

SITE PLAN SET

FOR

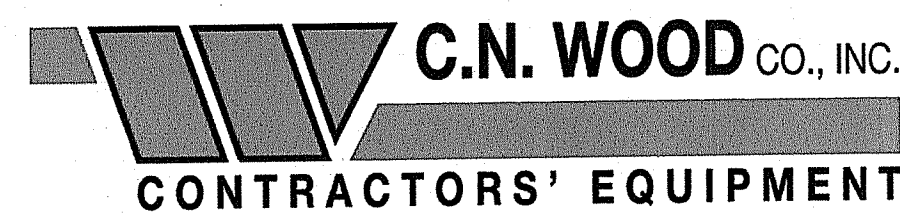
PROPOSED SITE IMPROVEMENTS



PLAT 48, LOT 34
ZONING DISTRICT PCD
PLANNED CORPORATE DISTRICT
1 RESERVOIR ROAD
SMITHFIELD, RHODE ISLAND

PROPOSED USE: CONSTRUCTION EQUIPMENT SERVICE (INSIDE) /
SALES / OUTDOOR STORAGE & DISPLAY

PREPARED FOR



CORPORATE HEADQUARTERS
200 MERRIMAC STREET
WOBURN, MA 01801

OWNER

DBH REALTY, LLC
PO BOX 17306
SMITHFIELD, RI 02917

ENGINEERS and LAND SURVEYORS



CROSSMAN ENGINEERING

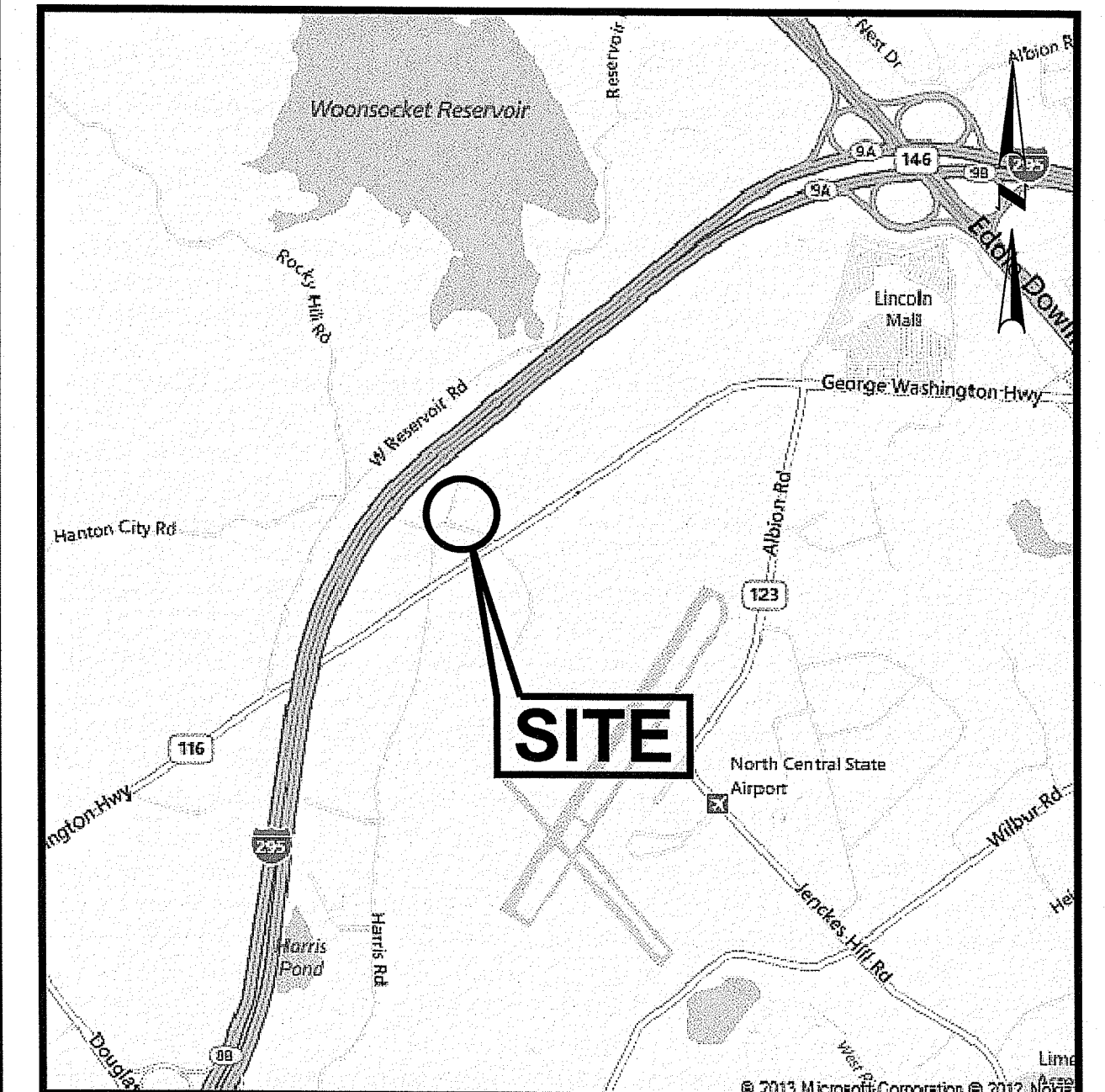
Rhode Island **Massachusetts**
 151 Centerville Road 103 Commonwealth Avenue
 Warwick, RI 02886 North Attleboro, MA 02763
 Phone: (401) 738-5660 Phone: (508) 695-1700
 Email: cel@grossmaneng.com

MARCH 2021
SHEET 1 of 7

WETLAND BIOLOGIST



PO BOX 836 | Charlestown, Rhode Island 02813
 Phone: (401) 710-2161 | Email: edward@avizinis.com

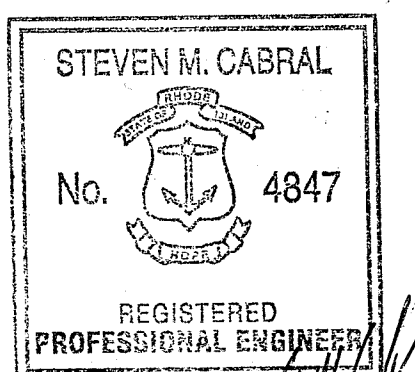


LOCATION MAP
 NOT TO SCALE

INDEX OF DRAWINGS

DRAWING No.	PLAN
C1	GENERAL NOTES AND LEGEND
C2	SITE CONTEXT MAP
C3	EXISTING CONDITIONS PLAN
C4	AERIAL MAP
C5	SITE LAYOUT PLAN
C6	MISCELLANEOUS DETAIL PLAN

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED JUN 14 2021 FILE # 21-0078 MAP 2 S 2021
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE
 MAR 29 2021
Nancy L. Felman



REVISIONS:

No.:	DESCRIPTION:	DATE:
--	--	--

GENERAL NOTES

- THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING DRAINAGE AND UTILITIES, BOTH UNDERGROUND AND OVERHEAD, BEFORE EXCAVATION BEGINS IN ACCORDANCE WITH "DIG SAFE PROGRAM LAW" ENACTED BY THE R.I. LEGISLATURE AND BY CONTACTING THE INDIVIDUAL UTILITY COMPANIES. EXCAVATION SHALL BE IN ACCORDANCE WITH ALL STATUTES, ORDINANCES, RULES AND REGULATIONS OF ANY MUNICIPALITY, STATE OR FEDERAL AGENCY THAT MAY APPLY. ANY DAMAGE TO EXISTING UTILITIES SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- SPECIFICATIONS TO GOVERN THIS PROJECT ARE R.I.D.O.T. STANDARD SPECIFICATIONS AND DETAILS. FOR ALL EXCAVATION, PLACEMENT OF FILL, BITUMINOUS PAVEMENT, CONCRETE AND SAWCUTTING, THE CONTRACTOR SHALL PERFORM THE WORK IN FULL COMPLIANCE WITH THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2018 EDITION, WITH LATEST REVISIONS UNLESS OTHERWISE SHOWN ON PLANS. THE "METHOD OF MEASUREMENT" AND "BASIS OF PAYMENT" ARE NOT APPLICABLE. THESE SPECIFICATIONS CAN BE OBTAINED ON-LINE AT:
<http://www.dot.ri.gov/business/bluebook.php>
- UNLESS SPECIFICALLY REFERENCED ON THE PLANS, ALL WORK ON SITE AND WITHIN THE TOWN'S RIGHT OF WAY SHALL USE THE RHODE ISLAND STANDARD DETAILS, JUNE 21, 2019, WITH ALL REVISIONS AS PREPARED BY THE DEPARTMENT OF TRANSPORTATION.
- THE CONTRACTOR MUST VERIFY PRIOR TO CONSTRUCTION THAT ALL REQUIRED AUTHORIZATION TO PERFORM WORK HAS BEEN OBTAINED. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION OPERATIONS INCLUDING ALL ACTIONS OR OMISSIONS OF ANY SUBCONTRACTORS, AGENTS OR EMPLOYEES. THE CONTRACTOR MUST ENSURE THAT THE CONDITIONS OF ALL PERMITS, SPECIFICATIONS AND FEDERAL, STATE AND LOCAL REGULATIONS ARE STRICTLY ENFORCED. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ASPECTS OF ON-SITE SAFETY INCLUDING ANY DAMAGE TO EXISTING STRUCTURES.
- WORK SHOWN ON THE PLANS FOR WHICH THERE ARE NO PARTICULAR DETAILS OR SPECIFICATIONS DOES NOT RELIEVE THE CONTRACTOR FROM FURNISHING AND INSTALLING THE WORK. THE CONTRACTOR SHALL THOROUGHLY EXAMINE THE CONTRACT DOCUMENTS AND PLANS AND INSPECT THE SITE, AND THE BID PRICE SHALL INCLUDE ALL SERVICES AND MATERIALS NECESSARY TO COMPLETE THE PROJECT. ANY CHANGES TO THE PROJECT OR THE INSTALLATION OF AN ITEM FOR WHICH NO PARTICULAR DETAIL OR SPECIFICATION WAS PROVIDED MUST BE REVIEWED BY AND MUST BE ACCEPTABLE TO THE ENGINEER.
- ALL DISTURBED AREAS SHALL BE REPLACED IN KIND UNLESS OTHERWISE SHOWN.
- "APPROVED EQUAL" PRODUCTS MAY BE USED BY THE CONTRACTOR ONLY UPON APPROVAL BY THE DESIGN ENGINEER. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE SUBMITTALS TO THE DESIGN ENGINEER FOR REVIEW.

LAYOUT NOTE

THE LAYOUT SHOWN REPRESENTS A GRAPHICAL DESIGN, AND PRIOR TO THE CONSTRUCTION, THE CONTRACTOR SHALL ENGAGE A PROFESSIONAL LAND SURVEYOR (PLS) REGISTERED IN THE STATE OF RHODE ISLAND TO SET AND VERIFY ALL LINES AND GRADES. ALL EXISTING UTILITY LOCATIONS AND ELEVATIONS ARE TO BE CONFIRMED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ANY ITEM FOUND WHICH DOES NOT MATCH THE PLANS MUST BE BROUGHT TO THE ENGINEER'S ATTENTION PRIOR TO CONSTRUCTION FOR REVIEW. NO WORK SHALL PROCEED UNTIL AUTHORIZED BY THE ENGINEER.

MAINTENANCE AND PROTECTION OF TRAFFIC NOTES

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTENANCE AND PROTECTION OF PEDESTRIAN AND VEHICULAR TRAFFIC INCLUDING POLICE PROTECTION. ALL TEMPORARY CONSTRUCTION SIGNS, BARRICADES AND LANE CLOSURES SHALL BE IN CONFORMANCE WITH THE LATEST REVISIONS OF MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.)
- TEMPORARY CONSTRUCTION SIGNS AND ALL APPLICABLE TRAFFIC CONTROL DEVICES SHALL BE IN PLACE PRIOR TO THE START OF WORK IN ANY AREA OPEN TO TRAFFIC.
- THE PRIVATE VEHICLES OF CONSTRUCTION WORKERS WILL NOT BE PARKED IN THE ROADWAY RIGHT-OF-WAY.
- ALL MAINTENANCE AND PROTECTION OF TRAFFIC CONTROL SETUPS, SIGNS, CHANNELING DEVICES, ETC., SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, 2009 EDITION, LATEST REVISIONS.
- SIGN MOUNTINGS SHALL BE IN ACCORDANCE WITH THE STATE D.O.T. SPECIFICATIONS FOR TEMPORARY CONSTRUCTION SIGNS.

