YELLOW LINE
DMH	DRAIN MANHOLE	SYCL	SINGLE YELLOW CHANNELIZING LINE
DI	DUCTILE IRON	SQ FT	SQUARE FEET
DR	DIMENSION RATIO	STD	STANDARD
DIPS	DUCTILE IRON PIPE SIZE	SDR	STANDARD DIMENSION RATIO
ELEV	ELEVATION	STA	STATION
EOP	EDGE OF PAVEMENT	TSV	TAPPING SLEEVE, VALVE AND BOX
EXIST	EXISTING	TF	TOP OF FRAME
FT	FEET	TRANS	TRANSITION
FES	FLARED END SECTION	TW	ELEVATION OF TOP OF THE WALL
HDPE	HIGH DENSITY POLYETHYLENE	TYP	TYPICAL
HYD	HYDRANT	UP	UTILITY POLE
INV	INVERT ELEVATION	VGC	VERTICAL GRANITE CURB
LA	LANDSCAPE AREA	WG	WATER GATE

GENERAL NOTES

- THESE PLANS AND THEIR CORRESPONDING ELECTRONIC DOCUMENTS, PDF AND FILES FOR THE PROJECT ARE INSTRUMENTS OF PROFESSIONAL SERVICE AND SHALL NOT BE USED IN WHOLE OR IN PART FOR ANY OTHER PURPOSE THAN THE DEVELOPMENT OF THIS PROJECT WITHOUT THE EXPRESSED WRITTEN CONSENT OF CHERENZIA & ASSOCIATES, LTD. ANY UNAUTHORIZED USE, RE-USE, ALTERATION, OR MODIFICATION OF THIS DATA SHALL BE AT THE USER'S RISK WITH NO LIABILITY ON THE PART OF CHERENZIA.
- UPON AWARD OF THE CONTRACT AND PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND BONDS AND PAYING ALL STATE AND LOCAL FEES RELATING TO THE WORK SHOWN ON THESE DRAWINGS, THE CONSTRUCTION SPECIFICATIONS, AND CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL NOTIFY DIG-SAFE AT LEAST 72 BUSINESS HOURS PRIOR TO INITIATING ANY EXCAVATION WORK. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS. WHERE SITE SPECIFICATIONS ARE NOT PROVIDED, THE CONTRACTOR SHALL ADHERE TO LOCAL MUNICIPAL STANDARDS OR THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION SPECIFICATIONS, AS APPLICABLE. WORK WITHIN LOCAL RIGHTS-OF-WAY SHALL ADHERE TO LOCAL MUNICIPAL STANDARDS; WORK WITHIN STATE RIGHTS-OF-WAY SHALL ADHERE TO STATE HIGHWAY STANDARDS. WHERE A DISCREPANCY EXISTS, THE MORE RESTRICTIVE STANDARD SHALL APPLY.
- REFERENCE MADE TO "STATE HIGHWAY STANDARDS," "STATE STANDARD SPECIFICATIONS," "STANDARD SPECIFICATIONS," OR "ROAD STANDARDS" SHALL MEAN AND BE DEFINED AS THE "RHODE ISLAND DEPARTMENT OF TRANSPORTATION - STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION."
- ANY WORK NOT MEETING THE APPROVED STANDARDS SHALL BE REMOVED IMMEDIATELY AND REPLACED BY THE CONTRACTOR AT NO COST TO THE OWNER.
- AS A CONDITION OF THE RIDGES PERMIT FOR THIS PROJECT, THE CONTRACTOR SHALL ADHERE TO THE REQUIREMENTS OF THE RIDGES PERMIT THROUGHOUT CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SITE SECURITY AND JOB SAFETY AND SHALL CONFORM TO THE RULES AND REGULATIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA).
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND PROTECTION OF PEDESTRIAN AND VEHICULAR TRAFFIC INCLUDING ANY REQUIRED POLICE PROTECTION. ANY REQUIRED TEMPORARY CONSTRUCTION SIGNS, BARRICADES AND LANE CLOSURES SHALL BE IN CONFORMANCE WITH THE LATEST MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- THE CONTRACTOR SHALL NOT OBSTRUCT PUBLIC ROADWAYS, SIDEWALKS, OR FIRE HYDRANTS WITHOUT FIRST OBTAINING THE NECESSARY PERMITS TO DO SO.
- THE LIMITS-OF-WORK (A.K.A. "LIMIT OF DISTURBANCE") SHALL BE AS SHOWN ON THESE PLANS. AREAS DISTURBED BEYOND THESE DEFINED LIMITS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. LANDSCAPE AREAS SHALL BE RESTORED WITH 6 INCHES OF LOAM AND SEED.
- SHOULD THE CONTRACTOR ENCOUNTER SUSPECTED CONTAMINATED SOIL, GROUNDWATER, OR OTHER MATERIAL DURING EXCAVATION, THE CONTRACTOR SHALL IMMEDIATELY STOP WORK IN THE SUSPECTED AREA AND NOTIFY THE OWNER SO THAT APPROPRIATE ACTIONS AND TESTING CAN TAKE PLACE.
- UNLESS OTHERWISE NOTED ON THE PLANS, ALL UNPAVED/LANDSCAPE AREAS SHALL RECEIVE SIX (6) INCHES OF LOAM AND SEED WITHIN THE LIMITS OF WORK SHOWN ON THESE PLANS. LOAM SHALL BE EVENLY SPREAD, SMOOTHED, AND COMPACTED PRIOR TO SEEDING.
- STOCKPILED TOPSOIL/LOAM SHALL BE SCREENED AND REUSED ONSITE. REMOVAL OF TOPSOIL/LOAM SHALL BE AS SHOWN ON THESE PLANS.
- PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL VERIFY EXISTING PAVEMENT ELEVATIONS AT THEIR PROPOSED INTERFACE WITH PROPOSED PAVEMENTS TO ENSURE PROPER TRANSITIONS BETWEEN EXISTING AND PROPOSED FACILITIES.
- HORIZONTAL AND VERTICAL DATUMS ARE PROVIDED ON THE SURVEY PLANS.
- ALL WORK TO BE DONE WITHIN THE STATE RIGHT OF WAY (ROW) SHALL CONFORM TO THE RI STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AMENDED MARCH 2018 WITH ALL REVISIONS AND ADDENDA. STANDARD DETAILS FOR THIS WORK ARE RI STANDARD DETAILS JUNE 21, 2019 EDITION WITH ALL REVISIONS.

UTILITIES:

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH ALL UTILITY COMPANIES AND WORK TRADES ASSOCIATED WITH THE WORK SHOWN ON THESE PLANS.
- PRIVATE UTILITIES
 - SERVICES SHALL BE APPROVED BY AND CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS AND REQUIREMENTS OF PRIVATE UTILITY SERVICE PROVIDERS (GAS, TELEPHONE, ELECTRIC, FIRE ALARM, CABLE, FIBER, ETC.)
 - CONTRACTOR SHALL FURNISH EXCAVATION, INSTALLATION, AND BACKFILL OF ALL ELECTRIC WORK. THE CONTRACTOR SHALL ALSO FURNISH AND INSTALL CONCRETE ENCASEMENT FOR DUCT BANKS, IF REQUIRED BY THE ELECTRIC COMPANY. PULLING OF ELECTRICAL CONDUIT SHALL BE BY THE ELECTRIC COMPANY.
- EXISTING UTILITIES ARE SHOWN IN THEIR APPROXIMATE LOCATION BASED ON BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THE LOCATION, SIZE, MATERIAL(S), AND ELEVATION OF ALL EXISTING UTILITIES WITHIN THE LIMIT OF WORK PRIOR TO ORDERING OR INSTALLING THESE MATERIALS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES OR UTILITY CONFLICTS PRIOR TO CONSTRUCTION.
- WHERE AN EXISTING UTILITY IS FOUND TO BE IN CONFLICT WITH THE PROPOSED WORK, OR WHERE EXISTING CONDITIONS DIFFER FROM THE INFORMATION SHOWN ON THESE PLANS, SUCH THAT THE WORK CAN NOT BE COMPLETED AS INTENDED, THE CONTRACTOR SHALL IMMEDIATELY IDENTIFY AND PROVIDE THE ENGINEER WITH THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY IN CONFLICT. THE CONTRACTOR SHALL NOT CONTINUE WORK IN THIS AREA UNTIL THE APPROPRIATE REMEDIAL ACTION IS AGREED UPON BY THE OWNER AND ENGINEER.

ENGINEER:

- THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ANY DAMAGE TO OVERHEAD AND/OR UNDERGROUND UTILITIES, WHETHER OR NOT SHOWN ON THESE PLANS THROUGHOUT WORK ON THIS PROJECT.

LAYOUT AND MATERIALS NOTES

- THE CONTRACTOR SHALL NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS, AND DATA FILES THAT ARE OBTAINED FROM THE DESIGNERS, BUT SHALL VERIFY LOCATION OF PROJECT FEATURES IN ACCORDANCE WITH PAPER COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.
- SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THE ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR SHALL REFER TO THE DETAIL SHEET DIMENSIONS, MANUFACTURERS' LITERATURE, SHOP DRAWINGS AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.
- DIMENSIONS ARE TO/FROM FACE OF CURB, FACE OF BUILDING, FACE OF WALL, AND CENTER LINE OF PAVEMENT MARKINGS, UNLESS OTHERWISE NOTED ON THESE PLANS.
- PROPOSED BOUNDS AND ANY OTHER EXISTING PROPERTY LINE MONUMENTATION DISTURBED DURING CONSTRUCTION SHALL BE SET OR RESET BY A PROFESSIONAL LICENSED SURVEYOR.
- THE CONTRACTOR SHALL PROVIDE TEMPORARY BITUMINOUS PATCH FOR ANY TRENCH WORK WITHIN PAVEMENT OR SIDEWALK AREAS IN PUBLIC RIGHTS-OF-WAY UNTIL PERMANENT PATCHING IS INSTALLED.

DEMOLITION

- WITHIN THE LIMIT OF WORK/DISTURBANCE, THE CONTRACTOR SHALL CLEAR AND GRUB ALL EXISTING VEGETATION AND STOCKPILE AND SCREEN TOPSOIL FOR RE-USE IN LANDSCAPE AREAS. THE CONTRACTOR SHALL ALSO REMOVE AND DISPOSE OF ALL EXISTING MANMADE FEATURES, INCLUDING BUT NOT LIMITED TO BUILDINGS, STRUCTURES, PAVEMENTS, SLABS, CURBING, WALLS, FENCES, UTILITIES (BOTH OVERHEAD AND UNDERGROUND), SIGNS, ETC., EXCEPT AS OTHERWISE NOTED ON THESE PLANS.
- THE CONTRACTOR SHALL DISPOSE OF ALL MATERIALS OFF-SITE IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REGULATIONS.
- THE EXTENT OF DEMOLITION DEPICTED ON THESE PLANS IS INTENDED TO AID THE CONTRACTOR IN BIDDING THE PROJECT AND IS NOT NECESSARILY INTENDED TO DEPICT EACH AND EVERY ELEMENT OF DEMOLITION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE FULL EXTENTS OF THE DEMOLITION WORK PRIOR TO CONTRACT AWARD AND SHALL NOT BE COMPENSATED FOR UNFORESEEN CONDITIONS ONCE THE WORK HAS COMMENCED.
- UNLESS OTHERWISE SPECIFICALLY PROVIDED ON THESE PLANS, THE ENGINEER HAS NOT PREPARED PLANS FOR THE DISCOVERY, REMOVAL, ABATEMENT, OR DISPOSAL OF ANY HAZARDOUS OR TOXIC MATERIALS FOUND DURING CONSTRUCTION.
- ANY REMOVED OR DAMAGED STREET TREES SHALL BE REPLACED WITH EQUIVALENT AT CONTRACTOR'S EXPENSE.

SITE SPECIFIC DATA

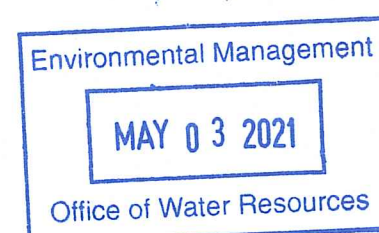
- TOTAL SITE AREA = 6.8± ACRES
- TOTAL AREA OF DISTURBANCE = 5.4± ACRES
- NATURAL HERITAGE AREA (NHA) IMPACT - NO
- THREATENED SPECIES OR HABITAT IMPACT - NO
- WATERSHEDS - INDIRECTLY THROUGH WETLANDS TO PAWCATUCK RIVER: I.D. R0008039R-18C

EROSION CONTROLS/CONSTRUCTION SEQUENCING

- PRIOR TO THE START OF CONSTRUCTION OF ANY EARTHWORK ACTIVITIES, THE CONTRACTOR SHALL NOTIFY ALL APPLICABLE AGENCIES AND INSTALL THE EROSION CONTROL MEASURES SHOWN ON THESE PLANS IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL PERMITS PERTAINING TO THIS PROJECT.
- THE CONTRACTOR SHALL KEEP A COPY OF THE "SOIL EROSION AND SEDIMENTATION CONTROL PLAN (SESC) AND THE APPROVED PLAN SET AT THE CONSTRUCTION SITE AT ALL TIMES.
- THE CONTRACTOR SHALL INSTALL ALL EROSION AND SEDIMENTATION (E&S) CONTROL MEASURES SHOWN ON THE PLAN SET IN ACCORDANCE WITH THE SESC AND THE MOST RECENT EDITION OF THE "RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK."
- THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN AND/OR UPGRADE THESE MEASURES, AS NECESSARY, THROUGHOUT CONSTRUCTION, TO MEET THE REQUIREMENTS OF ALL RELATED PERMITS FOR THE PROJECT.
- THE CONTRACTOR SHALL PREPARE AND MAINTAIN A RED-LINED COPY OF THE SESC PLAN SHOWING INTENDED AREAS FOR STAGING, STOCKPILING, WASHOUT, SOLID WASTE CONTAINMENT, AND TEMPORARY SEDIMENTATION CONTROL AREAS. ALL SUCH AREAS SHALL BE LOCATED OUTSIDE OF REGULATED WETLAND AREAS OR AREAS INTENDED FOR INFILTRATION PRACTICES.
- EROSION CONTROL DEVICES
 - AT LEAST ONE STABILIZED CONSTRUCTION ENTRANCE/EXIT SHALL BE INSTALLED FOR ACCESS TO THE PROJECT BY CONSTRUCTION VEHICLES. THE CONSTRUCTION ENTRANCE SHALL BE INSTALLED BEFORE CONSTRUCTION VEHICLES WILL BE ALLOWED TO ENTER THE CONSTRUCTION SITE. ADDITIONAL ENTRANCES/EXITS SHALL BE INSTALLED, IF MORE THAN ONE ACCESS POINT IS ANTICIPATED BY THE CONTRACTOR. A WASH OUT PAD MAY ALSO BE INSTALLED TO WASH CONSTRUCTION VEHICLES EXITING THE SITE.
 - ROADS ADJACENT TO THE CONSTRUCTION SITE SHALL BE CLEAN AT THE END OF EACH WORK DAY.
 - TEMPORARY SEDIMENT TRAPS MAY BE EXCAVATED OR BERMED/HAYBALED AND SHALL BE SIZED IN ACCORDANCE WITH THE "RHODE ISLAND STORMWATER DESIGN AND INSTALLATION STANDARDS MANUAL AND THE RHODE ISLAND SOIL EROSION AND SEDIMENTATION CONTROL HANDBOOK." THE DISCHARGE LOCATION FROM THESE BASINS SHALL BE STABILIZED TO PREVENT EROSION.
 - SILT FENCE SHALL BE INSTALLED AROUND ALL EARTH STOCKPILES.
 - ALL OTHER EROSION CONTROL DEVICES SHOWN ON THESE PLANS SHALL BE IN ACCORDANCE WITH "RHODE ISLAND STORMWATER DESIGN AND INSTALLATION STANDARDS MANUAL" AND THE "RHODE ISLAND SOIL EROSION AND SEDIMENTATION CONTROL HANDBOOK."
- THE EROSION CONTROL MEASURES SHOWN ON THESE PLANS ARE INTENDED TO BE THE MINIMUM NECESSARY AT THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN AND SUPPLEMENT THESE EROSION CONTROLS, AS NECESSARY THROUGHOUT CONSTRUCTION, TO PREVENT DAMAGE TO WETLANDS AND/OR SURROUNDING PROPERTIES.
- THE CONTRACTOR SHALL PREVENT DUST, DEBRIS, OR SEDIMENTS FROM LEAVING THE SITE DURING CONSTRUCTION AND SHALL BE RESPONSIBLE TO REPAIR, CLEAN UP, OR TAKE OTHER CORRECTIVE ACTION IMMEDIATELY OR NO LATER THAN 24 HOURS AFTER ANY ISSUE ARISES.
- THE CONTRACTOR SHALL CONTROL CONSTRUCTION STORMWATER RUNOFF IN SUCH A MANNER AS TO PREVENT DAMAGE TO DOWN-SLOPE PROPERTIES; ANY PROPERTIES SO DAMAGED SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL DEVICES ON A WEEKLY BASIS AND WITHIN 12 HOURS AFTER A RAINFALL EVENT. THE CONTRACTOR SHALL IMMEDIATELY REPAIR DAMAGED DEVICES AND SHALL REMOVE ACCUMULATED SEDIMENTS IN ACCORDANCE WITH LOCAL REQUIREMENTS AND THE RIDGES PERMIT, WHEN APPLICABLE. ACCUMULATED SEDIMENTS SHALL BE REMOVED FROM THE SITE OR PLACED AWAY FROM WETLANDS AND CLOSED DRAINAGE SYSTEMS.
- THE CONTRACTOR SHALL MAKE EVERY EFFORT TO PERFORM EARTHWORK IN PHASES THAT ALLOW FOR STABILIZATION OF THESE AREAS IN A RELATIVELY SHORT TIME PERIOD AND TO DISCOURAGE EROSION AND SEDIMENTATION. ANY EXPOSED SOILS INTENDED TO REMAIN FOR MORE THAN 14 DAYS SHALL BE STABILIZED WITH MULCH, OR TEMPORARY SEED AND WATERED TO ENCOURAGE VEGETATION.
- THE CONTRACTOR SHALL INSTALL PERMANENT SEEDING BETWEEN APRIL 15TH AND JUNE 15TH AND/OR AUGUST 15TH TO OCTOBER 15TH.
- THE CONTRACTOR SHALL APPLY PERMANENT SOIL STABILIZATION MEASURES TO ALL GRADED AREAS WITHIN SEVEN (7) DAYS OF ESTABLISHING FINAL GRADE.
- THE CONTRACTOR SHALL PERFORM A FINAL INSPECTION OF ALL EXISTING CATCH BASINS, DRAINAGE PIPING, AND ASSOCIATED DRAINAGE STRUCTURES WITHIN THE PROJECT LIMITS TO ENSURE THAT ALL SEDIMENTS HAVE BEEN REMOVED BEFORE WORK IS DEEMED COMPLETE.
- THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL E&S MEASURES ONLY AFTER FINAL PAVEMENT IS PLACED AND VEGETATION IN LANDSCAPE AREAS IS WELL ESTABLISHED.

