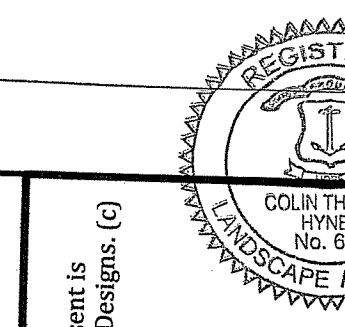


Existing Site Plan Notes

- The existing site elevations, structure locations, paving locations, utility information, wetland flag locations, & property boundaries shown on this plan were provided from a topographic survey conducted by South County Survey. The elevations are not mean sea level elevations. The elevations are based off of a benchmark elevation with an arbitrary starting elevation label of 100ft.
- Some of the information shown within the Base Plan/Existing Site Plan was provided by South County Survey. It's recommended that measurements be checked on site to make sure what is shown on the plan is accurate, prior to commencing any work. Elemental Designs is not responsible for the accuracy of information and work provided by South County Survey. Elemental Designs is also not responsible for any problems arising from the inaccuracy of information and work provided by South County Survey.

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM

NOTE PER DEM:
 Kindly be advised that this Permit is not equivalent to a permit verification of the type or extent of freshwater wetlands on site.



General Notes
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 2022

Elemental Designs
 Office of Water Resources
 MAR 17 2022
 Revision Notes

Date	By	For
2/24/22	Colin T. Hyman	00
	Colin T. Hyman	149 South Pier Rd - DUNNE
	Colin T. Hyman	RES
	Colin T. Hyman	149 South Pier Rd - DUNNE
02/24/22	Colin T. Hyman	Project Manager

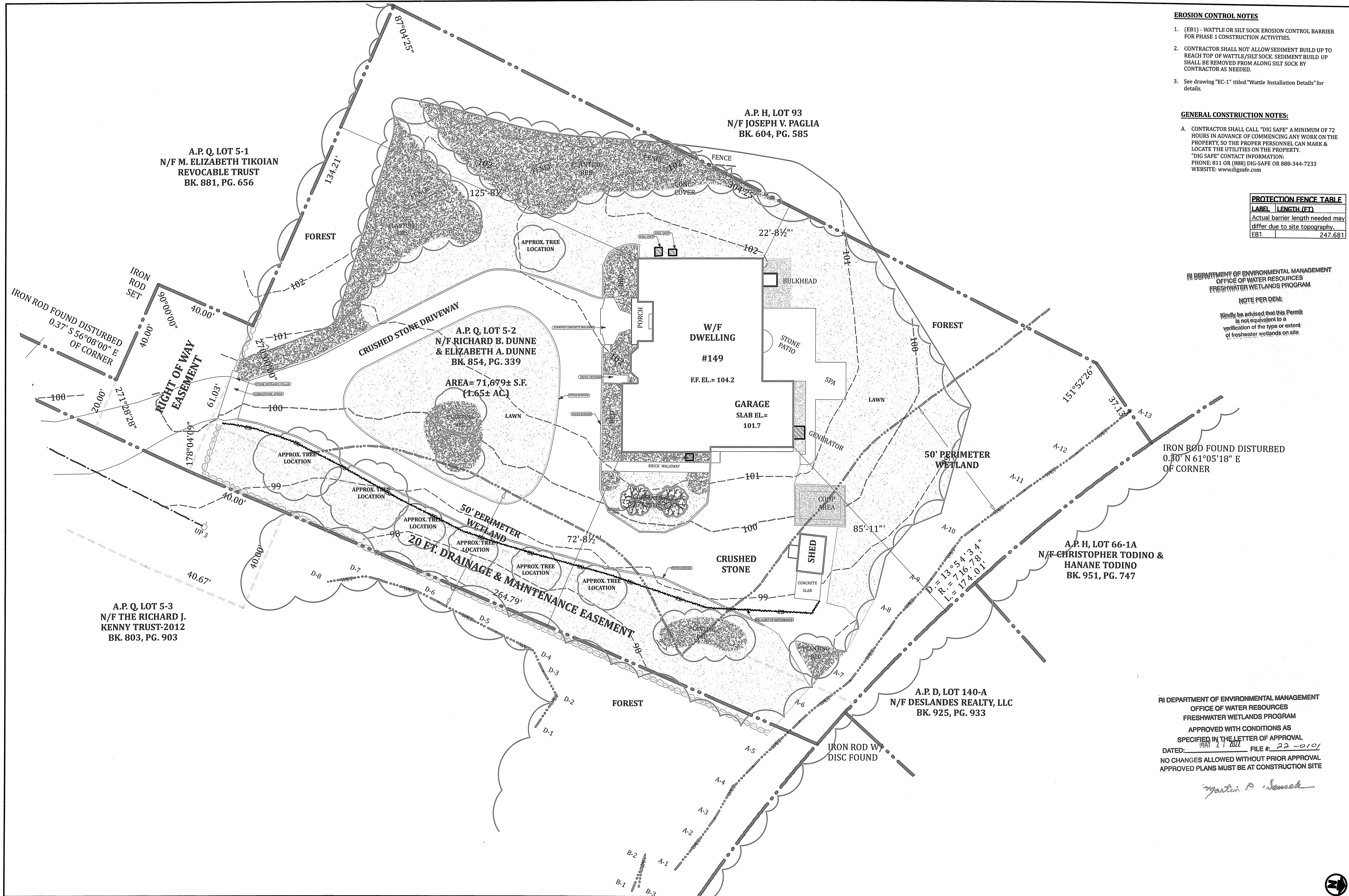
Elemental Designs
 P.O. Box 181
 Saunderstown, RI 02874
 401-362-9610
 www.ElementalID.com

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM

APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED: MAY 27 2022 FILE # 22-012
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE
Martin D. Weneck

Project No.	Dunne Residence 149 South Pier Rd Narragansett, RI 02882
Client	Richard & Elizabeth Dunne 149 South Pier Rd Narragansett, RI 02882
Scale	1" = 30'
Sheet No.	01/CEX-P01





A.P. Q, LOT 5-1
N/F M. ELIZABETH TIKOIAN
REVOCABLE TRUST
BK. 881, PG. 656

A.P. H, LOT 93
N/F JOSEPH V. PAGLIA
BK. 604, PG. 585

A.P. Q, LOT 5-2
N/F RICHARD B. DUNNE
& ELIZABETH A. DUNNE
BK. 854, PG. 339
AREA = 71,679± S.F.
(1.65± AC.)

A.P. H, LOT 66-1A
N/F CHRISTOPHER TODINO &
HANANE TODINO
BK. 951, PG. 747

A.P. Q, LOT 5-3
N/F THE RICHARD J.
KENNY TRUST-2012
BK. 803, PG. 903

A.P. D, LOT 140-A
N/F DESLANDES REALTY, LLC
BK. 925, PG. 933

EROSION CONTROL NOTES

- (EB1) - WATTLE OR SILT SOCK EROSION CONTROL BARRIER FOR PHASE 1 CONSTRUCTION ACTIVITIES.
- CONTRACTOR SHALL NOT ALLOW SEDIMENT BUILD UP TO REACH TOP OF WATTLE/SILT SOCK. SEDIMENT BUILD UP SHALL BE REMOVED FROM ALONG SILT SOCK BY CONTRACTOR AS NEEDED.
- See drawing "EC-1" titled "Wattle Installation Details" for details.

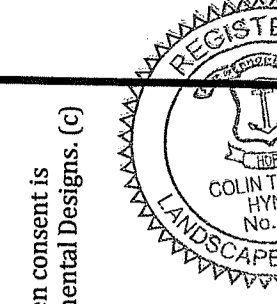
GENERAL CONSTRUCTION NOTES:

- CONTRACTOR SHALL CALL "DIG SAFE" A MINIMUM OF 72 HOURS IN ADVANCE OF COMMENCING ANY WORK ON THE PROPERTY, SO THE PROPER PERSONNEL CAN MARK & LOCATE THE UTILITIES ON THE PROPERTY. "DIG SAFE" CONTACT INFORMATION:
PHONE: 811 OR (888) DIG-SAFE OR 888-344-7233
WEBSITE: www.digsafe.com

PROTECTION FENCE TABLE	
LABEL	LENGTH (FT)
EB1	247.681

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM

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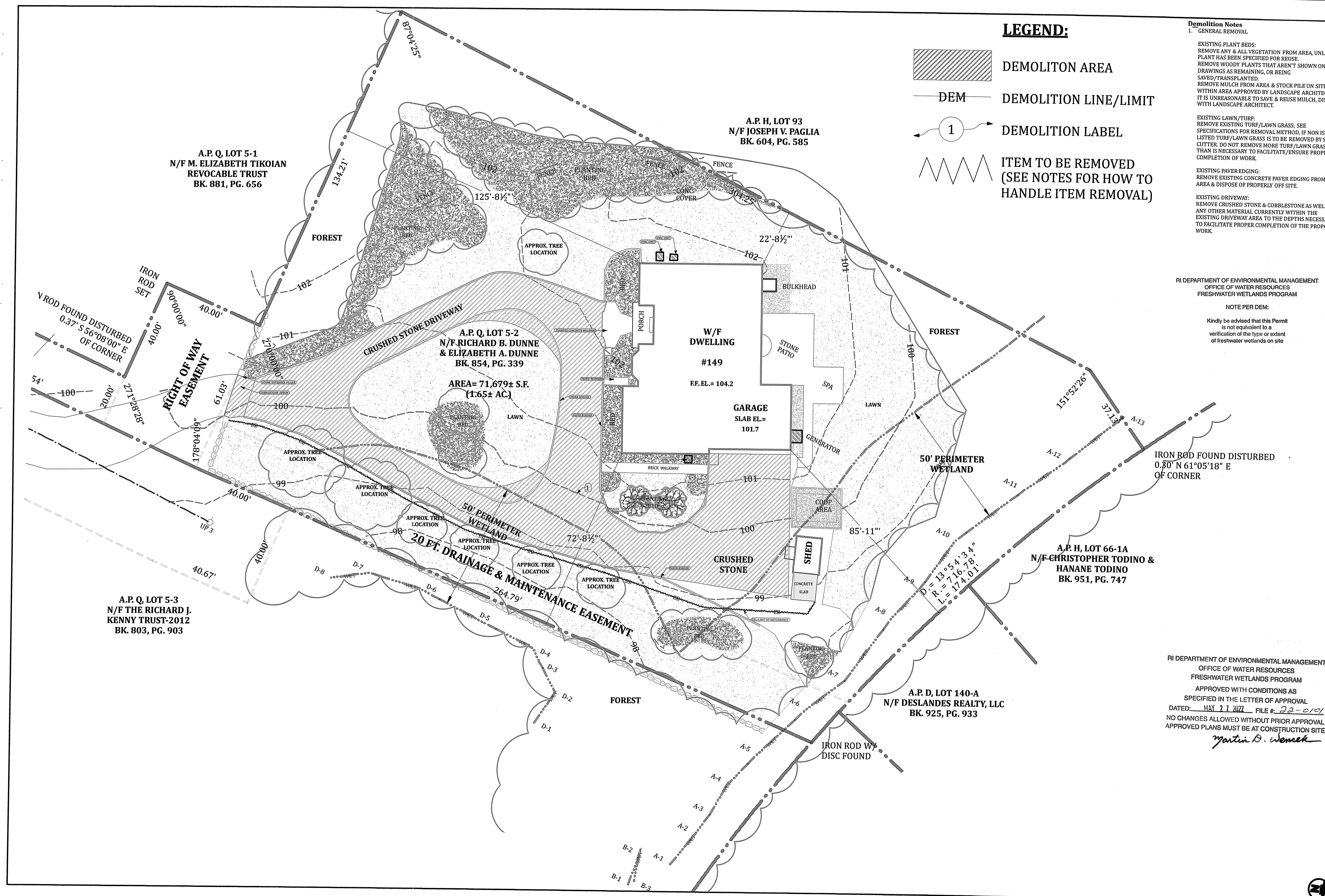
Environmental Management
Office of Water Resources
MAR 17 2022

Program	Date	By	Checked	Approved
149 South Pier Rd - DUNNE	2/23/22	Colin T. Hyman	Colin T. Hyman	Colin T. Hyman
149 South Pier Rd - DUNNE		Colin T. Hyman	Colin T. Hyman	Colin T. Hyman
149 South Pier Rd - DUNNE		Colin T. Hyman	Colin T. Hyman	Colin T. Hyman

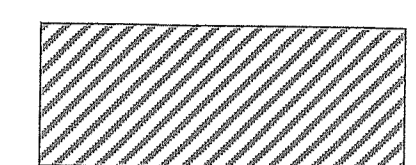

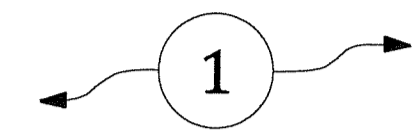

Elemental Designs
P.O. Box 181
Sanderson, RI 02874
401-363-9610
www.ElementalD.com

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL
DATED: MAR 17 2022 FILE #: 22-010
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Martin P. Senack



LEGEND:

-  DEMOLITION AREA
-  DEMOLITION LINE/LIMIT
-  DEMOLITION LABEL
-  ITEM TO BE REMOVED (SEE NOTES FOR HOW TO HANDLE ITEM REMOVAL)

Demolition Notes
 1. GENERAL REMOVAL
 EXISTING PLANT BEDS:
 REMOVE ANY & ALL VEGETATION FROM AREA, UNLESS PLANT HAS BEEN SPECIFIED FOR REUSE.
 REMOVE WOODY PLANTS THAT AREN'T SHOWN ON DRAWINGS AS REMAINING, OR BEING SAVED/TRANSPLANTED.
 REMOVE MULCH FROM AREA & STOCK PILE ON SITE WITHIN AREA APPROVED BY LANDSCAPE ARCHITECT. IF IT IS UNREASONABLE TO SAVE & REUSE MULCH, DISCUSS WITH LANDSCAPE ARCHITECT.
 EXISTING LAWN/TURF:
 REMOVE EXISTING TURF/LAWN GRASS. SEE SPECIFICATIONS FOR REMOVAL METHOD. IF NON IS LISTED TURF/LAWN GRASS IS TO BE REMOVED BY SOD CUTTER. DO NOT REMOVE MORE TURF/LAWN GRASS THAN IS NECESSARY TO FACILITATE/ENSURE PROPER COMPLETION OF WORK.
 EXISTING PAVEMENT/EDGING:
 REMOVE EXISTING CONCRETE PAVEMENT FROM AREA & DISPOSE OF PROPERLY OFF SITE.
 EXISTING DRIVEWAY:
 REMOVE CRUSHED STONE & COBBLESTONE AS WELL AS ANY OTHER MATERIAL CURRENTLY WITHIN THE EXISTING DRIVEWAY AREA TO THE DEPTHS NECESSARY TO FACILITATE PROPER COMPLETION OF THE PROPOSED WORK.