FLOOD ZONE NOTE

THE SITE IS WITHIN FLOOD ZONE X, AREAS TO BE OUTSIDE THE 0.2% CHANCE FLOODPLAIN, ACCORDING TO FLOOD INSURANCE RATE MAP, PROVIDENCE COUNTY, RHODE ISLAND, PANEL 186 OF 451, MAP NUMBER 44007C0186G, EFFECTIVE DATE MARCH 2, 2009.

SITE FEATURE AND PERMITTING NOTES

- THERE ARE WETLANDS WITHIN 200' OF THE SITE. A RIDEM WETLAND PERMIT IS REQUIRED.
- THE PROPOSED IMPROVEMENTS WILL RESULT IN MORE THAN 1 ACRE OF SOIL DISTURBANCE. A RIDEM RIPDES PERMIT IS REQUIRED.
- THERE ARE NO EXISTING DRAINAGE STRUCTURES ON THE PARCEL.
- THE SITE IS WITHIN THE WOONSOCKET PUBLIC WATER SUPPLY WATERSHED.
- THE SITE IS WITHIN THE WATERSHED OF CROOKFALL BROOK WHICH HAS AN IMPAIRMENT FOR ENTEROCOCCUS.
- GROUNDWATER CLASSIFICATION IS GA, WHICH IS PRESUMED TO BE SUITABLE FOR DRINKING WATER, BUT IS NOT WITHIN A MAJOR STRATIFIED DRIFT AQUIFER AREA OR WELLHEAD PROTECTION AREA.
- THE SITE IS NOT WITHIN A NATURAL HERITAGE AREA.
- THE SITE DOES NOT CONTAIN PRIME FARMLAND SOILS AND DOES NOT HAVE ACTIVE FARMING.
- THE SITE IS IN FLOOD ZONE X, AREAS OF MINIMAL FLOOD HAZARD.
- THE SITE HAS NO DESIGNATED HISTORIC OR CULTURAL SITE OR CEMETERY.

PROPOSED PAVEMENT STRUCTURE

- 1 1/2" BITUMINOUS CONCRETE SURFACE COURSE, CLASS 12.5 HMA
- 2 1/2" BITUMINOUS CONCRETE BASE COURSE, CLASS 19.5 HMA
- 12" GRAVEL BORROW SUBBASE

STORMWATER MANAGEMENT SYSTEM - MAINTENANCE OPERATION

UPON PROJECT COMPLETION, THE SITE OWNER SHALL ADHERE TO THE FOLLOWING MAINTENANCE RECOMMENDATIONS.

1. QUALIFIED PERVIOUS AREAS (QPA):

QPA'S SHALL BE INSPECTED ANNUALLY OR AS NEEDED. REMOVE DEPOSITED SEDIMENT. IF DEAD OR DYING GRASS IS OBSERVED, REPLANT VEGETATION THAT HAS DIED. ADDRESS ANY AREAS WITH PONDING OR EROSION.

2. SEDIMENT REMOVAL:

FOLLOWING CONSTRUCTION, SEDIMENT REMOVAL SHALL BE CONDUCTED AS DEEMED NECESSARY BY THE SYSTEM INSPECTIONS. ALL REMOVED SEDIMENT IS TO BE TESTED TO DETERMINE POLLUTANT CONTENT. THE SEDIMENT IS TO BE PROPERLY DISPOSED IN UPLAND AREAS BASED UPON THE TEST RESULTS AND LOCAL, STATE, AND FEDERAL REGULATIONS.

3. ANNUAL SWEEPING:

ANNUAL PARKING LOT AND DRIVEWAY SWEEPING SHALL BE CONDUCTED DURING THE SPRING OF EVERY YEAR.

DUST CONTROL NOTES

ON AN AS-NEEDED BASIS OR AS DIRECTED BY THE TOWN, RIDEM OR OWNER, THE CONTRACTOR SHALL UTILIZE ONE OF THE FOLLOWING METHODS TO CONTROL DUST:

- THE EXPOSED SOIL SURFACE SHOULD BE MOISTENED PERIODICALLY WITH ADEQUATE WATER TO CONTROL DUST.
- CALCIUM CHLORIDE SHOULD BE EITHER LOOSE DRY GRANULES OR FLAKE FINE ENOUGH TO FEED THROUGH A SPREADER AT A RATE THAT WILL KEEP SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE.

THE METHODS SHOULD BE REPEATED AS NEEDED.

SOIL EROSION AND SEDIMENT CONTROL- INSPECTION/MAINTENANCE NOTES

- PRIOR TO COMMENCING EARTHWORK, STRAW WATTLE SHALL BE PLACED ALONG THE DOWNGRADE LIMIT OF DISTURBANCE TO PREVENT SEDIMENT FROM ENTERING THE ROADWAY, WETLAND AREAS, AND ADJUTING PROPERTIES.
- EXTREME CARE SHALL BE EXERCISED SO AS TO PREVENT ANY UNSUITABLE MATERIAL FROM ENTERING THE ROADWAY, WETLAND AREAS, AND ADJUTING PROPERTIES.
- ALL DISTURBED AREAS WHICH BECOME SUBJECT TO EROSION TENDENCIES WHETHER THEY BE NEWLY FILLED OR EXCAVATED SHALL RECEIVE SLOPE PROTECTION - SUCH AS RIP-RAP.
- DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING DRAINAGE AND RUNOFF FLOW DURING PERIODS OF RAINFALL.
- DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EROSION CONTROL MAINTENANCE AND SHALL INSPECT / REPLACE DAILY DURING CONSTRUCTION, FOLLOWING RAINFALL AND WEEKLY DURING NON CONSTRUCTION PERIODS.
- ADDITIONAL STRAW WATTLE OR SANDBAGS SHALL BE LOCATED AS CONDITIONS WARRANT OR AS DIRECTED BY THE ENGINEER.
- THE LATEST VERSION OF THE "RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK" PREPARED BY THE R.I. STATE CONSERVATION COMMITTEE, MUST BE UTILIZED BY THE CONTRACTOR AS A GUIDE.

SOIL EROSION AND SEDIMENT CONTROL-GENERAL PROJECT WIDE NOTES

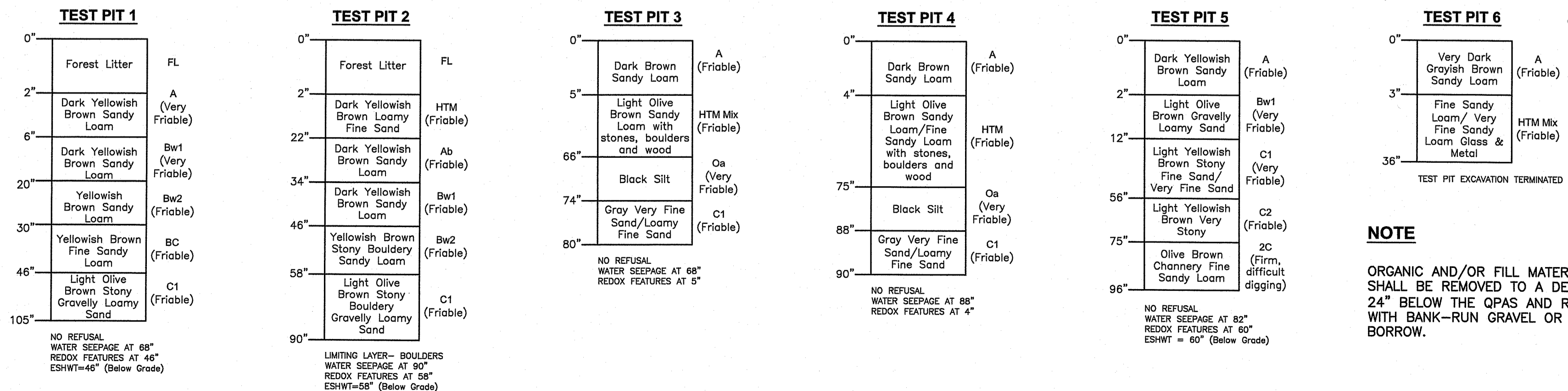
- CONTRACTOR SHALL OBTAIN A SOIL EROSION AND SEDIMENT CONTROL PERMIT FROM THE DEPARTMENT OF PUBLIC WORKS PRIOR TO THE COMMENCEMENT OF ANY WORK ON SITE; SOIL EROSION AND SEDIMENT CONTROL MEASURES MUST BE PROPERLY MAINTAINED THROUGHOUT CONSTRUCTION.
- CONTRACTOR SHALL INSTALL TEMPORARY MEASURES SUCH AS; FIBER MATTING, CRUSHED STONE, HAY OR STRAW IN AREAS WHERE SLOPES OR STABILIZATION HAS FAILED.
- IF SEDIMENT IS TRACKED OR ERODED INTO THE ROADWAY, THE CONTRACTOR WILL BE REQUIRED TO SWEEP DAILY.
- STRAW WATTLE (OR SILT FENCE OR STAKED HAYBALES) SHALL BE INSTALLED AROUND THE PERIMETER OF THE AREA TO BE DISTURBED BY CONSTRUCTION. ADDITIONAL APPLICATIONS OF THESE CONTROLS MEASURES MAY BE REQUIRED DURING THE CONSTRUCTION PROCESS. THE CONTRACTOR SHALL INSPECT THE SITE AT A MINIMUM OF ONCE PER WEEK OR WITHIN 24 HOURS AFTER A STORM EVENT.
- THE CONTRACTOR IS RESPONSIBLE TO KEEP THE SITE CLEAN OF TRASH. RECOMMENDED DAILY PATROL OF THE CONSTRUCTION SHOULD BE CONDUCTED TO PICK-UP TRASH.

EROSION CONTROL AND SOIL STABILIZATION PROGRAM

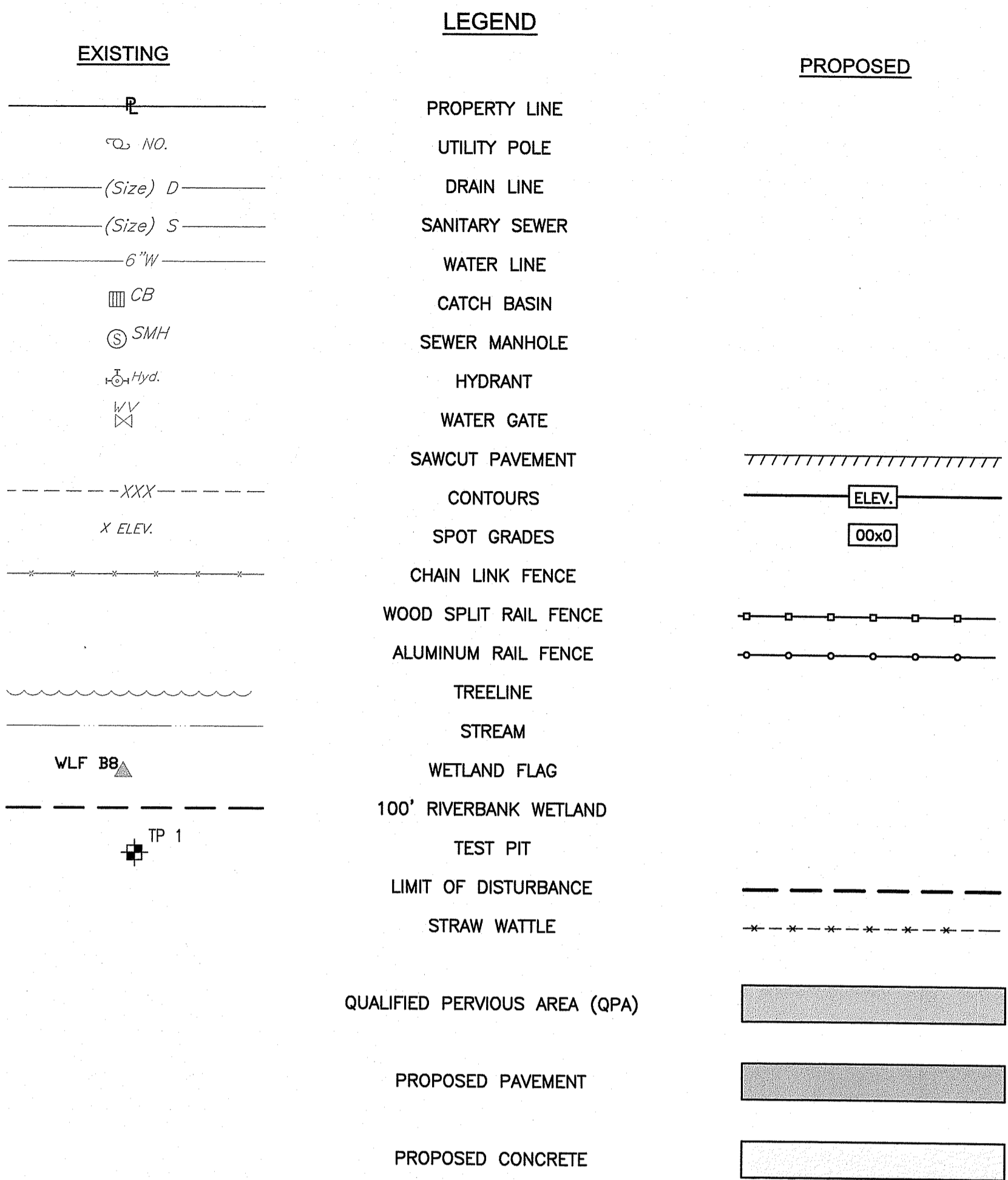
- TEMPORARY TREATMENTS SHALL CONSIST OF A HAY, STRAW, OR FIBER MULCH PROTECTIVE COVERS, SUCH AS A MAT OR FIBER LINING (BURLAP, JUTE, FIBERGLASS NETTING, EXCELSIOR BLANKETS). THEY SHALL BE INCORPORATED INTO THE WORK AS WARRANTED OR AS ORDERED BY THE OWNER.
- HAY OR STRAW APPLICATIONS SHALL BE IN THE AMOUNT OF 3,000-4,000 LBS/ACRE.
- STOCKPILES SHALL HAVE NO SLOPE STEEPER THAN 2:1 AND SHALL BE SURROUNDED BY STAKED HAY BALES OR SILT FENCING.
- STOCKPILES EXPOSED FOR EXCESSIVE PERIODS SHALL RECEIVE TEMPORARY TREATMENT CONSISTING OF HAY, STRAW OR FIBER MATTING.
- SILT FENCE OR STAKED HAYBALES MAY BE USED IN LIEU OF STRAW WATTLE.

