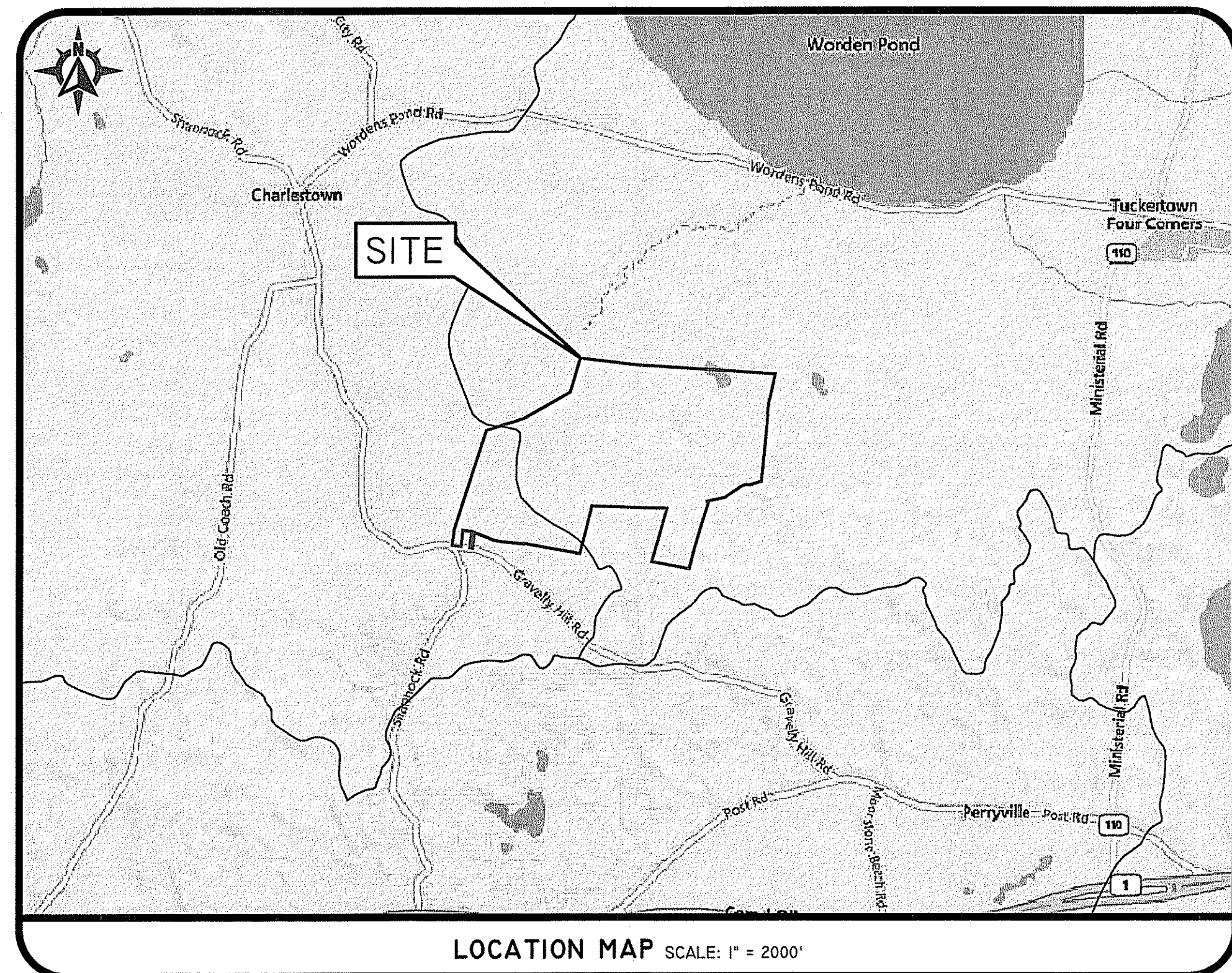


RIDEM PERMIT MODIFICATION

PROPOSED PUBLIC GOLF COURSE

LOCATED ON SOUTH SHORE VILLAGE BOULEVARD
SOUTH KINGSTOWN, RHODE ISLAND

ASSESSOR'S PLAT 65 LOT 3



SHEET LIST TABLE

- 1 COVER SHEET
- 2 AERIAL HALF-MILE RADIUS & USGS MAP
- 3 OVERALL PLAN
- 4 EXISTING ANALYSIS PLAN
- 5 SOIL EROSION & SEDIMENT CONTROL PLAN
- 6 SITE LAYOUT PLAN
- 7 PERVIOUS PAVEMENT SECTION A
- 8 PERVIOUS PAVEMENT SECTIONS B & C
- 9 DETAIL SHEET
- 10 LANDSCAPE PLAN

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS AS
SPECIFIED IN THE LETTER OF APPROVAL
DATED: FEB 28 2024 FILE #: 21-0063
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Martin D. Wenczek

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM

NOTE PER DEM:

Kindly be advised that this Permit
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verification of the type or extent
of freshwater wetlands on site

RI Environmental Management
FEB 23 2024
Office of Water Resources

DiPrete Engineering

Two Stafford Court Cranston, RI 02920
tel 401-943-1000 fax 401-944-6006 www.diprete-eng.com

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CHRISTOPHER A. DUHAMEL
REGISTERED PROFESSIONAL ENGINEER
CIVIL

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NO.	DATE	DESCRIPTION	BY:	DESIGN BY: C.A.D.
1	02-23-2024	RIGHT RESPONSE TO COMMENTS	S.P.N.	
2	01-06-2024	RIGHT RESPONSE TO COMMENTS	L.V.P.	
3	01-18-2024	FINAL REVIEW	J.A.R.	
4	02-23-2024	FINAL REVIEW	J.A.R.	
5	02-23-2024	FINAL REVIEW	J.A.R.	
6	02-23-2024	FINAL REVIEW	J.A.R.	
7	02-23-2024	FINAL REVIEW	J.A.R.	
8	02-23-2024	FINAL REVIEW	J.A.R.	
9	02-23-2024	FINAL REVIEW	J.A.R.	
10	02-23-2024	FINAL REVIEW	J.A.R.	

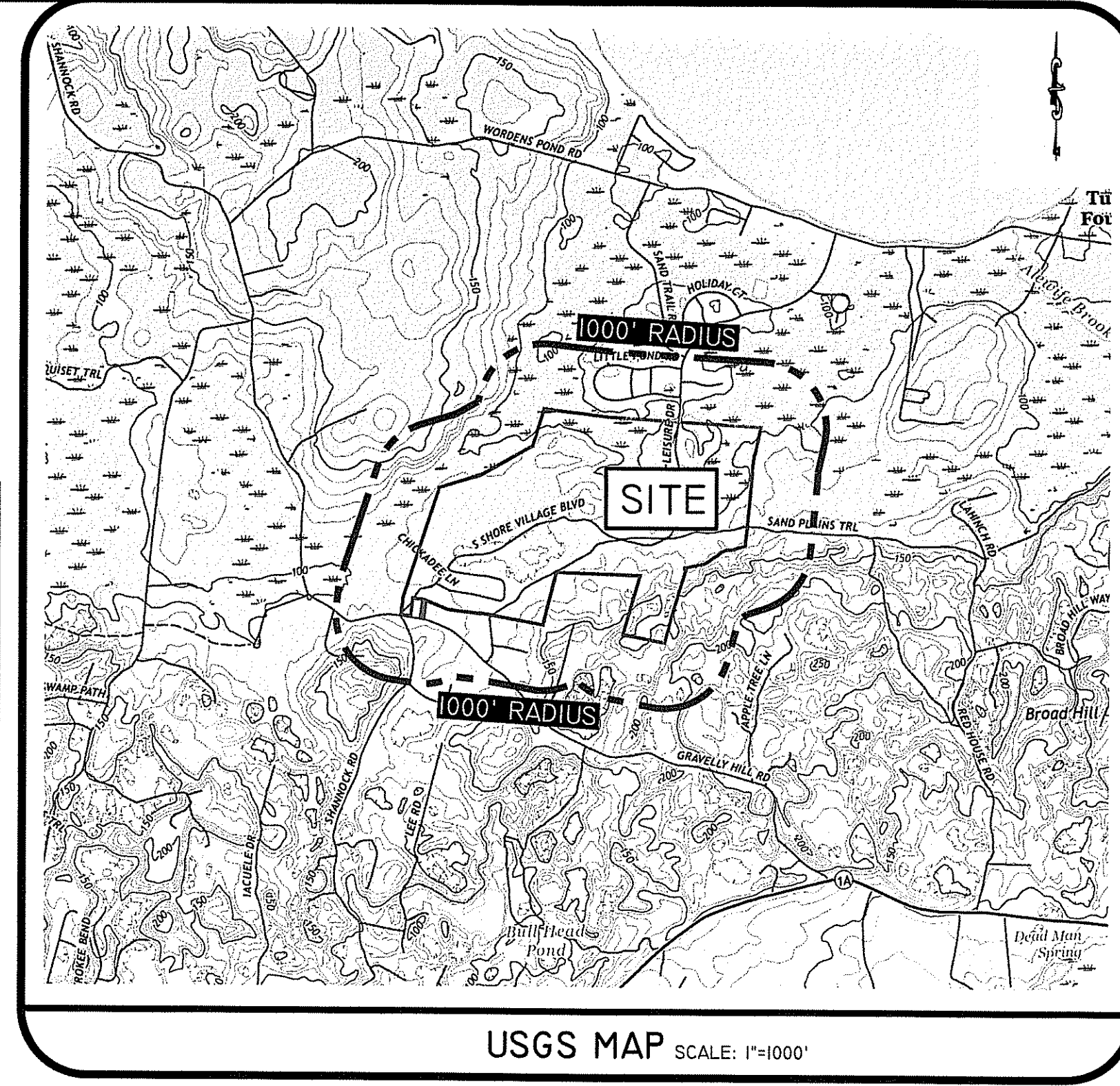
Cover Sheet
PROPOSED PUBLIC GOLF COURSE
SOUTH SHORE VILLAGE
ASSESSOR'S PLAT 65 LOT 3
SOUTH KINGSTOWN, RHODE ISLAND
PREPARED FOR:
ENVYNE, LLC
497 WEST BEACH ROAD
CHARLESTOWN, RHODE ISLAND 02815, TEL (401) 743-7203

Z:\DEMAN\PROJECTS\1677-004_SSECAUTOCAD DRAWINGS\1677-004-CVAR - ZINW_SHP_2023.DWG PLOTTER: Z122/2024

Z:\DEM\PROJECTS\097-004-SSCA\AUTOCAD DRAWINGS\097-004-CVAR - ZRNG SUP 2023.DWG PLOTTER: 2/22/2024



PHOTO OBTAINED FROM NEARMAP.
DATE OF PHOTOGRAPHY 09-22-2022.
SCALE: 1"=500'



USGS MAP SCALE: 1"=1000'

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Office of Water Resources

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS AS
SPECIFIED IN THE LETTER OF APPROVAL
DATED: FEB 28 2024 FILE #: 21-00163
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Martin D. Worswick

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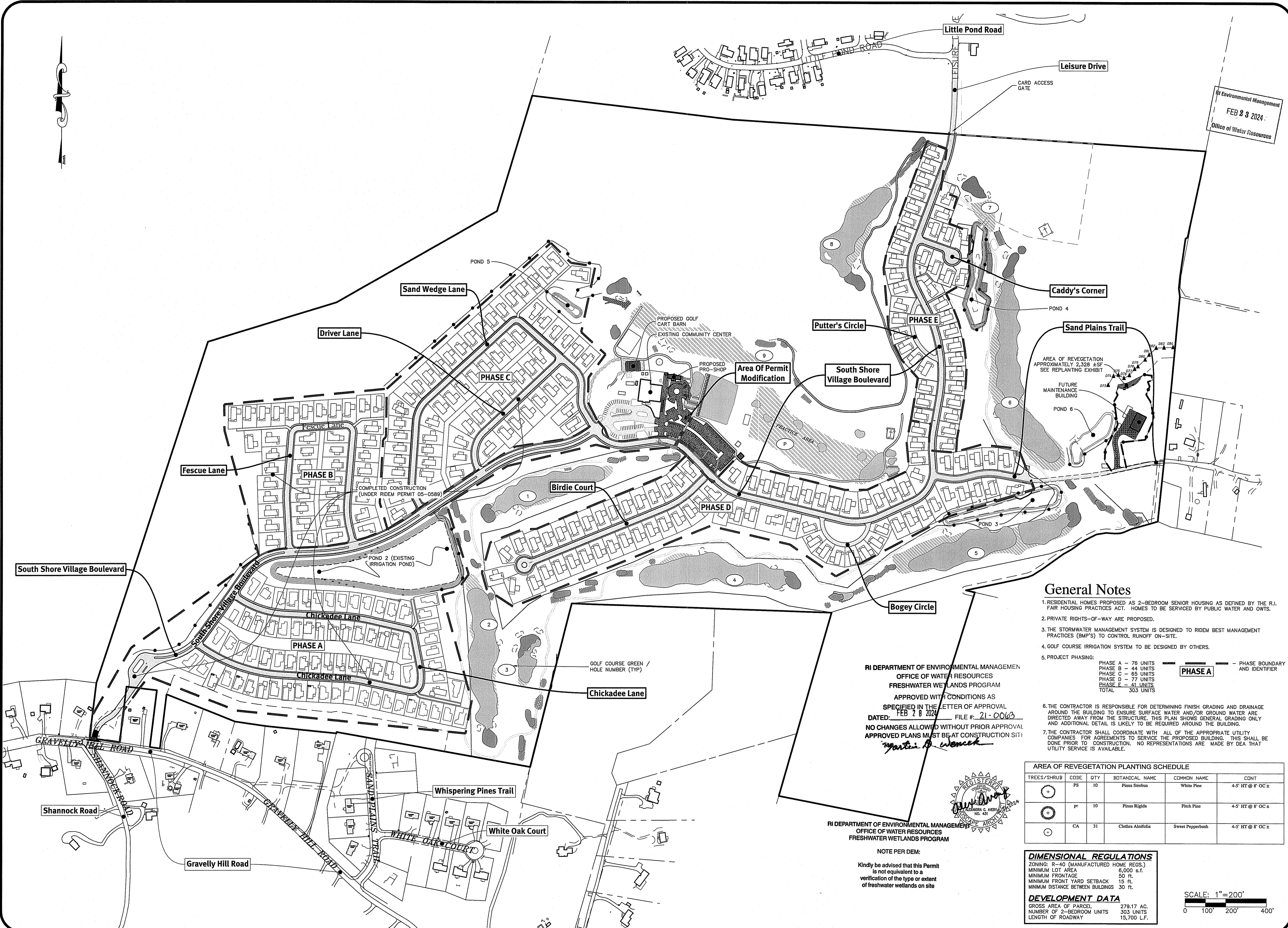
Aerial Half-Mile Radius & USGS Map
PROPOSED PUBLIC GOLF COURSE
SOUTH SHORE VILLAGE
ASSESSOR'S PLAT 65, LOT 3
SOUTH KINGSTOWN, RHODE ISLAND
PREPARED FOR:
EAVINE, LLC
497 WEST BEACH ROAD
CHARLESTOWN, RHODE ISLAND 02813, TEL. (401) 743-7703
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CHRISTOPHER A. DUHAMEL
REGISTERED PROFESSIONAL ENGINEER
CIVIL

THIS PLAN SHEET MAY BE USED FOR CONSTRUCTION PURPOSES UNLESS STATED OTHERWISE. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

NO.	DATE	DESCRIPTION	BY:
1	02-21-2024	PERMIT RESPONSE TO COMMENTS	S.P.A.
2	01-08-2024	DESIGN RESPONSE TO COMMENTS	J.V.P.
3	07-18-2024	DESIGN RESPONSE TO COMMENTS	J.V.P.
4	07-18-2024	DESIGN RESPONSE TO COMMENTS	J.V.P.
5	07-18-2024	DESIGN RESPONSE TO COMMENTS	J.V.P.
6	07-18-2024	DESIGN RESPONSE TO COMMENTS	J.V.P.
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10	07-18-2024	DESIGN RESPONSE TO COMMENTS	J.V.P.
11	07-18-2024	DESIGN RESPONSE TO COMMENTS	J.V.P.
12	07-18-2024	DESIGN RESPONSE TO COMMENTS	J.V.P.
13	07-18-2024	DESIGN RESPONSE TO COMMENTS	J.V.P.
14	07-18-2024	DESIGN RESPONSE TO COMMENTS	J.V.P.
15	07-18-2024	DESIGN RESPONSE TO COMMENTS	J.V.P.
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100	07-18-2024	DESIGN RESPONSE TO COMMENTS	J.V.P.



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CHRISTOPHER A. DURAMEL

 REGISTERED PROFESSIONAL ENGINEER CIVIL

UNLESS OTHERWISE NOTED, ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT'S REGULATIONS AND STANDARDS.
 DIPRETE ENGINEERING ONLY WARRANTS PLANS ON A DIPRETE ENGINEERING TITLE BLOCK, STAMPED BY REGISTERED PROFESSIONAL ENGINEERS. DIPRETE ENGINEERING DOES NOT WARRANT PLANS BY ANY OTHER PARTY. THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE MEANS, METHODS, MATERIALS, AND CONFORMANCE IN THE IMPLEMENTATION OF THIS PLAN AND DESIGN.
 ONLY THE REGISTERED PROFESSIONAL ENGINEER HAS THE AUTHORITY TO SIGN AND SEAL THESE PLANS. ANY UNAUTHORIZED SIGNATURE OR SEALING IS VOID AND THE REGISTERED PROFESSIONAL ENGINEER WILL BE HELD RESPONSIBLE FOR DAMAGES INCURRED DUE TO VIOLATIONS OF EXISTING UTILITIES.

NO.	DATE	DESCRIPTION	BY
1	02-22-2024	ISSUE RESPONSE TO COMMENTS	J.A.R.
2	01-10-2024	ISSUE RESPONSE TO COMMENTS	J.A.R.
3	01-10-2024	ISSUE RESPONSE TO COMMENTS	J.A.R.
4	02-22-2024	ISSUE RESPONSE TO COMMENTS	J.A.R.

Overall Plan
PROPOSED PUBLIC GOLF COURSE
SOUTH SHORE VILLAGE
 SOUTH SHORE VILLAGE, LOT 3
 SOUTH KINGSTOWN, RHODE ISLAND
 PREPARED FOR: ENVIRO, LLC
 497 WEST BEACH ROAD
 CHARLESTOWN, RHODE ISLAND 02813, TEL (401) 743-7203
 BE JOB NO. 2017-006, COPYRIGHT 2023 BY DIPRETE ENGINEERING ASSOCIATES, INC.
 SHEET 3 OF 10

General Notes

- RESIDENTIAL HOMES PROPOSED AS 2-BEDROOM SENIOR HOUSING AS DEFINED BY THE R.I. FAIR HOUSING PRACTICES ACT. HOMES TO BE SERVICED BY PUBLIC WATER AND OWTS.
- PRIVATE RIGHTS-OF-WAY ARE PROPOSED.
- THE STORMWATER MANAGEMENT SYSTEM IS DESIGNED TO RIDEM BEST MANAGEMENT PRACTICES (BMP'S) TO CONTROL RUNOFF ON-SITE.
- GOLF COURSE IRRIGATION SYSTEM TO BE DESIGNED BY OTHERS.
- PROJECT PHASING:
 PHASE A - 76 UNITS
 PHASE B - 44 UNITS
 PHASE C - 65 UNITS
 PHASE D - 77 UNITS
 PHASE E - 41 UNITS
 TOTAL 303 UNITS
- THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING FINISH GRADING AND DRAINAGE AROUND THE BUILDING TO ENSURE SURFACE WATER AND/OR GROUND WATER ARE DIRECTED AWAY FROM THE STRUCTURE. THIS PLAN SHOWS GENERAL GRADING ONLY AND ADDITIONAL DETAIL IS LIKELY TO BE REQUIRED AROUND THE BUILDING.
- THE CONTRACTOR SHALL COORDINATE WITH ALL OF THE APPROPRIATE UTILITY COMPANIES FOR AGREEMENTS TO SERVICE THE PROPOSED BUILDING. THIS SHALL BE DONE PRIOR TO CONSTRUCTION. NO REPRESENTATIONS ARE MADE BY DEA THAT UTILITY SERVICE IS AVAILABLE.

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
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 DATED: FEB 28 2024 FILE #: 21-00163
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Christopher A. Duramel



RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
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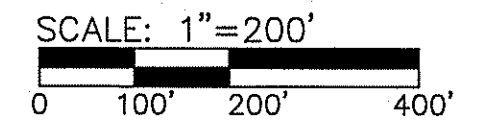
NOTE PER DEM:
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AREA OF REVEGETATION PLANTING SCHEDULE

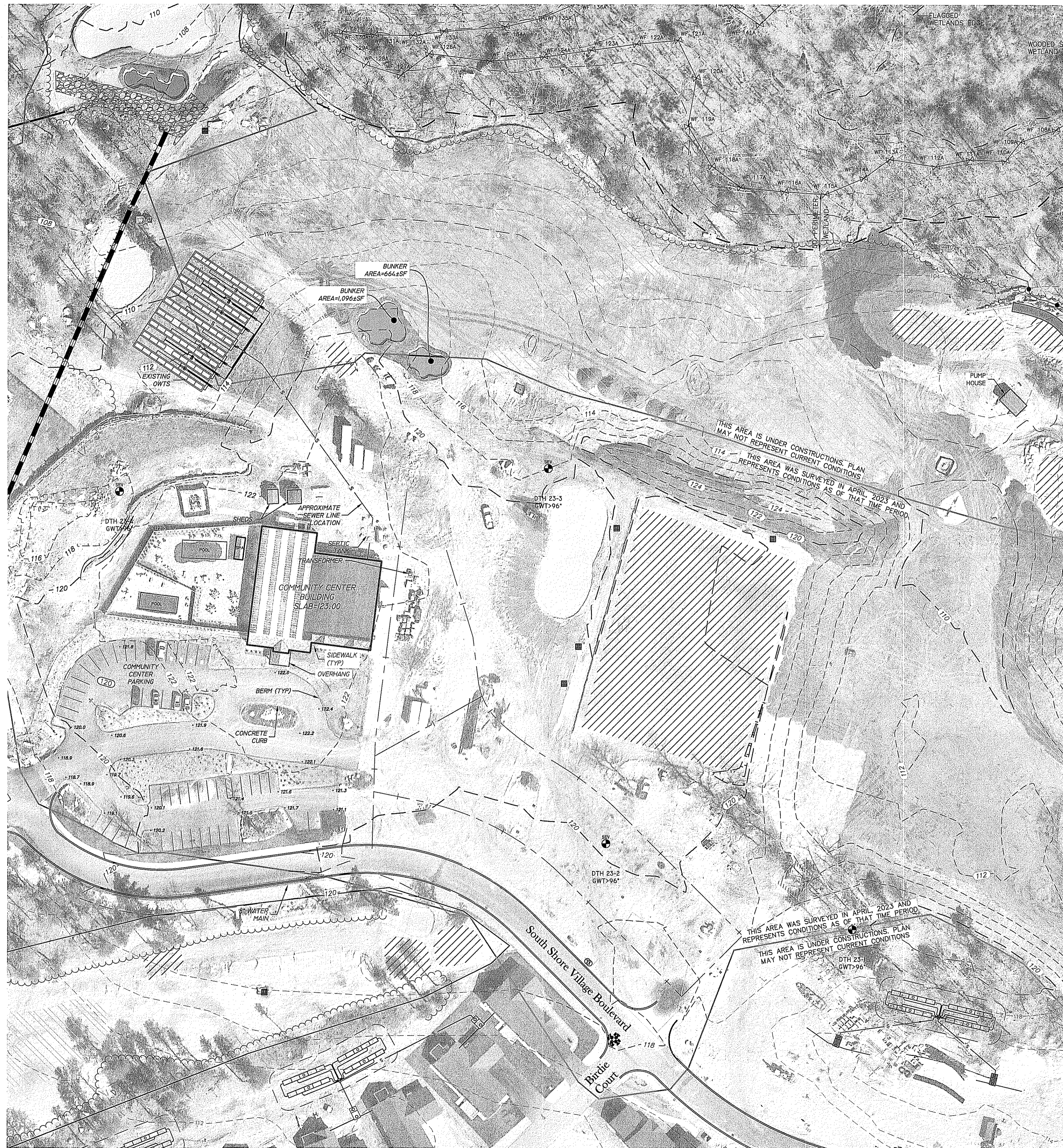
TREES/SHRUB	CODE	QTY	BOTANICAL NAME	COMMON NAME	COUNT
(P)	PS	10	Pinus Strobus	White Pine	4'-5' HT @ 8' OC ±
(R)	PR	10	Pinus Rigida	Pitch Pine	4'-5' HT @ 8' OC ±
(C)	CA	31	Clethra Alnifolia	Sweet Pepperbush	4'-5' HT @ 8' OC ±

DIMENSIONAL REGULATIONS
 ZONING: R-40 (MANUFACTURED HOME REGS.)
 MINIMUM LOT AREA 6,000 s.f.
 MINIMUM FRONTAGE 50 FT.
 MINIMUM FRONT YARD SETBACK 15 FT.
 MINIMUM DISTANCE BETWEEN BUILDINGS 30 FT.

DEVELOPMENT DATA
 GROSS AREA OF PARCEL 279.17 AC.
 NUMBER OF 2-BEDROOM UNITS 303 UNITS
 LENGTH OF ROADWAY 15,700 LF.



Z:\DEMAN\PROJECTS\1677-004_SOUTHSHOREVILLAGE\DRAWINGS\001-GEN\DWG_FLATTER_212224.DWG



GENERAL NOTES:

- THE SITE IS LOCATED ON THE TOWN OF SOUTH KINGSTOWN ASSESSOR'S PLAT 65, LOT 3.
- THE SITE IS APPROXIMATELY 279± ACRES AND IS ZONED R40.
- THE OWNER OF AP 65 LOT 3 IS:
ENVINE, LLC
497 WEST BEACH ROAD
CHARLESTOWN, RHODE ISLAND 02813
- THIS SITE IS LOCATED IN FEMA FLOOD ZONES A AND X (UNSHADED). REFERENCE FEMA FLOOD INSURANCE RATE MAP 44090C0864 AND 44090C0871, MAP REVISED APRIL 3, 2020. (FLOOD PLAIN DESCRIPTIONS SHOWN BELOW)
 - ZONE A - THIS SITE IS LOCATED IN FEMA FLOOD ZONE A. ZONE A ARE AREAS OF 100-YEAR FLOOD; BASE FLOOD ELEVATIONS AND FLOOD HAZARD FACTORS NOT DETERMINED.
 - ZONE X (UNSHADED) - THIS SITE IS LOCATED IN FEMA FLOOD ZONE X. ZONE X ARE AREAS WHERE THERE IS MINIMAL FLOODING.
- THE BOUNDARY LINES AS SHOWN ON THE ENGINEERING PLAN SET DEPICTS THE RESULTS OF A CLASS I BOUNDARY RETRACEMENT SURVEY AS PERFORMED BY DIPRETE ENGINEERING ASSOCIATES, INC. THIS PLAN IS NOT TO BE CONSTRUED AS A CLASS I BOUNDARY RETRACEMENT SURVEY PLAN AND IS NOT SUITABLE FOR RECORDING AS A CLASS I STANDARD SURVEY PLAN. THE PROPERTY LINES DEPICTED HEREIN DO NOT REPRESENT A BOUNDARY OPINION, AND OTHER INFORMATION DEPICTED IS SUBJECT TO SUCH CHANGES AS AN AUTHORITY FIELD SURVEY MAY DISCLOSE.
- PLANIMETRIC FEATURES, CONTOUR LINES, AND SPOT ELEVATIONS WERE STEREO COMPILED AT A SCALE OF 1"=40' BY COL EAST, INC., P.O. BOX 367 HARRIMAN & WEST AIRPORT, NORTH ADAMS, MA 01247, SUB CONSULTANTS TO THE OWNER/DEVELOPER, FROM BLACK AND WHITE PHOTOGRAPHY TAKEN APRIL 14, 2005 AT A SCALE OF 1"=40' AND FIT TO GROUND CONTROL POINTS SURVEYED BY DEA JULY 2005. THE CONTOUR INTERVAL IS 2 FEET. NINETY PERCENT OF THE TOPOGRAPHY AS DEPICTED IS ACCURATE TO WITHIN HALF THE CONTOUR INTERVAL, AND THE REMAINING TEN PERCENT IS ACCURATE TO WITHIN ONE FULL CONTOUR INTERVAL. SURVEY PERFORMED ON THE GROUND BY DEA USING REAL TIME KINEMATIC G.P.S. OBSERVATIONS AND/OR TOTAL STATION SURVEY ON FEBRUARY, 2007. ELEMENTS OF THIS PLAN REFLECTS ON THE GROUND CONDITIONS AS OF THAT DATE. PORTIONS OF THE SITE WERE THEN SUPPLEMENTED WITH RI LIDAR AND ON THE GROUND TOPOGRAPHIC SURVEY TO VALIDATE THE CONSTRUCTION CONDITIONS. THIS DATA'S POSITIONAL ACCURACY AND RELIABILITY HAS NOT BEEN VERIFIED BY DIPRETE ENGINEERING AND IS SUBJECT TO CHANGES AN AUTHORITY FIELD SURVEY MAY DISCLOSE.
- THE SITE IS WITHIN A:
NATURAL HERITAGE AREA (RIDEM)
COMMUNITY WELLHEAD PROTECTION AREA (RIDEM)
- RIDEM INSIGNIFICANT ALTERATION PERMIT APPROVAL RECEIVED 12-20-2022, WETLAND APPLICATION NO. 21-0063.
- RIDEM SITE SUITABILITY APPROVAL RECEIVED 06-30-2008, PRELIMINARY SUBDIVISION SUITABILITY APPLICATION IDENTIFICATION NUMBER: S32-195A.
- WETLAND EDGES WERE APPROVED BY RIDEM INSIGNIFICANT ALTERATION PERMIT APPROVAL RECEIVED 12-20-2022, WETLAND APPLICATION NO. 21-0063 AND HAVE BEEN SUPPLEMENTED AS THE SITE HAS DEVELOPED.
- SOIL EVALUATIONS WERE APPROVED BY RIDEM INSIGNIFICANT ALTERATION PERMIT APPROVAL RECEIVED 12-20-2022, WETLAND APPLICATION NO. 21-0063 AND RIDEM SITE SUITABILITY APPROVAL RECEIVED 06-30-2008, PRELIMINARY SUBDIVISION SUITABILITY APPLICATION IDENTIFICATION NUMBER: S32-195A AND HAVE BEEN SUPPLEMENTED AS THE SITE HAS DEVELOPED.