INFILTRATION AREAS

- TO ENSURE THE LONG-TERM FUNCTION AND VALUE OF ANY AREA PROPOSED FOR INFILTRATION, INCLUDING BUT NOT LIMITED TO BIORETENTION BASINS, SAND FILTERS, SURFACE INFILTRATION BASINS, AND SUBSURFACE INFILTRATION CHAMBERS, THE CONTRACTOR SHALL EXERCISE THE FOLLOWING BEST MANAGEMENT PRACTICES THROUGHOUT CONSTRUCTION:
- THESE AREAS SHALL NOT BE USED FOR TEMPORARY CONSTRUCTION SEDIMENTATION BASINS, OR DEWATERING AREAS.
 - THESE AREAS SHALL REMAIN OFF-LINE UNTIL THE ENTIRE CONSTRUCTION AREA CONTRIBUTING TO THESE AREAS HAS BEEN STABILIZED WITH BUILDINGS, BUILDING FOUNDATIONS, PAVEMENT, OR VEGETATION, AS APPLICABLE.
 - STORMWATER RUNOFF DURING CONSTRUCTION SHALL BE DIRECTED AWAY FROM THESE AREAS TO THE GREATEST EXTENT PRACTICABLE. WHERE NOT FEASIBLE, THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION CONTROLS UP-GRADE OF THESE AREAS TO PREVENT SEDIMENTATION OF THESE AREAS DURING CONSTRUCTION.
 - THE SUBGRADE BELOW THESE AREAS SHALL NOT BE COMPACTED; THEREFORE, THE CONTRACTOR SHALL RESTRICT ACCESS TO THESE AREAS BY HEAVY EQUIPMENT AND SHALL NOT USE THESE AREAS FOR MATERIALS STOCKPILES.
 - EXCAVATION AND CONSTRUCTION OF THESE AREAS SHALL BE PERFORMED USING HAND OR HYDRAULIC EQUIPMENT TO ENSURE THAT THE NATURAL FILTRATION EARTH MATERIAL IS NOT DISTURBED OR OTHERWISE COMPACTED.
 - UPON COMPLETION OF CONSTRUCTION OF ANY OF THESE AREAS, THE CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES TO PREVENT SILTATION OF THE FILTER MATERIALS.



OWNER:
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P.O. BOX 12
FRENCHTOWN, NJ 08825

APPLICANT:
INMAN SOLAR INC.
C/O MARK JONES
320 NORTH HIGHLAND AVENUE
ATLANTA, GA 30307

PLAN REVISIONS

REV. NO.	DATE	DESCRIPTION	DWN BY	CHK BY
1	1/6/21	TOWN COMMENTS	AKG	SFC
2	2/5/21	FINAL PLAN	AKG	SFC
3	4/29/21	CROSSMAN, RIDEM, & RIDOT COMMENTS	AKG	SFC

SCALE: NTS
CA JOB #220041
DEC. 11, 2020

DRAWN BY: AKG
CHECK BY: SFC

ISSUED FOR PERMITTING

LEGEND & GENERAL NOTES

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED 4/29/21 FILE # 21-0008
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Nancy L. Freeman

CHURCH STREET SOLAR
391 CHURCH STREET
PLAT 11A LOT 5
RICHMOND, RHODE ISLAND

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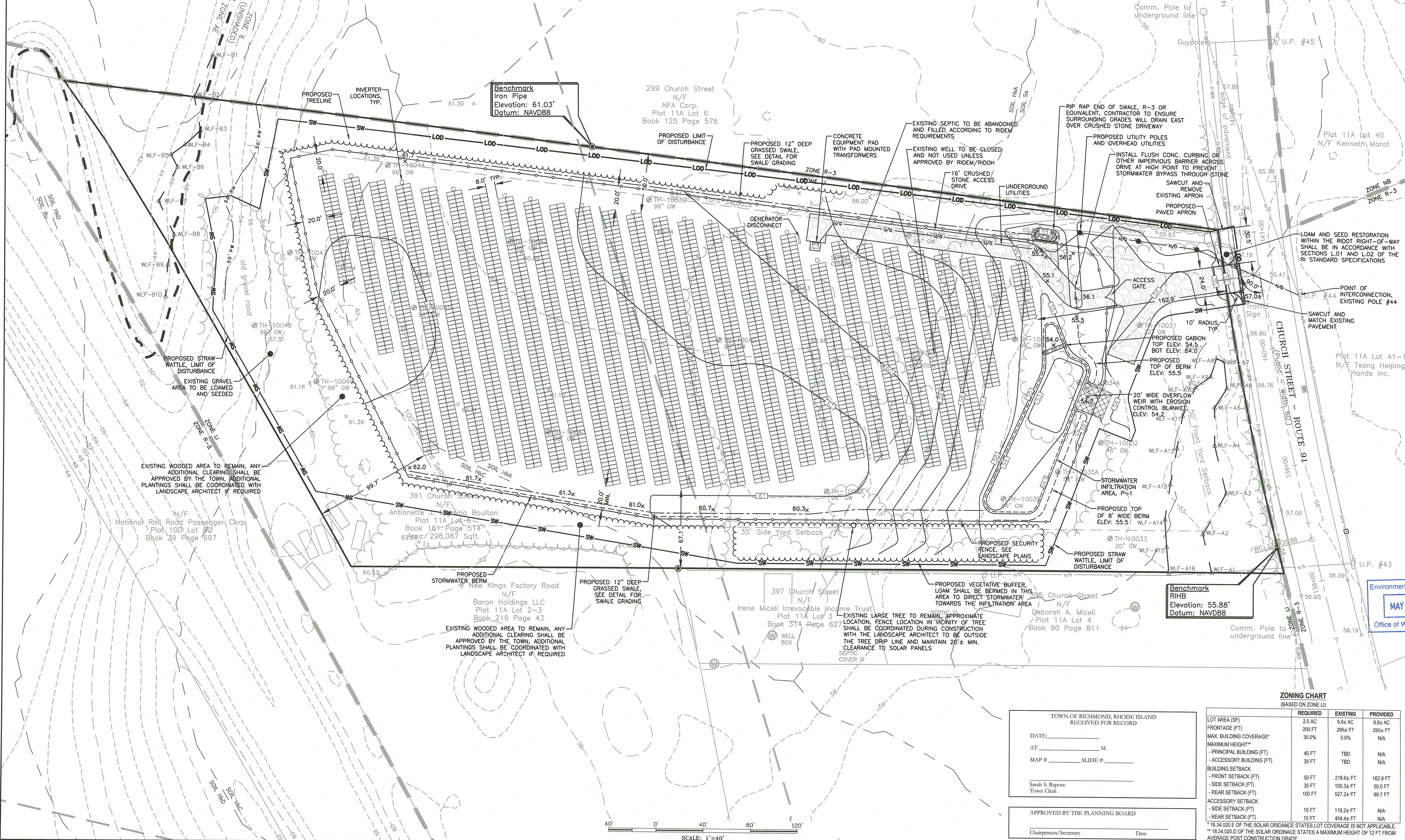
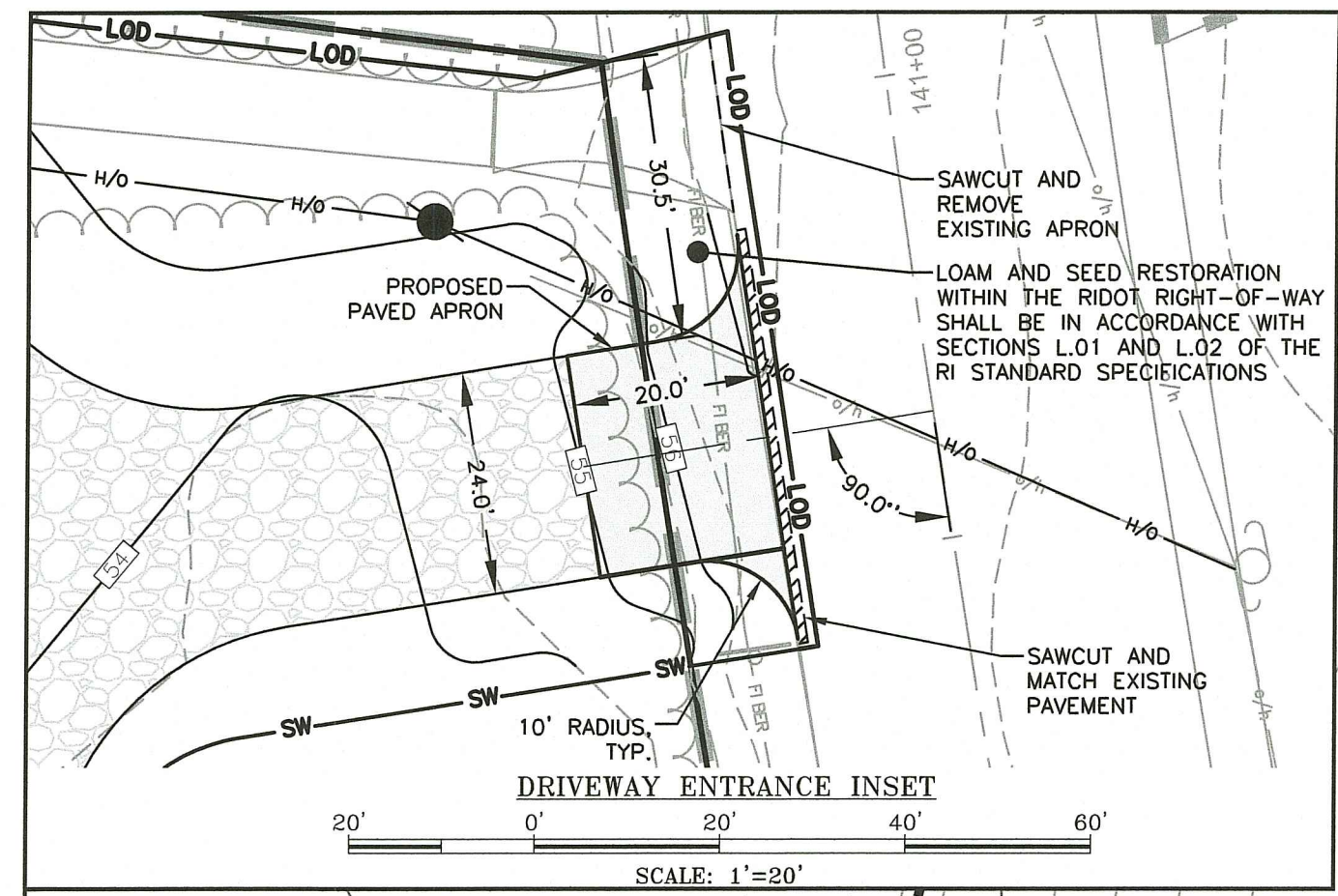
C-1

SHEET 1 OF 4

CHERENZIA & ASSOCIATES, LTD.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
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Nancy L. Freeman



- DEVELOPMENT PLAN REVIEW APPROVAL
 RECORDED 1/27/2021 - BK:334, PG:993
 APPROVAL CONDITIONS:
1. A SITE LAYOUT PLAN SHALL BE RECORDED WITHIN 30 CALENDAR DAYS OF PLANNING BOARD RECORDED APPROVAL.
 2. PRIOR TO ISSUANCE OF A BUILDING PERMIT, THE APPLICANT SHALL SUBMIT A COPY OF A RIDEM WETLAND PERMIT AND RIDOT PHYSICAL ALTERATION PERMIT WITH THE BPZ DEPARTMENT, AND RECORDED WITH THE TOWN CLERK AS APPROPRIATE.
 3. PRIOR TO THE ISSUANCE OF A BUILDING PERMIT, THE APPLICANT SHALL SUBMIT A FINAL STORMWATER RUNOFF MANAGEMENT ANALYSIS AND SOIL EROSION AND SEDIMENT CONTROL PLAN THAT HAS BEEN REVIEWED AND APPROVED BY A QUALIFIED CONSULTANT RETAINED BY THE TOWN.
 4. PRIOR TO THE ISSUANCE OF A BUILDING PERMIT, THE APPLICANT SHALL SUBMIT A FINANCIAL GUARANTEE IN THE AMOUNT OF \$57,000 TO THE FINANCE DIRECTOR IN CASH OR IN THE FORM OF A SECURITY INSTRUMENT. THE FINANCE DIRECTOR SHALL APPROVE THE FORM AND DURATION OF THE GUARANTEE.
 5. TRAINING AND A FINAL WALK-THROUGH SHALL BE PROVIDED TO EMERGENCY RESPONDERS, INCLUDED FIRE AND POLICE, AT THEIR REQUEST.
 6. THE E911 DESIGNATION SHALL BE DETERMINED BY THE BPZ DEPARTMENT, WITH APPROPRIATE AGENCIES INFORMED OF THE NEW ADDRESS.
 7. A MAXIMUM OF FOUR UTILITY POLES SHALL BE INSTALLED TO SUPPORT THE SOLAR ENERGY SYSTEM.
 8. TOPSOIL DISPLACED DURING CONSTRUCTION SHALL NOT BE REMOVED FROM THE SITE, IT MUST BE RETAINED AND SPREAD ON SITE UPON COMPLETION OF CONSTRUCTION DURING FINAL GRADING.
- NOTES:
1. KNOX BOX WITH GATE KEY, POSTED DISCONNECT SWITCH, AND EMERGENCY CONTACT SIGNAGE SHALL BE INSTALLED ACCORDING TO FIRE DEPARTMENT REQUIREMENTS. EMERGENCY TRAINING AND FINAL WALK-THROUGH SHALL BE COORDINATED WITH THE HOPE VALLEY WYOMING FIRE DEPARTMENT PERSONNEL PRIOR TO BEING OPERATIONAL.
 2. LOAM SHALL NOT LEAVE THE PROPERTY, ALL LOAM SHALL BE STOCKPILED AND REUSED ON SITE.
 3. NO SITE LIGHTING PROPOSED.
 4. APPROXIMATELY 2.7 ACRES OF WOODLAND IS PROPOSED TO BE CLEARED AS PART OF THIS PROJECT.
 5. WARNING SIGNAGE ON FENCING SHALL CONSIST OF ANSI Z355.2 COMPLIANT SIGNAGE THAT READS "DANGER, HAZARDOUS VOLTAGE, KEEP OUT"
- RIDOT NOTE:
1. ALL WORK TO BE DONE WITHIN THE STATE RIGHT OF WAY (ROW) SHALL CONFORM TO THE RI STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AMENDED MARCH 2018 WITH ALL REVISIONS AND ADDENDA. STANDARD DETAILS FOR THIS WORK ARE RI STANDARD DETAILS JUNE 21, 2019 EDITION WITH ALL REVISIONS.

OWNER:
 ANTOINETTE JEYAN MESSINA BOULTON
 P.O. BOX 12
 FRENCHTOWN, NJ 08825

APPLICANT:
 INMAN SOLAR INC.
 C/O MARK JONES
 320 NORTH HIGHLAND AVENUE
 ATLANTA, GA 30307

PLAN REVISIONS

REV. NO.	DATE	DESCRIPTION	DWN BY	CHK BY
1	1/6/21	TOWN COMMENTS	AKG	SFC
2	2/5/21	FINAL PLAN	AKG	SFC
3	4/29/21	CROSSMAN, RIDEM, & RIDOT COMMENTS	AKG	SFC

SCALE: 1"=40'
 CA JOB #220041
 DEC. 11, 2020

DRAWN BY: AKG
 CHECK BY: SFC

ISSUED FOR PERMITTING

Environmental Management
 MAY 03 2021
 Office of Water Resources

SITE PLAN

CHURCH STREET SOLAR
 391 CHURCH STREET
 PLAT 11A LOT 5
 RICHMOND, RHODE ISLAND

PREPARED FOR
 INMAN SOLAR INC.

REGISTERED PROFESSIONAL ENGINEER (CIVIL)
 No. 9238

CHERENZIA & ASSOCIATES, LTD.

TOWN OF RICHMOND, RHODE ISLAND
 RECEIVED FOR RECORD

DATE: _____
 AT _____ M.
 MAP # _____ SLID# _____

Sarah S. Rapose
 Town Clerk

APPROVED BY THE PLANNING BOARD
 Chairperson/Secretary _____ Date _____

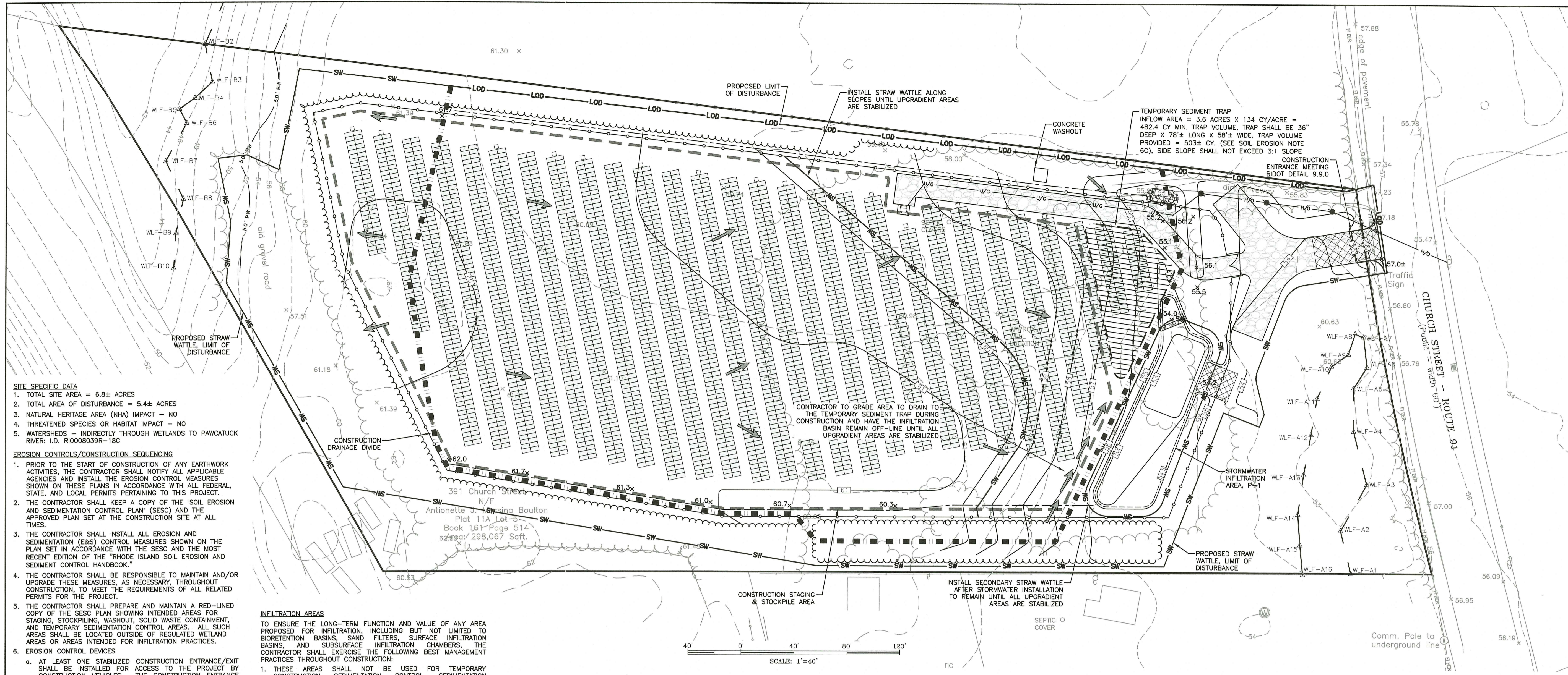
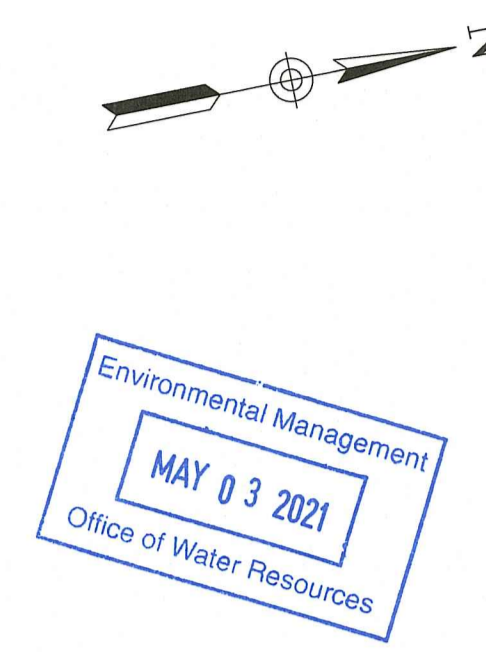
ZONING CHART
 (BASED ON ZONE LI)

	REQUIRED	EXISTING	PROVIDED
LOT AREA (SF)	2.0 AC	6.8x AC	6.8x AC
FRONTAGE (FT)	200 FT	295x FT	295x FT
MAX. BUILDING COVERAGE*	30.0%	0.6%	N/A
MAXIMUM HEIGHT**	40 FT	TBD	N/A
- PRINCIPAL BUILDING (FT)	40 FT	TBD	N/A
- ACCESSORY BUILDING (FT)	35 FT	TBD	N/A
BUILDING SETBACK			
- FRONT SETBACK (FT)	50 FT	218.6x FT	162.9 FT
- SIDE SETBACK (FT)	35 FT	100.3x FT	50.0 FT
- REAR SETBACK (FT)	100 FT	527.2x FT	99.7 FT
ACCESSORY SETBACK			
- SIDE SETBACK (FT)	10 FT	116.2x FT	N/A
- REAR SETBACK (FT)	10 FT	454.4x FT	N/A

*18.34 (200) OF THE SOLAR ORDINANCE STATES LOT COVERAGE IS NOT APPLICABLE.
 **18.34 (200) OF THE SOLAR ORDINANCE STATES A MAXIMUM HEIGHT OF 12 FT FROM AVERAGE POST CONSTRUCTION GRADE.