SOIL EVALUATION DATA

SOIL EVALUATIONS WERE CONDUCTED BY CROSSMAN ENGINEERING, TEST PITS #1 AND #2 WERE CONDUCTED ON JANUARY 12, 2021 AND TEST PITS #3-#6 WERE CONDUCTED ON MAY 24, 2017.

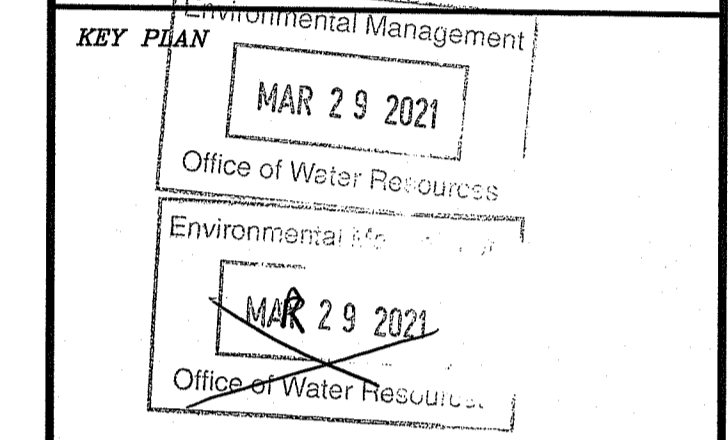
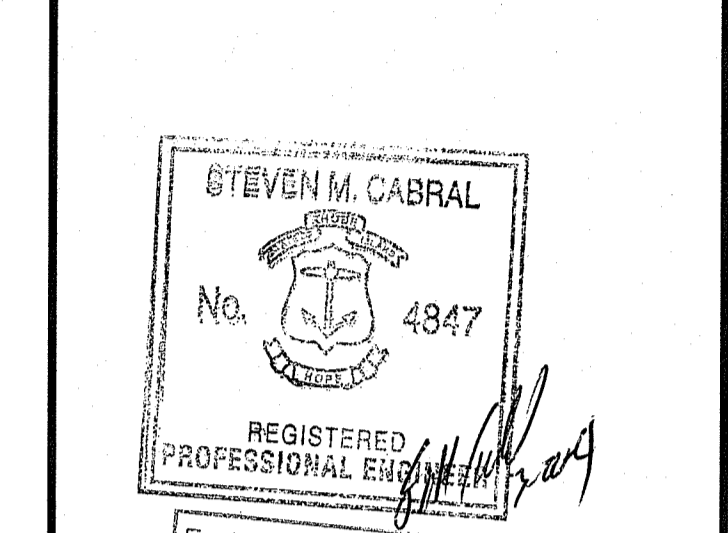


NOTE
 ORGANIC AND/OR FILL MATERIAL SHALL BE REMOVED TO A DEPTH OF 24" BELOW THE QPAS AND REPLACED WITH BANK-RUN GRAVEL OR COMMON BORROW.



CROSSMAN ENGINEERING
 Rhode Island: 151 Centerville Road, Warwick, RI 02886, Phone: (401) 738-5660
 Massachusetts: 103 Commonwealth Avenue, North Attleboro, MA 02783, Phone: (508) 695-1700
 Email: cel@crossmaneng.com

THESE DRAWINGS ARE THE PROPERTY OF CROSSMAN ENGINEERING AND HAVE BEEN PREPARED FOR THEIR CLIENT FOR A SPECIFIC SITE AND PROJECT. THESE DRAWINGS ARE NOT TO BE COPIED OR USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF CROSSMAN ENGINEERING.



PROPOSED SITE IMPROVEMENTS
 PLAT MAP 48, LOT 34
 ZONING DISTRICT PCD
 PLANNED CORPORATE DISTRICT
 1 RESERVOIR ROAD
 SMITHFIELD, RHODE ISLAND

C.N. WOOD CO., INC.
 CONTRACTORS' EQUIPMENT
 CORPORATE HEADQUARTERS
 200 MERRIMAC STREET
 WOBURN, MA 01801

GENERAL NOTES AND LEGEND
 DATE: MARCH 2021 SCALE: NO SCALE
 DWG. NAME: 2007-C01-NOTE.dwg

NUMBER	REMARKS	DATE
---	---	---


DRAWING NUMBER
C1
 SHEET: 2 OF 7



THESE DRAWINGS ARE THE PROPERTY OF CROSSMAN ENGINEERING AND HAVE BEEN PREPARED FOR THEIR CLIENT FOR A SPECIFIC SITE AND PROJECT. THESE DRAWINGS ARE NOT TO BE COPIED OR USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF CROSSMAN ENGINEERING.

STEVEN M. CABRAL
 No. 4847
 REGISTERED PROFESSIONAL ENGINEER
 Environmental Management
 MAR 29 2021
 Office of Water Resources
 Environmental Management
 MAR 29 2021
 Office of Water Resources

PROJECT TITLE:
PROPOSED SITE IMPROVEMENTS
PLAT MAP 48, LOT 34
ZONING DISTRICT PCD
PLANNED CORPORATE DISTRICT
1 RESERVOIR ROAD
SMITHFIELD, RHODE ISLAND

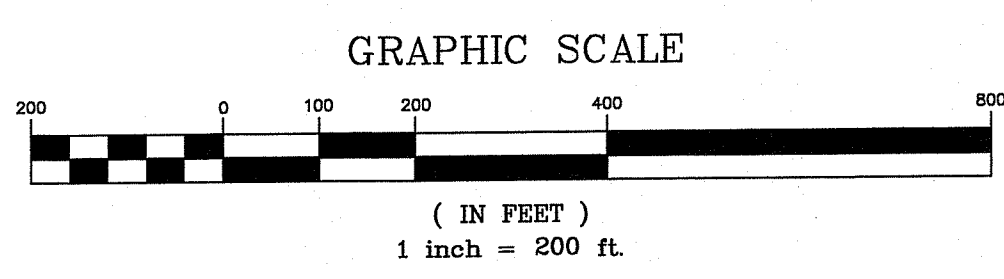
PREPARED FOR:

C.N. WOOD CO., INC.
CONTRACTORS' EQUIPMENT
CORPORATE HEADQUARTERS
200 MERRIMAC STREET
WOBURN, MA 01801

DRAWING TITLE:
SITE CONTEXT MAP

DATE: MARCH 2021 SCALE: 1"=200'
 DWG. NAME: 2007-C02-CONTEXT-Z.dwg

REVISIONS		
NUMBER	REMARKS	DATE

DRAWING NUMBER
C2
 SHEET: 3 OF 7



SOIL
 CeC - CANTON AND CHARLTON FINE SANDY LOAMS, VERY ROCKY 3 TO 15% SLOPES
 PbB - PAXTON VERY STONY FINE SANDY LOAM, 0 TO 8% SLOPES
 Rf - RIDGEBURY, WHITMAN AND LEICESTER EXTREMELY STONY FINE SANDY LOAMS
 UD - UDORTHENTS-URBAN LAND COMPLEX
 WoB - WAPPING SILT LOAM, 3 TO 8% SLOPES

ZONING
 I - INDUSTRIAL, PLANNED
 HC - HIGHWAY COMMERCIAL
 LI - LIGHT INDUSTRIAL
 PCD - PLANNED CORPORATE
 R80 - LOW DENSITY RESIDENTIAL

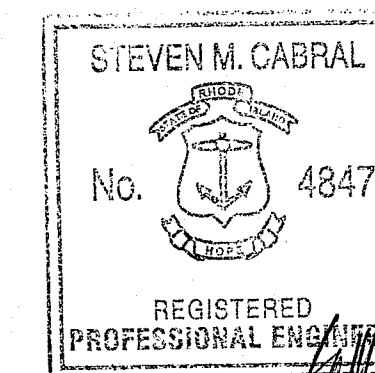
LEGEND
 PROPERTY LINE —————
 ABUTTER LINE —————
 EASEMENT LINE - - - - -
 ZONE LINE ————
 SOIL BOUNDARY LINE - - - - -

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED JUN 11 2021 FILE # 21-007
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED BY: *Nancy F. Flynn*

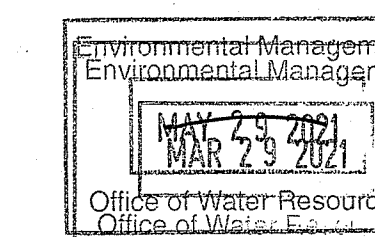
CROSSMAN ENGINEERING

Rhode Island: 151 Centerville Road, Warwick, RI 02886
 Massachusetts: 103 Commonwealth Avenue, North Attleboro, MA 02763
 Phone: (401) 738-5660 Phone: (508) 695-1700
 Email: cel@crossmaneng.com

THESE DRAWINGS ARE THE PROPERTY OF CROSSMAN ENGINEERING AND HAVE BEEN PREPARED FOR THEIR CLIENT FOR A SPECIFIC SITE AND PROJECT. THESE DRAWINGS ARE NOT TO BE COPIED OR USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF CROSSMAN ENGINEERING.