Existing Conditions Legend:

NOT ALL ITEMS SHOWN WILL APPEAR ON THE PLAN

PROPERTY LINE	---
ASSESSOR LINE	---
SETBACK	---
FEMA BOUNDARY	--- FEMA ZONE X --- FEMA ZONE X
EX MAJOR FOOT CONTOUR	--- 160 ---
EX MINOR FOOT CONTOUR	--- 155 ---
EX SPOT ELEVATION	± 45.3
WETLAND EDGE	---
WETLAND HATCH	---
STREAM CENTERLINE	---
ASSF	---
50' PERIMETER WETLAND	--- 50' PERIMETER WETLAND ---
100' RIVERBANK WETLAND	--- 100' RIVERBANK WETLAND ---
WETLAND FLAG & DESIGNATION	--- wf xx ---
EDGE OF PAVEMENT	---
EDGE OF PAVEMENT w/CURBING	---
ASPHALT PAVEMENT	---
CHAINLINK FENCE	---
STOCKADE FENCE	---
GUARD RAIL	---
RETAINING WALL	---
BUILDING	---

RI Environmental Management
FEB 23 2024
Office of Water Resources

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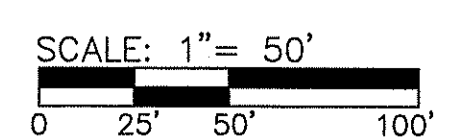


PHOTO OBTAINED FROM NEARMAP.
DATE OF PHOTOGRAPHY 04-08-2023.

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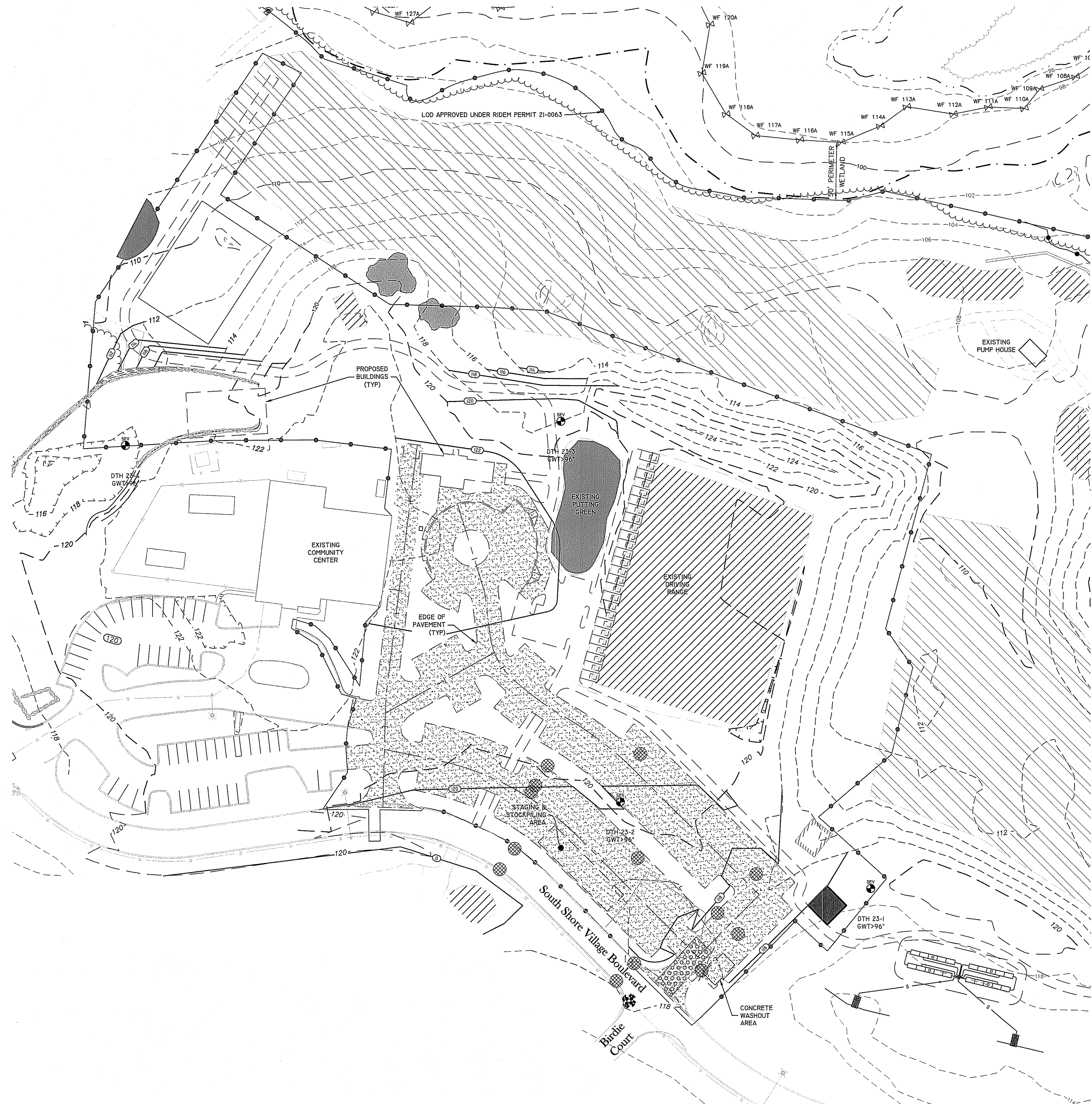
DiPrete Engineering
Two Stafford Court Cranston, RI 02920
Tel: 401-942-1000 Fax: 401-941-6006 www.diprete-eng.com
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CHRISTOPHER A. DUHAMEL
REGISTERED PROFESSIONAL ENGINEER CIVIL

THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS IT IS APPROVED BY THE RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT. A REGISTERED PROFESSIONAL ENGINEER OR ARCHITECT MUST STAMP AND SIGN THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE MEANS, METHODS, SAFETY PRECAUTIONS AND REQUIREMENTS, AND OSHA COMPLIANCE IN THE IMPLEMENTATION OF THIS PLAN AND DESIGN. CONSULT THE FIELD MANUAL ON THE PLAN AND APPROPRIATE DRAWINGS INCLUDED DUE TO LOCATION OF EXISTING UTILITIES.

DATE	DESIGN	BY	DATE	DESIGN	BY
08-21-2023	DESIGN RESPONSE TO COMMENTS	S.V.P.	08-21-2023	DESIGN RESPONSE TO COMMENTS	S.V.P.
09-16-2023	REVISED SPOT ELEVATIONS	J.W.	09-16-2023	REVISED SPOT ELEVATIONS	J.W.
12-22-2023	REVISED SPOT ELEVATIONS	J.A.B.	12-22-2023	REVISED SPOT ELEVATIONS	J.A.B.
01-23-2024	REVISED PERMIT MODIFICATION	J.A.B.	01-23-2024	REVISED PERMIT MODIFICATION	J.A.B.
02-23-2024	DESIGNATION	S.V.	02-23-2024	DESIGNATION	S.V.
DRAWN BY: J.A.R.			DESIGN BY: C.A.D.		

Existing Analysis Plan
PROPOSED PUBLIC GOLF COURSE
SOUTH SHORE VILLAGE
SOUTH KINGSTOWN, RHODE ISLAND
PREPARED FOR:
ENVINE, LLC
497 WEST BEACH ROAD
CHARLESTOWN, RHODE ISLAND 02813, TEL: (401) 743-7203
SHEET 4 OF 10



SOIL EROSION CONTROL LEGEND

- EROSION CONTROL (COMPOST SOCK, SILT FENCE (RI STD 9.2.0, OR APPROVED EQUAL))
- LIMIT OF DISTURBANCE (NO SEDIMENT CONTROL)
- LIMIT OF DISTURBANCE (WITH SEDIMENT CONTROL)
- CONSTRUCTION ENTRANCE (RIDOT STD 9.9.0)
- FINAL CONTOUR GRADE
- INLET SEDIMENT CONTROL

RI Environmental Management
FEB 23 2024
 Office of Water Resources

DiPrete Engineering
 Two Stafford Court, Cranston, RI 02920
 Tel: 401-943-5000 Fax: 401-943-6066 www.diprete-eng.com

CHRISTOPHER A. DUHAMEL

 REGISTERED PROFESSIONAL ENGINEER
 CIVIL

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NO.	DATE	DESCRIPTION	BY:
1	02-23-2024	DESIGN	J.A.R.
2	02-23-2024	DESIGN	J.A.R.
3	02-23-2024	DESIGN	J.A.R.
4	02-23-2024	DESIGN	J.A.R.
5	02-23-2024	DESIGN	J.A.R.
6	02-23-2024	DESIGN	J.A.R.
7	02-23-2024	DESIGN	J.A.R.
8	02-23-2024	DESIGN	J.A.R.
9	02-23-2024	DESIGN	J.A.R.
10	02-23-2024	DESIGN	J.A.R.

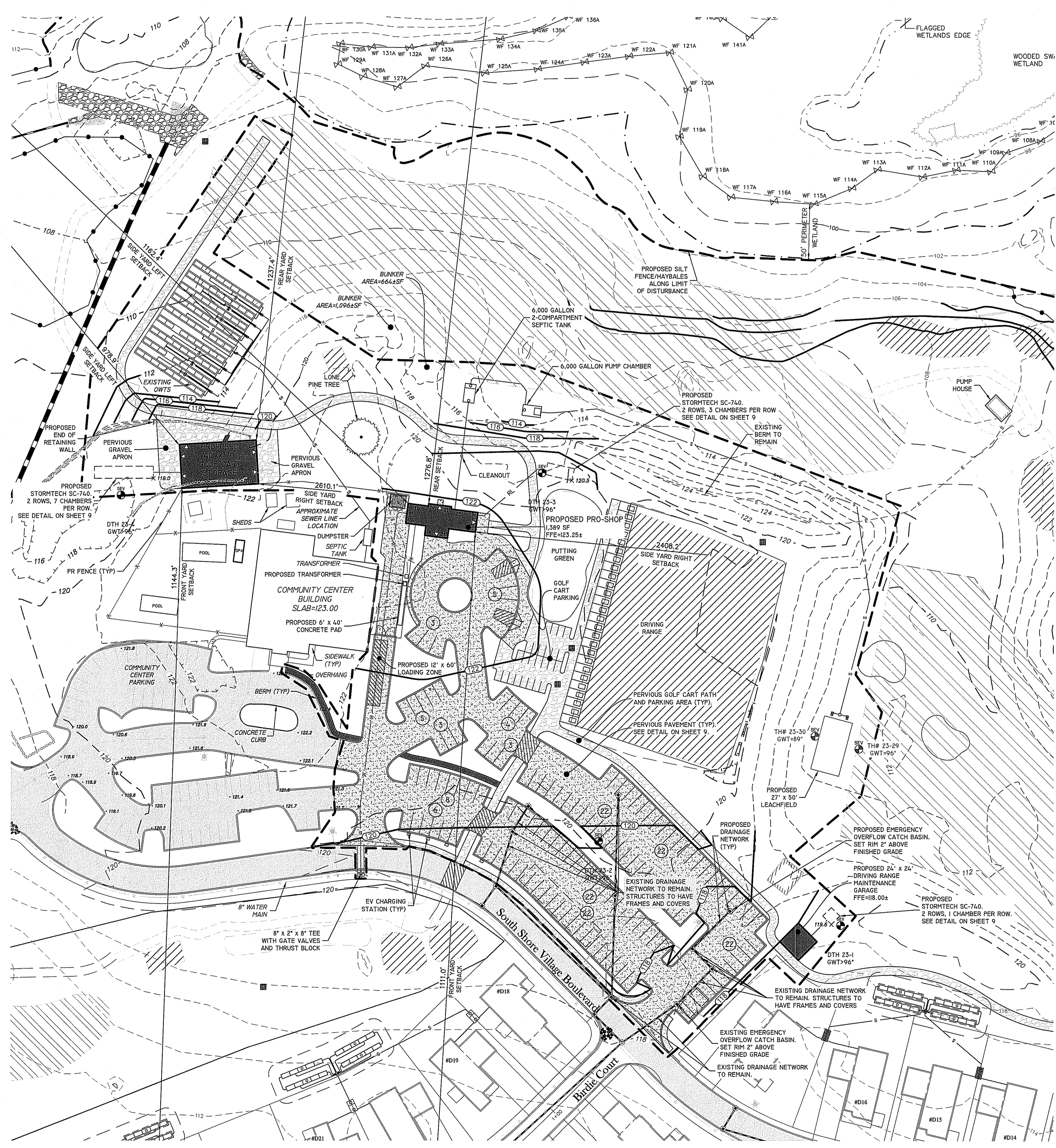
RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED: **FEB 28 2024** FILE #: **21-0062**
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE
Martin D. Wenczek

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 NOTE PER DEM:
 Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site

SCALE: 1" = 50'
 0 25' 50' 100'

Soil Erosion & Sediment Control Plan
PROPOSED PUBLIC GOLF COURSE
SOUTH SHORE VILLAGE
 ASSESSOR'S PLAT 65, LOT 3
 SOUTH KINGSTOWN, RHODE ISLAND
 PREPARED FOR:
ENVINE, LLC
 CHARLESTOWN, RHODE ISLAND 02813, TEL: (401) 743-7203
 DE JOB NO. 0977-000 COPYRIGHT 2023 BY CONCRETE ENGINEERING ASSOCIATES, INC.

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PARKING REGULATIONS:

PARKING USE:	GOLF COURSE
PARKING REQUIREMENT:	50 SPACES PER 18 HOLE
NUMBER OF HOLES:	9 HOLES
REQUIRED PARKING CALCULATIONS:	18 / 2 = 9 HOLES, 50 / 2 = 25 SPACES
TOTAL PARKING SPACES REQUIRED:	25 SPACES
TOTAL PARKING SPACES PROVIDED:	138 SPACES
ADA PARKING REQUIREMENT:	2 SPACES
ADA PARKING INCLUDED IN TOTAL SPACES:	4 SPACES

PROPOSED LEGEND

- NOT ALL ITEMS SHOWN WILL APPEAR ON PLANS
- PROPERTY LINE
 - BUILDING SETBACKS
 - PERVIOUS PAVEMENT
 - PERVIOUS GRAVEL - GOLF CART PARKING & PATH
 - BUILDING FOOTPRINT
 - BUILDING OVERHANG
 - CONCRETE
 - PARKING COUNT

RI Environmental Management
 FEB 23 2024
 Office of Water Resources

DiPrete Engineering
 Two Stafford Court Cranston, RI 02920
 Tel: 401-942-1000 Fax: 401-942-6006 www.diprete-eng.com

CHRISTOPHER A. DUHAMEL
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL

THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS IT IS APPROVED BY A REGISTERED PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING.
 THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE MEANS, METHODS, SAFETY PRECAUTIONS AND REQUIREMENTS, AND COSTS OF CONSTRUCTION AND MAINTENANCE OF THIS PLAN AND ANY CHANGES INCURRED DUE TO LOCATIONS OF EXISTING UTILITIES.

NO.	DATE	DESCRIPTION	BY	CHK.
1	02-23-2024	DESIGN RESPONSE TO COMMENTS	J.A.R.	J.A.R.
2	02-23-2024	REVISED SHOT GRADERS	J.A.R.	J.A.R.
3	02-23-2024	REVISED EROSION CONTROL	J.A.R.	J.A.R.

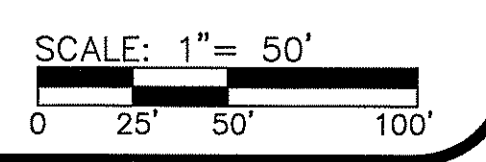
DESIGNED BY: J.A.R.
 DRAWN BY: J.A.R.

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED: FEB 28 2024 FILE #: 21-0003
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

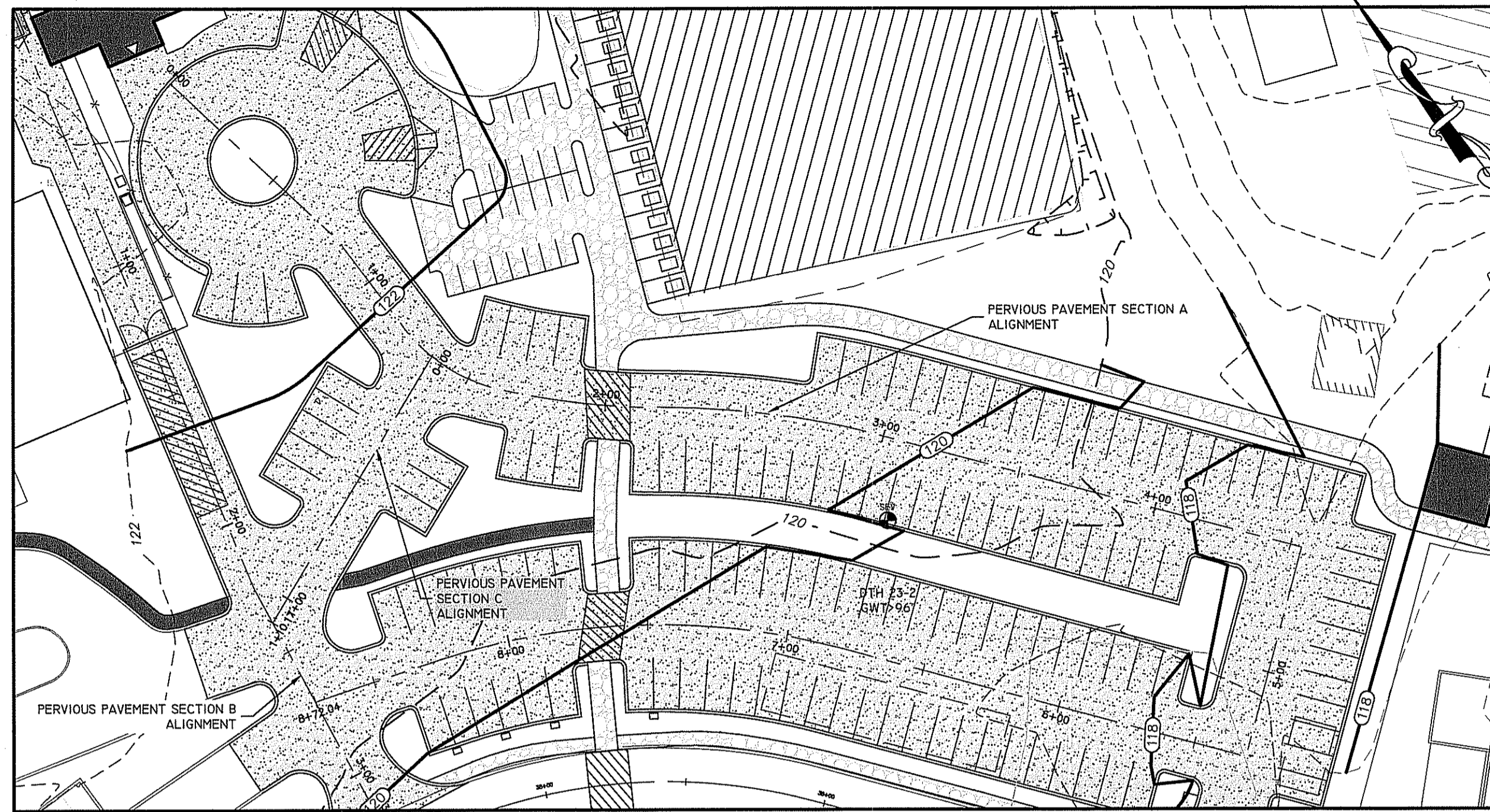
Walter D. Wencel

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM

NOTE PER DEM:
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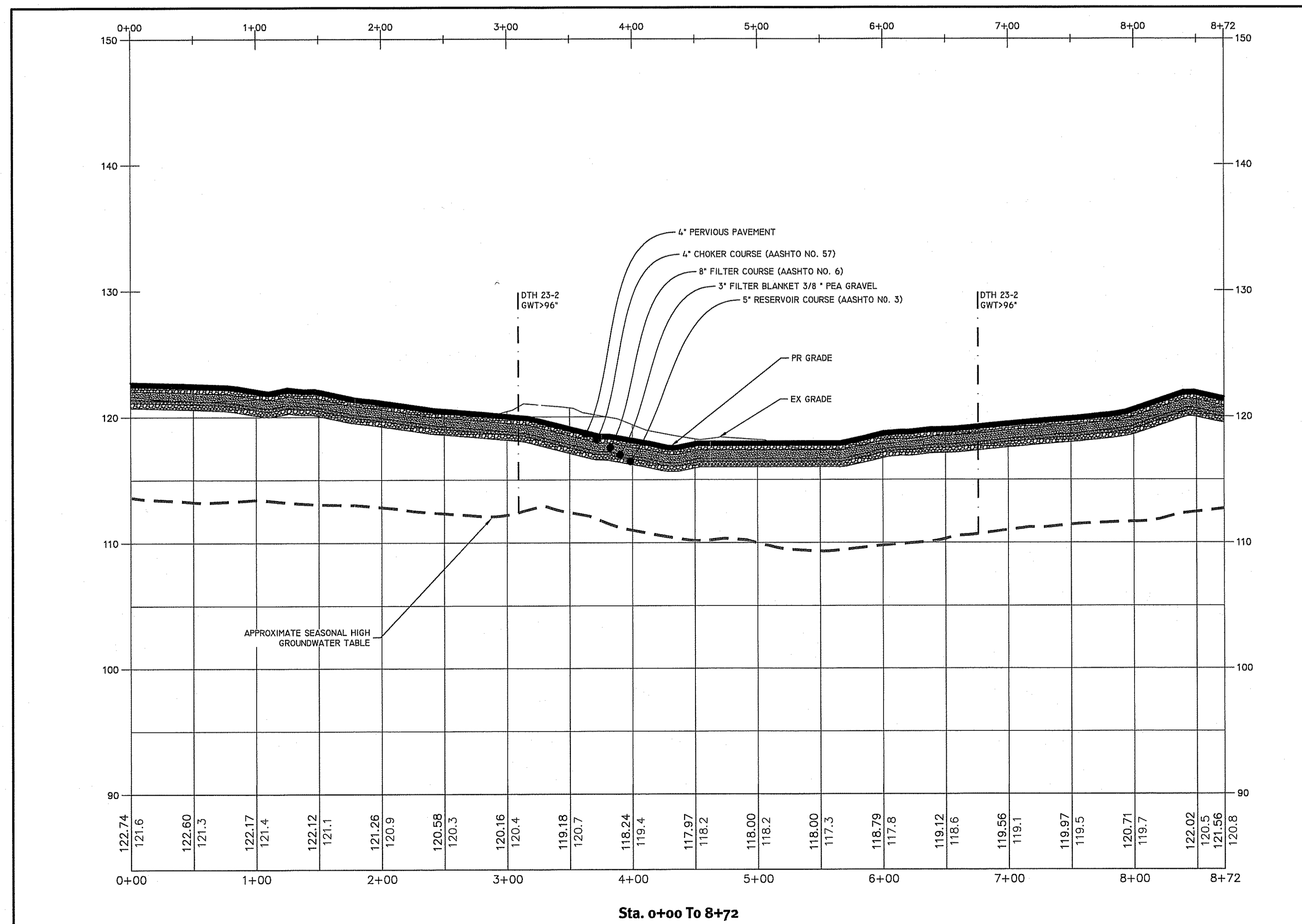


Site Layout Plan
PROPOSED PUBLIC GOLF COURSE
SOUTH SHORE VILLAGE
 497 WEST BEACH ROAD
 CHARLESTOWN, RHODE ISLAND 02813, TEL: (401) 743-7203



RI Environmental Management
 FEB 28 2024
 Office of Water Resources

PERVIOUS PAVEMENT ROAD SECTION A
 SCALE: 1"=40'



PERVIOUS PAVEMENT ROAD SECTION A PROFILE
 Sta. 0+00 To 8+72
 VERTICAL: 0 3' 6' 12'
 HORIZONTAL: 0 30' 60' 120'

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS AS
 SPECIFIED IN THE LETTER OF APPROVAL
 DATED: FEB 28 2024 FILE # 21-0063
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE
Martin D. Wempe

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 NOTE PER DEM:
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Pervious Pavement Section A
 PROPOSED PUBLIC GOLF COURSE
 SOUTH SHORE VILLAGE
 ASSESSOR'S PLAT 65, LOT 3
 SOUTH KINGSTOWN, RHODE ISLAND
 PREPARED FOR:
 ENVINE, LLC
 497 WEST BEACH ROAD
 CHARLESTOWN, RHODE ISLAND 02813, TEL (401) 743-7203

NO.	DATE	DESCRIPTION	BY:
4	02-21-2024	ORDER RESPONSE TO COMMENTS	J.A.R.
3	01-24-2024	HIGH RESPONSE TO COMMENTS	J.A.R.
2	01-12-2024	REVISED PERMITS	J.A.R.
1	02-12-2023	DEVELOPMENT PLAN REVIEW	J.A.R.
5	02-27-2024	FINAL PERMIT SUBMITTAL	J.A.R.