C-2

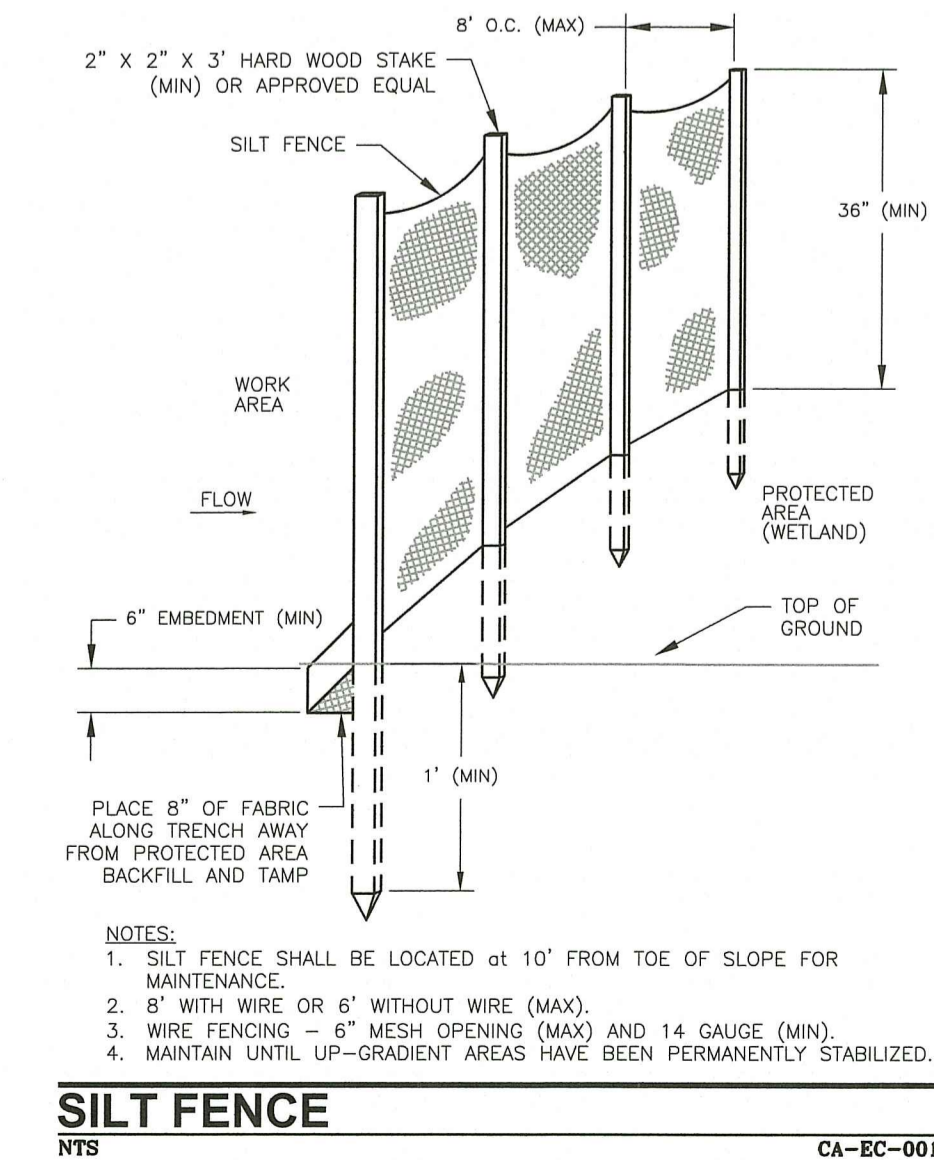
SHEET 2 OF 4



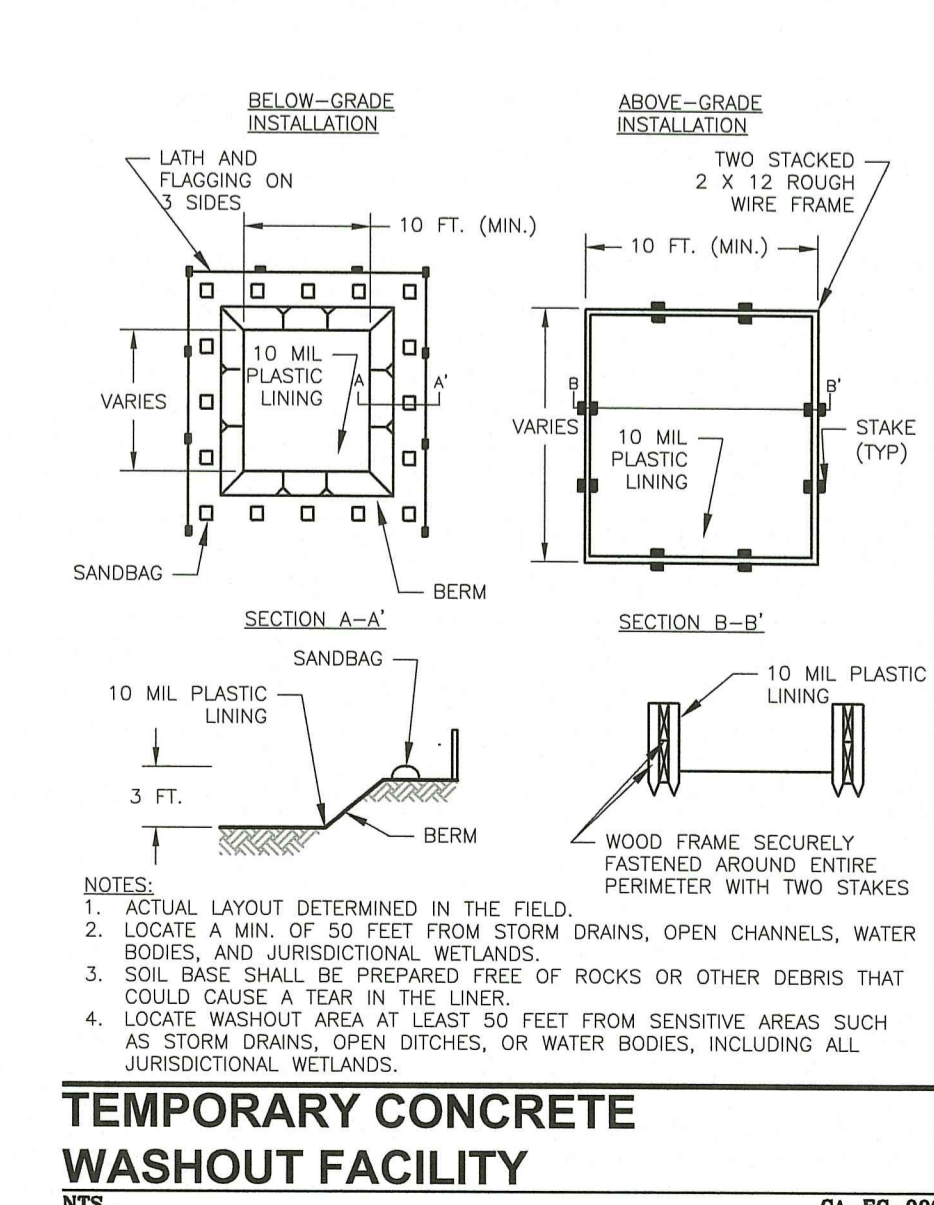
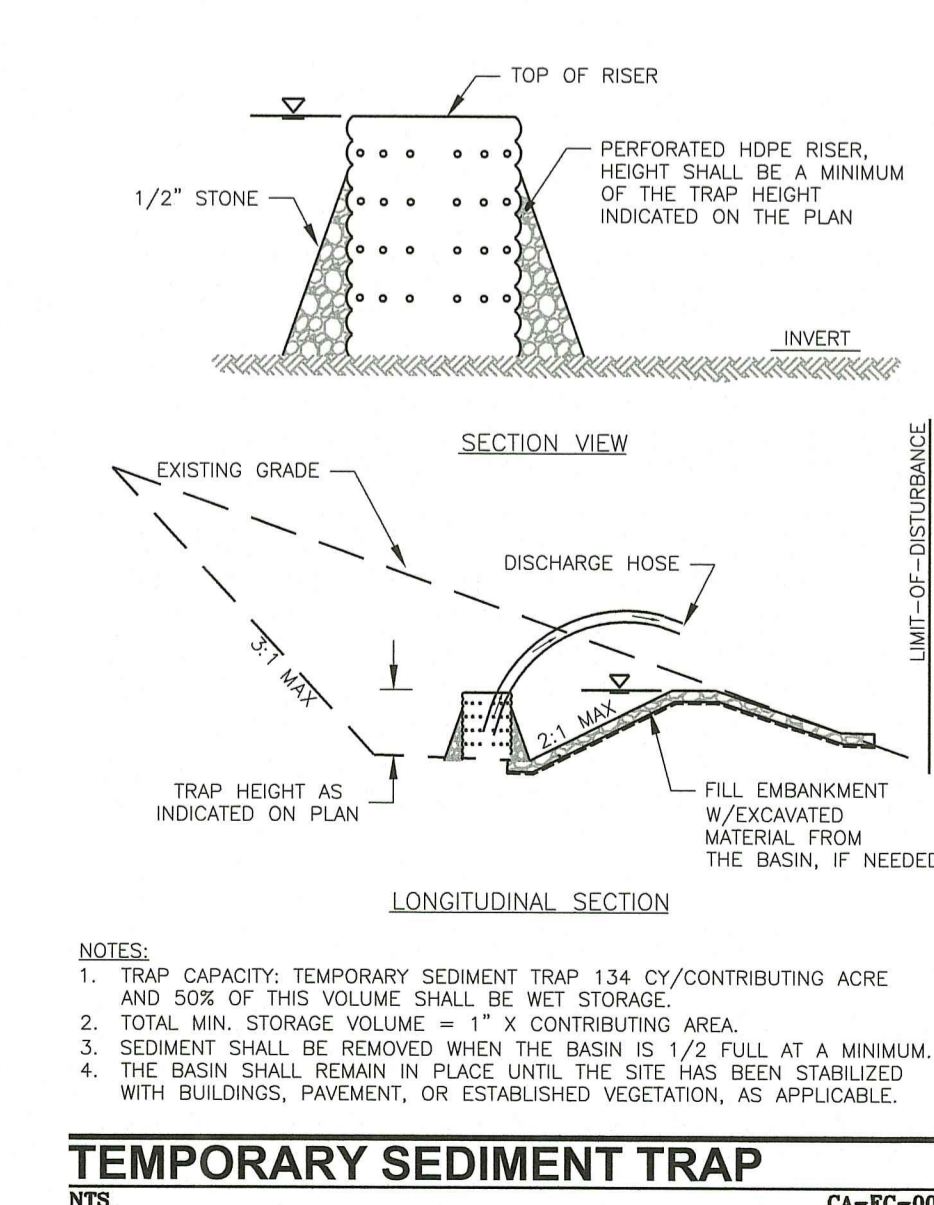
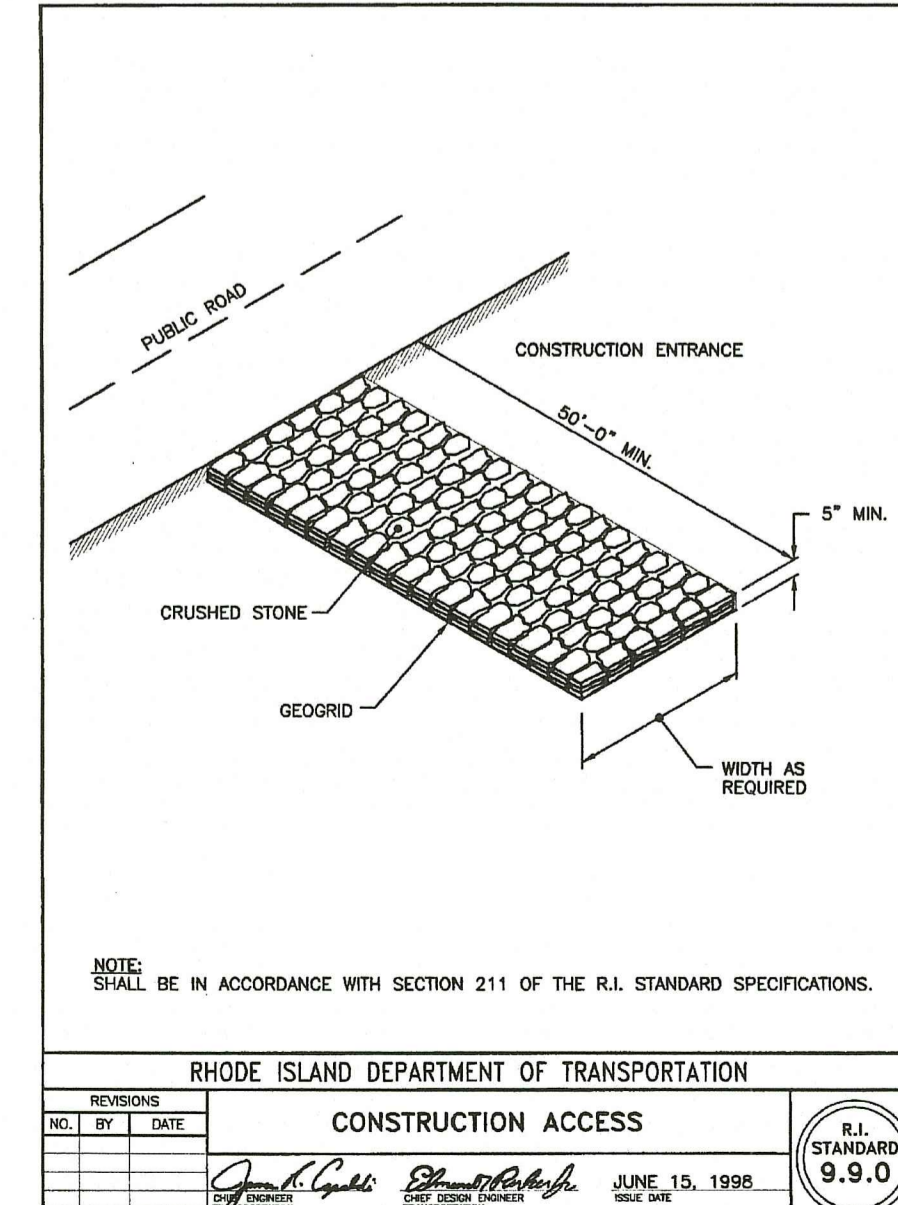
- SITE SPECIFIC DATA**
- TOTAL SITE AREA = 6.8± ACRES
 - TOTAL AREA OF DISTURBANCE = 5.4± ACRES
 - NATURAL HERITAGE AREA (NHA) IMPACT - NO
 - THREATENED SPECIES OR HABITAT IMPACT - NO
 - WATERSHEDS - INDIRECTLY THROUGH WETLANDS TO PAWCATUCK RIVER: I.D. R0008039R-18C
- EROSION CONTROLS/CONSTRUCTION SEQUENCING**
- PRIOR TO THE START OF CONSTRUCTION OF ANY EARTHWORK ACTIVITIES, THE CONTRACTOR SHALL NOTIFY ALL APPLICABLE AGENCIES AND INSTALL THE EROSION CONTROL MEASURES SHOWN ON THESE PLANS IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL PERMITS PERTAINING TO THIS PROJECT.
 - THE CONTRACTOR SHALL KEEP A COPY OF THE "SOIL EROSION AND SEDIMENTATION CONTROL PLAN" (SESC) AND THE APPROVED PLAN SET AT THE CONSTRUCTION SITE AT ALL TIMES.
 - THE CONTRACTOR SHALL INSTALL ALL EROSION AND SEDIMENTATION (E&S) CONTROL MEASURES SHOWN ON THE PLAN SET IN ACCORDANCE WITH THE SESC AND THE MOST RECENT EDITION OF THE "RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK."
 - THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN AND/OR UPGRADE THESE MEASURES, AS NECESSARY, THROUGHOUT CONSTRUCTION, TO MEET THE REQUIREMENTS OF ALL RELATED PERMITS FOR THE PROJECT.
 - THE CONTRACTOR SHALL PREPARE AND MAINTAIN A RED-LINED COPY OF THE SESC PLAN SHOWING INTENDED AREAS FOR STAGING, STOCKPILING, WASHOUT, SOLID WASTE CONTAINMENT, AND TEMPORARY SEDIMENTATION CONTROL AREAS. ALL SUCH AREAS SHALL BE LOCATED OUTSIDE OF REGULATED WETLAND AREAS OR AREAS INTENDED FOR INFILTRATION PRACTICES.
 - EROSION CONTROL DEVICES
 - AT LEAST ONE STABILIZED CONSTRUCTION ENTRANCE/EXIT SHALL BE INSTALLED FOR ACCESS TO THE PROJECT BY CONSTRUCTION VEHICLES. THE CONSTRUCTION ENTRANCE SHALL BE INSTALLED BEFORE CONSTRUCTION VEHICLES WILL BE ALLOWED TO ENTER THE CONSTRUCTION SITE. ADDITIONAL ENTRANCES/EXITS SHALL BE INSTALLED, IF MORE THAN ONE ACCESS POINT IS ANTICIPATED BY THE CONTRACTOR. A WASH OUT PAD MAY ALSO BE INSTALLED TO WASH CONSTRUCTION VEHICLES EXITING THE SITE.
 - ROADS ADJACENT TO THE CONSTRUCTION SITE SHALL BE CLEAN AT THE END OF EACH WORK DAY.
 - TEMPORARY SEDIMENT TRAPS MAY BE EXCAVATED OR BERMED/HAYBALED AND SHALL BE SIZED IN ACCORDANCE WITH THE "RHODE ISLAND STORMWATER DESIGN AND INSTALLATION STANDARDS MANUAL" AND THE "RHODE ISLAND SOIL EROSION AND SEDIMENTATION CONTROL HANDBOOK." THE DISCHARGE LOCATION FROM THESE BASINS SHALL BE STABILIZED TO PREVENT EROSION.
 - SILT FENCE SHALL BE INSTALLED AROUND ALL EARTH STOCKPILES.
 - ALL OTHER EROSION CONTROL DEVICES SHOWN ON THESE PLANS SHALL BE IN ACCORDANCE WITH "RHODE ISLAND STORMWATER DESIGN AND INSTALLATION STANDARDS MANUAL" AND THE "RHODE ISLAND SOIL EROSION AND SEDIMENTATION CONTROL HANDBOOK."
 - THE EROSION CONTROL MEASURES SHOWN ON THESE PLANS ARE INTENDED TO BE THE MINIMUM NECESSARY AT THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN AND SUPPLEMENT THESE EROSION CONTROLS, AS NECESSARY THROUGHOUT CONSTRUCTION, TO PREVENT DAMAGE TO WETLANDS AND/OR SURROUNDING PROPERTIES.
 - THE CONTRACTOR SHALL PREVENT DUST, DEBRIS, OR SEDIMENTS FROM LEAVING THE SITE DURING CONSTRUCTION AND SHALL BE RESPONSIBLE TO REPAIR, CLEAN UP, OR TAKE OTHER CORRECTIVE ACTION IMMEDIATELY OR NO LATER THAN 24 HOURS AFTER ANY ISSUE ARISES.
 - THE CONTRACTOR SHALL CONTROL CONSTRUCTION STORMWATER RUNOFF IN SUCH A MANNER AS TO PREVENT DAMAGE TO DOWN-SLOPE PROPERTIES; ANY PROPERTIES SO DAMAGED SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
 - THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL DEVICES ON A WEEKLY BASIS AND WITHIN 12 HOURS AFTER A RAINFALL EVENT. THE CONTRACTOR SHALL IMMEDIATELY REPAIR DAMAGED DEVICES AND SHALL REMOVE ACCUMULATED SEDIMENTS IN ACCORDANCE WITH LOCAL REQUIREMENTS AND THE RIDOT PERMIT, WHEN APPLICABLE. ACCUMULATED SEDIMENTS SHALL BE REMOVED FROM THE SITE OR PLACED AWAY FROM WETLANDS AND CLOSED DRAINAGE SYSTEMS.
 - THE CONTRACTOR SHALL MAKE EVERY EFFORT TO PERFORM EARTHWORK IN PHASES THAT ALLOW FOR STABILIZATION OF THESE AREAS IN A RELATIVELY SHORT TIME PERIOD AND TO DISCOURAGE EROSION AND SEDIMENTATION. ANY EXPOSED SOILS INTENDED TO REMAIN FOR MORE THAN 14 DAYS SHALL BE STABILIZED WITH MULCH, OR TEMPORARY SEED AND WATERED TO ENCOURAGE VEGETATION.
 - THE CONTRACTOR SHALL INSTALL PERMANENT SEEDING BETWEEN APRIL 15TH AND JUNE 15TH AND/OR AUGUST 15TH TO OCTOBER 15TH.
 - THE CONTRACTOR SHALL APPLY PERMANENT SOIL STABILIZATION MEASURES TO ALL GRADED AREAS WITHIN SEVEN (7) DAYS OF ESTABLISHING FINAL GRADE.
 - THE CONTRACTOR SHALL PERFORM A FINAL INSPECTION OF ALL EXISTING CATCH BASINS, DRAINAGE PIPING, AND ASSOCIATED DRAINAGE STRUCTURES WITHIN THE PROJECT LIMITS TO ENSURE THAT ALL SEDIMENTS HAVE BEEN REMOVED BEFORE WORK IS DEEMED COMPLETE.
 - THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL E&S MEASURES ONLY AFTER FINAL PAVEMENT IS PLACED AND VEGETATION IN LANDSCAPE AREAS IS WELL ESTABLISHED.