KEY PLAN



PROJECT TITLE:

PROPOSED SITE IMPROVEMENTS
PLAT MAP 48, LOT 34
ZONING DISTRICT PCD
PLANNED CORPORATE DISTRICT
1 RESERVOIR ROAD
SMITHFIELD, RHODE ISLAND

PREPARED FOR:


C.N. WOOD CO., INC.
CONTRACTORS' EQUIPMENT

CORPORATE HEADQUARTERS
200 MERRIMAC STREET
WOBURN, MA 01801

DRAWING TITLE:

EXISTING CONDITIONS PLAN

DATE: MARCH 2021
 SCALE: 1"=40'

DWG. NAME: 2007-C03-EXCN-Z.dwg

REVISIONS

NUMBER	REMARKS	DATE

DRAWING NUMBER

C3

SHEET: 4 OF 7

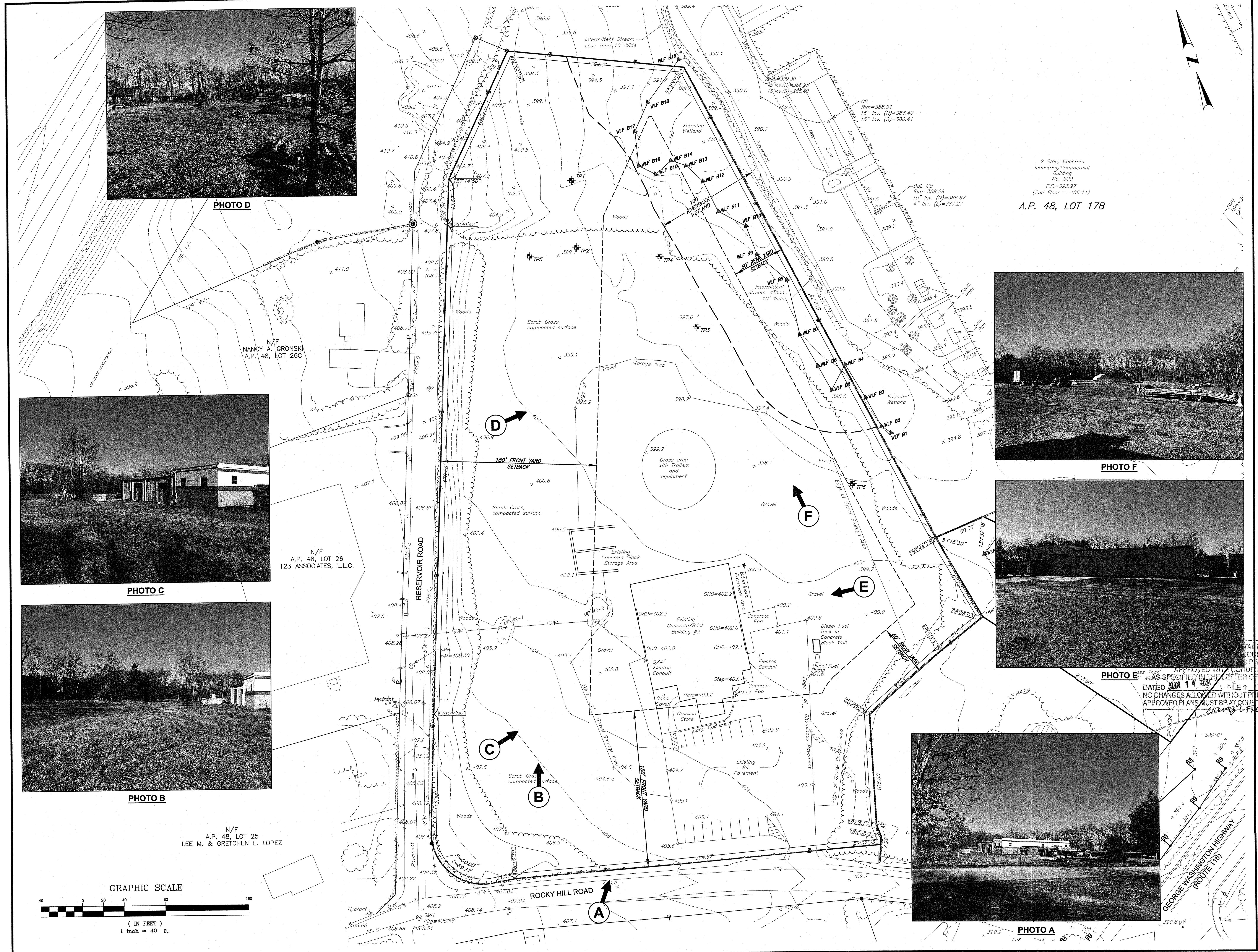


PHOTO D



PHOTO C

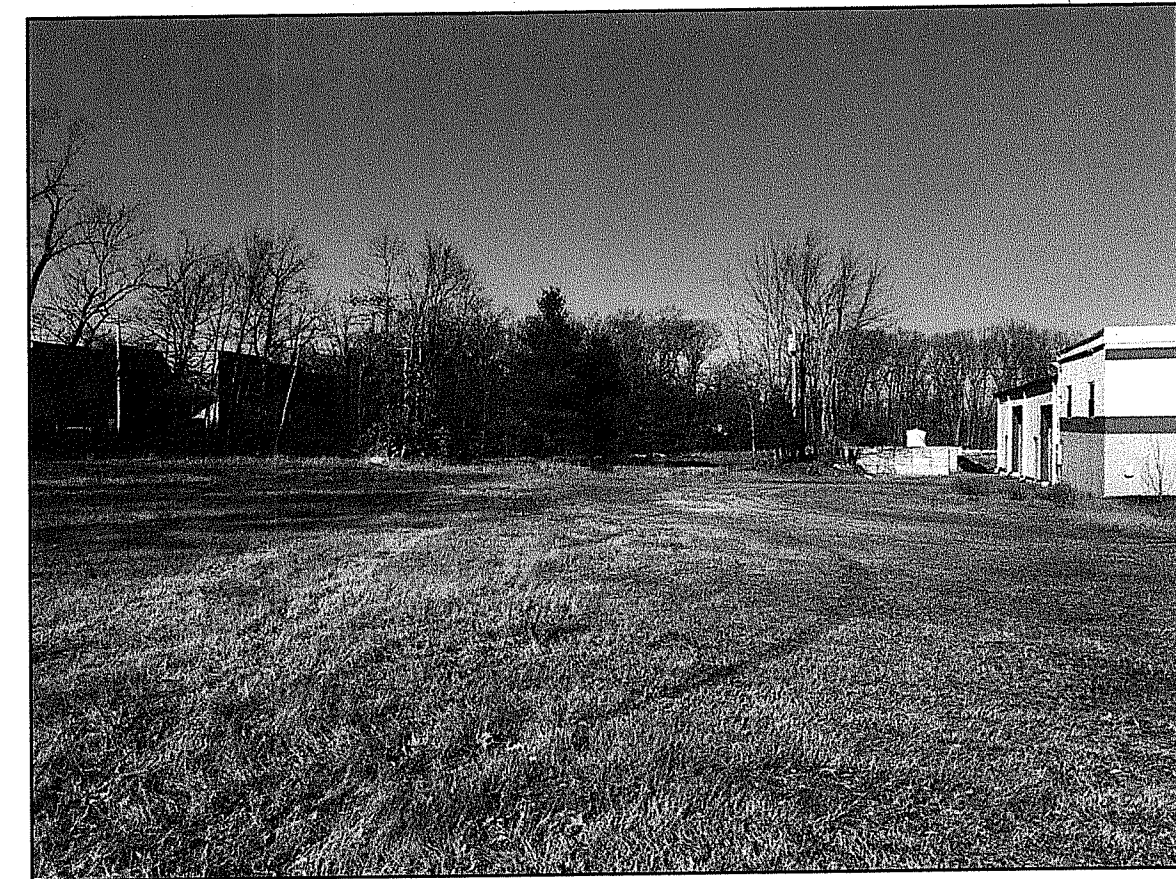


PHOTO B



PHOTO F

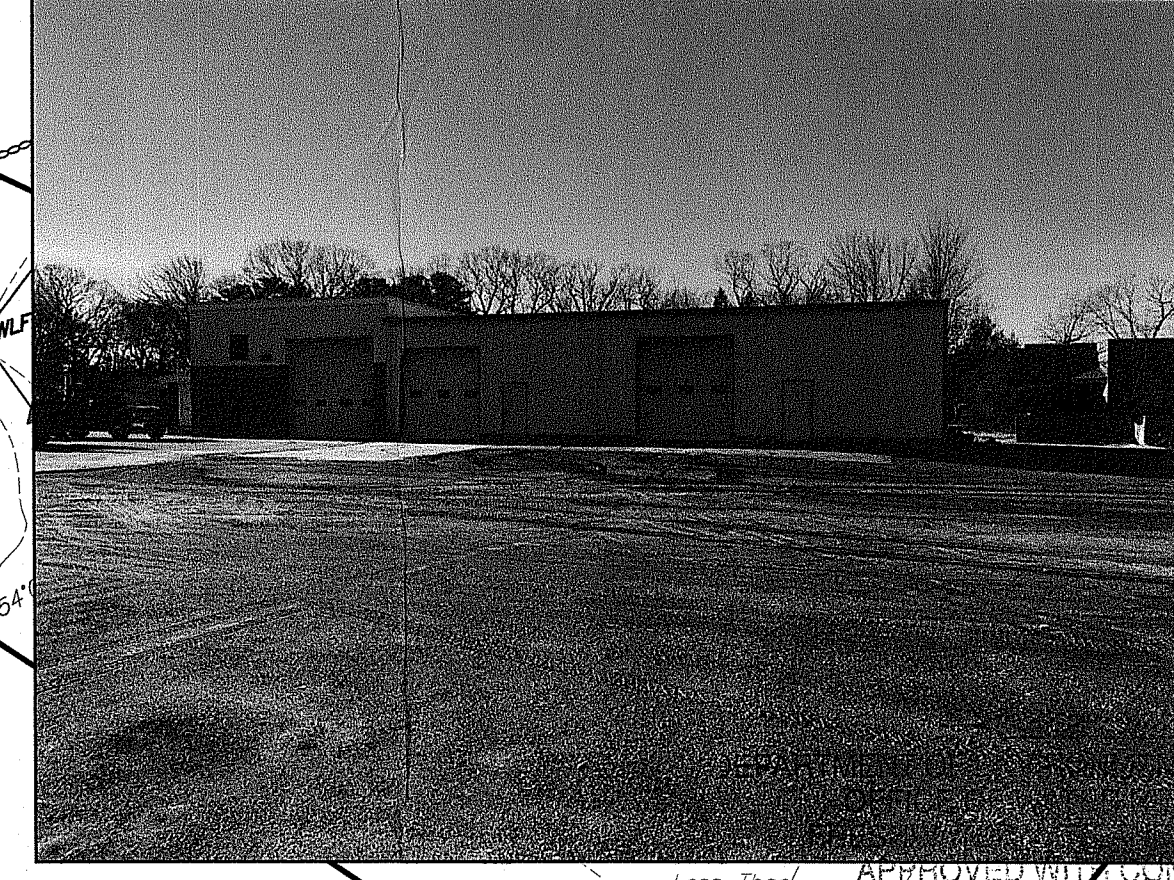


PHOTO E

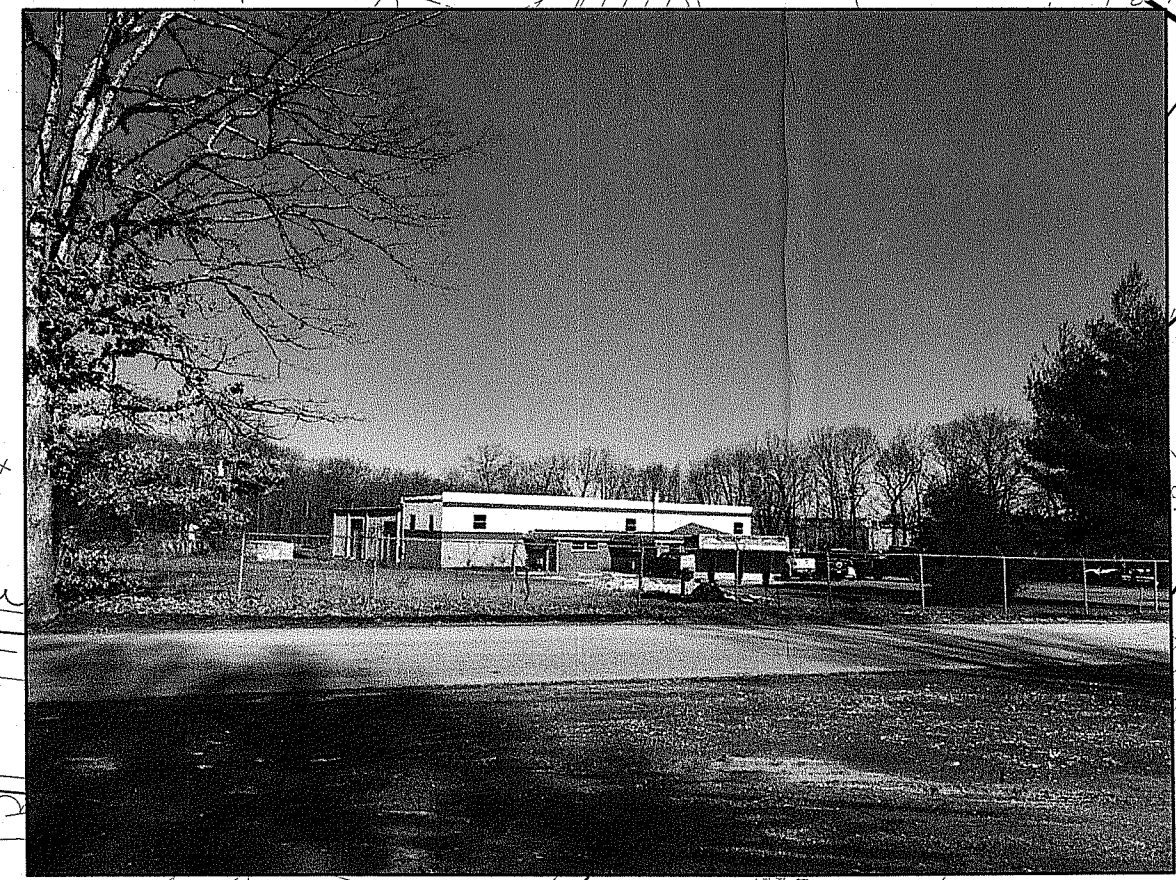
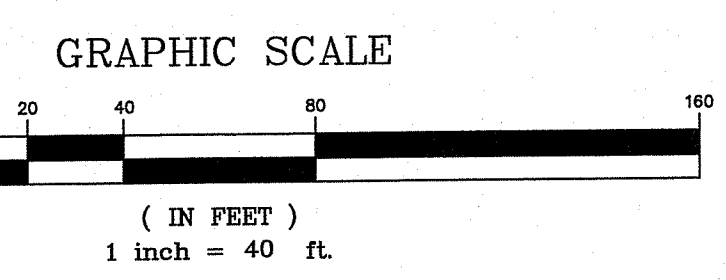