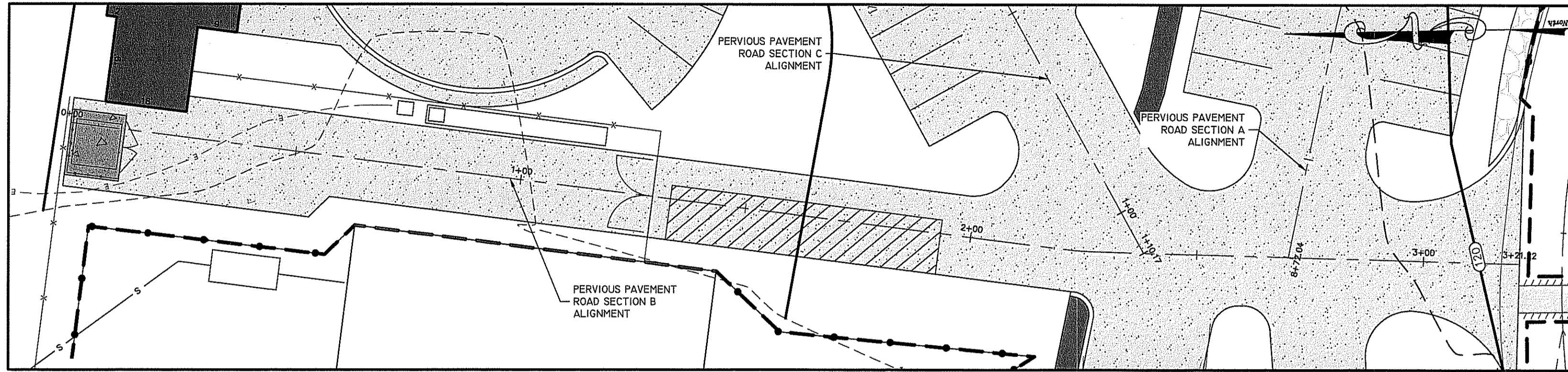
DESIGN BY: J.A.R.
 DRAWN BY: J.A.R.

CHRISTOPHER A. DUHAMEL

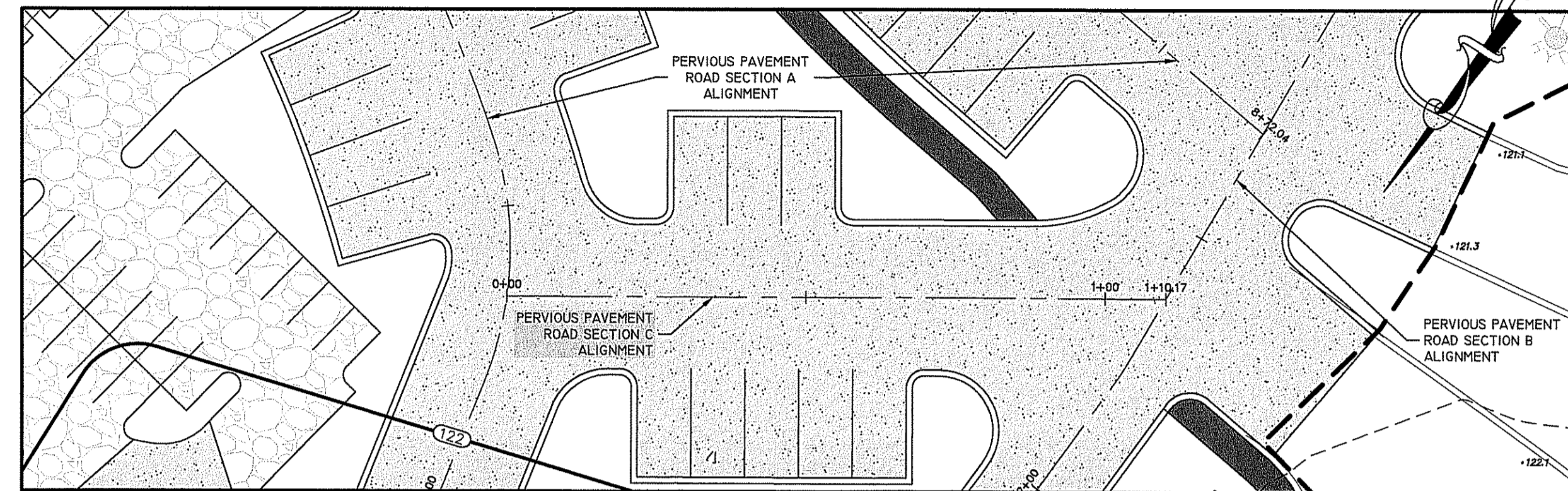
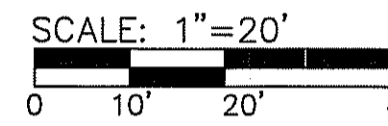
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 tel 401-943-1000 fax 401-664-6006 www.diprete-eng.com
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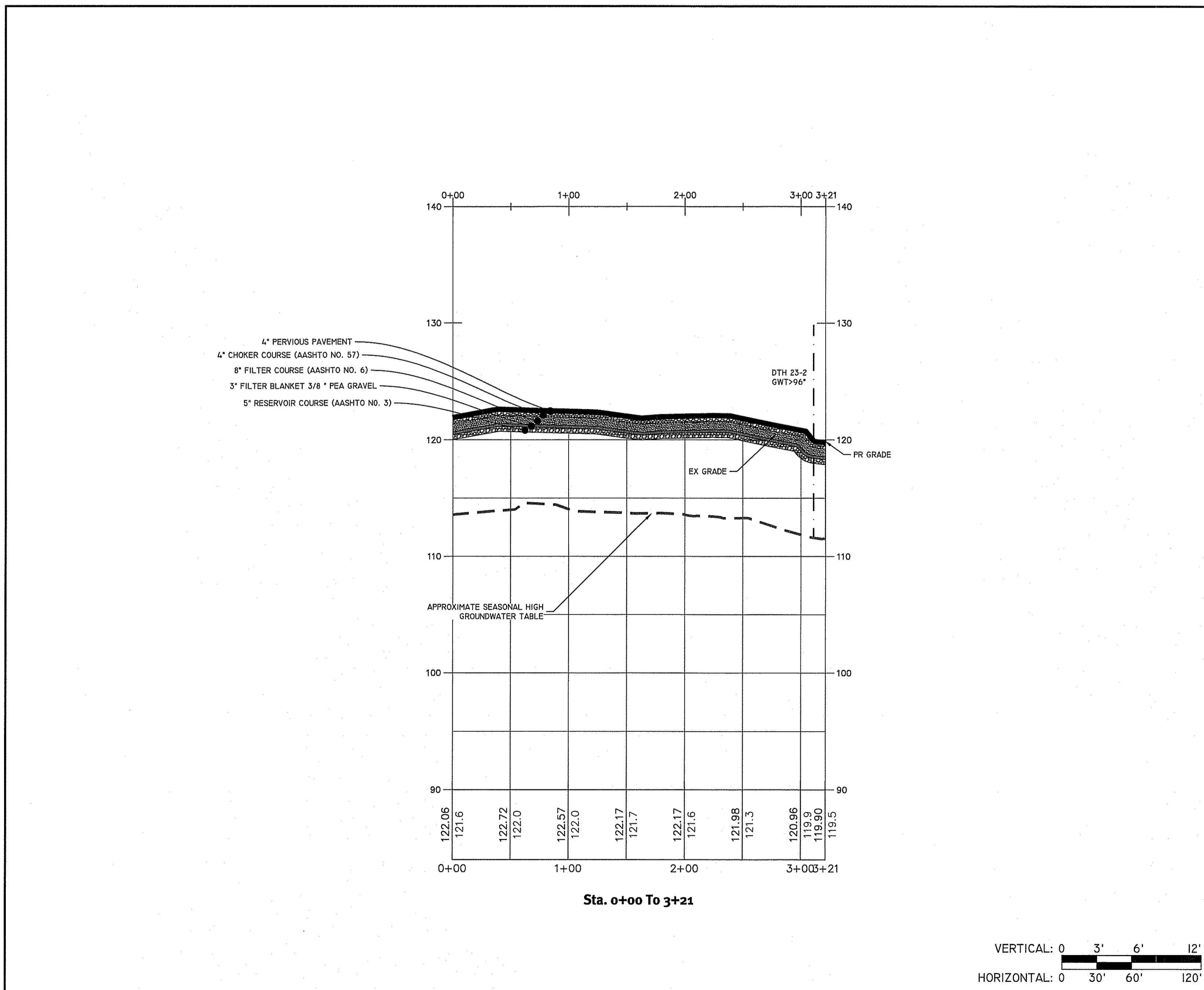
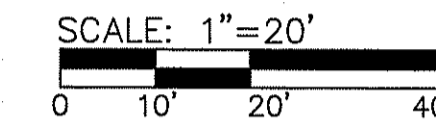
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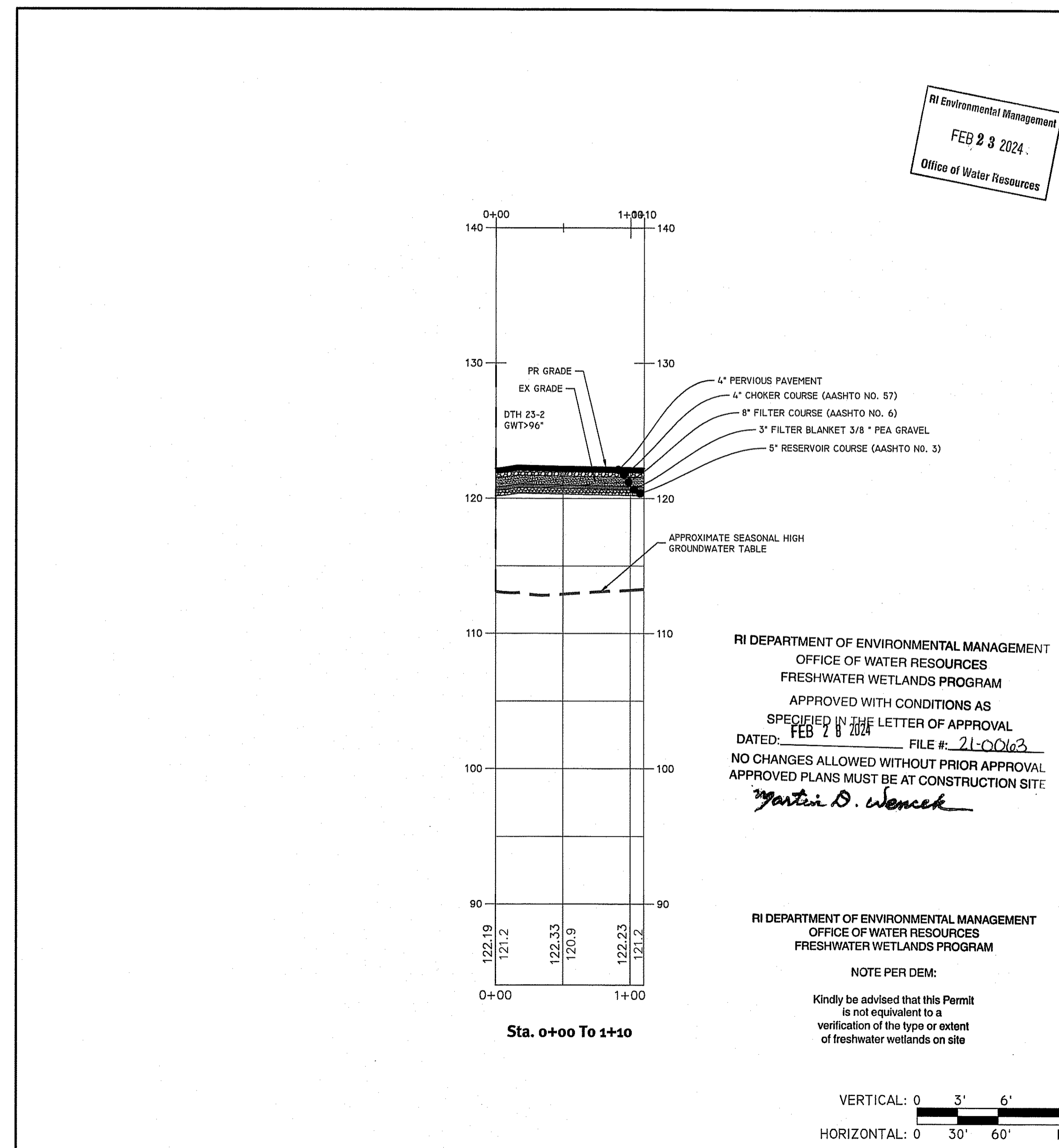
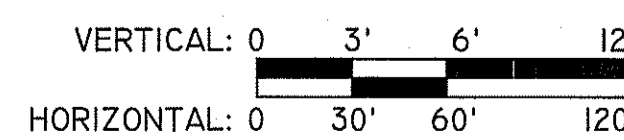
PERVIOUS PAVEMENT ROAD SECTION B



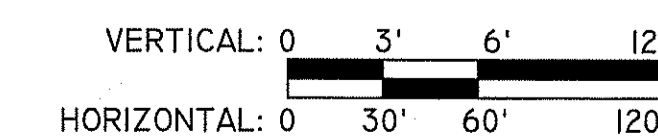
PERVIOUS PAVEMENT ROAD SECTION C



PERVIOUS PAVEMENT ROAD SECTION B PROFILE



PERVIOUS PAVEMENT ROAD SECTION C PROFILE



RI Environmental Management
 FEB 23 2024
 Office of Water Resources

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS AS
 SPECIFIED IN THE LETTER OF APPROVAL
 DATED: FEB 28 2024 FILE #: 21-00103
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE
Martin D. Wencsek

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
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DiPrete Engineering
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 tel 401-943-1000 fax 401-464-6006 www.diprete-eng.com

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CHRISTOPHER A. DUHAMEL
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL

UNLESS OTHERWISE NOTED, ALL DIMENSIONS AND LOCATIONS ARE AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND LOCATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

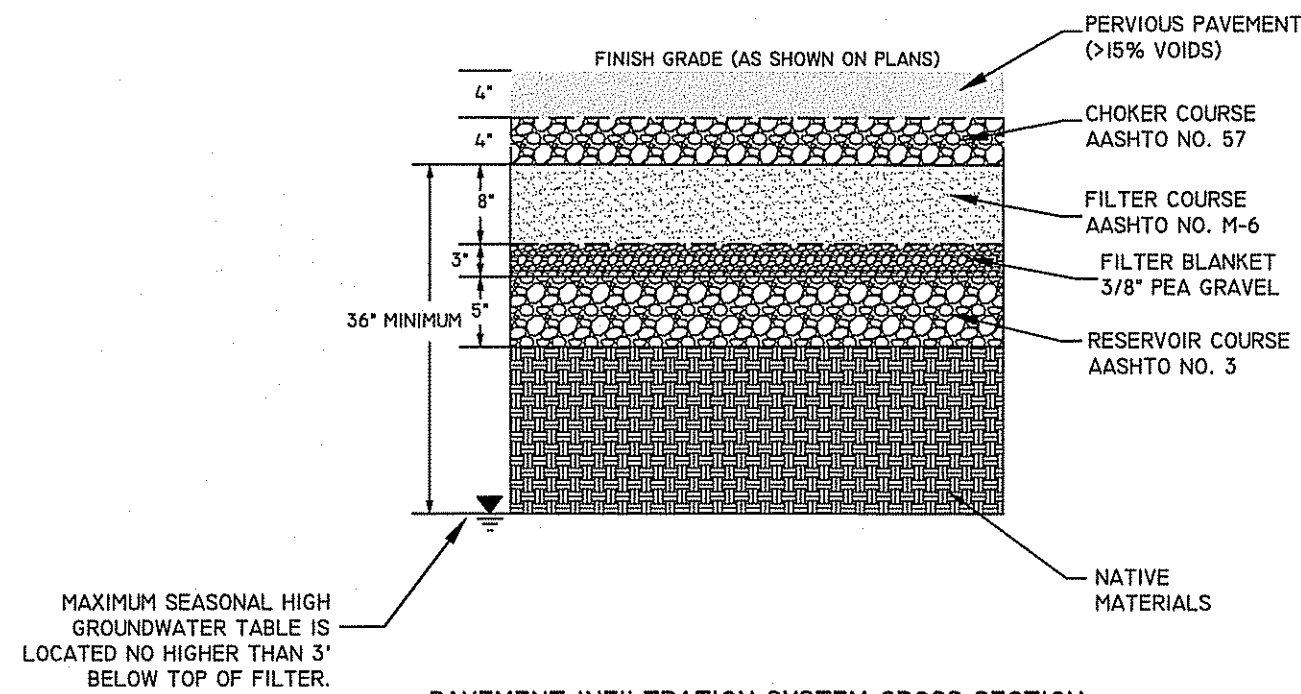
NO.	DATE	DESCRIPTION	BY
1	02-28-2024	ISSUE FOR PERMIT	J.A.R.
2	03-08-2024	REVISION TO CORRECTS	J.A.R.
3	03-15-2024	REVISION TO CORRECTS	J.A.R.
4	02-28-2024	ISSUE FOR PERMIT	J.A.R.

DESIGN BY: C.A.D.
 DRAWN BY: J.A.R.

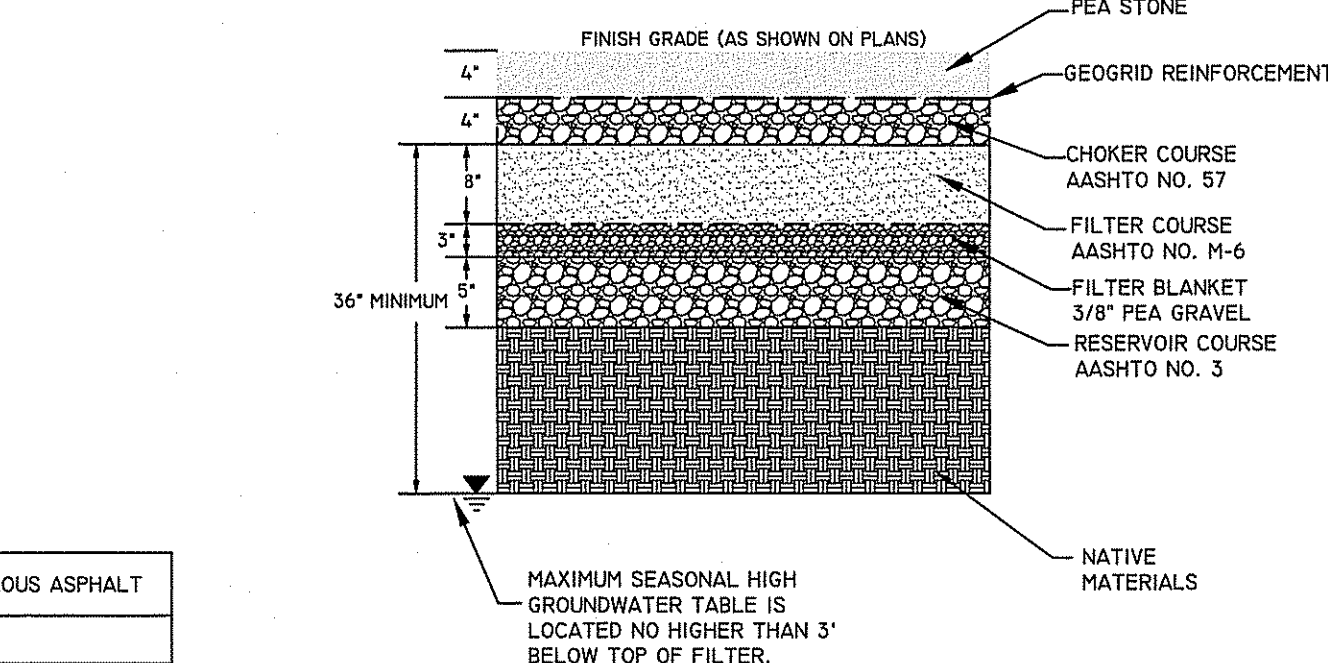
Pervious Pavement Sections B & C
 PROPOSED PUBLIC GOLF COURSE
 SOUTH SHORE VILLAGE
 ASSessor'S PLAT 65, LOT 3
 SOUTH KINGSTOWN, RHODE ISLAND
 PREPARED FOR:
 ENVINE, LLC
 497 WEST BEACH ROAD
 CHARLESTOWN, RHODE ISLAND 02815, TEL (401) 745-7203

- NOTES:**
1. ALL MATERIALS, METHODS OF CONSTRUCTION AND WORKMANSHIP SHALL CONFORM TO APPLICABLE REQUIREMENTS OF AASHTO, ASTM STANDARDS, AND RIDOT STANDARDS.
 2. ALL AREAS WHICH DRAIN TO PERVIOUS SURFACES SHALL BE COMPLETELY STABILIZED, INCLUDING LANDSCAPED AREAS, OR EROSION CONTROL MEASURES SHALL BE INSTALLED UPGRADIENT OF THE PERVIOUS SURFACE BEFORE PLACEMENT OF PERVIOUS SURFACE.
 3. PERVIOUS SURFACE SHALL NOT BE PLACED IN THE RAIN OR WHEN TEMPERATURES ARE BELOW 60°F.
 4. CHOKER COURSE, FILTER COURSE, AND RESERVOIR COURSE SHALL BE COMPACTED TO 95% COMPACTION PER ASTM D698.
 5. CONTRACTOR SHALL SUBMIT ALL MIX DESIGNS TO ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.
 6. ALL STONE AND GRAVEL MATERIAL BELOW THE PERVIOUS PAVEMENT SHALL BE WASHED.
 7. STRIPING PAINT SHALL BE LATEX, WATER-BASE EMULSION, READY-MIXED AND COMPLYING WITH PAVEMENT MARKING SPECIFICATIONS PS 11-P-1952.

PERVIOUS PAVEMENTS NOTES



PAVEMENT INFILTRATION SYSTEM CROSS SECTION



PEA STONE INFILTRATION SYSTEM CROSS SECTION (ALTERNATIVE IN NON ADA AREA)

DESCRIPTION	PAVEMENT
TOP OF FILTER LAYER DEPTH	VARIES
TOP OF RESERVOIR DEPTH	116.08'
BOTTOM OF RESERVOIR DEPTH	115.66'
100 YEAR STORM DEPTH	117.03'
10 YEAR STORM DEPTH	116.67'

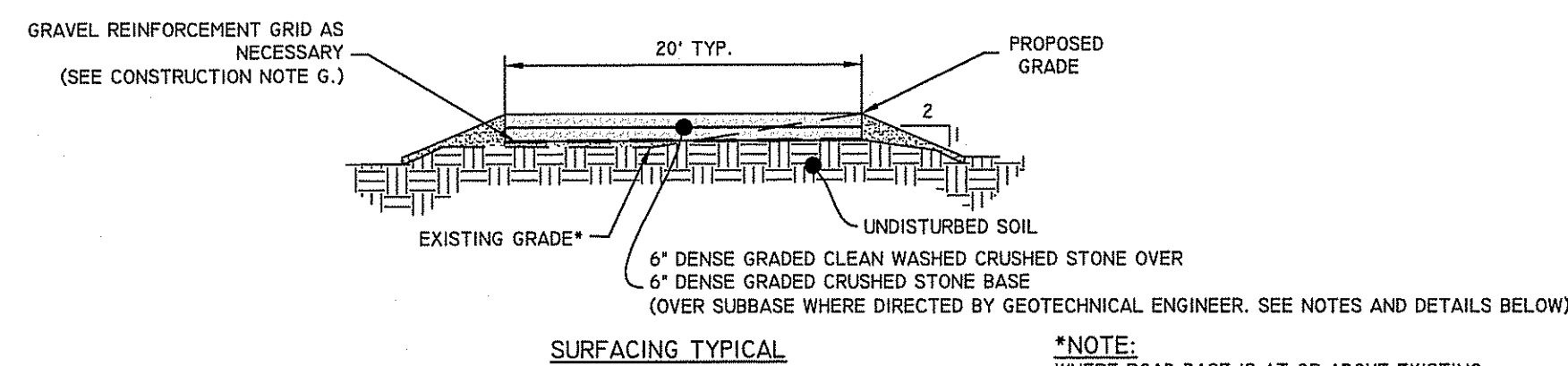
PERVIOUS PAVEMENT SYSTEM ELEVATIONS

STANDARD SIEVE SIZE (INCHES)	CHOKER COURSE (AASHTO NO. 57)	FILTER COURSE (AASHTO NO. M-6)	RESERVOIR COURSE (AASHTO NO. 3)	POROUS ASPHALT
6			100	
2 1/2			90-100	
2			35-70	
1 1/2	100		0-15	
1	95-100			
3/4				100
1/2	25-60		0-5	85-100
3/8		100		55-75
#4	0-10	70-100		10-25
#8	0-5			5-10
#200	0	0-4		2-4

PERVIOUS PAVEMENT MATERIAL GRADATION (% PASSING)

PERVIOUS PAVEMENT INFILTRATION SYSTEM

NOT TO SCALE



SURFACING TYPICAL

PROFILE TYPICAL

CLEAN CRUSHED STONE SPECIFICATIONS

SIEVE DESIGNATION	PERCENTAGE BY MASS (WEIGHT) PASSING SQUARE MESH SIEVES
90mm (3.5in)	100
75mm (3in)	90-100
50mm (2in)	75-100
25mm (1in)	50-80
12.5mm (0.5in)	30-60
4.75mm (No.4)	0-40
7.5mm (No. 200)	0

DENSE GRADED CLEAN CRUSHED STONE:

- DENSE GRADED CLEAN WASHED CRUSHED STONE MUST CONSIST OF CLEAN, WASHED, HARD, UNIFORMLY GRADED, CRUSHED STONE. IT MUST BE SUFFICIENTLY FREE FROM DIRT, DELETERIOUS MATERIAL, AND PIECES THAT ARE STRUCTURALLY WEAK AND MUST MEET THE FOLLOWING REQUIREMENTS:
- SOURCE OF MATERIAL MUST BE OBTAINED FROM AREAS STRIPPED AND CLEANED OF SOIL AND DEBRIS BEFORE BLASTING
- MATERIAL COARSER THAN THE 4.75MM (NO. 4) SIEVE MUST NOT BE MORE THAN 30 PERCENT, BY MASS (WEIGHT), OF THIN AND/OR ELONGATED PIECES.

BASE SPECIFICATIONS

SIEVE DESIGNATION	PERCENTAGE BY MASS (WEIGHT) PASSING SQUARE MESH SIEVES
90mm (3.5in)	100
75mm (3in)	90-100
50mm (2in)	75-100
25mm (1in)	50-80
12.5mm (0.5in)	30-60
4.75mm (No.4)	15-40
7.5mm (No. 200)	0-6

DENSE GRADED CRUSHED STONE FOR BASE:

- DENSE GRADED CRUSHED STONE FOR BASE MUST CONSIST OF CLEAN, HARD, UNIFORMLY GRADED, CRUSHED STONE. IT MUST BE SUFFICIENTLY FREE FROM DIRT, DELETERIOUS MATERIAL, AND PIECES THAT ARE STRUCTURALLY WEAK AND MUST MEET THE FOLLOWING REQUIREMENTS:
- SOURCE OF MATERIAL MUST BE OBTAINED FROM AREAS STRIPPED AND CLEANED OF SOIL AND DEBRIS BEFORE BLASTING
- MATERIAL COARSER THAN THE 4.75MM (NO. 4) SIEVE MUST NOT BE MORE THAN 30 PERCENT, BY MASS (WEIGHT), OF THIN AND/OR ELONGATED PIECES.

