

DOUGLAS PIKE SOLAR RIDEM PRELIMINARY DETERMINATION

PROPERTY
0 WALLING ROAD
BURRILLVILLE, RI
AP 131, LOT 7

PROPERTY OWNER
MARYANN MANTIA
46 FREEMAN ST
WARWICK, RI 02886

PREPARED FOR:
DOUGLAS PIKE SOLAR, LLC
119 BRAINTREE STREET, SUITE 604
BOSTON, MA 02134

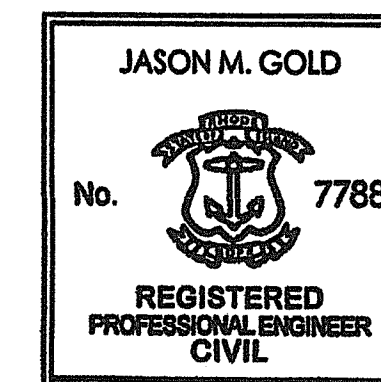
JANUARY 15, 2021
REVISED: APRIL 23, 2021

PREPARED BY:



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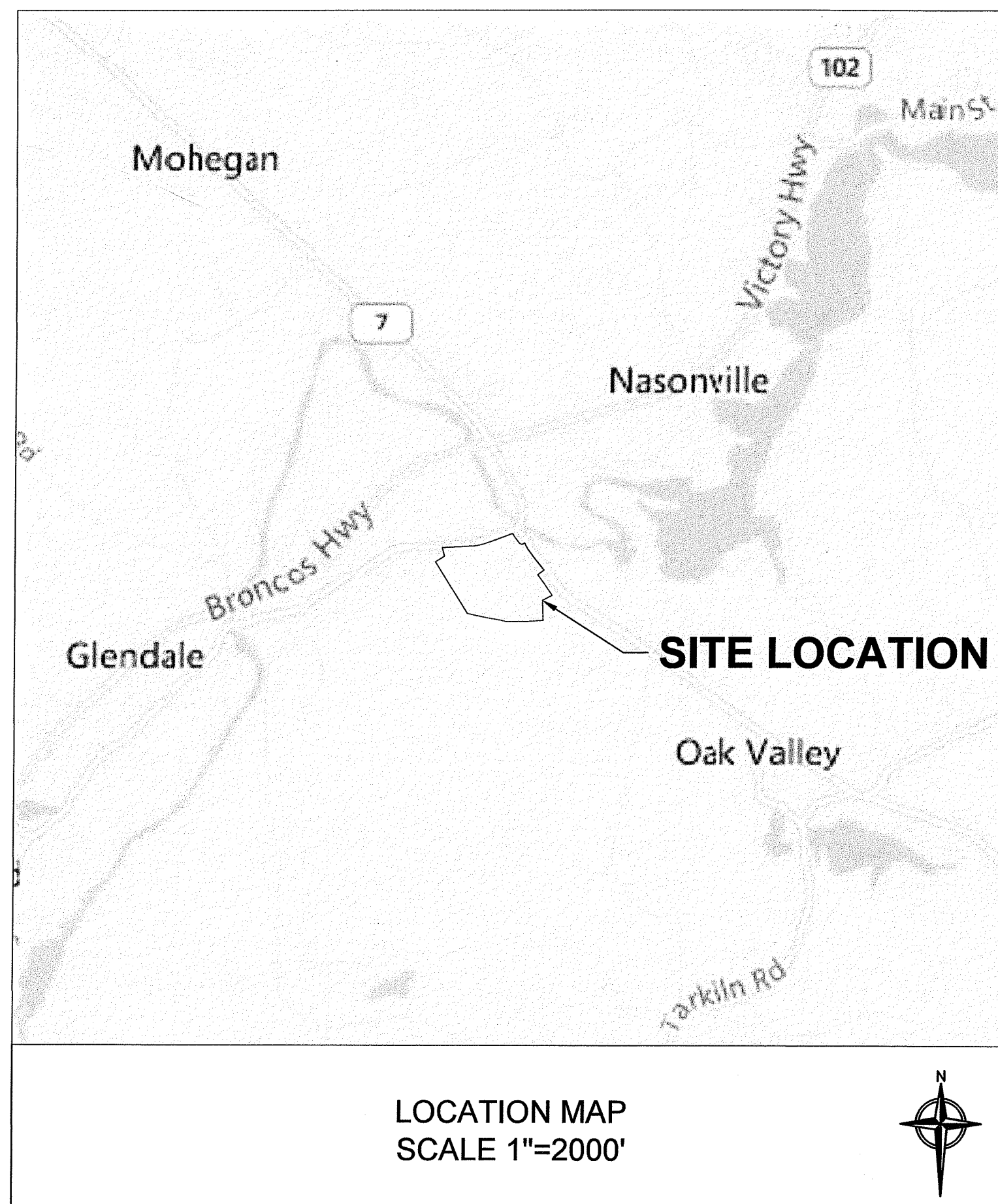
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DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
REVIEWED SITE PLAN APPLICATION NO.: 21-0028
DATED JUN - 3 2021
SEE LETTER OF SAME DATE.
Maria B. Freeman

DRAWING INDEX

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"COMPREHENSIVE BOUNDARY & TOPOGRAPHIC SURVEY", DATED NOVEMBER 5, 2020, DESIGN PROFESSIONALS INC.	

FOR PERMITTING ONLY



GENERAL NOTES:

- 1. BASE PLAN REFERENCE "COMPREHENSIVE BOUNDARY & TOPOGRAPHIC SURVEY" BY DESIGN PROFESSIONALS INC, DATED NOVEMBER 5, 2020.
2. WETLANDS DELINEATION BY ESS ON JULY 30, 2019.
3. ENGINEER'S ENDORSEMENT IS FOR PERMITTING PURPOSES ONLY. PLANS NOT INTENDED FOR CONSTRUCTION.

DOCUMENT USE:

- 1. THESE PLANS AND THE CORRESPONDING CAD DOCUMENTS ARE INSTRUMENTS OF PROFESSIONAL SERVICE PREPARED BY ESS GROUP, INC. AND SHALL NOT BE USED, IN WHOLE OR IN PART, FOR ANY PURPOSE OTHER THAN FOR WHICH IT WAS CREATED WITHOUT THE EXPRESSED WRITTEN CONSENT OF ESS GROUP, INC.
2. CONTRACTOR SHALL NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS, OR DATA FILES THAT ARE OBTAINED FROM THE DESIGNERS OR OWNER, BUT SHALL VERIFY LOCATIONS OF PROJECT FEATURES IN ACCORDANCE WITH THE PAPER COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.
3. SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS, AND ARE NOT NECESSARILY SCALED TO THEIR ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR SHALL REFER TO THE DETAIL SHEET DIMENSIONS, MANUFACTURER'S LITERATURE, SHOP DRAWINGS, AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.

CONSTRUCTION NOTES:

- 1. NO CHANGES ARE TO BE MADE UNLESS AUTHORIZED BY THE OWNER.
2. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL SAFETY CODES, REGULATIONS, LEGAL REQUIREMENTS, AND PERMIT CONDITIONS.
3. ALL PRODUCTS TO BE INSTALLED PER MANUFACTURER'S OR DISTRIBUTOR'S INSTRUCTIONS. NOTIFY ENGINEER OF DISCREPANCIES PRIOR TO INSTALLATION.
4. UNLESS OTHERWISE NOTED, ALL WORK WITHIN THE STATES RIGHT OF WAY SHALL CONFORM TO RIDOT'S STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2004 EDITION AMENDED 2018, WITH ALL REVISIONS AND R.I. STANDARD DETAILS, 1998 EDITION, WITH ALL REVISIONS.
5. THE CONTRACTOR SHALL TAKE ADEQUATE PRECAUTIONS TO PROTECT ALL WALKS, STREETS, PAVEMENTS, HIGHWAY GUARDS, CURBING, EXISTING TREES AND PLANTINGS, ETC. ON OR OFF THE PREMISES, AND SHALL REPAIR AND REPLACE OR OTHERWISE MAKE GOOD AT HIS/HER OWN EXPENSE AS REQUIRED BY THE ENGINEER ANY ITEMS DAMAGED AS A RESULT OF THE CONTRACTOR'S WORK.
6. IN THE EVENT THAT SUSPECTED CONTAMINATED SOIL, SEDIMENT, GROUNDWATER, OR OTHER MEDIA ARE ENCOUNTERED DURING EXCAVATION AND CONSTRUCTION ACTIVITIES BASED ON VISUAL, OLFACTORY, OR OTHER EVIDENCE, THE CONTRACTOR SHALL STOP WORK IN THE VICINITY OF THE SUSPECT MATERIAL AND SHALL NOTIFY THE OWNER IMMEDIATELY SO THAT THE APPROPRIATE TESTING AND SUBSEQUENT ACTION CAN BE TAKEN.
7. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING AND GENERATED RUBBLE, DEBRIS AND OTHER DELETERIOUS MATERIAL IN ACCORDANCE WITH THE SPECIFICATIONS AND ALL APPLICABLE CODES AND REGULATIONS.
8. THE CONTRACTOR SHALL MAINTAIN THE PROJECT SITE IN A SAFE AND CLEAN CONDITION FOR THE DURATION OF CONSTRUCTION.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. CONSTRUCTION ACTIVITIES SHALL BE IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS.
10. UPON AWARD OF CONTRACT, CONTRACTOR SHALL MAKE NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN NECESSARY PERMITS, PAY FEES, AND POST BONDS ASSOCIATED WITH THE WORK INDICATED ON THE DRAWINGS, IN THE SPECIFICATIONS, AND IN THE CONTRACT DOCUMENTS. CONTRACTOR SHALL NOT CLOSE OR OBSTRUCT ROADWAYS, SIDEWALKS, OR FIRE HYDRANTS WITHOUT APPROPRIATE PERMITS.
11. AREAS OUTSIDE THE LIMITS OF THE PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE AND NO ADDITIONAL COST TO THE OWNER.
12. DAMAGE RESULTING FROM CONSTRUCTION LOADS SHALL BE REPAIRED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE AND NO ADDITIONAL COST TO THE OWNER.
13. THE CONTRACTOR SHALL USE DESIGNATED LOCATIONS WITHIN THE ESTABLISHED LIMITS OF DISTURBANCE TO ACCESS THE SITE.

CONSTRUCTION SEQUENCE NOTES:

- 1. PHASING SHALL BE IMPLEMENTED TO MINIMIZE THE AMOUNT OF EARTH DISTURBANCE AT ANY ONE TIME. EARTH DISTURBANCE ACTIVITIES DURING EACH PHASE OF CONSTRUCTION SHALL BE LIMITED TO A MAXIMUM OF 5 ACRES WITH A COMMON DRAINAGE LOCATION. INITIATE APPROPRIATE STABILIZATION PRACTICES ON ALL DISTURBED AREAS AS SOON AS POSSIBLE, BUT NOT MORE THAN FOURTEEN DAYS AFTER THE CONSTRUCTION ACTIVITY IN THE AREA HAS TEMPORARILY OR PERMANENTLY CEASED AND PRIOR TO INITIATING LAND DISTURBANCE IN SUBSEQUENT PHASES.
2. CONSTRUCTION SEQUENCE SHALL BE COORDINATED TO MINIMIZE DISTURBANCE OF EXISTING CONDITIONS AND OPERATIONS AND SHALL BE CONDUCTED AS FOLLOWS:
2.1. PHASE 1 SITE ACCESS AND LAYDOWN
2.1.1. ERECT OR POST A TWELVE (12) INCH WIDE BY EIGHTEEN (18) INCH LONG WEATHER RESISTANT SIGN WHICH BOLDLY STATES THE RIDEM PERMIT NUMBER. SIGN SHALL NOT BE INSTALLED TO A LIVE TREE.
2.1.2. CLEARLY MARK LIMITS OF DISTURBANCE FOR ALL PHASES.
2.1.3. INSTALL ALL PERIMETER EROSION, RUNOFF, AND SEDIMENT CONTROLS AND TEMPORARY POLLUTION PREVENTION MEASURES THAT ARE REQUIRED TO BE IN PLACE AND FUNCTIONAL BEFORE ANY SITE WORK BEGINS. THIS SHALL BE DONE IN ACCORDANCE WITH THE RI SESC HANDBOOK, UPON ACCEPTABLE COMPLETION OF SITE PREPARATION AND INSTALLATION OF EROSION, RUNOFF, AND SEDIMENT CONTROLS AND TEMPORARY POLLUTION PREVENTION MEASURES, SITE CONSTRUCTION ACTIVITIES MAY COMMENCE.
2.1.4. INSTALL AND MAINTAIN CONSTRUCTION ENTRANCE AND LAYDOWN AREA.
2.1.5. MARK SHADE TREES TO BE CUT FOR APPROVAL.
2.1.6. CLEAR TREES AND SELECTIVELY CUT APPROVED SHADE TREES.
2.1.7. CLEAR AND GRUB ONLY AREAS REQUIRED TO COMPLETE THE WORK INCLUDED IN PHASE 1.
2.1.8. CONSTRUCT ACCESS ROAD.
2.2. PHASE 2 SITE STORMWATER CONTROLS
2.2.1. CLEAR AND GRUB AS NEEDED TO COMPLETE THE WORK INCLUDED IN PHASE 2.
2.2.2. INSTALL INTERIOR EROSION AND SEDIMENT CONTROLS.
2.2.3. INSTALL STORMWATER BASINS AND SWALES.
2.2.4. INSTALL TEMPORARY STONE BERMS UPGRADIENT OF DETENTION BASIN 201 AND INFILTRATION BASIN 203. INSTALL COMBINED SILT FENCE AND FILTER SOCK TO PROTECT INFILTRATION BASIN 203.
2.2.5. SPECIAL CARE SHALL BE TAKEN TO PREVENT SEDIMENT-LADEN RUNOFF FROM ENTERING THE BASINS. ANY SEDIMENT DEPOSITED WITHIN THE BASINS OR TRAPPED BY THE TEMPORARY STONE BERMS MUST BE PROMPTLY REMOVED. SEDIMENT-LADEN RUNOFF HAS THE POTENTIAL TO ADVERSELY AFFECT THE INFILTRATION CAPACITY OF UNDERLYING SOILS. IF SEDIMENT IS DEPOSITED INTO EITHER BASINS THE UNDERLYING SOILS MUST BE EXCAVATED TO REMOVE ANY DEPOSITED SEDIMENT AND SUPPLEMENTED TO RE-ESTABLISH THE INFILTRATION CAPACITY OF THE UNDERLYING SOILS TO THEIR PRE-CONSTRUCTION CONDITION.
2.3. PHASE 3 EQUIPMENT AND FENCE INSTALLATION
2.3.1. CLEAR AND GRUB AS NEEDED TO COMPLETE THE WORK INCLUDED IN PHASE 3.
2.3.2. GRADE ARRAY AREA.
2.3.3. INSTALL INTERIOR EROSION AND SEDIMENT CONTROLS.
2.3.4. INSTALL PERIMETER FENCE, SOLAR ARRAY AND ASSOCIATED WORK.
2.4. PHASE 4 FINAL SITE STABILIZATION
2.4.1. REMOVE TEMPORARY STONE BERMS AND CLEAN STORM WATER CONTROLS BY REMOVING ALL ACCUMULATED DEBRIS AND SEDIMENT.
2.4.2. RESTORE QUALIFIED PERVIOUS AREA, REMOVE AND RESTORE TEMPORARY LAYDOWN AREA, REJUVENATE CRUSHED STONE ACCESS ROAD PERVIOUSNESS.

- 2.4.3. COMPLETE FINAL SITE STABILIZATION OF ANY DISTURBED AREAS AFTER SITE WORK HAS BEEN COMPLETED AND REMOVAL OF TEMPORARY EROSION, RUNOFF, AND SEDIMENT CONTROLS AND TEMPORARY POLLUTION PREVENTION MEASURES.
2.4.4. REMOVE RIDEM PERMIT SIGN, LOD MARKINGS, TEMPORARY POLLUTION PREVENTION MEASURES, AND TEMPORARY EROSION AND SEDIMENT CONTROLS. PERIMETER FILTER SOCKS MAY REMAIN.
2.4.5. COMPLETE SITE CLEANUP AND RESTORATION.