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
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RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
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Martin B. Wenczek

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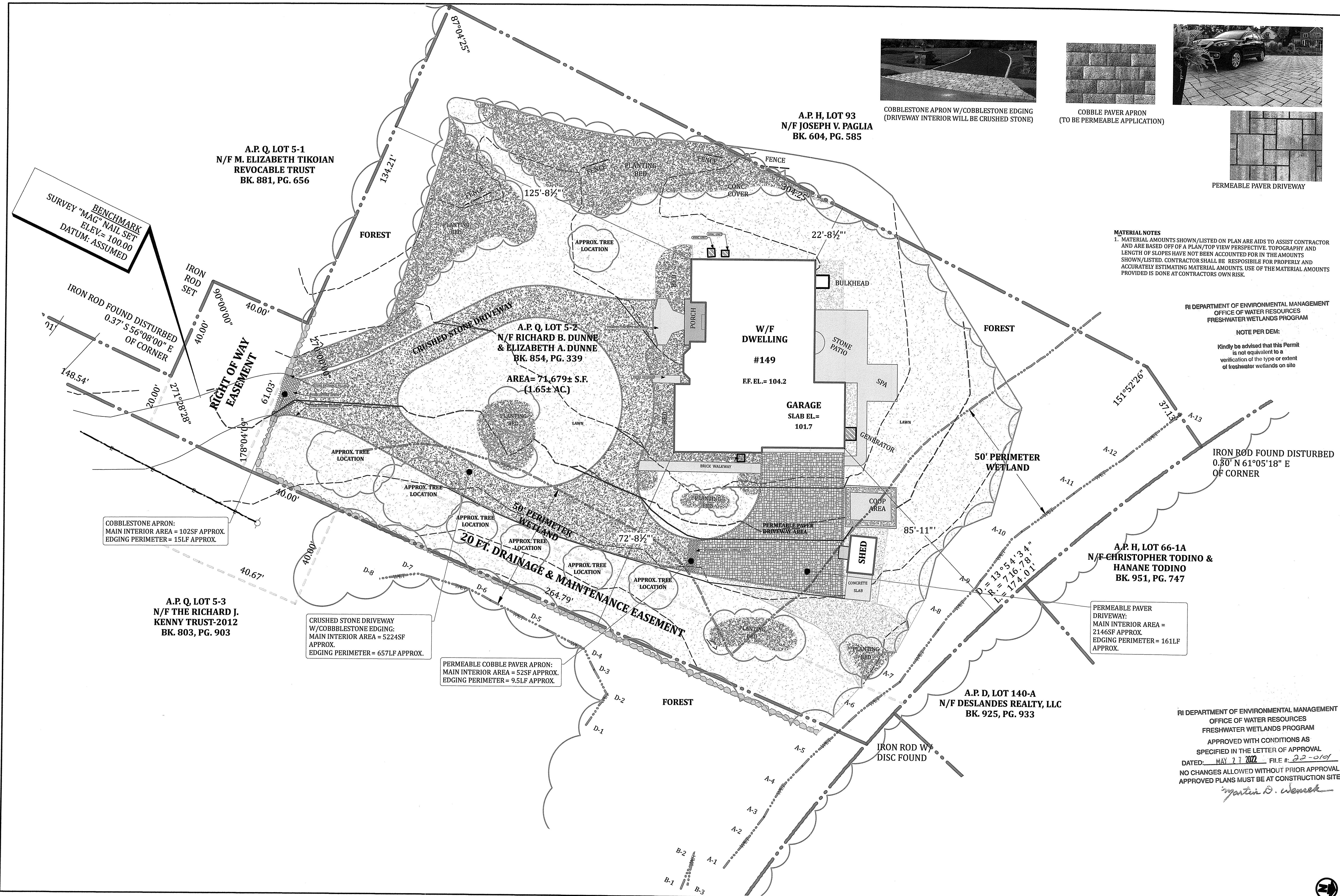
Office of Water Resources
 MAR 17 2022
 Environmental Management

Project No.	2/23/22
Client	00
Address	149 South Pier Rd, Dunne
City	02882
State	RI
County	02874
Parcel No.	401-363-4610
Scale	1/16" = 1'

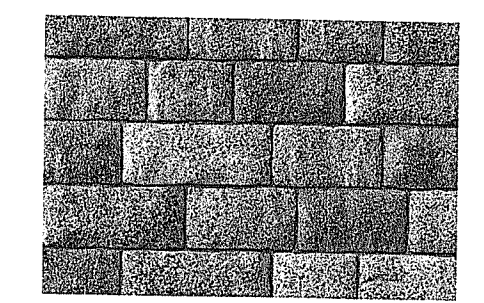
Elemental Designs
 P.O. Box 181
 401-363-4610
 www.ElementalD.com

Dunne Residence
 149 South Pier Rd
 Narragansett, RI 02882
 Richard & Elizabeth Dunne
 149 South Pier Rd
 Narragansett, RI 02882

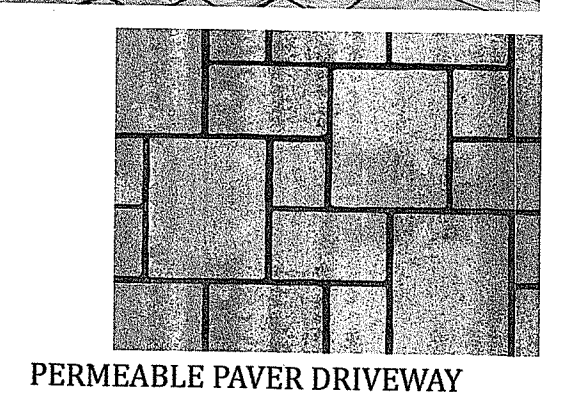
03/CDE-PO
 of
 8



COBBLESTONE APRON W/ COBBLESTONE EDGING
(DRIVEWAY INTERIOR WILL BE CRUSHED STONE)



COBBLE PAVER APRON
(TO BE PERMEABLE APPLICATION)



PERMEABLE PAVER DRIVEWAY

MATERIAL NOTES
 1. MATERIAL AMOUNTS SHOWN/LISTED ON PLAN ARE AIDS TO ASSIST CONTRACTOR AND ARE BASED OFF OF A PLAN/TOP VIEW PERSPECTIVE. TOPOGRAPHY AND LENGTH OF SLOPES HAVE NOT BEEN ACCOUNTED FOR IN THE AMOUNTS SHOWN/LISTED. CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY AND ACCURATELY ESTIMATING MATERIAL AMOUNTS. USE OF THE MATERIAL AMOUNTS PROVIDED IS DONE AT CONTRACTORS OWN RISK.
 2. PICTURES ARE ONLY INTENDED TO BE MATERIAL VISUAL APPEARANCE AIDS. THE ACTUAL MATERIAL(S) AND LANDSCAPE INSTALLATION MAY DIFFER IN APPEARANCE. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING PROPER MATERIAL IS SOURCED AND PRICED.

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
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IRON ROD FOUND DISTURBED
 0.30' N 61°05'18" E
 OF CORNER

A.P. H, LOT 66-1A
 N/F CHRISTOPHER TODINO &
 HANANE TODINO
 BK. 951, PG. 747

PERMEABLE PAVER
 DRIVEWAY:
 MAIN INTERIOR AREA =
 2146SF APPROX.
 EDGING PERIMETER = 1611LF
 APPROX.

A.P. D, LOT 140-A
 N/F DESLANDES REALTY, LLC
 BK. 925, PG. 933

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
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Martin D. Wenzel

General Notes
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 2. Pictures are only intended to be material visual appearance aids. The actual material(s) and landscape installation may differ in appearance. Contractor shall be responsible for ensuring proper material is sourced and priced.

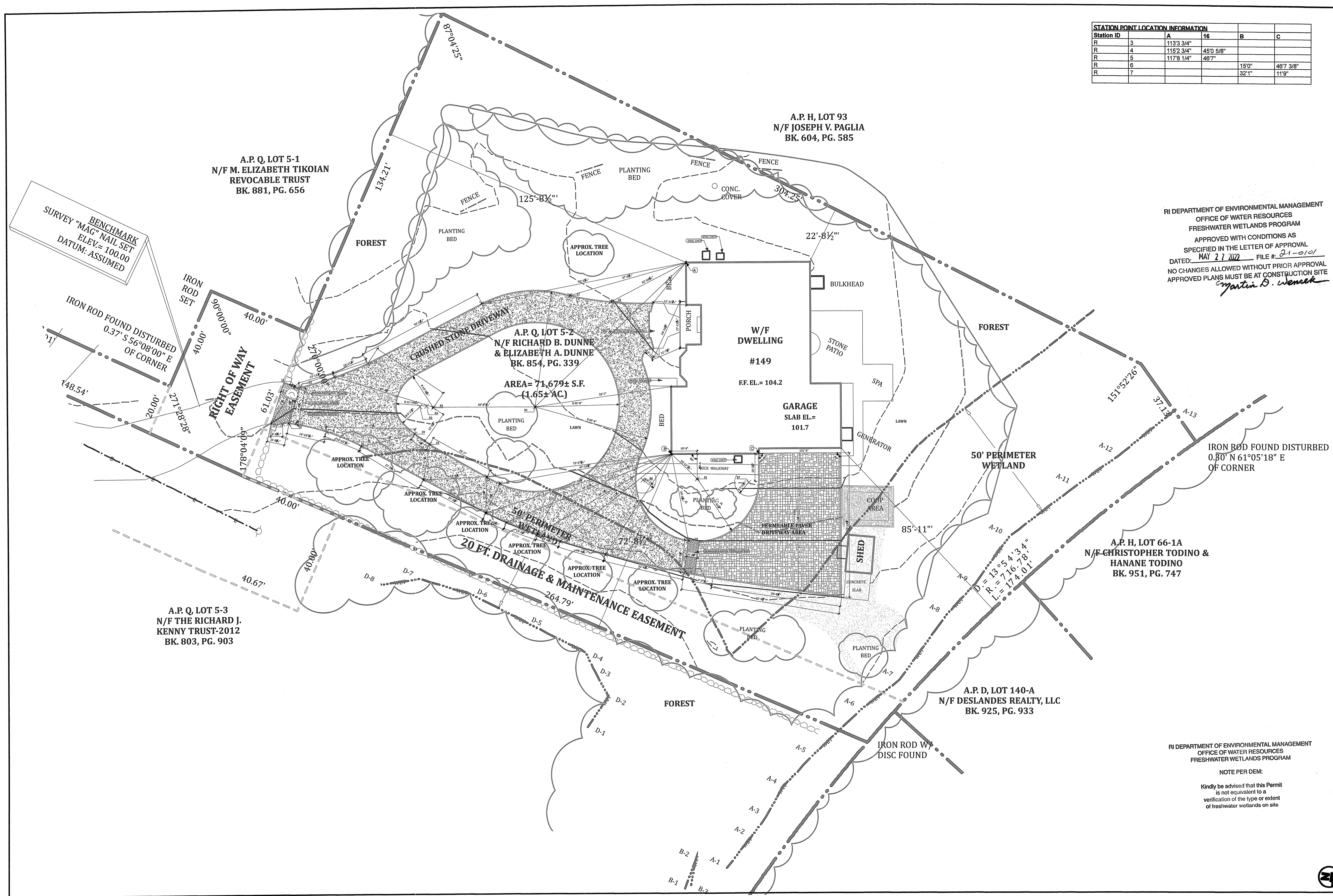
Environmental Management
 Office of Water Resources
 MAR 17 2022

Project No.	2/24/22
Client	149 South Pier Rd, DUNNE
Design By	Colin T. Hyman
Drawn By	Colin T. Hyman
Scale	1/8" = 1'
Project Manager	Colin T. Hyman
Drawn Date	02/23/22

Project No. 149 South Pier Rd
 Narragansett, RI 02882
 Client: Richard & Elizabeth Dunne
 Design: Colin T. Hyman
 Date: 02/23/22

Scale: 1/8" = 1'
 Title: 05/CMA-P01
 Date: 05/17/22

STATION POINT LOCATION INFORMATION			
Station ID	A	B	C
R 3	113'3 3/4"		
R 4	115'2 3/4"	45'0 5/8"	
R 5	117'8 1/4"	46'7"	
R 6		15'0"	48'7 3/8"
R 7		32'1"	11'9"



RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
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DATED: MAY 27 2022 FILE # 21-0101

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Martin B. Wenzel

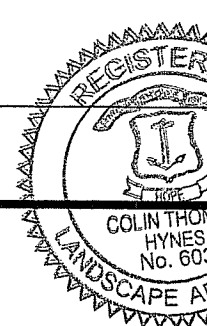
Environmental Management
Office of Water Resources
MAR 17 2022

Project	2/25/22
149 South Pier Rd - DUNNE	00
149 South Pier Rd - DUNNE	00
149 South Pier Rd - DUNNE	00
149 South Pier Rd - DUNNE	00

Elemental Designs
P.O. Box 181
Saunderstown, RI 02874
401-863-9610
www.ElementalID.com

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OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM

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PERMEABLE PAVING DRAINAGE CALCULATIONS:

According to Unilock's design guidance, permeable pavers can handle the infiltration of roughly 100 in/hr of rainfall and can allow water to infiltrate on a permeable paver surface that is less than a 5% slope. This number obviously far exceeds the intensity of all rain events in this region.