SUBBASE SPECIFICATIONS (WHERE DIRECTED)

CONDITIONS:	ROAD THICKNESS	STONE SIZE	FINES
SUBBASE LAYER WITH GEOTEXTILE FABRIC (NOT EXCESSIVELY WET)	4" MIN.	3-3 1/2	0-6%
SUBBASE LAYER WITH GEOTEXTILE FABRIC (WET CONDITIONS)	6" MIN.	3-3 1/2	0-6%

CONSTRUCTION NOTE:

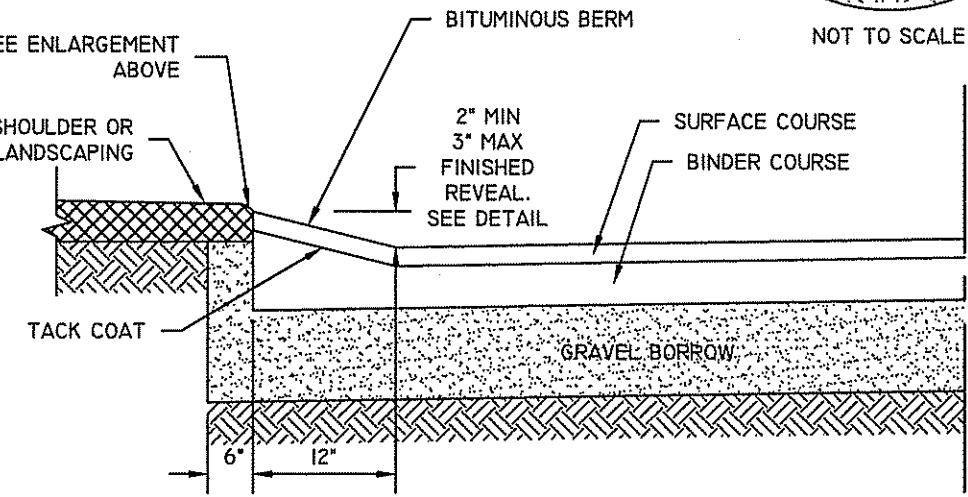
- CONSTRUCTION OPERATIONS MUST BE CARRIED OUT IN SUCH A MANNER TO MINIMIZE POTENTIAL EROSION AND WATER QUALITY DEGRADATION.
- FIXED EROSION CONTROLS AND SITE STABILIZATION MUST BE CONDUCTED IN ACCORDANCE WITH APPROVED BMP'S OR PURSUANT TO PROJECT SPECIFIC PERMITS.
- TREES, STUMPS, ROOTS, BRUSH AND WEEDS MUST BE REMOVED FROM THE WORK AREA IF DETERMINED NECESSARY TO SAFELY CONSTRUCT ROADWAY.
- ON WEAK BEARING SOIL SUCH AS LOOSE ALLUVIAL, OR WETLAND SOILS, SURFACE TREATMENTS SHOULD BE UNDERLAIN WITH WOVEN GEOTEXTILES.
- AT MINIMUM, ROADSIDE DITCHES MUST BE 1FT BELOW ROAD SURFACE.
- DISCHARGE POINTS. FOR DITCHES MUST NOT BE NEAR WETLANDS OR STREAMS, AND OR BE LOCATED AT THE DIRECTION OF THE DESIGN ENGINEER.
- CONTRACTOR TO INSTALL GRAVEL REINFORCEMENT GRID AS NECESSARY TO PREVENT EROSION AND/OR VEHICULAR DAMAGE TO THE ACCESS ROAD.

CRUSHED STONE ACCESS PATH DETAIL

NOT TO SCALE

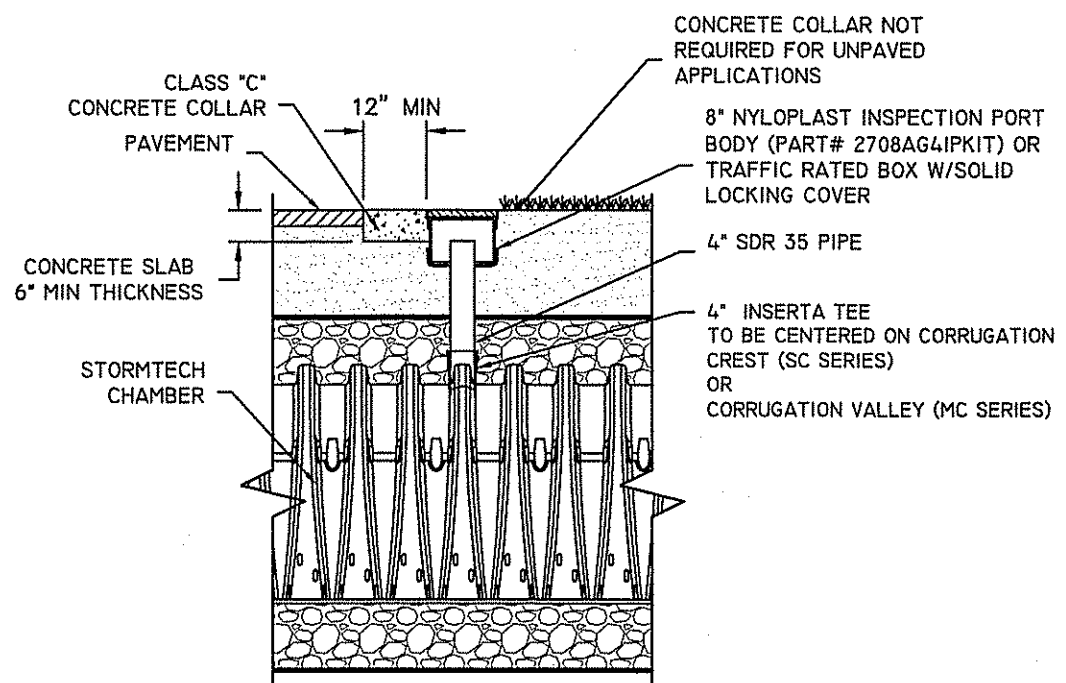
NOTES:

1. FOR ALL NEW PAVEMENT AREAS, BITUMINOUS BERM MUST BE CONTIGUOUS, PLACED AT THE SAME TIME AS THE BINDER COURSE, THEN OVERLAIN WITH SURFACE COURSE. BERM CANNOT BE INSTALLED IN A SEPARATE EXTENDED OPERATION.
2. ALL DIMENSIONS SHOWN ARE REQUIRED. ANY DEVIATIONS FROM DIMENSIONS SHOWN MUST BE APPROVED IN WRITING BY DESIGN ENGINEER AND PROJECT OWNER PRIOR TO BERM INSTALLATION.
3. BERM INSTALLATION MUST BE IN ACCORDANCE WITH ALL APPLICABLE SPECIFICATIONS, AND AUTHORITIES HAVING JURISDICTION.



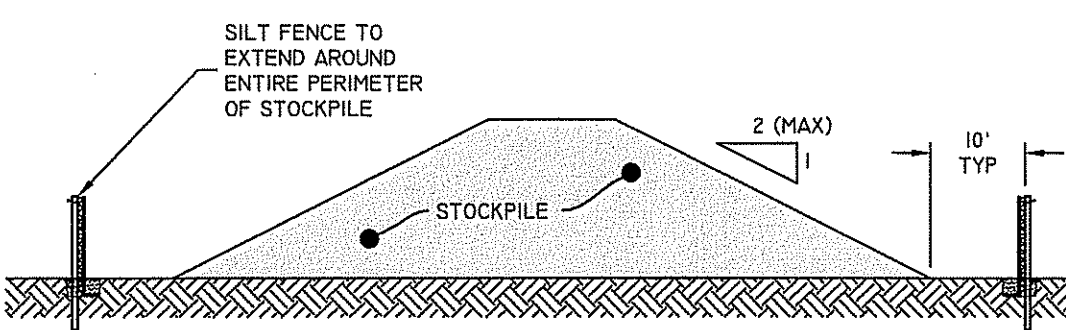
BITUMINOUS BERM

NOT TO SCALE



STORMTECH 4\"/>

NOT TO SCALE

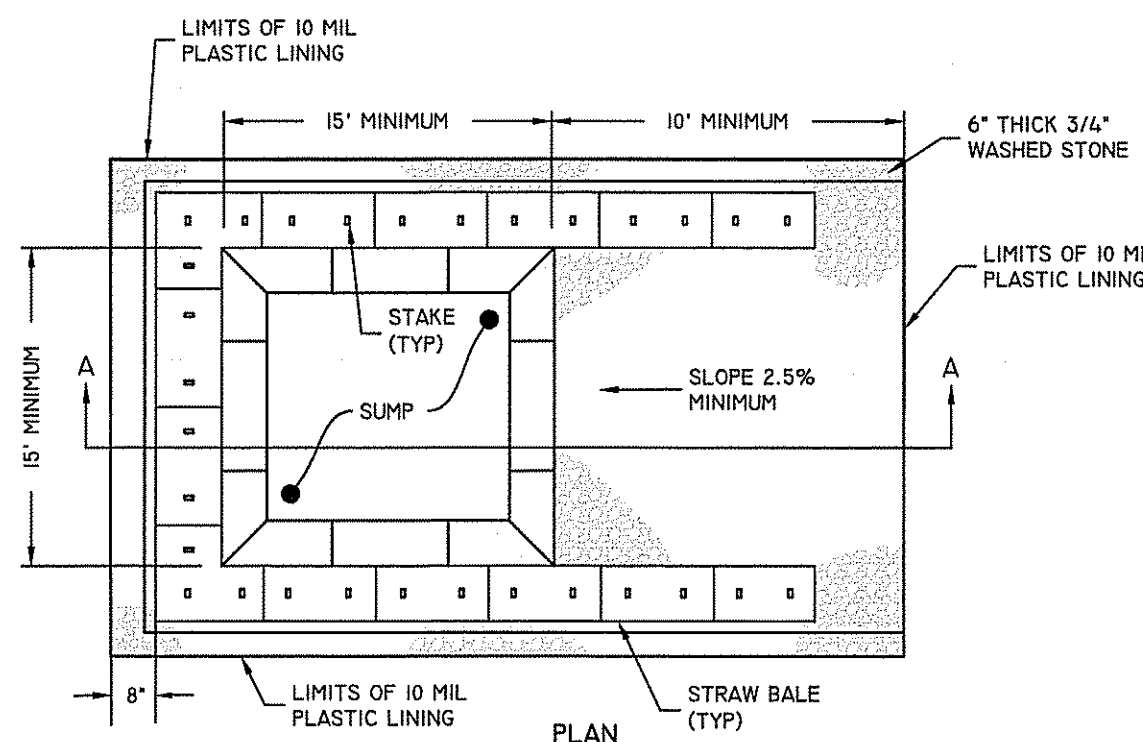


STOCKPILE PROTECTION

NOT TO SCALE

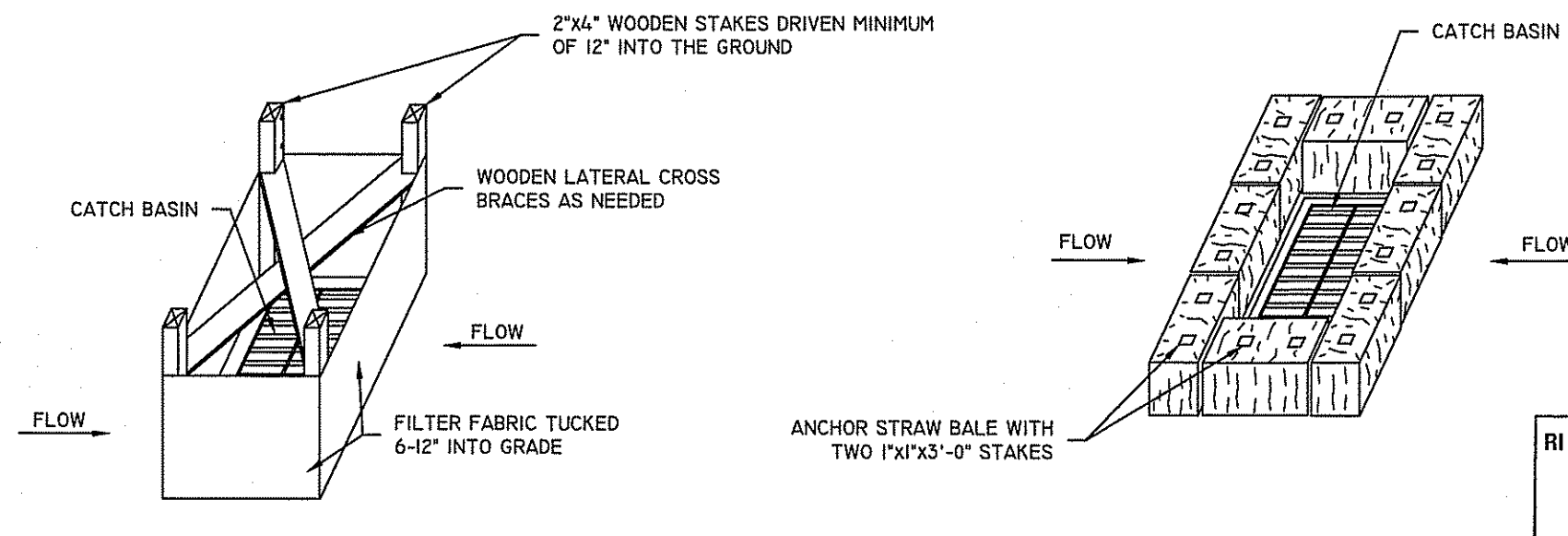
NOTES:

1. ALL STOCKPILES MUST BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH SECTION 3 'STOCKPILE AND STAGING AREA MANAGEMENT' OF THE RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK (CURRENT EDITION).
2. DIVERT ALL STORMWATER AWAY FROM STOCKPILES.
3. SOIL STOCKPILES THAT ARE NOT TO BE USED WITHIN 30 DAYS MUST BE SEEDED AND MULCHED IMMEDIATELY AFTER FORMATION OF THE STOCKPILE WITH SEED MIX COMPATIBLE WITH THE SOIL TYPE.
4. STOCKPILE AND SILT FENCE MUST BE INSPECTED AT LEAST ONCE PER WEEK AND AFTER RAIN EVENTS IN EXCESS OF 1/2\"/>



CONCRETE WASHOUT AREA

NOT TO SCALE



SILT FENCE INSTALLATION FOR CATCH BASINS AT LOW POINTS

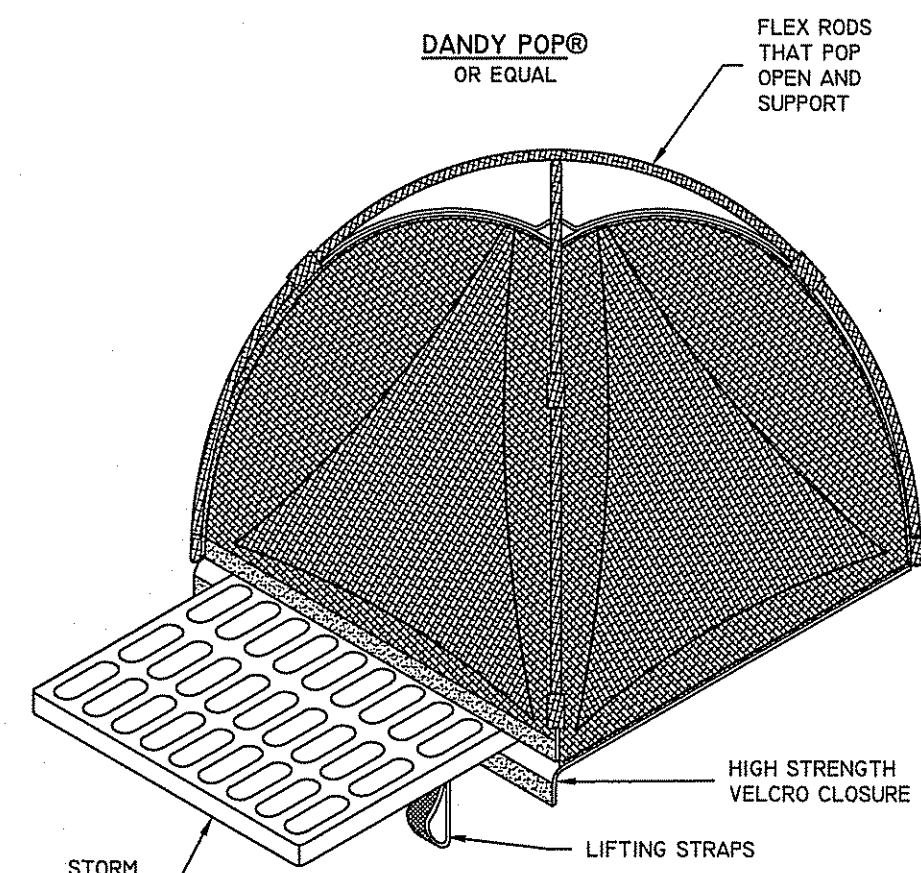
STRAW BALE FILTER INSTALLATION FOR CATCH BASINS AT LOW POINTS

NOTES:

1. STORMWATER INLETS WHICH DO NOT DISCHARGE TO SEDIMENT TRAPS OR BASINS MUST BE PROTECTED UNTIL THE TRIBUTARY AREAS ARE STABILIZED.
2. SEDIMENT MUST BE REMOVED FROM INLET PROTECTION AFTER EACH STORM.
3. REFER TO LONG TERM/SHORT TERM MAINTENANCE NOTES AND OPERATION & MAINTENANCE PLAN FOR TIMING OF PLACEMENT AND REMOVAL OF EROSION CONTROL ELEMENTS.

CATCH BASIN EROSION CONTROL

NOT TO SCALE



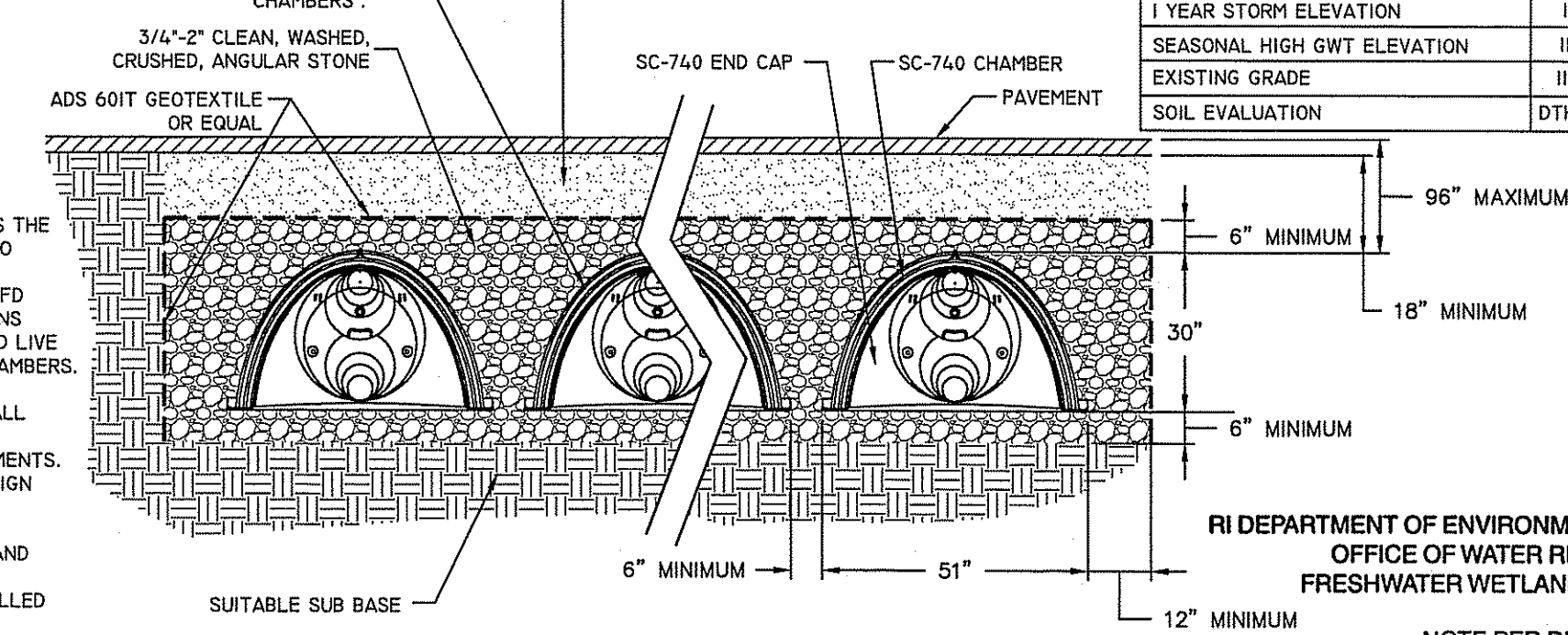
INLET SEDIMENT CONTROL DEVICES

NOT TO SCALE

CHAMBERS SHALL MEET ASTM F2418 'STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS' OR ASTM F2922 'STANDARD SPECIFICATION FOR POLYETHYLENE (PE) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS'.

NOTES:

1. THIS CROSS SECTION DETAILS THE REQUIREMENTS NECESSARY TO SATISFY THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS SECTION 12.12 FOR EARTH AND LIVE LOADS USING STORMTECH CHAMBERS. SEE APPLICABLE STORMTECH CONSTRUCTION GUIDES AND ALL APPLICABLE DOCUMENTS FOR SPECIFIC MATERIAL REQUIREMENTS.
2. SEE LATEST STORMTECH DESIGN MANUAL FOR CURRENT REQUIREMENTS.
3. ALL STORMTECH CHAMBERS AND ASSOCIATED/ ANCILLARY COMPONENTS MUST BE INSTALLED PER MANUFACTURER RECOMMENDATIONS AND THESE PLANS. CONTRACTOR TO NOTIFY DESIGN ENGINEER OF ANY DISCREPANCIES PRIOR TO INSTALLATION.



STORMTECH SC-740 TYPICAL CROSS SECTION

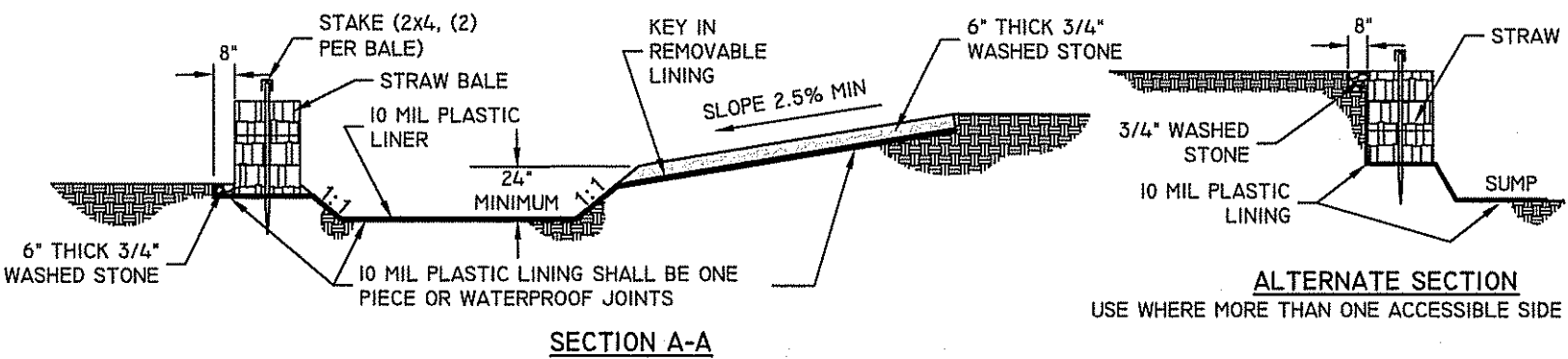
NOT TO SCALE

DESCRIPTION	CART STORAGE	PRO-SHOP	MAINT. BLDG.
TOP OF US STONE ELEVATION	118.00	120.00	119.00
BOTTOM OF US STONE ELEVATION	114.50	116.50	115.50
100 YEAR STORM ELEVATION	116.63	118.96	118.02
10 YEAR STORM ELEVATION	115.56	117.68	116.69
1 YEAR STORM ELEVATION	115.11	117.50	116.14
SEASONAL HIGH GWT ELEVATION	111.00	112.50	111.60
EXISTING GRADE	119.00	120.50	119.60
SOIL EVALUATION	DTH 23-4	DTH 23-3	DTH 23-1

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM

NOTE PER DEM:

Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site



NOTES:

1. PIT IS SPECIFICALLY DESIGNATED, DIKED AND IMPERVIOUS CONTAINMENT TO PREVENT CONTACT BETWEEN CONCRETE WASH AND STORMWATER.
2. WASH WATER SHALL NOT BE ALLOWED TO FLOW TO SURFACE WATER.
3. FACILITY MUST HOLD SUFFICIENT VOLUME TO CONTAIN CONCRETE WASTE WITH A MINIMUM FREEBOARD OF 12\"/>

DiPrete Engineering
Two Stafford Court, Cranston, RI 02920
tel 401-943-1000 fax 401-464-6006 www.diprete-eng.com

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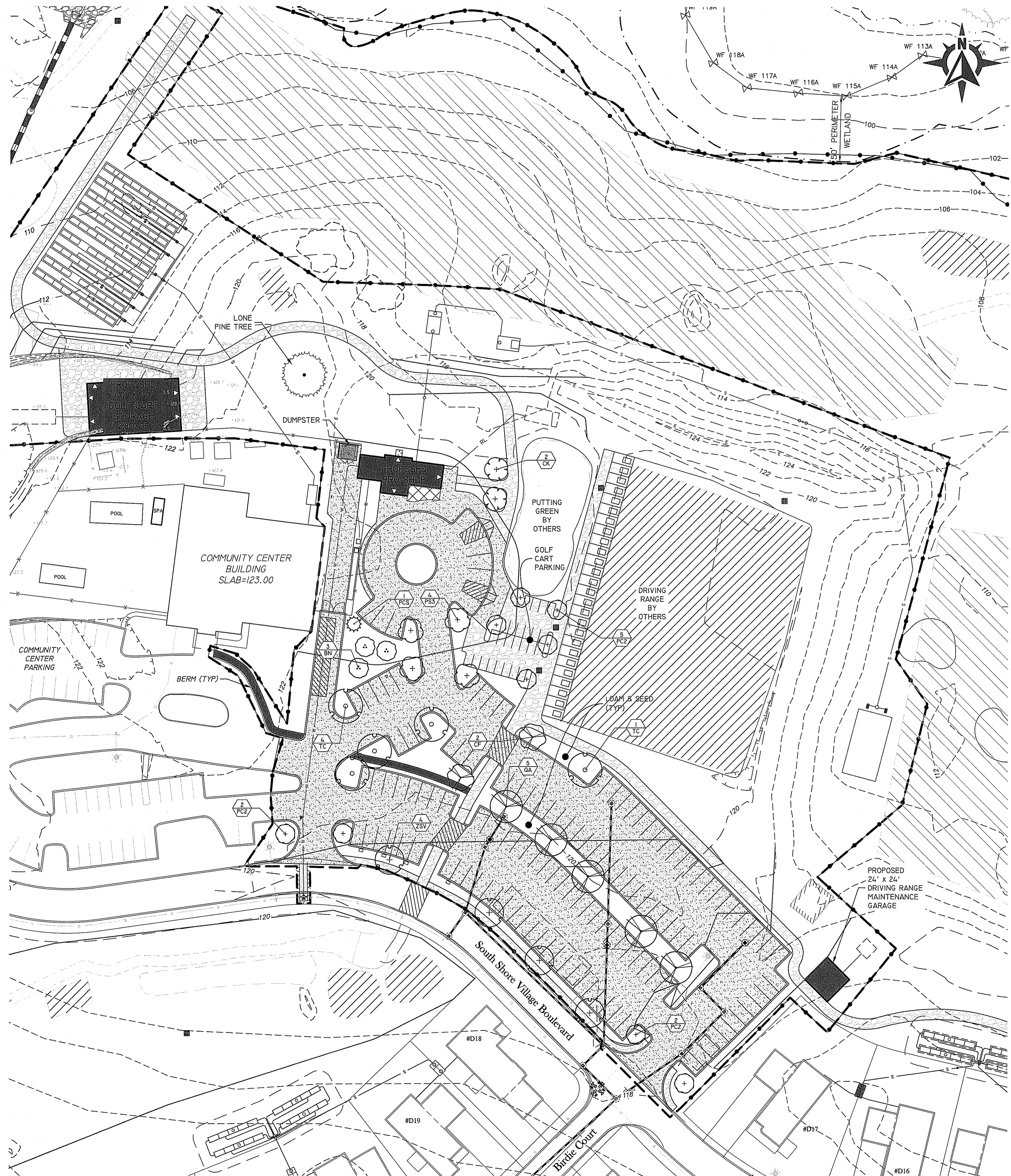
CHRISTOPHER A. DUHAMEL
REGISTERED PROFESSIONAL ENGINEER CIVIL

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL
DATED: FEB 28 2024 FILE #: 21-0063
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE
Martin D. Wenczek

S.P.N.	DATE	DESCRIPTION	BY	DESIGN BY: C.A.D.
4	02-21-2024	RIGHT RESPONSE TO COMMENTS	J.A.R.	
3	01-16-2024	RIGHT RESPONSE TO COMMENTS	J.A.R.	
2	01-16-2024	RIGHT RESPONSE TO COMMENTS	J.A.R.	
1	01-16-2024	FINAL DESIGN PLAN REVIEW	J.A.R.	
0	01-16-2024	FINAL DESIGN SUBMITTAL	J.A.R.	