EROSION & SEDIMENTATION CONTROL NOTES:

- 1. THE CONTRACTOR IS REQUIRED TO REVIEW AND IMPLEMENT THE SOIL EROSION AND SEDIMENT CONTROL PLAN THROUGHOUT CONSTRUCTION. THE PLAN MUST BE MAINTAINED AT THE SITE. IT IS THE OPERATOR'S RESPONSIBILITY TO MANAGE THE SITE DURING EACH CONSTRUCTION PHASE SO AS TO PREVENT POLLUTANTS FROM LEAVING THE SITE. THIS MAY REQUIRE THE CONTRACTOR TO REVISE AND AMEND THE SESC PLAN DURING CONSTRUCTION TO ADDRESS VARYING SITE AND/OR WEATHER CONDITIONS, SUCH AS BY ADDING OR REALIGNING EROSION OR SEDIMENT CONTROLS TO ENSURE THE SESC PLAN REMAINS COMPLIANT WITH THE RIDES CONSTRUCTION GENERAL PERMIT.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING EROSION CONTROL MEASURES TO PREVENT OFF-SITE TRACKING OF EARTH, SEDIMENT AND DEBRIS.
6. PERIMETER SOIL AND EROSION CONTROLS SHALL BE PLACED PRIOR TO ANY CONSTRUCTION ACTIVITIES. CONTRACTOR TO NOTIFY THE ENGINEER AT LEAST 48 HOURS PRIOR TO ANY CONSTRUCTION ACTIVITIES. ALL SOIL AND EROSION CONTROLS SHALL BE CHECKED AND REPAIRED AS NECESSARY.
7. ALL TEMPORARY EROSION, RUNOFF, SEDIMENT, AND POLLUTION PREVENTION CONTROL MEASURES SHALL BE INSTALLED BY THE TIME EACH PHASE OF EARTH DISTURBANCE HAS BEGUN.
8. EXISTING PLANTABLE SOIL SHALL BE PRESERVED TO THE MAXIMUM EXTENT FEASIBLE AND AS NECESSARY TO SUPPORT HEALTHY VEGETATION, PROMOTE SOIL STABILIZATION, AND INCREASE STORMWATER INFILTRATION RATES.
9. EROSION CONTROL MEASURES SHALL BE INSPECTED WEEKLY AND WITHIN 24 HOURS OF EACH STORM EVENT GREATER THAN 0.25 INCHES OF RAINFALL. ALL DAMAGED FILTER SOCKS SHALL BE REPLACED. ACCUMULATED SEDIMENT SHALL BE STOCKPILED FOR LATER REUSE.
10. INITIATE APPROPRIATE TEMPORARY OR PERMANENT STABILIZATION PRACTICES ON ALL DISTURBED AREAS AS SOON AS POSSIBLE, BUT NOT MORE THAN FOURTEEN (14) DAYS AFTER THE CONSTRUCTION ACTIVITY IN THE AREA HAS TEMPORARILY OR PERMANENTLY CEASED. ANY DISTURBED AREA THAT WILL NOT HAVE ACTIVE CONSTRUCTION ACTIVITY OCCURRING WITHIN 14 DAYS MUST BE STABILIZED IN ACCORDANCE WITH THE RI SESC HANDBOOK.
11. TEMPORARY STRAW MULCH, WOOD CHIP MULCH, OR TEMPORARY EROSION CONTROL BLANKETS SHALL BE USED WHERE NON-VEGETATIVE COVER IS REQUIRED FOR A PERIOD GREATER THAN 14 DAYS BUT LESS THAN SIX MONTHS. MULCH SHALL BE SPREAD UNIFORMLY BY HAND OR MACHINE RESULTING IN 100% COVERAGE OF THE DISTURBED SOIL. IF ANCHORING IS NECESSARY, TACKIFIERS AND/OR NETTING WITH THE MULCH OR IMMEDIATELY FOLLOWING MULCH APPLICATION SHALL BE USED.
13. TEMPORARY SEEDING SHALL BE USED WHERE VEGETATIVE COVER IS REQUIRED FOR A PERIOD GREATER THAN ONE MONTH BUT LESS THAN TWELVE MONTHS ON DISTURBED SOIL AREAS. RAPIDLY GROWING ANNUAL GRASSES WILL BE UNIFORMLY APPLIED AT THE RATE ASSOCIATED WITH HYDRAULIC APPLICATION (HYDROSEEDING). THE SITE SHALL BE CHECKED PERIODICALLY TO ASSESS THE GROWTH OF THE PLANTS. IF SEEDING FAILS TO GROW, THE AREA SHALL BE RE-ESTABLISHED TO PROVIDE ADEQUATE EROSION CONTROL. THE SEED MIXTURE SHALL BE RIDOT TEMPORARY SEED MIX (M18.10.5), OR APPROVED EQUIVALENT.
14. EROSION CONTROL MEASURES SHALL BE REMOVED WHEN THE DISTURBED AREA IS STABILIZED OR AS SPECIFIED BY THE ENGINEER. DISTURBED AREAS RESULTING FROM THE FILTER SOCK REMOVAL OPERATION SHALL BE PERMANENTLY SEEDDED. ALL ACCUMULATED SEDIMENT SHALL BE STOCKPILED FOR LATER REUSE.
10. ALL DISTURBED OR UNVEGETATED SOIL SHALL HAVE A MINIMUM OF SIX INCHES OF LOAM (RIDOT M.18.01) OR PLANTABLE SOIL (RIDOT M.18.02) PLACED BEFORE BEING PERMANENTLY SEEDDED AND MULCHED AS APPLICABLE. LOAM OR PLANTABLE SOIL FROM AN OFF SITE BORROW SOURCE SHALL BE SAMPLED AND APPROVED FOR USE BY THE ENGINEER PRIOR TO ITS DELIVERY TO THE SITE.
11. PERMANENT SEEDING SHALL BE USED ON AREAS WHERE PERMANENT VEGETATIVE COVER IS NEEDED TO STABILIZE THE SOIL AND REDUCE EROSION AND SEDIMENTATION. RAPIDLY GROWING ANNUAL GRASSES SHALL BE UNIFORMLY APPLIED AT THE RATE ASSOCIATED WITH HYDRAULIC APPLICATION (HYDROSEEDING). THE SEED MIXTURES TO BE USED FOR PERMANENT STABILIZATION ARE SHOWN HEREIN. IF SEEDING IS PERFORMED WHERE WOOD CHIPS HAVE BEEN PREVIOUSLY APPLIED, THE WOOD CHIPS SHOULD BE REMOVED OR TILLED INTO THE GROUND AND ADDITIONAL NITROGEN APPLIED PRIOR TO SEEDING. NITROGEN APPLICATION RATE SHALL BE DETERMINED BY SOIL TEST AT TIME OF SEEDING.
12. SEEDING SHALL OCCUR PRIOR TO OCTOBER 15TH. AREAS THAT DO NOT HAVE ADEQUATE VEGETATIVE STABILIZATION BY NOVEMBER 15TH, MUST BE STABILIZED THROUGH THE USE OF NON-VEGETATIVE EROSION CONTROL MEASURES. AREAS SEEDDED BETWEEN MAY 15TH AND AUGUST 15TH SHALL BE COVERED WITH STRAW MULCH. DURING THESE MONTHS, TEMPORARY AND PERMANENT SEEDDED AREAS SHALL BE MULCHED IMMEDIATELY FOLLOWING SEEDING.
13. TREATMENT CHEMICALS SHALL NOT BE APPLIED.
14. WOOD CHIP MULCH GENERATED ON-SITE MAY BE APPLIED TO SLOPES 3:1 OR FLATTER FOR TEMPORARY EROSION CONTROL WHEN SOIL AND SITE CONDITIONS ARE SUITABLE FOR SPREADING. ALL MULCH MATERIAL SHALL BE CAPABLE OF BEING APPLIED EVENLY SUCH THAT IT PROVIDES 100% INITIAL SOIL COVERAGE AND ADHERES TO THE SOIL SURFACE, DOES NOT SLIP ON SLOPES WHEN IT RAINS OR IS WATERED, DOES NOT BLOW OFF SITE AND DISSIPATES RAINFALL SPLASH. SPREAD WOOD CHIP MULCH UNIFORMLY RESULTING IN 100% COVERAGE OF DISTURBED SOIL TO BE STABILIZED. SUGGESTED APPLICATION RATE IS 6.5 CY/1,000 SQ FT. DO NOT SPREAD WOOD CHIPS ON SLOPES SO THICK THAT IT WILL SLIP OR SLUMP.
15. IF SEEDING IS PERFORMED WHERE WOOD CHIPS HAVE BEEN PREVIOUSLY APPLIED, THE WOOD CHIPS SHOULD BE REMOVED OR TILLED INTO THE GROUND AND ADDITIONAL NITROGEN APPLIED PRIOR TO SEEDING. NITROGEN APPLICATION RATE SHALL BE DETERMINED BY SOIL TEST AT TIME OF SEEDING.
16. WHERE SOIL PROTECTION FALLS BELOW 100%, REAPPLY SOIL PROTECTION WITHIN 48 HOURS. DETERMINE THE CAUSE OF THE FAILURE. IF FAILURE WAS THE RESULT OF WIND, CONSIDER APPLYING A TACKIFIER OR NETTING. IF FAILURE WAS CAUSED BY CONCENTRATING WATER, INSTALL ADDITIONAL MEASURES TO CONTROL WATER AND SEDIMENT MOVEMENT, REPAIR EROSION DAMAGE, REAPPLY MULCH WITH ANCHORING OR USE TEMPORARY EROSION CONTROL BLANKETS.
17. DUST CONTROL PROCEDURES AND PRACTICES SHALL BE USED TO SUPPRESS DUST DURING THE CONSTRUCTION PROCESS. EXAMPLES OF DUST CONTROL MEASURES INCLUDE WATER TREATMENT, MULCH, AND TEMPORARY VEGETATION.
18. CARE SHOULD BE TAKEN TO THE BEST OF THE OPERATOR'S ABILITY TO AVOID DISTURBING LARGE AREAS PRIOR TO ANTICIPATED PRECIPITATION EVENTS. AT A MINIMUM, STORM EVENTS MUST BE MONITORED AND TRACKED IN ORDER TO DETERMINE WHEN POST-STORM EVENT INSPECTIONS MUST BE CONDUCTED AND DOCUMENTED AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN TWENTY-FOUR (24) HOURS AFTER ANY STORM EVENT, WHICH GENERATES AT LEAST 0.25 INCHES OF RAINFALL PER TWENTY-FOUR (24) HOUR PERIOD AND/OR AFTER A SIGNIFICANT AMOUNT OF RUNOFF OR SNOWMELT.
19. SELF-INSTALLED ABOVE-GRADE CONCRETE WASHOUTS SHOULD BE CONSTRUCTED WITH A RECOMMENDED MINIMUM LENGTH AND MINIMUM WIDTH OF 10 FEET, BUT WITH SUFFICIENT QUANTITY AND VOLUME TO CONTAIN ALL LIQUIDS AND CONCRETE WASTE GENERATED BY WASHOUT OPERATIONS. INCLUDE A MINIMUM OF 12 INCHES OF FREEBOARD IN THE SIZING CALCULATIONS. PLASTIC LINING MATERIAL SHOULD BE A MINIMUM OF 10 MIL POLYETHYLENE SHEETING AND SHALL BE FREE OF HOLES, TEARS, OR OTHER DEFECTS THAT COMPROMISE THE IMPERMEABILITY OF THE MATERIAL. WHEN TEMPORARY CONCRETE WASHOUT FACILITIES ARE NOT LONGER REQUIRED FOR THE WORK, THE HARDENED CONCRETE, SLURRIES AND LIQUIDS SHALL BE REMOVED AND PROPERLY DISPOSED OF.
20. FILL MATERIAL SHALL BE FREE OF STUMPS, WOODS, ROOTS, AND OTHER DELETERIOUS MATERIAL.
21. ONCE GRADED, THE QUALIFIED PERVIOUS AREA (QPA) AND STORMWATER DETENTION BASINS SHALL BE SURROUNDED WITH SNOW FENCE AND PROTECTED FROM HEAVY EQUIPMENT. IF THE SOIL OR SAND FILTER BECOMES COMPACTED, IT SHALL BE SUITABLY AMENDED, TILLED, AND RE-VEGETATED AS NEEDED ONCE CONSTRUCTION IS COMPLETE TO RESTORE INFILTRATION CAPACITY.
22. THE TEMPORARY LAYDOWN AREA SHALL BE RESTORED TO ORIGINAL CONDITIONS WITHIN FOURTEEN DAYS AFTER CONSTRUCTION ACTIVITY HAS PERMANENTLY CEASED. THE SUBGRADE SHALL BE SUITABLY AMENDED, TILLED, AND RE-VEGETATED TO RESTORE INFILTRATION CAPACITY.

UTILITIES NOTES:

- 1. THE CONTRACTOR SHALL CALL "DIG SAFE" AT 1-888-344-7233 AT LEAST 72 HOURS PRIOR TO EXCAVATION.
2. THE CONTRACTOR SHALL NOTIFY ALL APPROPRIATE AGENCIES AND UTILITY COMPANIES, IN WRITING, A MINIMUM OF 72 HOURS PRIOR TO ANY CONSTRUCTION WITHIN 15 FEET OF A UTILITY LINE.

- 3. EXISTING UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE. ADDITIONAL UTILITIES MAY EXIST THAT ARE NOT SHOWN. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING DRAINAGE AND UTILITIES BOTH UNDERGROUND AND OVERHEAD BEFORE EXCAVATION BEGINS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT DIGSAFE, NOTIFY ALL NON-MEMBER UTILITY COMPANIES AND ENSURE THAT ALL UTILITIES HAVE BEEN MARKED PRIOR TO COMMENCING WORK. ANY DAMAGE TO EXISTING UTILITIES MARKED IN THE FIELD, OR AS A RESULT OF FAILING TO CONTACT THE APPROPRIATE UTILITY COMPANY, SHALL BE REPAIRED OR REPLACED AT NO ADDITIONAL COST TO THE OWNER.
4. BEFORE STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR MAKING ALL NECESSARY ARRANGEMENTS AND FOR PERFORMING ANY NECESSARY WORK INVOLVED IN CONNECTION WITH THE DISCONTINUANCE OR JURISDICTION OF THE UTILITY COMPANIES, SUCH AS ELECTRICITY, TELEPHONE, WATER, GAS AND ANY SYSTEM OR SYSTEMS WHICH WILL BE AFFECTED BY THE WORK TO BE PERFORMED UNDER THIS CONTRACT.
5. UNLESS OTHERWISE NOTED OR APPROVED BY THE ENGINEER, THE CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES.
6. IF REQUIRED, OVERHEAD LINES SHALL BE RELOCATED BY THE UTILITY COMPANY AT THE CONTRACTOR'S EXPENSE.
7. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR AND THE INFORMATION FURNISHED TO THE ENGINEER FOR RESOLUTION OF THE CONFLICT.

STORMWATER DETENTION BASIN (SAND FILTER AND INFILTRATION BASIN) NOTES:

- 1. AREAS DESIGNATED FOR BORROW AREAS, EMBANKMENT AND STRUCTURAL WORKS SHALL BE CLEARED, GRUBBED AND STRIPPED OF PLANTABLE SOIL. ALL TREES, VEGETATION, ROOTS AND OTHER OBJECTIONABLE MATERIAL SHALL BE REMOVED. ALL GRADED AREAS SHALL BE NO STEEPER THAN 3:1. ALL TREES SHALL BE CLEARED AND GRUBBED WITHIN 15 FEET OF THE TOE OF THE EMBANKMENT, AND WITHIN 25 FEET OF THE PRINCIPAL SPILLWAY OUTLET. AREAS TO BE COVERED BY THE DETENTION BASIN WILL BE CLEARED OF ALL TREES, BRUSH, LOGS, FENCES, RUBBISH AND OTHER OBJECTIONABLE MATERIAL.
2. ALL WORK ON PERMANENT DETENTION BASIN STRUCTURES SHALL BE CARRIED OUT IN AREAS FREE FROM WATER. THE CONTRACTOR SHALL CONSTRUCT AND MAINTAIN ALL TEMPORARY DIKES, LEVEES, COFFERDAMS, DRAINAGE CHANNELS, AND DIVERSION SWALES AS NECESSARY TO PROTECT THE AREAS TO BE OCCUPIED BY THE DETENTION BASINS.
3. THE CONTRACTOR SHALL ALSO FURNISH, INSTALL, OPERATE, AND MAINTAIN ALL NECESSARY PUMPING AND OTHER EQUIPMENT REQUIRED FOR REMOVAL OF WATER FROM VARIOUS PARTS OF THE WORK AND FOR MAINTAINING THE EXCAVATIONS, FOUNDATION, AND OTHER PARTS OF THE WORK FREE FROM WATER AS REQUIRED OR DIRECTED BY THE ENGINEER FOR CONSTRUCTING EACH PART OF THE WORK. AFTER HAVING SERVED THEIR PURPOSE, ALL TEMPORARY PROTECTIVE WORKS SHALL BE REMOVED OR LEVELED AND GRADED TO THE EXTENT REQUIRED TO PREVENT OBSTRUCTION IN ANY DEGREE WHATSOEVER OF THE FLOW OF WATER TO THE SPILLWAY OR OUTLET WORKS AND SO AS NOT TO INTERFERE IN ANY WAY WITH THE OPERATION OR MAINTENANCE OF THE STRUCTURE. THE REMOVAL OF WATER FROM THE RE-ESTABLISHED EXCAVATION AND THE FOUNDATION SHALL BE ACCOMPLISHED IN A MANNER AND TO THE EXTENT THAT WILL MAINTAIN STABILITY OF THE EXCAVATED SLOPES AND BOTTOM REQUIRED EXCAVATIONS AND WILL ALLOW SATISFACTORY PERFORMANCE OF ALL CONSTRUCTION OPERATIONS. DURING THE PLACING AND COMPACTING OF MATERIAL IN REQUIRED EXCAVATIONS, THE WATER LEVEL AT THE LOCATIONS BEING REFILLED SHALL BE MAINTAINED BELOW THE BOTTOM OF THE EXCAVATION AT SUCH LOCATIONS WHICH MAY REQUIRE DRAINING THE WATER PUMPS FROM WHICH THE WATER SHALL BE PUMPED.
4. ALL EXCAVATED AREAS SHALL BE GRADED TO PROVIDE PROPER DRAINAGE AND LEFT IN A SLIGHTLY CONDITION. ALL EXPOSED SURFACES OF THE EMBANKMENT, SPILLWAY, SPOIL AND BORROW AREAS, AND BERMS SHALL BE STABILIZED BY SEEDING, LIMING, FERTILIZING AND MULCHING.
5. THE OUTLET PIPE SHALL BE LAID IN A CONCRETE BEDDING / CRADLE FOR ITS ENTIRE LENGTH. THIS BEDDING / CRADLE SHALL CONSIST OF HIGH SLUMP CONCRETE PLACED UNDER THE PIPE AND UP THE SIDES OF THE PIPE AT LEAST 50% OF ITS OUTSIDE DIAMETER WITH A MINIMUM THICKNESS OF 6 INCHES. WHERE A CONCRETE CRADLE IS NOT NEEDED FOR STRUCTURAL REASONS, FLOWABLE FILL MAY BE USED AS DESCRIBED IN NOTE 6 BELOW. GRAVEL BEDDING IS NOT PERMITTED.
6. BACKFILL ADJACENT TO PIPES OR STRUCTURES SHALL BE OF THE TYPE AND QUALITY CONFORMING TO THAT SPECIFIED FOR THE ADJOINING FILL MATERIAL. THE FILL SHALL BE PLACED IN HORIZONTAL LAYERS NOT TO EXCEED FOUR INCHES IN THICKNESS AND COMPACTED BY HAND TAMPERS OR OTHER MANUALLY DIRECTED COMPACTION EQUIPMENT. THE MATERIAL NEEDS TO FILL COMPLETELY ALL SPACES UNDER AND ADJACENT TO THE PIPE. AT NO TIME DURING THE BACKFILLING OPERATION SHALL DRIVEN EQUIPMENT BE ALLOWED TO OPERATE CLOSER THAN FOUR FEET, MEASURED HORIZONTALLY, TO ANY PART OF A STRUCTURE. UNDER NO CIRCUMSTANCES SHALL EQUIPMENT BE DRIVEN OVER ANY PART OF A CONCRETE STRUCTURE OR PIPE. UNLESS THERE IS A COMPACTED FILL OF 24 INCHES OR GREATER OVER THE STRUCTURE OR PIPE, STRUCTURE BACKFILL MAY BE FLOWABLE FILL MEETING THE REQUIREMENTS OF THE FEDERAL HIGHWAY ADMINISTRATION STANDARDS. THE MIXTURE SHALL HAVE A 100-200 PSI, 28-DAY UNCONFINED COMPRESSIVE STRENGTH. THE FLOWABLE FILL SHALL HAVE A MINIMUM PH OF 4.0 AND A MINIMUM RESISTIVITY OF 2,000 OHM-CM. MATERIAL SHALL BE PLACED SUCH THAT A MINIMUM OF 6 INCHES (MEASURED PERPENDICULAR TO THE OUTSIDE OF THE PIPE) OF FLOWABLE FILL SHALL BE UNDER (BEDDING), OVER AND, ON THE SIDES OF THE PIPE. IT ONLY NEEDS TO EXTEND UP TO THE SPRING LINE FOR RIGID CONDUITS. AVERAGE SLUMP OF THE FILL SHALL BE 7 INCHES TO ASSURE FLOWABILITY OF THE MATERIAL. ADEQUATE MEASURES SHALL BE TAKEN (SAND BAGS, ETC.) TO PREVENT FLOATING THE PIPE. ANY ADJOINING SOIL SHALL BE PLACED IN HORIZONTAL LAYERS NOT TO EXCEED 4 INCHES IN THICKNESS AND COMPACTED BY HAND TAMPERS OR OTHER MANUALLY DIRECTED COMPACTION EQUIPMENT. THE MATERIAL SHALL COMPLETELY FILL ALL VOIDS ADJACENT TO THE FLOWABLE FILL ZONE. AT NO TIME DURING THE BACKFILLING OPERATION SHALL DRIVEN EQUIPMENT BE ALLOWED TO OPERATE CLOSER THAN FOUR FEET, MEASURED HORIZONTALLY, TO ANY PART OF A STRUCTURE. UNDER NO CIRCUMSTANCES SHALL EQUIPMENT BE DRIVEN OVER ANY PART OF A STRUCTURE OR PIPE UNLESS THERE IS A COMPACTED FILL OF 24 INCHES OR GREATER OVER THE STRUCTURE OR PIPE. BACKFILL MATERIAL OUTSIDE THE STRUCTURAL BACKFILL (FLOWABLE FILL) ZONE SHALL BE OF THE TYPE AND QUALITY CONFORMING TO THAT SPECIFIED FOR THE CORE OF THE EMBANKMENT OR OTHER EMBANKMENT MATERIALS.
7. FILL MATERIAL - THE FILL MATERIAL SHALL BE TAKEN FROM APPROVED DESIGNATED BORROW AREAS. IT SHALL BE FREE OF ROOTS, STUMPS, WOOD, RUBBISH, STONES GREATER THAN 6 INCHES, FROZEN OR OTHER OBJECTIONABLE MATERIALS. FILL MATERIAL FOR THE CENTER OF THE EMBANKMENT SHALL CONFORM TO UNIFIED SOIL CLASSIFICATION SO, SC, CH, CL AND MUST HAVE AT LEAST 30% PASSING THE #200 SIEVE. MATERIALS USED IN THE OUTER SHELL OF THE EMBANKMENT MUST HAVE THE CAPABILITY TO SUPPORT VEGETATION OF THE QUALITY REQUIRED TO PREVENT EROSION OF THE EMBANKMENT.
8. PLACEMENT - AREAS ON WHICH FILL IS TO BE PLACED SHALL BE SCARIFIED PRIOR TO PLACEMENT OF FILL MATERIALS SHALL BE PLACED IN MAXIMUM 8-INCH THICK (BEFORE COMPACTION) LAYERS WHICH ARE TO BE CONTINUOUS OVER THE ENTIRE LENGTH OF THE FILL. THE MOST PERMEABLE BORROW MATERIAL SHALL BE PLACED IN THE DOWNSTREAM PORTIONS OF THE EMBANKMENT. THE PRINCIPAL SPILLWAY MUST BE INSTALLED CONCURRENTLY WITH FILL PLACEMENT AND NOT EXCAVATED INTO THE EMBANKMENT.
9. COMPACTION - THE MOVEMENT OF THE HAULING AND SPREADING EQUIPMENT OVER THE FILL SHALL BE CONTROLLED SO THAT THE ENTIRE SURFACE OF EACH LIFT SHALL BE TRAVERSED BY NOT LESS THAN ONE TREAD TRACK OF HEAVY EQUIPMENT OR COMPACTION SHALL BE ACHIEVED BY A MINIMUM OF FOUR COMPLETE PASSES OF A SHEEPSFOOT, RUBBER Tired OR VIBRATORY ROLLER. FILL MATERIAL SHALL CONTAIN SUFFICIENT MOISTURE SUCH THAT THE REQUIRED DEGREE OF COMPACTION WILL BE OBTAINED WITH THE EQUIPMENT USED. THE FILL MATERIAL SHALL CONTAIN SUFFICIENT MOISTURE SO THAT IF FORMED INTO A BALL IT WILL NOT CRUMBLE, YET NOT BE SO WET THAT WATER CAN BE SQUEEZED OUT. WHEN REQUIRED BY THE APPROVING AGENCY THE MINIMUM REQUIRED DENSITY SHALL NOT BE LESS THAN 95% OF MAXIMUM DRY DENSITY WITH A MOISTURE CONTENT WITHIN 2% OF THE OPTIMUM. EACH LAYER OF FILL SHALL BE COMPACTED AS NECESSARY TO OBTAIN THAT DENSITY, AND IS TO BE CERTIFIED BY THE ENGINEER AT THE TIME OF CONSTRUCTION. ALL COMPACTION IS TO BE DETERMINED BY AASHTO METHOD T-99 (STANDARD PROCTOR).

PROPOSED LEGEND

- OHW OVERHEAD WIRES
UGE UNDERGROUND ELECTRIC
X CHAIN LINK FENCE
LOD LIMITS OF DISTURBANCE
SLOD COMBINED LIMITS OF DISTURBANCE / FILTER SOCK
FS 12" FILTER SOCK
SF COMBINED SILT FENCE / FILTER SOCK
UD PERFORATED UNDERDRAIN
PROPOSED MINOR CONTOUR
370 PROPOSED MAJOR CONTOUR
PROPOSED TREE LINE
LIMITS OF SHADE TREE CUTTING
CRUSHED STONE ACCESS ROAD
AMERICAN MEADOWS INC. SOLAR FARM COLOR SEED MIX
NEW ENGLAND EROSION CONTROL / RESTORATION MIX FOR DRY SITES
NEW ENGLAND WETLAND PLANTS, INC RESTORATION MIX FOR DETENTION BASINS
RIP RAP
SAND FILTER
CUSTOMER OWNED UTILITY POLE
NATIONAL GRID OWNED UTILITY POLE
APPROX. TEST PIT LOCATION

Environmental Management
APR 28 2021
Office of Water Resources

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
REVIEWED SITE PLAN APPLICATION NO.: 21-0028
DATED JUN - 3 2021
SEE LETTER OF SAME DATE.
Nancy L. Freeman

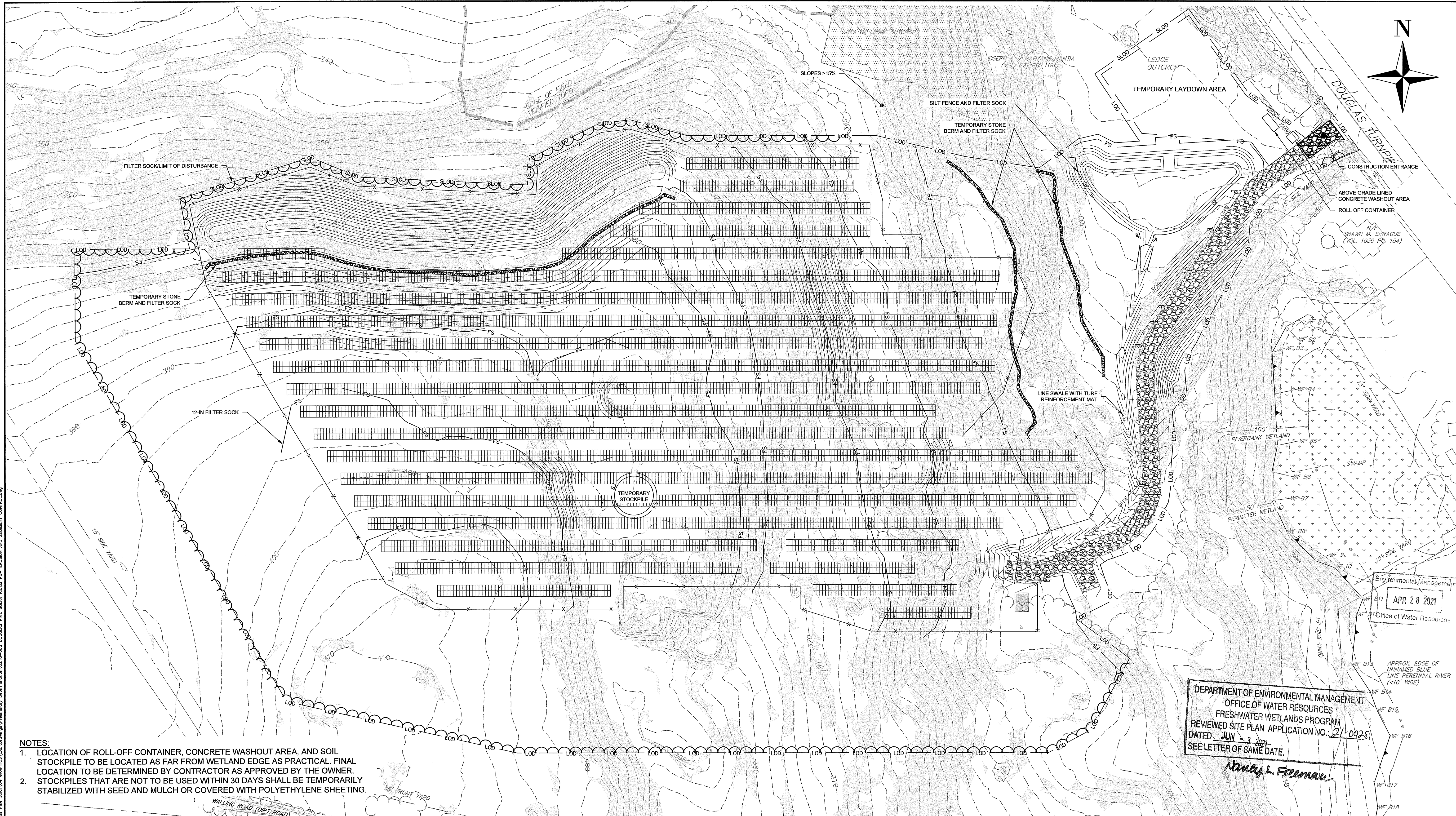
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DOUGLAS PIKE SOLAR, LLC
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DOUGLAS PIKE SOLAR
AP 131 LOT 7
0 WALLING ROAD
BURRILLVILLE, RI
JASON M. GOLD
No. 7788
REGISTERED PROFESSIONAL ENGINEER CIVIL

Table with columns: No., REVISION, DATE, DRAWN, DESIGN, CHK. Includes date 2021.04.23 and time 15:30:41.

DRIVING NO: N-1
RIDEM PRELIMINARY DETERMINATION NOTES
FOR PERMITTING ONLY
PROJECT NO: 0219-000
DATE OF ISSUE: 1/19/2021
SHEET NO: 2 OF 11



- NOTES:**
1. LOCATION OF ROLL-OFF CONTAINER, CONCRETE WASHOUT AREA, AND SOIL STOCKPILE TO BE LOCATED AS FAR FROM WETLAND EDGE AS PRACTICAL. FINAL LOCATION TO BE DETERMINED BY CONTRACTOR AS APPROVED BY THE OWNER.
 2. STOCKPILES THAT ARE NOT TO BE USED WITHIN 30 DAYS SHALL BE TEMPORARILY STABILIZED WITH SEED AND MULCH OR COVERED WITH POLYETHYLENE SHEETING.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 REVIEWED SITE PLAN APPLICATION NO.: 21-0026
 DATED JUN - 3 2021
 SEE LETTER OF SAME DATE.

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 BURRILLVILLE, RI

JASON M. GOLD
 No. 7788
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL

SCALE: 1" = 50'

2021.04.23
 15:28:51
 -04'00"

No.	REVISION	DATE	DRAWN	DESIGN	CHK
1	RESPONSE TO RIDEM TECHNICAL COMMENTS	4/23/21	GJR	JMG	JMG

DRAWN BY: GJR | DESIGNED BY: JMG | CHECKED BY: GJR

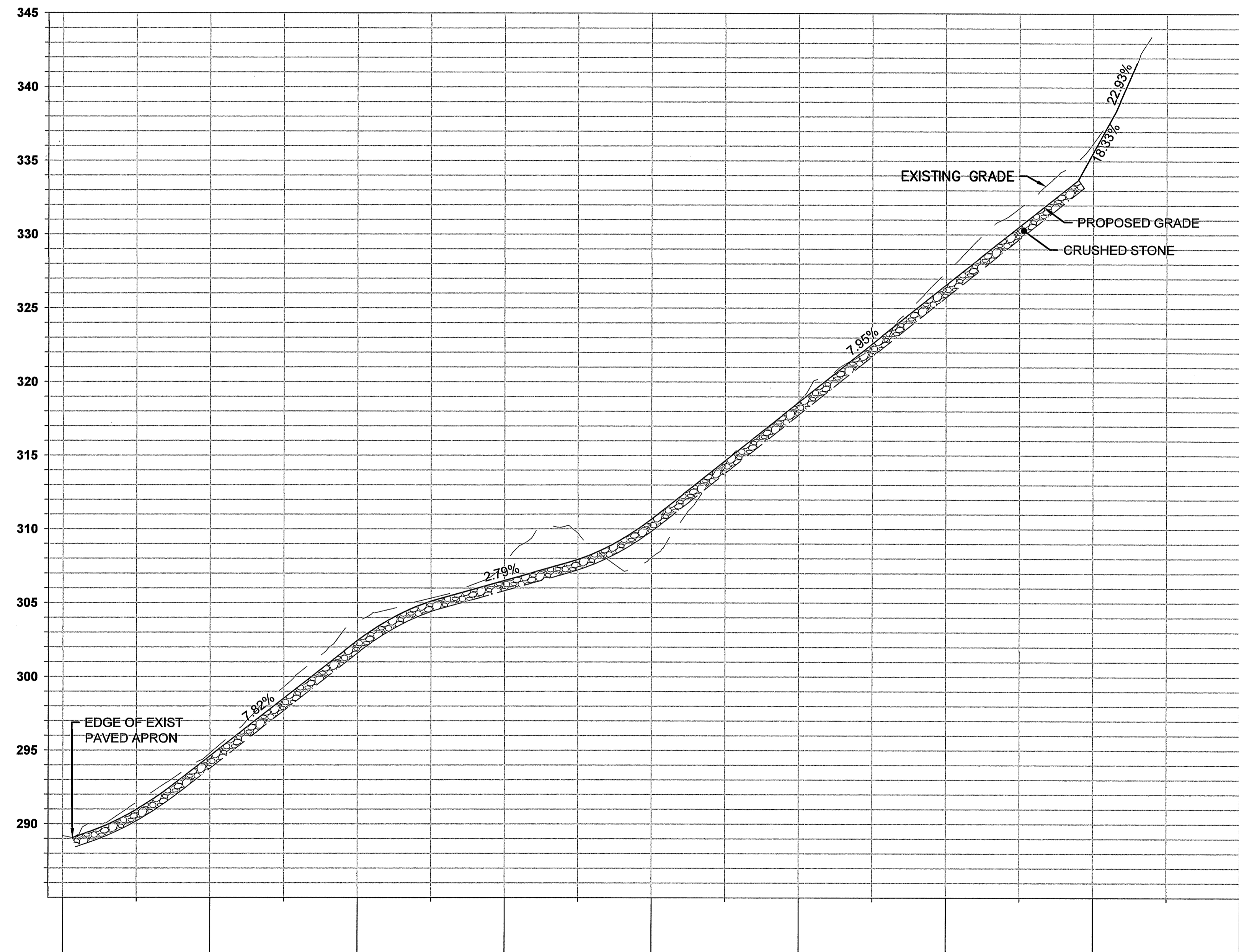
**RIDEM PRELIMINARY DETERMINATION
 EROSION & SEDIMENT CONTROL**

FOR PERMITTING ONLY

DRAWING NO. **EC-1**

PROJECT NO: 0218-000
 DATE OF ISSUE: 11/6/2021
 SHEET NO: 6 OF 11

DATE: Apr 23, 2021 - 8:29AM
 FILENAME: A:\2018-000\001\Drawings\0218-000 Douglas Pike Solar RDM PD - EROSION AND SEDIMENT CONTROL.dwg
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1 CRUSHED STONE DRIVEWAY PROFILE
7 SCALE: 1" = 50' H, 1" = 5' V

Environmental Management
APR 28 2021
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DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
REVIEWED SITE PLAN APPLICATION NO.: 21-002F
DATED JUN - 3 2021
SEE LETTER OF SAME DATE.
Nancy L. Freeman

DATE: Apr 23, 2021 - 11:59AM
FILENAME: J:\2018-000 Oak Square - Douglas Pike Solar\04 - Environmental\04 - Preliminary Determination\021-000 DOUGLAS PIKE SOLAR RDEM PD - ROAD PROFILE.dwg
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CIVIL