- INFILTRATION AREAS**
- TO ENSURE THE LONG-TERM FUNCTION AND VALUE OF ANY AREA PROPOSED FOR INFILTRATION, INCLUDING BUT NOT LIMITED TO BIORETENTION BASINS, SAND FILTERS, SURFACE INFILTRATION BASINS, AND SUBSURFACE INFILTRATION CHAMBERS, THE CONTRACTOR SHALL EXERCISE THE FOLLOWING BEST MANAGEMENT PRACTICES THROUGHOUT CONSTRUCTION:
- THESE AREAS SHALL NOT BE USED FOR TEMPORARY CONSTRUCTION SEDIMENTATION CONTROL, SEDIMENTATION BASINS, OR DEWATERING AREAS.
 - THESE AREAS SHALL REMAIN OFF-LINE UNTIL THE ENTIRE CONSTRUCTION AREA CONTRIBUTING TO THESE AREAS HAS BEEN STABILIZED WITH BUILDINGS, BUILDING FOUNDATIONS, PAVEMENT, OR VEGETATION, AS APPLICABLE.
 - STORMWATER RUNOFF DURING CONSTRUCTION SHALL BE DIRECTED AWAY FROM THESE AREAS TO THE GREATEST EXTENT PRACTICABLE. WHERE NOT FEASIBLE, THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION CONTROLS UP-GRADIENT OF THESE AREAS TO PREVENT SEDIMENTATION OF THESE AREAS DURING CONSTRUCTION.
 - THE SUBGRADE BELOW THESE AREAS SHALL NOT BE COMPACTED; THEREFORE, THE CONTRACTOR SHALL RESTRICT ACCESS TO THESE AREAS BY HEAVY EQUIPMENT AND SHALL NOT USE THESE AREAS FOR MATERIALS STOCKPILES.
 - EXCAVATION AND CONSTRUCTION OF THESE AREAS SHALL BE PERFORMED USING HAND OR HYDRAULIC EQUIPMENT TO ENSURE THAT THE NATURAL FILTRATION EARTH MATERIAL IS NOT DISTURBED OR OTHERWISE COMPACTED.
 - UPON COMPLETION OF CONSTRUCTION OF ANY OF THESE AREAS, THE CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES TO PREVENT SILTATION OF THE FILTER MATERIALS.

- SILT FENCE**
NTS CA-EC-001
-

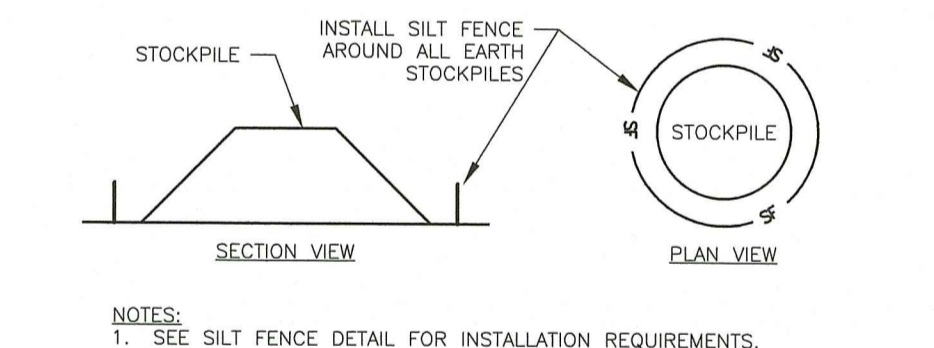


SLOPE STEEPNESS	MAXIMUM LENGTH (FT)
2:1	25
3:1	50
4:1	75
5:1 OR FLATTER	100

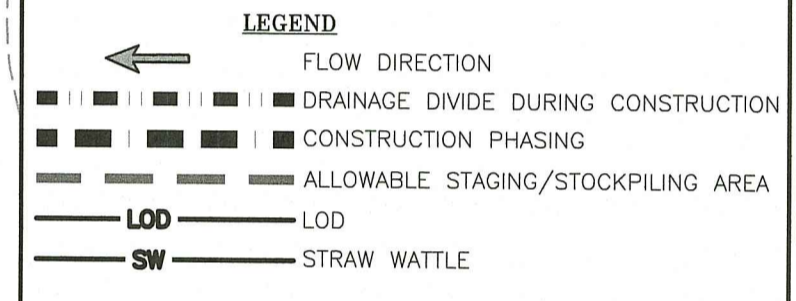


DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED JUN 23 2021 FILE # 21-0008
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Nancy L. Freeman



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SCALE: 1"=40'
 CA JOB #220041
 DEC. 11, 2020

DRAWN BY: AKG
 CHECK BY: SFC

ISSUED FOR PERMITTING

SESC PLAN
CHURCH STREET SOLAR
 391 CHURCH STREET
 PLAT 11A LOT 5
 RICHMOND, RHODE ISLAND

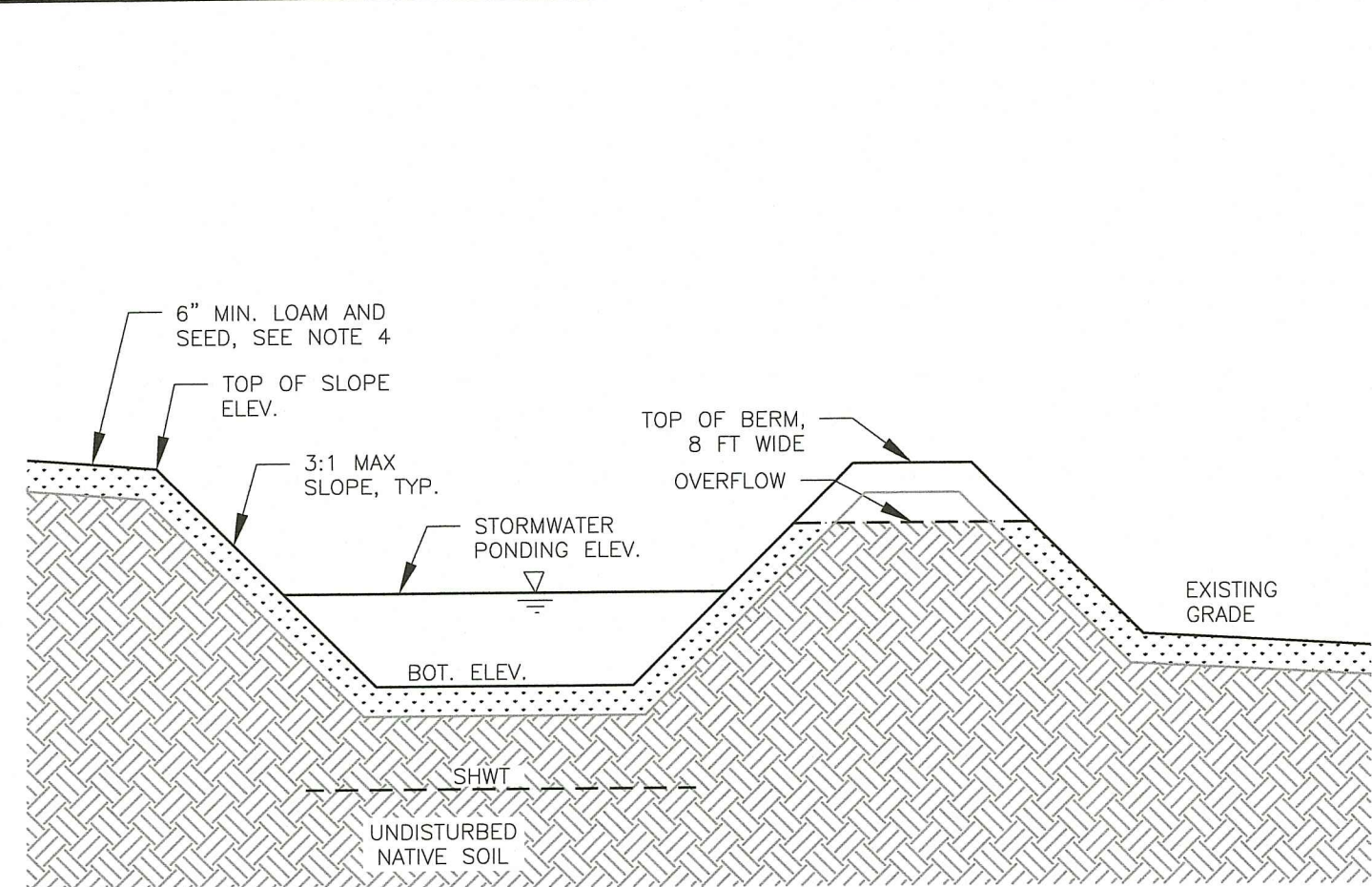
PREPARED FOR
INMAN SOLAR INC.

SERGIO F. CHERENZIA
 No. 9238
 REGISTERED PROFESSIONAL ENGINEER (CIVIL)

C-3

SHEET 3 OF 4

CHERENZIA & ASSOCIATES, LTD.

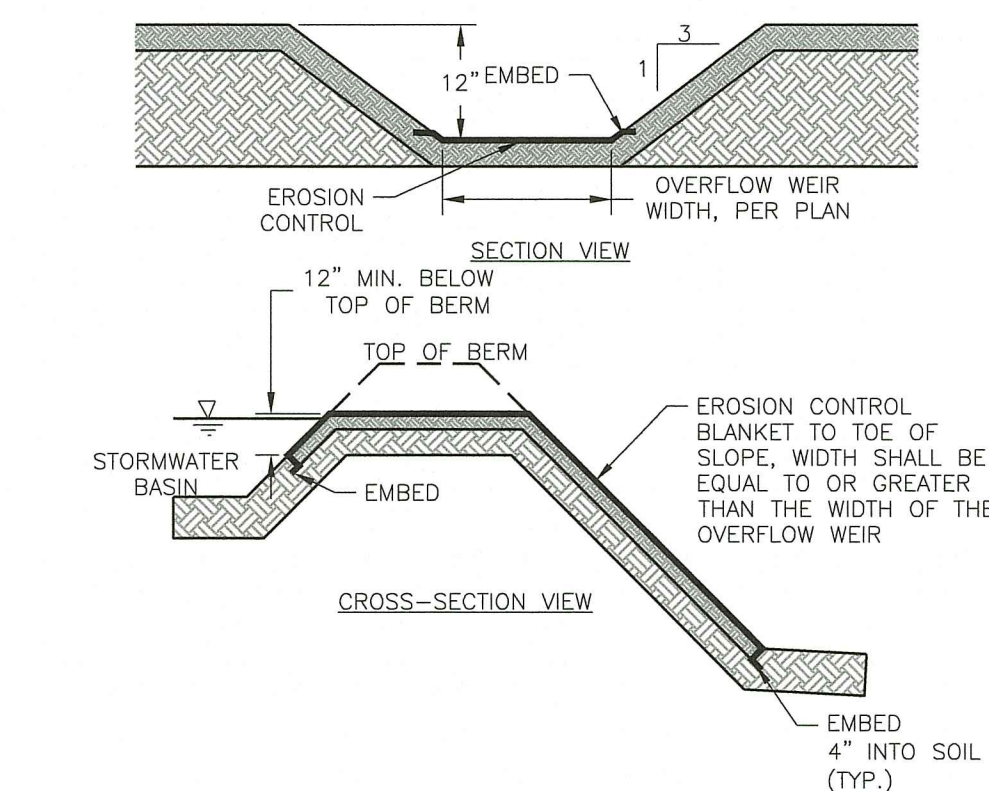


STORMWATER TREATMENT DATA	
STORMWATER POND	P-1
BASIN BOTTOM ELEVATION	53.0
BASIN OVERFLOW ELEVATION	54.2
TOP OF BERM ELEV.	55.5
SEASONAL HIGH GROUND WATER TABLE ELEVATION	46.7
TEST HOLE NUMBER USED FOR DETERMINATION	TH-10034A
SEPARATION DISTANCE TO BOTTOM OF BASIN	6.3
STORM EVENT ELEVATIONS	
1-YEAR	53.0
10-YEAR	53.1
100-YEAR	54.4

- NOTES:
1. ANY EXISTING LOAM AND SANDY LOAM SOILS AT BOTTOM OF BASIN SHALL BE REMOVED AND REPLACED WITH ASTM C-33 CONCRETE SAND, BASED ON TEST HOLE INVESTIGATION. LOAMY SOILS EXISTING TO APPROXIMATELY 18-22 INCHES BELOW EXISTING GRADES OR ELEVATIONS 52.4-54.4 WITHIN THE AREA OF THE BASIN.
 2. PROJECT ENGINEER SHALL BE CONTACTED (SERGIO CHERENZIA, 401-596-7747) FOR AN INSPECTION OF EXISTING SOILS AT THE BOTTOM OF BASIN ONCE EXCAVATION IS COMPLETE BEFORE BACKFILLING WITH C-33 SAND OR OTHER MATERIALS.
 3. REFER TO LANDSCAPING PLANS FOR SEEDING REQUIREMENTS. APPLICATION OF FERTILIZER, PESTICIDES, OR HERBICIDES SHALL NOT BE ALLOWED WITH THE EXCEPTION OF A MINIMAL APPLICATION ASSOCIATED WITH THE INITIAL ESTABLISHMENT OF THE VEGETATIVE COVER.
 4. LOAM MIX OF 50% LOAM AND 50% SAND SHALL BE USED WITHIN THE BASIN TO MAINTAIN AN INFILTRATION RATE OF 8.27 IN/HR.

STORMWATER BASIN SECTION

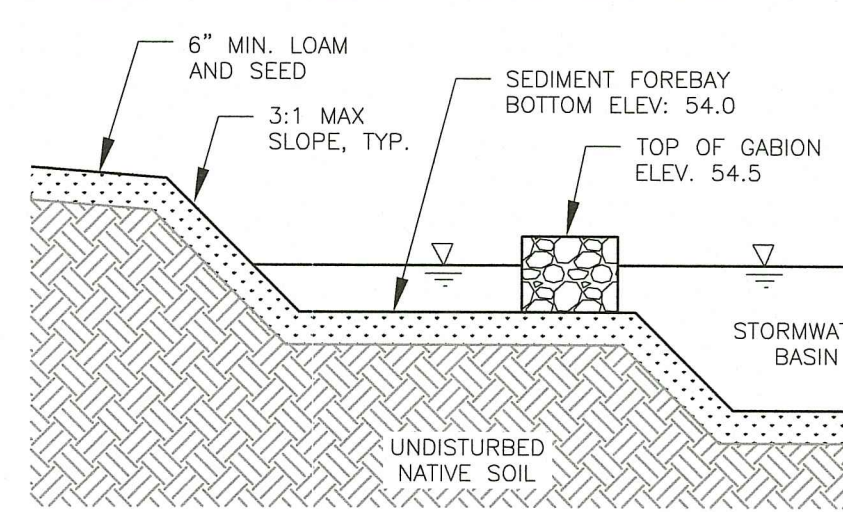
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- NOTES:
1. EROSION CONTROL BLANKET SHALL BE NORTH AMERICAN GREEN PRODUCTS P300 OR APPROVED EQUIVALENT.
 2. EROSION CONTROL BLANKET SHALL BE INSTALLED PER MANUFACTURER'S REQUIREMENTS.