Detail Sheet
PROPOSED PUBLIC GOLF COURSE
SOUTH SHORE VILLAGE
ASSASSOR'S PLAT 65, LOT 3
SOUTH KINGSTOWN, RHODE ISLAND
PREPARED FOR:
ENVIRO, LLC
497 WEST BEACH ROAD
CHARLESTOWN, RHODE ISLAND 02813, TEL (401) 745-7203
RI REG. NO. 8079-064, COPYRIGHT 2023 BY DIPRETE ENGINEERING ASSOCIATES, INC.

SHEET 9 OF 10



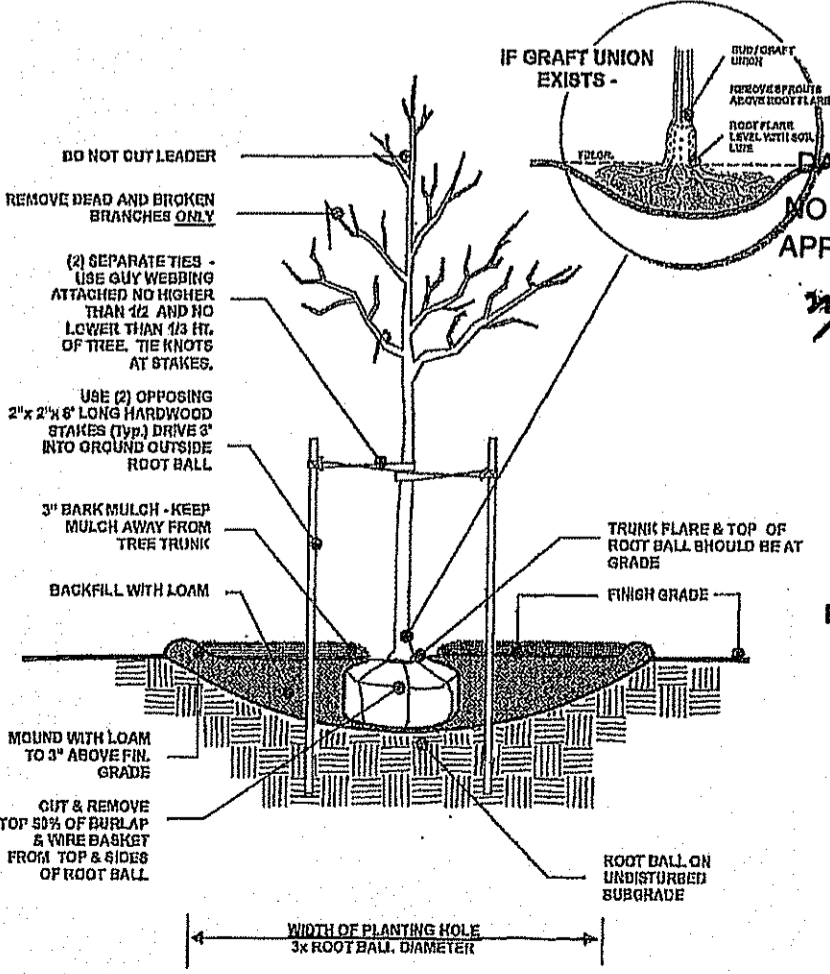
PLANTING NOTES:

- CONTRACTOR TO VERIFY ALL UTILITY LOCATIONS BY NOTIFYING DIG-SAFE (811) AT LEAST 72 HOURS PRIOR TO ANY CONSTRUCTION OR SITE PREPARATION AND ANY/OR ALL LOCAL UTILITY COMPANIES AS REQUIRED.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS BY THE CONTRACTOR. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR THIS PROJECT.
- CONTRACTOR TO PROVIDE A TWO (2) YEAR GUARANTEE FOR ALL PLANT MATERIALS. CONTRACTOR GUARANTEES THAT PLANTS WILL REMAIN HEALTHY FOR TWO (2) GROWING SEASONS. CONTRACTOR TO MAINTAIN ALL PLANTING AND LAWNS UNTIL FINAL PROJECT ACCEPTANCE. GUARANTEE PERIOD TO COMMENCE AT FINAL ACCEPTANCE. ANY REPLACEMENT PLANTS SHALL BE OF THE SAME SIZE AND SPECIES AS SPECIFIED WITH NEW GUARANTEE COMMENCING ON THE DATE OF REPLACEMENT.
- ALL PLANT MATERIAL SHALL CONFORM, IN ALL RESPECTS, TO THE GUIDELINES OF "THE AMERICAN STANDARD FOR NURSERY STOCK," LATEST EDITION, PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION, INC. ALL PLANTS SHALL BE NURSERY GROWN AND SHALL HAVE BEEN GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST TWO (2) YEARS.
- PLANT SUBSTITUTION SELECTION MUST BE APPROVED BY LANDSCAPE ARCHITECT AND/OR OWNER PRIOR TO INSTALLATION. ALL PLANTS TO BE PLANTED SO THAT AFTER SETTLEMENT THEY BEAR THE SAME RELATION TO THE SURROUNDING GROUND AS TO THEIR ORIGINAL GRADE BEFORE DIGGING.
- CREATE SAUCER AROUND INDIVIDUAL PLANTS CAPABLE OF HOLDING WATER. ALL PLANTS TO BE FLOODED WITH CLEAN WATER TWICE WITHIN THE FIRST 24 HOURS OF PLANTING. ADDITIONAL WATERING SHALL BE MADE AS REQUIRED TO KEEP PLANTS FROM WILTING AND DRYING OUT UNTIL FINAL ACCEPTANCE.
- ALL PLANTS TO RECEIVE A MINIMUM OF THREE (3) INCHES OF AGED SHREDED HARDWOOD BROWN MULCH AND SHALL COVER PLANTING BEDS AS SHOWN ON PLANS AND LANDSCAPE PARKING ISLANDS CONTAINING SHRUBS, GRASSES AND GROUNDCOVER. TRIM BROKEN AND DEAD BRANCHES FROM TREES AND SHRUBS AFTER PLANTING. NEVER CUT A LEADER.
- CONTRACTOR TO LOAM AND SEED ALL DISTURBED LANDSCAPE AREAS OUTSIDE OF THE PLANTING BEDS. WILDFLOWER SEED AREA AND ROADSIDE SEED MIX USING AN ENDOPHYTE ENHANCED MIX AT A RATE OF 5-7 LBS. PER 1,000 SF (AVAILABLE AT ALLENS SEED IN EXETER, RI OR OTHER APPROVED DOUGHT TOLERANT ENDOPHYTE ENHANCED SEED MIX) OR AS DIRECTED BY TOWN/OWNER UNLESS OTHERWISE NOTED. STORMWATER SYSTEMS TO BE SEED PER POND DETAILS.
- RECOMMENDED DATES FOR PLANTING ARE MARCH 15 TO JUNE 15 AND SEPTEMBER 15 TO NOVEMBER 15.
- ALL LANDSCAPED AREAS SHALL BE KEPT FREE OF WEEDS AND DEBRIS. ALL VEGETATION WITHIN SAID AREAS SHALL BE MAINTAINED FREE OF PHYSICAL DAMAGE CAUSED BY CHEMICALS, INSECTS, DISEASES, LACK OF WATER OR OTHER CAUSES. DAMAGED PLANTS SHALL BE REPLACED WITH THE SAME OR SIMILAR VEGETATION ON AN ANNUAL BASIS.
- LOAM MOVED ON SITE TO BE STOCKPILED AND RETAINED AND TO BE USED AS REQUIRED FOR THE LANDSCAPE DESIGN. LOAM SHALL NOT BE MIXED WITH ANY UNSUITABLE MATERIALS OR SUBSOIL. EXCESS LOAM TO REMAIN ON THE OWNER'S PROPERTY AND ONLY REMOVED WITH THE OWNERS PERMISSION. NEW LOAM SHALL BE FRIABLE, FERTILE, MEDIUM TEXTURED SANDY LOAM THAT IS FREE OF TOXIC MATERIALS FOR HEALTHY PLANT GROWTH AND SURVIVAL. LOAM SHALL BE FREE OF MATTER 1" OR GREATER IN DIAMETER AND WHEN TESTED SHALL HAVE A PH BETWEEN 5.5 AND 7.5. CONTRACTOR TO PROVIDE 8 INCHES OF GOOD QUALITY LOAM AND/OR REUSE EXISTING LOAM TO PROVIDE A MINIMUM 6 INCH DEPTH.
- IRRIGATION/ LIGHTING BY OTHERS.
- THIS PLAN IS FOR LANDSCAPE PLANTING ONLY.

RI Environmental Management
Office of Water Resources
FEB 23 2024

PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL
	BN	3	BETULA NIGRA 'HERITAGE'	HERITAGE RIVER BIRCH	B & B	1.5'-2.0'
	CF	2	CORNUS FLORIDA	EASTERN DOGWOOD	B & B	1.5'-2.0'
	CK	2	CORNUS KOUSA	KOUSA DOGWOOD	B & B	1.5'-2.0'
	PS3	4	PRUNUS SERRULATA 'KWANZAN'	FLOWERING CHERRY	B & B	1.5'-2.0'
	PC2	9	PYRUS CALLERYANA 'ARISTOCRAT' TM	ARISTOCRAT FLOWERING PEAR	B & B	1.5'-2.0'
	QA	5	QUERCUS ALBA	WHITE OAK	B & B	1.5'-2.0'
	TC	5	TILIA CORDATA	LITTLELEAF LINDEN	B & B	1.5'-2.0'
	ZSV	4	ZELKOVA SERRATA 'VILLAGE GREEN'	SAWLEAF ZELKOVA	B & B	1.5'-2.0'
EVERGREEN TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL
	PCS	1	PICEA GLAUCA	WHITE SPRUCE	6/7' HT	

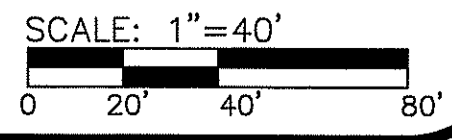


TREE PLANTING DETAIL - TYPICAL

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL
DATED: FEB 28 2024 FILE #: 21-00103
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE
Martin D. Wenczek

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM

NOTE PER DEM:
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DiPrete Engineering
Two Stafford Court, Cranston, RI 02920
Tel: 401-943-6000 Fax: 401-943-6006 www.diprete-eng.com
Boston • Providence • Newport



THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS IT IS APPROVED BY THE RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT, OFFICE OF WATER RESOURCES, FRESHWATER WETLANDS PROGRAM. THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE MEANS, METHODS, MATERIALS, AND EQUIPMENT USED IN THE CONSTRUCTION OF THIS PLAN AND DESIGN. DAMAGES INCURRED DUE TO LOCATIONS OF EXISTING UTILITIES.

NO.	DATE	DESCRIPTION	BY:
1	02-23-2024	PERMIT RESPONSE TO COMMENTS	S.P.N.
2	02-23-2024	PERMIT RESPONSE TO COMMENTS	J.V.P.
3	02-23-2024	ASHEE SHOT PROOF	J.V.P.
4	02-23-2024	PERMIT RESPONSE TO COMMENTS	J.A.R.
5	02-23-2024	PERMIT RESPONSE TO COMMENTS	J.A.R.

DESIGNED BY: J.A.R.
DRAWN BY: J.A.R.

LANDSCAPE PLAN
PROPOSED PUBLIC GOLF COURSE
SOUTH SHORE VILLAGE
ASSESSOR'S PLAT AS OF 3/1/2023
SOUTH KINGSTOWN, RHODE ISLAND
PREPARED FOR:
ENWINE, LLC
497 WEST BEACH ROAD
CHARLESTOWN, RHODE ISLAND 02815, TEL: (401) 743-7203
SHEET 10 OF 10

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Permit Submission

South Shore Village

Gravelly Hill Road

South Kingstown, Rhode Island

A.P. 65, Lot 3

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS AS
 SPECIFIED IN THE LETTER OF APPROVAL
 DATED: DEC 20 2022 FILE # 21-0063
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

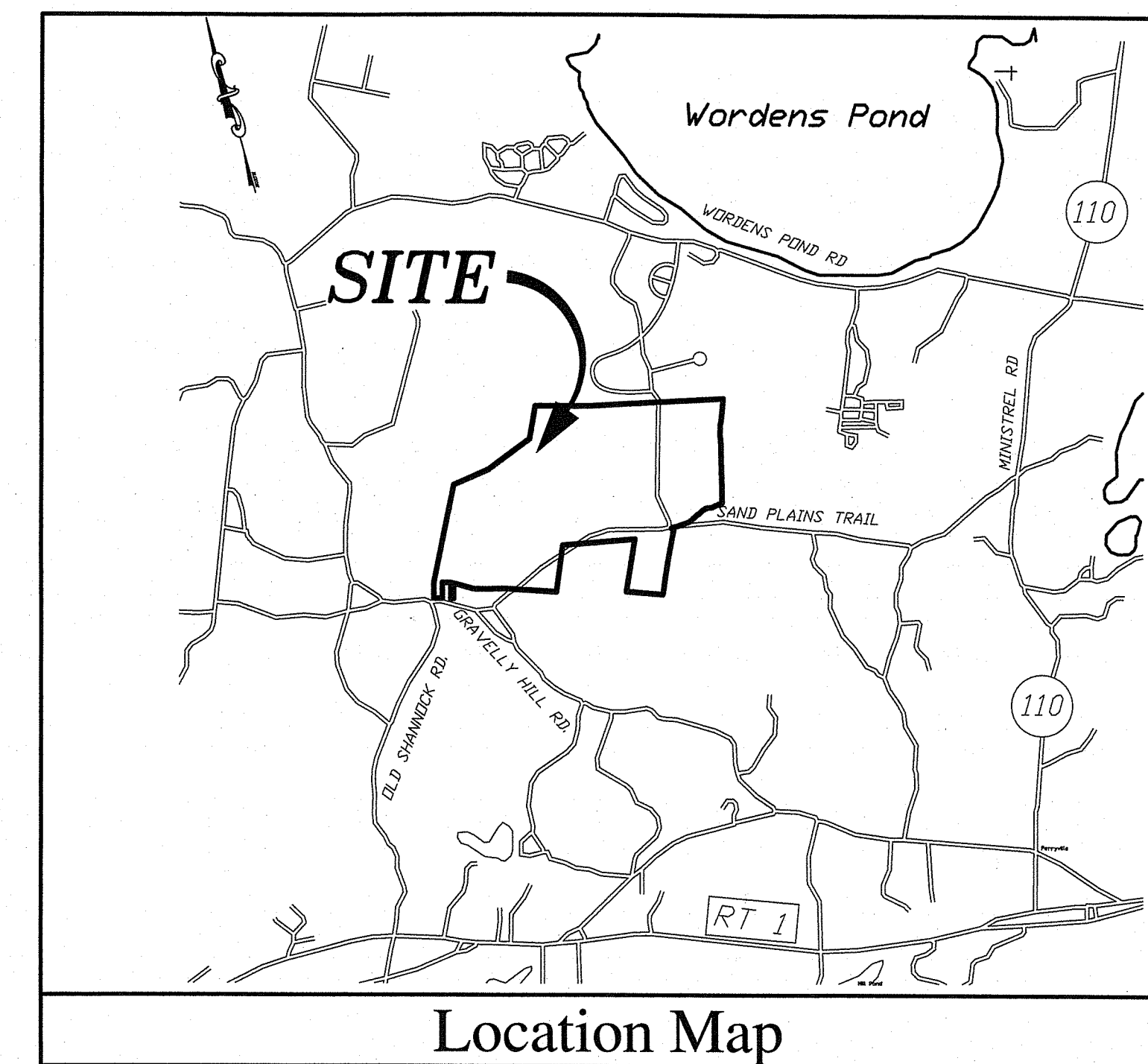
Martin D. Senn

Owner/Applicant:
Envine, LLC
 497 West Beach Road
 Charlestown, Rhode Island 02813
 401-743-7203

Engineer:
DiPrete Engineering
 Two Stafford Court
 Cranston, Rhode Island 02920
 Tel: (401) 943-1000 Fax: (401) 464-6006

NO.	DATE	DESCRIPTION
9	07/27/2021	RIEM - RESPONSE TO COMMENTS P. 5.1
8	05/27/2021	RIEM - RESPONSE TO COMMENTS P. 5.1
7	05/27/2021	RIEM - RESPONSE TO COMMENTS P. 5.1
6	01/19/2021	RIEM - RESPONSE TO COMMENTS P. 5.1
5	01/19/2021	RIEM - RESPONSE TO COMMENTS P. 5.1
4	01/19/2021	RIEM - RESPONSE TO COMMENTS P. 5.1
3	01/19/2021	RIEM - RESPONSE TO COMMENTS P. 5.1
2	01/19/2021	RIEM - RESPONSE TO COMMENTS P. 5.1
1	01/19/2021	RIEM - RESPONSE TO COMMENTS P. 5.1

- ### Sheet Index
1. Cover Sheet
 2. Aerial 1/2 Mile Radius
 - 3 - 8. Existing Conditions
 9. Overall Site Plan
 - 10 - 17. Grading Plans
 - 18 - 19. Detail Sheets
 20. SESC Plan



COVER SHEET
 South Shore Village
 AP 65, LOT 3
 SOUTH KINGSTOWN, RHODE ISLAND

CHRISTOPHER A. DUHAMEL
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL

RI Environmental Management
 AUG 01 2022
 Office of Water Resources

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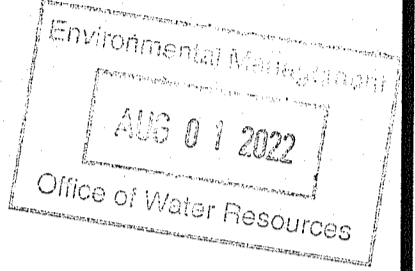
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OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM

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RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL
DATED: DEC 20 2022 FILE # 21-0003
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE



Martin D. Wenzel

A.P. 65, LOT 1
N/F
TRUSTEES OF THE SOUTH KINGSTOWN TRUST

A.P. 65, PORTION OF LOT 8 & A.P. 60, LOT 4
N/F
AREA OF TUCKERTOWN VILLAGE PARK, LLC

A.P. 66, LOT 23
N/F
WORDON'S FARM FAMILY CAMPGROUND

A.P. 66, LOT 25
N/F
TRI-LEVEL CONSTRUCTION CO INC

A.P. 66, LOT 28
N/F
WILFRED E & ESTELLA J. SNOW

A.P. 66, LOT 4
N/F
MICHAEL & KARISSA FULLER

A.P. 66, LOT 5
N/F
SCOTT & WENDY BOSQUET

A.P. 66, LOT 7
N/F
ANN M. TRAMONTANO, DAVID

A.P. 72-2, LOT 21
N/F
PETER & DIANA LEE DIERAUF

A.P. 72-2, LOT 34
N/F
PETER & DIANA LEE DIERAUF

A.P. 65, LOT 12
N/F
KAREN A. & LOUIS J. TREMBLAY

A.P. 72-1, LOT 42
N/F
WILLIAM A. RAPOSA

A.P. 72-1, LOT 41
N/F
SCOTT W. & LOIS V. BABCOCK

A.P. 72-1, LOT 40
N/F
DAVID L. & JENNIFER CUNNINGHAM

A.P. 72-1, LOT 39
N/F
WILLIAM R. BAILLIE

A.P. 72-2, LOT 22
(OS)

DIMENSIONAL REGULATIONS

ZONING: R-40 (MANUFACTURED HOME REGS.)
MINIMUM LOT AREA 6,000 SF
MINIMUM FRONTAGE 50 FT
MINIMUM FRONT YARD SETBACK 15 FT
MINIMUM DISTANCE BETWEEN BUILDINGS 30 FT

DEVELOPMENT DATA

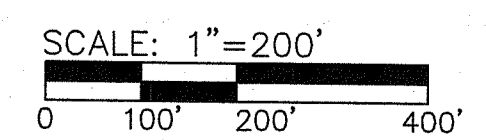
GROSS AREA OF PARCEL 264.6 AC
AREA OF DISTURBANCE 99.4 AC
NUMBER OF 2-BEDROOM UNITS 303 UNITS
LENGTH OF ROADWAY 15,700 FT

General Notes

- RESIDENTIAL HOMES PROPOSED AS 2-BEDROOM SENIOR HOUSING AS DEFINED BY THE R.I. FAIR HOUSING PRACTICES ACT. HOMES TO BE SERVICED BY PUBLIC WATER AND OWTS
- PRIVATE RIGHTS-OF-WAY ARE PROPOSED.
- THE STORMWATER MANAGEMENT SYSTEM IS DESIGNED TO RIDEM BEST MANAGEMENT PRACTICES (BMP'S) TO CONTROL RUNOFF ON-SITE.
- GOLF COURSE IRRIGATION SYSTEM TO BE DESIGNED BY OTHERS.
- PROJECT PHASING:
PHASE C = 65 UNITS
PHASE D = 77 UNITS
PHASE E = 41 UNITS
TOTAL 183 UNITS
- THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING FINISH GRADING AND DRAINAGE AROUND THE BUILDING TO ENSURE SURFACE WATER AND/OR GROUND WATER ARE DIRECTED AWAY FROM THE STRUCTURE. THIS PLAN SHOWS GENERAL GRADING ONLY AND ADDITIONAL DETAIL IS LIKELY TO BE REQUIRED AROUND THE BUILDING.
- THE CONTRACTOR SHALL COORDINATE WITH ALL OF THE APPROPRIATE UTILITY COMPANIES FOR AGREEMENTS TO SERVICE THE PROPOSED BUILDING. THIS SHALL BE DONE PRIOR TO CONSTRUCTION. NO REPRESENTATIONS ARE MADE BY DEA THAT UTILITY SERVICE IS AVAILABLE.
- ALL EXISTING UTILITIES SHOWN ARE FROM VISIBLE INFORMATION, DRAWINGS BY OTHERS, OR INFORMATION PROVIDED TO DEA AND ARE SUBJECT TO CHANGE. NO ONE SHOULD RELY ON THE UTILITY LOCATIONS SHOWN FOR CONSTRUCTION AND DIG SAFE SHOULD BE NOTIFIED PRIOR TO ANY WORK.

RIDEM Site Suitability Notes

- THERE ARE NO KNOWN EXISTING OR PROPOSED PRIVATE WELLS WITHIN 200 FT. OF THE PROPOSED DEVELOPMENT EXCEPT WHERE SHOWN.
- THERE ARE NO KNOWN EXISTING OR PROPOSED ISDS'S WITHIN 200 FT. OF THE DEVELOPMENT EXCEPT WHERE SHOWN.
- THERE ARE NO KNOWN PUBLIC WELLS WITHIN 500 FT. OF THE PROPOSED DEVELOPMENT.
- THERE ARE NO KNOWN EXISTING OR PROPOSED WELLS WITHIN 200 FT. OF A PROPOSED ISDS EXCEPT WHERE SHOWN.

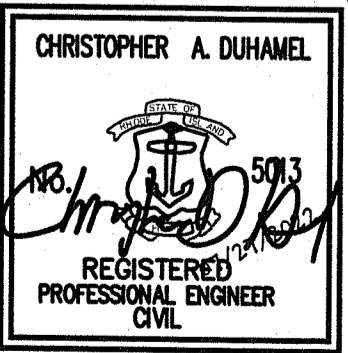


Owner/Applicant:
Envine, LLC
497 West Beach Road
Charlestown, Rhode Island 02813
401-743-7203

Engineer:
DiPrete Engineering
Two Stafford Court
Cranston, Rhode Island 02920
Tel: (401) 943-1000 Fax: (401) 464-6006

NO.	DATE	DESCRIPTION	BY
1	9/10/22	RESPONSE TO COMMENTS ASH	AS
2	10/17/22	FORM - RESPONSE TO COMMENTS ASH	AS
3	10/24/22	FORM - RESPONSE TO COMMENTS ASH	AS
4	11/01/22	FORM - RESPONSE TO COMMENTS ASH	AS
5	11/01/22	FORM - SUBMISSION - PERMIT 2	AS
6	11/01/22	FINAL RECORDING	AS
7	11/01/22	FINAL RECORDING	AS
8	11/01/22	FINAL RECORDING	AS
9	11/01/22	FINAL RECORDING	AS

OVERALL SITE PLAN
South Shore Village
SOUTH KINGSTOWN, RHODE ISLAND



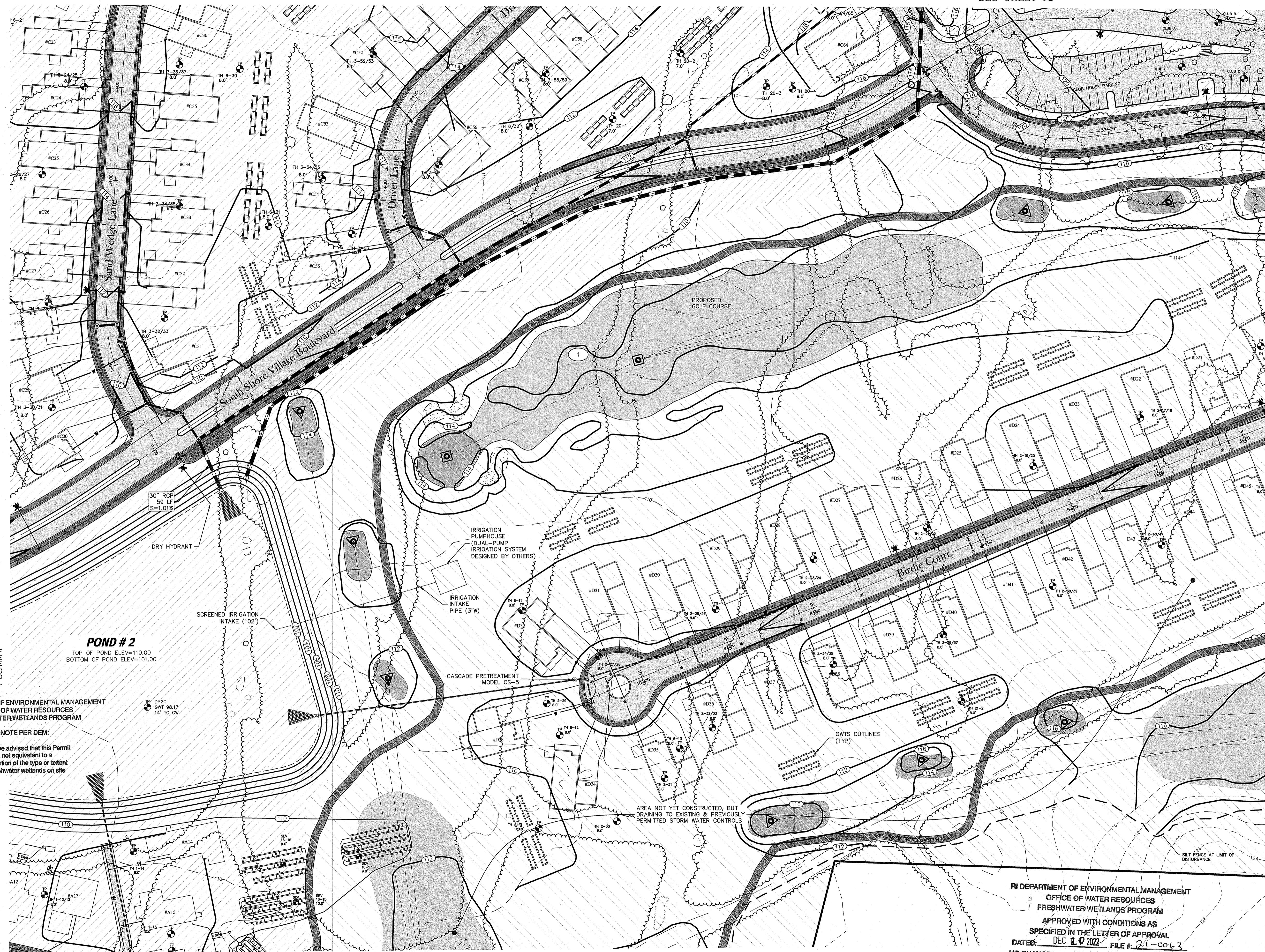
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SEE SHEET 11

SEE SHEET 12



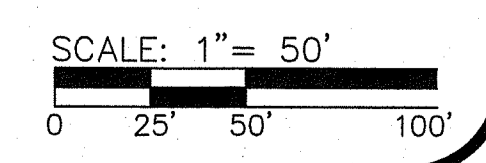
NOTE: AT THE CONCLUSION OF THE GOLF SEASON, OR ON 15 NOVEMBER AT THE LATEST, THE IRRIGATION POND SHALL BE PUMPED DOWN APPROXIMATELY 1' (ONE FOOT) BELOW THE NORMAL POOL ELEVATION TO IMPROVE DOWNSTREAM SEDIMENT REMOVAL.