Proposed Permeable Paver Areas:

Permeable Paver Portion of Driveway: 2270 SF
Depth: Min. 1FT (12 inches)
Porosity (per RI Stormwater Manual): 0.33

Soil is a moderately draining soil according to RI Soil Survey, so a moderate infiltration rate has been selected.
Sandy Loam Soil Infiltration Rate (per RI Stormwater Manual): 1.02 in/hr

Calculations:

2270 SF x 1FT = 2270 cu.ft.
2270 cu.ft. x .33 porosity = 741.10 cu.ft. of water storage capacity

Infiltration into soil: 2270 SF x .085 FT (1.02 inches)/hr = 192.95 cu.ft./hr

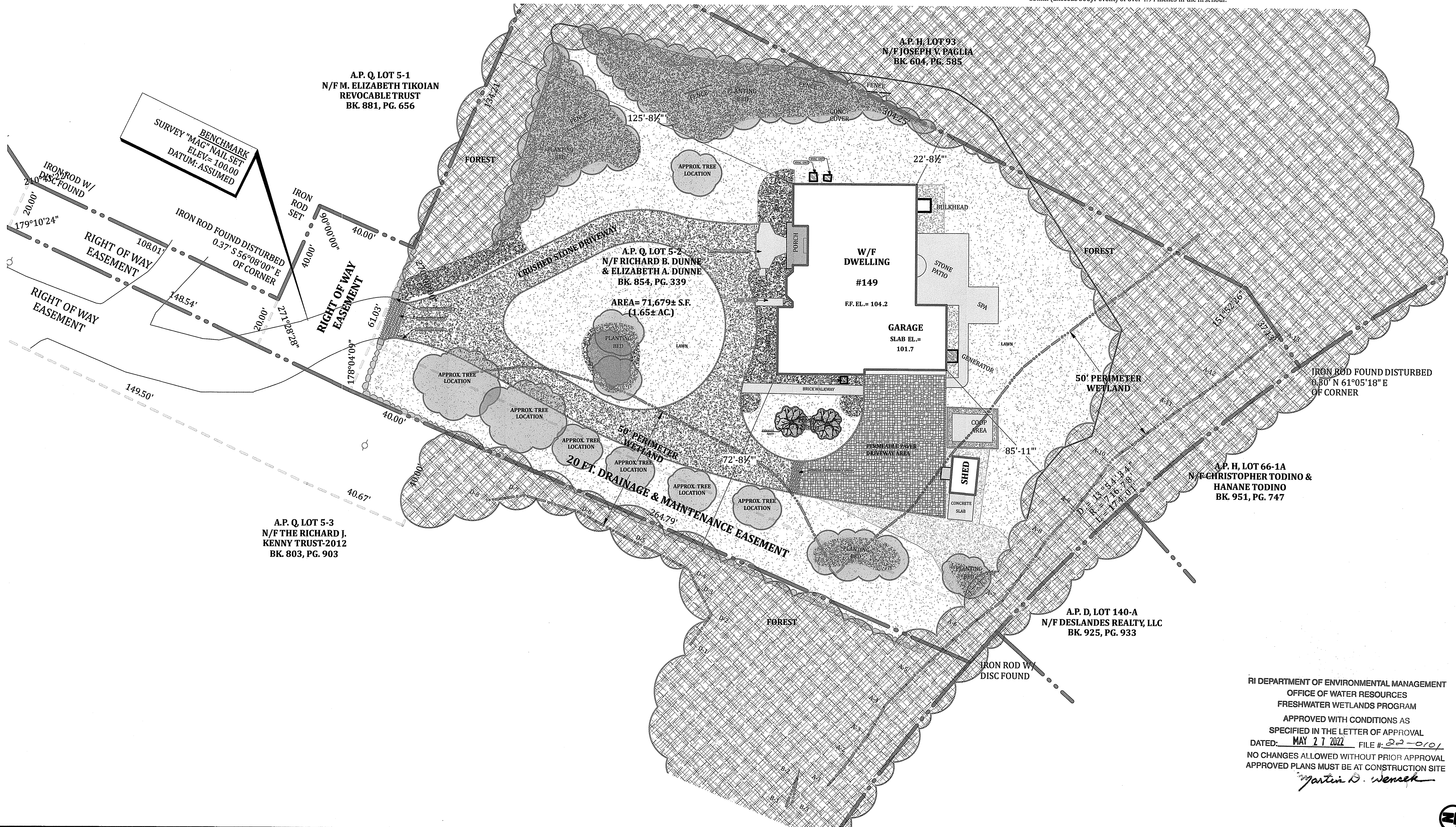
741.10 cu.ft. (stone porosity/capacity) + 192.95 cu.ft./hr (soil infiltration) = 934.05 cu.ft. of water handling capacity in 1 hour.

934.05 cu.ft./hr / 2270 SF = .412 ft/hr (4.94 in/hr rain event)

Permeable paver patio can accommodate up to a 4.94 in/hr rain event (over a 500 year 60 minute storm event)

OR greater than a 10 year/24hr storm event (4.95 inches in 24 hours per the Extreme Precipitation Tables from the Northeast Regional Climate Center), since all 4.95 inches doesn't typically fall in just 1 hour.

Calculations show the amount of water the permeable paver patio & underlying soils can jointly handle in 1 hour: Based on this data alone it appears the amount of water the system could handle in a 24 hour period would be far greater than needed/required. A 25 year/24hour storm event (6.19 inches of rain in 24 hours) could be handled as long as all 6.19 inches doesn't fall in the first 2 hours 13min (Exceeds 500yr event) or over 4.94 inches in the first hour.



RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
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Martin D. Weneck

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Date: 2/24/22 Project: 149 South Pier Rd - DUNNE Client: RBS Project Manager: Colin T. Hyman	Date: 02/24/22 Project: 149 South Pier Rd - DUNNE Client: RBS Project Manager: Colin T. Hyman
Elementar Designs P.O. Box 181 Narragansett, RI 02882 149 South Pier Rd Narragansett, RI 02882 www.ElementarD.com	Master Plan
Scale: 1" = 20' File # 22-010	08/CMP-P01 of 8

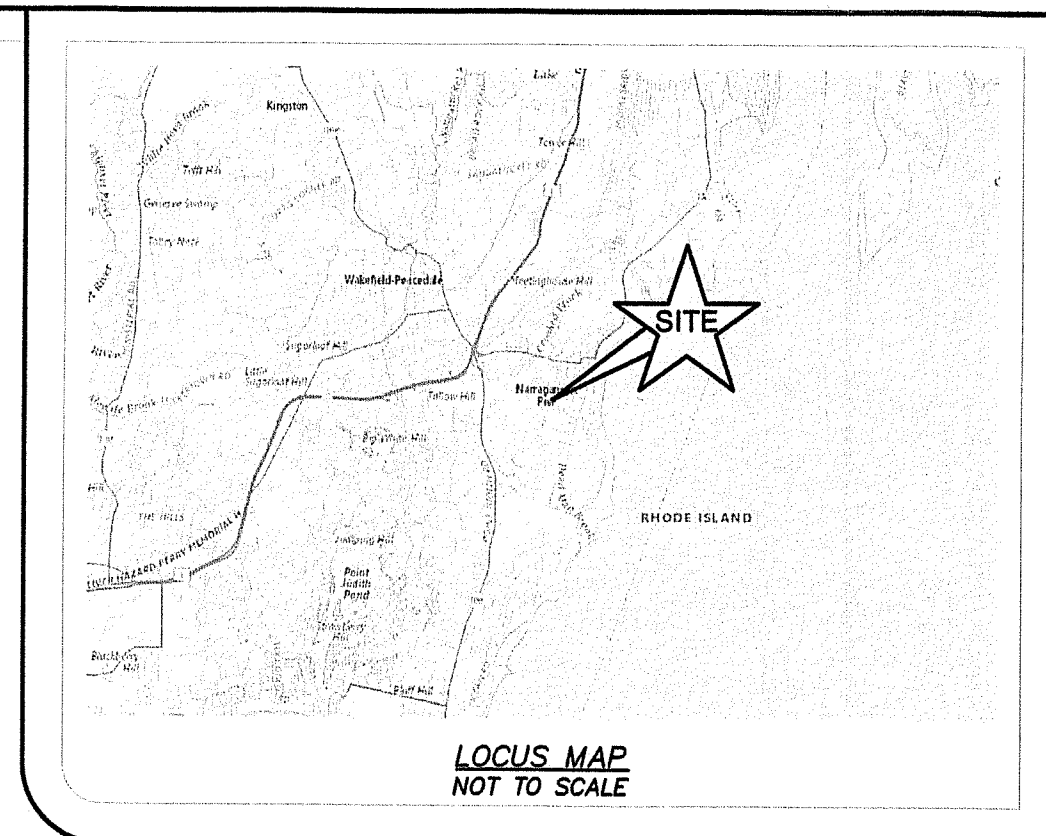
TOWN OF NARRAGANSETT LOT COVERAGE TABLE:
 LOT COVERAGE AREAS SHOWN BY VISUAL INSPECTION/SURVEY ONLY. SOUTH COUNTY SURVEY COMPANY, LLC MAKES NO GUARANTEE THAT THE AREAS SHOWN COMPRISE ALL SUCH AREAS ON THE SITE, AND ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE IRREGULARITIES IN THE SIZE AND SHAPE OF CERTAIN AREAS MAY OCCUR.

EXISTING	BUILDING COV.	HARDSCAPE COV.	IMPERVIOUS COV.
HOUSE FOOTPRINT	3945.8 S.F.	3945.8	3945.8
FRONT PORCH	132.9 S.F.	132.9 S.F.	132.9 S.F.
BULKHEAD	26.3 S.F.	26.3 S.F.	26.3 S.F.
SHED	144.3 S.F.	144.3	144.3
SHED RAMP	19.1 S.F.	19.1 S.F.	19.1 S.F.
SHED CONC. PAD	101.5 S.F.	101.5 S.F.	101.5 S.F.
FRONT STONE PATIO	148.8 S.F.	148.8 S.F.	148.8 S.F.
REAR STONE PATIO	843.5 S.F.	843.5 S.F.	843.5 S.F.
COBBLESTONE APRON	120.1 S.F.		
BRICK WALKWAY	161.7 S.F.		
COOP PAD	278.8 S.F.		
STONE FOOT PATH	30.3 S.F.		
A/C PADS (x3)	24.1 S.F.	24.1 S.F.	24.1 S.F.
GENERATOR PAD	21.7 S.F.	21.7 S.F.	21.7 S.F.
DRIVEWAYS			
CRUSHED STONE	9234.1 S.F.	1583.5 S.F.	1583.5 S.F.
ASPHALT	4288.4 S.F.	16814.5 S.F.	6989.5 S.F.
TOTAL			

ZONING DATA:
 ZONING DISTRICT: R-10
 USE: SINGLE FAMILY DWELLING

	REQUIRED	EXISTING
MIN. LOT SIZE:	10,000 SQ. FT.	71,769± S.F.*
MIN. LOT WIDTH:	100 FT.	100.00 FT.
FRONT YARD:	25 FT.	125.7 FT. (MIN.)
REAR YARD:	20 FT.	85.9 FT.
SIDE YARDS:	10 FT.	22.7 FT. (MIN.)
MAX. BUILDING COVERAGE:	25%	5.92%**
MAX. BUILDING HEIGHT:	35 FT.	< 35 FT.
MAIN STRUCTURE:	18 FT.	< 18 FT.
ACCESSORY STRUCTURE:		

*LOT AREA SHOWN IS GROSS LOT AREA
 **INCLUDING HOUSE, PORCH, BULKHEAD, SHED & SHED RAMP



Environmental Management
 MAR 17 2022
 Office of Water Resources

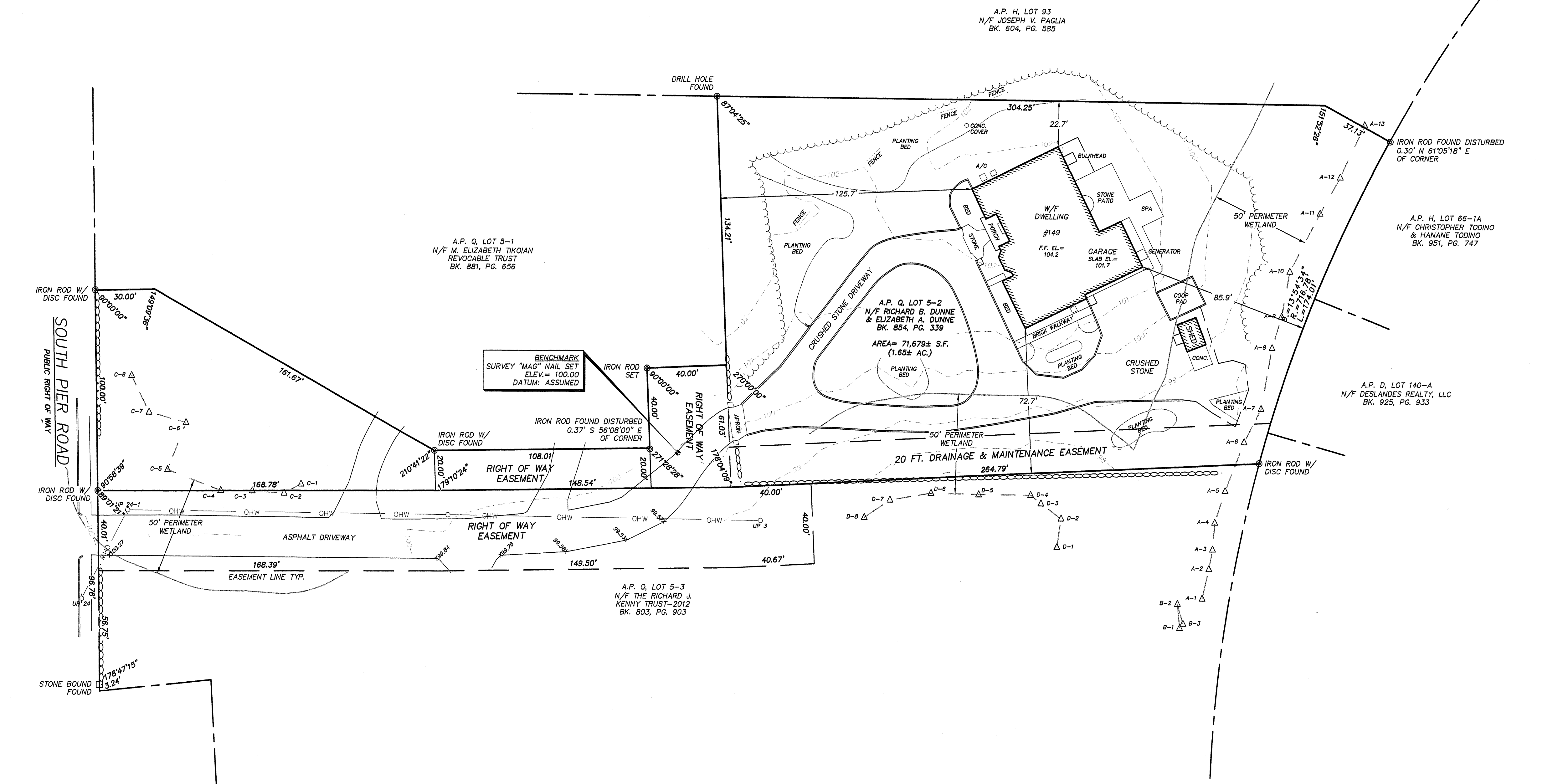
- PLAN NOTES:**
- NORTH ARROW REFERENCES MAGNETIC NORTH (AUGUST 2021).
 - EXISTING CONDITIONS SHOWN AS OF SEPTEMBER 8, 2021 AND ARE THE RESULT OF A FIELD SURVEY BY SOUTH COUNTY SURVEY COMPANY, LLC.
 - WETLANDS DELINEATED AND FLAGGED BY NATURAL RESOURCE SERVICES, INC. ON JUNE 18TH, 2021.
 - SUBJECT PARCEL CONVEYED TOGETHER WITH AND SUBJECT TO EASEMENTS OF RECORD. SEE PLAN. SEE ALSO PLAN REFERENCE NO. 5.
 - SUBJECT PARCEL LIES WITHIN THE TOWN OF NARRAGANSETT HIGH WATER TABLE SOILS OVERLAY DISTRICT B ZONE.
 - SUBJECT PARCEL LIES WITHIN THE TOWN OF NARRAGANSETT COASTAL AND FRESHWATER WETLANDS OVERLAY DISTRICT (INLAND WETLANDS AND UPLAND WETLANDS).
 - BY GRAPHIC PLOTTING ONLY SUBJECT PARCEL LIES WITHIN FEMA FLOOD ZONE X (UNSHADED). SEE F.I.R.M. PANEL 44009C0212J, EFFECTIVE OCTOBER 16, 2013.