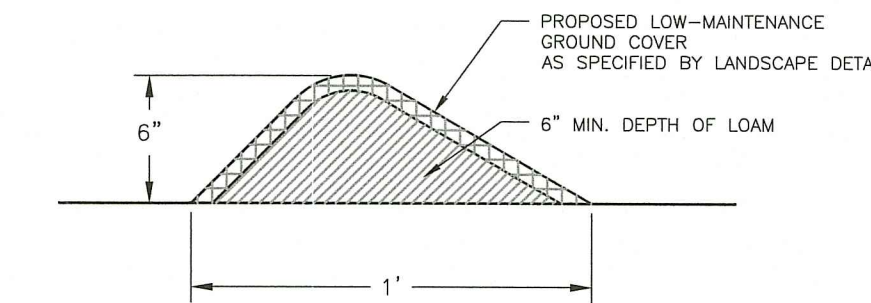
EARTHEN EMERGENCY SPILLWAY

NTS CA-D-029B



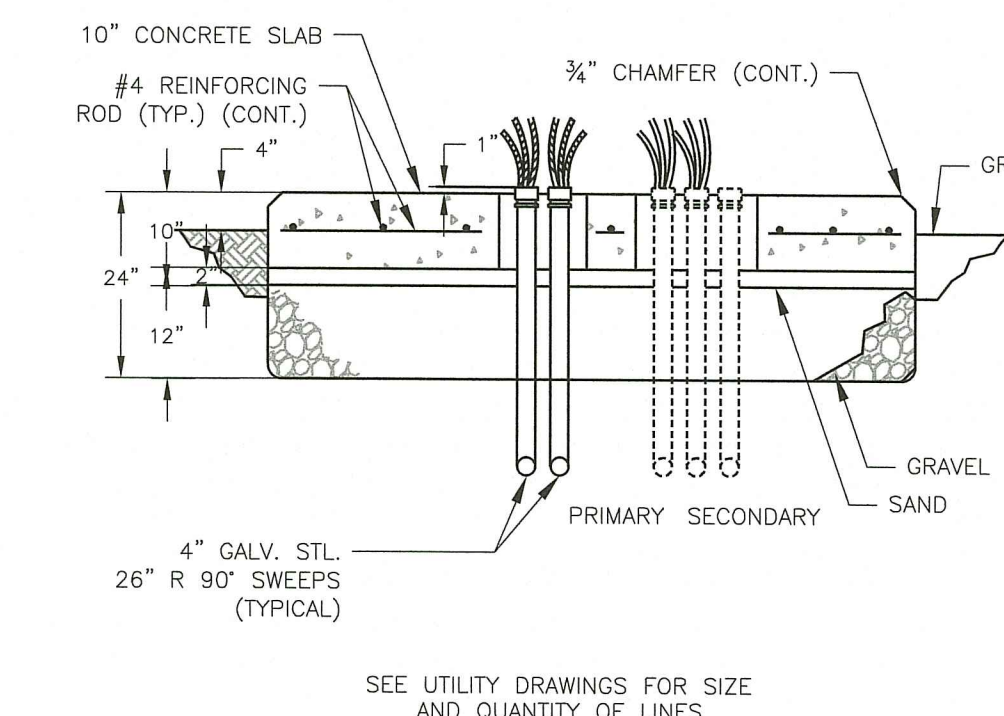
SEDIMENT FOREBAY SECTION

NTS



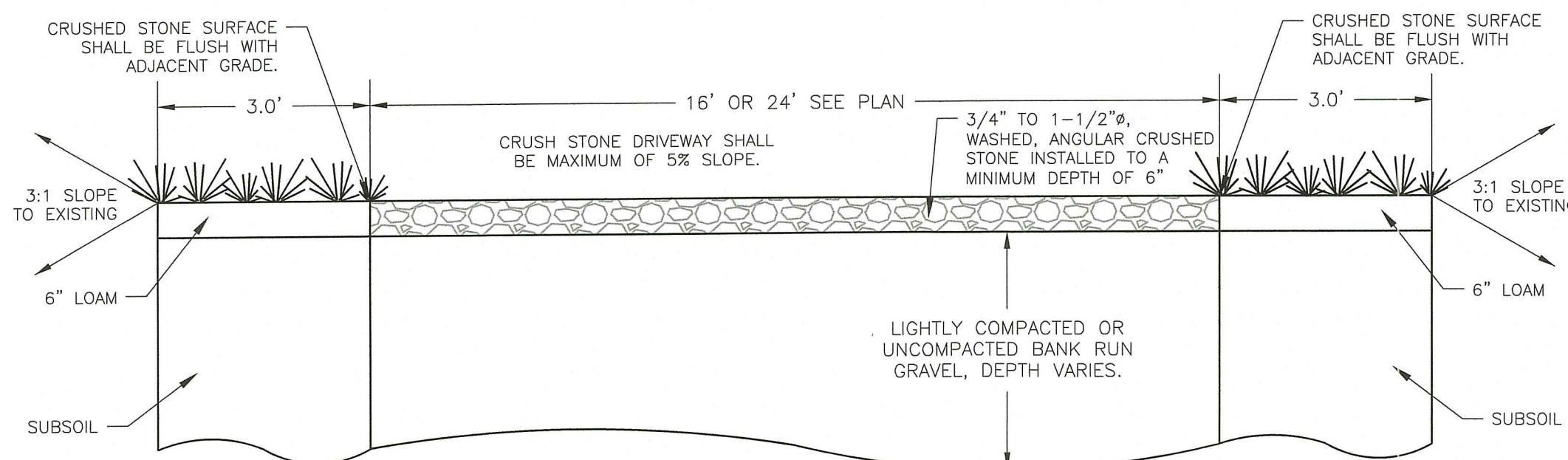
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NTS



TRANSFORMER PAD

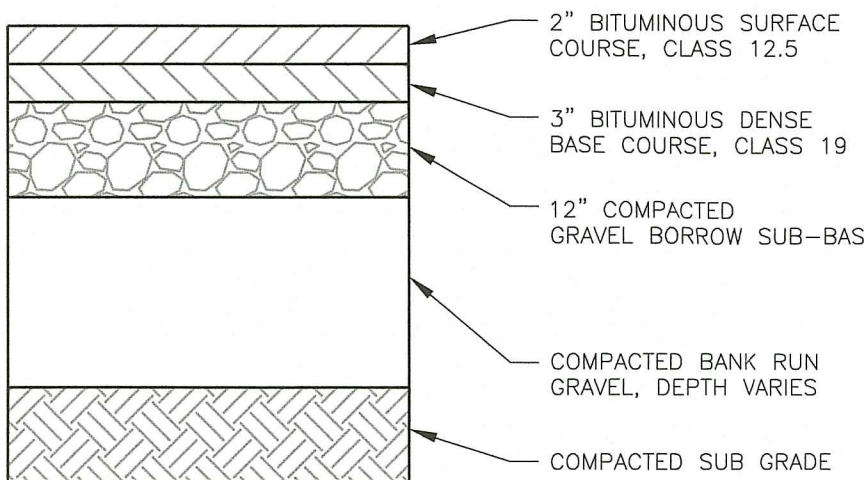
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- NOTES:
1. CRUSHED STONE ACCESS DRIVE SHALL BE USED FOR PERIODIC INSPECTION & MAINTENANCE PURPOSES ONLY.
 2. CRUSHED STONE SURFACE SHALL BE FLUSH WITH ADJACENT GRADE.
 3. CRUSHED STONE SHALL BE REPLACED OR RE-GRADED AS NECESSARY TO MAINTAIN A MINIMUM 6 INCH DEPTH OF STONE AND A LEVEL SURFACE.
 4. STRUCTURAL STRENGTH OF THE DRIVE TO SUPPORT VEHICLES SHALL BE VERIFIED BY OTHERS.
 5. BANK RUN GRAVEL DEPTH SHALL AT MINIMUM BE A DEPTH REQUIRED TO REPLACE ANY EXISTING LOAM OR SANDY LOAM MATERIAL.

CRUSHED STONE DRIVEWAY CROSS-SECTION

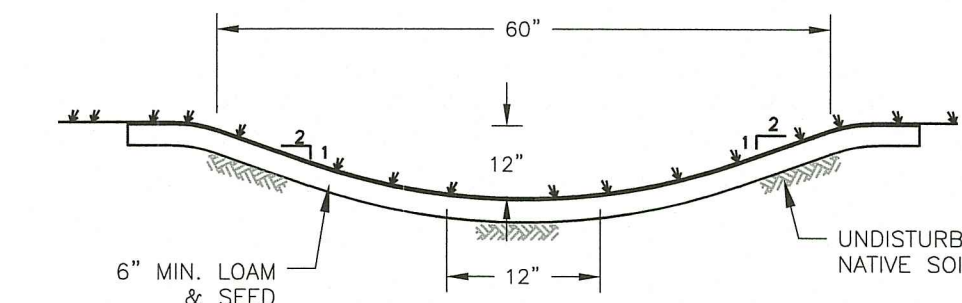
NTS



- NOTES:
1. PAVEMENT AND ASSOCIATED MATERIALS WITHIN RIGHT-OF-WAY SHALL CONFORM TO RIDOT STANDARDS.
 2. IF EXISTING PAVEMENT THICKNESS IS FOUND TO BE GREATER THAN THE PROPOSED PAVEMENT STRUCTURE, THE PROPOSED PAVEMENT STRUCTURE WILL BE MODIFIED TO MATCH THE EXISTING PAVEMENT STRUCTURE AT A MINIMUM.

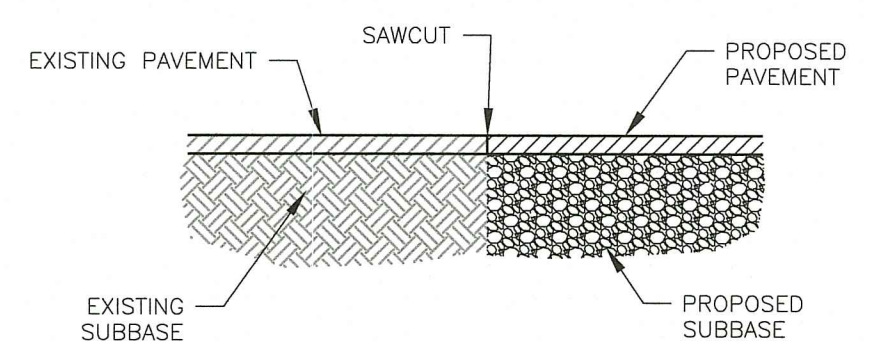
PAVEMENT STRUCTURE

NTS CA-RD-001



GRASSED SWALE

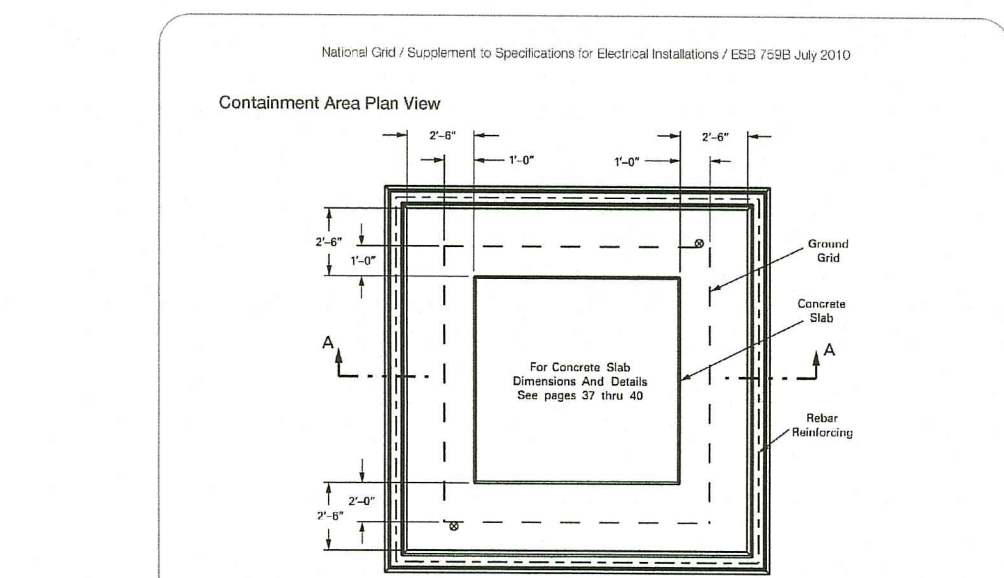
NTS



PAVEMENT SAWCUT

NTS

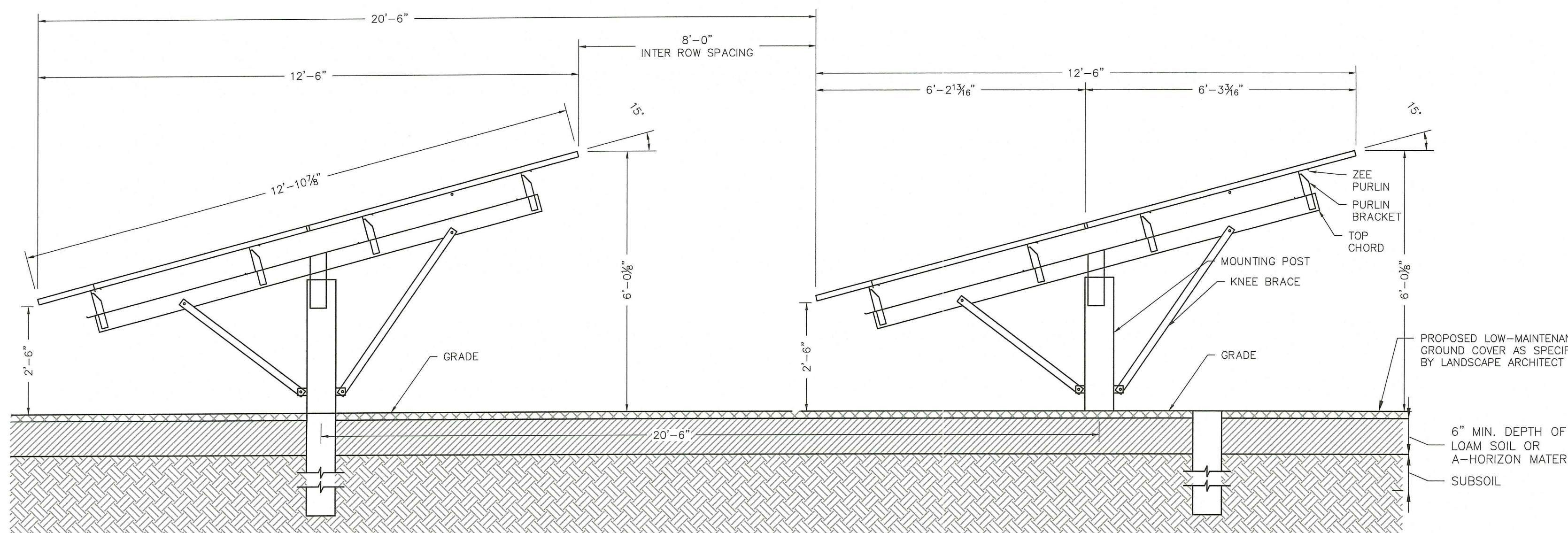
- NOTES:
1. CLEAN SAWED JOINTS WITH COMPRESSED AIR.
 2. APPLY JOINT SEAL MATERIAL FILLING FROM THE BOTTOM UP.
 3. THE HOT-SEAL MATERIAL SHALL COMPLETELY FILL THE SAWCUT SUCH THAT AFTER COOLING THE LEVEL OF THE SEALER WILL NOT BE GREATER THAN 1/8 INCH BELOW THE PAVEMENT SURFACE.
 4. CARE SHALL BE TAKE DURING THE SEALING OPERATION TO INSURE THAT THE FINAL APPEARANCE WILL PRESENT A NEAT LINE.



SPILL CONTAINMENT

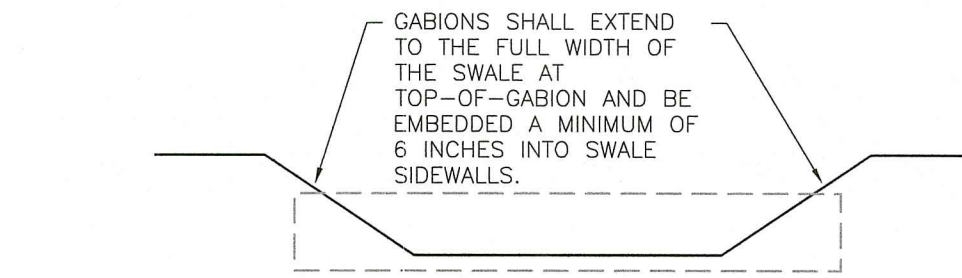
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- NOTE:
1. TYPICAL SPILL CONTAINMENT BASED ON NATIONAL GRID REQUIREMENTS SHOWN ABOVE. EXACT SPILL CONTAINMENT SIZE & SPECIFICATIONS SHALL BE COORDINATED BETWEEN THE SOLAR CONTRACTOR AND THE BUILDING OFFICIAL.



SIDE VIEW WITH SOLAR FACILITY GROUND COVER

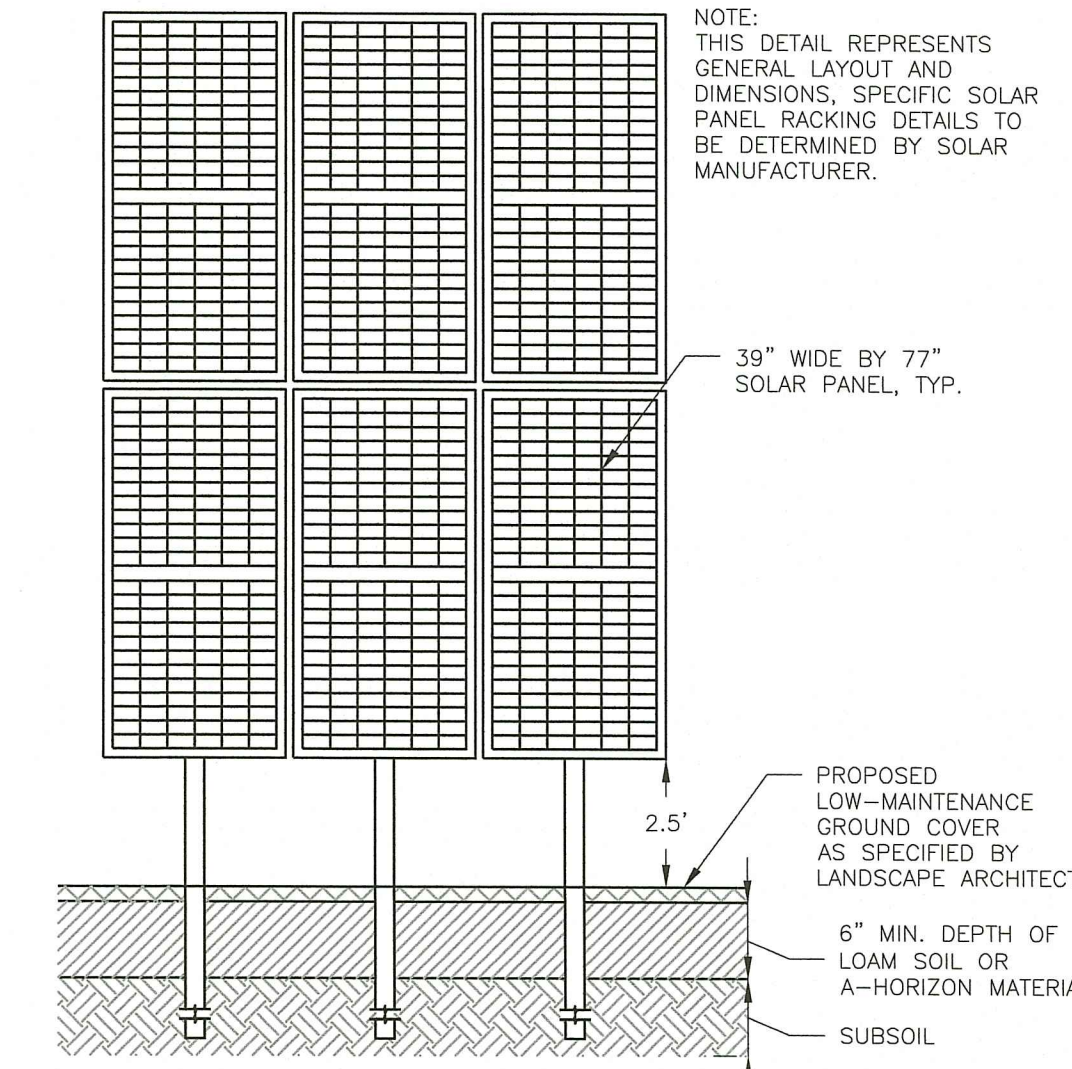
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STONE GABION

NTS

- NOTE:
1. EMBEDMENT MAY BE REQUIRED TO MEET TOP AND BOTTOM ELEVATION REQUIREMENTS SHOWN ON THE PLAN. A MINIMUM EMBEDMENT IS NOT REQUIRED.