2021.04.23
Jason Gold 15:28:27
-04'00'

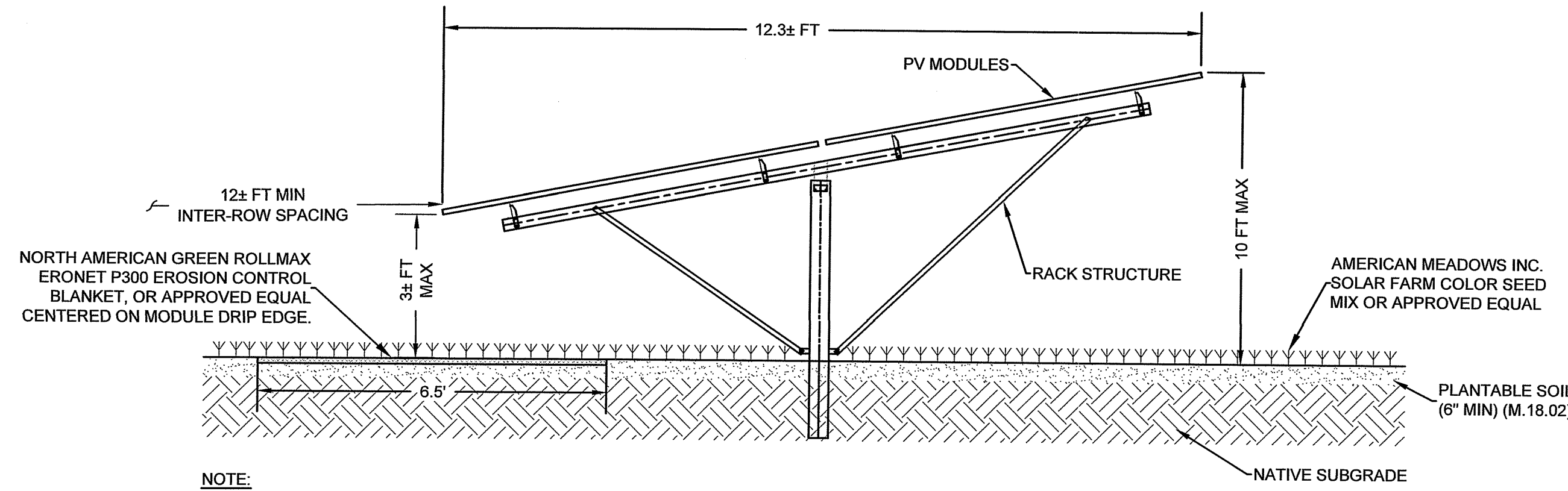
No.	REVISION	DATE	DRAWN	DESIGN	CHK
1	RESPONSE TO RIDEM TECHNICAL COMMENTS	4/23/21	GJR	JMG	JMG
DRAWN BY: GJR			DESIGNED BY: JMG		
CHECKED BY: GJR					

**RIDEM PRELIMINARY DETERMINATION
ROAD PROFILE**

FOR PERMITTING ONLY

DRAWING NO:
P-1

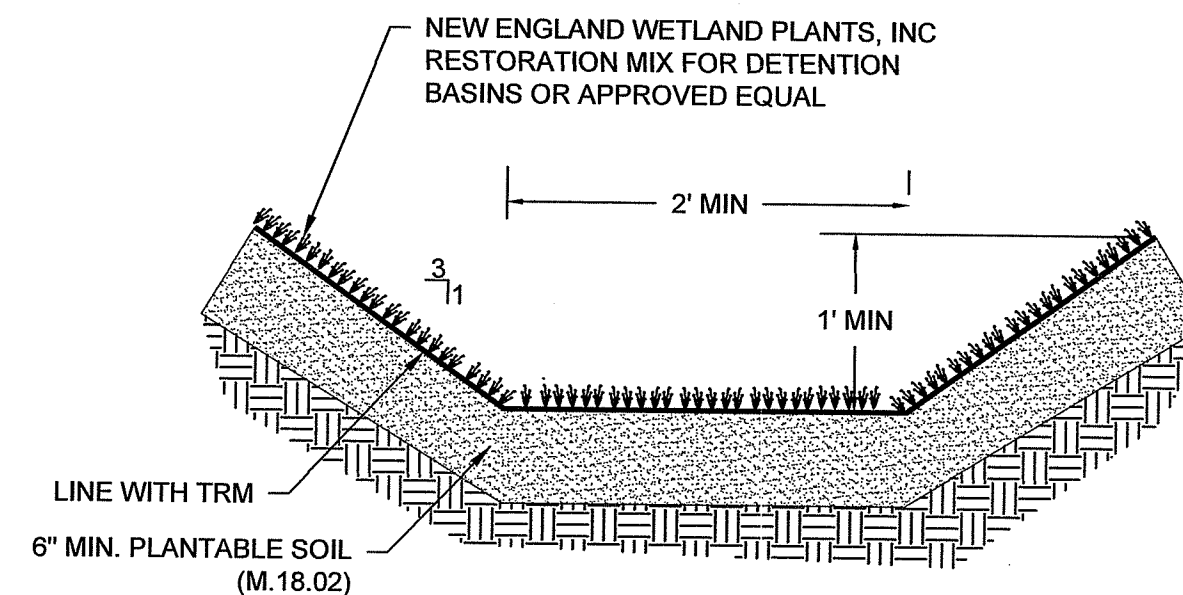
PROJECT NO: 0218-000
DATE OF ISSUE: 1/15/2021
SHEET NO: 7 OF 11



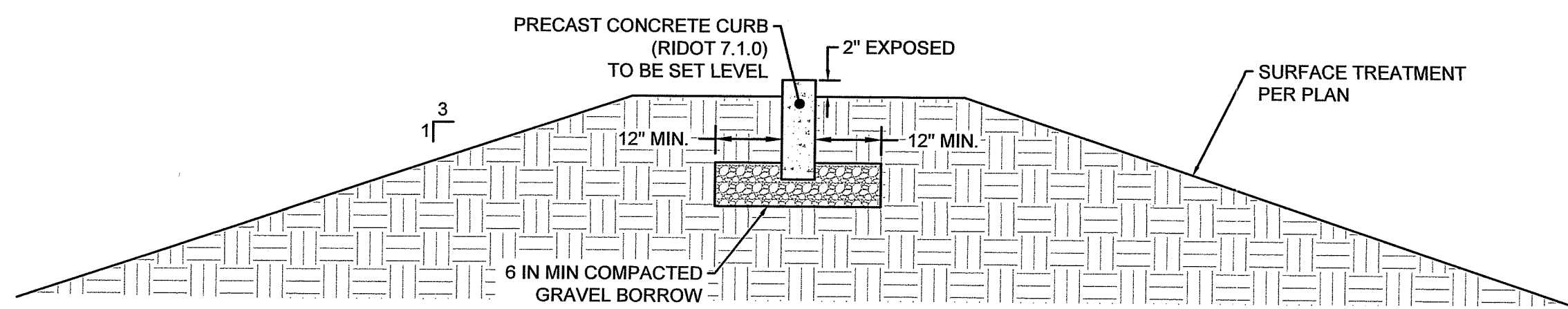
NOTE:

- RACK STRUCTURE AND PV MODULES SHOWN FOR ILLUSTRATIVE PURPOSES. ACTUAL COMPONENTS AND DIMENSIONS AS APPROVED BY OWNER. FOUNDATION TYPE TO BE DETERMINED BY OTHERS. CONCRETE BALLASTS ARE NOT PERMITTED.

1 SOLAR PANEL AND RACK DETAIL
SCALE: NTS



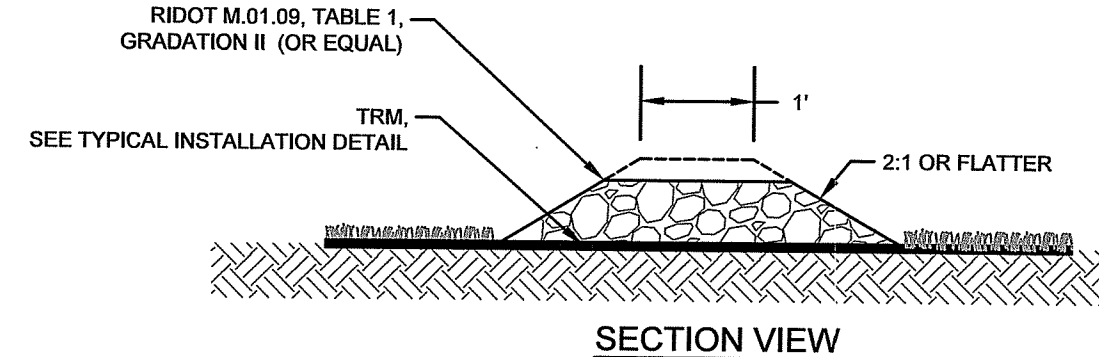
4 TYPICAL CONVEYANCE SWALE
SCALE: NTS



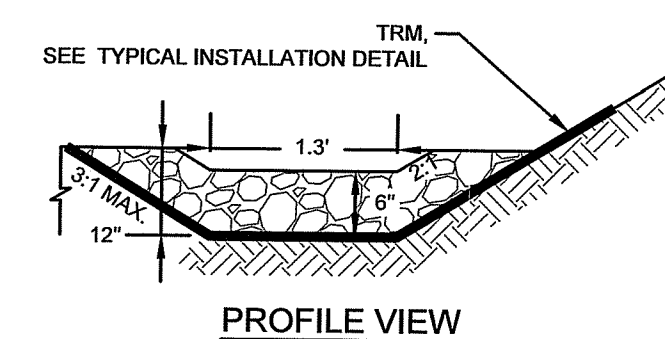
LOCATION	TOP OF POND / BERM ELEVATION	CURB WEIR INVERT ELEVATION	WEIR LENGTH
SAND FILTER 201	373.00	372.00	30
INFILTRATION BASIN 203	296.50	295.00	12

- NOTES:
- CONCRETE CURB SHALL BE SET LEVEL ON A COMPACTED GRAVEL BORROW SUBBASE BEDDING
 - CURB JOINTS SHALL BE SEALED WITH NON-SHRINK GROUT.

2 TYPICAL CURB OUTLET WEIR DETAIL
SCALE: NTS

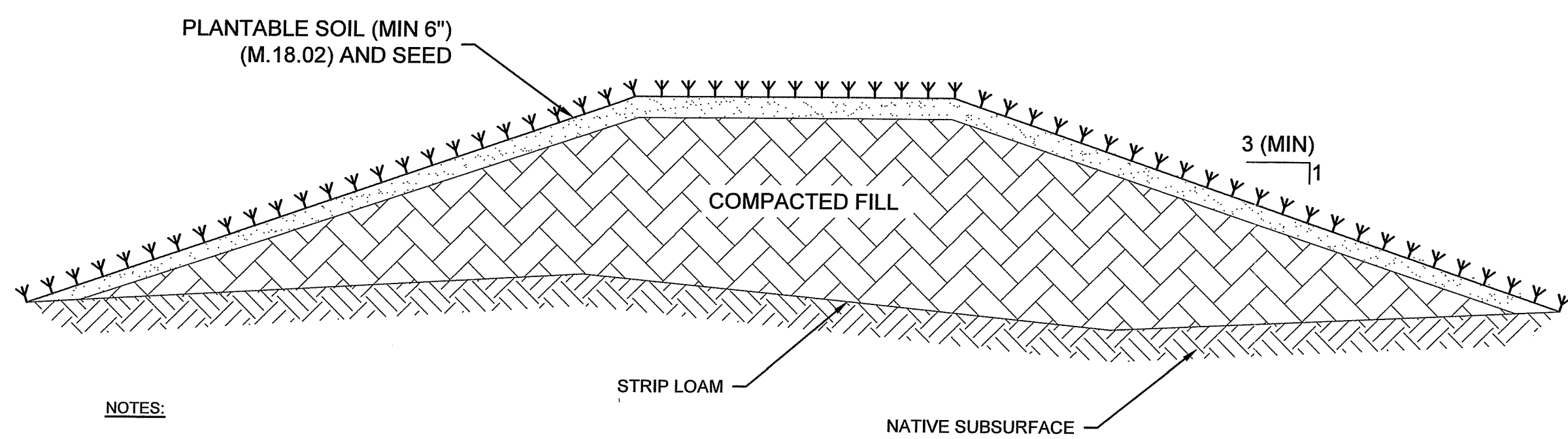


SECTION VIEW



PROFILE VIEW

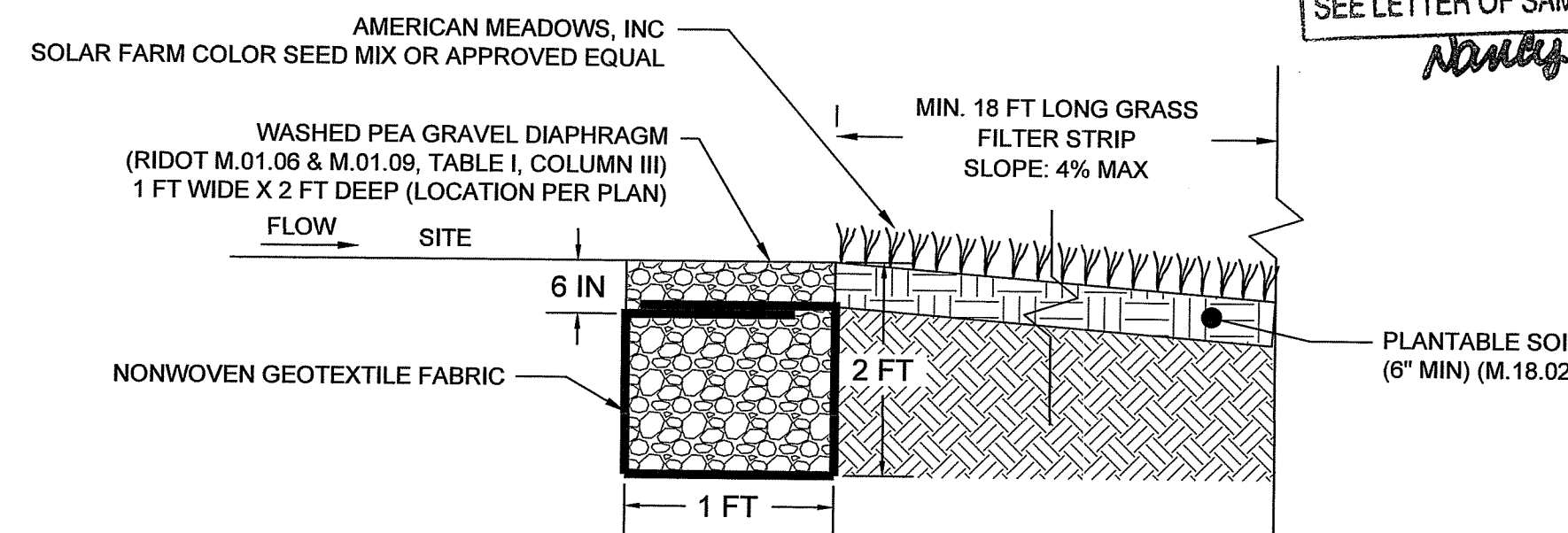
5 TYPICAL STONE CHECK DAM
SCALE: NTS



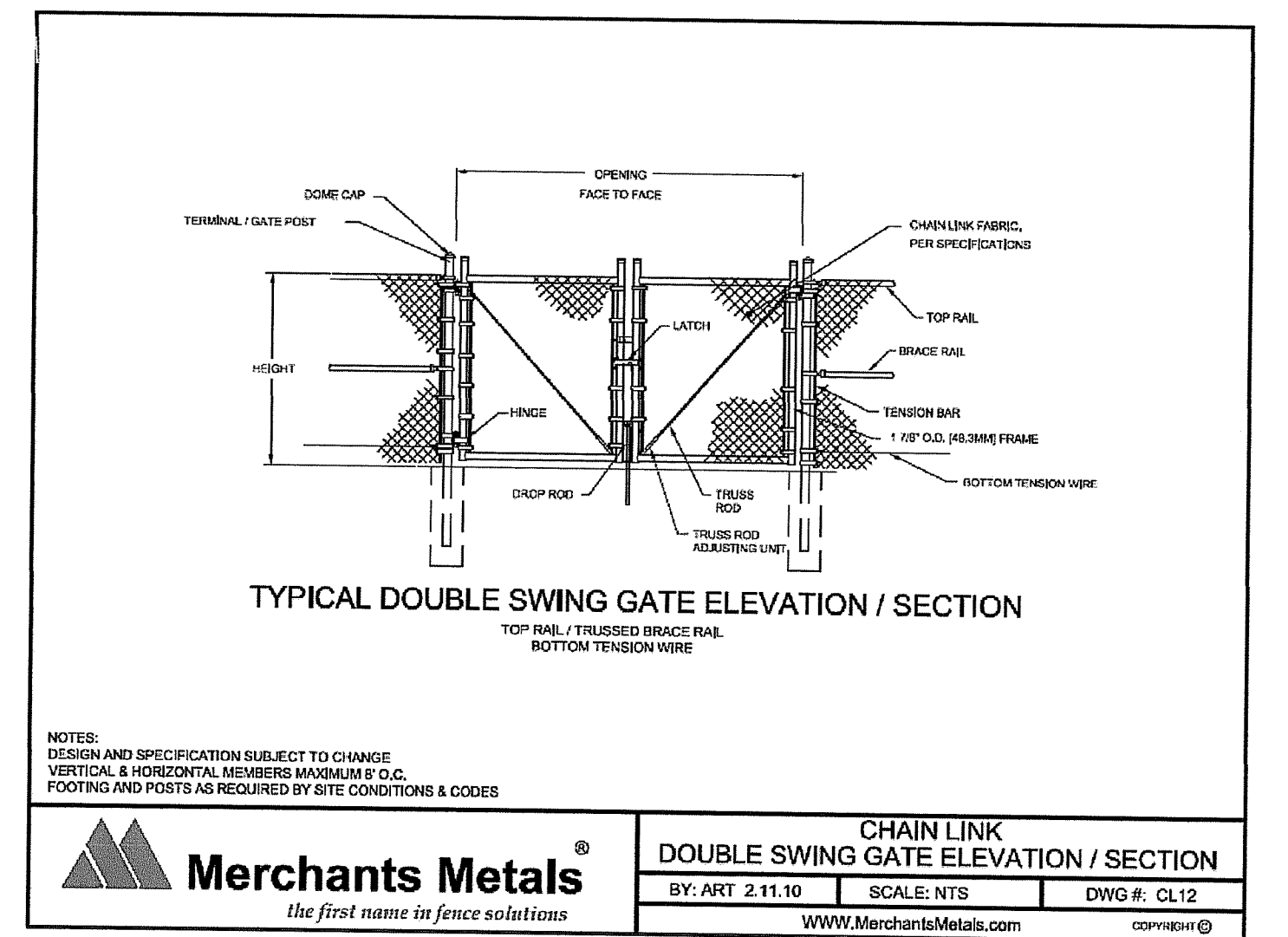
NOTES:

- SEE STORMWATER BASIN NOTES ON DRAWING N-1
- EMBANKMENT SHALL BE STABILIZED WITH A MINIMUM OF 6 INCHES OF PLANTABLE SOIL AND SEED OR FILTER FABRIC AND RIP-RAP AS SHOWN.