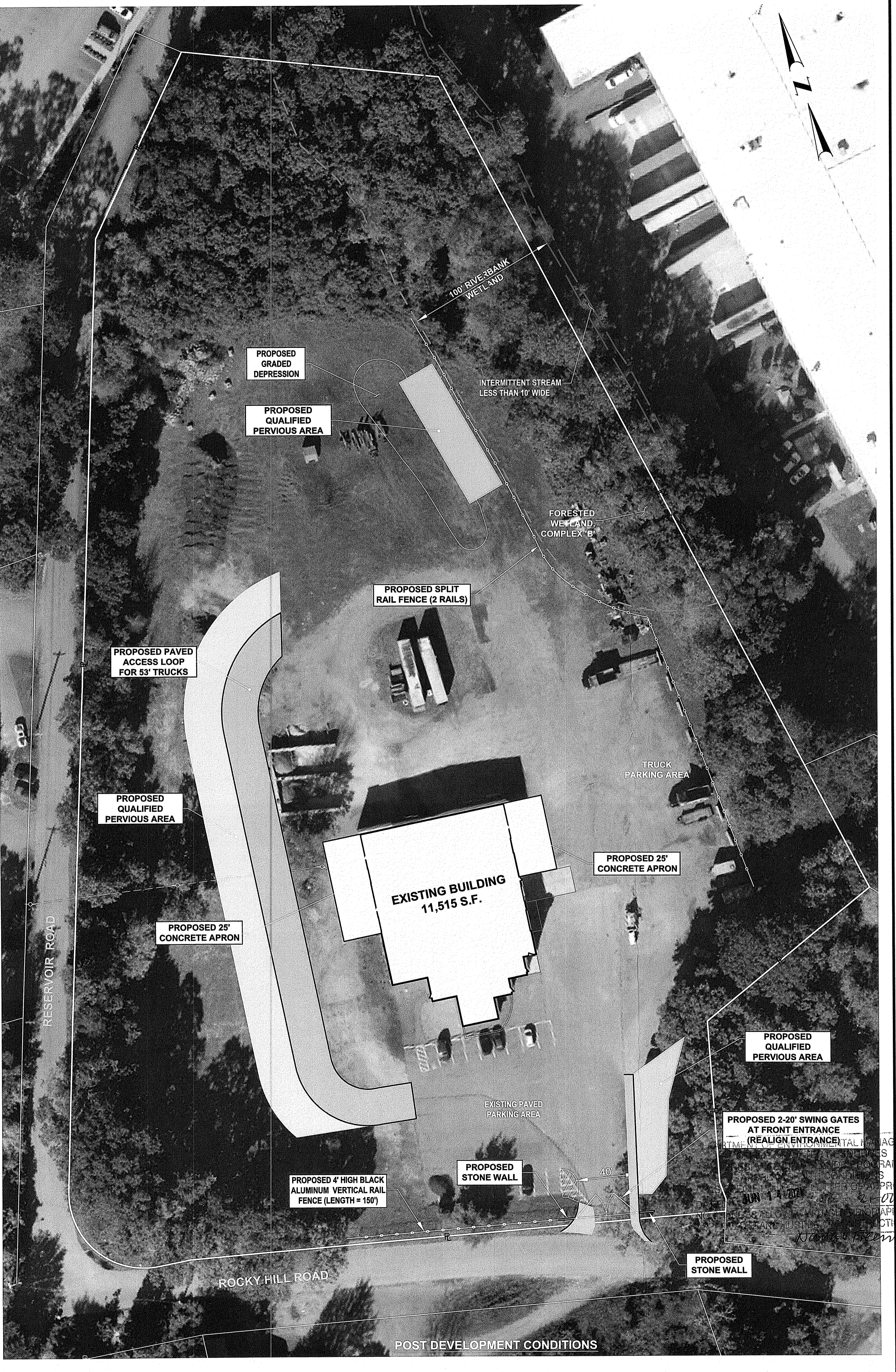
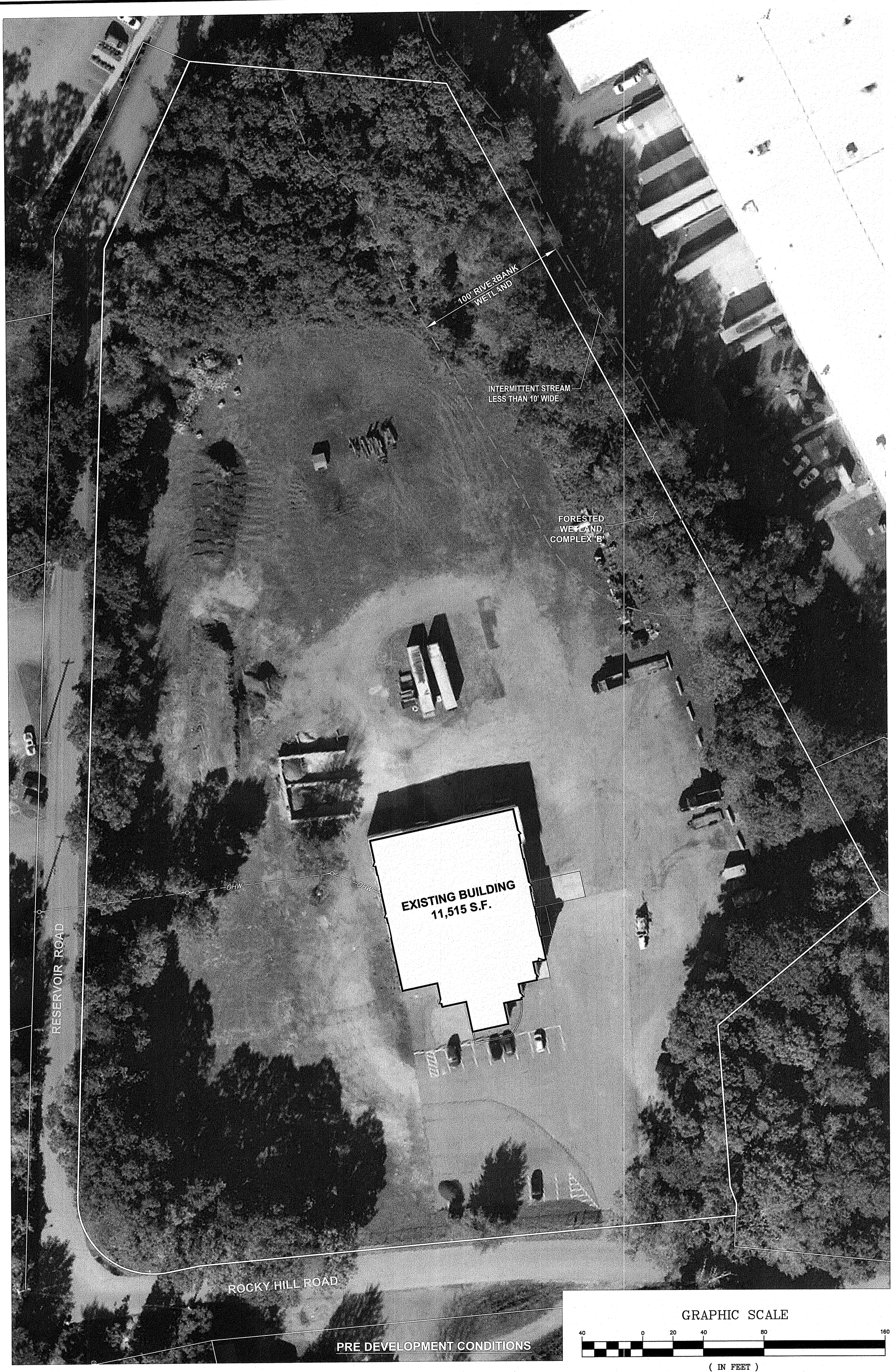
PHOTO A



N/F
 A.P. 48, LOT 25
 LEE M. & GRETCHEN L. LOPEZ

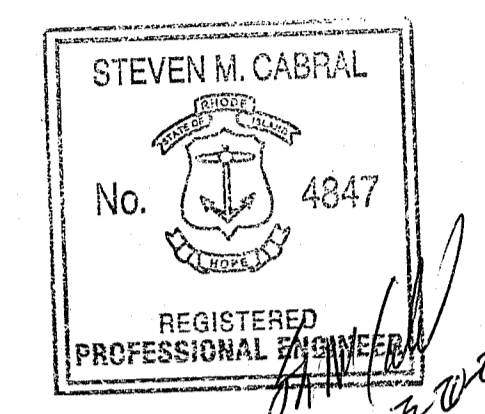
N/F
 NANCY A. GRONSKI
 A.P. 48, LOT 26C

N/F
 A.P. 48, LOT 26
 123 ASSOCIATES, L.L.C.



CROSSMAN ENGINEERING
 Rhode Island: 151 Centerville Road, Warwick, RI 02886, Phone: (401) 738-5660
 Massachusetts: 103 Commonwealth Avenue, North Attleboro, MA 02763, Phone: (508) 695-1700
 Email: ce@crosmaneng.com

THESE DRAWINGS ARE THE PROPERTY OF CROSSMAN ENGINEERING AND HAVE BEEN PREPARED FOR THEIR CLIENT FOR A SPECIFIC SITE AND PROJECT. THESE DRAWINGS ARE NOT TO BE COPIED OR USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF CROSSMAN ENGINEERING.