FRONT VIEW WITH SOLAR FACILITY GROUND COVER

NTS

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
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Nancy L. Freeman

Environmental Management
 MAY 03 2021
 Office of Water Resources

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 FRENCHTOWN, NJ 08825

APPLICANT:
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 C/O MARK JONES
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2	2/5/21	FINAL PLAN	AKG / SFC
3	4/29/21	CROSSMAN, RIDEM, & RIDOT COMMENTS	AKG / SFC

SCALE: NTS
 CA JOB #220041
 DEC. 11, 2020

DRAWN BY: AKG
 CHECK BY: SFC

ISSUED FOR PERMITTING

SITE DETAILS

CHURCH STREET SOLAR
 391 CHURCH STREET
 PLAT 11A LOT 5
 RICHMOND, RHODE ISLAND

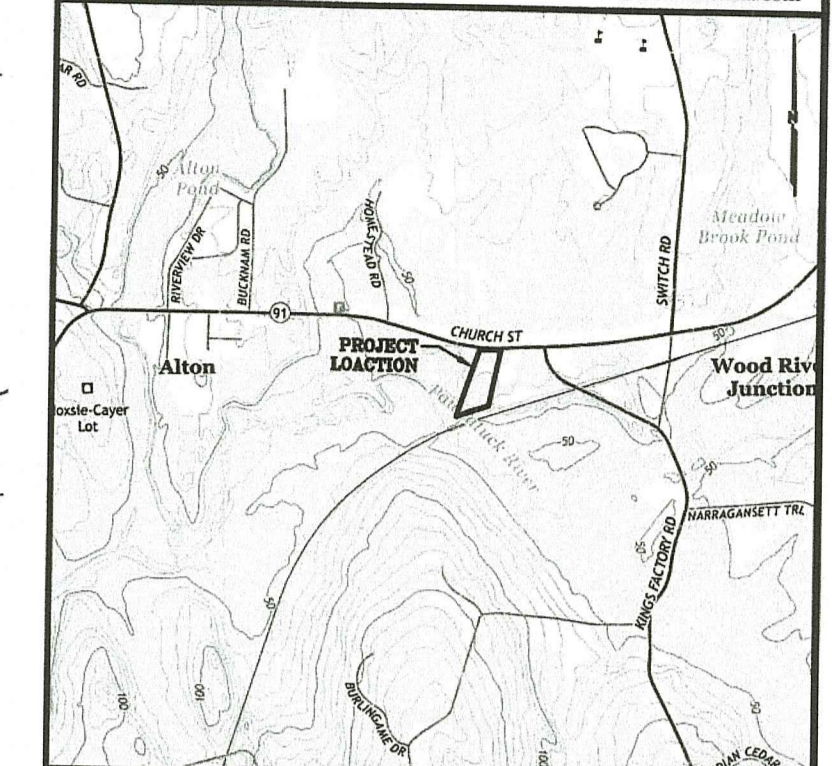
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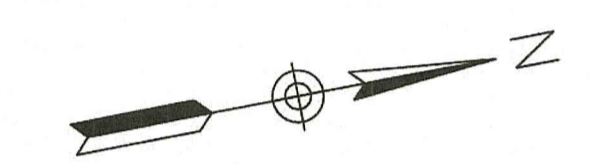
C-4

SHEET 4 OF 4

CHERENZIA & ASSOCIATES, LTD.



LOCATION MAP, NTS



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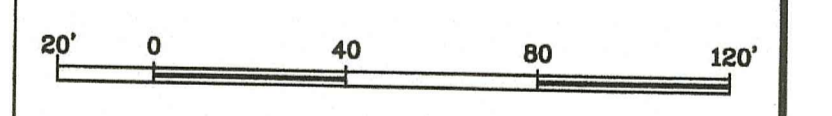
Nancy L. Freeman

Environmental Management
 MAY 03 2021
 Office of Water Resources

PLAN REVISIONS

DATE	DESCRIPTION	DWN BY	CHK BY
12/9/2020	REVISE SURFACE CONTOURS	TWC	MAC
1/4/2021	NORTH ARROW	AKG	MAC
1/15/2021	ADD SPOT GRADES	TWC	MAC

SCALE: 1"=40'
 CA JOB # 220041
 OCTOBER 26, 2020
 DRAWN BY: TWC
 CHECK BY: MAC



BOUNDARY & TOPOGRAPHIC SURVEY

INMAN SOLAR
 391 CHURCH STREET
 RICHMOND, RHODE ISLAND
 PLAT 3 LOT 154

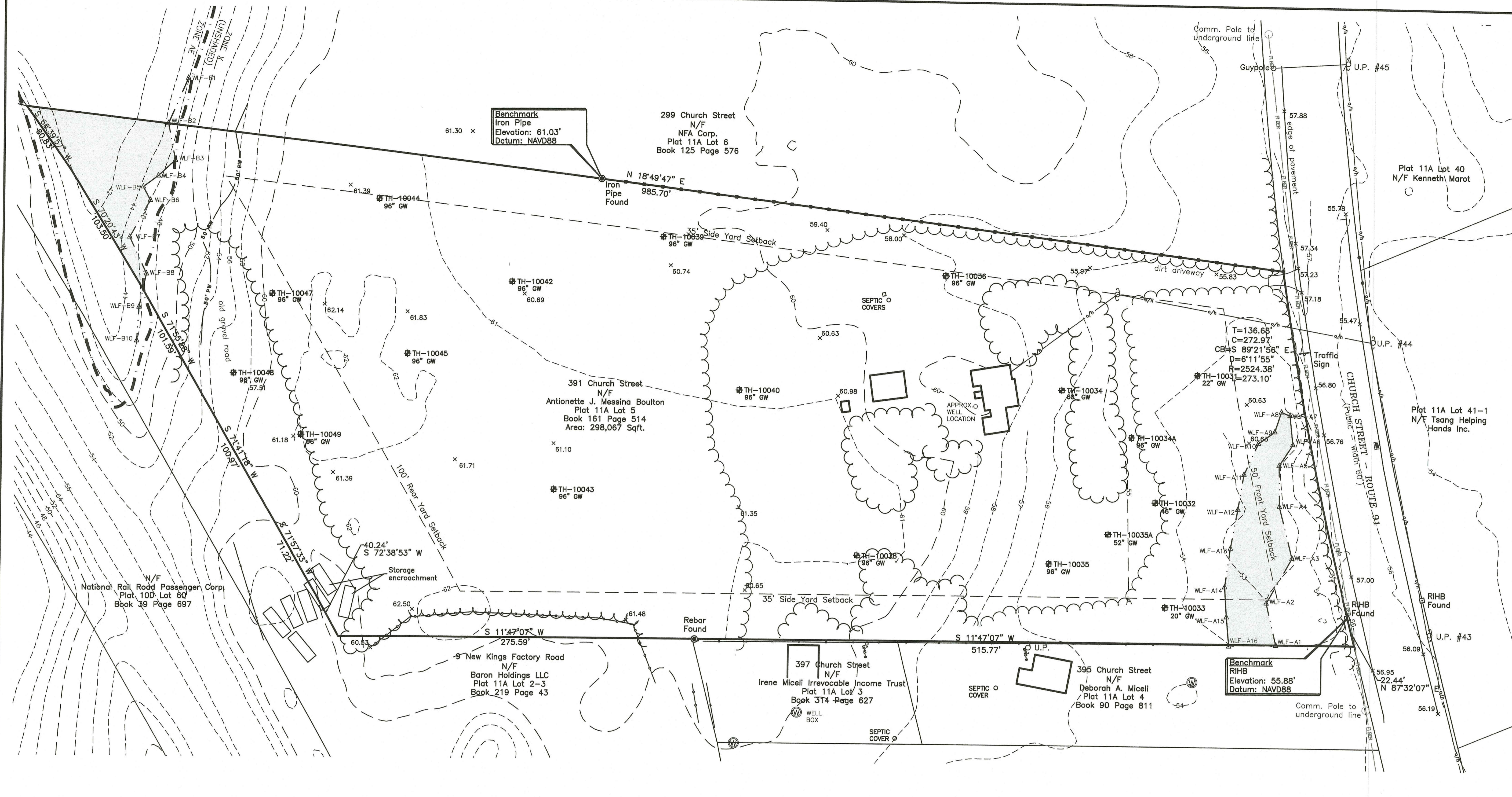
PREPARED FOR
MARK JONES

MARK A. CASTELLANOS
 No. 2511
 PROFESSIONAL LAND SURVEYOR

SV-1

Sheet 1 of 1

CHERENZIA & ASSOCIATES, LTD.



DISTRICT DIMENSIONAL REGULATIONS

District	LI - Light Industrial
Use	Permitted Uses
Min. Lot Size	2 Acres - 87,120 s.f.
Min. Lot Frontage	200 feet
Building Coverage %	30%
Max. Hgt. Prin. Bldg.	40 Feet
Max. Hgt. Access. Bldg.	35 feet
Min. Front Yard Depth	50 feet
Min. Side Yard Depth	35 feet
Min. Rear Yard Depth	100 feet
Min Access. Bldg Front	50 feet
Min Access. Bldg Side	10 feet
Min. Access. Bldg. Rear	10 feet

NOTES:

- Reference is hereby made to A Quit Claim Deed between Charles A. Messina and Antoinette Jeyan Messina Boulton, Recorded in the Town of Richmond Land Evidence Records at Volume 161 Page 514 on September 5, 2002.
- The Bearings and North Arrow orientation depicted hereon are based upon the Rhode Island State Plane Grid NAD-83.
- The elevations depicted hereon are based on the NAVD-88 Vertical Datum.
- Topography - spot elevations and one foot contour intervals shown are based on a field survey conducted by Cherenzia & Associates in August 2020. Two foot contour intervals are based on the RIGIS 2016 LIDAR Data Set
- The subject parcel lies partially within FEMA Special Hazard Flood Area Zone AE and within Zone X (unshaded), as shown of FEMA Flood Insurance Rate Map Panel 44009C0162J, effective April 3, 2020.
- Wetland delineation was flagged by Ecosystem Solutions, Inc. in July 2020. Flags were located during a field survey conducted by Cherenzia & Associates in August 2020.
- Location of underground fiber optic location is approximate and compiled from plan reference R2.

PLAN REFERENCES

- Plan of Land for Robert Lassan Alton-Carolina Road, Route 91, Richmond, R.I. Dec. 21, 1988 Scale: 1"=50' Arm Engineering Inc. Recorded in Town of Richmond Land Evidence Records Book 66 Page 431
- Perimeter Survey Plan Limited Content Boundary Survey/Perimeter Survey AP 11A Lot 5 391 Church Street ~ Route 91 Richmond, Rhode Island Prepared for: Inman Solar 10/20/18 Original Issue Foster Survey Company Foster, Rhode Island
- Plat Showing Land in Richmond, Rhode Island Taken on Behalf of The State of Rhode Island By Vote of State Board of Public Roads On the 9th Day of December A.D. 1925 Plat No. 128 Under Law of 1923
- Plat Showing Land in Richmond, Rhode Island Taken in Fee Simple for State Highway Purposes On Behalf of The State of Rhode Island & Providence Plantations By the Director of Transportation Acquisition by condemnation authorized by the State Properties Committee on Aug. 2, 1977 Plat No. 1811

LEGEND

- monument as noted
- highway bound
- WLF-A wetland flagging
- U.P. # utility pole
- ▣ catch basin
- 55.47 spot grade
- major contour interval
- minor contour interval
- chain link fence
- concrete post fence
- metal wire fence
- existing overhead wire
- existing fiber optic line (see note 7)
- brushline
- 50' PW 50' perimeter wetland setback
- FEMA flood hazard line

CERTIFICATION:

This survey has been conducted and the plan has been prepared pursuant to section 9 of the rules and regulation for professional land surveyors, effective November 25, 2015 as follows:

TYPE OF SURVEY: BOUNDARY DATA ACCUMULATION PLANIMETRICS TOPOGRAPHY
 MEASUREMENT SPECIFICATION: CLASS I CLASS II CLASS III CLASS T-2 & T-4 (see note 4)

The purpose for the conduct of the survey and the preparation of the plan is to show the existing conditions of the subject parcel in support for further development.

By: *MA Cast*
 PLS Signature
 Mark A. Castellanos PLS #2511
 Printed PLS Name & License No.
 LS.000A133-COA

STREET INDEX
 CHURCH STREET

LANDSCAPE DESIGN
PREPARED FOR
CHURCH STREET SOLAR

391 CHURCH STREET, RICHMOND, RHODE ISLAND

BY

REBECCA MARIE NOLAN, RLA

DECEMBER 11, 2020

SHEET INDEX

L-100	TITLE SHEET
L-102	LAYOUT PLAN
L-103	PLANTING PLAN
L-104	PLANTING DETAILS

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED JUN 23 2021 FILE # 21-0008
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Wendy L. Freeman

LANDSCAPE ARCHITECT:

Rebecca M. Nolan, RLA

Landscape Architecture & Planning
Stonington, CT 06379
p. 860.812.2500 | rebeccanolan.com

Rebecca Marie Nolan, ASLA | Registered Landscape Architect | CCA #22051

CIVIL:

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Civil Engineers
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Environmental Engineers
200 Main St., Stonington, CT 06379
Tel: 860.339.6800
P.O. Box 913, Waterbury, CT 06720
Tel: 860.295.7147
www.cherenzia.com

CHURCH STREET SOLAR
391 CHURCH STREET AP 11A Lot 5
RICHMOND, RHODE ISLAND

Environmental Management
JUN 14 2021
Office of Water Resources

DATE: DECEMBER 11, 2020
DRAWN BY: RMN
JOB NO: 202003
SCALE:
FILENAME: L-Sheets_Inrman Solar

REVISIONS:

1/6/2021 REVISED PER DPR COMMENTS RMN
4/29/2021 REVISED PER RIDEMRIDOT COMMENTS RMN



Rebecca Marie Nolan, ASLA | Registered Landscape Architect

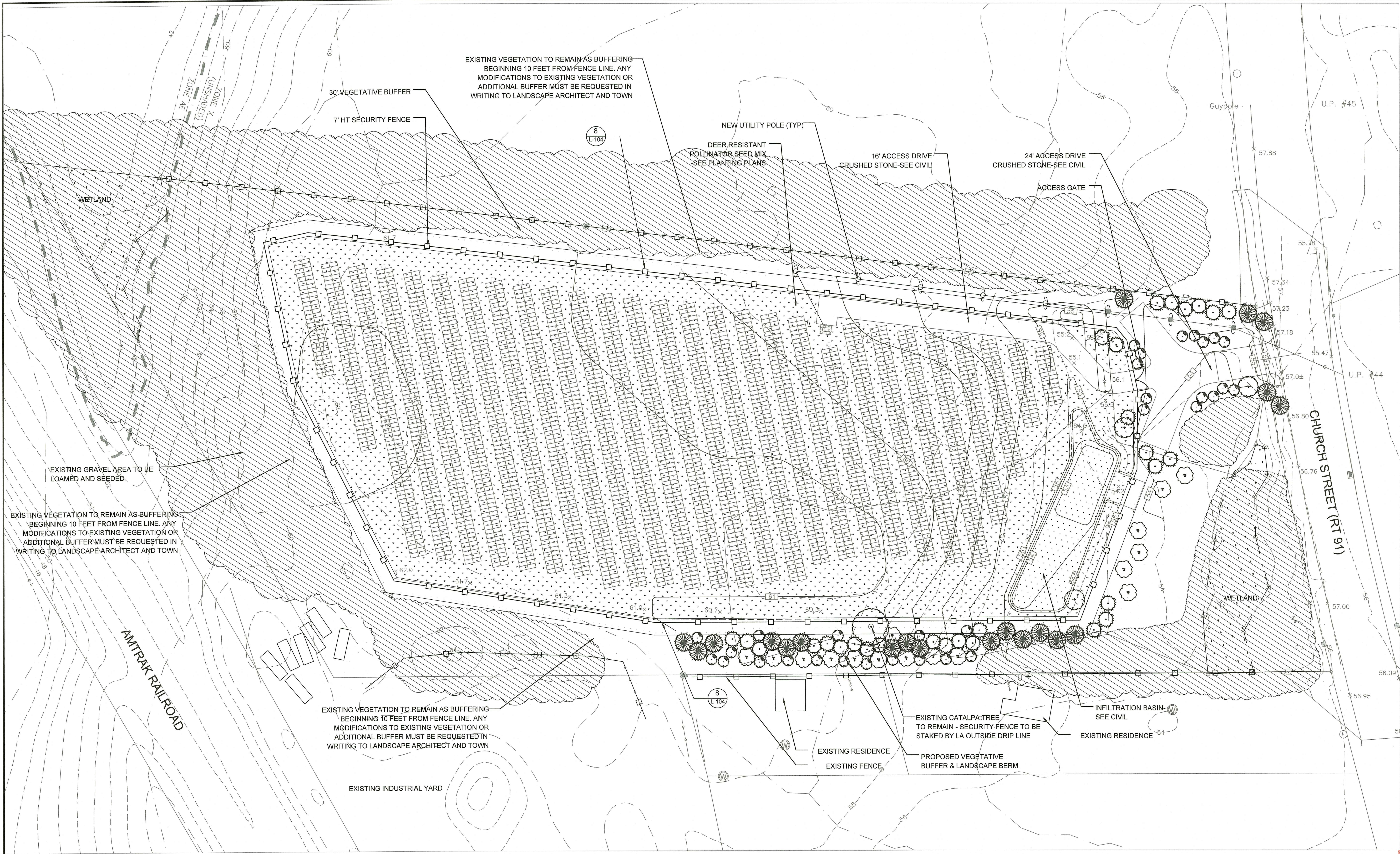
TITLE PAGE

SHEET NO.