POND #2
TOP OF POND ELEV=110.00
BOTTOM OF POND ELEV=101.00

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM

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RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
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APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL
DATED: DEC 10 2022 FILE # 21-0063
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE
Partie B. Wensch



SEE SHEET 13

Environmental Management
Office of Water Resources
AUG 01 2022

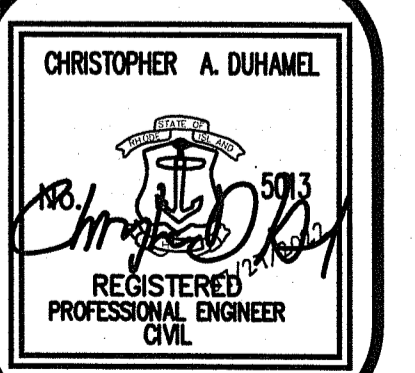
Original Applicant:
Envine, LLC
497 West Beach Road
Charlestown, Rhode Island 02813
401-743-7203

Engineer:
DiPrete Engineering
Two Stafford Court
Cranston, Rhode Island 02920
Tel: (401) 943-1000 Fax: (401) 464-6006

NO.	DATE	DESCRIPTION
1	07/27/2021	ISSUE TO COMMENTS AS SHOWN
2	08/10/2021	RESPONSE TO COMMENTS AS SHOWN
3	08/17/2021	RESPONSE TO COMMENTS AS SHOWN
4	07/19/2022	REVISION - PERMIT 2
5	07/19/2022	FINAL RECORDING - PERMIT 2
6	07/19/2022	FINAL SUBMISSION
7	07/19/2022	FINAL SUBMISSION
8	07/19/2022	FINAL SUBMISSION
9	07/19/2022	FINAL SUBMISSION

GRADING AND SITE PLAN - 1

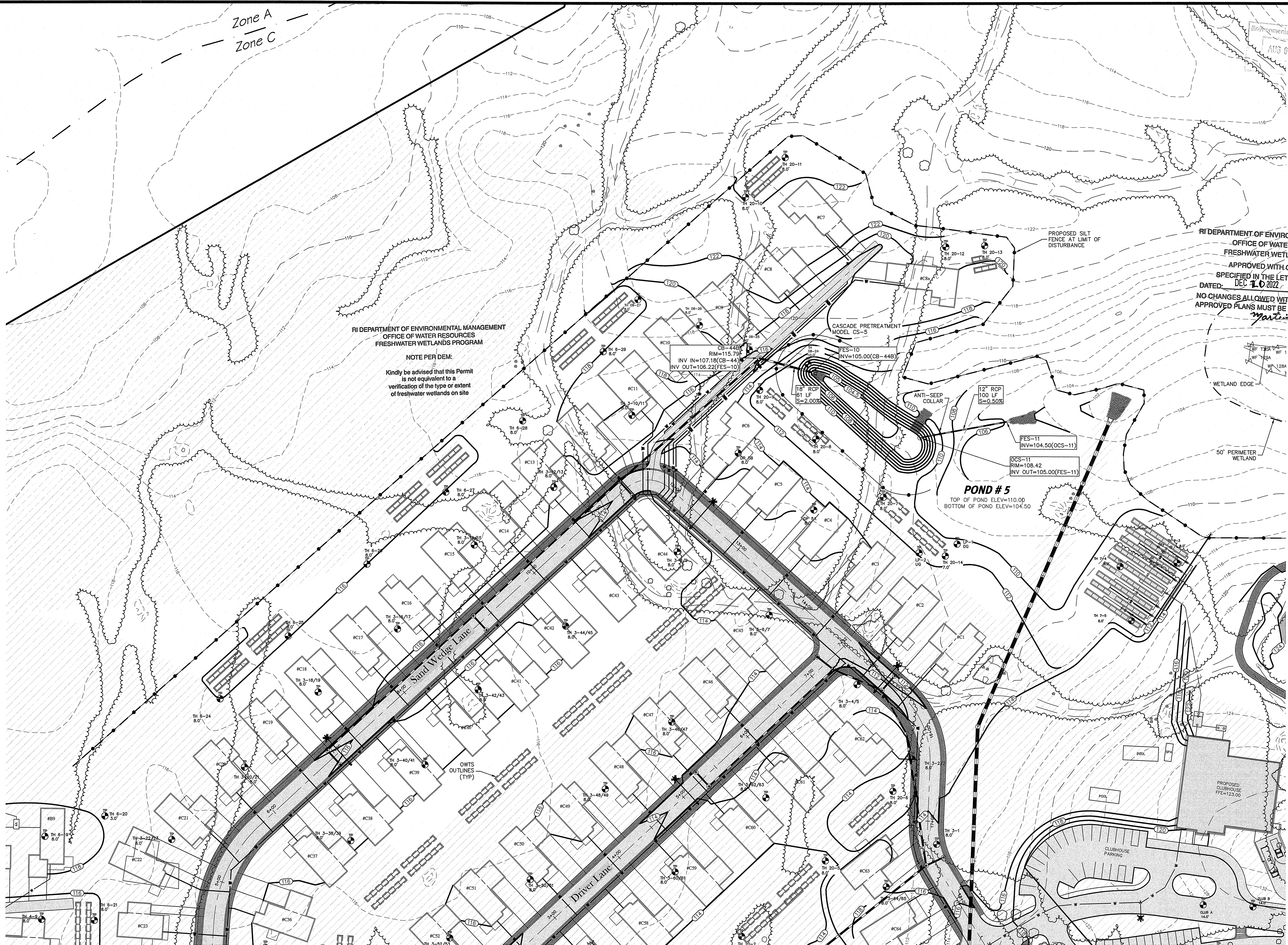
South Shore Village
AP 65 LOT 3
SOUTH KINGSTOWN, RHODE ISLAND



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of 20

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Zone A
Zone C

Environmental Management
AUG 01 2022

SEE SHEET 17

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
NOTE PER DEM:
Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL DATED: DEC 10 2022 FILE # 21-0063
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE
Martin D. Wernick

POND # 5
TOP OF POND ELEV=110.00
BOTTOM OF POND ELEV=104.50

CASCADE PRETREATMENT MODEL CS-5
FES-10
INV=105.00(CB-448)

CB-448
RIM=115.79
INV IN=107.18(CB-448)
INV OUT=106.22(FES-10)

FES-11
INV=104.50(OCS-11)

OCS-11
RIM=108.42
INV OUT=105.00(FES-11)

SEE SHEET 12

SEE SHEET 10

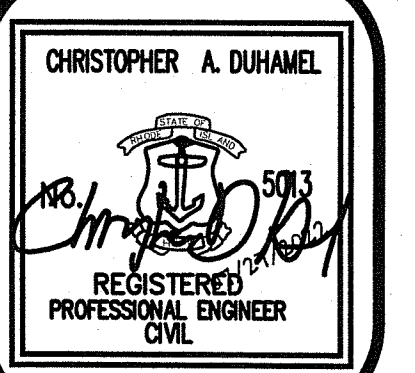
Owner/Applicant:
Envine, LLC
497 West Beach Road
Charlestown, Rhode Island 02813
401-743-7203

Engineer:
DiPrete Engineering
Two Stafford Court
Cranston, Rhode Island 02920
Tel: (401) 943-1000 Fax: (401) 464-6006

NO.	DATE	DESCRIPTION
1	10/17/2021	PRELIMINARY SUBMISSION
2	11/17/2021	RESPONSE TO COMMENTS AS SHOWN
3	12/17/2021	RESPONSE TO COMMENTS AS SHOWN
4	1/17/2022	RESPONSE TO COMMENTS AS SHOWN
5	2/17/2022	RESPONSE TO COMMENTS AS SHOWN
6	3/17/2022	RESPONSE TO COMMENTS AS SHOWN
7	4/17/2022	FINAL RECORDING - PERMIT 2
8	5/17/2022	FINAL RECORDING - PERMIT 2
9	6/17/2022	FINAL RECORDING - PERMIT 2

GRADING AND SITE PLAN - 2

South Shore Village
AP 65 LOT 3
SOUTH KINGSTOWN, RHODE ISLAND



Sheet

114
13
of 20

SCALE: 1" = 50'
0 25' 50' 100'

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SEE SHEET 17

SEE SHEET 10

SEE SHEET 14

SEE SHEET 10

SEE SHEET 13

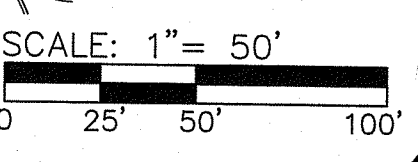


RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM

NOTE PER DEM:
Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL
DATED: DEC 10 2022 FILE # 21-0063
CHANGES ALLOWED WITHOUT THE APPROVAL OF THE PERMITTING AGENCY MUST BE AT THE PERMITTEE'S RISK AND MUST BE AT THE PERMITTEE'S RISK

Martin D. Senack



Owner/Applicant:
Envine, LLC
497 West Beach Road
Charlestown, Rhode Island 02813
401-743-7203

Engineer:
DiPrete Engineering
Two Stafford Court
Cranston, Rhode Island 02920
Tel: (401) 943-1000 Fax: (401) 464-6006

NO.	DATE	DESCRIPTION
1	08/15/22	PRELIMINARY SUBMISSION
2	08/15/22	REVISIONS
3	08/15/22	REVISIONS
4	08/15/22	REVISIONS
5	08/15/22	REVISIONS
6	08/15/22	REVISIONS
7	08/15/22	REVISIONS
8	08/15/22	REVISIONS
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11	08/15/22	REVISIONS
12	08/15/22	REVISIONS
13	08/15/22	REVISIONS
14	08/15/22	REVISIONS
15	08/15/22	REVISIONS
16	08/15/22	REVISIONS
17	08/15/22	REVISIONS
18	08/15/22	REVISIONS
19	08/15/22	REVISIONS
20	08/15/22	REVISIONS

GRADING AND SITE PLAN - 3
South Shore Village
AP 65, LOT 3
SOUTH KINGSTOWN, RHODE ISLAND

CHRISTOPHER A. DURAMEL
CR
REGISTERED PROFESSIONAL ENGINEER
CIVIL

Sheet
12
/ 3
of 20

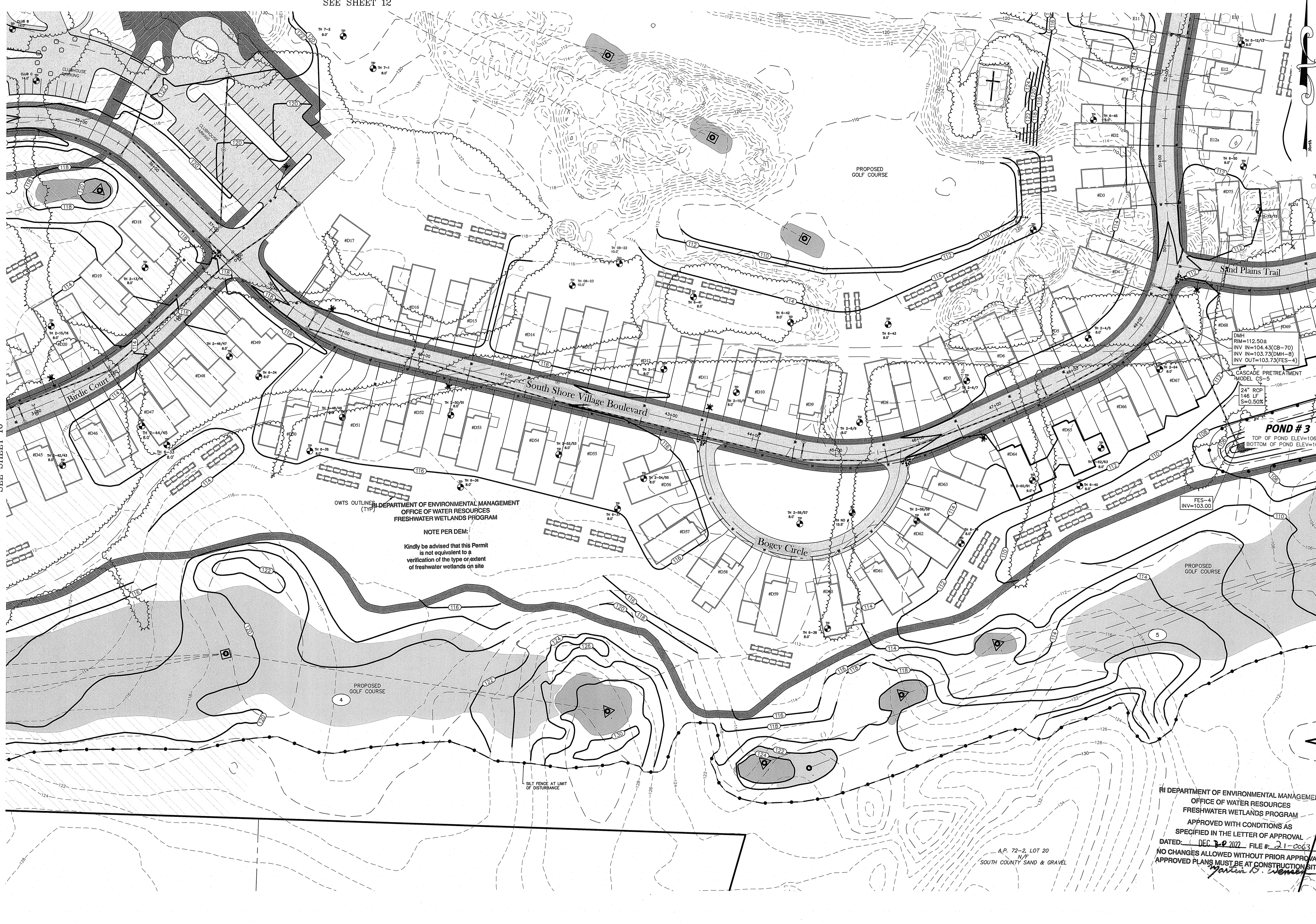
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DEA Job No: 0677-004 Copyright © 2021 by DiPrete Engineering Associates, Inc.

SEE SHEET 12

SEE SHEET 10

SEE SHEET 14



OWTS OUTLINE DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM

NOTE PER DEM:
Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site

24" RCP
146 LF
S=0.50%

POND #3
TOP OF POND ELEV=106.00
BOTTOM OF POND ELEV=102.00

FES-4
INV=103.00

A.P. 72-2, LOT 20
N/E
SOUTH COUNTY SAND & GRAVEL

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL
DATED: DEC 7 2022 FILE # 21-0063
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

SCALE: 1" = 50'
0 25' 50' 100'

Environmental Management
AUG 21 2022
Office of Water Resources

Owner/Applicant:
Envinc, LLC
497 West Beach Road
Charlestown, Rhode Island 02813
401-743-7203

Engineer:
DiPrete Engineering
Two Starford Court
Cranston, Rhode Island 02920
Tel: (401) 943-1000 Fax: (401) 464-6006

NO.	DATE	DESCRIPTION	BY
1	07/27/2022	FORM - RESPONSE TO COMMENTS A.S.M.	
2	08/04/2022	FORM - RESPONSE TO COMMENTS A.S.M.	
3	08/04/2022	FORM - RESPONSE TO COMMENTS A.S.M.	
4	07/29/2022	FORM - RESPONSE TO COMMENTS A.S.M.	
5	07/29/2022	FINAL RECORDING - PERMIT 2	
6	07/29/2022	FINAL RECORDING - PERMIT 2	
7	07/29/2022	FINAL RECORDING - PERMIT 2	
8	07/29/2022	FINAL RECORDING - PERMIT 2	
9	07/29/2022	FINAL RECORDING - PERMIT 2	

GRADING AND SITE PLAN - 4
South Shore Village
AP 65, LOT 3
SOUTH KINGSTOWN, RHODE ISLAND

CHRISTOPHER A. DUHAMEL
REGISTERED PROFESSIONAL ENGINEER
CIVIL

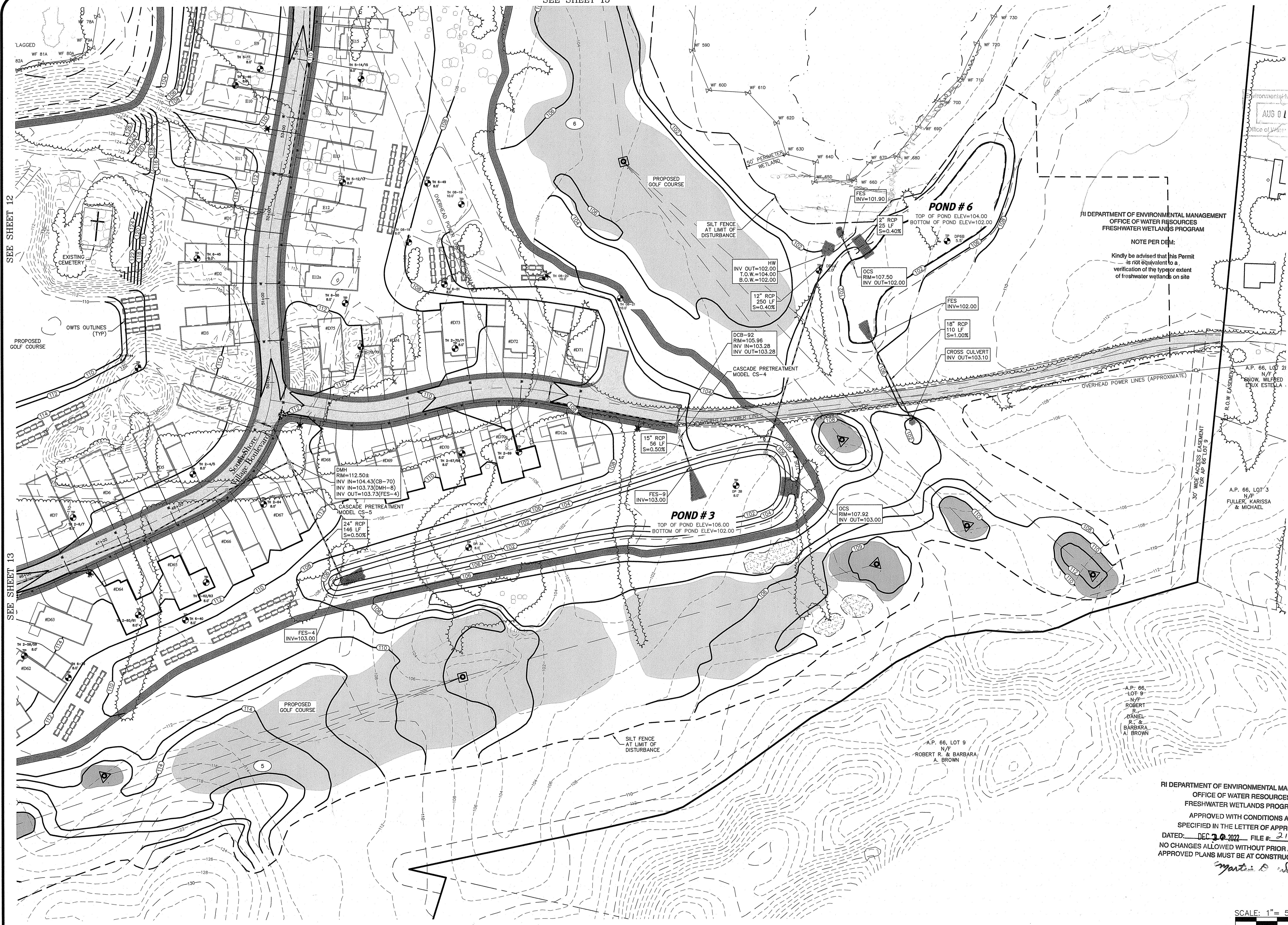
Sheet
13
of 20

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SEE SHEET 15

SEE SHEET 12

SEE SHEET 13



RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM

NOTE PER DEM:
 Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site

AUG 01 2022
 Office of Water Resources
 Environmental Management

Owner/Applicant:
Envine, LLC
 497 West Beach Road
 Charlestown, Rhode Island 02813
 401-743-7203

Engineer:
DiPrete Engineering
 Two Stafford Court
 Cranston, Rhode Island 02920
 Tel: (401) 943-1000 Fax: (401) 464-6006

NO.	DATE	DESCRIPTION
1	07/17/2021	REVISION - RESPONSE TO COMMENTS A.S.I.
2	07/17/2021	REVISION - RESPONSE TO COMMENTS A.S.I.
3	07/17/2021	REVISION - RESPONSE TO COMMENTS A.S.I.
4	07/17/2021	REVISION - RESPONSE TO COMMENTS A.S.I.
5	07/17/2021	REVISION - RESPONSE TO COMMENTS A.S.I.
6	07/17/2021	REVISION - RESPONSE TO COMMENTS A.S.I.
7	07/17/2021	REVISION - RESPONSE TO COMMENTS A.S.I.
8	07/17/2021	REVISION - RESPONSE TO COMMENTS A.S.I.
9	07/17/2021	REVISION - RESPONSE TO COMMENTS A.S.I.
10	07/17/2021	REVISION - RESPONSE TO COMMENTS A.S.I.
11	07/17/2021	REVISION - RESPONSE TO COMMENTS A.S.I.
12	07/17/2021	REVISION - RESPONSE TO COMMENTS A.S.I.
13	07/17/2021	REVISION - RESPONSE TO COMMENTS A.S.I.
14	07/17/2021	REVISION - RESPONSE TO COMMENTS A.S.I.
15	07/17/2021	REVISION - RESPONSE TO COMMENTS A.S.I.
16	07/17/2021	REVISION - RESPONSE TO COMMENTS A.S.I.
17	07/17/2021	REVISION - RESPONSE TO COMMENTS A.S.I.
18	07/17/2021	REVISION - RESPONSE TO COMMENTS A.S.I.
19	07/17/2021	REVISION - RESPONSE TO COMMENTS A.S.I.
20	07/17/2021	REVISION - RESPONSE TO COMMENTS A.S.I.

GRADING AND SITE PLAN - 5

South Shore Village
 AP 65 LOT 3
 SOUTH KINGSTOWN, RHODE ISLAND

CHRISTOPHER A. DUHAMEL
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM

APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL

DATED: DEC 10 2022 FILE #: 21-0063

NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Martin D. Semak

SCALE: 1" = 50'
 0 25' 50' 100'

Sheet
147
 of 20

z:\main\projects\0677-004\sec3\autoacad\drawings\0677-004-dsm-wlp-2021.dwg Plotted: 2023-07-27



Environmental Management
 AUG 01 2022
 Office of Water Resources

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 NOTE PER DEM:
 Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL
 DATE: DEC 20 2022 FILE # 21-0063
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE
Martin D. Semak

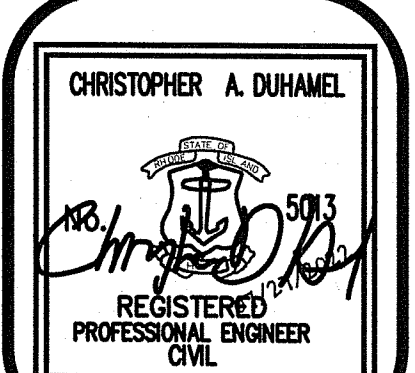
SCALE: 1" = 50'
 0 25' 50' 100'

Owner/Applicant:
Envine, LLC
 497 West Beach Road
 Charlestown, Rhode Island 02813
 401-743-7203

Engineer:
DiPrete Engineering
 Two Stafford Court
 Cranston, Rhode Island 02920
 Tel: (401) 943-1000 Fax: (401) 464-6006

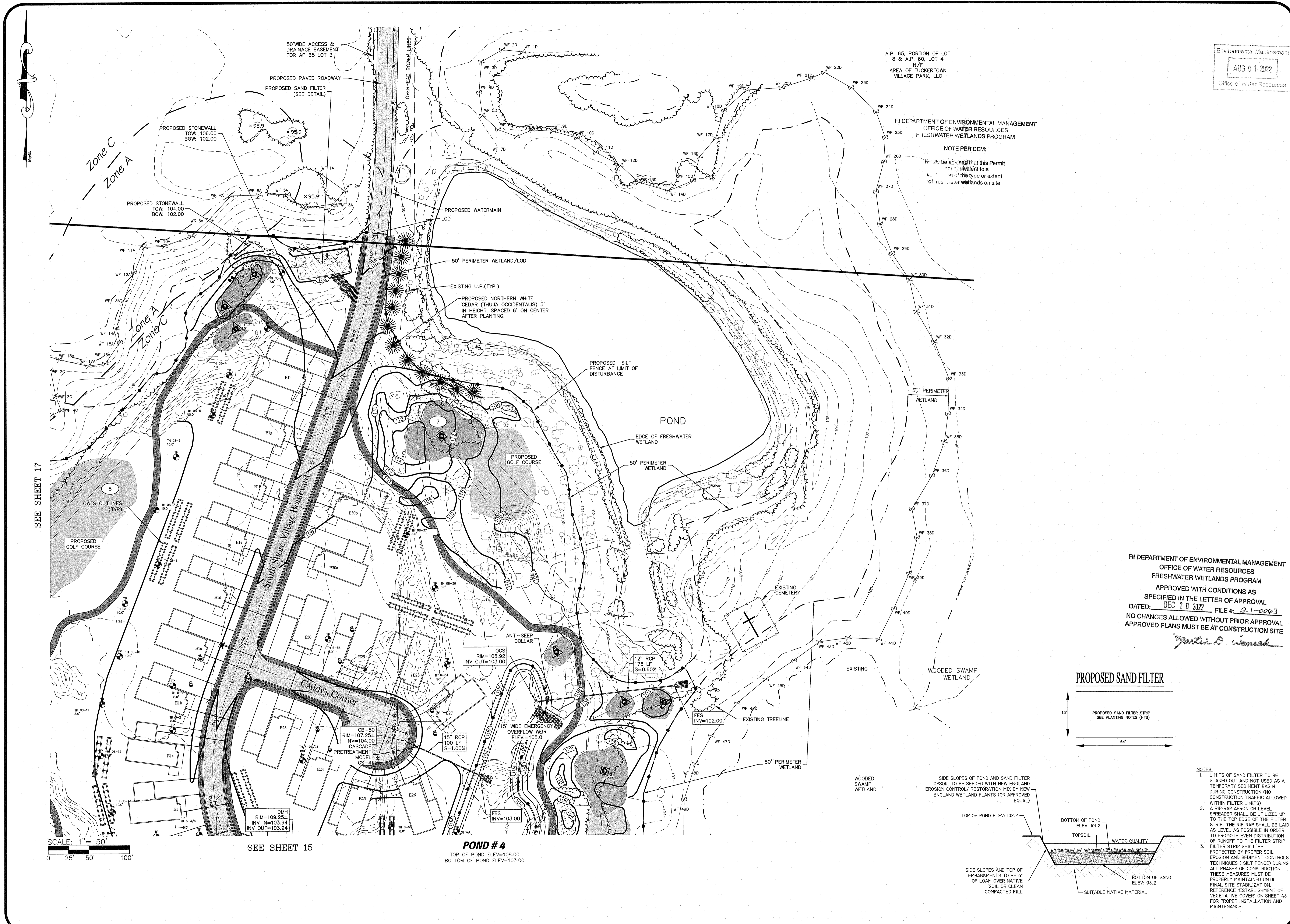
NO.	DATE	DESCRIPTION
1	07/20/2021	PERMIT RESPONSE TO COMMENTS
2	07/27/2021	PERMIT RESPONSE TO COMMENTS
3	08/17/2021	PERMIT RESPONSE TO COMMENTS
4	09/02/2021	PERMIT RESPONSE TO COMMENTS
5	09/02/2021	PERMIT RESPONSE TO COMMENTS
6	09/02/2021	PERMIT RESPONSE TO COMMENTS
7	09/02/2021	PERMIT RESPONSE TO COMMENTS
8	09/02/2021	PERMIT RESPONSE TO COMMENTS
9	09/02/2021	PERMIT RESPONSE TO COMMENTS
10	09/02/2021	PERMIT RESPONSE TO COMMENTS