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
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 DATED: MAY 17 2022 FILE #: 22-0101
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- PLAN REFERENCES:**
- SEE "MAP OF SOUTH PIER ROAD IN THE DISTRICT OF NARRAGANSETT, DEC. 5TH. 1893"
 - SEE "PART OF 'PERKINS FARM' AT NARRAGANSETT PIER, R.I. SOLD BY THOMAS ROOMAN & THOMAS G. HAZARD, JR., TRUSTEES TO AUGUSTIN OURADA. SCALE: 1"=100', NOV. 15, 1918, T.G. HAZARD, JR. SURVEYOR"
 - SEE "PART OF LAND OF HENRY DEGAN & ESTATE OF ROSE DEGAN AT NARRAGANSETT, R.I. SCALE: 1"=80', MARCH 8, 1937, T.G. HAZARD, JR. SURVEYOR"
 - SEE "PART OF LAND IN THE TOWN OF NARRAGANSETT, R.I. PROPERTY OF HARRIS & SIMS, DECEMBER 1946, LEON L. HOLLAND, CIVIL ENGINEER, SCALE 1"=80' "
 - SEE "FINAL MINOR SUBDIVISION PLAN FOR 'PIER WALK ESTATES' SITUATED IN THE TOWN OF NARRAGANSETT, RHODE ISLAND DATE: MARCH 29, 2002; SCALE: 1"=40' PREPARED BY: EASTERBROOKS & ASSOCIATES..."

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM

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SURVEYOR'S CERTIFICATION:
 SURVEY HAS BEEN CONDUCTED AND THE PLAN PREPARED PURSUANT TO R-00-00-1.9 OF THE RULES AND REGULATION ADOPTED BY THE RHODE STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON FEBRUARY 25, 2015, AS FOLLOWS:

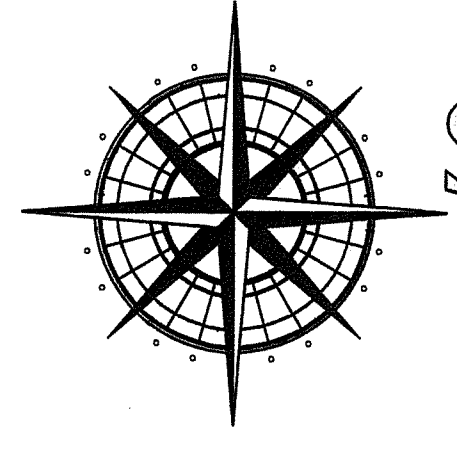
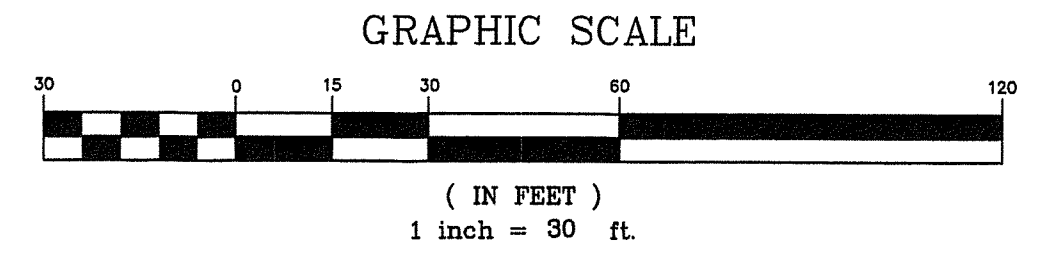
SCOPE OF BOUNDARY SURVEY:
 COMPREHENSIVE BOUNDARY SURVEY WITH ACCUMULATION TOPOGRAPHY

MEASUREMENT SPECIFICATION:
 CLASS I
 CLASS III
 T-2

OBJECT OF PURPOSE:
 PURPOSE FOR THE CONDUCT OF THE SURVEY AND PREPARATION OF THE PLAN IS AS FOLLOWS:
 DETERMINE THE PROPERTY BOUNDARY LINES OF A.P. Q, LOT 5-2 AND TO SHOW EXISTING CONDITIONS AND TOPOGRAPHY AT THE SITE.

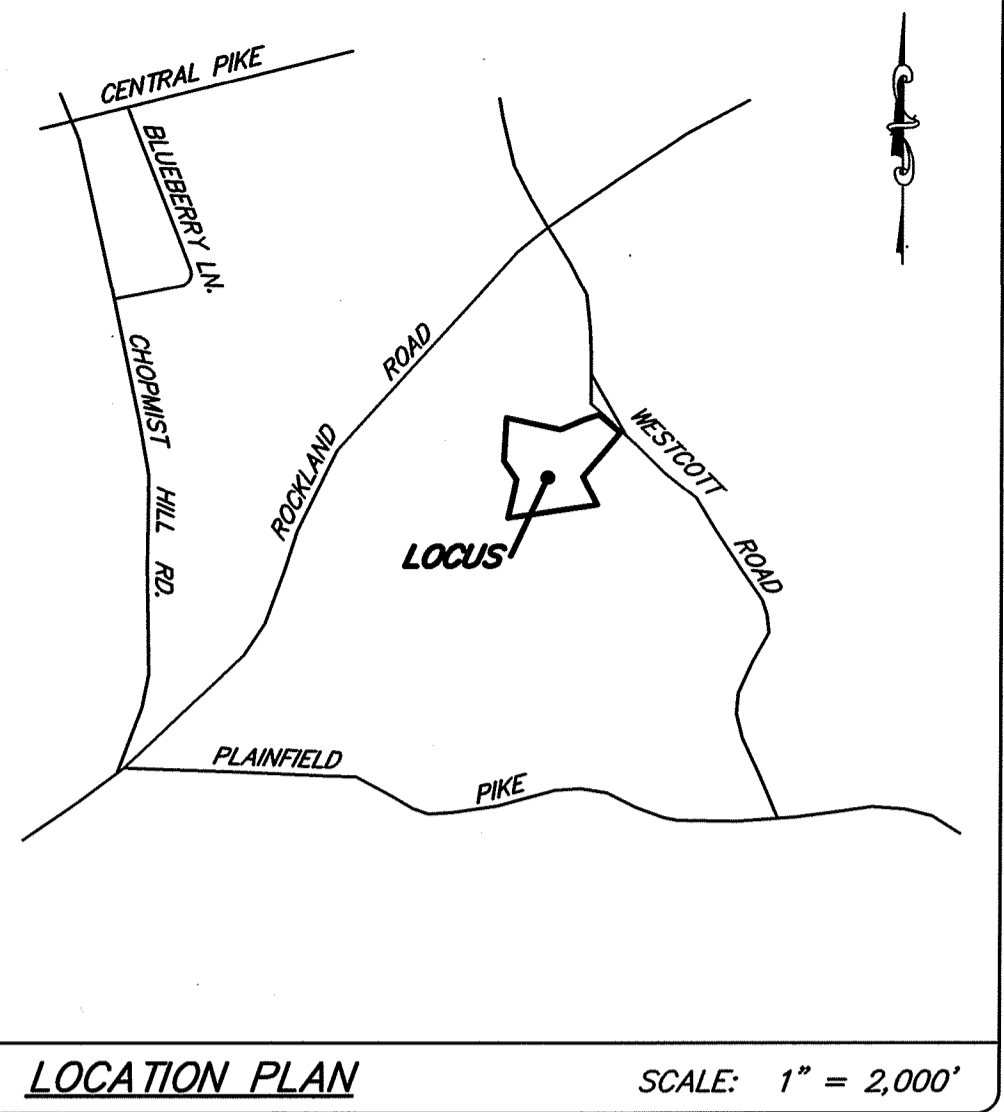
James T. Caldarone
 No. 2507
 PROFESSIONAL LAND SURVEYOR
 11/16/21

- LEGEND:**
- PROPERTY BOUNDARY LINE
 - ADJACENT'S PROPERTY BOUNDARY LINE
 - EXISTING EASEMENT LINE
 - DELINEATED WETLAND EDGE
 - TOPOGRAPHIC CONTOUR LINE
 - STONE WALL
 - SPLIT RAIL FENCE
 - WIRE FENCE
 - SOIL TYPE LINE
 - EDGE OF VEGETATION
 - OVERHEAD WIRE
 - UTILITY POLE
 - STONE BOUND
 - IRON ROD/PIPE
 - DRILL HOLE



SOUTH COUNTY SURVEY Co
 382B MAIN ST. WAKEFIELD, RI 02879
 (401) 783-2300
 www.SouthCountySurvey.com

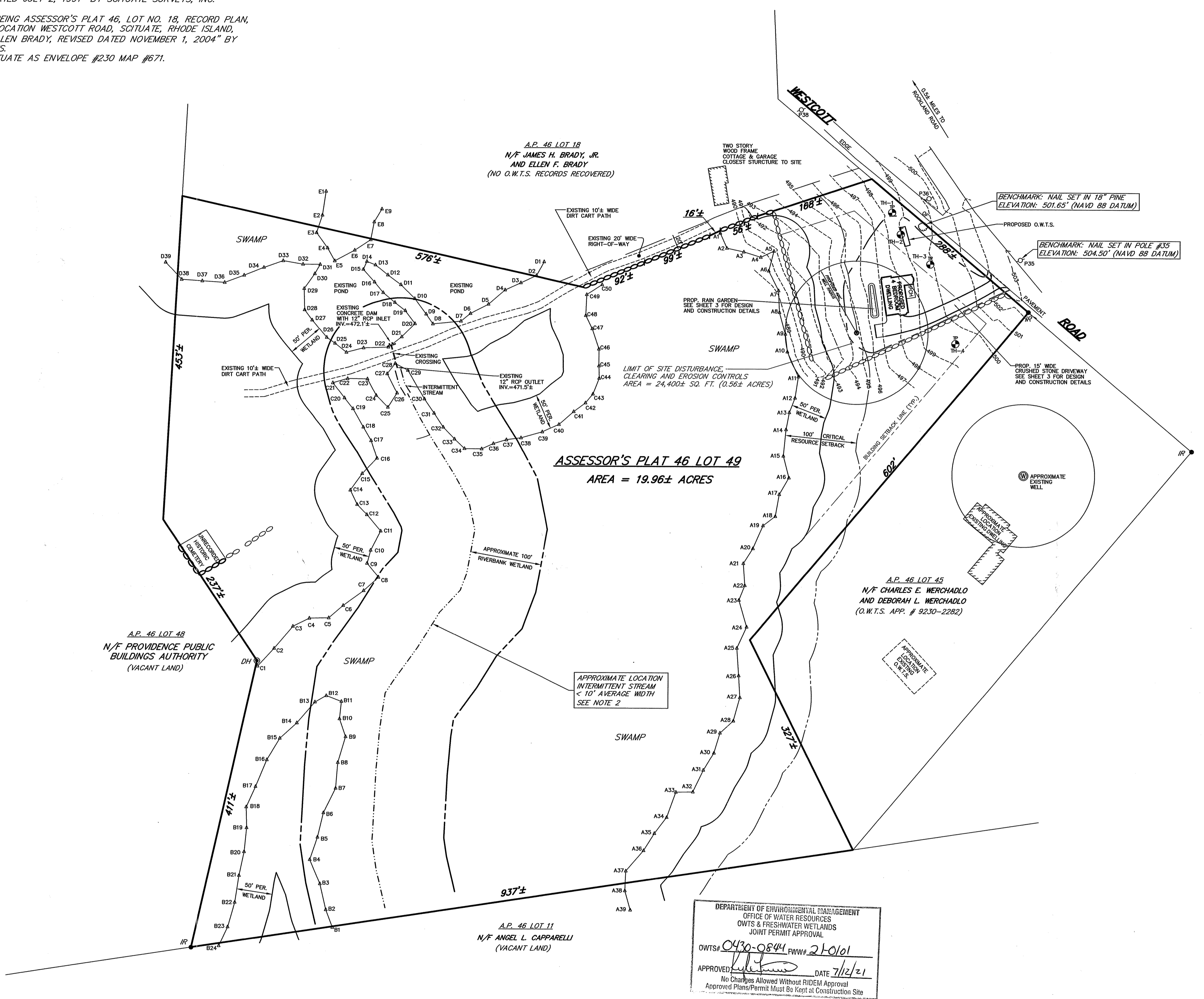
PLAN OF LAND
 SHOWING EXISTING CONDITIONS AND TOPOGRAPHY
 IN THE TOWN OF NARRAGANSETT, RHODE ISLAND
 A.P. Q, LOT 5-2 - 149 SOUTH PIER ROAD
 PREPARED FOR: ELEMENTAL DESIGNS
 OCTOBER 1, 2021 SCALE: 1"=30'
 REVISED: NOVEMBER 5, 2021, NOVEMBER 16, 2021



- REFERENCES**
1. PLAN ENTITLED "SURVEY PLAN SHOWING PROPOSED DIVISION OF LAND OF NORMAN C. SAUTE AND DOROTHEA C. SAUTE, WESTCOTT ROAD, SCITUATE, RHODE ISLAND, DATED JULY 2, 1991" BY SCITUATE SURVEYS, INC.
 2. PLAN ENTITLED "BEING ASSESSOR'S PLAT 46, LOT NO. 18, RECORD PLAN, WESTCOTT VIEW, LOCATION WESTCOTT ROAD, SCITUATE, RHODE ISLAND, PREPARED FOR ELLEN BRADY, REVISED DATED NOVEMBER 1, 2004" BY BOYER ASSOCIATES, RECORDED IN SCITUATE AS ENVELOPE #230 MAP #671.

