

REFERENCES:

1. THE RECORDED DEEDS FOR THE SUBJECT AND SURROUNDING LOTS.
2. SUBJECT PROPERTY LINES BASED UPON GLOCESTER RI GIS AND SUBJECT DEED.
3. THIS SITE LIES WITHIN THE SCITUATE RESERVOIR WATERSHED THUS IT IS LOCATED WITHIN A RIDEM CRITICAL RESOURCE AREA.
4. WETLAND FLAGGING PERFORMED BY NATURAL RESOURCE SERVICES INC.

NOTES:

1. VERTICAL DATUM IS NAVD 88.
2. EXISTING CONDITIONS GATHERED VIA ON-SITE SURVEY BY MILLSTONE ENGINEERING, P.C. IN JANUARY 2018, SUPPLEMENTED BY RECORD OWTS PLANS (SEE REF. 2).
3. UTILITIES SHOWN HAVE BEEN PROVIDED BASED UPON THE BEST AVAILABLE INFORMATION AND SHOULD BE CONSIDERED APPROXIMATE IN NATURE, THE CONTRACTOR SHALL VERIFY IN THE FIELD EXACT LOCATIONS PRIOR TO COMMENCING WITH THE WORK.
4. THIS SITE LIES WITHIN ZONE "X" - AREAS OF MINIMAL FLOOD HAZARD AS SHOWN ON THE NATIONAL FLOOD INSURANCE RATE MAP (FIRM), PROVIDENCE COUNTY, RHODE ISLAND, ALL JURISDICTIONS, PANEL 295, MAP NUMBER 44007C0260G, MAP REVISED MARCH 3, 2009.
5. THE SUBJECT HOME AND SEPTIC SYSTEM IS BEING PROPOSED ON A PROPERTY TO BE SUBDIVIDED AND CREATED.

ZONING: A-4

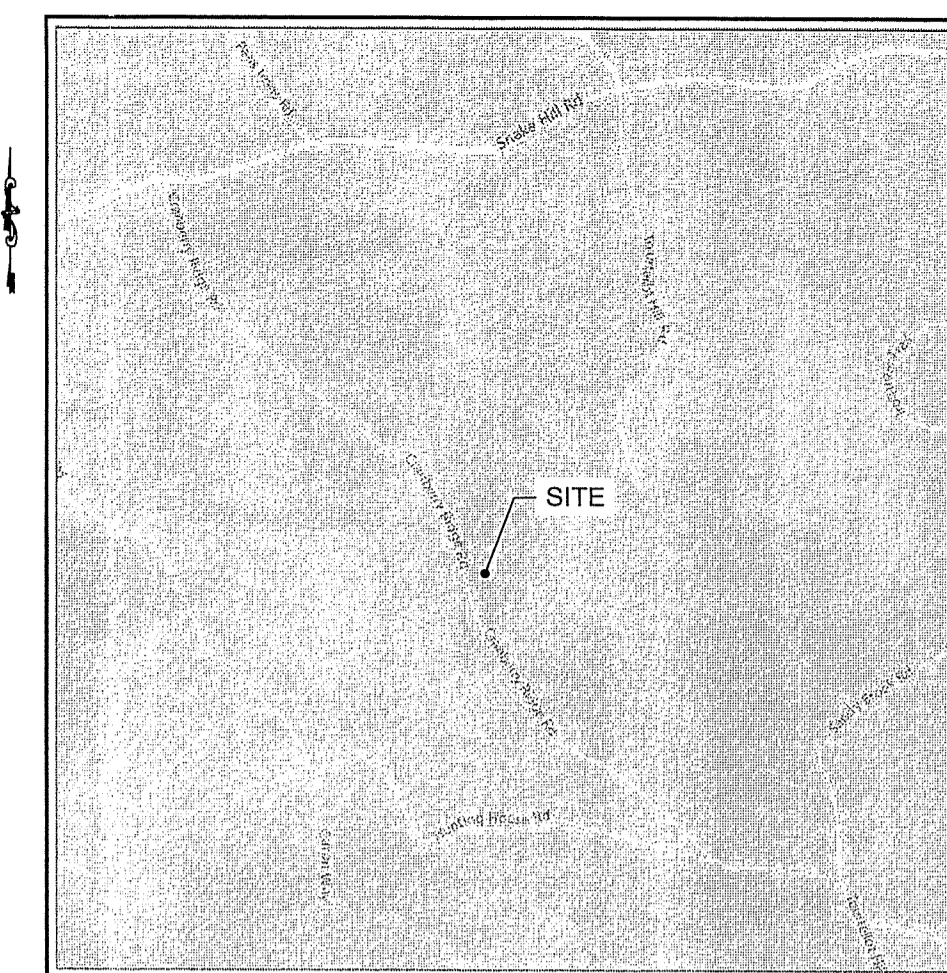
MIN. LOT AREA	4 ACRES
MIN. LOT FRONTAGE	350 FT
MIN. FRONT SETBACK	75 FT
MIN. SIDE SETBACK	50 FT
MIN. REAR SETBACK	100 FT
MAX. BUILDING COVERAGE	4 %
MAX. BUILDING HEIGHT	35 FT