GRADING AND SITE PLAN - 6
South Shore Village
 AP 65, LOT 3
 SOUTH KINGSTOWN, RHODE ISLAND



Sheet
15
 of 20

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Environmental Management
 AUS 01 2022
 Office of Water Resources

A.P. 65, PORTION OF LOT 8 & A.P. 60, LOT 4
 N/W
 AREA OF TUCKERTOWN VILLAGE PARK, LLC

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM

NOTE PER DEM:
 Kindly be advised that this Permit is equivalent to a Wetland of the type or extent of freshwater wetlands on site

Owner/Applicant:
Envine, LLC
 497 West Beach Road
 Charlestown, Rhode Island 02813
 401-743-7203

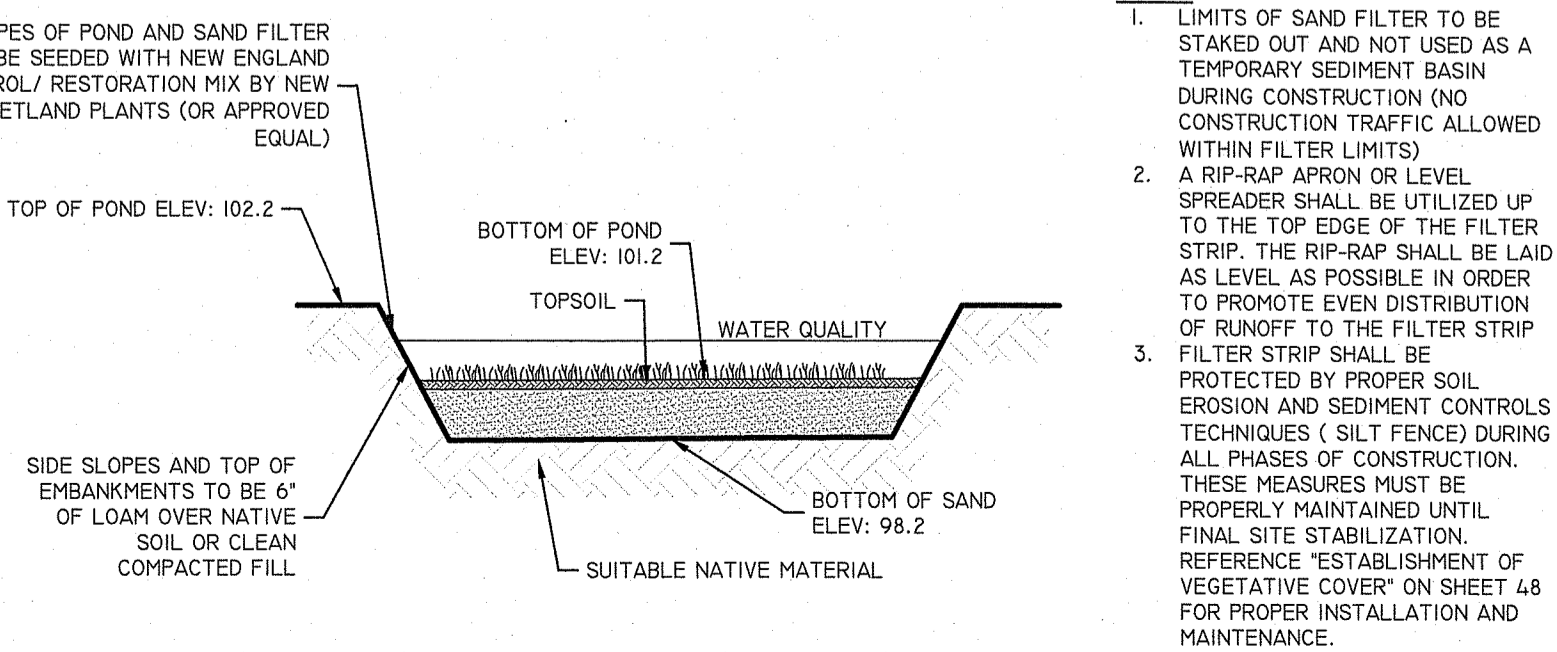
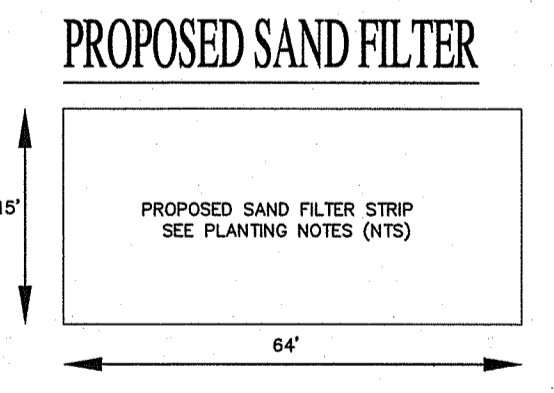
Engineer:
Diprete Engineering
 Two Stafford Court
 Cranston, Rhode Island 02920
 Tel: (401) 943-1000 Fax: (401) 464-6006

NO.	DATE	DESCRIPTION
9	10/17/2021	RIEM - RESPONSE TO COMMENTS P.1
8	10/17/2021	RIEM - RESPONSE TO COMMENTS P.2
7	05/27/2021	RIEM - RESPONSE TO COMMENTS P.3
6	01/16/2021	RIEM - RESPONSE TO COMMENTS P.4
5	12/22/2020	RIEM - RESPONSE TO COMMENTS P.5
4	4/10/20	FINAL RECORDING - PERMIT 2
3	7/10/19	FINAL SUBMISSION
2	8/12/19	RIEM SUBMISSION
1		

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM

APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED: DEC 20 2022 FILE #: 21-0063
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Martin D. Senack



- NOTES:
- LIMITS OF SAND FILTER TO BE STAKED OUT AND NOT USED AS A TEMPORARY SEDIMENT BASIN DURING CONSTRUCTION (NO CONSTRUCTION TRAFFIC ALLOWED WITHIN FILTER LIMITS)
 - A RIP-RAP APRON OR LEVEL SPREADER SHALL BE UTILIZED UP TO THE TOP EDGE OF THE FILTER STRIP. THE RIP-RAP SHALL BE LAID AS LEVEL AS POSSIBLE IN ORDER TO PROMOTE EVEN DISTRIBUTION OF RUNOFF TO THE FILTER STRIP. FILTER STRIP SHALL BE PROTECTED BY PROPER SOIL EROSION AND SEDIMENT CONTROLS TECHNIQUES (SILT FENCE) DURING ALL PHASES OF CONSTRUCTION. THESE MEASURES MUST BE PROPERLY MAINTAINED UNTIL FINAL SITE STABILIZATION. REFERENCE ESTABLISHMENT OF VEGETATIVE COVER ON SHEET 48 FOR PROPER INSTALLATION AND MAINTENANCE.

GRADING AND SITE PLAN - 7

South Shore Village
 A.P. 65, LOT 3
 SOUTH KINGSTOWN, RHODE ISLAND

CHRISTOPHER A. DUHAMEL
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL

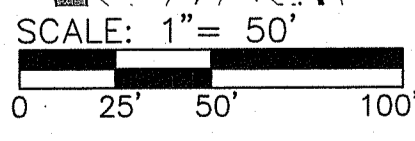
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16⁹
 of 20

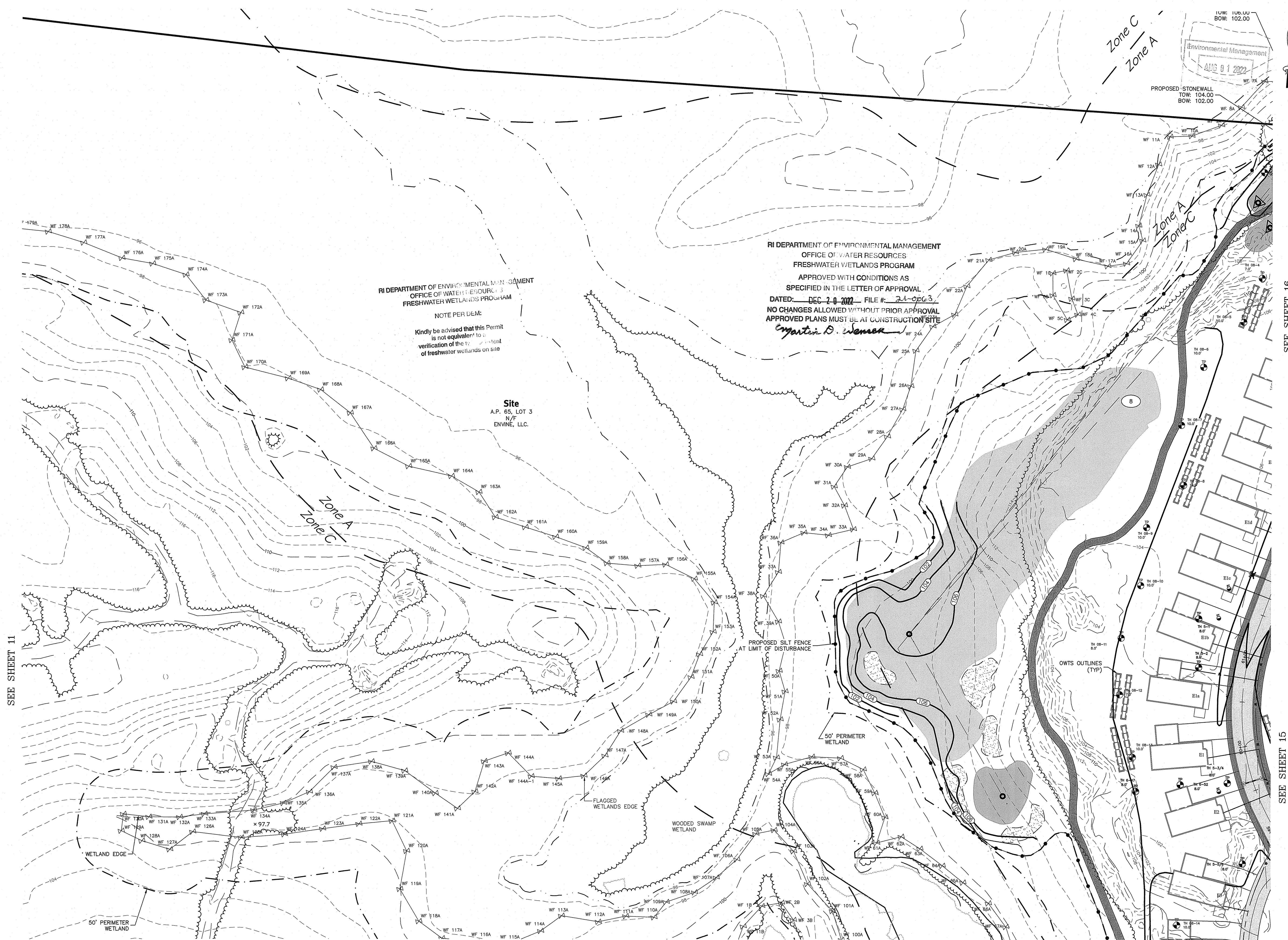
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SEE SHEET 17

SEE SHEET 15

POND # 4
 TOP OF POND ELEV=108.00
 BOTTOM OF POND ELEV=103.00





RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 NOTE PER DEM:
 Kindly be advised that this Permit is not equivalent to a verification of the presence of freshwater wetlands on site.

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED: DEC 20 2022 FILE # 21-0p03
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE
Martin B. Wanner

Site
 A.P. 65, LOT 3
 W/F
 ENVINE, LLC.

PROPOSED STONEWALL
 TOW: 104.00
 BOW: 102.00

SEE SHEET 11

SEE SHEET 12

SEE SHEET 16

SEE SHEET 15

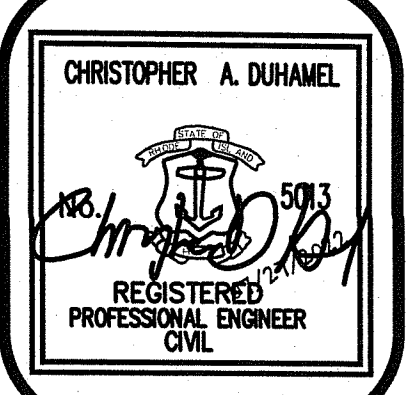
SCALE: 1" = 50'
 0 25' 50' 100'

Owner/Applicant:
Envine, LLC
 497 West Beach Road
 Charlestown, Rhode Island 02813
 401-743-7203

Engineer:
DiPrete Engineering
 Two Stafford Court
 Cranston, Rhode Island 02920
 Tel: (401) 943-1000 Fax: (401) 464-6006

NO.	DATE	DESCRIPTION
1	10/27/2022	PRELIMINARY SUBMISSION
2	10/27/2022	RESPONSE TO COMMENTS
3	10/27/2022	REVISIONS TO COMMENTS
4	10/27/2022	REVISIONS TO COMMENTS
5	10/27/2022	REVISIONS TO COMMENTS
6	10/27/2022	REVISIONS TO COMMENTS
7	10/27/2022	REVISIONS TO COMMENTS
8	10/27/2022	REVISIONS TO COMMENTS
9	10/27/2022	REVISIONS TO COMMENTS
10	10/27/2022	REVISIONS TO COMMENTS
11	10/27/2022	REVISIONS TO COMMENTS
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13	10/27/2022	REVISIONS TO COMMENTS
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16	10/27/2022	REVISIONS TO COMMENTS
17	10/27/2022	REVISIONS TO COMMENTS
18	10/27/2022	REVISIONS TO COMMENTS
19	10/27/2022	REVISIONS TO COMMENTS
20	10/27/2022	REVISIONS TO COMMENTS

GRADING AND SITE PLAN - 8
South Shore Village
 A.P. 65, LOT 3
 SOUTH KINGSTOWN, RHODE ISLAND

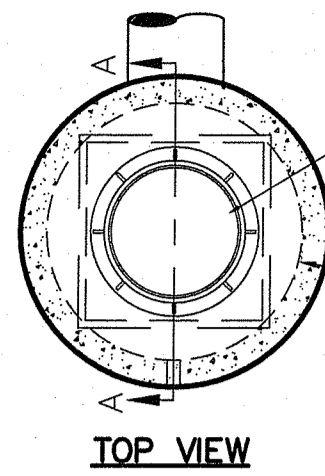


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 of 20

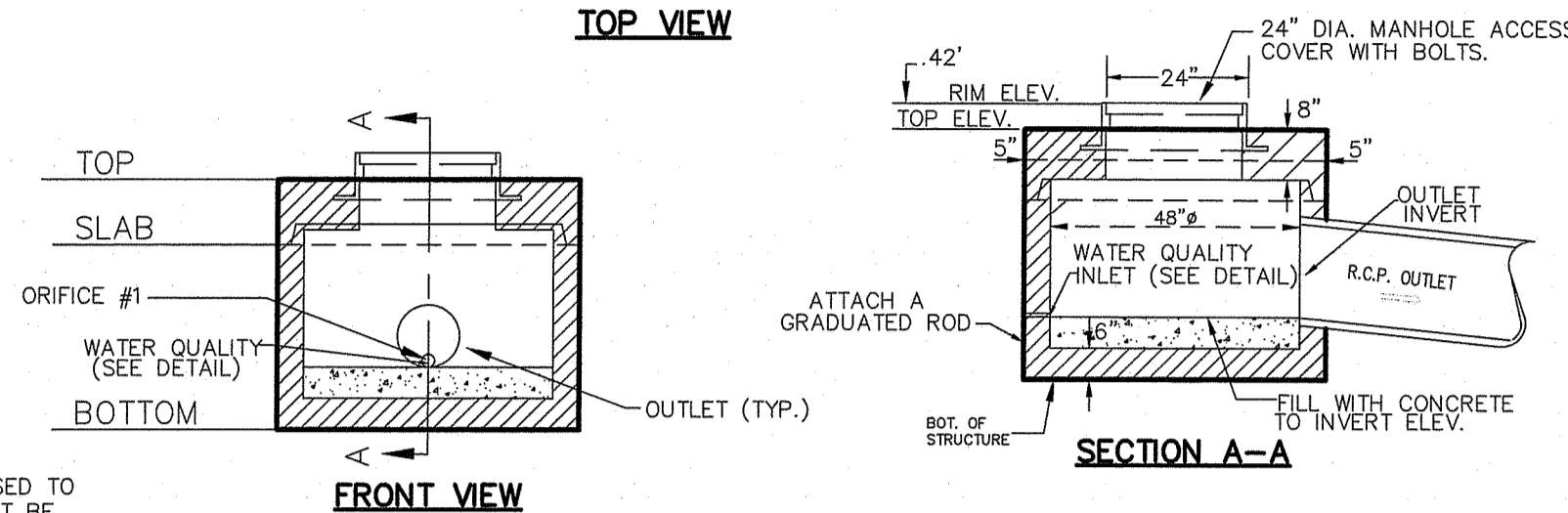
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DEA Job No. 0677-004 Copyright © 2021 by DiPrete Engineering Associates, Inc.

Description	Pond #3
Rim Elevation	106.52
Top Elevation	106.10
Outlet Size & Invert	12" - 105.00
Water Quality Size & Invert	2.2" - 103.00
Fill With Concrete to Elevation	103.00
Bottom of Structure	102.00



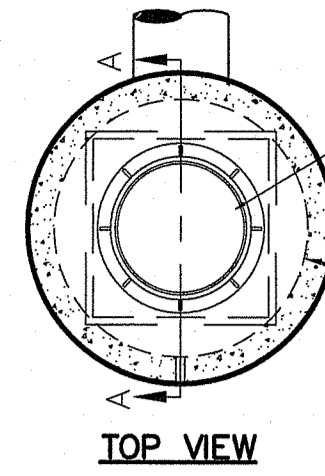
24" DIAMETER FRAME & MANHOLE ACCESS COVER (R.I. STD. 5.22) TO BE CAST INTO MANHOLE SHOP DRAWINGS TO BE PROVIDED TO ENGINEER PRIOR TO MANUFACTURE.
4" DIA. PRECAST CONC. OUTLET STRUCTURE



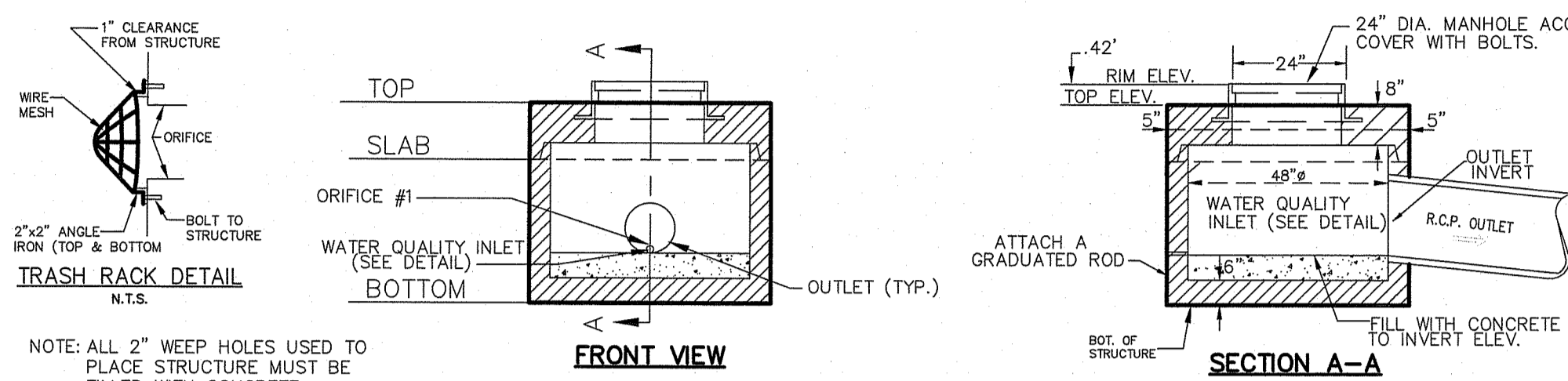
POND 3 - 4' DIA. OUTLET STRUCTURE
SCALE 1"=3'

NOTE: ALL 2" WEEP HOLES USED TO PLACE STRUCTURE MUST BE FILLED WITH CONCRETE.

Description	Pond #4
Rim Elevation	107.42
Top Elevation	107.00
Outlet Size & Invert	10" - 106.00
Water Quality Size & Invert	2" - 103.10
Fill With Concrete to Elevation	103.00
Bottom of Structure	102.00

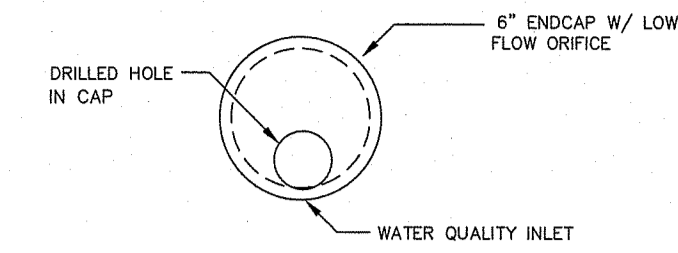


24" DIAMETER FRAME & MANHOLE ACCESS COVER (R.I. STD. 5.22) TO BE CAST INTO MANHOLE SHOP DRAWINGS TO BE PROVIDED TO ENGINEER PRIOR TO MANUFACTURE.
4" DIA. PRECAST CONC. OUTLET STRUCTURE

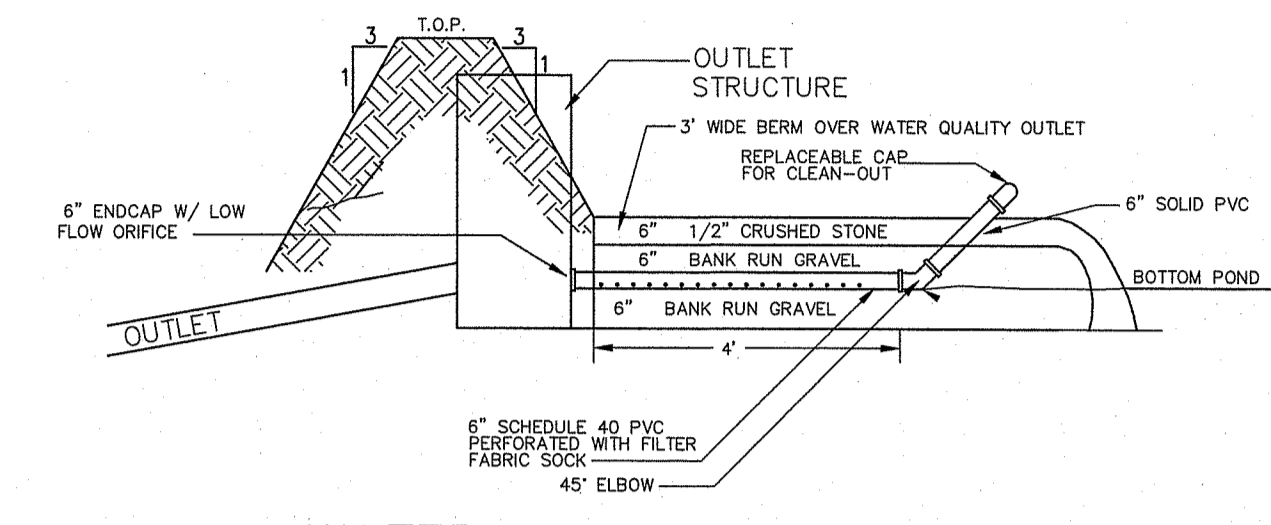


POND 4 - 4' DIA. OUTLET STRUCTURE
SCALE 1"=3'

NOTE: ALL 2" WEEP HOLES USED TO PLACE STRUCTURE MUST BE FILLED WITH CONCRETE.

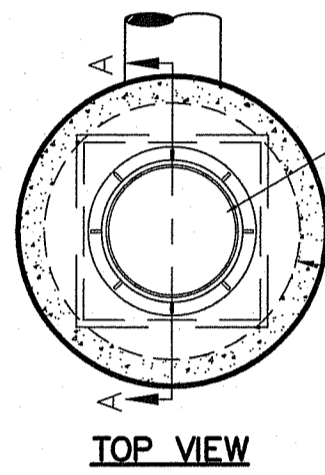


CAP DETAIL
NOT TO SCALE

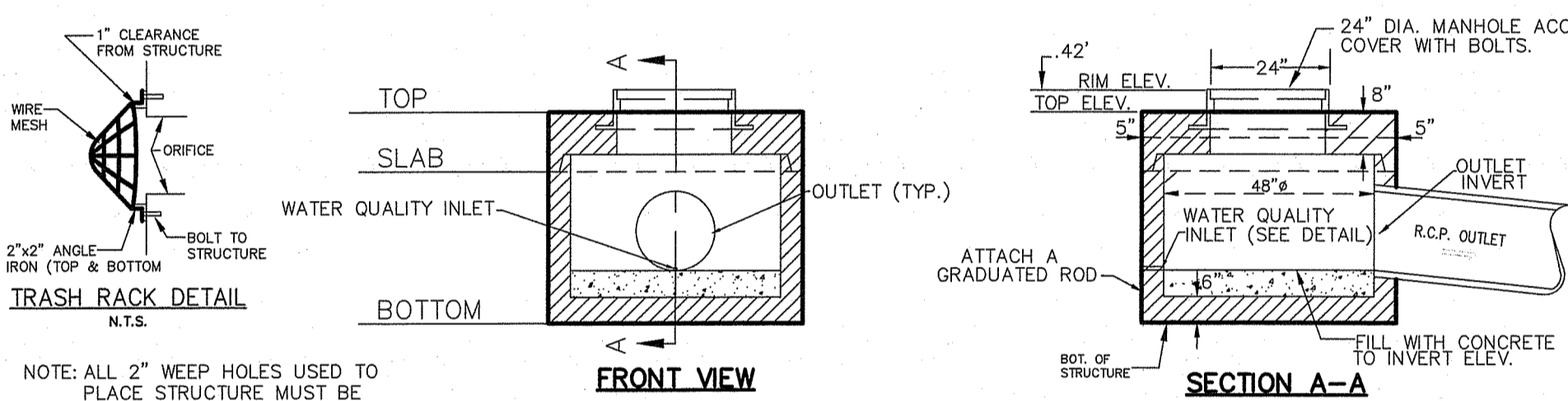


WATER QUALITY OUTLET POND
NOT TO SCALE

Description	Pond #5
Rim Elevation	110.42
Top Elevation	110.00
Outlet Size & Invert	10" - 108.00
Orifice #1 Size & Invert	1" - 105.40
Fill With Concrete to Elevation	105.00
Bottom of Structure	103.00



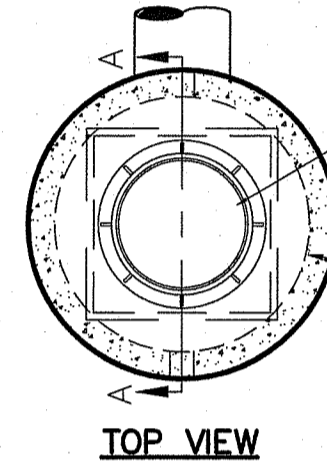
24" DIAMETER FRAME & MANHOLE ACCESS COVER (R.I. STD. 5.22) TO BE CAST INTO MANHOLE SHOP DRAWINGS TO BE PROVIDED TO ENGINEER PRIOR TO MANUFACTURE.
4" DIA. PRECAST CONC. OUTLET STRUCTURE



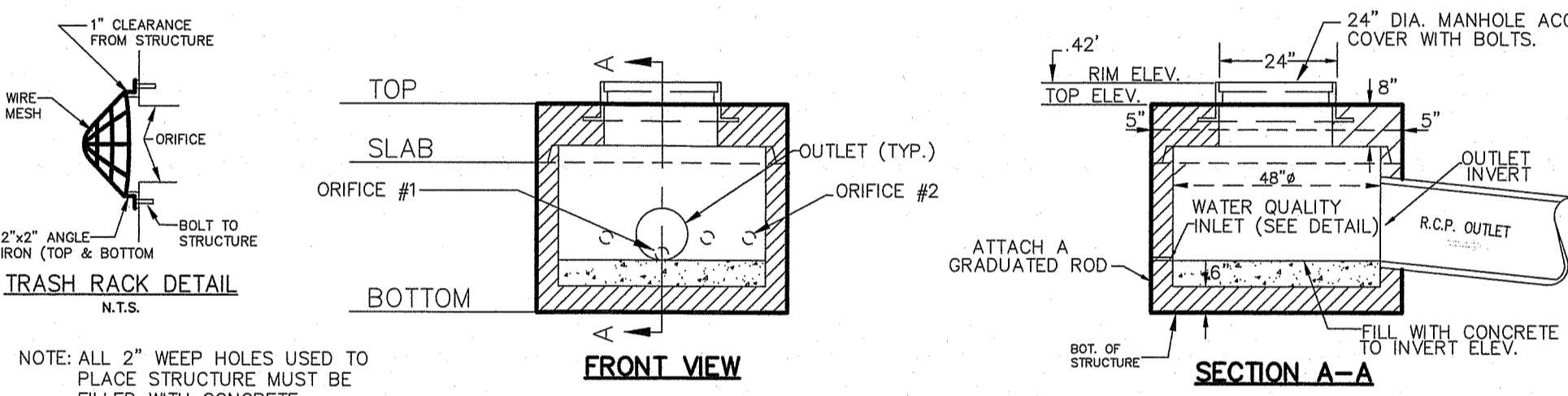
POND 5 - 4' DIA. OUTLET STRUCTURE
SCALE 1"=3'

NOTE: ALL 2" WEEP HOLES USED TO PLACE STRUCTURE MUST BE FILLED WITH CONCRETE.