- NOTES:**
1. THE PURPOSE OF THIS PLAN IS TO PROVIDE AN OVERALL DEPICTION OF THE PROPOSED RESIDENTIAL SITE DEVELOPMENT OF ASSESSOR'S PLAT 46 LOT 49. PLEASE SEE SHEETS 2 AND 3 FOR DESIGN DETAILS.
 2. THE TOPOGRAPHY, ALL THE WETLANDS DELINEATION FLAGS, AND THE FEATURES WITHIN AND ADJACENT TO THE EXISTING CART PATH AND WETLANDS CROSSING WERE LOCATED IN THE FIELD BY SCITUATE SURVEYS, INC. USING CONVENTIONAL (TOTAL STATION) SURVEY METHODS BETWEEN AUGUST 2019 AND JANUARY 2021, WITH THE EXCEPTION OF THE 40± SOUTH OF THE EXISTING CROSSING THE LOCATION OF THE EXISTING INTERMITTENT STREAM IS APPROXIMATE AND WAS DERIVED DIGITALLY FROM GIS SOURCES.
 3. THE VERTICAL DATUM IS NAVD 88 AND THE HORIZONTAL DATUM IS NAD 83. BOTH WERE DERIVED USING GLOBAL POSITIONING TECHNOLOGY.
 4. EXISTING UTILITY LOCATIONS ARE APPROXIMATE ONLY. UTILITY INFORMATION IS NOT ACCURATE OR COMPLETE, AND IS SUBJECT TO SUCH REVISIONS AND CHANGES AS ADDITIONAL DATA MAY DISCLOSE. ANY PLANNED EXCAVATION MUST BE PRECEDED BY CONTACTING "DIG-SAFE" FOR ACCURATE LAYOUT OF EXISTING UTILITIES.
 5. THE SITE LIES WITHIN FLOOD HAZARD ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN). SEE FLOOD INSURANCE RATE MAP #44007C0270G DATED MARCH 2, 2009.
 6. THE WETLANDS DELINEATION WAS CONDUCTED IN JULY 2019 BY NATURAL RESOURCE SERVICES, INC. A COPY OF THIS REPORT IS INCLUDED WITH THIS APPLICATION.
 7. THERE ARE NO EXISTING OR PROPOSED PUBLIC WATER SUPPLY SOURCES WITHIN 500' OF THE LOT OTHER THAN THOSE SHOWN ON PLAN.
 8. THERE ARE NO EXISTING OR PROPOSED INDIVIDUAL WATER SUPPLIES WITHIN 200' OF THE PROPOSED ON-SITE WASTEWATER TREATMENT SYSTEM OTHER THAN THOSE SHOWN ON THE PLAN.
 9. STRAW BALE EROSION CHECK (R.L. STANDARD 9.1.0) SILT FENCE AND/OR SILT SOX SHALL BE INSTALLED PRIOR TO EARTH DISTURBING ACTIVITIES AND SHALL BE MAINTAINED UNTILL ALL DISTURBED AREAS ARE PERMANENTLY STABILIZED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL TEMPORARY SEDIMENTATION AND EROSION CONTROLS.
 10. ALL DISTURBED AREAS SHALL BE STABILIZED WITH 4" LOAM AND SEED OR SOD, PROPOSED SLOPES SHALL BE 3:1 (MAXIMUM).
 11. ALL WORK SHALL BE PERFORMED IN STRICT CONFORMANCE WITH THE REQUIREMENTS AND SPECIFICATIONS OF ALL STATE AND LOCAL PERMITS.
 12. ALL IMPROVEMENTS SHALL BE ACCURATELY LOCATED AND STAKED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 13. EACH STAGE OF CONSTRUCTION OF THE ON-SITE WASTEWATER TREATMENT SYSTEM MUST BE SUPERVISED BY THE SYSTEM DESIGNER.
 14. THE SITE IS WITHIN THE SCITUATE RESERVOIR WATERSHED CRITICAL RESOURCE AREA.
 15. EXCEPT WHERE SHOWN THE ENTIRETY OF THE SITE IS WOODED. THE EXISTING UNRECORDED HISTORIC CEMETERY IS THE ONLY KNOWN HISTORIC FEATURE ON THE SITE.
 16. NO WORK IS ALLOWED WITHIN STATE REGULATED WETLANDS EXCEPT AS SPECIFICALLY SHOWN. NO WORK IS PROPOSED WITHIN JURISDICTIONAL WETLANDS.
 17. FOR WATER TABLE INFORMATION SEE SOIL EVALUATION #0430-0844 DATED JUNE 4, 2004. AN AFFIDAVIT OF CONTINUING VALIDITY HAS BEEN SUBMITTED WITH THIS APPLICATION.

- LEGEND**
- N/F NOW OR FORMERLY
 - A.P. ASSESSOR'S PLAT
 - SQ. FT. SQUARE FEET
 - RCP REINFORCED CONCRETE PIPE
 - EXISTING CONTOUR
 - - - - PROPOSED CONTOUR
 - △ A16 WETLANDS DELINEATION FLAG
 - ○ ○ ○ STONE WALL
 - DH ● IR ● SURVEY MONUMENT FOUND
 - P35 UTILITY POLE



ZONING DATA

ZONE RS-120	
MINIMUM LOT AREA	120,000 S.F.
MINIMUM LOT WIDTH	300'
MINIMUM SETBACKS	
FRONT YARD	50'
SIDE YARD	35'
REAR YARD	60'
MAXIMUM BUILDING COVERAGE	15%
MAXIMUM BUILDING HEIGHT	36'

OWNER/APPLICANT:
 CHARLES E. WERCHADLO
 183 WESTCOTT ROAD
 NORTH SCITUATE, RI 02857
 (401) 524-4611

PLAN SHOWING PROPOSED IMPROVEMENTS TO AND ON-SITE WASTEWATER TREATMENT SYSTEM
 ON LAND OF
CHARLES E. WERCHADLO
 JUN 9 4 2021 ASSESSOR'S PLAT 46 LOT 49
 Office of Water Resources
 WESTCOTT ROAD
 SCITUATE, RHODE ISLAND

PROJECT NO.: SS1140.03 SHEET 1 OF 5
 DRAWING NO.: SS4820-1

CONSTRUCTION REGULATIONS HAVE BEEN ADOPTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON MARCH 28, 2018 AS FOLLOWS:
 TITLE OF REGULATION: SURVEYING
 TYPE OF SURVEY: RESIDENTIAL
 DATA ACQUISITION METHOD: TOTAL STATION
 MEASUREMENT ACCURACY: 1/4000
 MEASUREMENT SECTOR: 360°
 VERTICAL CONTROL: STATIONED 4±
 HORIZONTAL CONTROL: STATIONED 4±
 POSITIONING METHOD: GPS
 SEPARABLE EROSION CONTROL MEASURES WERE USED TO CONDUCT A DATA ACQUISITION SURVEY, AND TO COLLECT TOPOGRAPHIC AND PHYSICAL FEATURE LOCATION DATA FOR RESIDENTIAL DEVELOPMENT.
 THIS MAP DOES NOT BEAR AN ORIGINAL SIGNATURE AND NOT STAMP, AND IT IS NOT AN AUTHENTICATED VERSION.



SCITUATE SURVEYS, INC.
 410 TIOUQUE AVENUE
 COVENTRY, RHODE ISLAND 02816
 401-821-8101
 LAND SURVEYING/MAPPING/SITE PLANNING

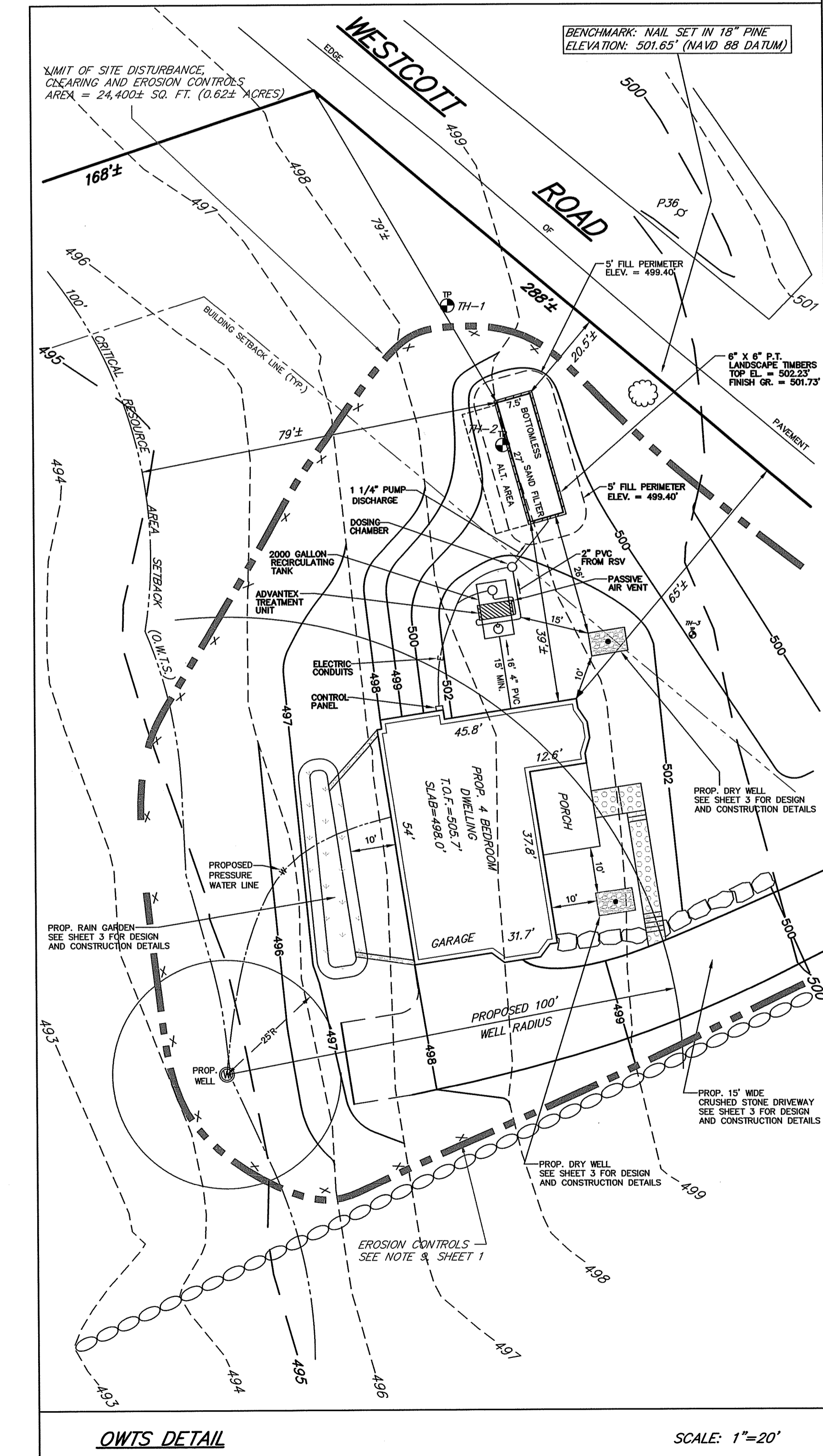
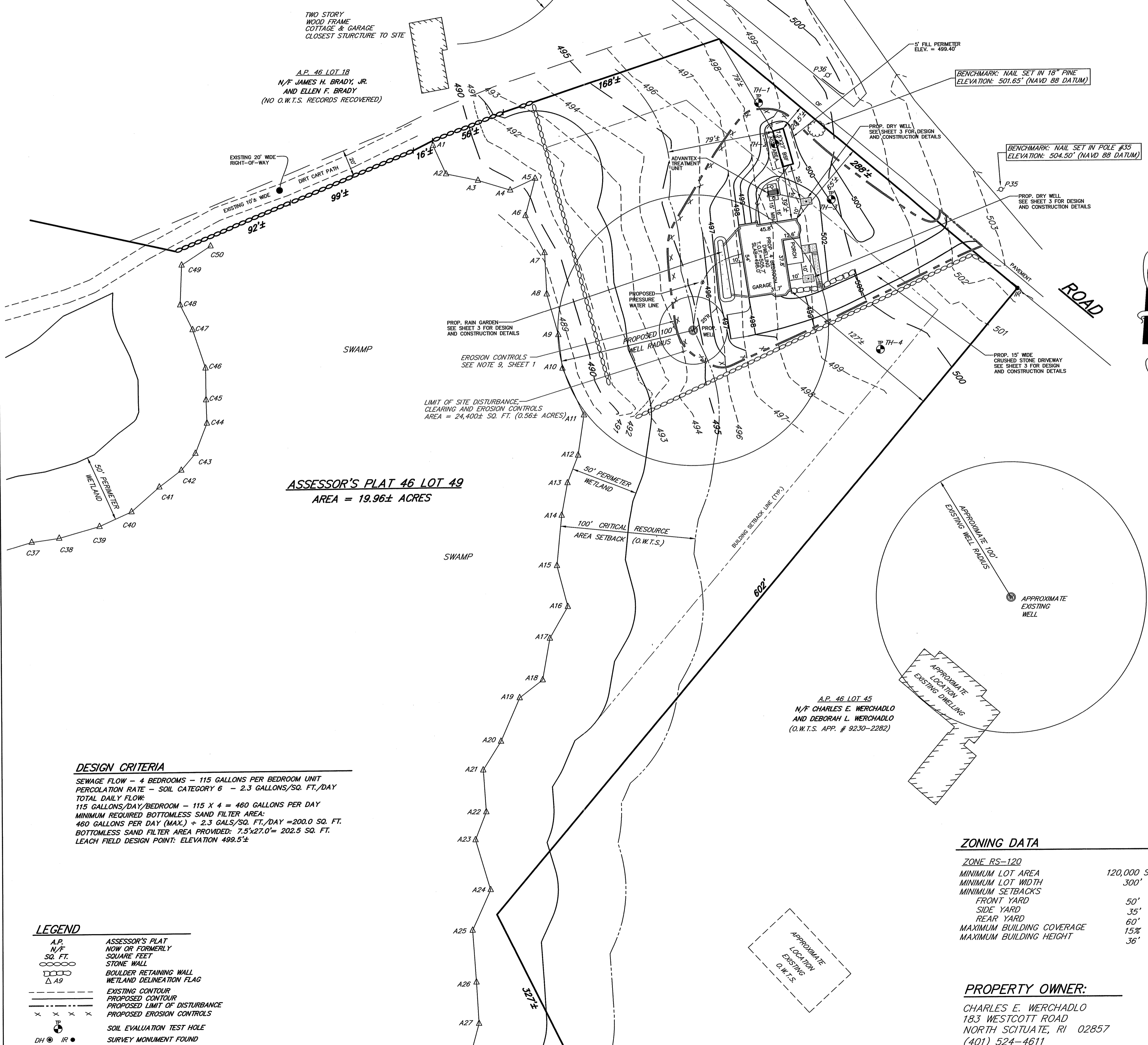
SCALE IN FEET: 0 40 80 160 240

