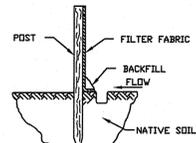
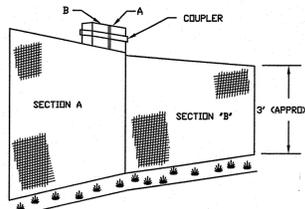
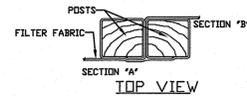


TOE-IN METHOD "A"



TOE-IN METHOD "B"

TOE IN METHODS



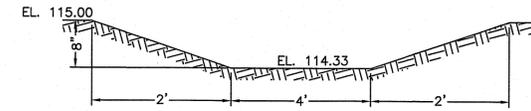
JOINING SECTIONS OF SILT FENCE

SILT FENCE DETAIL

NOT TO SCALE

RI STORMWATER MANAGEMENT GUIDANCE FOR INDIVIDUAL SINGLE FAMILY RESIDENTIAL LOT DEVELOPMENT

- STEP 1: NEW ROOFTOP & DRIVEWAY AREAS - DWELLING=1260 SF, DRIVEWAY=6618 SF
- STEP 2: LOCATION OF CONTROLS - SANDS AND LOAMY SANDS, 8' WT AS PER OWTS APPROVED PLAN
- STEP 3: STORMWATER CONTROL - VEGETATED SWALE FOR ROOF, POROUS GRAVEL & SHELL FOR DRIVEWAY
- STEP 4: SIZE OF CONTROL, WQ - VEGETATED SWALE FOR DWELLING 96 SF REQUIRED & 100 SF PROVIDED
- STEP 5: SITE PLAN - INCLUDED



VEGETATED SWALE
NOT TO SCALE

GENERAL MAINTENANCE REQUIREMENTS FOR VEGETATED SWALE:

- 1) SWALE SHOULD BE MOWED AT LEAST ONCE PER GROWING SEASON TO PREVENT ESTABLISHMENT OF WOODY GROWTH AND OTHER UNDESIRABLE PLANTS TO INHIBIT PROPER PERFORMANCE. GRASS VEGETATION SHOULD NOT BE CUT SHORTER THAN 4 INCHES.
- 2) BARE SPOTS AND ERODED AREAS WITHIN THE SWALE MUST BE RESEEDDED IMMEDIATELY FOLLOWING OBSERVATIONS TO PREVENT SUBSEQUENT FAILURE OF THE SYSTEM.
- 3) SWALE SHOULD BE INSPECTED ON A SEMI-ANNUAL BASIS. ALL TRASH AND OTHER LITTER MUST BE REMOVED DURING INSPECTIONS.
- 4) SEDIMENTS SHOULD BE REMOVED AT LEAST ONCE PER YEAR OR MORE FREQUENTLY IF SEDIMENTS ARE OVER TOPPING CHECK-DAMS. ACCUMULATED SEDIMENTS MUST BE REMOVED MANUALLY TO PREVENT DAMAGE TO THE SWALE. RESEEDING MAY BE NECESSARY AFTER SEDIMENT REMOVAL OPERATIONS, ESPECIALLY IF EXCESSIVE DAMAGE IS DONE TO VEGETATION.

GENERAL NOTES

1. ALL CHANGES TO THIS PLAN MUST BE APPROVED BY THE RI DEM, TOWN OF LITTLE COMPTON, AND/OR MOUNT HOPE ENGINEERING.
2. ALL WORK AND MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE STATE ENVIRONMENTAL CODE AND ANY APPLICABLE LOCAL RULES AND REGULATIONS.
3. ANY CONDITIONS ENCOUNTERED DURING CONSTRUCTION DIFFERING FROM THOSE SHOWN HEREON SHALL BE REPORTED TO MOUNT HOPE ENGINEERING, BEFORE CONSTRUCTION CONTINUES.
4. ALL ELEVATIONS BASED ON ASSUMED DATUM.
5. PROPOSED DRIVE TO SERVE AS CONSTRUCTION ACCESS ROAD DURING ALL CONSTRUCTION. COMPACTED GRAVEL BASE OF 1 1/2"-2" STONE SHALL BE SET PRIOR TO ALL OTHER CONSTRUCTION. UPON COMPLETION OF ALL SITE WORK, ACCESS ROAD SHALL BE FINISHED AS PER OWNER.
6. ALL LOAM SHALL BE STOCKPILED SEPARATELY AND SHALL BE REUSED TO THE EXTENT POSSIBLE AS DIRECTED BY THE OWNER.
7. STOCKPILE AREA OF APPROXIMATELY 200 CY SHALL BE REUSED AS NECESSARY AND TO THE EXTENT POSSIBLE. ALL EXCESS MATERIALS GREATER THAN 400 CY SHALL BE HAULED OFF SITE FOR PROPER DISPOSAL.
8. PROPERTY LINE, TOPOGRAPHY & SITE INFORMATION TAKEN FROM PLAN TITLED "TOPOGRAPHICAL SURVEY FOR RICHARD CHARTIER", DRAWN BY BARKER LAND SURVEYING, INC., DATED NOVEMBER 6, 2014. PROPOSED HOUSE LOCATION TO BE APPROVED BY LOCAL AUTHORITIES AS NECESSARY PRIOR TO CONSTRUCTION.