O.W.T.S. DESIGN DATA

3 BEDROOM NEW CONSTRUCTION	
115 GALLONS/BEDROOM	= 345 GALLONS/DAY
SOIL CATEGORY	= 8
APPLICATION RATE	= 0.46 GAL/S.F./DAY
AREA REQUIRED	= 345 GPD / .46 G/SF/DAY = 750 S.F.
BOTTOM AREA PROVIDED PER IN-DRAIN UNIT	= 28 S.F. / INDRAIN
UNITS REQUIRED	= 750 S.F./28 S.F./UNIT = 26.8 UNITS
UNITS PROVIDED	= 27 UNITS
TOTAL AREA PROVIDED	= 756 S.F.

LEGEND

	SUBJECT PROPERTY LINE (PERIMETER)
	ABUTTING PROPERTY LINE
	EXISTING CONTOUR
	EXISTING TREE LINE
	EXISTING PATH
	EXISTING WETLAND EDGE
	EXISTING WETLAND FLAG
	EXISTING WETLAND BUFFER
	PROPOSED PROPERTY LINE
	PROPOSED CONTOUR
	PROPOSED DRIVE
	PROPOSED LIMIT OF DISTURBANCE (LOD) W/ SILT SOCK
	PROPOSED LIMIT OF DISTURBANCE ONLY



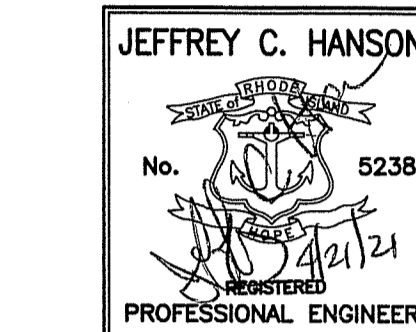
LOCATION MAP
NOT TO SCALE

INVERT SCHEDULE

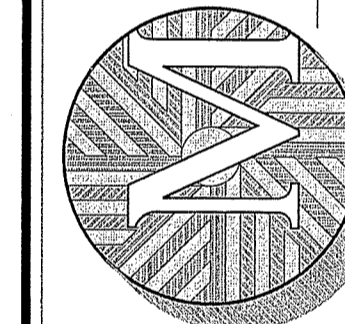
DESIGN POINT	EL. 472.0
DESIGN ELEVATION (SHWT)	EL. 470.0
TOP OF FOUNDATION	EL. 480.0
BLDG. SEWER AT FOUNDATION	EL. 476.1
SEPTIC TANK IN	EL. 475.5
SEPTIC TANK OUT	EL. 475.25
D-BOX IN	EL. 473.92
D-BOX OUT	EL. 473.75
ELIEN INVERT	EL. 473.58
ELIEN BOTTOM	EL. 473.0
BOTTOM OF SAND	EL. 472.5

OWNERS:

AP 15, LOT 21
KENNETH LANTINI
248 CRANBERRY RIDGE RD
PO BOX 779
NORTH SCITUATE, RI 02857



MILLSTONE ENGINEERING, P.C.
CIVIL ENGINEERING - LAND PLANNING
790 Aquidneck Avenue, Building B
Warwick, Rhode Island 02886
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ON-SITE WASTEWATER TREATMENT SYSTEM (OWTS) DESIGN - NEW CONSTRUCTION -