3 TYPICAL STORMWATER BASIN EMBANKMENT CROSS SECTION
SCALE: NTS



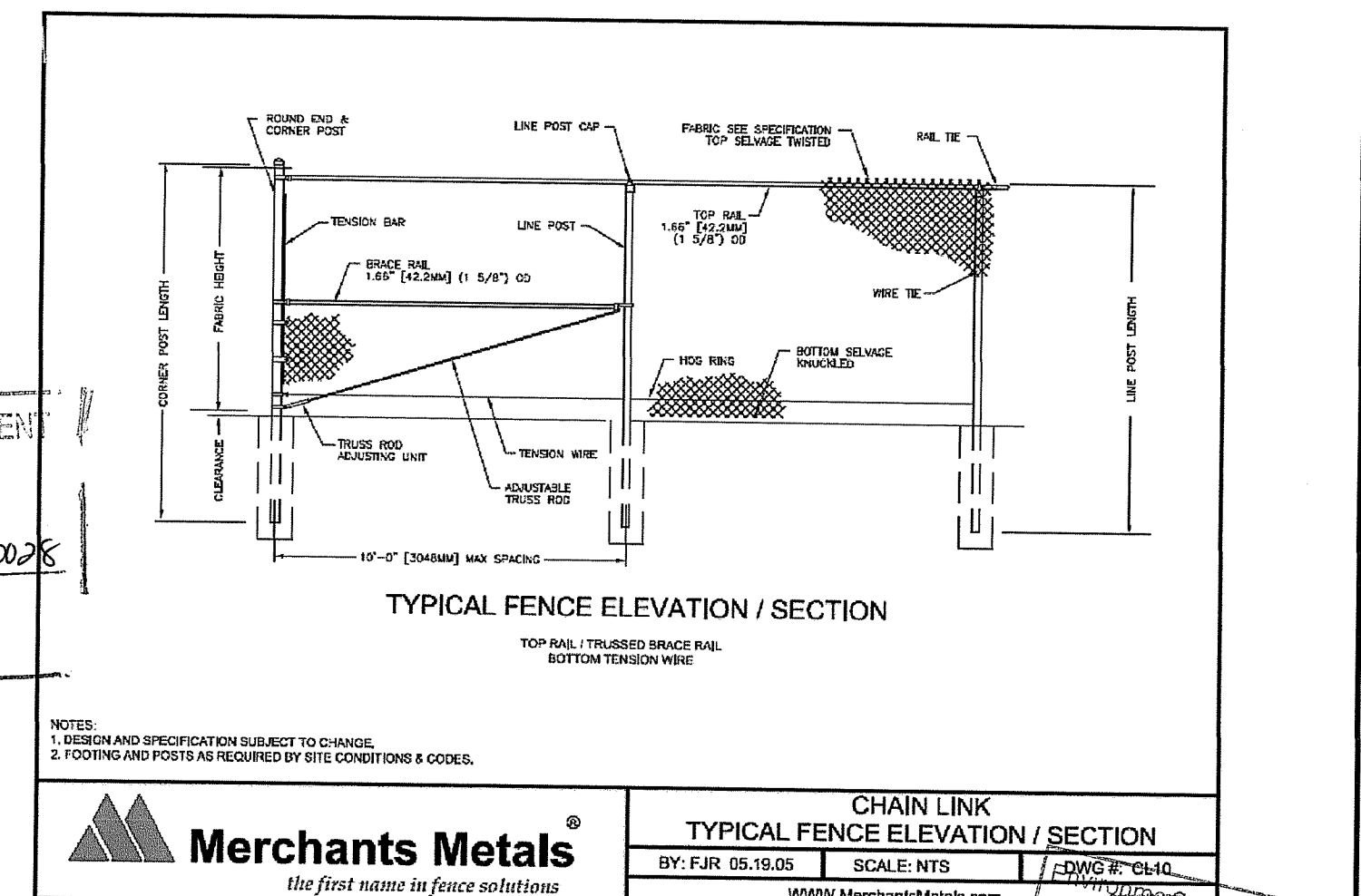
6 TYPICAL PEA GRAVEL DIAPHRAGM AND GRASS FILTER STRIP
SCALE: NTS



7 TYPICAL DOUBLE SWING GATE ELEVATION / SECTION
SCALE: NTS

- NOTES:
- FINAL GATE DETAIL TO BE SELECTED BY OWNER.
 - INSTALL GATE PER MANUFACTURER INSTRUCTIONS.
 - GATE POSTS SHALL BE SET IN CONCRETE.
 - FENCE HEIGHT SHALL BE 7 FEET, OPENING WIDTH SHALL BE 24 FEET FOR VEHICLE GATE.
 - PROVIDE 6-8 INCH CLEARANCE BENEATH THE FENCE TO PERMIT WILDLIFE PASSAGE.

7 TYPICAL GATE DETAIL
SCALE: NTS



8 TYPICAL 7-FT CHAIN LINK FENCE DETAIL
SCALE: NTS

- NOTES:
- FINAL FENCE DETAIL TO BE SELECTED BY OWNER.
 - INSTALL FENCE PER MANUFACTURER INSTRUCTIONS.
 - FENCE POSTS TO BE PILE DRIVEN EXCEPT AT CORNERS AND GATES WHICH SHALL BE SET IN CONCRETE.
 - FENCE HEIGHT SHALL BE 7 FEET.
 - PROVIDE 6-8 INCH CLEARANCE BENEATH THE FENCE TO PERMIT WILDLIFE PASSAGE.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
REVIEWED SITE PLAN APPLICATION NO.: 21-0028
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SEE LETTER OF SAME DATE.
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No.	REVISION	DATE	DRAWN	DESIGN	CHK
1	RESPONSE TO RIDEM TECHNICAL COMMENTS	4/23/21	GJR	JMG	JMG

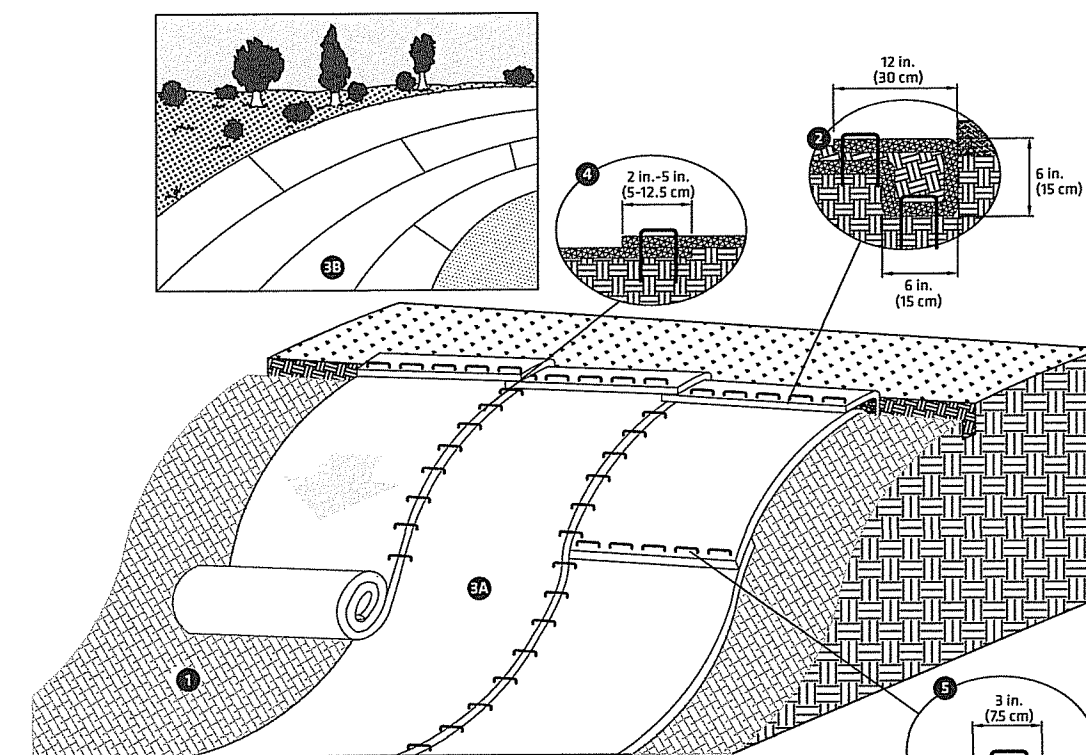
DRAWN BY: GJR DESIGNED BY: JMG CHECKED BY: GJR

RIDEM PRELIMINARY DETERMINATION DETAILS
FOR PERMITTING ONLY

D-2
PROJECT NO: 0219-000
DATE OF ISSUE: 11/05/2021
SHEET NO: 10 OF 11

Slope Installation

The following slope guide outlines general recommendations for installing RollMax™ System temporary and/or permanent RECPs on sloping applications. Consult the staple pattern guide (Figure 1) for fastener spacing recommendations based on the slope severity.



Drawings Not To Scale

SLOPE INSTALLATION STEPS

1. Prepare soil before installing RECPs, including any necessary application of lime, fertilizer and seed.
2. Begin at the top of the slope by anchoring the RECPs in a 6 in. (15 cm) deep x 6 in. (15 cm) wide trench with approximately 12 in. (30 cm) of RECPs extended beyond the upslope portion of the trench. Anchor the RECPs with a row of staples/stakes approximately 12 in. (30 cm) apart in the bottom of the trench. Backfill and compact the trench after stapling. Apply seed to the compacted soil and fold the remaining 12 in. (30 cm) portion of RECPs back over the seed and compacted soil. Secure RECPs over compacted soil with a row of staples/stakes spaced approximately 12 in. (30 cm) apart across the width of the RECPs.
3. Roll the RECPs (3A) down or (3B) horizontally across the slope. RECPs will unroll with appropriate side against the soil surface. All RECPs must be securely fastened to soil surface by placing staples/stakes in appropriate locations as shown in the staple pattern guide.
4. The edges of parallel RECPs must be stapled with an approximately 2 in. - 5 in. (5-12.5 cm) overlap depending on the RECP type.
5. Consecutive RECPs spliced down the slope must be end-over-end (shingle style) with an approximate 3 in. (7.5 cm) overlap. Staple through overlapped area, approximately 12 in. (30 cm) apart across entire RECPs width.

NOTE: In adverse soil conditions longer staples/stakes or earth anchors may be necessary to properly secure the RECPs.

Installation Made Easy

When under the pressure of severe conditions, even the best erosion control products can't function to their full potential without proper installation and anchoring. North American Green supplies a wide variety of fastener options for nearly every application and soil type.

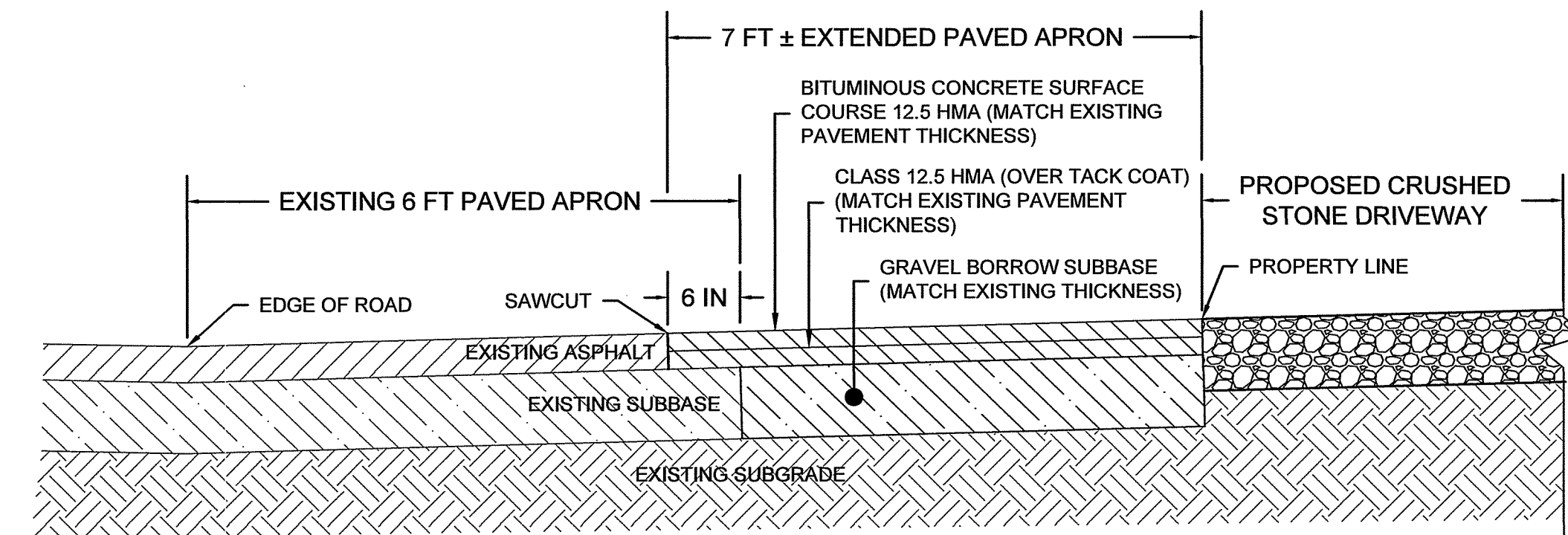
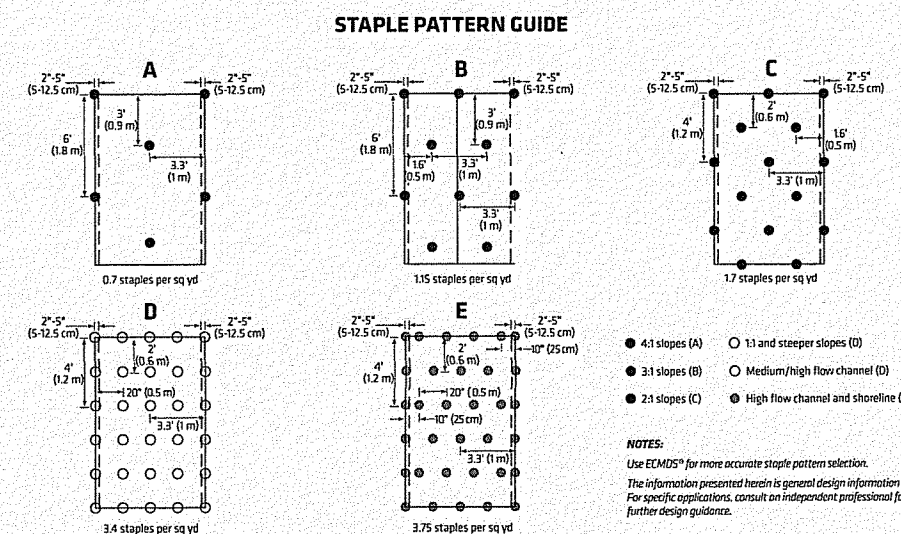
For use in cohesive soils, wire staples are a cost-effective means to fasten RollMax™ System Rolled Erosion Control Products (RECPs). Available in 6 in., 8 in., 10 in. and 12 in. lengths, our U-shaped staples reach various depths to ensure adequate pull-out resistance. For installation using our handy Pin Pouncer installation tool, 6 in. V-top staples or 6 in. circle top pins are available.

Our biodegradable BioStakes® are available in 4 in. and 6 in. lengths and provide an environmentally friendly alternative to metal staples. For an even more durable, deeper reaching yet all-natural anchoring option, our wood EcoStakes® are available in 6 in., 12 in., 18 in. and 24 in. lengths.

For severe applications needing the ultimate, long-lasting hold, try our 18 in. and 18 in. rebar staples, our 12 in. plastic ShoreMax® stakes, or our complete line of percussion earth anchors. The earth anchors reach deep into the soil strata to offer enhanced anchoring in the worst conditions. Our variety of earth anchors are designed for durability and holding power under extreme hydraulic stresses and adverse soil conditions.