L-100

SHEET 7 of 10
SHEET 1 of 4

PROGRESS SET NOT FOR CONSTRUCTION



- LEGEND**
- EXISTING VEGETATION TO REMAIN
 - EXISTING WETLAND
 - INFILTRATION AREA PLANTING
 - POLLINATOR SEED MIX

- SITE DETAIL KEYNOTES**
- PLANTING DETAILS**
- | | |
|-------------------------|---------|
| MULTISTEM TREE PLANTING | 1/L-104 |
| DECIDUOUS TREE PLANTING | 2/L-104 |
| EVERGREEN PLANTING | 3/L-104 |
| TREE PROTECTION | 4/L-104 |
| GROUNDCOVER PLANTING | 5/L-104 |
| SHRUB PLANTING | 6/L-104 |
| POLLINATOR SEED MIX | 7/L-104 |
| 7' HT SECURITY FENCE | 8/L-104 |

SITE CLEARING NOTES

1. DO NOT USE HEAVY EQUIPMENT OR CONDUCT ANY ACTIVITY THAT WILL CAUSE COMPACTION UNDER THE DRIP-LINE OF EXISTING TREES. DO NOT STORE EQUIPMENT OR MATERIALS UNDER THE DRIP-LINE OF EXISTING TREES OR BEHIND PROTECTION FENCE. THE DRIP-LINE RADIUS EQUALS THE LENGTH OF THE LONGEST LIMB, PERPENDICULAR TO THE TRUNK.
2. WHEN ROOTS OVER 1" IN DIAMETER OR GREATER ARE EXPOSED, NOTIFY LANDSCAPE ARCHITECT PRIOR TO REMOVAL.
2. LOAM SHALL NOT LEAVE THE PROPERTY. ALL LOAM SHALL BE STOCKPILED AND REUSED ON SITE.
4. STRIP TOPSOIL TO WHATEVER DEPTHS ENCOUNTERED IN A MANNER TO PREVENT INTERMINGLING WITH UNDERLYING SUBSOIL OR OTHER OBJECTIONABLE MATERIAL. REMOVE HEAVY GROWTHS OR GRASS OR OTHER PLANTS BEFORE STRIPPING. WHERE EXISTING TREES ARE INDICATED TO REMAIN, LEAVE EXISTING TOPSOIL IN PLACE WITHIN DRIP-LINES TO PREVENT DAMAGE TO ROOT SYSTEM.
5. STOCKPILE TOPSOIL IN STORAGE PILES IN AREAS DIRECTED. CONSTRUCT STORAGE PILES TO PROVIDE FREE DRAINAGE OF SURFACE WATER. COVER STORAGE PILES, IF REQUIRED, TO PREVENT WIND EROSION.

DEMOLITION NOTES

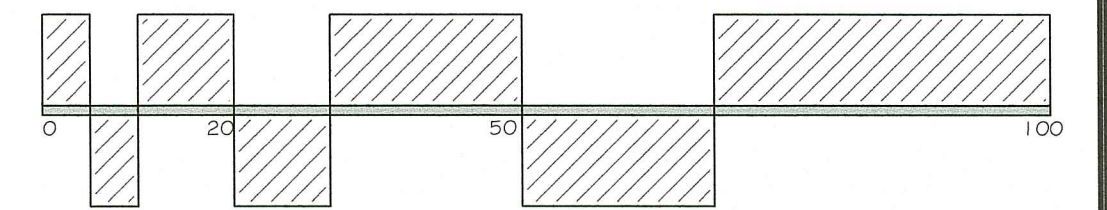
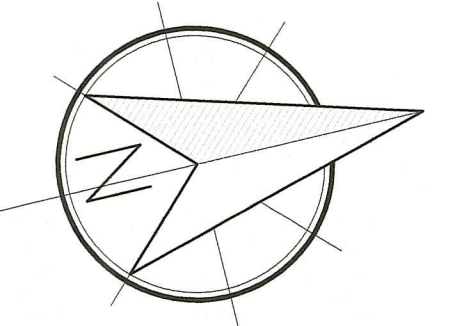
1. OWNER TO RESERVE RIGHT OF FIRST REFUSAL ON ALL DEMOLISHED MATERIAL.
2. ITEMS INDICATED TO BE REMOVED AND SALVAGED REMAIN OWNER'S PROPERTY. REMOVE, CLEAN AND DELIVER TO OWNER'S DESIGNATED STORAGE AREA.
3. COMPLY WITH EPA REGULATIONS AND DISPOSAL REGULATIONS OF AUTHORITIES HAVING JURISDICTION.
4. CONDUCT DEMOLITION WITHOUT DISRUPTING OWNER'S USE OF THE SITE.
5. CONTRACTORS SHALL CONTACT UTILITY LOCATING COMPANY AND LOCATE ALL UTILITIES PRIOR TO ANY EXCAVATION.
6. MAINTAIN AND PROTECT ALL SURFACE AND SUBSURFACE EXISTING UTILITIES TO REMAIN IN SERVICE BEFORE PROCEEDING WITH DEMOLITION, PROVIDING BYPASS CONNECTIONS TO OTHER PARTS OF THE BUILDING.
7. LOCATE IDENTIFY, SHUT OFF, DISCONNECT AND CAP OFF UTILITY SERVICES TO BE DEMOLISHED AS NEEDED.
8. REDIRECT AND BRING BACK ONLINE ONLY UTILITIES OR SYSTEMS WITH THE MINIMUM AMOUNT OF DISRUPTION IN SERVICE.
9. CONDUCT DEMOLITION OPERATIONS AND REMOVE DEBRIS TO PREVENT INJURY TO PEOPLE AND DAMAGE TO ADJACENT BUILDINGS AND SITE IMPROVEMENTS.
10. PROMPTLY REMOVE DEMOLISHED MATERIALS FROM OWNER'S PROPERTY AND LEGALLY DISPOSE OF THEM.
11. CONSTRUCTION FENCING TO BE INSTALLED AS NECESSARY TO PROTECT PEDESTRIANS, CONTROL VEHICULAR TRAFFIC AND PROTECT ON-SITE CONSTRUCTION MATERIALS.

LAYOUT NOTES

1. LAYOUT AND VERIFY DIMENSIONS PRIOR TO CONSTRUCTION. BRING DISCREPANCIES TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
2. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE. DO NOT SCALE DRAWINGS.
3. WHERE DIMENSIONS ARE CALLED AS "EQUAL," SPACE REFERENCED ITEMS EQUALLY, MEASURED TO (THEIR CENTER LINES) (A CONSISTENT EDGE).
4. INSTALL INTERSECTING ELEMENTS AT 90 DEGREE ANGLES TO EACH OTHER UNLESS OTHERWISE NOTED.
13. CONTRACTORS RESPONSIBILITY TO MAINTAIN ACCESS TO ALL BUILDINGS WITHIN CONTRACT LIMIT LINE.
14. PROVIDE SILT FENCE AND SEDIMENTATION CONTROLS AS NEEDED DURING CONSTRUCTION.
15. BASE MATERIAL IN AREAS TO RECEIVE ASPHALT OR CONCRETE TO BE EXCAVATED TO SUB-GRADE ELEVATIONS AS REQUIRED TO ACCOMMODATE BASE COURSE.
16. PROMPTLY PATCH AND REPAIR HOLES AND DAMAGED SURFACES OF PAVING OR OTHER SURFACES CAUSED BY DEMOLITION.
17. PROVIDE TREE PROTECTION FENCING FOR ALL TREES TO REMAIN WITHIN CONSTRUCTION LIMITS. DO NOT STORE EQUIPMENT OR MATERIALS WITHIN THE DRIP LINE OF ANY TREES.
18. ALL TREE STUMPS ARE TO BE REMOVED COMPLETELY, ALONG WITH ALL ROOTS 6" AND LARGER.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
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APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Rebecca M. Nolan



TO SCALE WHEN PLOTTED ON 24x36
PROGRESS SET NOT FOR CONSTRUCTION

LANDSCAPE ARCHITECT:
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Rebecca Marie Nolan, AIA | Registered Landscape Architect | COA #25561

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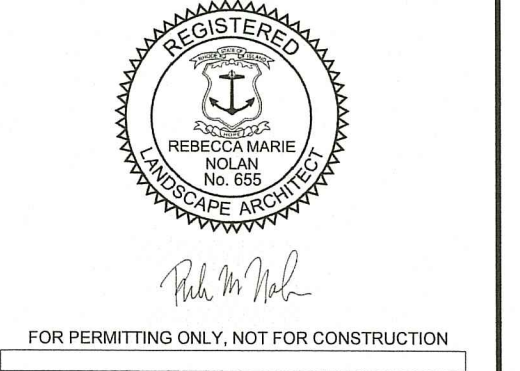
CHURCH STREET SOLAR
391 CHURCH STREET AP 11A Lot 5
RICHMOND, RHODE ISLAND

Environmental Management
JUN 14 2021
Office of Water Resources

DATE: DECEMBER 11, 2020
DRAWN BY: RMN
JOB NO: 202003
SCALE: 1"=40'
FILENAME: L-Sheets_Inman Solar

REVISIONS:

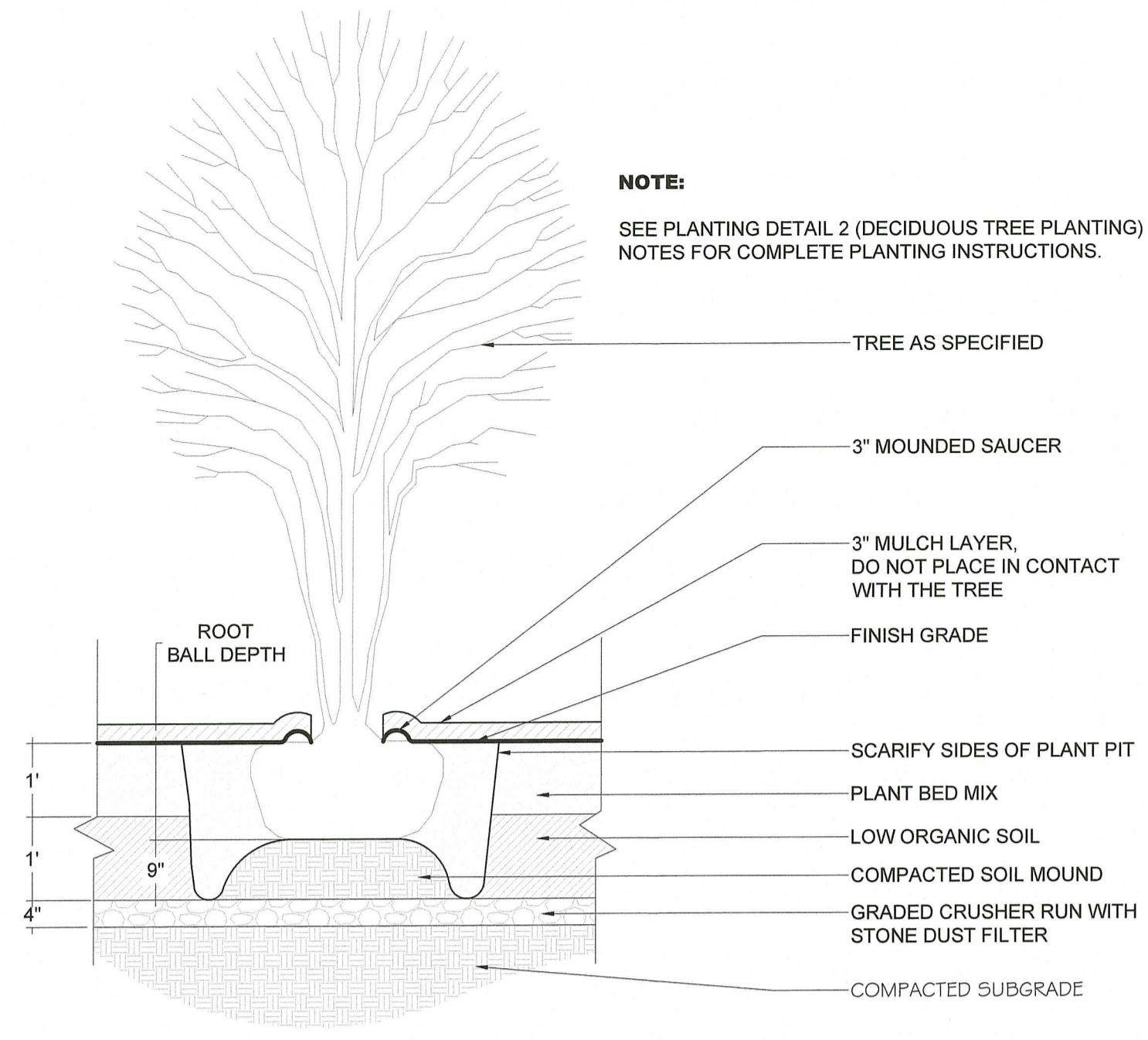
1/5/2021	REVISED PER DPR COMMENTS	RMN
4/29/2021	REVISED PER RIDEM/RDOT COMMENTS	RMN



FOR PERMITTING ONLY, NOT FOR CONSTRUCTION

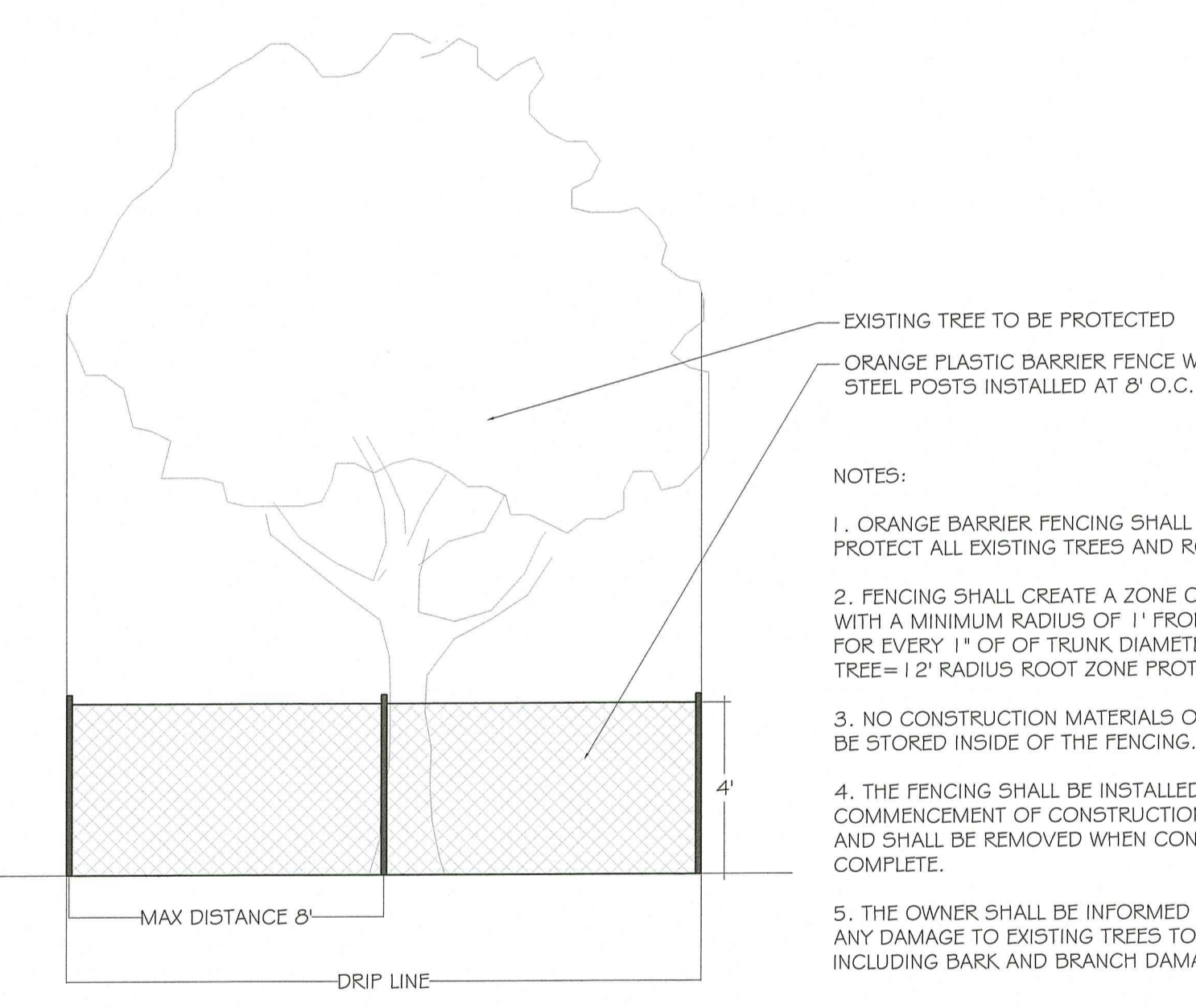
LAYOUT PLAN

SHEET NO.
L-102
SHEET 8 of 10
SHEET 2 of 4



NOTE:
SEE PLANTING DETAIL 2 (DECIDUOUS TREE PLANTING) NOTES FOR COMPLETE PLANTING INSTRUCTIONS.