3 BEDROOM DWELLING

A.P. 15, LOT 21, SUB. LOT A
CRANBERRY RIDGE RD
GLOCESTER, RI

PREPARED FOR:
ALEXANDER DICHARO

SCALE: AS NOTED
FEBRUARY 2021

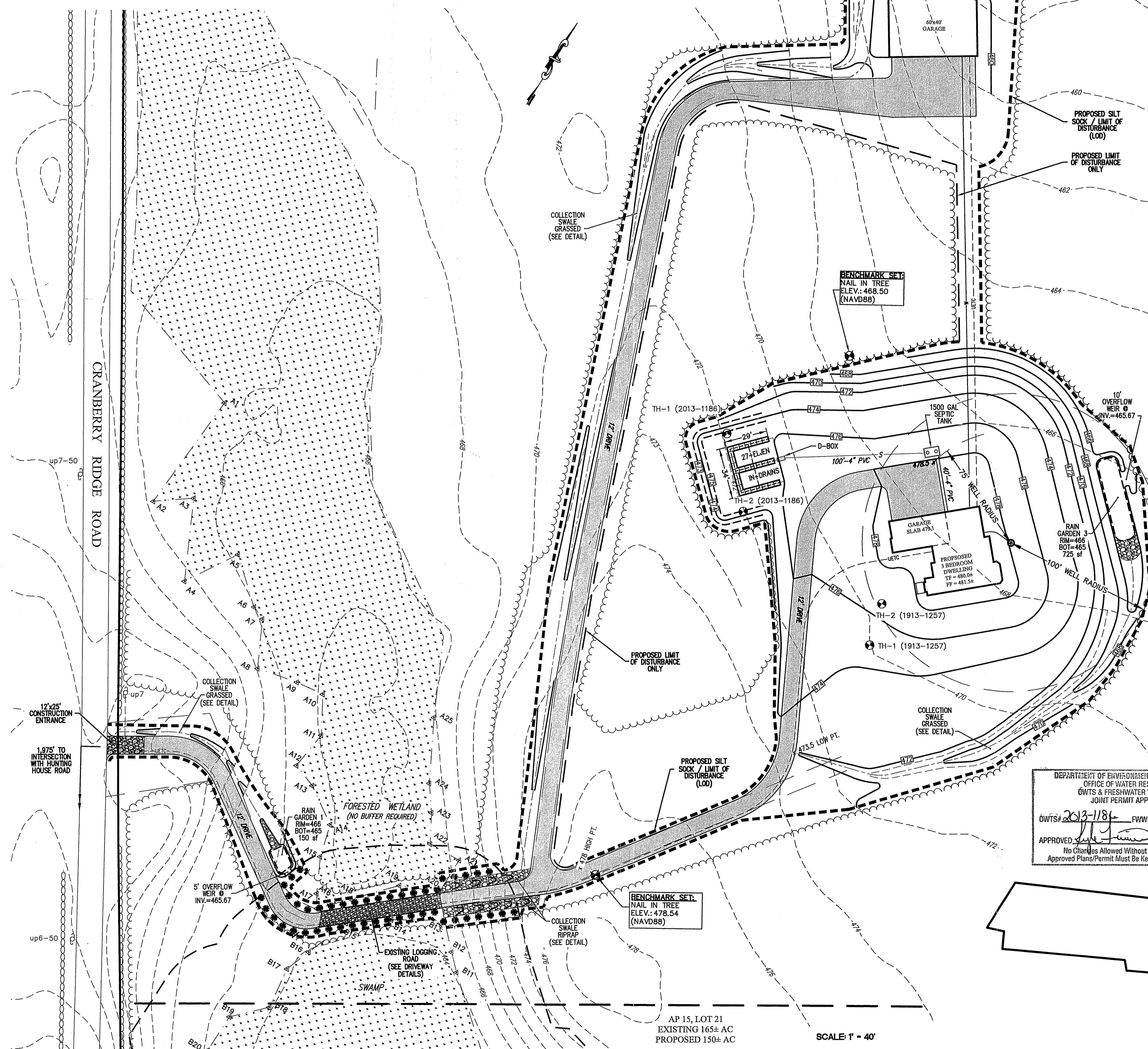
Drawn By: MJV

Checked By: JCH

Sheet

1
of 2

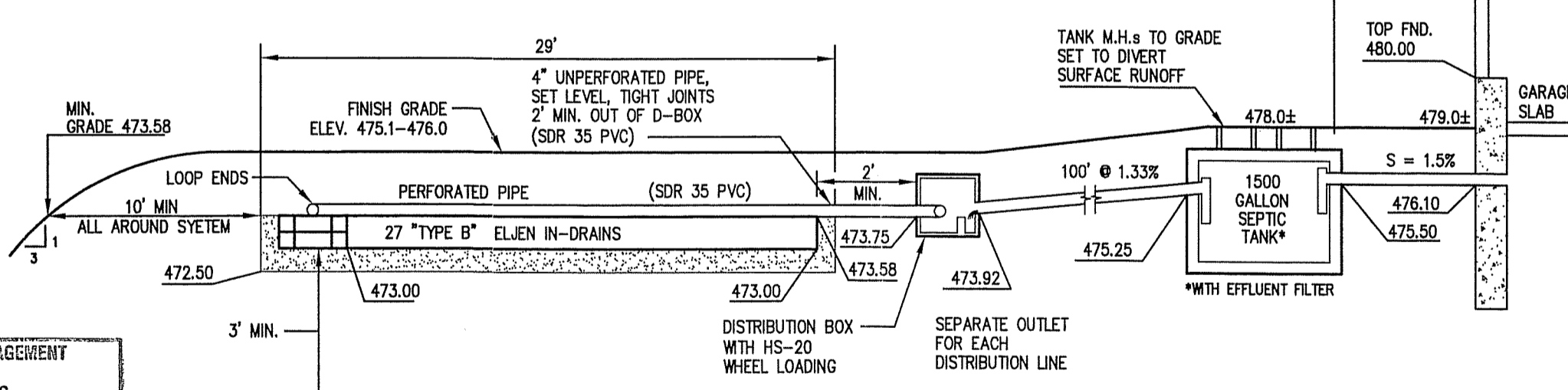
FILE NO.: 19.361.529



GROUND WATER VERIFICATION NO. 2013-1186 SUBDIVISION IDENTIFICATION NO. N/A

ON-SITE WASTEWATER TREATMENT SYSTEM NOTES:

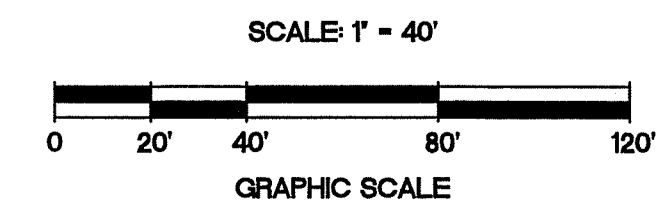
1. ALL OTHER DESIGN, CONSTRUCTION AND MAINTENANCE REQUIREMENTS, WHETHER NOTED HEREON, OR NOT, SHALL BE IN CONFORMANCE WITH RULES ESTABLISHING MINIMUM STANDARDS RELATING TO LOCATION, DESIGN, CONSTRUCTION AND MAINTENANCE OF ON-SITE WASTEWATER TREATMENT SYSTEMS, NOVEMBER 25, 2018, BY THE R.I. DEPARTMENT OF ENVIRONMENTAL MANAGEMENT, AUTHORITY: CHAPTER 42-35 PURSUANT TO CHAPTERS 42-17.1, 5-56, 5-56.1, 23-19.5 AND 23-24.3 OF THE RHODE ISLAND GENERAL LAWS OF 1956 AS AMENDED. (OWTS REGULATIONS)
2. COMPLY WITH ANY ADDITIONAL TERMS OF APPROVAL AS MAY BE REQUIRED BY R.I.D.E.M.
3. MAINTAIN INVERT ELEVATION 473.58 FOR 10 FEET AROUND THE SYSTEM.
4. CLEAR ALL TREES, STUMPS, AND BRUSH WITHIN 10 FEET OF THE SYSTEM.
5. THERE SHALL BE NO SUBSURFACE, FOUNDATION, OR STORM DRAINS WITHIN 25 FEET OF THE PROPOSED SYSTEM.
6. ALL PIPE SHALL BE SCHEDULE SDR 35 OR EQUIVALENT, 4 INCH DIAMETER UNLESS OTHERWISE NOTED.
7. ALL NON-PRESSURIZED PIPE SHALL BE SDR 35 OR EQUAL 4 INCH DIAMETER PVC UNLESS OTHERWISE NOTED AND ALL PRESSURIZED PIPE SHALL BE 1.25" DIAMETER SCHEDULE 40 PVC UNLESS OTHERWISE NOTED.
8. THE SOIL BETWEEN THE DISPERSAL TRENCHES SHALL REMAIN UNDISTURBED. THE TRENCH SHALL BE EXCAVATED TO ELEVATION 469.30
9. THERE ARE NO OTHER KNOWN PUBLIC WELLS, EXISTING OR PROPOSED, WITHIN 500 FEET OF THE PROPOSED SYSTEM, OTHER THAN THOSE SHOWN.
10. THERE ARE NO OTHER KNOWN WELLS, EXISTING OR PROPOSED, WITHIN 200 FEET OF THE PROPOSED O.W.T.S. NOR ARE THERE ANY OTHER O.W.T.S.'S, EXISTING OR PROPOSED, WITHIN 100 FEET OF THE PROPOSED WELL, EXCEPT AS NOTED.
11. THE SEPTIC TANK SHALL HAVE AN INLET TEE OR BAFFLE AND AN OUTLET TEE.
12. THE DISTRIBUTION BOX SHALL HAVE A MINIMUM BOTTOM AREA OF 3 SQUARE FEET.
13. THE SURFACE AREA OVER THE O.W.T.S. SHALL BE GRASSED; NO VEHICULAR PARKING OR TRAFFIC SHALL BE ALLOWED OVER THE SYSTEM.
14. THE PROPERTY IS WITHIN THE SCITUATE RESERVOIR WATERSHED.



DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
OWTS & FRESHWATER WETLANDS
JOINT PERMIT APPROVAL
OWTS# 2013-1186 FWM# 21-0033
APPROVED: [Signature] DATE: 5/17/21
No Changes Allowed Without RIDEM Approval
Approved Plans/Permit Must Be Kept at Construction Site

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SITE PLAN
SCALE: 1"=40'



KEY PLAN
SCALE: 1"=500'