TEST PIT	EXISTING GROUND	GROUNDWATER DEPTH	GROUNDWATER ELEVATION	LEDGE DEPTH	LEDGE ELEVATION
TH-1	498.6'	2.1'	496.5'	9.0'	489.6'
TH-2	498.9'	2.1'	496.8'	9.0'	489.9'
TH-3	499.9'	2.0'	497.9'	9.0'	490.9'
TH-4	499.5'	2.0'	497.5'	9.0'	490.5'

GENERAL NOTES
SEE SHEET 1 FOR GENERAL NOTES

DESIGN AND CONSTRUCTION NOTES:

1. ALL WORK SHALL CONFORM TO THE RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL MANAGEMENT RULES AND REGULATIONS, AS AMENDED.
2. THE TOP OF FOUNDATION ELEVATION SHOWN HAS BEEN DESIGNED FOR O.W.T.S. PURPOSES ONLY. THE OWNER AND/OR CONTRACTOR IS ADVISED TO DETERMINE WHETHER THE BASEMENT FLOOR OF THE PROPOSED DWELLING IS AT OR BELOW THE GROUND WATER TABLE AND, IF NECESSARY, RAISE THE FOUNDATION ACCORDINGLY.
3. THE CONTRACTOR SHALL NOTIFY THE DESIGNER OF ANY PROPOSED DEVIATIONS FROM THIS SITE PLAN. THE DESIGNER MUST PERFORM ALL NECESSARY INSPECTIONS, BOTH DURING AND AFTER INSTALLATION, BEFORE ANY COMPONENT OF THE SYSTEM IS COVERED.
4. THE PROPERTY BOUNDARIES SHOWN HEREON HAVE BEEN COMPILED FROM MAPS, DEEDS, AND OTHER SOURCES OF INFORMATION, AND ARE SUBJECT TO SUCH MODIFICATIONS AS AN ACTUAL BOUNDARY SURVEY MAY DISCLOSE. TO THE EXTENT THAT SUCH BOUNDARIES ARE CRITICAL TO THE O.W.T.S. LOCATION, THEY MUST BE ESTABLISHED PRIOR TO CONSTRUCTION.
5. ALL PIPING SHALL BE INSTALLED AT CONTINUOUS SLOPE WITH NO SAGS OR HIGH POINTS.
6. ALL MANHOLES TO GRADE SHALL HAVE GASKETED WATERTIGHT COVERS AND THE SURFACE SHALL BE GRADED TO DRAIN AWAY FROM THE MANHOLES.
7. A MINIMUM BUFFER OF 10' SHALL BE MAINTAINED BETWEEN THE BOTTOMLESS SAND FILTER AND NEIGHBORING TREES AND SHRUBS. EXCAVATION INTO IMPERVIOUS MATERIAL IS PROHIBITED UNLESS OTHERWISE APPROVED BY THE DIRECTOR.
8. MAINTAIN TRENCH INVERT ELEVATION FOR 5' BEYOND THE PERIMETER OF THE LEACHING FIELD.
9. INSTALL CAST IRON PIPE OR EQUIVALENT FROM THE FOUNDATION TO THE SEPTIC TANK.
10. NO SUBSURFACE DRAINAGE OR WATER SUPPLY LINE IS TO BE INSTALLED WITHIN 25' OF THE SYSTEM.
11. ALL KNOWN EXISTING AND PROPOSED PUBLIC WATER SUPPLY WELLS WITHIN 500' OF THE SYSTEM ARE SHOWN. ALL KNOWN EXISTING AND PROPOSED PRIVATE WELLS WITHIN 200' OF THE SYSTEM ARE SHOWN. ALL KNOWN EXISTING AND PROPOSED SEPTIC SYSTEMS WITHIN 100' OF THE WELL ARE SHOWN.
12. ALL WORK MUST CONFORM TO THE REQUIREMENTS OF OTHER EXISTING PERMITS, IF ANY.
13. WITH RESPECT TO MUNICIPAL ZONING REQUIREMENTS, THE DESIGNER HAS MADE A REASONABLE EFFORT TO ASCERTAIN THE APPLICABLE DIMENSIONAL SETBACKS AND OTHER CONSTRAINTS TO DEVELOPMENT. DUE, HOWEVER, TO THE POSSIBILITY OF UNRECORDED VARIANCES, NON-CONFORMING USES, AND OTHER RELEVANT DOCUMENTS, IT REMAINS THE RESPONSIBILITY OF THE OWNER TO VERIFY THAT THIS DESIGN SATISFIES LOCAL CODES.
14. ALL STAGES OF CONSTRUCTION MUST BE SUPERVISED BY THE DESIGNER OF RECORD. UNLESS WAIVED BY THE DESIGNER, ALL IMPROVEMENTS MUST BE STAKED BY THE DESIGNER OR HIS AGENTS PRIOR TO CONSTRUCTION. THESE INCLUDE THE O.W.T.S., FOUNDATION, EROSION CONTROLS, CLEARING LIMITS AND ANY OTHER FEATURES DEEMED CRITICAL TO THE DESIGN.



DESIGN CRITERIA
SEWAGE FLOW - 4 BEDROOMS - 115 GALLONS PER BEDROOM UNIT
PERCOLATION RATE - SOIL CATEGORY 6 - 2.3 GALLONS/SQ. FT./DAY
TOTAL DAILY FLOW:
115 GALLONS/DAY/BEDROOM - 115 x 4 = 460 GALLONS PER DAY
MINIMUM REQUIRED BOTTOMLESS SAND FILTER AREA:
460 GALLONS PER DAY (MAX.) ÷ 2.3 GALS/SQ. FT./DAY = 200.0 SQ. FT.
BOTTOMLESS SAND FILTER AREA PROVIDED: 7.5 x 27.0 = 202.5 SQ. FT.
LEACH FIELD DESIGN POINT: ELEVATION 499.5'

LEGEND

--- A.P.	ASSESSOR'S PLAT
--- N/F	NOW OR FORMERLY
□	SQ. FT.
□	STONE WALL
□	BOULDER RETAINING WALL
△ A9	WETLAND DELINEATION FLAG
---	EXISTING CONTOUR
---	PROPOSED CONTOUR
---	PROPOSED LIMIT OF DISTURBANCE
---	PROPOSED EROSION CONTROLS
○	SOIL EVALUATION TEST HOLE
DH IR	SURVEY MONUMENT FOUND

ZONING DATA

ZONE RS-120	
MINIMUM LOT AREA	120,000 S.F.
MINIMUM LOT WIDTH	300'
MINIMUM SETBACKS	
FRONT YARD	50'
SIDE YARD	35'
REAR YARD	60'
MAXIMUM BUILDING COVERAGE	15%
MAXIMUM BUILDING HEIGHT	36'

PROPERTY OWNER:
CHARLES E. WERCHADLO
183 WESTCOTT ROAD
NORTH SCITUATE, RI 02857
(401) 524-4611

SCITUATE SURVEYS, INC.

410 TIQUOGUE AVENUE
COVENTRY, RHODE ISLAND 02816
LAND SURVEYING/MAPPING/SITE PLANNING
401-821-8101

6/22/21 DBI COMMENTS OF 5/17/21

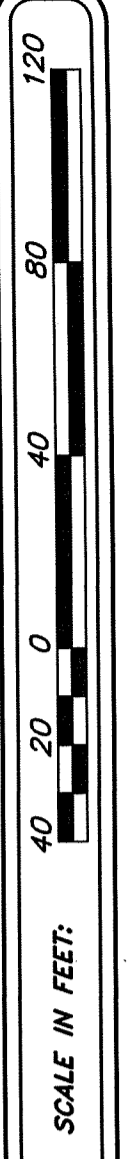
ANGEO M. RAIMONDI
No. 1762
PROFESSIONAL
LAND SURVEYOR

**PLAN SHOWING PROPOSED IMPROVEMENTS TO
AND ON-SITE WASTEWATER TREATMENT SYSTEM**

ON LAND OF
CHARLES E. WERCHADLO
ASSESSOR'S PLAT 46 LOT 49
WESTCOTT ROAD
SCITUATE, RHODE ISLAND

PROJECT NO.: SS1140.03
DRAWING NO.: SS4820-2

SHEET
2 OF 5



SCALE: 1"=20'
DATE: MARCH 11, 2021 REVISION: JUNE 22, 2021

STORMWATER NOTES DURING CONSTRUCTION

- 1. ANY DRAINAGE STRUCTURES SHALL BE CLEANED AND FLUSHED AS REQUIRED. STORMWATER MEASURES DESIGNED FOR THE CHANGED CONDITIONS OF THE PROPOSED SITE IMPROVEMENTS PER STATE OF RHODE ISLAND STORMWATER MANAGEMENT GUIDANCE FOR INDIVIDUAL SINGLE-FAMILY RESIDENTIAL DEVELOPMENT REQUIREMENTS.

GENERAL STORMWATER MANAGEMENT SYSTEM OPERATION & MAINTENANCE PLAN

THE STORMWATER MANAGEMENT SYSTEM OPERATION & MAINTENANCE PLAN DESCRIBED HEREIN IS FOR THE PROPOSED SINGLE FAMILY RESIDENCE LOCATED ON ASSESSOR'S PLAT 46, LOT 49

RESPONSIBLE PARTY FOR MAINTENANCE

- THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR ALL MAINTENANCE ASSOCIATED WITH THE STORMWATER SYSTEM ONCE THEY ARE COMPLETELY CONSTRUCTED.

DURING CONSTRUCTION

- PRIOR TO THE START OF ANY CONSTRUCTION, THE EROSION CONTROLS SHALL BE INSTALLED AND SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION UNTIL A STABLE GROUND COVER IS ESTABLISHED.

DESCRIPTION OF ANNUAL MAINTENANCE TASKS

- YARD / LAWN AREA
THE YARD AREA (LAWN AREA) SHALL BE CREATED AROUND THE PROPOSED RESIDENCE AND ITS ASSOCIATED AMENITIES.

DESCRIPTION OF APPLICABLE EASEMENTS

NO EASEMENTS ARE REQUIRED TO PERFORM ANNUAL MAINTENANCE.

DESCRIPTION OF FUNDING SOURCES

THE PROPERTY OWNERS SHALL BE RESPONSIBLE FOR ALL MAINTENANCE AND OPERATION OF THE STORMWATER SYSTEMS. AS SUCH, THE PROPERTY OWNER'S FUNDS SHALL BE USED AS REQUIRED.

MINIMUM VEGETATIVE COVER REQUIREMENTS

- THE VEGETATIVE COVER REQUIREMENTS ARE PROVIDED AS PART OF THE LANDSCAPE AND DRAINAGE DESIGN PROVIDED ON THE PLANS.

ACCESS & SAFETY ISSUES

- THERE ARE NO SAFETY ISSUES RELATED TO THE MAINTENANCE AND OPERATION OF THE STORMWATER SYSTEM.

POLLUTION PREVENTION MEASURES

- ANY SEDIMENTATION THAT MAY ENTER THE STORMWATER SYSTEMS SHALL BE REMOVED OF PROMPTLY.

GENERAL STORMWATER AND DRAINAGE NOTES

- DESIGN OF PROPOSED HOUSE PROVIDED BY PROPERTY OWNER / APPLICANT. STORMWATER MEASURES HAVE BEEN DESIGNED IN ACCORDANCE WITH "STATE OF RHODE ISLAND STORMWATER MANAGEMENT GUIDANCE FOR INDIVIDUAL SINGLE-FAMILY RESIDENTIAL LOT DEVELOPMENT"

PERVIOUS PAVERS NOTES

GENERAL

- PROPOSED PERVIOUS PAVERS CAN BE EITHER POROUS ASPHALT OR CONCRETE AND PAVER SYSTEMS.

CONSTRUCTION

- PAVERS SHOULD BE PROFESSIONALLY INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.

MAINTENANCE

- THE SURFACE OF PERMEABLE PAVING OR PAVERS SHALL BE MONITORED AFTER STORMS TO ENSURE IT DRAINS PROPERLY

CRUSHED STONE DRIVE NOTES

GENERAL CONSTRUCTION

- CRUSHED STONE USED MUST BE 3/4 INCH TO 1-1/2 INCH DIAMETER, WASHED, ANGULAR CRUSHED STONE INSTALLED TO A MINIMUM DEPTH OF 3 INCHES.

MAINTENANCE

- THE SURFACE OF DRIVE SHALL BE MONITORED AFTER STORMS TO ENSURE IT DRAINS PROPERLY

LIMITS OF DISTURBANCE NOTES:

- PROPOSED LIMITS OF DISTURBANCE (LOD) SHOWN ILLUSTRATES AREA OF IMPACT OF CONSTRUCTION.

GENERAL WATER NOTES

- IT SHALL BE THE CONTRACTOR'S AND/OR OWNER'S SOLE RESPONSIBILITY TO OBTAIN ANY AND ALL PERMITS REQUIRED BY THE STATE OF RHODE ISLAND AND TOWN OF SCITUATE PRIOR TO COMMENCING ANY WORK.

GENERAL NOTES

- IT SHALL BE THE CONTRACTOR'S AND/OR OWNER'S SOLE RESPONSIBILITY TO OBTAIN ANY AND ALL PERMITS REQUIRED BY THE STATE OF RHODE ISLAND AND TOWN OF SCITUATE PRIOR TO COMMENCING ANY WORK.

TREATMENT OF EXISTING CONDITIONS

- EXISTING VEGETATION SHALL BE PRESERVED TO THE GREATEST EXTENT POSSIBLE ALONG THE PERIMETER OF THE PROPERTY AND WITHIN THE LIMITS OF DISTURBANCE.

ORDER OF PROCEDURE

- PRIOR TO COMMENCING OPERATIONS, THE APPROVED LIMITS OF DISTURBANCE (VEGETATIVE CLEARING AND SOIL DISTURBANCE) SHALL BE LOCATED AND FLAGGED IN THE FIELD BY THE PROJECT SURVEYOR.

EROSION CONTROL PLAN

- EROSION AND SEDIMENT CONTROL METHODS FOR THE SITE INCLUDE STRUCTURAL AND STABILIZATION PRACTICES.