LEGEND

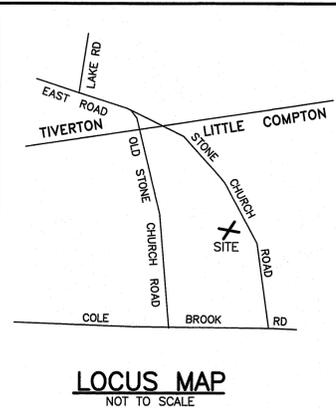
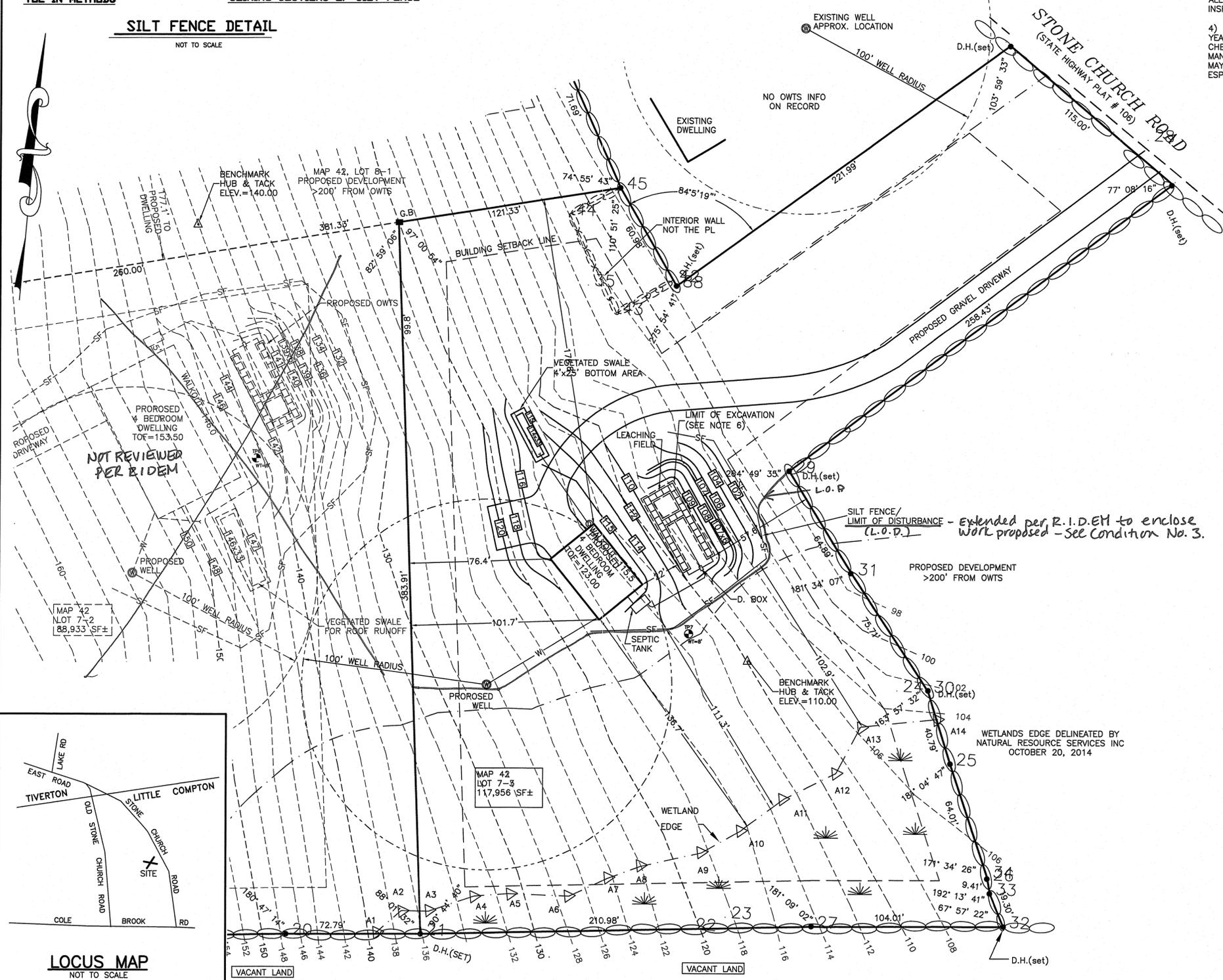
---	56	EXISTING CONTOURS
---	56	PROPOSED CONTOURS
---	P	DRAIN LINE
---	W	WATER LINE
---	SF	SILT FENCE
---		TEST PIT
---	56x5	EXISTING SPOT GRADE
---	56x3	PROPOSED SPOT GRADE
---	△	WETLANDS FLAG
---	⊙	DOWNSPOUT

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
REVIEWED SITE PLAN APPLICATION NO.: 21-0038
DATED 3/15/2021
SEE LETTER OF SAME DATE.
Andy L. Freeman

REVISED 2-4-21 PER DEM WETLANDS COMMENTS

SITE PLAN FOR WETLANDS APPLICATION

PREPARED FOR: CHARTIER DEVELOPMENT, LLC 9 HIGH MEADOW ROAD LITTLE COMPTON, RI 02837	SCALE: 1" = 30' DATE: 09/01/15
OWNED BY: LC INVESTMENT PROPERTIES, LLC	DRAWN: AB
LOCATION: MAP 42, LOT 7-1, SUB. LOT 7-3 STONE CHURCH ROAD, LITTLE COMPTON	DESIGN: TC
	CHECKED: TC
TODD CHAPLIN REGISTERED PROFESSIONAL ENGINEER	PROJECT NO. 15-113
Mount Hope ENGINEERING CIVIL/ENVIRONMENTAL SERVICES Post Office Box 943 Portsmouth, Rhode Island 02871 (401) 683-1934/(508) 379-1234	SHEET NO. 1 OF 1



LOCUS MAP
NOT TO SCALE