STAPLE PATTERNS

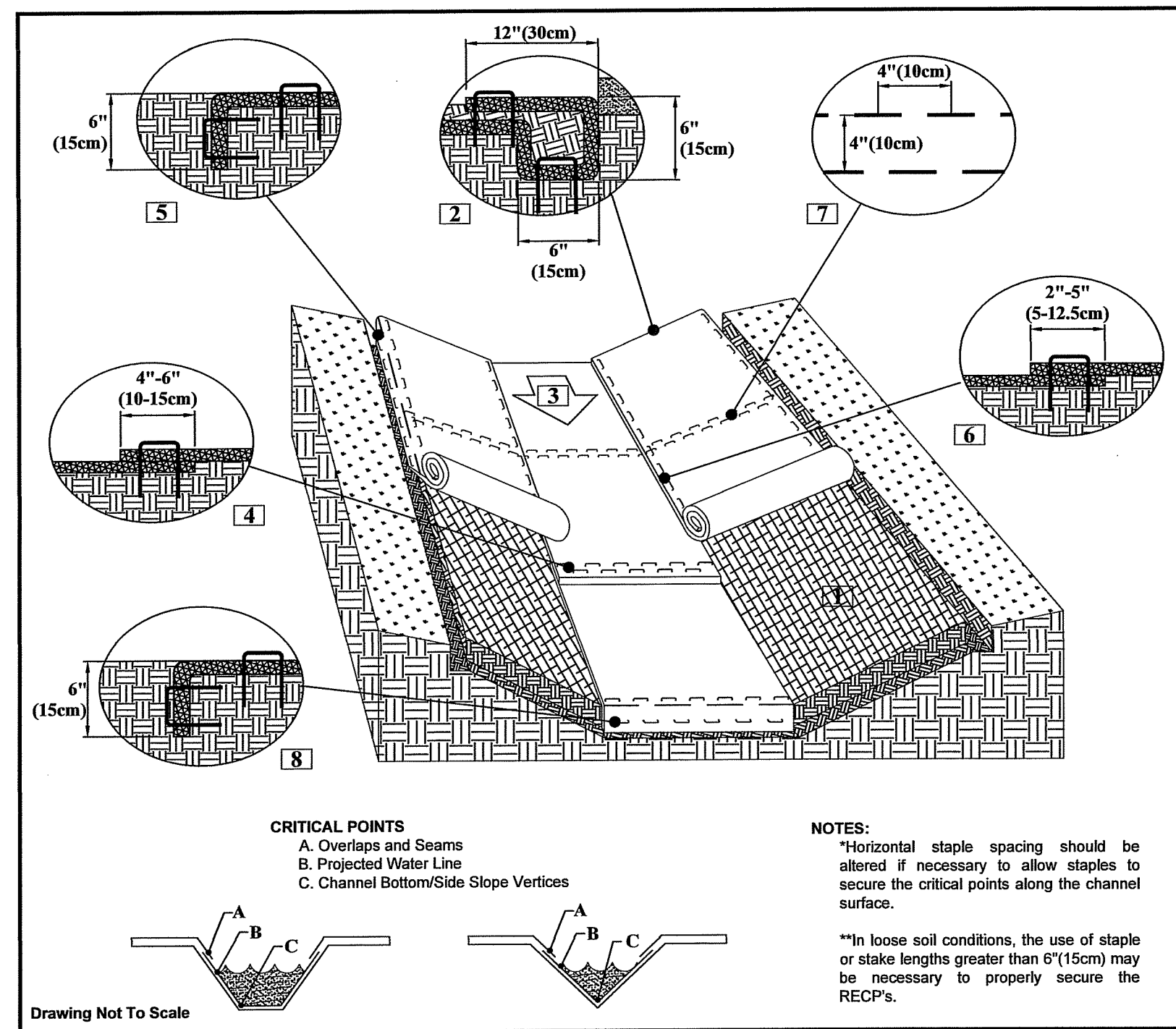
Proper staple patterns must be used to achieve optimal results in RECP installation. We recommend the following general stapling patterns as guidance for use with our RECPs as seen in (Figure 1). Site-specific staple pattern recommendations based on soil type and severity of application may be acquired through our Erosion Control Materials Design Software (ECMDS®). www.ecmds.com



NOTES:

1. MAINTAIN, REPAIR OR REPLACE EXISTING PAVED APRON.
2. MATCH EXISTING DRAINAGE PATTERNS WITHIN RIGHT OF WAY.
3. SAW CUT EXISTING PAVEMENT 6 INCHES FROM EDGE OF PAVEMENT. TACK COAT FACE BEFORE PAVING.

2 TYPICAL PAVEMENT APRON
SCALE: NTS



CHANNEL INSTALLATION DETAIL

1. Prepare soil before installing rolled erosion control products (RECPs), including any necessary application of lime, fertilizer, and seed.
2. Begin at the top of the channel by anchoring the RECPs in a 6 in. (15 cm) deep x 6 in. (15 cm) wide trench with approximately 12 in. (30 cm) of RECPs extended beyond the up-slope portion of the trench. Use ShoreMax® mat at the channel/culvert outlet as supplemental scour protection as needed. Anchor the RECPs with a row of staples/stakes approximately 12 in. (30 cm) apart in the bottom of the trench. Backfill and compact the trench after stapling. Apply seed to the compacted soil and fold the remaining 12 in. (30 cm) portion of RECPs back over the seed and compacted soil. Secure RECPs over compacted soil with a row of staples/stakes spaced approximately 12 in. (30 cm) apart across the width of the RECPs.
3. Roll center RECPs in direction of water flow in bottom of channel. RECPs will unroll with appropriate side against the soil surface. All RECPs must be securely fastened to soil surface by placing staples/stakes in appropriate locations as shown in the staple pattern guide.
4. Place consecutive RECPs end-over-end (Shingle style) with a 4 in. (10 cm) overlap. Use a double row of staples staggered 4 in. (10 cm) apart and 4 in. (10 cm) on center to secure RECPs.
5. Full length edge of RECPs at top of side slopes must be anchored with a row of staples/stakes approximately 12 in. (30 cm) apart in a 6 in. (15 cm) deep x 6 in. (15 cm) wide trench. Backfill and compact the trench after stapling.
6. Adjacent RECPs must be overlapped approximately 2 in. - 5 in. (5-12.5 cm) (depending on RECP type) and stapled.
7. In high flow channel applications a staple check slot is recommended at 30 to 40 foot (9-12m) intervals. Use a double row of staples staggered 4 in. (10 cm) apart and 4 in. (10 cm) on center over entire width of the channel.
8. The terminal end of the RECPs must be anchored with a row of staples/stakes approximately 12 in. (30 cm) apart in a 6 in. (15 cm) deep x 6 in. (15 cm) wide trench. Backfill and compact the trench after stapling.

CRITICAL POINTS

- A. Overlaps and Seams
- B. Projected Water Line
- C. Channel Bottom/Side Slope Vertices

NOTES:

*Horizontal staple spacing should be altered if necessary to allow staples to secure the critical points along the channel surface.
**In loose soil conditions, the use of staple or stake lengths greater than 6 in. (15 cm) may be necessary to properly secure the RECPs.

Drawings Not To Scale
NORTH AMERICAN GREEN
5401 St. Wendel - Cynthiana Rd.
Poseyville, IN 47633
PH: 800-722-2040
www.nagreen.com

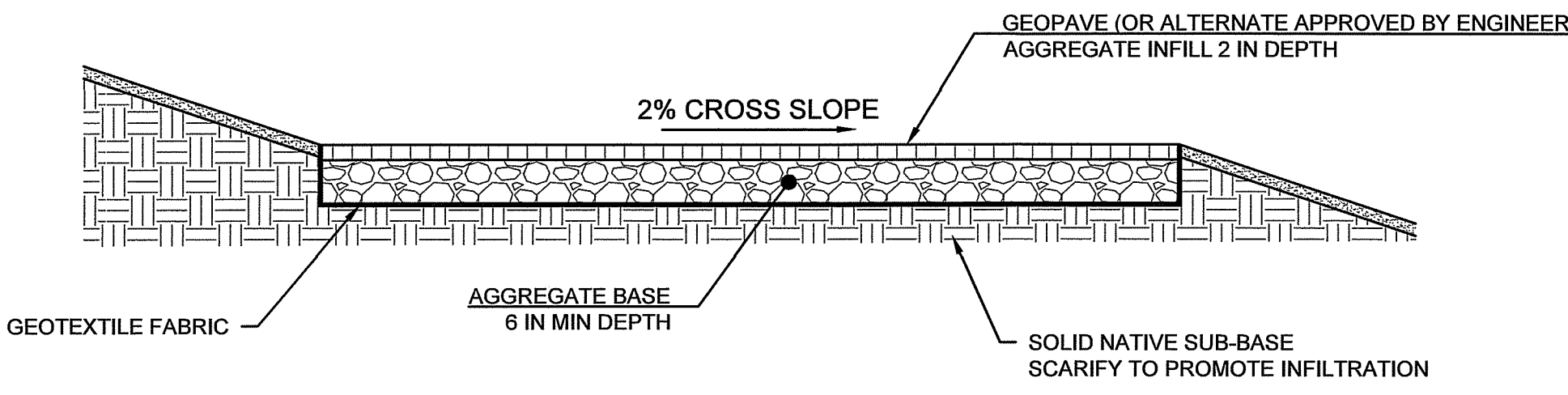
Disclaimer:
The information presented herein is general design information only. For specific applications, consult an independent professional for further design guidance.

Drawn on: 5-4-17

NOTE:

1. TRM SHALL BE ERONET P300 OR EQUAL

1 TYPICAL TURF REINFORCEMENT MAT (TRM) INSTALLATION
SCALE: NTS



NOTES:

1. MINIMUM WIDTH OF THE ACCESS ROAD SHALL BE 20 FEET.
2. MAXIMUM DISTANCE BETWEEN THE EDGE OF THE ACCESS ROAD AND THE LOCATION OF NATIONAL GRID'S EQUIPMENT PLACEMENTS SHALL BE NO MORE THAN 10 FEET WITH LESS THAN 5 DEGREE GRADE CHANGE. GREATER THAN 5 DEGREE GRADE CHANGE WILL REQUIRE SITE SPECIFIC APPROVAL.
3. EXISTING PLANTABLE SOIL SHALL BE REMOVED UNTIL A SOLID SUB-BASE HAS BEEN REACHED.
4. A GEOTEXTILE FABRIC SHALL BE INSTALLED ON TOP OF THE SUB-BASE BEFORE THE STONE ROAD BASE IS INSTALLED.
5. THE AGGREGATE BASE SHALL BE A MINIMUM OF 6 INCHES IN DEPTH AND CONSTRUCTED COMPLETELY OUT OF WASHED ANGULAR CRUSHED STONE MEETING THE GRADATION OF RIDOT M.01.09 TABLE 1 COLUMN V.
5. THE AGGREGATE INFILL SHALL BE A MINIMUM OF 2 INCHES IN DEPTH AND CONSTRUCTED COMPLETELY OUT OF WASHED ANGULAR CRUSHED STONE MEETING THE GRADATION OF RIDOT M.01.09 TABLE 1 COLUMN VI.
6. THE GEOPAVE UNITS SHALL BE ANCHORED IN-PLACE WITH 0.5 IN (13 MM) #4 REBAR ACCORDING TO MANUFACTURER'S INSTRUCTIONS.
7. MAXIMUM GRADE SHALL BE NO MORE THAN 8%.

3 TYPICAL CRUSHED STONE DRIVEWAY
SCALE: NTS

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APR 28 2021
Office of Water Resources

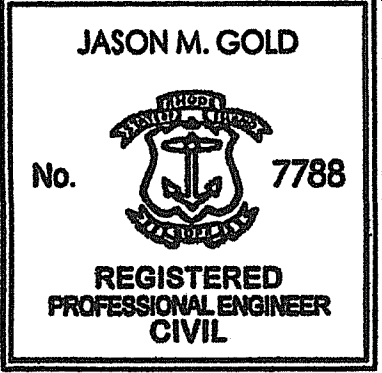
DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
REVIEWED SITE PLAN APPLICATION NO: 21-008
DATED JUN - 3 2021
SEE LETTER OF SAME DATE.
Nancy L. Freeman



404 Wyman Street, Suite 375
Waltham, Massachusetts 02451
p 781.419.7696
www.essgroup.com

DOUGLAS PIKE SOLAR, LLC
119 BRAINTREE STREET, SUITE 604
BOSTON, MA 02134

DOUGLAS PIKE SOLAR
AP 131 LOT 7
0 WALLING ROAD
BURRILLVILLE, RI



2021.04.23
15:20:13
-04'00'

NO.	REVISION	DATE	DRAWN	DESIGN	CHK.
1	RESPONSE TO RIDEM AND RIDOT COMMENTS	4/23/21	GJR	JMG	JMG

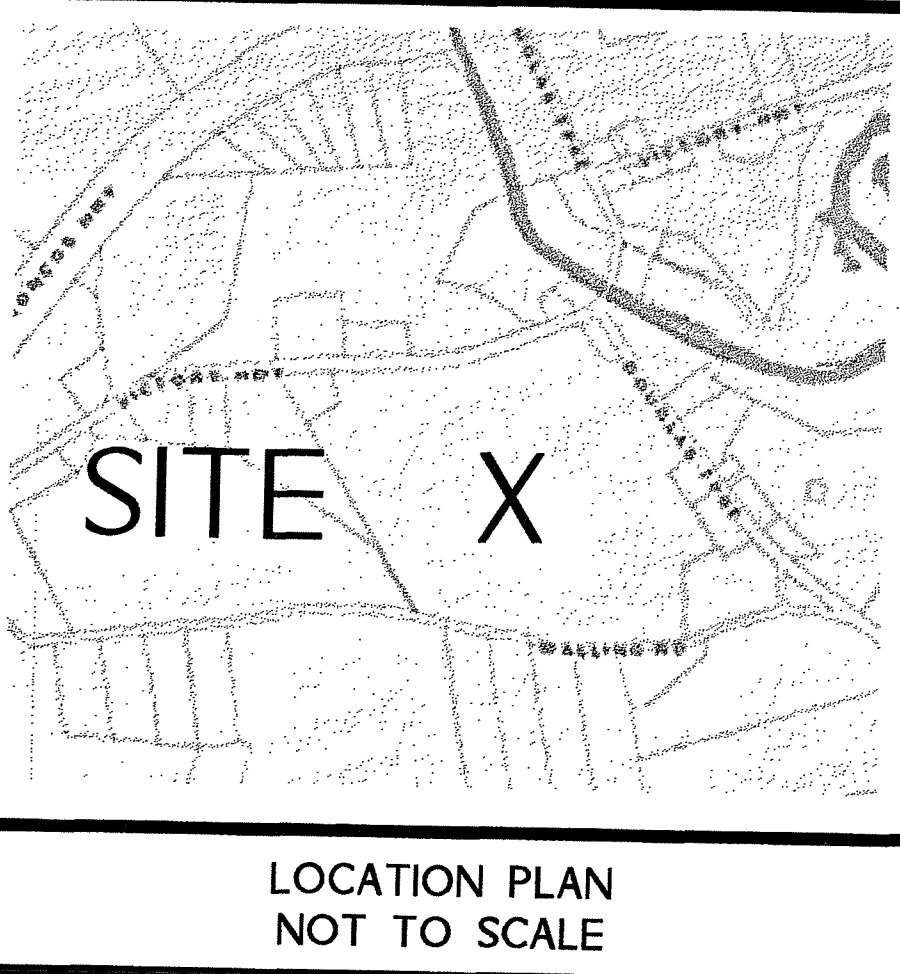
RIDEM PRELIMINARY DETERMINATION DETAILS

FOR PERMITTING ONLY

D-3

PROJECT NO: 0218-000
DATE OF ISSUE: 11/05/21
SHEET NO: 11 OF 11

DATE: Apr 23, 2021 - 9:30AM
FILENAME: J:\21-008-000-001.dwg
DRAWN BY: GJR
CHECKED BY: JMG
DESIGNED BY: JMG
DATE: 4/23/21
PROJECT: Douglas Pike Solar, LLC - Environmental Management
SHEET: 11 OF 11



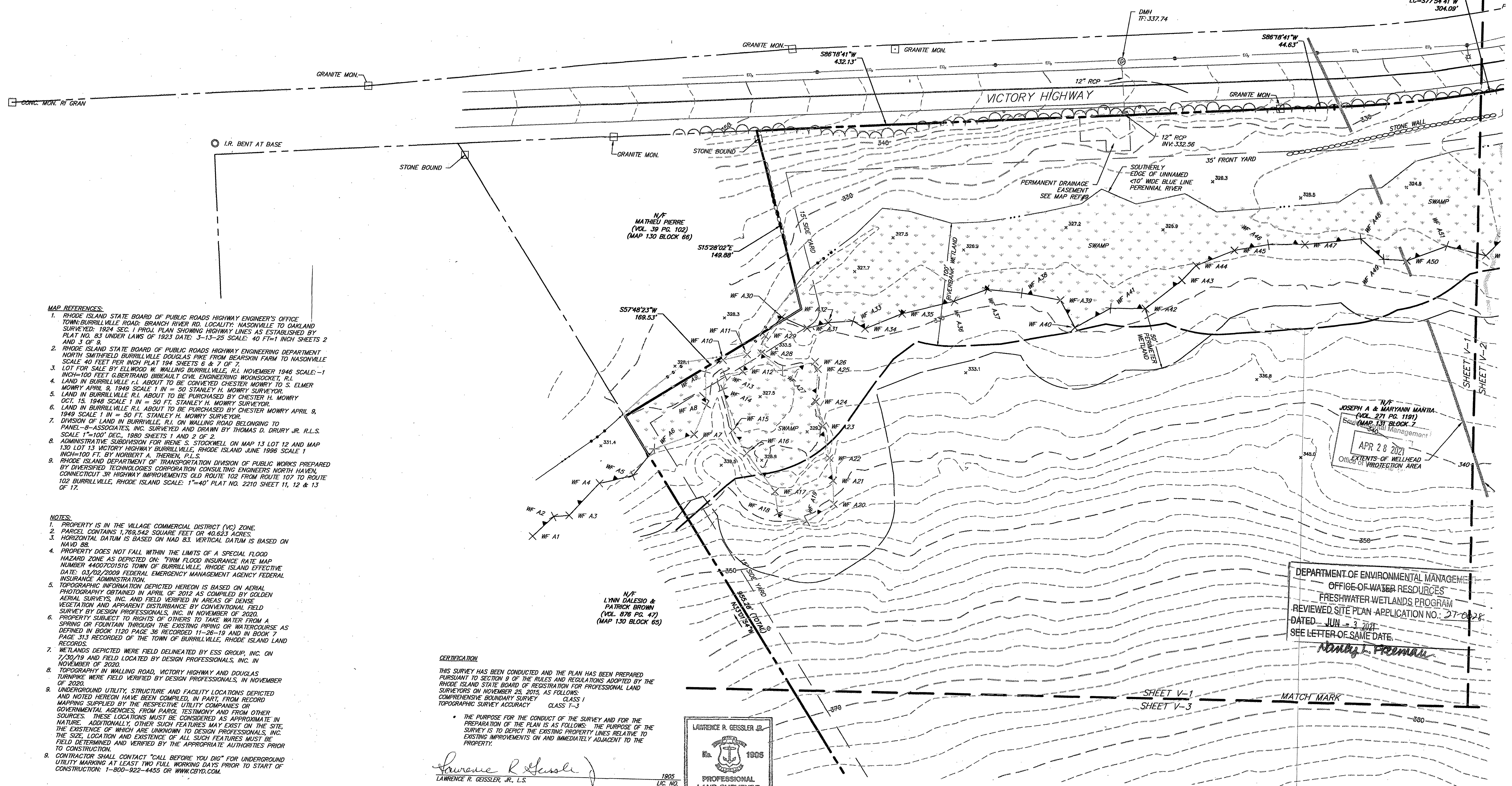
LEGEND	
EXISTING	DESCRIPTION
BORINGS	BORING / TEST PIT LOCATION
COMMUNICATION	OVERHEAD COMM. LINES (CABLE, TEL, ETC.)
CONTROL POINTS	APPROX. UNDERGROUND COMMUNICATION LINES
DOMESTIC WATER	BENCHMARK
	APPROX. WATER MAIN
	APPROX. WATER SERVICE
	WATER VALVE
	FIRE HYDRANT
LIGHTING	POLE MOUNTED LIGHT
NATURAL GAS	APPROX. GAS MAIN