Description	Pond #6
Rim Elevation	105.42
Top Elevation	105.00
Outlet Size & Invert	4" - 102.00
Orifice #1 Size & Invert	6" - 103.5
Fill With Concrete to Elevation	102.00
Bottom of Structure	101.00

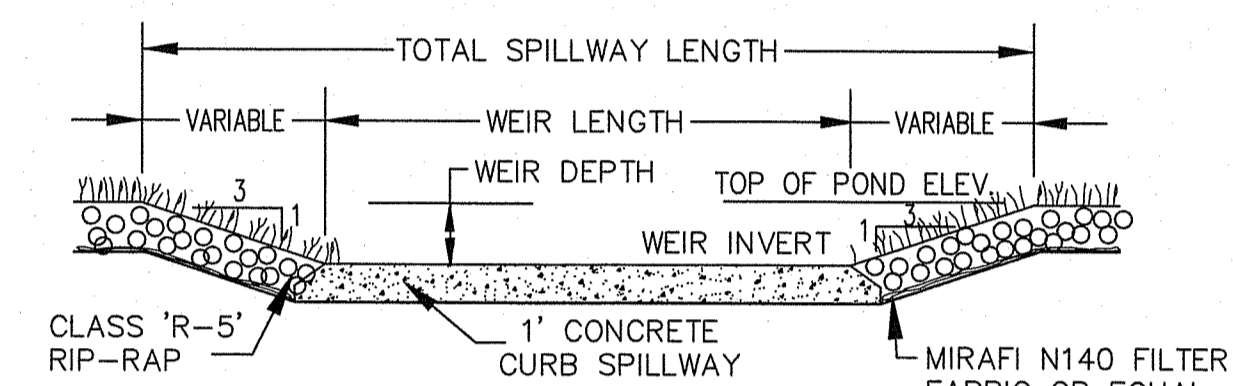


24" DIAMETER FRAME & MANHOLE ACCESS COVER (R.I. STD. 5.22) TO BE CAST INTO MANHOLE SHOP DRAWINGS TO BE PROVIDED TO ENGINEER PRIOR TO MANUFACTURE.
4" DIA. PRECAST CONC. OUTLET STRUCTURE



POND 6 - 4' DIA. OUTLET STRUCTURE
SCALE 1"=3'

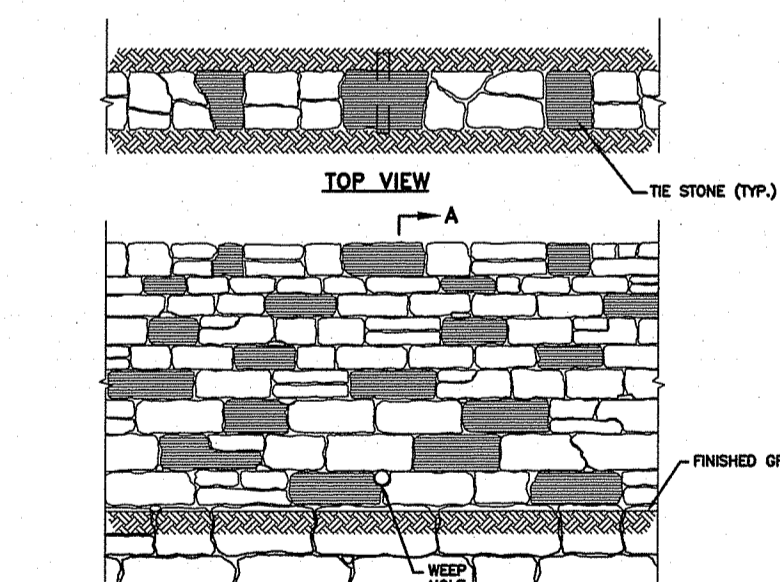
NOTE: ALL 2" WEEP HOLES USED TO PLACE STRUCTURE MUST BE FILLED WITH CONCRETE.



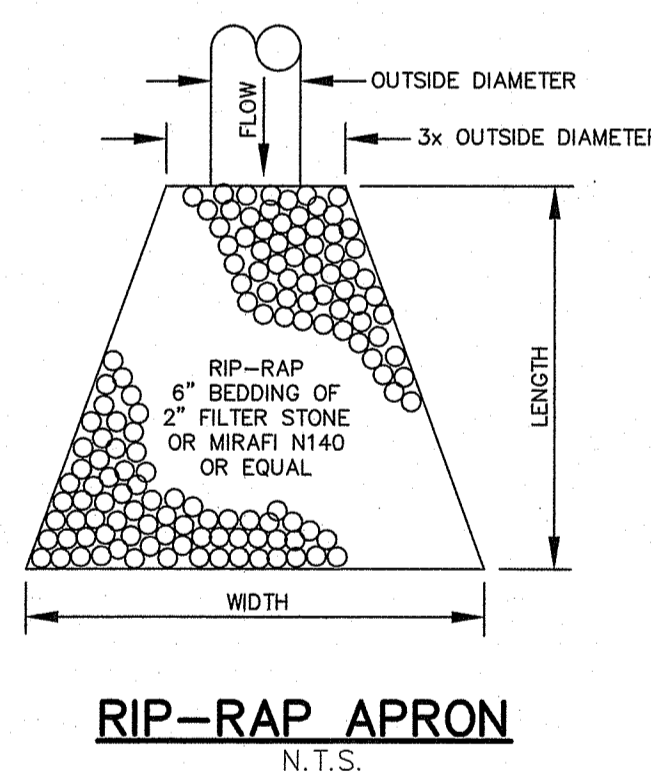
NOTE: FOLLOWING PLACEMENT OF FILTER FABRIC AND RIP RAP, VOIDS SHALL BE FILLED WITH LOAM AND SEEDED ALONG WITH DETENTION BASIN.

LOCATION	TOP OF POND EL.	WEIR INVERT	WEIR DEPTH	TOTAL SPILLWAY LENGTH	WEIR LENGTH
POND #3	106.5	106.1	0.4'	16.0'	12.0'
POND #4	108.0	107.0	1.0'	16.0'	12.0'
POND #5	110.5	110.0	0.5'	16.0'	12.0'
POND #6	104.5	104.0	0.5'	16.0'	12.0'

EMERGENCY SPILLWAY DETAIL N.T.S.



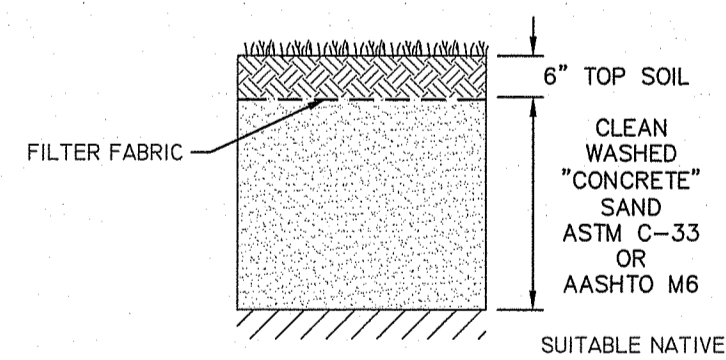
WET STONE MASONRY RETAINING WALL
NOT TO SCALE



RIP-RAP APRON
N.T.S.

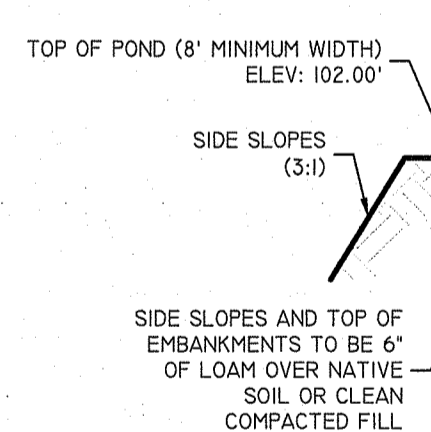
LOCATION	LENGTH	WIDTH
POND 3 FES #9	22'	16'
POND 3 INLET	28'	19'
POND 3 OUTLET	13'	8'
POND 4 INLET (24")	17'	13'
POND 4 INLET (18")	25'	14'
POND 4 OUTLET	13'	8'
POND 5 INLET	21'	14'
POND 5 OUTLET	9'	7'
POND 6 OUTLET	9'	7'
POND 6 INLET	17'	13'

DESCRIPTION	SNDF-1
TOP OF POND ELEVATION	102.00
100 YEAR STORM ELEVATION	101.85'
10 YEAR STORM ELEVATION	98.24
1 YEAR STORM ELEVATION	98.00'
WQ STORM ELEVATION	98.01
BOTTOM OF POND ELEVATION	100.00'
TOP SOIL DEPTH	0.50'
SAND DEPTH	1.50'
BOTTOM OF SAND ELEVATION	96.00
SEASONAL HIGH GW ELEVATION	93.0
SOIL EVALUATION	TP-08-2



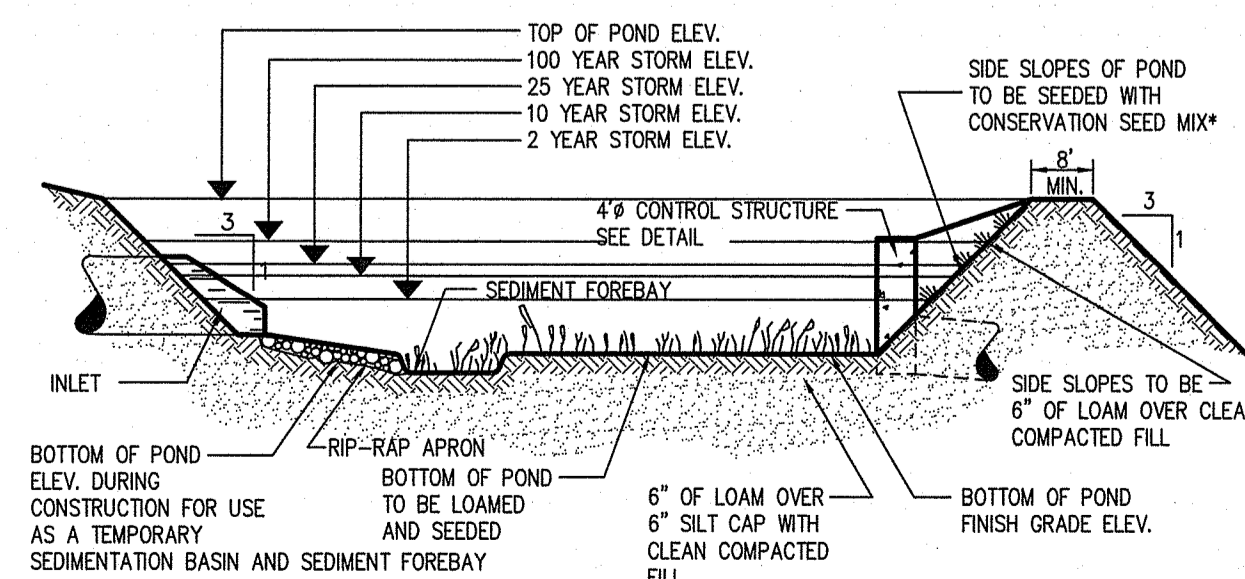
SAND FILTER TYPICAL SECTION

SIDE SLOPES OF POND AND SAND FILTER TOPSOIL TO BE SEEDED WITH NEW ENGLAND EROSION CONTROL/RESTORATION MIX (MOIST SITES) BY NEW ENGLAND WETLAND PLANTS (OR APPROVED EQUAL)



SAND FILTER BMP SYSTEM
NOT TO SCALE

NOTE: LIMITS OF SAND FILTER TO BE STAKED OUT AND NOT USED AS A TEMPORARY SEDIMENT BASIN DURING CONSTRUCTION (NO CONSTRUCTION TRAFFIC ALLOWED WITHIN FILTER LIMITS)

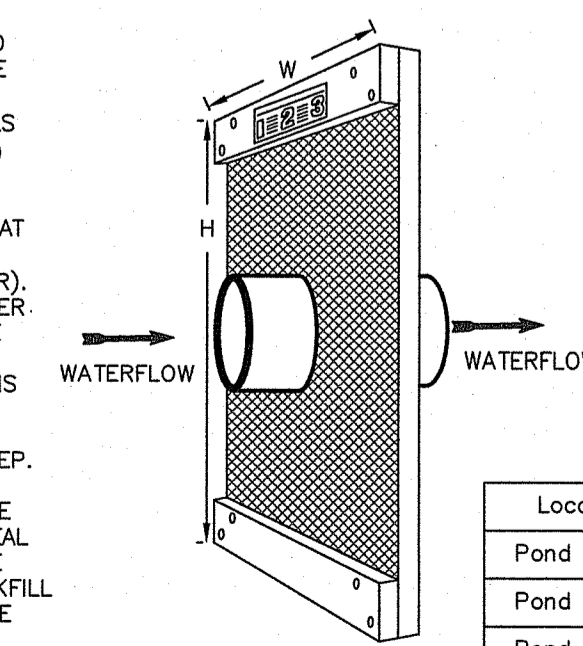


DETENTION POND & INFILTRATION BASIN - TYPICAL CROSS SECTION
N.T.S.

Description	Pond #3	Pond #4	Pond #5	Pond #6
Top of Pond Elevation	106.40	106.00	110.00	104.00
Bottom of Pond	103.00	103.00	105.00	102.00
100 Year Storm Elevation	105.41	104.55	107.50	102.94
25 Year Storm Elevation	104.38	103.72	106.52	102.41
10 Year Storm Elevation	103.87	103.32	106.03	102.24
2 Year Storm Elevation	103.08	103.02	105.16	102.00
Seasonal High GW Elevation	95.00±	98.50±	98.50±	99.00±

*NOTE: THE SIDE SLOPES OF DETENTION PONDS SHALL BE PLANTED WITH A SEED MIX CONSISTING OF CREEPING RED FESCUE, TALL FESCUE, AND LADINO CLOVER

- INSTALLATION NOTES:
- UNROLL THE ANTI-SEEP AND ATTACH THE BOARDS TO THE EDGES TO FORM A SQUARE. (USE THE BOARDS AND NAILS PROVIDED.) (4'x4' & LARGER)
 - CUT A ROUND HOLE IN THE CENTER OF THE RUBBER THAT IS SMALLER THAN THE PIPE SIZE (APPROX. 25% SMALLER). THIS WILL ALLOW THE RUBBER TO STRETCH OVER THE PIPE WHEN THE ANTI-SEEP IS INSTALLED ON THE PIPE. THIS SHOULD PROVIDE A NEARLY WATERPROOF SEAL BETWEEN THE PIPE AND THE ANTI-SEEP.
 - SLIP THE PIPE THROUGH THE ANTI-SEEP. INSPECT THE SEAL BETWEEN THE PIPE AND THE ANTI-SEEP. CAREFULLY BACKFILL AND COMPACT WITH SUITABLE SOIL.



ANTI-SEEP COLLAR
NOT TO SCALE

NOTE: AGRI DRAIN CORP. OR EQUAL

Location	W	H	Quantity
Pond #3	4.75'	4.75'	2
Pond #4	4.75'	4.75'	2
Pond #5	4.75'	4.75'	2
Pond #6	5.2'	5.2'	1

DETAIL SHEET

South Shore Village
AP 65, LOT 3
SOUTH KINGSTOWN, RHODE ISLAND

CHRISTOPHER A. DUHAMEL
REGISTERED PROFESSIONAL ENGINEER
CIVIL

Sheet

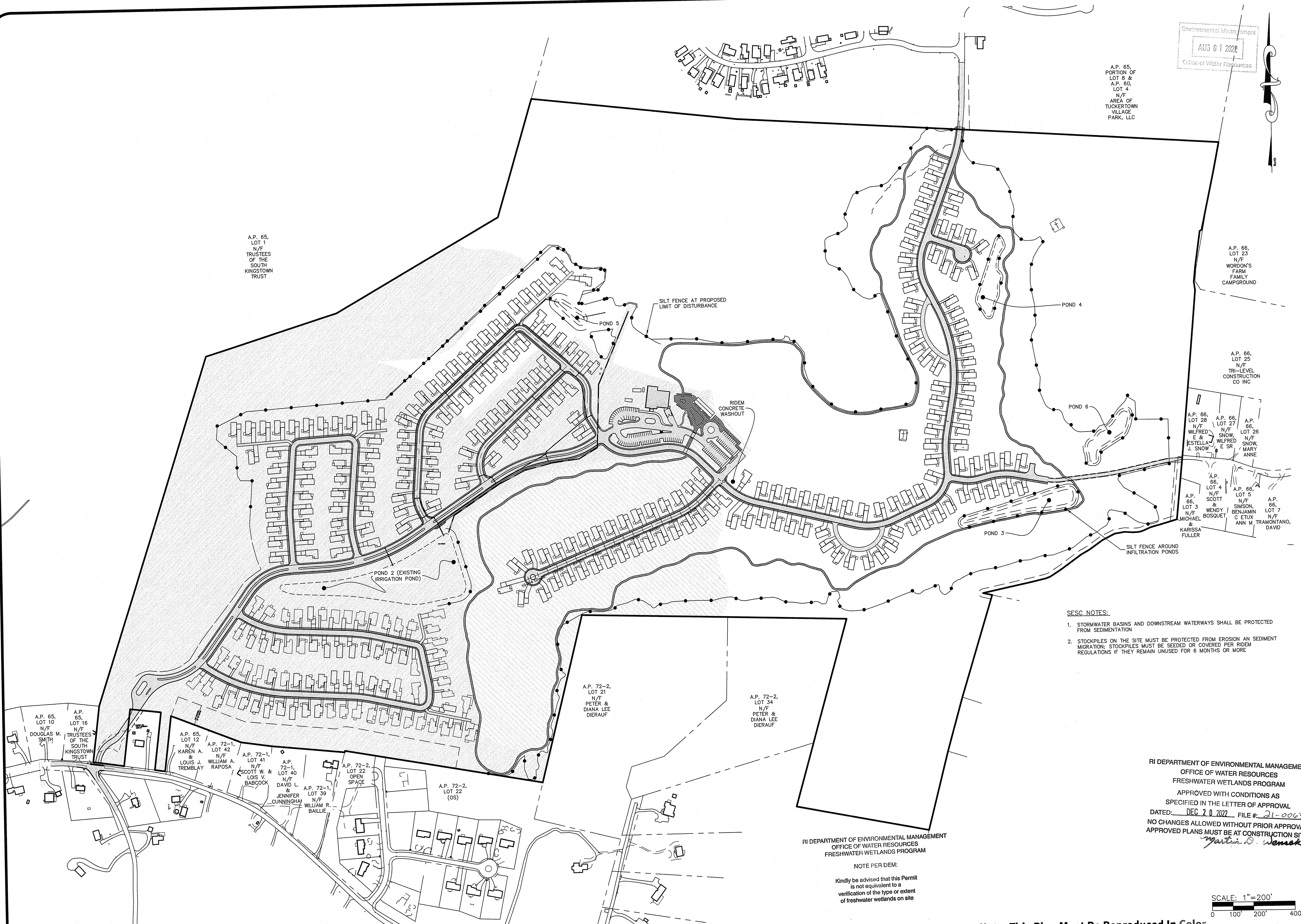
18
of 20

Engineer:
DiPrete Engineering
Two Stafford Court
Cranston, Rhode Island 02920
Tel: (401) 943-1000 Fax: (401) 464-6006

Owner/Applicant:
Envine, LLC
497 West Beach Road
Charlestown, Rhode Island 02813
401-743-7203

Environmental Management
AUG 01 2022
Office of Water Resources

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Environmental Management
 AUG 8 1 2022
 Office of Water Resources

A.P. 65,
 PORTION OF
 LOT 8 &
 A.P. 60,
 LOT 4
 N/F
 AREA OF
 TUCKERTOWN
 VILLAGE
 PARK, LLC

A.P. 65,
 LOT 1
 N/F
 TRUSTEES
 OF THE
 SOUTH
 KINGSTOWN
 TRUST

A.P. 66,
 LOT 23
 N/F
 WOODON'S
 FARM
 FAMILY
 CAMPGROUND

A.P. 66,
 LOT 25
 N/F
 TRI-LEVEL
 CONSTRUCTION
 CO INC

A.P. 66,
 LOT 28
 N/F
 WILFRED
 E &
 ESTELLA
 J. SNOW

A.P. 66,
 LOT 27
 N/F
 SNOW,
 WILFRED
 E SR

A.P. 66,
 LOT 26
 N/F
 SNOW,
 MARY
 ANNE

A.P. 66,
 LOT 4
 N/F
 SCOTT
 &
 WENDY
 BOSQUET

A.P. 66,
 LOT 5
 N/F
 SIMSON,
 BENJAMN
 N/F

A.P. 66,
 LOT 7
 N/F
 ANN M. TRAMONTANO,
 DAVID

A.P. 72-2,
 LOT 21
 N/F
 PETER &
 DIANA LEE
 DIERAUF

A.P. 72-2,
 LOT 34
 N/F
 PETER &
 DIANA LEE
 DIERAUF

A.P. 65,
 LOT 12
 N/F
 DOUGLAS M.
 SMITH

A.P. 65,
 LOT 16
 N/F
 TRUSTEES
 OF THE
 SOUTH
 KINGSTOWN
 TRUST

A.P. 72-1,
 LOT 42
 N/F
 KAREN A.
 &
 LOUIS J.
 TREMBLAY

A.P. 72-1,
 LOT 41
 N/F
 WILLIAM A.
 RAPOSA

A.P. 72-1,
 LOT 40
 N/F
 SCOTT W. &
 LOIS V.
 BARCOCK

A.P. 72-1,
 LOT 39
 N/F
 DAVID L.
 &
 JENNIFER
 CUNNINGHAM

A.P. 72-1,
 LOT 38
 N/F
 WILLIAM R.
 BALLIE

A.P. 72-2,
 LOT 22
 (OS)

SESC NOTES:

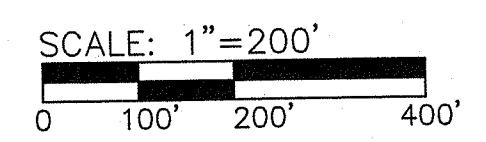
1. STORMWATER BASINS AND DOWNSTREAM WATERWAYS SHALL BE PROTECTED FROM SEDIMENTATION
2. STOCKPILES ON THE SITE MUST BE PROTECTED FROM EROSION AN SEDIMENT MIGRATION; STOCKPILES MUST BE SEEDED OR COVERED PER RIDEM REGULATIONS IF THEY REMAIN UNUSED FOR 6 MONTHS OR MORE

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM

NOTE PER DEM:

Kindly be advised that this Permit
 is not equivalent to a
 verification of the type or extent
 of freshwater wetlands on site

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS AS
 SPECIFIED IN THE LETTER OF APPROVAL
 DATED: DEC 2 0 2022 FILE #: 21-0063
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE
Martin D. Wenzel



Note: This Plan Must Be Reproduced In Color

Owner / Applicant:
Envine, LLC
 497 West Beach Road
 Charlestown, Rhode Island 02813
 401-743-7203

Engineer:
DiPrete Engineering
 Two Stafford Court
 Cranston, Rhode Island 02920
 Tel: (401) 943-1000 Fax: (401) 464-6006

NO.	DATE	DESCRIPTION	BY
1	12/21/2022	RI DEM - RESPONSE TO COMMENTS A.S.M.	MD
2	12/27/2022	RI DEM - RESPONSE TO COMMENTS A.S.M.	MD
3	12/27/2022	RI DEM - RESPONSE TO COMMENTS A.S.M.	MD
4	12/27/2022	RI DEM - RESPONSE TO COMMENTS A.S.M.	MD
5	12/27/2022	RI DEM - RESPONSE TO COMMENTS A.S.M.	MD
6	12/27/2022	RI DEM - RESPONSE TO COMMENTS A.S.M.	MD
7	12/27/2022	RI DEM - RESPONSE TO COMMENTS A.S.M.	MD
8	12/27/2022	RI DEM - RESPONSE TO COMMENTS A.S.M.	MD
9	12/27/2022	RI DEM - RESPONSE TO COMMENTS A.S.M.	MD
10	12/27/2022	RI DEM - RESPONSE TO COMMENTS A.S.M.	MD
11	12/27/2022	RI DEM - RESPONSE TO COMMENTS A.S.M.	MD
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15	12/27/2022	RI DEM - RESPONSE TO COMMENTS A.S.M.	MD
16	12/27/2022	RI DEM - RESPONSE TO COMMENTS A.S.M.	MD
17	12/27/2022	RI DEM - RESPONSE TO COMMENTS A.S.M.	MD
18	12/27/2022	RI DEM - RESPONSE TO COMMENTS A.S.M.	MD
19	12/27/2022	RI DEM - RESPONSE TO COMMENTS A.S.M.	MD
20	12/27/2022	RI DEM - RESPONSE TO COMMENTS A.S.M.	MD
21	12/27/2022	RI DEM - RESPONSE TO COMMENTS A.S.M.	MD
22	12/27/2022	RI DEM - RESPONSE TO COMMENTS A.S.M.	MD
23	12/27/2022	RI DEM - RESPONSE TO COMMENTS A.S.M.	MD
24	12/27/2022	RI DEM - RESPONSE TO COMMENTS A.S.M.	MD
25	12/27/2022	RI DEM - RESPONSE TO COMMENTS A.S.M.	MD
26	12/27/2022	RI DEM - RESPONSE TO COMMENTS A.S.M.	MD
27	12/27/2022	RI DEM - RESPONSE TO COMMENTS A.S.M.	MD
28	12/27/2022	RI DEM - RESPONSE TO COMMENTS A.S.M.	MD
29	12/27/2022	RI DEM - RESPONSE TO COMMENTS A.S.M.	MD
30	12/27/2022	RI DEM - RESPONSE TO COMMENTS A.S.M.	MD

SESC PLAN
South Shore Village
 A.P. 65, LOT 3
 SOUTH KINGSTOWN, RHODE ISLAND

CHRISTOPHER A. DUHAMEL

 REGISTERED
 PROFESSIONAL ENGINEER
 CIVIL

Sheet
20¹³
 of 20¹³

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