KEY PLAN

Environmental Management
 MAY 2021
 Office of Water Resources
 Environmental Management
 MAR 29 2021
 Office of Water

PROJECT TITLE:
PROPOSED SITE IMPROVEMENTS
 PLAT MAP 48, LOT 34
 ZONING DISTRICT PCD
 PLANNED CORPORATE DISTRICT
 1 RESERVOIR ROAD
 SMITHFIELD, RHODE ISLAND

PREPARED FOR:
C.N. WOOD CO., INC.
 CONTRACTORS' EQUIPMENT
 CORPORATE HEADQUARTERS
 200 MERRIMAC STREET
 WOBURN, MA 01801

DRAWING TITLE:
AERIAL PLAN

DATE: MARCH 2021 **SCALE:** 1"=40'
DWG. NAME: 2007-C04-AERIAL-Z.dwg

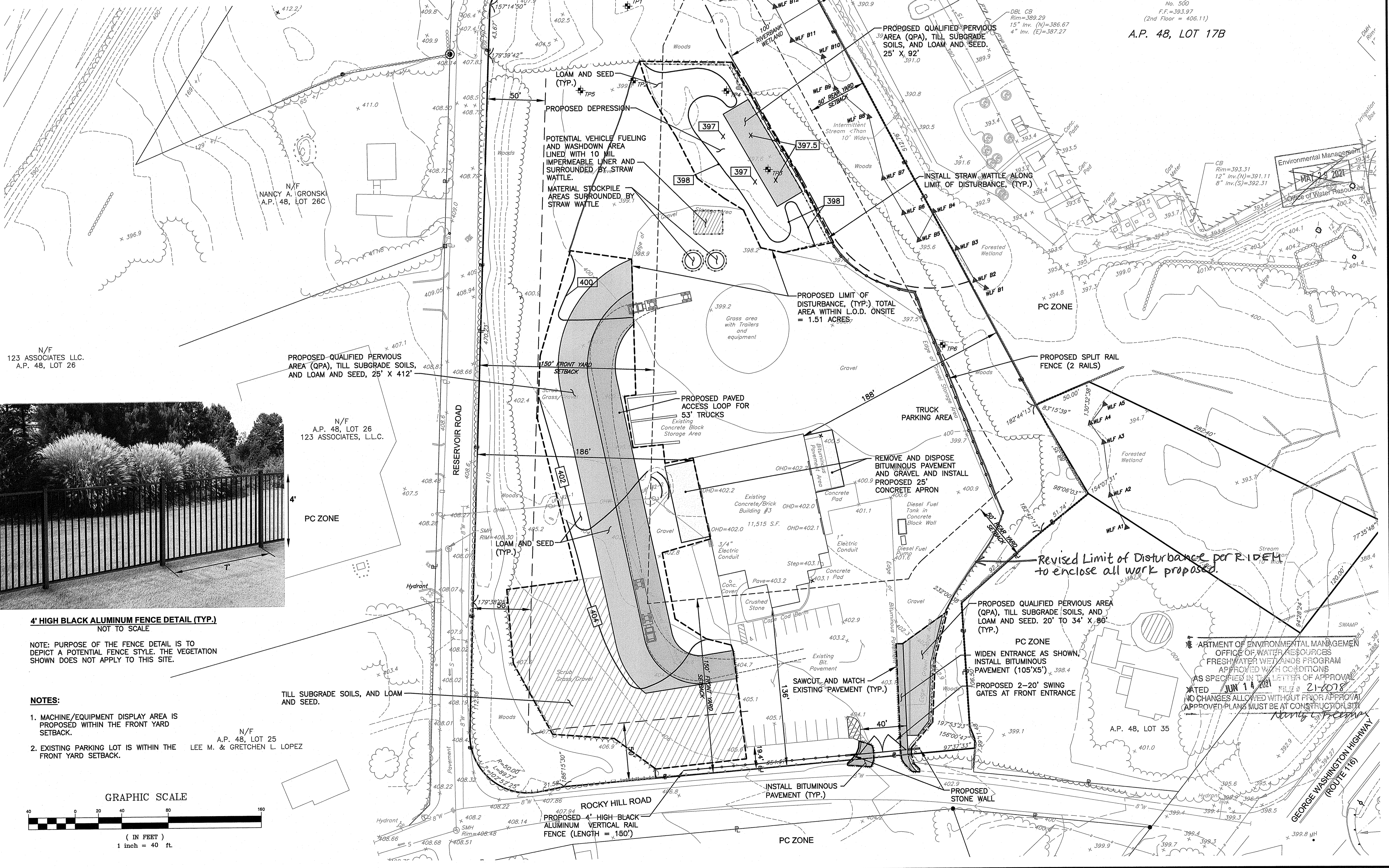
REVISIONS

NUMBER	REMARKS	DATE

DRAWING NUMBER:
C4
 SHEET: 5 OF 7

ZONING DISTRICT: PC (PLANNED CORPORATE DISTRICT- SINGLE SITE)

DIMENSIONAL REQUIREMENTS	REQUIRED	PROPOSED
MINIMUM LOT AREA	3 ACRES	6.93 ACRES
MINIMUM LOT FRONTAGE AND LOT WIDTH:	200'	400'
FRONT YARD SETBACK:	150'	136' (EXISTING)
SIDE YARD SETBACK:	50'	50'
REAR YARD SETBACK:	50'	188' (EXISTING)
MAXIMUM LOT COVERAGE:	35%	5%
MAXIMUM IMPERVIOUS SURFACE:	65%	<65%
MAXIMUM FLOOR AREA RATIO:	0.5	.03
MAXIMUM BUILDING HEIGHT:	48'	<48'



NOTES:

- LIGHTING: NO ADDITIONAL EXTERIOR LIGHT POLES ARE ANTICIPATED.
- BUILDING FACADE: FACADE CHANGES ARE LIMITED TO PAINTING THE RED BRICK AND EXISTING BLUE STRIPE WHITE.

EXTERIOR DISPLAY:

THE EXTERIOR DISPLAY WILL VARY BUT WILL TYPICALLY INCLUDE 20 - 30 MACHINES, SUCH AS:

- 10 MINI-EXCAVATORS/SKIDSTEERS
- 10-15 EXCAVATORS/WHEEL LOADERS
- 2 ELGIN STREET SWEEPERS
- 2-3 VACTOR TRUCKS

QUALIFIED PERVIOUS AREAS:

- TO PREVENT COMPACTION, CONSTRUCTION VEHICLES SHALL NOT DRIVE OVER THE OPAS. IF AREA BECOMES COMPACTED, THE SOIL MUST BE AMENDED, TILLED, AND RE-VEGETATED TO RESTORE INFILTRATION CAPACITY.
- STORAGE OF MACHINES AND/OR MACHINE/VEHICLE TRAFFIC IS NOT ALLOWED WITHIN PROPOSED QUALIFIED PERVIOUS AREAS (QPAS):

CROSSMAN ENGINEERING

Rhode Island: 151 Centerville Road, Warwick, RI 02886, Phone: (401) 738-5660
 Massachusetts: 103 Commonwealth Avenue, North Attleboro, MA 02763, Phone: (508) 695-1700

Email: cel@crossmaneng.com

THESE DRAWINGS ARE THE PROPERTY OF CROSSMAN ENGINEERING AND HAVE BEEN PREPARED FOR THEIR CLIENT FOR A SPECIFIC SITE AND PROJECT. THESE DRAWINGS ARE NOT TO BE COPIED OR USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF CROSSMAN ENGINEERING.

STEVEN M. CABRAL
 No. 4847
 REGISTERED PROFESSIONAL ENGINEER

KEY PLAN
 Environmental Management
 MAR 29 2021
 Office of Water Resources

PROJECT TITLE:

PROPOSED SITE IMPROVEMENTS
 PLAT MAP 48, LOT 34
 ZONING DISTRICT PCD
 PLANNED CORPORATE DISTRICT
 1 RESERVOIR ROAD
 SMITHFIELD, RHODE ISLAND

PREPARED FOR:

C.N. WOOD CO., INC.
 CONTRACTORS' EQUIPMENT

CORPORATE HEADQUARTERS
 200 MERRIMAC STREET
 WOBURN, MA 01801

DRAWING TITLE:

SITE LAYOUT PLAN

DATE: MARCH 2021 SCALE: 1"=40'

DWG. NAME: 2007-C05-SITE-Z - 2.dwg

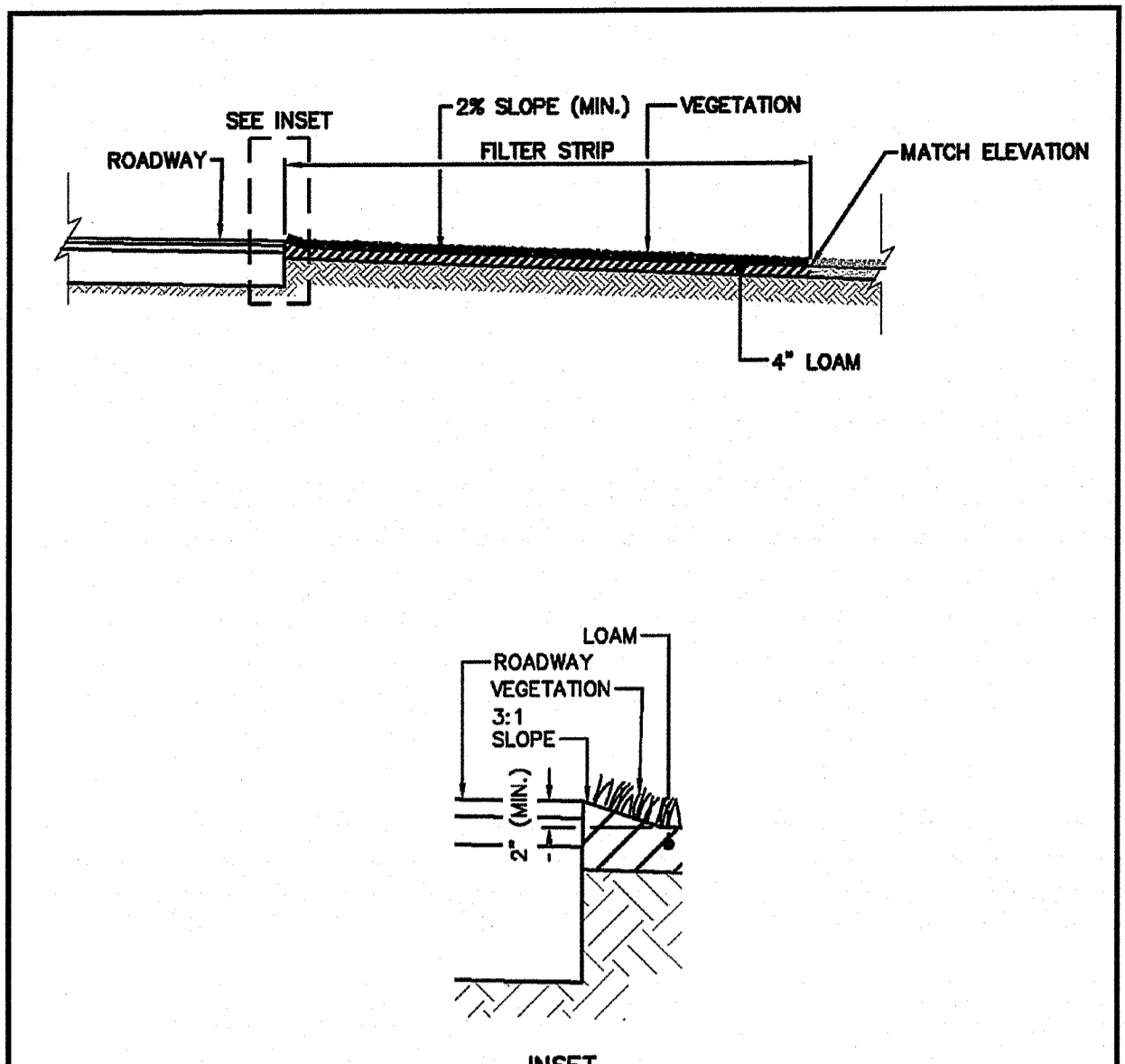
REVISIONS

NUMBER	REMARKS	DATE
--	--	--

DRAWING NUMBER

C5

SHEET: 6 OF 7



NOTES:

- TOP OF THE FILTER STRIP SHALL BE SET 2" BELOW THE DOWNSTREAM SIDE OF ADJACENT IMPERVIOUS SURFACES.
- VEGETATION SHALL BE IN ACCORDANCE WITH SECTIONS 2.5 OF THE R.I. LINEAR STORMWATER MANUAL.
- LOAM SHALL BE IN ACCORDANCE WITH SECTION L.01 OF THE R.I. STANDARD SPECIFICATIONS.
- SUBGRADE SHALL NOT BE COMPACTED.