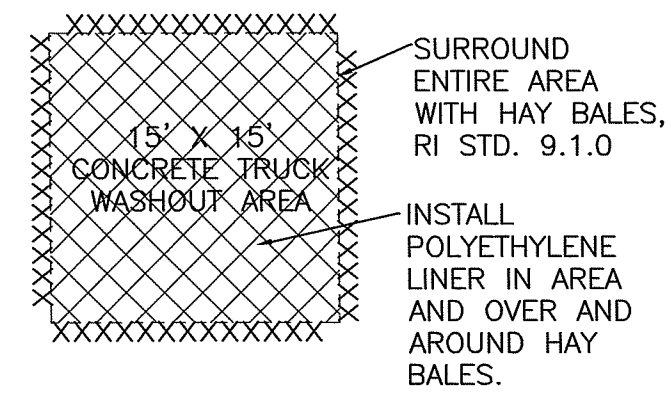
OTHER CONTROLS

THE FOLLOWING ADDITIONAL CONTROLS SHALL BE IMPLEMENTED DURING CONSTRUCTION IN ORDER TO MINIMIZE EROSION AND RUNOFF FROM THE PROJECT LOCATION:

- NO CHEMICALS (CEMENT, MORTAR, ETC.) SHALL BE MIXED OR POURED WITHIN ANY WETLANDS.

EROSION CONTROL AND SOIL STABILIZATION PROGRAM

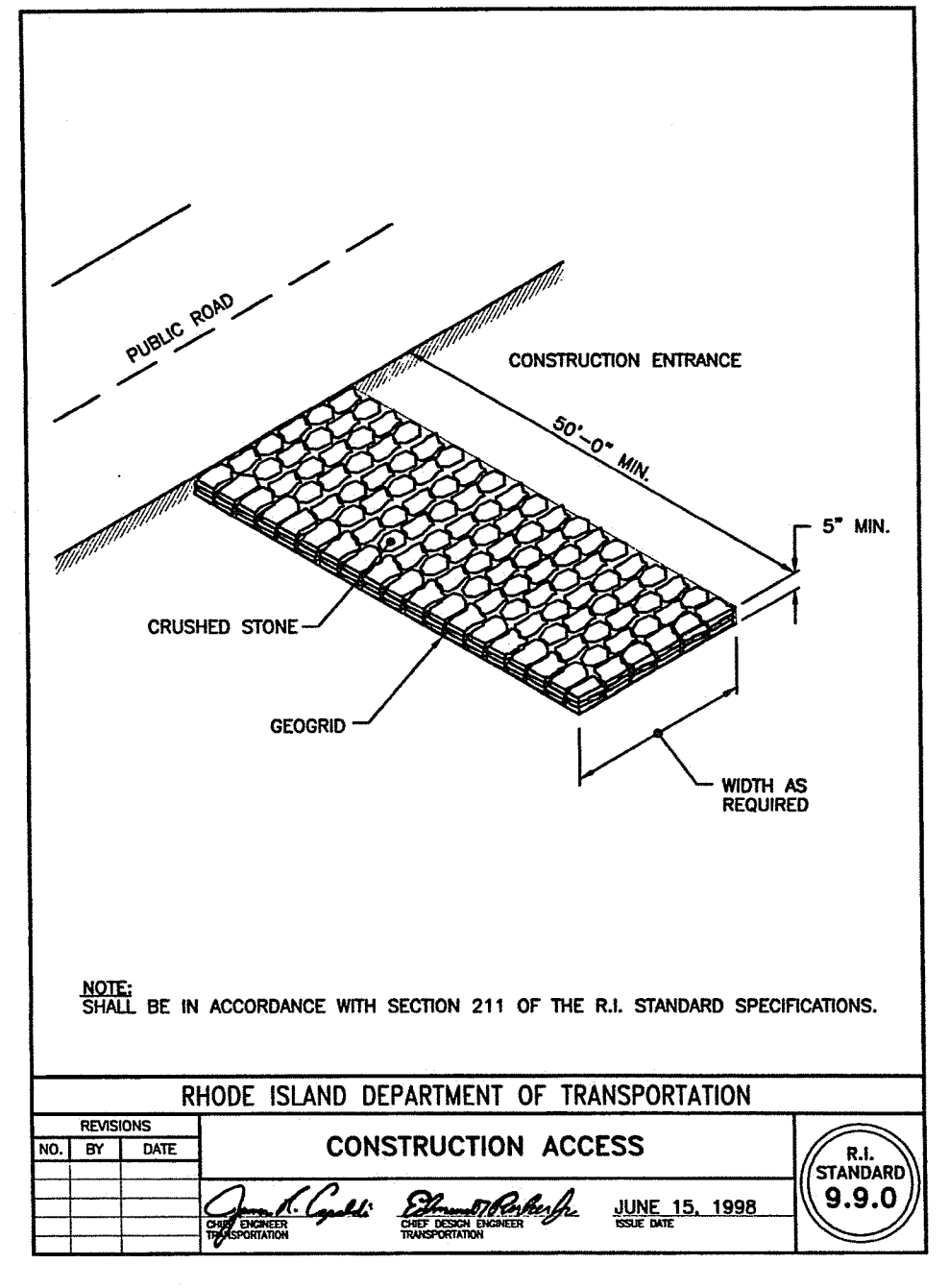
- DENUDED SLOPES SHALL NOT BE UNATTENDED OR EXPOSED FOR EXCESSIVE PERIODS OF TIME.



CONCRETE TRUCK WASHOUT AREA DETAIL & NOTES NOT TO SCALE

CONCRETE TRUCK WASHOUT AREA NOTES:

- LOCATIONS OF CONCRETE TRUCK WASHOUT AREAS SHALL BE INSTALLED ON SITE AS CONSTRUCTION PROGRESS WARRANTS.



RHODE ISLAND DEPARTMENT OF TRANSPORTATION CONSTRUCTION ACCESS

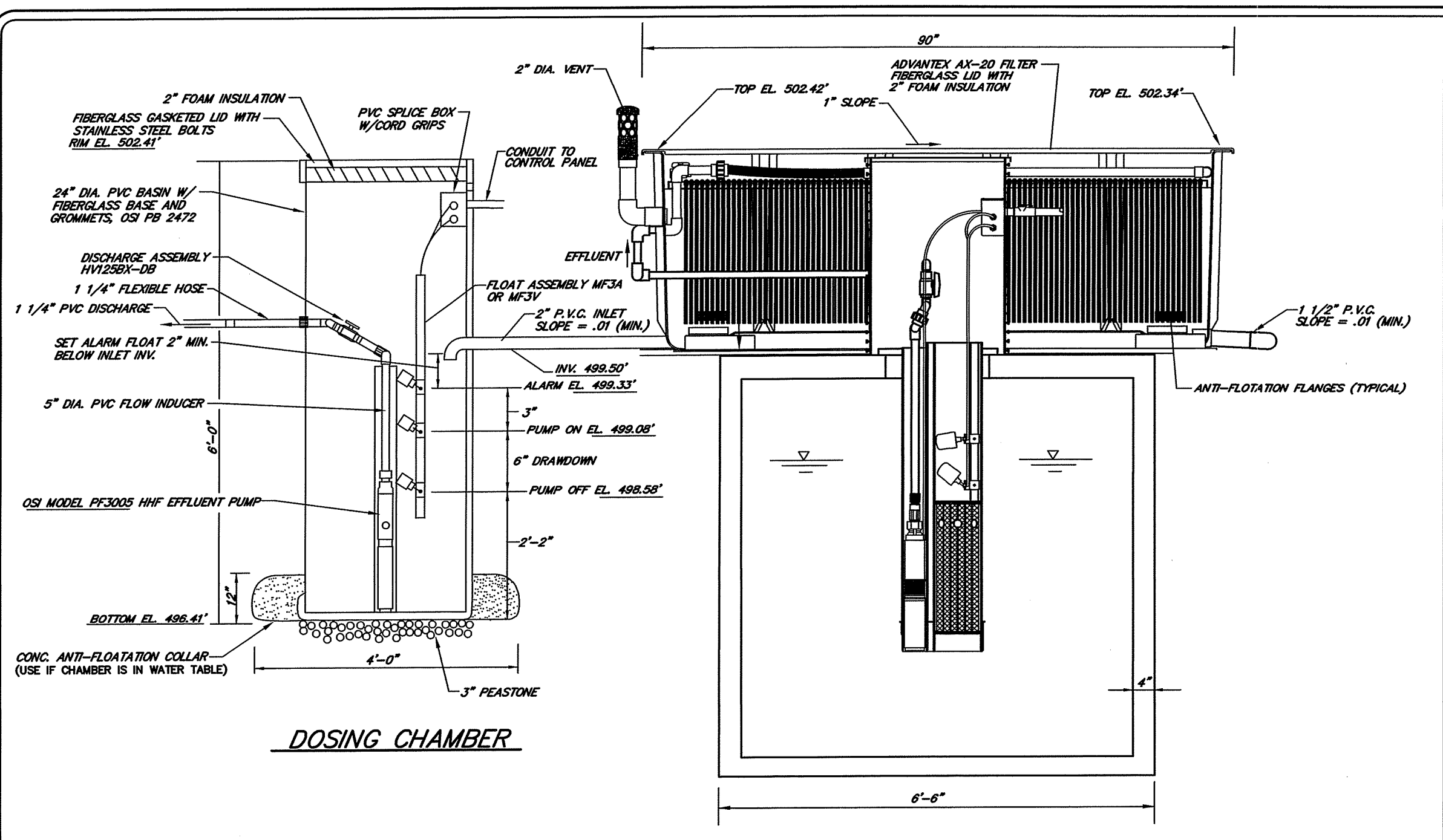
SEDIMENTATION CONTROL PROGRAM

- EXTREME CARE SHALL BE EXERCISED SO AS TO PREVENT ANY UNSUITABLE MATERIAL FROM ENTERING THE DRAINAGE SYSTEMS, STATE HIGHWAY, TOWN ROADWAY, WETLANDS OR ADJOINING PROPERTIES.

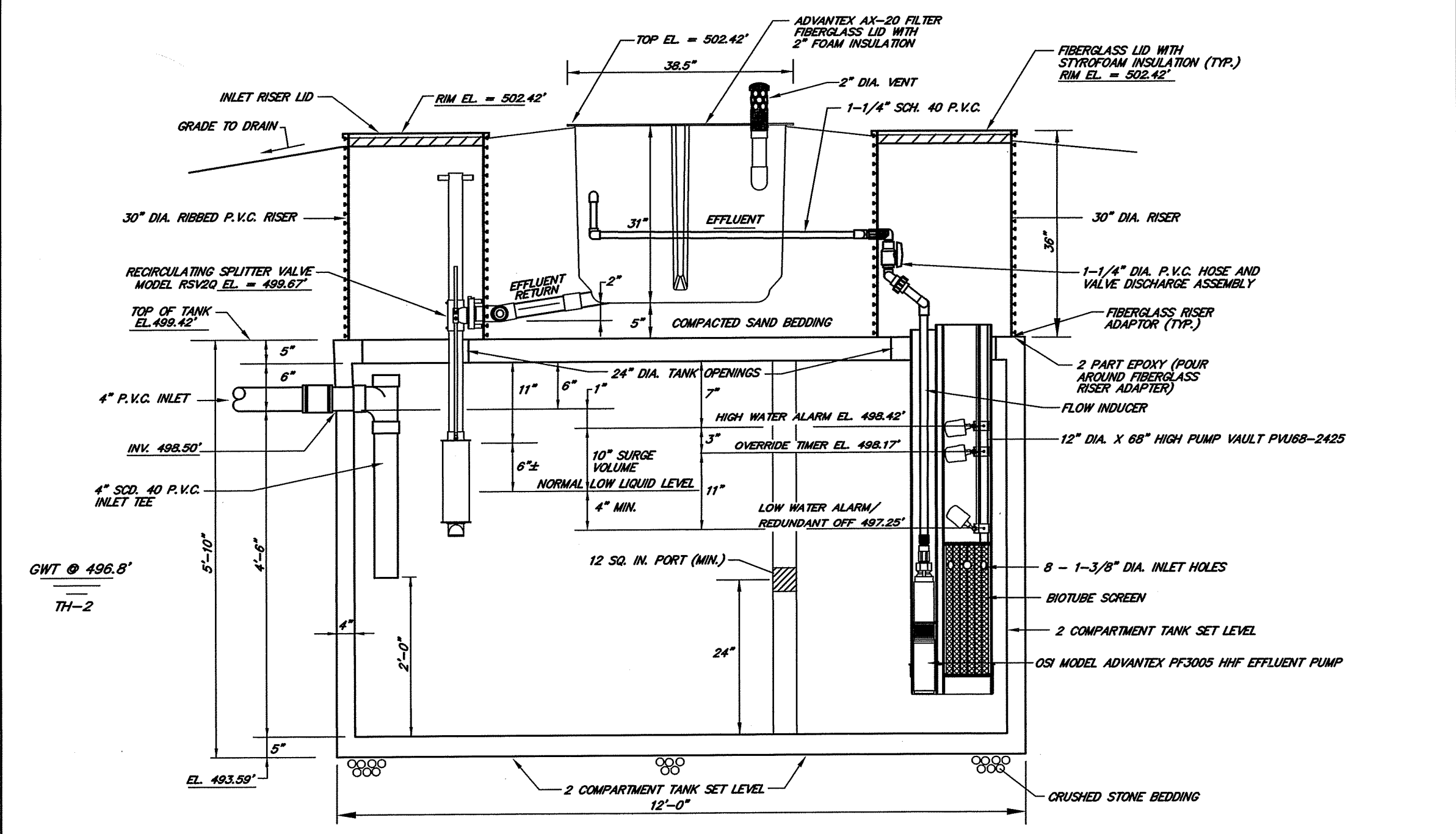
Professional Engineer information for Patricia K. Walker, No. 5531, Registered Professional Engineer.