POWER	APPROX. GAS SERVICE LINE
	ELECTRICAL LINES, OVERHEAD
	APPROX. ELECTRICAL LINES, UNDERGROUND
	UTILITY POLE
PROPERTY	PROPERTY LINE
	EASEMENT LINE
	IRON PIPE
	IRON ROD
	MONUMENT
ROADS	GUARD RAIL
	SIGN
SITE FEATURES	EDGE OF RIVERBANK
	BARBED WIRE FENCE
	CHAIN LINK FENCE
	RAIL FENCE
	STOCKADE FENCE

	WIRE FENCE
	STONE WALL
	TREE
	TREE LINE
SANITARY SEWER	APPROX. SANITARY SEWER MAIN
	APPROX. SANITARY SEWER SERVICE LINE
	SANITARY SEWER MANHOLE
STORM SEWER	APPROX. STORM DRAIN PIPE
	STORM DRAIN MANHOLE
	CURB INLET
	CATCH BASIN
TOPOGRAPHY	CONTOUR
	SPOT ELEVATION
WETLANDS	WETLANDS LINE



$A=16^{\circ}48'00''$
 $R=1040.80'$
 $L=305.18'$
 $LC=57754.41'W$
 $304.08'$



- MAP REFERENCES:**
- RHODE ISLAND STATE BOARD OF PUBLIC ROADS HIGHWAY ENGINEER'S OFFICE TOWN BURRILLVILLE ROAD: BRANCH RIVER RD. LOCALITY: NASONVILLE TO OAKLAND SURVEYED: 1924 SEC. 1 PROJ. PLAN SHOWING HIGHWAY LINES AS ESTABLISHED BY PLAT NO. 83 UNDER LAWS OF 1923 DATE: 3-13-25 SCALE: 40 FT=1 INCH SHEETS 2 AND 3 OF 6.
 - RHODE ISLAND STATE BOARD OF PUBLIC ROADS HIGHWAY ENGINEERING DEPARTMENT NORTH SMITHFIELD BURRILLVILLE DOUGLAS PIKE FROM BEARSKIN FARM TO NASONVILLE SCALE 40 FEET PER INCH PLAT 194 SHEETS 6 & 7 OF 7.
 - LOT FOR SALE BY ELMWOOD W. WALLING BURRILLVILLE, RI, NOVEMBER 1946 SCALE: -1 INCH=100 FEET G. BERTRAND BERBALT CIVIL ENGINEERING WOODSOCKET, RI.
 - LAND IN BURRILLVILLE R.I. ABOUT TO BE CONVEYED CHESTER MOWRY TO S. ELMER MOWRY APRIL 9, 1949 SCALE 1 IN = 50 FT. STANLEY H. MOWRY SURVEYOR.
 - LAND IN BURRILLVILLE R.I. ABOUT TO BE PURCHASED BY CHESTER H. MOWRY OCT. 15, 1948 SCALE 1 IN = 50 FT. STANLEY H. MOWRY SURVEYOR.
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 - DIVISION OF LAND IN BURRILLVILLE, RI. ON WALLING ROAD BELONGING TO PANEL-B-ASSOCIATES, INC. SURVEYED AND DRAWN BY THOMAS D. DRURY JR. R.L.S. SCALE 1"=100' DEC., 1980 SHEETS 1 AND 2 OF 2.
 - ADMINISTRATIVE SUBDIVISION FOR IRENE S. STOCKWELL ON MAP 13 LOT 12 AND MAP 130 LOT 13 VICTORY HIGHWAY BURRILLVILLE, RHODE ISLAND JUNE 1986 SCALE 1 INCH=100 FT. BY NORBERT A. THERIEN, P.L.S.
 - RHODE ISLAND DEPARTMENT OF TRANSPORTATION DIVISION OF PUBLIC WORKS PREPARED BY DIVERSIFIED TECHNOLOGIES CORPORATION CONSULTING ENGINEERS NORTH HAVEN, CONNECTICUT 3R HIGHWAY IMPROVEMENTS OLD ROUTE 102 FROM ROUTE 107 TO ROUTE 102 BURRILLVILLE, RHODE ISLAND SCALE: 1"=40' PLAT NO. 2210 SHEET 11, 12 & 13 OF 17.

- NOTES:**
- PROPERTY IS IN THE VILLAGE COMMERCIAL DISTRICT (VC) ZONE.
 - PARCEL CONTAINS 1,769,542 SQUARE FEET OR 40.223 ACRES.
 - HORIZONTAL DATUM IS BASED ON NAD 83. VERTICAL DATUM IS BASED ON NAVD 88.
 - PROPERTY DOES NOT FALL WITHIN THE LIMITS OF A SPECIAL FLOOD HAZARD ZONE AS DEPICTED ON: FIRM FLOOD INSURANCE RATE MAP NUMBER 440700151G TOWN OF BURRILLVILLE, RHODE ISLAND EFFECTIVE DATE: 03/02/2009 FEDERAL EMERGENCY MANAGEMENT AGENCY FEDERAL INSURANCE ADMINISTRATION.
 - TOPOGRAPHIC INFORMATION DEPICTED HEREON IS BASED ON AERIAL PHOTOGRAPHY OBTAINED IN APRIL OF 2012 AS COMPILED BY GOLDEN AERIAL SURVEYS, INC. AND FIELD VERIFIED IN AREAS OF DENSE VEGETATION AND APPARENT DISTURBANCE BY CONVENTIONAL FIELD SURVEY BY DESIGN PROFESSIONALS, INC. IN NOVEMBER OF 2020.
 - PROPERTY SUBJECT TO RIGHTS OF OTHERS TO TAKE WATER FROM A SPRING OR FOUNTAIN THROUGH THE EXISTING PIPING OR WATERCOURSE AS DEFINED IN BOOK 1120 PAGE 36 RECORDED 11-26-19 AND IN BOOK PAGE 313 RECORDED OF THE TOWN OF BURRILLVILLE, RHODE ISLAND LAND RECORDS.
 - WETLANDS DEPICTED WERE FIELD DELINEATED BY ESS GROUP, INC. ON 7/30/19 AND FIELD LOCATED BY DESIGN PROFESSIONALS, INC. IN NOVEMBER OF 2020.
 - TOPOGRAPHY IN WALLING ROAD, VICTORY HIGHWAY AND DOUGLAS TURNPIKE WERE FIELD VERIFIED BY DESIGN PROFESSIONALS, INC. IN NOVEMBER OF 2020.
 - UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES. FROM PAROL TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO DESIGN PROFESSIONALS, INC. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION.
 - CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" FOR UNDERGROUND UTILITY MARKING AT LEAST TWO FULL WORKING DAYS PRIOR TO START OF CONSTRUCTION: 1-800-322-4435 OR WWW.CBDY.COM.

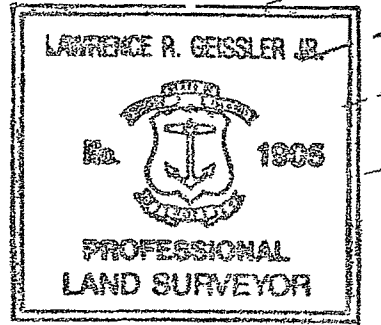
CERTIFICATION

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:

COMPREHENSIVE BOUNDARY SURVEY CLASS 1
TOPOGRAPHIC SURVEY ACCURACY CLASS 1-3

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS: THE PURPOSE OF THE SURVEY IS TO DEPICT THE EXISTING PROPERTY LINES RELATIVE TO EXISTING IMPROVEMENTS ON AND IMMEDIATELY ADJACENT TO THE PROPERTY.

Lawrence R. Geissler Jr.
 LAWRENCE R. GEISLER, JR., L.S.
 1905
 LIC. NO.



DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 REVIEWED SITE PLAN - APPLICATION NO.: 27-0128
 DATED - JUN - 3 2021
 SEE LETTER OF SAME DATE.
Nancy J. Proulx

21 JEFFREY DRIVE
 P.O. BOX 167
 SOUTH WINDSOR, CT 06074
 860-291-8767
 860-291-8757
 www.designprofessionalsinc.com

design Professionals
 CIVIL / LAND SURVEYING / PLANNING / SURVEYORS
 ENVIRONMENTAL / LANDSCAPE ARCHITECTS

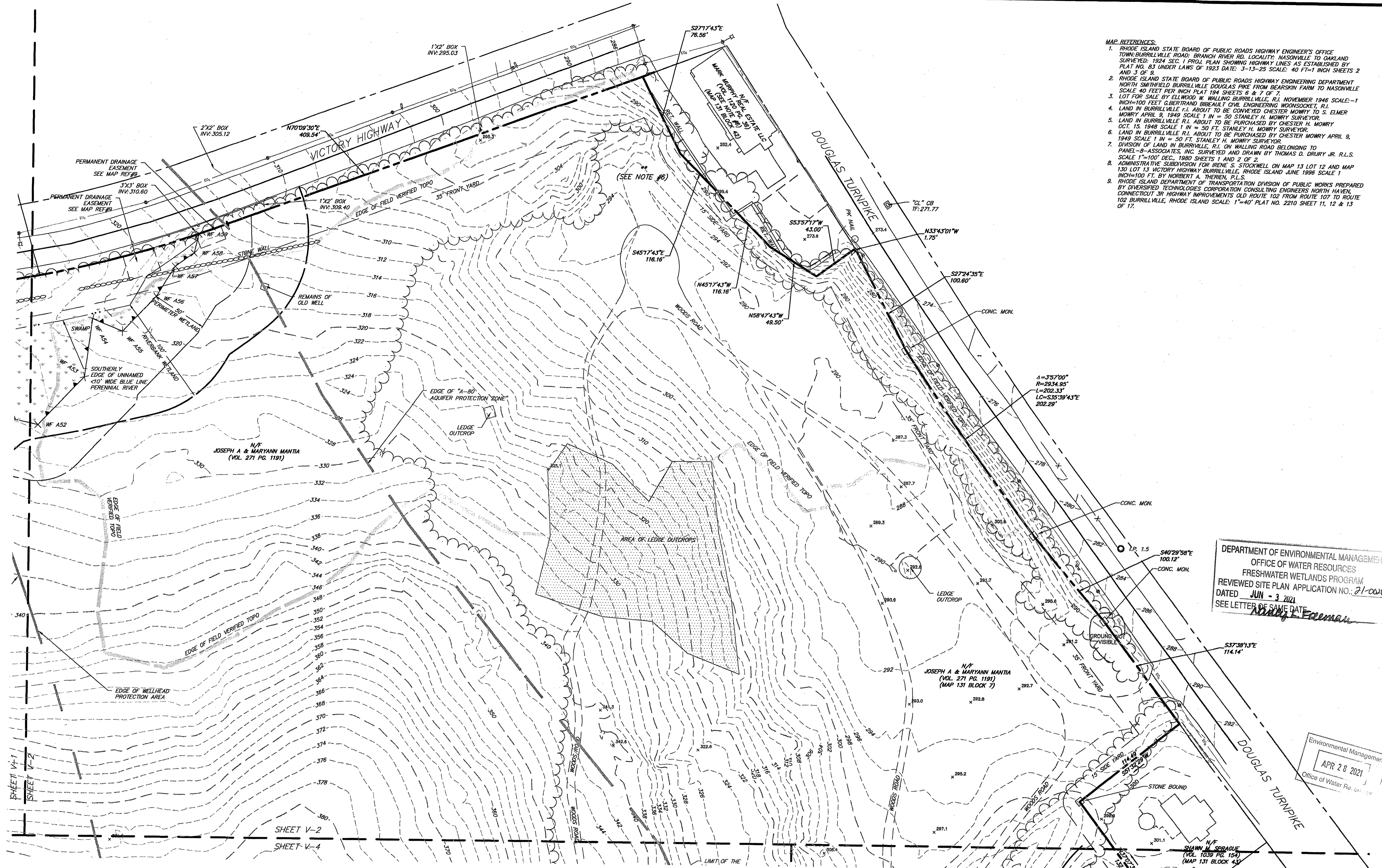
PREPARED FOR:
 John Tynadis
 Oak Square Partners
 119 Braintree Street
 Suite 271
 Boston, MA 02134

OAK SQUARE DEVELOPMENT II, LLC
 WALLING ROAD, DOUGLAS TURNPIKE, & VICTORY HIGHWAY
 BURRILLVILLE, RHODE ISLAND

PROJECT NO.: 2021-0128
 DATE: 11-5-20
 DESIGN BY: JMG
 CHECKED BY: JMG
 SCALE: AS SHOWN

COMPREHENSIVE BOUNDARY & TOPOGRAPHIC SURVEY

SHEET V-1



- MAP REFERENCES:**
- RHODE ISLAND STATE BOARD OF PUBLIC ROADS HIGHWAY ENGINEER'S OFFICE TOWN BURRILLVILLE ROAD: BRANCH RIVER RD. LOCALITY: NASHVILLE TO OAKLAND SURVEYED: 1924 SEC. 1 PROJ. PLAN SHOWING HIGHWAY LINES AS ESTABLISHED BY PLAT NO. 83 UNDER LAWS OF 1923 DATE: 3-13-25 SCALE: 40 FT-1 INCH SHEETS 2 AND 3 OF 8.
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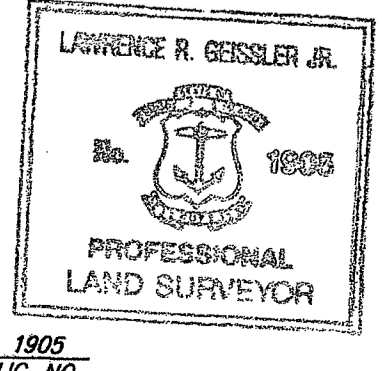
DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 REVIEWED SITE PLAN APPLICATION NO. 21-0028
 DATED JUN - 3 2021
 SEE LETTER OF SAME DATE
Mindy L. Freeman

Environmental Management
 APR 28 2021
 Office of Water Resources

- NOTES:**
- PROPERTY IS IN THE VILLAGE COMMERCIAL DISTRICT (VC) ZONE.
 - PARCEL CONTAINS 1,768,542 SQUARE FEET OR 40.523 ACRES.
 - HORIZONTAL DATUM IS BASED ON NAD 83. VERTICAL DATUM IS BASED ON NAVD 88.
 - PROPERTY DOES NOT FALL WITHIN THE LIMITS OF A SPECIAL FLOOD HAZARD ZONE AS DEPICTED ON: "FIRM FLOOD INSURANCE RATE MAP NUMBER 4407C01510 TOWN OF BURRILLVILLE, RHODE ISLAND EFFECTIVE DATE: 03/02/2009 FEDERAL EMERGENCY MANAGEMENT AGENCY FEDERAL INSURANCE ADMINISTRATION.
 - TOPOGRAPHIC INFORMATION DEPICTED HEREON IS BASED ON AERIAL PHOTOGRAPHY OBTAINED IN APRIL OF 2012 AS COMPILED BY GOLDEN AERIAL SURVEYS, INC. AND FIELD VERIFIED IN AREAS OF DENSE VEGETATION AND APPARENT DISTURBANCE BY CONVENTIONAL FIELD SURVEY BY DESIGN PROFESSIONALS, INC. IN NOVEMBER OF 2020.
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 - CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" FOR UNDERGROUND UTILITY MARKING AT LEAST TWO FULL WORKING DAYS PRIOR TO START OF CONSTRUCTION: 1-800-922-4455 OR WWW.CBYD.COM.

CERTIFICATION
 THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 8 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 23, 2015, AS FOLLOWS:
 COMPREHENSIVE BOUNDARY SURVEY CLASS 1
 TOPOGRAPHIC SURVEY ACCURACY CLASS T-3

• THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS: THE PURPOSE OF THE SURVEY IS TO DEPICT THE EXISTING PROPERTY LINES RELATIVE TO EXISTING IMPROVEMENTS ON AND IMMEDIATELY ADJACENT TO THE PROPERTY.



Lawrence R. Geissler, Jr.
 LAWRENCE R. GEISLER, JR., L.S.
 1905
 L.C. NO.

