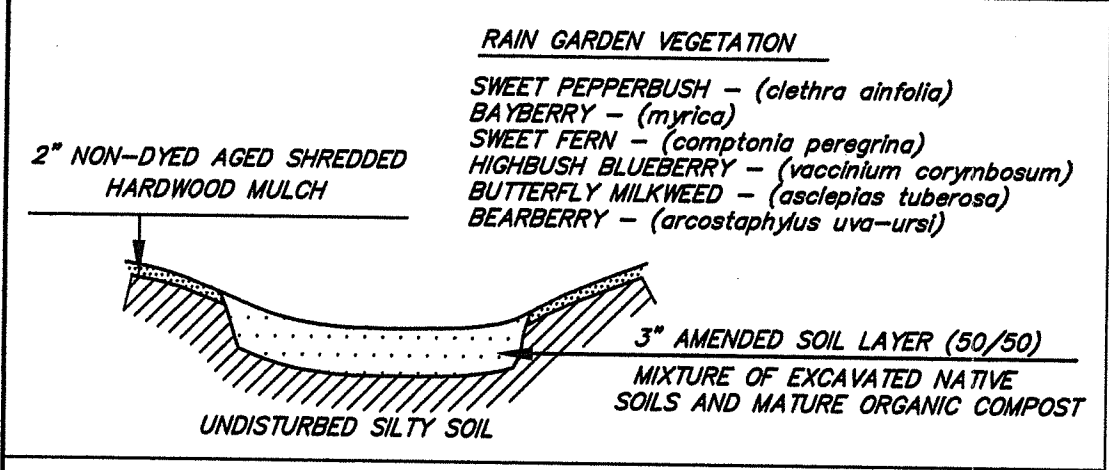


LOCATION PLAN (NTS)



ZONING ORDINANCE SECTION 7.7 CERTIFICATION

"THIS PLAN AND THE ACCOMPANYING CALCULATIONS FOR THE PROPOSED STORMWATER MANAGEMENT WAS PREPARED IN ACCORDANCE WITH THE PROVISIONS OF THE TOWN OF NARRAGANSETT ZONING ORDINANCE SECTION 7.7 "SUPPLEMENTARY DRAINAGE REQUIREMENTS" AND WAS DESIGNED TO CONFORM TO THE PROVISIONS THEREOF. I UNDERSTAND THAT THE TOWN OF NARRAGANSETT DOES NOT ASSUME LIABILITY FOR STORMWATER MANAGEMENT FACILITIES DESIGNED BY OTHERS."

BY: *James G. Flynn*
 JAMES G. FLYNN P.L.S. NO. 1904
 (SEE DRAINAGE CALCULATIONS BY OTHERS)

LEGEND

- A.P. ASSESSORS PLAT
- N/F NOW OR FORMERLY
- G.B. GRANITE BOUND FOUND
- MG MAG NAIL
- IP IRON PIPE FOUND
- I.R. IRON ROD TO BE SET
- DH DRILL HOLE FOUND
- FND FOUND
- ⊕ UTILITY POLE
- ⊙ SEWER MAN-HOLE
- 25 - - - EXISTING CONTOUR
- 25 ——— PROPOSED CONTOUR
- 25X2 ELEVATION SPOT SHOT
- RL— 4" PVC ROOF LEADERS
- ☼ WATER SERVICE
- ☼ SEWER LATERAL PER TIES
- ☼ SEWER CLEAN-OUT PER TIES
- x — x EROSION CONTROL (SEE NOTE 2)

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED MAR 31 2021 FILE # 21-0039
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Edward Szpila

Billy L. Freeman

GENERAL NOTES:

- 1.) SITE LIES IN ZONE "X" PER FEMA FLOOD INSURANCE MAP COMMUNITY PANEL # 44009 C 0213 J DATED: 10/16/2013
- 2.) FILTRATION SOCK AND OR SILT FENCE SHALL BE INSTALLED AT ALL DOWN GRADIENT LIMITS OF DISTURBANCE PRIOR TO EARTH DISTURBING ACTIVITIES AND SHALL BE MAINTAINED UNTIL ALL DISTURBED AREAS ARE PERMANENTLY STABILIZED.
- 3.) ALL WORK SHALL CONFORM TO ALL LOCAL AND STATE PERMITS AND REGULATIONS.
- 4.) ALL PERMANENTLY DISTURBED AREAS SHALL BE STABILIZED WITH 4" LOAM AND SEED OR SOD.
- 5.) SITE IS SERVICED BY MUNICIPAL SEWER AND WATER.
- 6.) PROPERTY LINES, PROP. HOUSE AND LIMITS OF WORK SHALL BE ACCURATELY LOCATED AND SURVEY STAKED PRIOR TO COMMENCEMENT OF ANY WORK
- 7.) ALL UTILITIES SHOWN FROM BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY ALL INFORMATION WITH THE APPROPRIATE UTILITY AUTHORITY AND DIG-SAFE PRIOR TO ANY CONSTRUCTION OR EXCAVATION.

ZONING: R-10 (10,000 S.F.)