RHODE ISLAND DEPARTMENT OF TRANSPORTATION		
FILTER STRIP		
NO.	BY	DATE

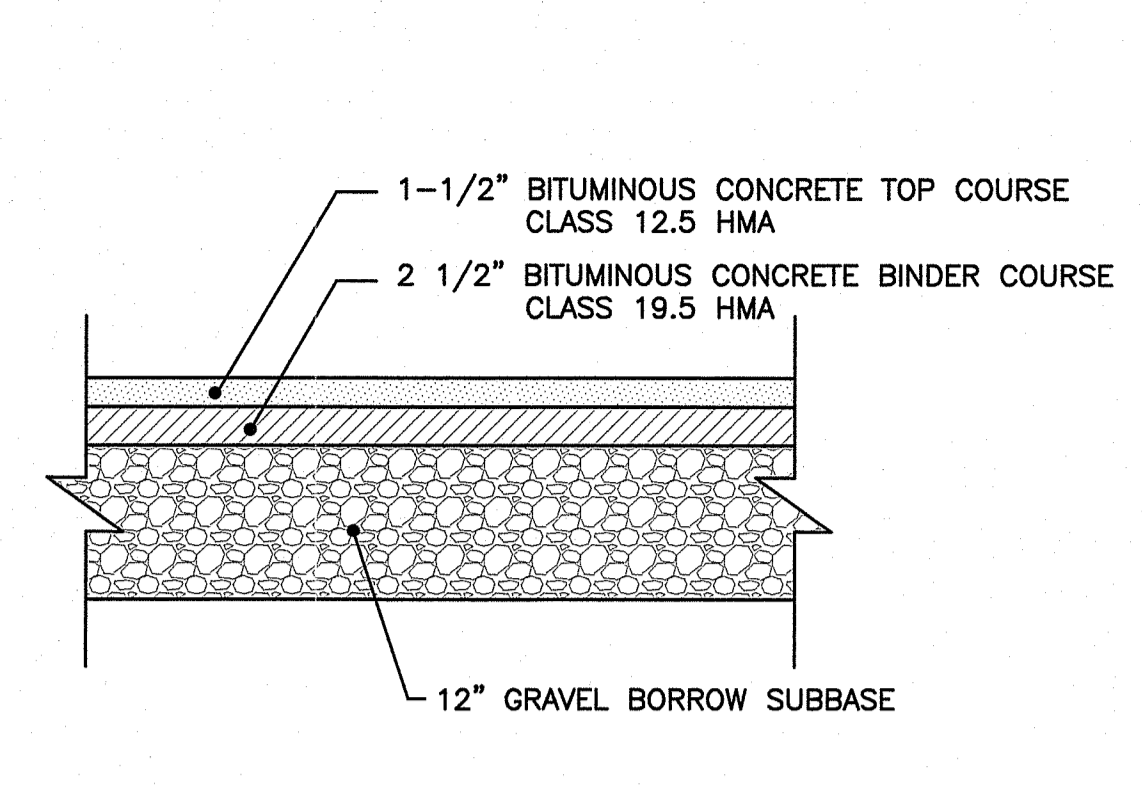
NOTES:

- TO PREVENT COMPACTION, CONSTRUCTION VEHICLES SHALL NOT DRIVE OVER THE QPAS. IF AREA BECOMES COMPACTED, THE SOIL MUST BE AMENDED, TILLED, AND RE-VEGETATED TO RESTORE INFILTRATION CAPACITY.
- STORAGE OF MACHINES AND/OR MACHINE/VEHICLE TRAFFIC IS NOT ALLOWED WITHIN PROPOSED QUALIFIED PERVIOUS AREAS (QPAS).
- BELOW QPA AREAS, REMOVE FILL/UNSUITABLE SOIL TO A DEPTH OF 24" BELOW EXISTING GRADE. REPLACE WITH BANK-RUN GRAVEL.
- IF QPAS ARE LOCATED WITHIN NATURAL (WOODED AREAS), THE QPAS SHALL REMAIN UNDISTURBED. QPAS WITHIN THE LIMIT OF DISTURBANCE SHALL BE SEEDED WITH THE BELOW SEED MIX;

QPA AND SWALE SEED MIX (SEED MIX NO. 2)
 APPLICATION RATE = 5 LBS. / S.F. (CONSERVATION MIX)

- 25% PER. RYE
- 25% CREEPING RED FESCUE
- 25% ANNUAL RYE
- 17% TALL FESCUE
- 5% KY. BLUE
- 1% COLONIAL BENTGRASS
- 1% RED TOP
- 1% WHITE CLOVER

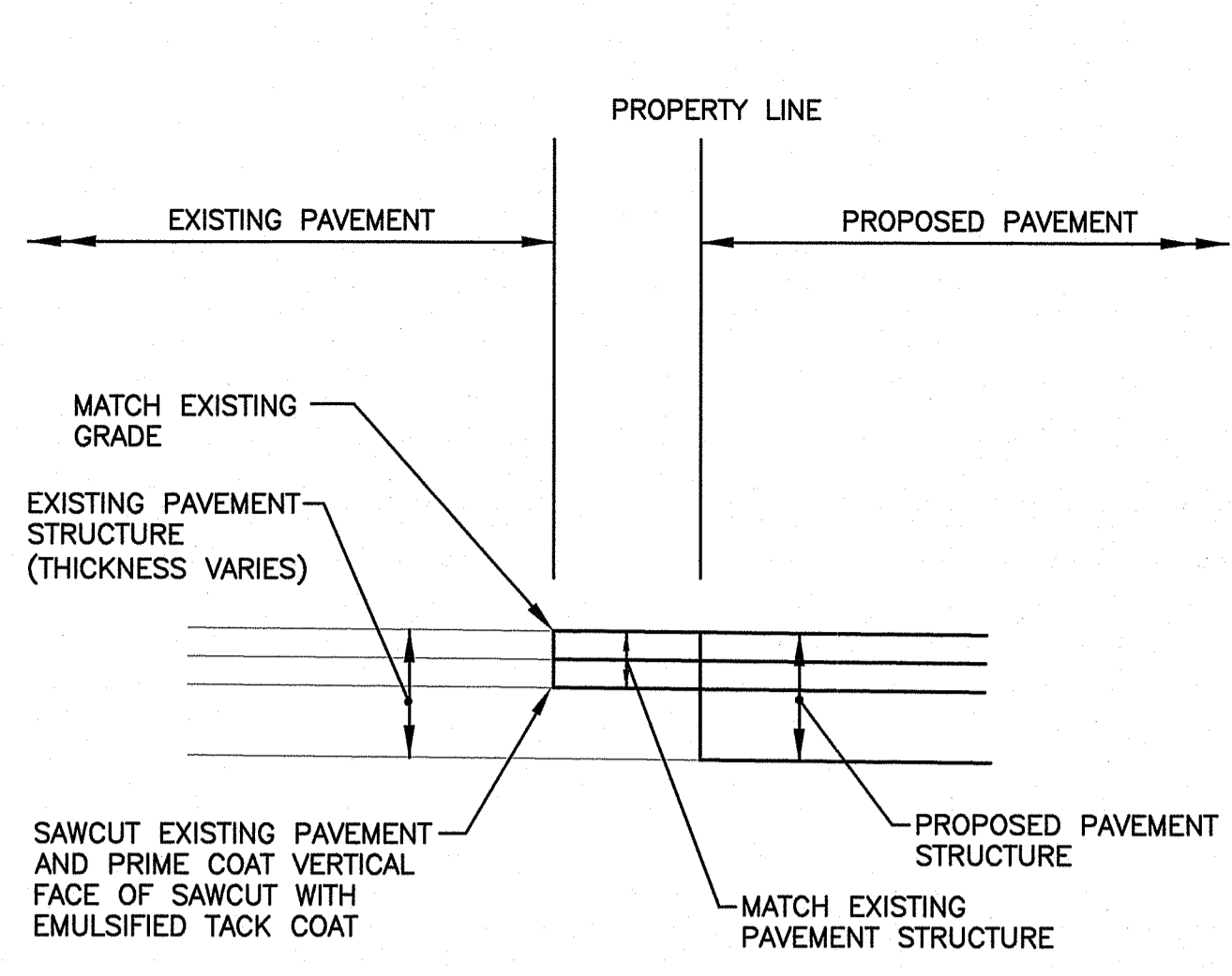
QUALIFIED PERVIOUS AREA (QPA) DETAIL
NOT TO SCALE



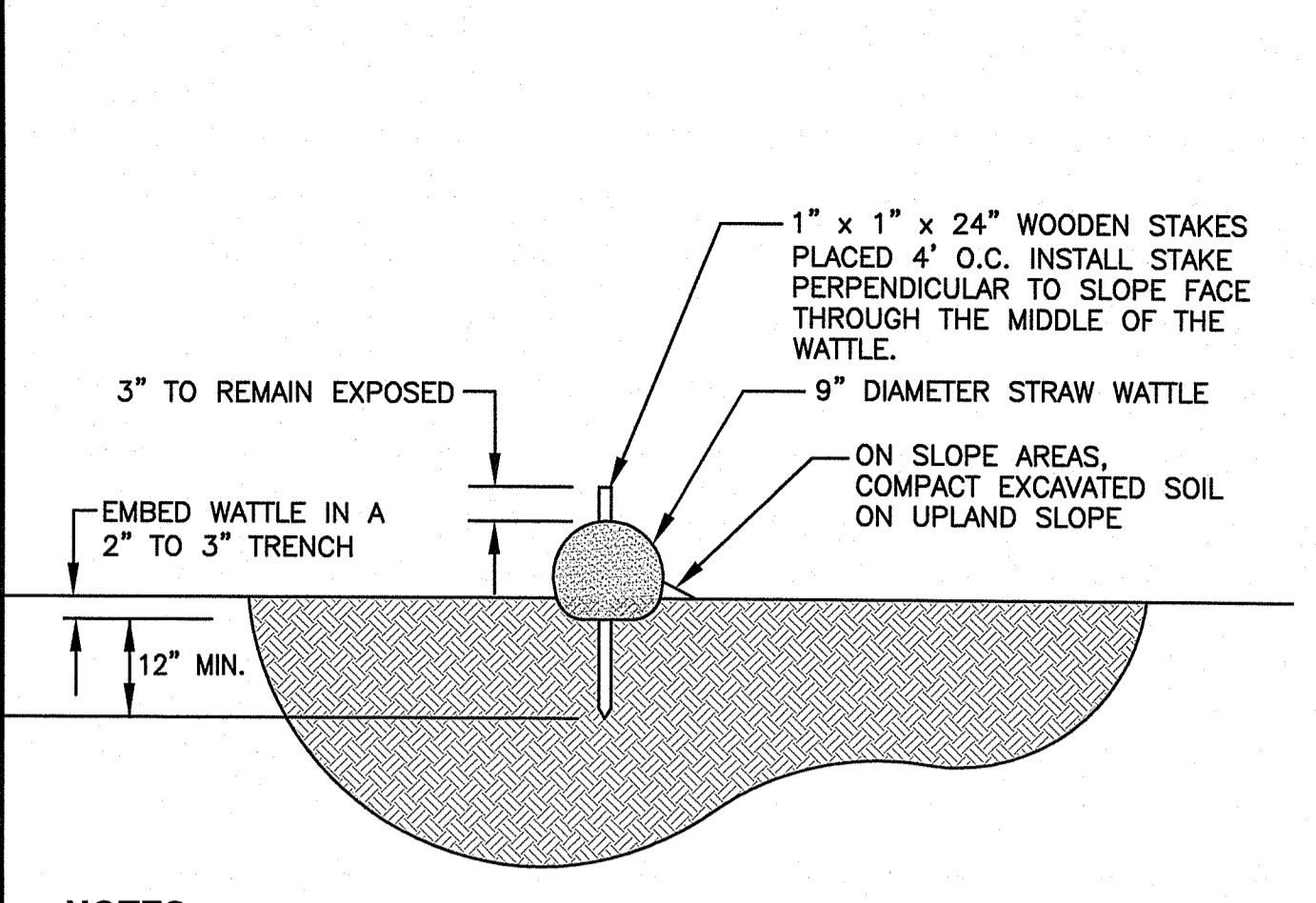
NOTE:

1. THE ABOVE PAVEMENT THICKNESS REPRESENTS THE MINIMUM THICKNESS FOR PASSENGER VEHICLE AREAS. PAVEMENT DEPTH TO BE BASED UPON SITE SPECIFIC SOIL CONDITIONS.