21 BEFREY DRIVE
 SOUTH WINDSOR, CT 06074
 860-294-9795 - T
 860-294-9797 - F
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Design Professionals
 CIVIL & TRAFFIC ENGINEERS / PLANNERS / SURVEYORS
 GIS ANALYSTS / LANDSCAPE ARCHITECTS

PREPARED FOR:
 John Typadis
 Oak Square
 Development II, LLC
 119 Braintrac Street,
 Suite 211
 Boston, MA 02134

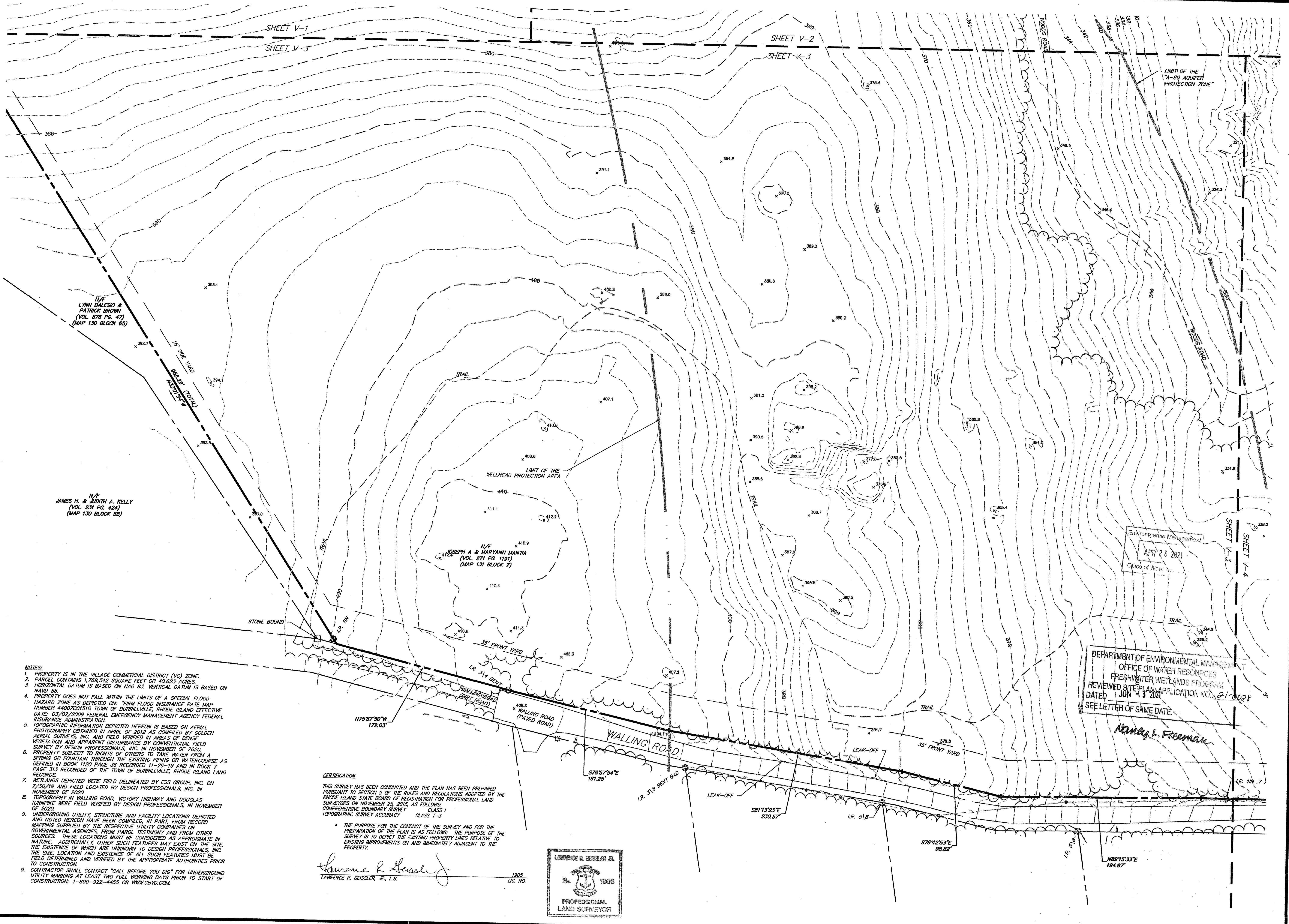
PROJECT NO. 21-0028
 DATE 11-5-20
 DRAWN BY MHA
 CHECKED BY LRG

**OAK SQUARE
 DEVELOPMENT II, LLC**
 WALLING ROAD, DOUGLAS TURNPIKE, &
 VICTORY HIGHWAY
 BURRILLVILLE, RHODE ISLAND

NO.	DATE	REVISIONS

COMPREHENSIVE
 BOUNDARY &
 TOPOGRAPHIC SURVEY

SHEET
V-2



- NOTES:**
- PROPERTY IS IN THE VILLAGE COMMERCIAL DISTRICT (VC) ZONE.
 - PARCEL CONTAINS 1,769,542 SQUARE FEET OR 40.023 ACRES.
 - HORIZONTAL DATUM IS BASED ON NAD 83. VERTICAL DATUM IS BASED ON NAVD 88.
 - PROPERTY DOES NOT FALL WITHIN THE LIMITS OF A SPECIAL FLOOD HAZARD ZONE AS DEPICTED ON: FIRM FLOOD INSURANCE RATE MAP NUMBER 4400700151G TOWN OF BURRILLVILLE, RHODE ISLAND EFFECTIVE DATE: 03/02/2009 FEDERAL EMERGENCY MANAGEMENT AGENCY FEDERAL INSURANCE ADMINISTRATION.
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CERTIFICATION

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 26, 2015, AS FOLLOWS:

COMPREHENSIVE BOUNDARY SURVEY CLASS 1 TOPOGRAPHIC SURVEY ACCURACY CLASS T-3

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS: THE PURPOSE OF THE SURVEY IS TO DEPICT THE EXISTING PROPERTY LINES RELATIVE TO EXISTING IMPROVEMENTS ON AND IMMEDIATELY ADJACENT TO THE PROPERTY.

Lawrence R. Gessler, Jr.
 LAWRENCE R. GESSLER, JR., L.S.
 1905
 LIC. NO.



DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 REVIEWED SITE PLAN APPLICATION NO. 210028
 DATED JUN 13 2021
 SEE LETTER OF SAME DATE.

Nancy L. Freeman

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Design Professionals
 CIVIL & TRAFFIC ENGINEERS / PLANNERS / SURVEYORS
 GIS ANALYSTS / LANDSCAPE ARCHITECTS

21 JERREY DRIVE
 SOUTH WINDSOR, CT 06074
 860-291-8795 - F
 860-291-8797 - T
 www.designprofessionals.com

PREPARED FOR:
OAK SQUARE PARTNERS
 Oak Square Partners
 119 Braintree Street,
 Suite 211
 Boston, MA 02134

PROJECT NO.:
 DATE: 11-15-20
 COUNTY: MA
 DRAWN BY: MHA
 CHECKED BY: LRC

OAK SQUARE DEVELOPMENT II, LLC
 WALLING ROAD, DOUGLAS TURNPIKE, & VICTORY HIGHWAY
 BURRILLVILLE, RHODE ISLAND

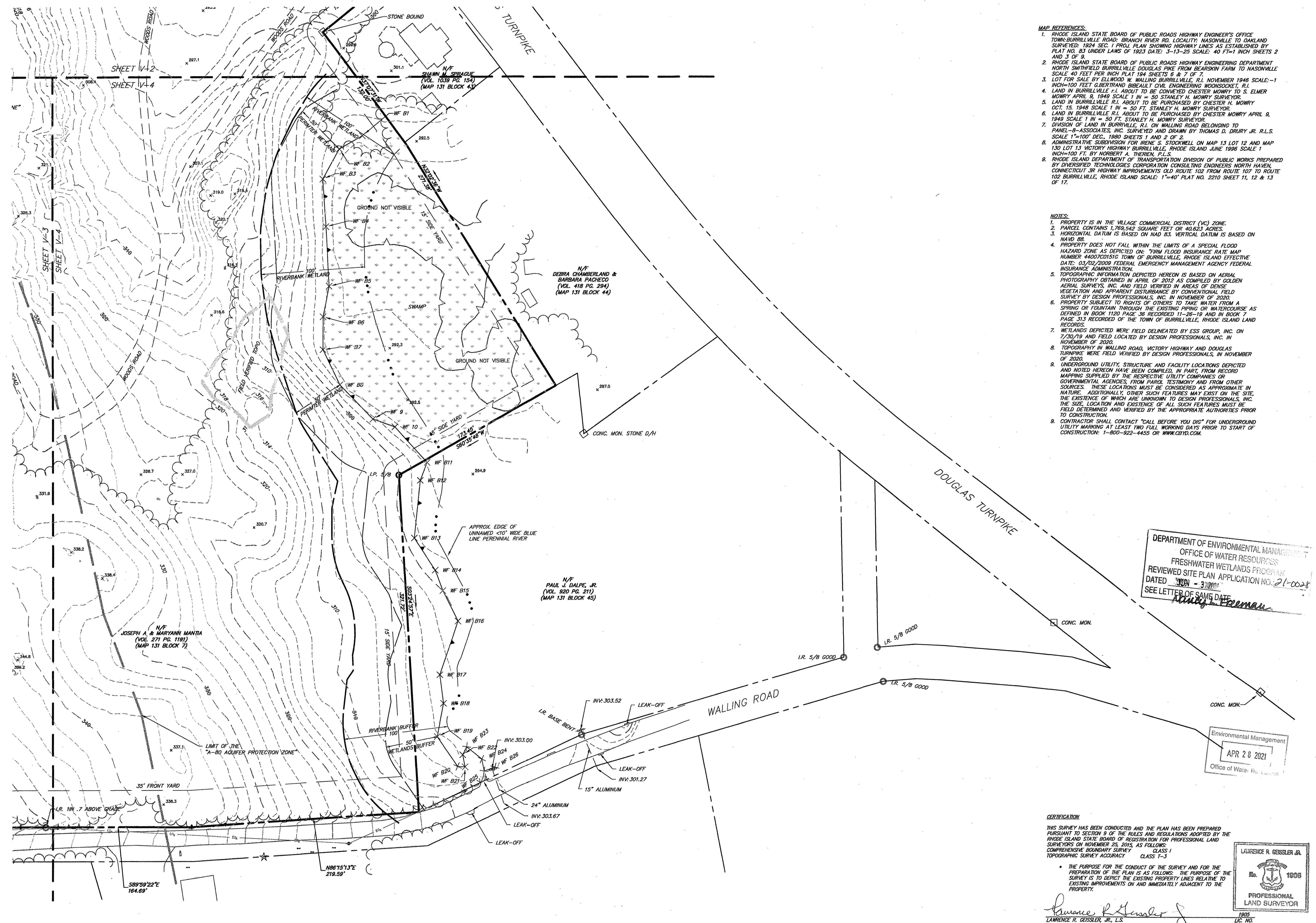
NO.	DATE	BY	REVISIONS

COMPREHENSIVE BOUNDARY & TOPOGRAPHIC SURVEY

SCALE: 1" = 40'

SHEET **V-3**

File: C:\jobs\4533\Survey\Drawings\4533_Survey_Bounding_Layout_V-4.dwg
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 Last Saved By: berrymans



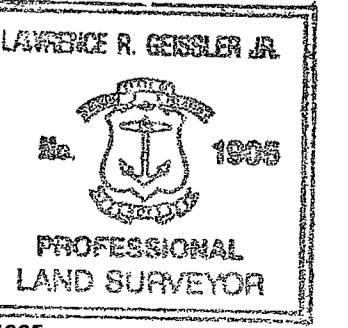
- MAP REFERENCES:**
- RHODE ISLAND STATE BOARD OF PUBLIC ROADS HIGHWAY ENGINEER'S OFFICE TOWN: BURRILLVILLE ROAD: BRANCH RIVER RD. LOCALITY: NASONVILLE TO OAKLAND SURVEYED: 1924 SEC. 1 PROJ. PLAN SHOWING HIGHWAY LINES AS ESTABLISHED BY PLAT NO. 83 UNDER LAWS OF 1923 DATE: 3-13-25 SCALE: 40 FT-1 INCH SHEETS 2 AND 3 OF 9
 - RHODE ISLAND STATE BOARD OF PUBLIC ROADS HIGHWAY ENGINEERING DEPARTMENT NORTH SMITHFIELD BURRILLVILLE DOUGLAS PIKE FROM BEARSKIN FARM TO NASONVILLE SCALE: 40 FEET PER INCH PLAT 194 SHEETS 6 & 7 OF 7
 - LOT FOR SALE BY ELLI WOOD IN WALLING BURRILLVILLE R.I. NOVEMBER 1946 SCALE: -1 INCH=100 FEET GIBERTRAND BIBEALUT CIVIL ENGINEERING WOODSOCKET, R.I.
 - LAND IN BURRILLVILLE R.I. ABOUT TO BE CONVEYED CHESTER MOWRY TO S. ELMER MOWRY APRIL 9, 1948 SCALE: 1 IN = 50 STANLEY H. MOWRY SURVEYOR
 - LAND IN BURRILLVILLE R.I. ABOUT TO BE PURCHASED BY CHESTER H. MOWRY OCT. 15, 1948 SCALE 1 IN = 50 FT. STANLEY H. MOWRY SURVEYOR
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 - DIVISION OF LAND IN BURRILLVILLE, R.I. ON WALLING ROAD BELONGING TO PANEL-B-ASSOCIATES, INC. SURVEYED AND DRAWN BY THOMAS D. DRURY JR. R.L.S. SCALE: 1"=100' DEC. 1980 SHEETS 1 AND 2 OF 2
 - ADMINISTRATIVE SUBDIVISION FOR IRENE S. STOCKWELL ON MAP 13 LOT 12 AND MAP 130 LOT 13 VICTORY HIGHWAY BURRILLVILLE, RHODE ISLAND JUNE 1996 SCALE 1 INCH=100 FT. BY NORBERT A. THIENEN, P.L.S.
 - RHODE ISLAND DEPARTMENT OF TRANSPORTATION DIVISION OF PUBLIC WORKS PREPARED BY DIVERSIFIED TECHNOLOGIES CORPORATION CONSULTING ENGINEERS NORTH HAVEN CONNECTICUT 3R HIGHWAY IMPROVEMENTS OLD ROUTE 102 FROM ROUTE 107 TO ROUTE 102 BURRILLVILLE, RHODE ISLAND SCALE: 1"=40' PLAT NO. 2210 SHEET 11, 12 & 13 OF 17.

- NOTES:**
- PROPERTY IS IN THE VILLAGE COMMERCIAL DISTRICT (VC) ZONE.
 - PARCEL CONTAINS 1,769,542 SQUARE FEET OR 40.237 ACRES.
 - HORIZONTAL DATUM IS BASED ON NAD 83. VERTICAL DATUM IS BASED ON NAVD 88.
 - PROPERTY DOES NOT FALL WITHIN THE LIMITS OF A SPECIAL FLOOD HAZARD ZONE AS DEPICTED ON: FIRM FLOOD INSURANCE RATE MAP NUMBER 44007C0151C TOWN OF BURRILLVILLE, RHODE ISLAND EFFECTIVE DATE: 03/02/2008 FEDERAL EMERGENCY MANAGEMENT AGENCY FEDERAL INSURANCE ADMINISTRATION.
 - TOPOGRAPHIC INFORMATION DEPICTED HEREON IS BASED ON AERIAL PHOTOGRAPHY OBTAINED IN APRIL OF 2012 AS COMPILED BY GOLDEN AERIAL SURVEYS, INC. AND FIELD VERIFIED IN AREAS OF DENSE VEGETATION AND APPARENTLY DISTURBED BY CONVENTIONAL FIELD SURVEY BY DESIGN PROFESSIONALS, INC. IN NOVEMBER OF 2020.
 - PROPERTY SUBJECT TO RIGHTS OF OTHERS TO TAKE WATER FROM A SPRING OR FOUNTAIN THROUGH THE EXISTING PIPING OR WATERCOURSE AS DEFINED IN BOOK 1120 PAGE 36 RECORDED 11-28-19 AND IN BOOK 7 PAGE 313 RECORDED OF THE TOWN OF BURRILLVILLE, RHODE ISLAND LAND RECORDS.
 - WETLANDS DEPICTED WERE FIELD DELINEATED BY ESS GROUP, INC. ON 7/30/19 AND FIELD LOCATED BY DESIGN PROFESSIONALS, INC. ON NOVEMBER OF 2020.
 - TOPOGRAPHY IN WALLING ROAD, VICTORY HIGHWAY AND DOUGLAS TURNPIKE WERE FIELD VERIFIED BY DESIGN PROFESSIONALS, IN NOVEMBER OF 2020.
 - UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROL TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO DESIGN PROFESSIONALS, INC. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION.
 - CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" FOR UNDERGROUND UTILITY MARKING AT LEAST TWO FULL WORKING DAYS PRIOR TO START OF CONSTRUCTION: 1-800-922-4455 OR WWW.CBYD.COM.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 REVIEWED SITE PLAN APPLICATION NO. 21-0028
 DATED 3/24/21
 SEE LETTER OF SAME DATE
 Kimberly Freeman

Environmental Management
 APR 28 2021
 Office of Water Resources

CERTIFICATION
 THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:
 COMPREHENSIVE BOUNDARY SURVEY CLASS 1
 TOPOGRAPHIC SURVEY ACCURACY CLASS T-3



Lawrence R. Geissler, Jr.
 LAWRENCE R. GEISSELER, JR., L.S.
 LIC. NO.

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design Professionals
 CIVIL & SURVEYING ENGINEERS / PLANNERS / SURVEYORS
 GIS ANALYSTS / LANDSCAPE ARCHITECTS

PREPARED FOR:
 John Typodis
 Oak Square Partners
 119 Brantree Street,
 Suite 211
 Boston, MA 02134

PROJECT NO.: 4533
 DATE: 11-5-20
 DRAWN BY: [blank]
 CHECKED BY: [blank]
 SCALE: AS SHOWN

OAK SQUARE PARTNERS
 DEVELOPMENT II, LLC
 WALLING ROAD, DOUGLAS TURNPIKE, &
 VICTORY HIGHWAY
 BURRILLVILLE, RHODE ISLAND

NO.	DATE	REVISIONS

COMPREHENSIVE BOUNDARY & TOPOGRAPHIC SURVEY

SCALE: 0 20' 40' 80'
 1" = 40'

SHEET
V-4