EXISTING LOT COVERAGE NOTE:

HOUSE	1,064 SQ. FT.
CONC. PATIO INCLUDING DECK	403 SQ. FT.
CONC. STAIRS AND CHIMNEY	56 SQ. FT.
EXISTING TOTAL = 1,778 SQ. FT.	
1,523 SQ. FT. / 23,994 SQ. FT. = 6.3% LOT COVERAGE	

EXISTING BUILDING COVERAGE NOTE:

1,778 SQ. FT.

MINIMUM LOT FRONTAGE - 100'
 YARDS: FRONT - 25'
 SIDE - 10'
 REAR - 20'
 MAXIMUM LOT COVERAGE - 25%

PROPOSED LOT COVERAGE NOTE:

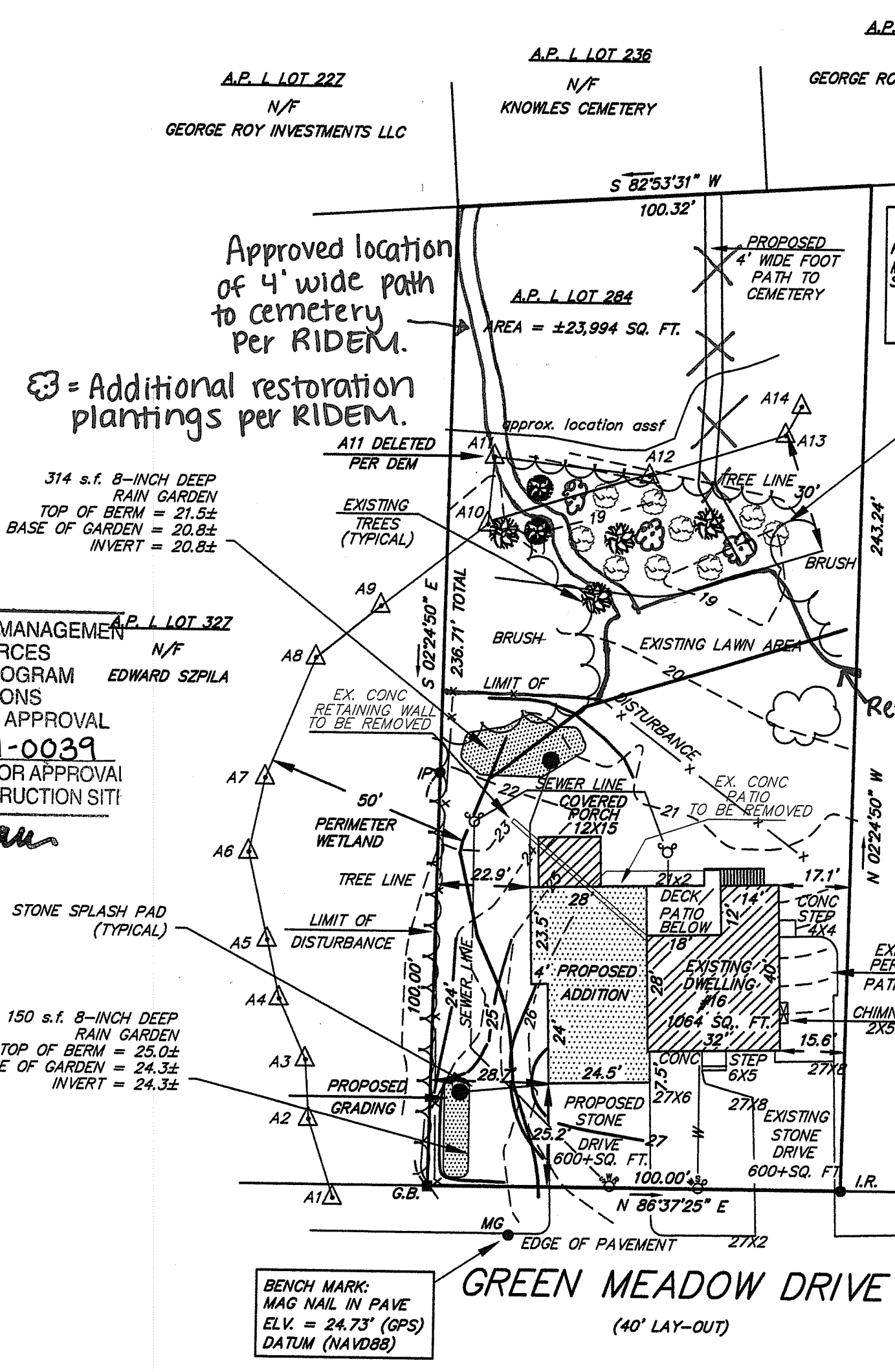
EXISTING DWELLING	1,064 SQ. FT.
PROPOSED ADDITION	1,238 SQ. FT.
PROPOSED COVERED PORCH	180 SQ. FT.
CONC. STAIRS AND CHIMNEY	56 SQ. FT.
EXISTING DECK	216 SQ. FT.
DECK/ STAIRS EXTENSION	60 SQ. FT.
EXISTING TOTAL = 2,814 SQ. FT.	
2,814 SQ. FT. / 23,994 SQ. FT. = 11.7% LOT COVERAGE	
AREA = ±23,994 SQ. FT.	
15% DECK OVERAGE ALLOWED OF DWELLING = 159 SQ. FT.	
2,814 SQ. FT. - 159 SQ. FT. = 2,655 SQ. FT.	
2,655 SQ. FT. / 23,994 SQ. FT. = 11.1% LOT COVERAGE NET TOTAL	

PROPOSED BUILDING COVERAGE NOTE:

2,538 SQ. FT.