TYPICAL PAVEMENT STRUCTURE DETAIL
NOT TO SCALE



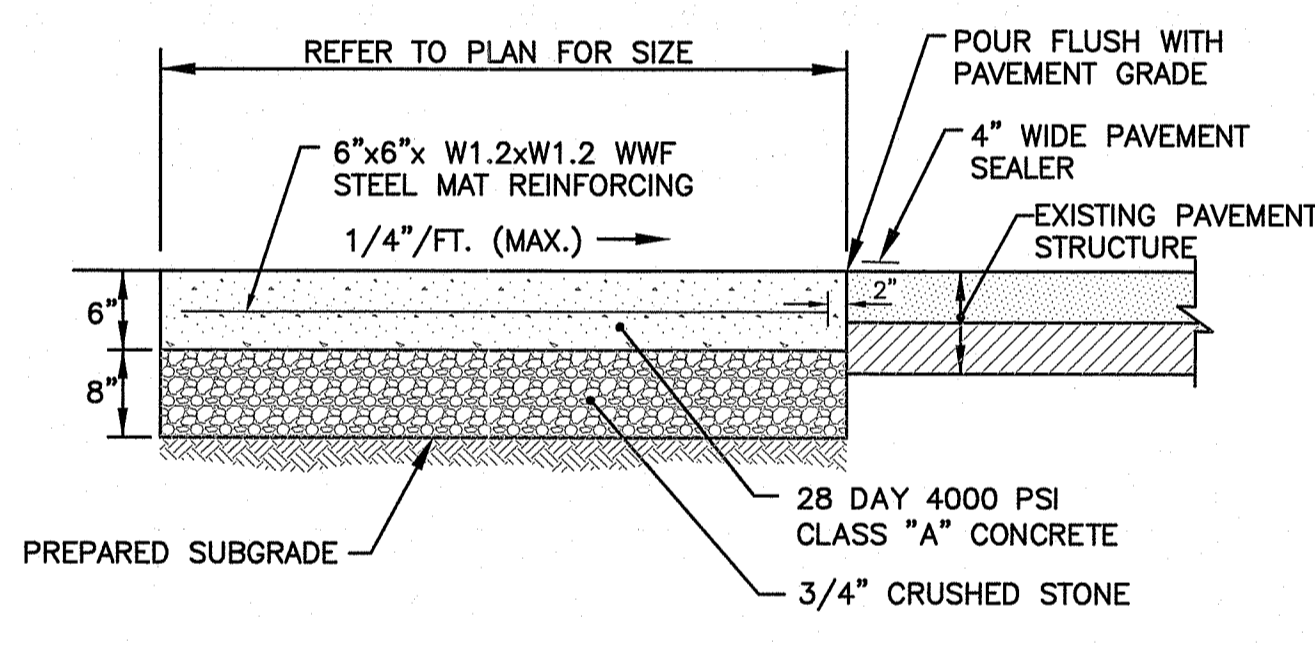
PROPOSED PAVEMENT MATCH AT EXISTING PAVEMENT
NOT TO SCALE



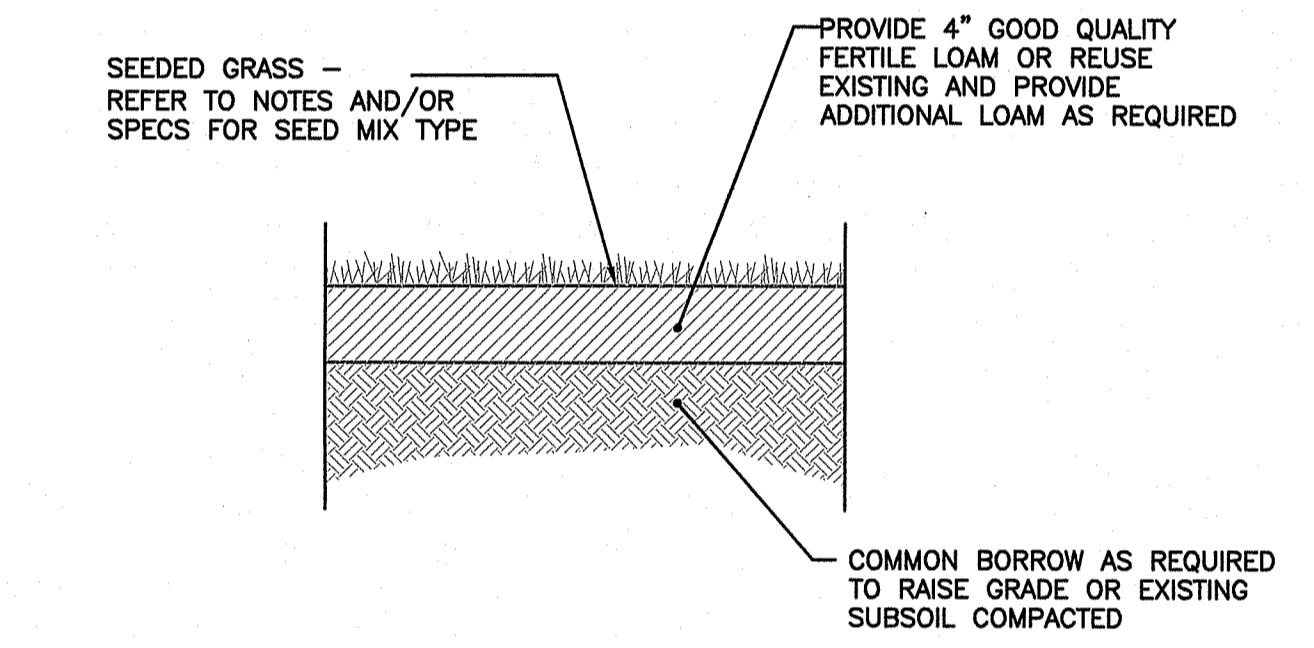
NOTES:

- INSTALLATION OF THE STRAW WATTLE SHALL CONFORM TO ALL THE MANUFACTURER'S RECOMMENDATIONS. AN "OR EQUAL" PRODUCT MUST BE APPROVED BY THE ENGINEER OR OWNER PRIOR TO CONSTRUCTION.
- A COMPOST FILTER SOCK CAN BE USED AS AN ACCEPTABLE "OR EQUAL" PRODUCT WITH SECTION 206 OF THE RHODE ISLAND STANDARD SPECIFICATIONS.

STRAW WATTLE DETAIL
NOT TO SCALE



REINFORCED CONCRETE APRON DETAIL
NOT TO SCALE



NOTE:

THE CONTRACTOR WILL BE RESPONSIBLE FOR WATERING LAWN DURING THE COURSE OF THE GROWING SEASON FOR A PERIOD OF ONE (1) YEAR.

LOAM-SEED DETAIL
NOT TO SCALE

SEEDING NOTES

- LOAM SHALL BE SPREAD TO A MINIMUM DEPTH OF 4" OVER ALL AREAS DESIGNATED ON PLANS.
- SHAPE AND SMOOTH THE SURFACE TO THE LINES AND GRADES AS SHOWN ON PLANS.
- FERTILIZE WITH 10-10-10 OR EQUIVALENT ANALYSIS. AT LEAST 40% OF THE FERTILIZER NITROGEN SHALL BE IN A SLOW RELEASE FORM. INCORPORATE THE FERTILIZER INTO THE TOP 3 TO 4 INCHES OF THE PLANTING SOIL. APPLY AT THE RATE OF 8 POUNDS PER 1,000 SQUARE FEET AT SEEDING.
- LIME: SPREAD EVENLY AND WORK INTO THE SOIL DURING PREPARATION OF SEED BED AT THE RATE OF ONE TON PER ACRE. INCORPORATE INTO THE SOIL BY DICING OR OTHER APPROVED METHOD. DISTRIBUTE LIME UNIFORMLY AND WORK INTO TOP 4 INCHES OF TOP SOIL (MINIMUM) AND UNIFORMLY BLEND BY DICING OR ROTOTILLING.
- APPLICATION OF SEED:
 - RATE OF APPLICATION OF SEED SHALL BE 8 POUNDS PER 1,000 SQUARE FEET OR AS INDICATED ON PLANS.
 - SEEDING SHALL BE DONE IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND INSTRUCTIONS, AND ONLY DURING THE FOLLOWING DATES:
 SPRING SEEDING: MARCH 15 TO MAY 31
 FALL SEEDING: AUGUST 15 TO OCTOBER 15
 - THE CONTRACTOR SHALL KEEP ALL SEEDED AREAS WATERED AND IN GOOD CONDITION, RESEEDING IF AND WHEN NECESSARY FOR AN 8 WEEK PERIOD OR UNTIL A GOOD, HEALTHY, UNIFORM GROWTH IS ESTABLISHED OVER THE ENTIRE AREA. THE CONTRACTOR SHALL ALSO MAINTAIN THESE AREAS IN AN APPROVED CONDITION UNTIL PROVISIONAL ACCEPTANCE.
 - DURING THIS PERIOD, WATER TURF AS NECESSARY TO MAINTAIN AN ADEQUATE SUPPLY OF MOISTURE WITHIN THE ROOT ZONE. AN ADEQUATE SUPPLY OF MOISTURE IS EQUIVALENT OF ONE INCH OF ABSORBED WATER PER WEEK THAT IS DELIVERED AT WEEKLY INTERVALS IN THE FORM OF NATURAL RAIN OR IS AUGMENTED AS REQUIRED BY PERIODIC WATERING.
 - OVERSEED WHEN NECESSARY TO PROMOTE GRASS GROWTH.
 - REPLANT AREAS VOID OF TURF ONE SQUARE FOOT OR LARGER.
- SEED:
 - SEED ALL AREAS DESIGNATED ON PLAN AS WELL AS ALL DISTURBED EXISTING AREAS WITH THE FOLLOWING SEED MIX:

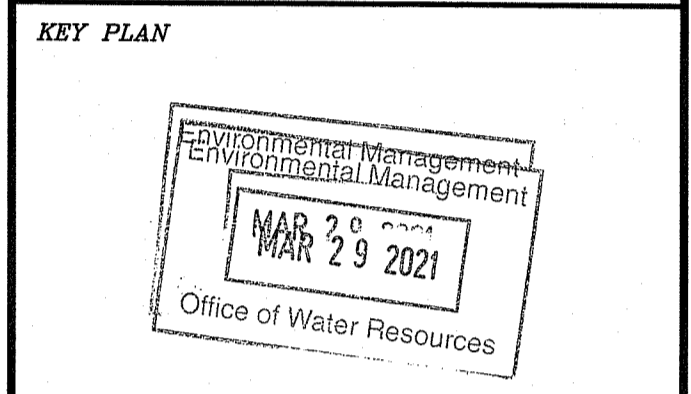
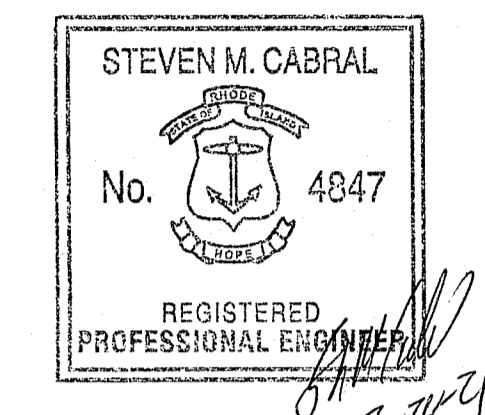
SEED MIX No. 1 (MOWED AREAS)		
TYPE	% BY WEIGHT	
NASSAU KENT BLUE	60	
JAMESTOWN CHEWINGS FESCUE	20	
PALMER PERENNIAL RYE GRASS	20	
APPLICATION RATE = 200 lbs. / ACRE		

*REFER TO QPA DETAIL FOR SEED MIX NO. 2

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED JUN 14 2021 FILE # 21-078
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE
 Nancy L. Freeman

CROSSMAN ENGINEERING
 Rhode Island: 151 Centerville Road, Warwick, RI 02886, Phone: (401) 738-5660
 Massachusetts: 103 Commonwealth Avenue, North Attleboro, MA 02763, Phone: (508) 695-1700
 Email: cel@crossmaneng.com

THESE DRAWINGS ARE THE PROPERTY OF CROSSMAN ENGINEERING AND HAVE BEEN PREPARED FOR THEIR CLIENT FOR A SPECIFIC SITE AND PROJECT. THESE DRAWINGS ARE NOT TO BE COPIED OR USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF CROSSMAN ENGINEERING.



PROPOSED SITE IMPROVEMENTS
 PLAT MAP 48, LOT 34
 ZONING DISTRICT PC
 PLANNED CORPORATE DISTRICT
 1 RESERVOIR ROAD
 SMITHFIELD, RHODE ISLAND

C.N. WOOD CO., INC.
 CONTRACTORS' EQUIPMENT
 CORPORATE HEADQUARTERS
 200 MERRIMAC STREET
 WOBURN, MA 01801

MISCELLANEOUS DETAIL PLAN

DATE: MARCH 2021 SCALE: 1"=40'
 DWG. NAME: 2007-C06-DETAIL-Z.dwg

REVISIONS	NUMBER	REMARKS	DATE

DRAWING NUMBER
C6
 SHEET: 7 OF 7