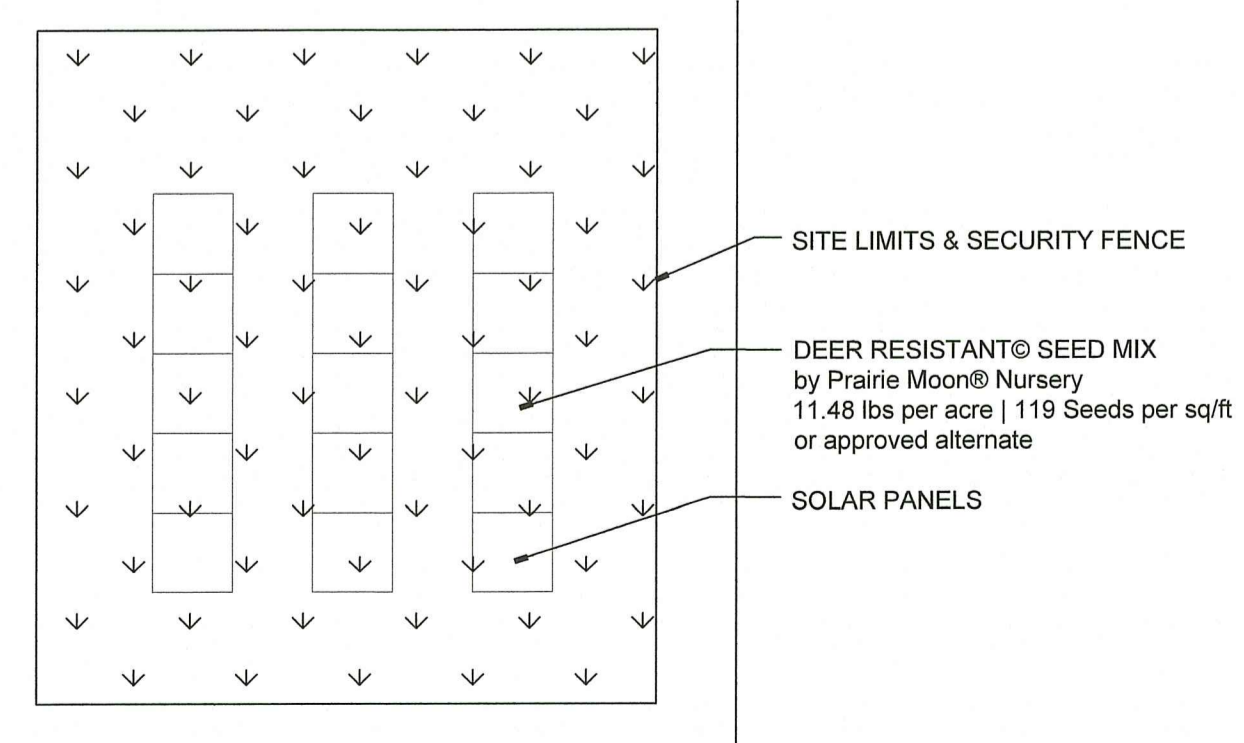
1 MULTISTEM TREE PLANTING
SCALE: 1/2"=1'



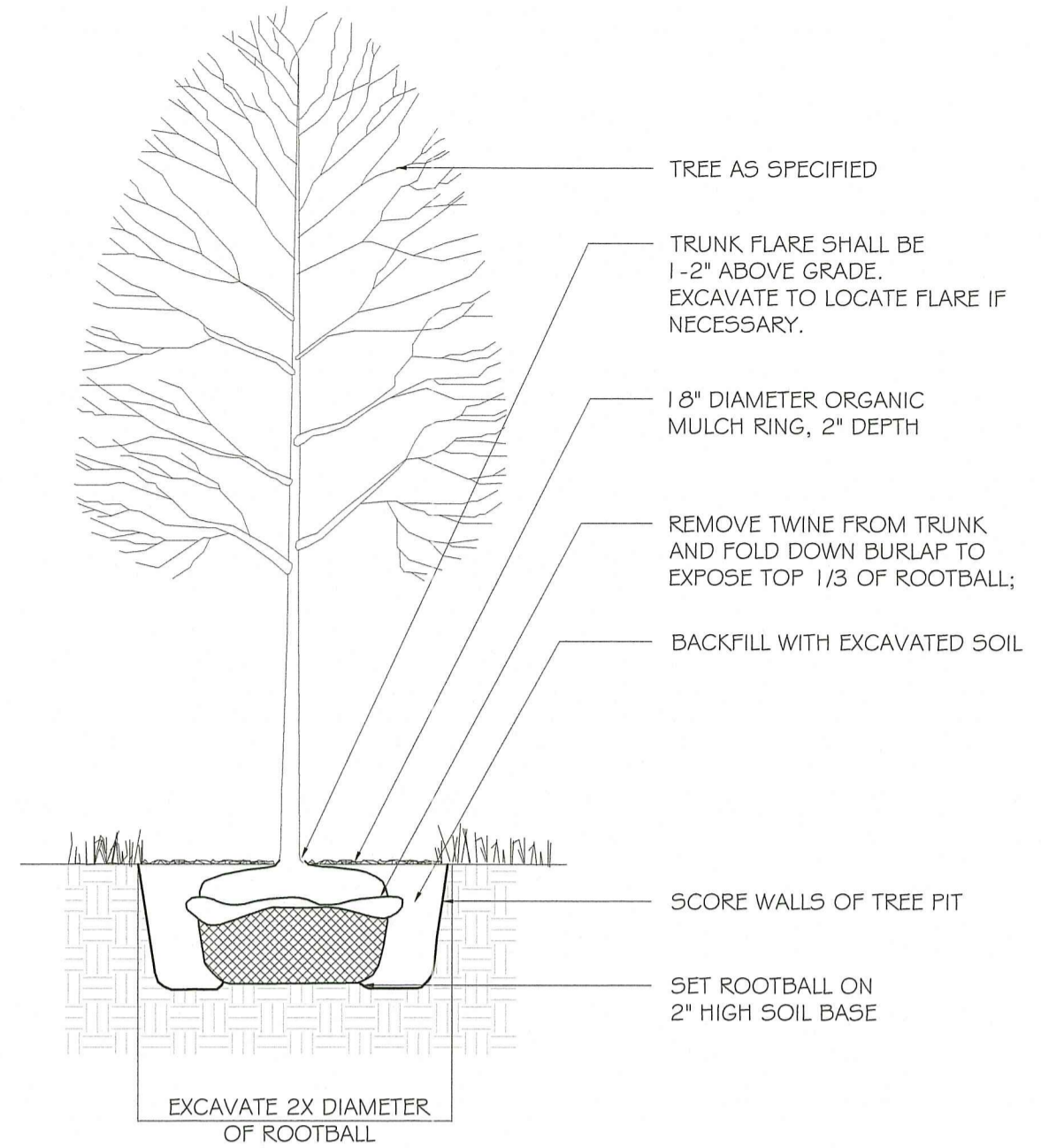
NOTES:

- ORANGE BARRIER FENCING SHALL BE USED TO PROTECT ALL EXISTING TREES AND ROOT ZONES.
- FENCING SHALL CREATE A ZONE OF PROTECTION WITH A MINIMUM RADIUS OF 1' FROM TREE TRUNK FOR EVERY 1" OF TRUNK DIAMETER (I.E. 1.2" DBH TREE = 1.2' RADIUS ROOT ZONE PROTECTION)
- NO CONSTRUCTION MATERIALS OR DEBRIS SHALL BE STORED INSIDE OF THE FENCING.
- THE FENCING SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES, AND SHALL BE REMOVED WHEN CONSTRUCTION IS COMPLETE.
- THE OWNER SHALL BE INFORMED IMMEDIATELY OF ANY DAMAGE TO EXISTING TREES TO BE PRESERVED, INCLUDING BARK AND BRANCH DAMAGE.

4 TREE PROTECTION
SCALE: 1/4"=1'



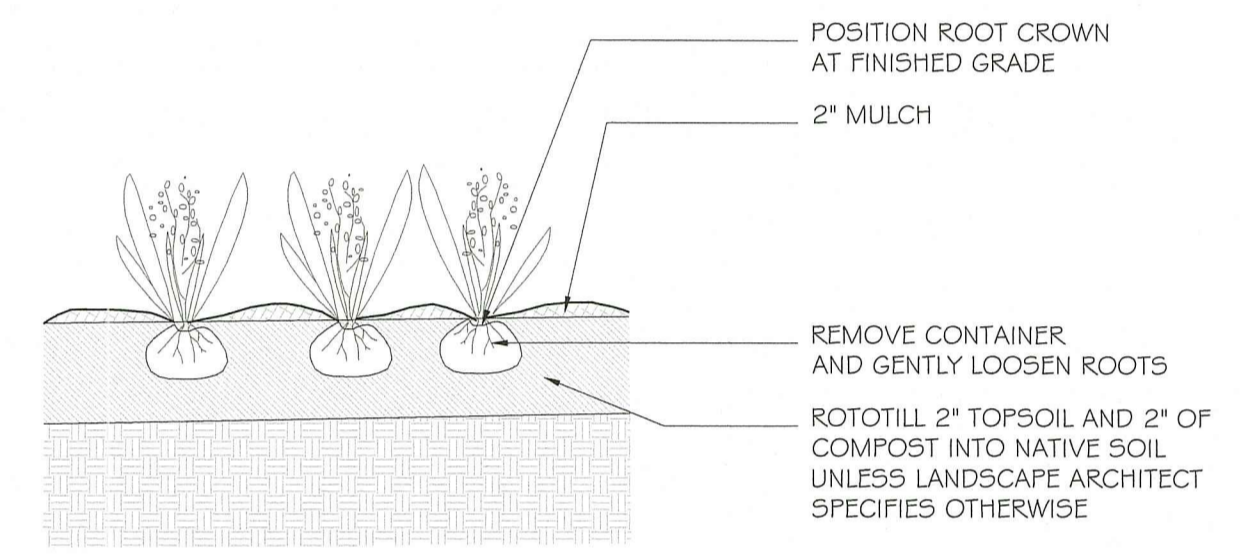
7 NATIVE SEED PLANTING- POLLINATOR MIX
SCALE: 1/2"=1'



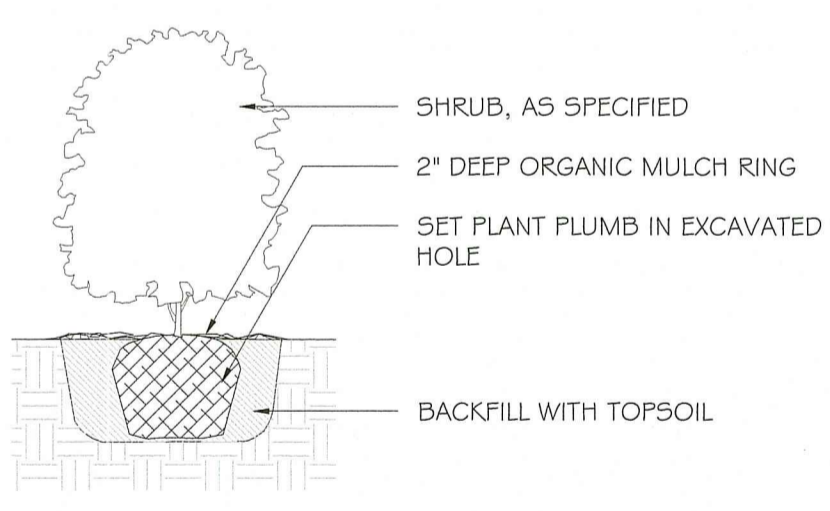
NOTES:

- SET TREE PLUMB.
- DO NOT STAKE UNLESS DIRECTED TO DO SO BY LANDSCAPE ARCHITECT
- REMOVE COMPLETELY ANY NON-BIODEGRADABLE MATERIALS BINDING THE ROOTBALL.
- REMOVE WIRE BASKET COMPLETELY IF ROOTBALL WILL BARE. OTHERWISE, CLIP AND PEEL BACK WIRE BASKET AT LEAST ONE THIRD OF THE WAY FROM THE TOP OF THE ROOTBALL.
- SATURATE SOIL WITHIN SIX (6) HOURS OF PLANTING AND WATER AS NECESSARY UNTIL IRRIGATION IS INSTALLED.
- DO NOT ADD ANY SOIL AMENDMENTS OTHER THAN COMPOST UNLESS DIRECTED TO BY LANDSCAPE ARCHITECT.
- DO NOT ADD ANY SOIL OR MULCH AGAINST TRUNK OF TREE. IF ROOT FLARE IS NOT EXPOSED, REMOVE SOIL AND EXPOSE.

2 DECIDUOUS TREE PLANTING
SCALE: 1/4"=1'



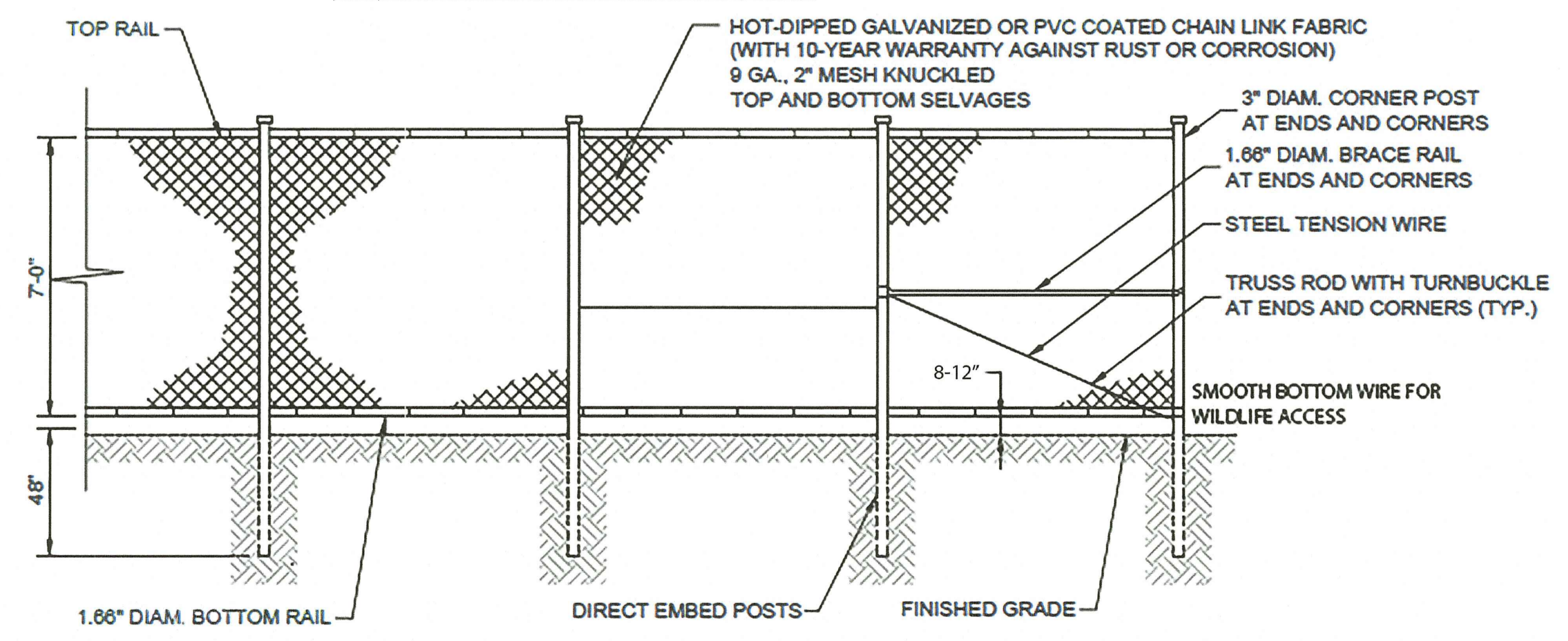
5 GROUNDCOVER PLANTING
SCALE: 1/2"=1'



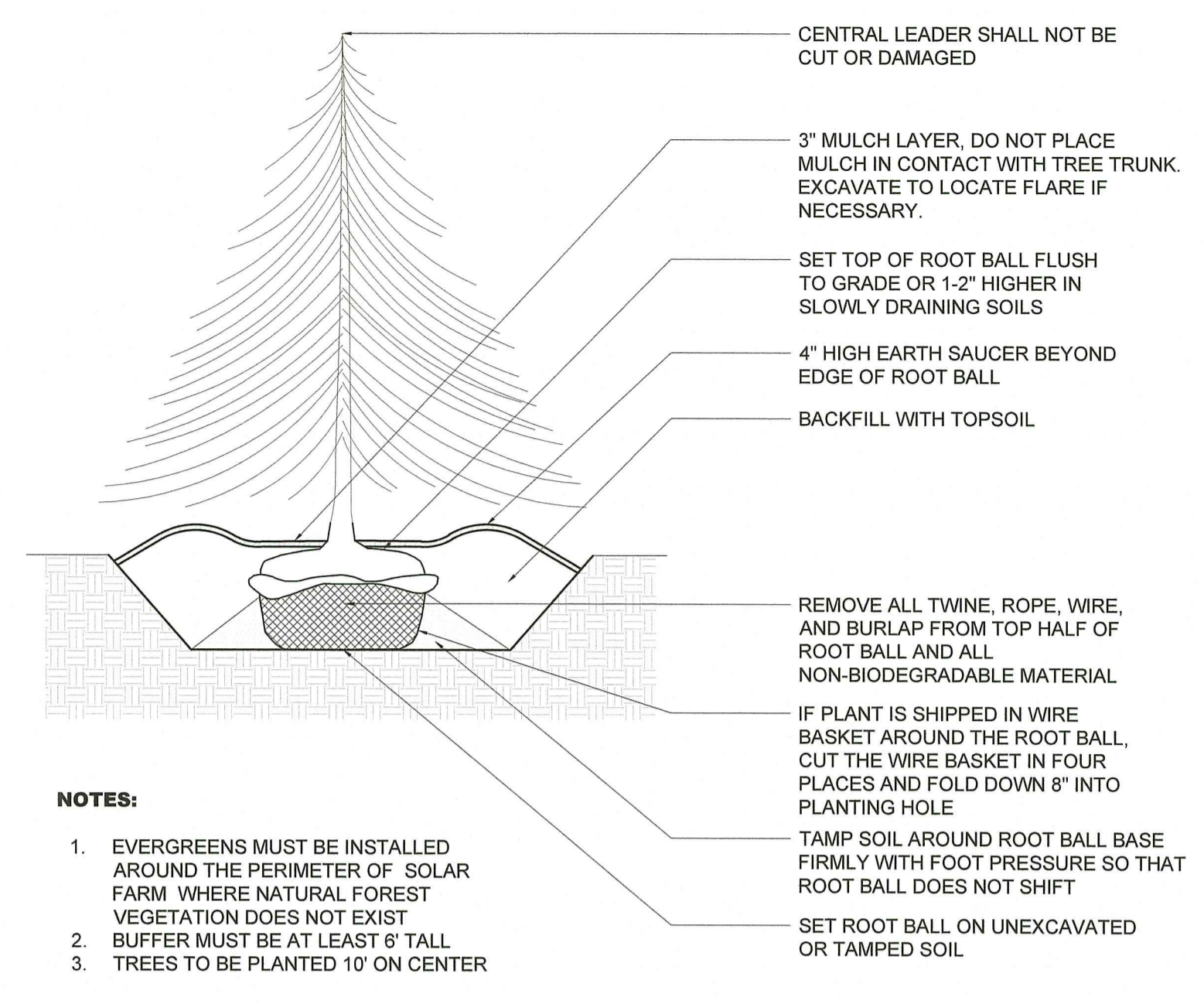
6 SHRUB PLANTING

NOTES:

- FOR B & B PLANT MATERIAL, REMOVE ALL TWINE AND ROLL BACK BURLAP FROM TOP 1/2 OF BALL. IF ANY MATERIALS USED TO BIND THE ROOTBALL ARE NON-BIODEGRADABLE, REMOVE COMPLETELY INCLUDING WIRE BASKET.
- FOR CONTAINER GROWN PLANT MATERIAL, REMOVE CONTAINER, TO HELP PREVENT LOOSENING OF SOIL AND SCARIFY BALL TO HELP PREVENT GIRDLING ROOTS.
- SATURATE SOIL WITHIN SIX (6) HOURS OF PLANTING, AND WATER AS NECESSARY UNTIL IRRIGATION IS INSTALLED.
- NO MULCH OR SOIL SHOULD BE PLACED AGAINST THE PLANT'S TRUNK.



8 CHAIN LINK SECURITY FENCE
NTS



NOTES:

- EVERGREENS MUST BE INSTALLED AROUND THE PERIMETER OF SOLAR FARM WHERE NATURAL FOREST VEGETATION DOES NOT EXIST
- BUFFER MUST BE AT LEAST 6' TALL
- TREES TO BE PLANTED 10' ON CENTER

3 EVERGREEN BUFFER PLANTING
SCALE: 1/4"=1'

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
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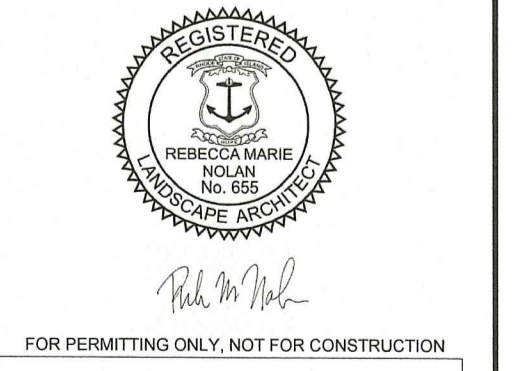
CIVIL:
CHERENZIA & ASSOCIATES, LTD.
Civil Engineers
Lead Civil Engineer
Environmental Engineers

CHURCH STREET SOLAR
391 CHURCH STREET AP 11A Lot 5
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SCALE:
FILENAME: L-Sheets_Inman Solar

REVISIONS:
1/6/2021 REVISED PER DPR COMMENTS RMN
4/29/2021 REVISED PER RIDEM/RI DOT COMMENTS RMN



PLANTING DETAILS

SHEET NO.
L-104

NOTES
1. DETAILS ON THIS SHEET ARE FOR ILLUSTRATIVE AND PERMITTING PURPOSES ONLY. FINAL LAYOUT AND CONFIGURATION SUBJECT TO FINAL DESIGN APPROVAL.

SHEET 10 of 10
SHEET 4 of 4