NARRAGANSETT NOTES:

- 1.) SITE LIES IN HIGH WATER TABLE AREA PER NARRAGANSETT GIS
- 2.) THE SITE LIES IN NARRAGANSETT COASTAL AND FRESHWATER WETLANDS OVERLAY DISTRICT AND REGULATIONS.



Approved location of 4' wide path to cemetery per RIDEM.
 ☼ = Additional restoration plantings per RIDEM.

314 s.f. 8-INCH DEEP RAIN GARDEN
 TOP OF BERM = 21.5±
 BASE OF GARDEN = 20.8±
 INVERT = 20.8±

150 s.f. 8-INCH DEEP RAIN GARDEN
 TOP OF BERM = 25.0±
 BASE OF GARDEN = 24.3±
 INVERT = 24.3±

WETLANDS RESTORATION
 30' RESTORATION AREA FROM FLAGS A11 - A13
 PROPOSED SHRUBS PLANTED 8' ON CENTER MINIMUM 2-3 TALL AND MUST INCLUDE AN EQUAL DISTRIBUTION OF TWO (2) OF THE FOLLOWING SELECTIONS: HIGHBUSH BLUEBERRY, VACCINIUM CORYMBOSUM, ARROWWOOD VIBURNUM, VIBURNUM DENTATUM, SWEET PEPPERBUSH, CLETHRA ALNIFOLIA, AMERICAN PUSSY WILDE, SALIX DISCOLOR

PROPOSED PLANTINGS PER DEM WETLANDS (TYPICAL)

STATEMENT OF PURPOSE:
 THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND THE PREPARATION OF THE PLAN IS AS FOLLOWS:
 PROPOSED CONSTRUCTION
 BY: *James G. Flynn* SIGN
 JAMES G. FLYNN PRINT
 COA NO. A 288

Revised Limit of Disturbance per R.I.D.E.M.

A.P. L. LOT 283
 N/F
 JANE CHANDLEY

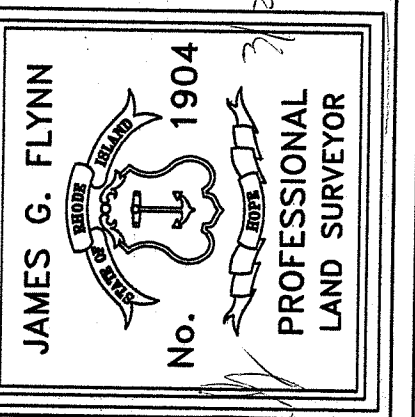
DRIVEWAY NOTE:
 CRUSHED STONE USED MUST BE 3/4 INCH TO 1 1/2 INCH DIAMETER, WASHED, ANGULAR CRUSHED STONE INSTALLED TO A MINIMUM DEPTH OF 3 INCHES. THE GRADE OF THE FINISHED DRIVEWAY SHALL NOT BE HIGHER THAN THE ADJACENT GROUND ELEVATION

PREPARED FOR:

PAUL AND LINDA ALMBERG
 16 GREEN MEADOW DRIVE
 NARRAGANSETT, R.I. 02882

FLYNN SURVEYS INC.

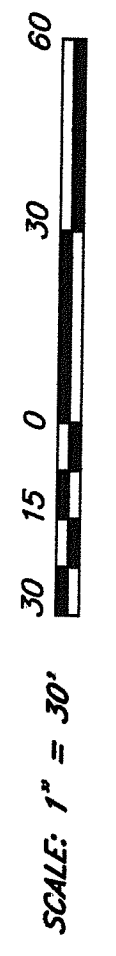
22 STANTON AVENUE
 NARRAGANSETT, R.I. 02882
 401-783-6290



CERTIFICATION
 THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO 435-RICR-00-00 - 01 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON APRIL 18, 2018, AS FOLLOWS:
 COMPREHENSIVE BOUNDARY SURVEY CLASS 1
 TOPOGRAPHIC SURVEY ACCURACY 1-2
 VERTICAL ACCURACY STANDARD 1-2
 BY: *James G. Flynn*
 JAMES G. FLYNN P.L.S. NO. 1904

SURVEY PLAN SHOWING
 PROPOSED CONSTRUCTION
 ASSESSOR'S MAP L LOT 284
 16 GREEN MEADOW DRIVE
 NARRAGANSETT, RHODE ISLAND

JOB NO. 1558
 DRAWING NO. 1558-P



REVISIONS:
 3/12/2021
 3/21/2021