WL Walker Engineering, Ltd. contact information: 31 Vale Court, West Greenwich, RI 02817. Phone: (401) 397-8745. Email: w@31.pw@gmail.com

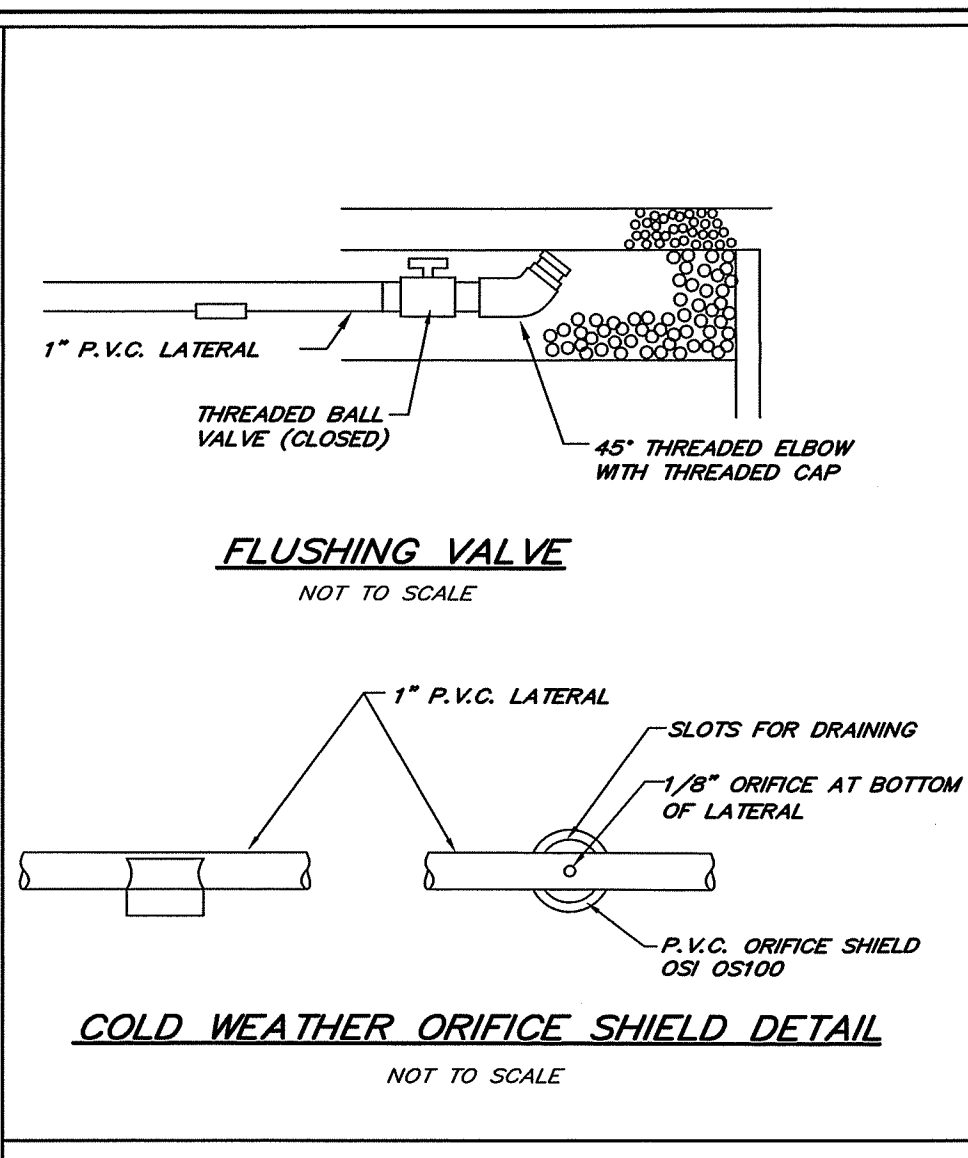
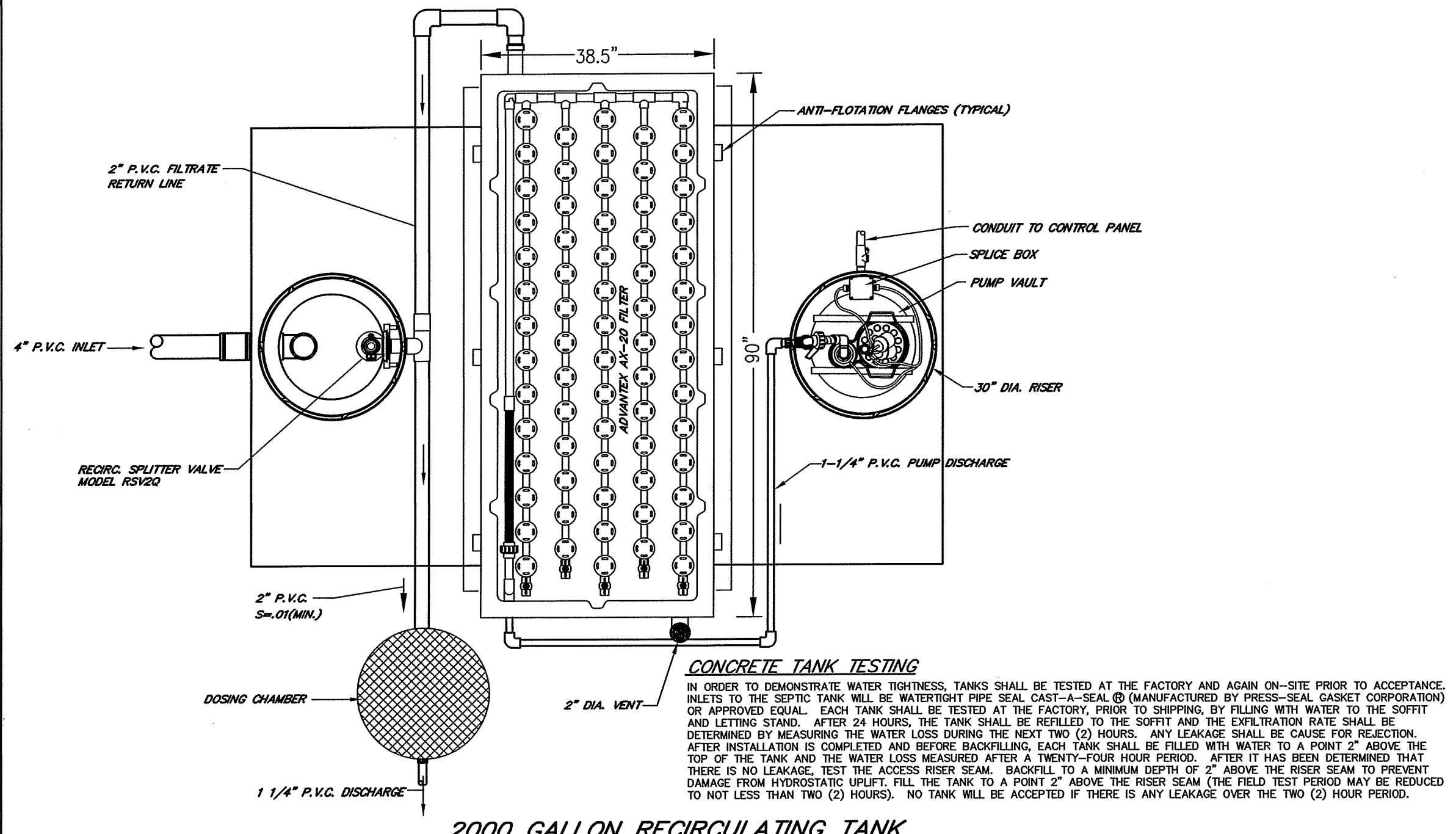
STORMWATER NOTES & DETAILS. WERCHADLO RESIDENCE. ASSESSOR'S PLAT 46, LOT 49. WESTCOTT ROAD. SCITUATE, RHODE ISLAND. DATE: MARCH 2021. REVISED: JUNE 2021. SHEET: 5 - 2. SHEET 4 OF 5.



DOSING CHAMBER

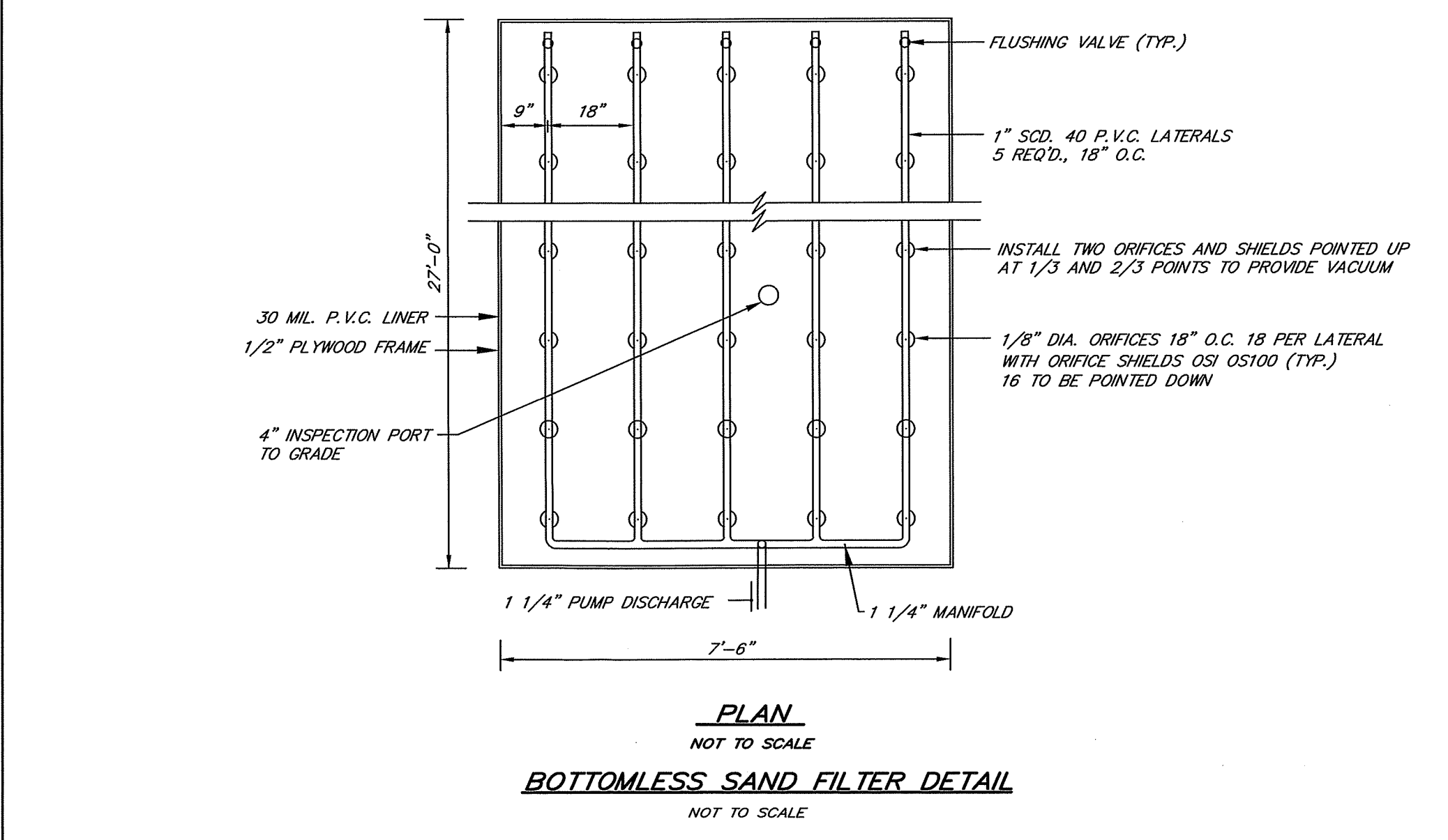


2000 GALLON RECIRCULATING TANK AND ADVANTEK AX-20 TREATMENT UNIT
NOT TO SCALE

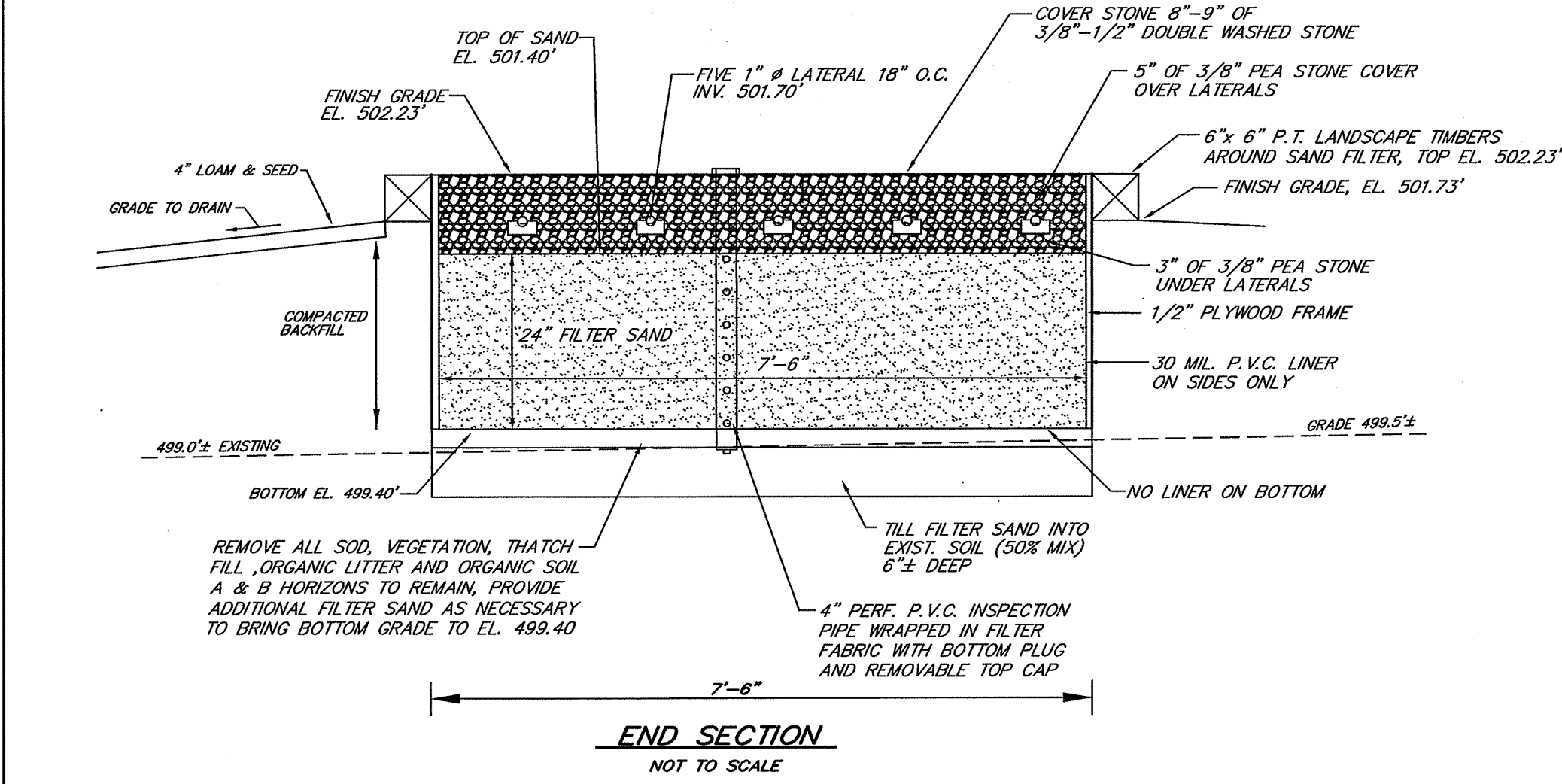


FLUSHING VALVE
NOT TO SCALE

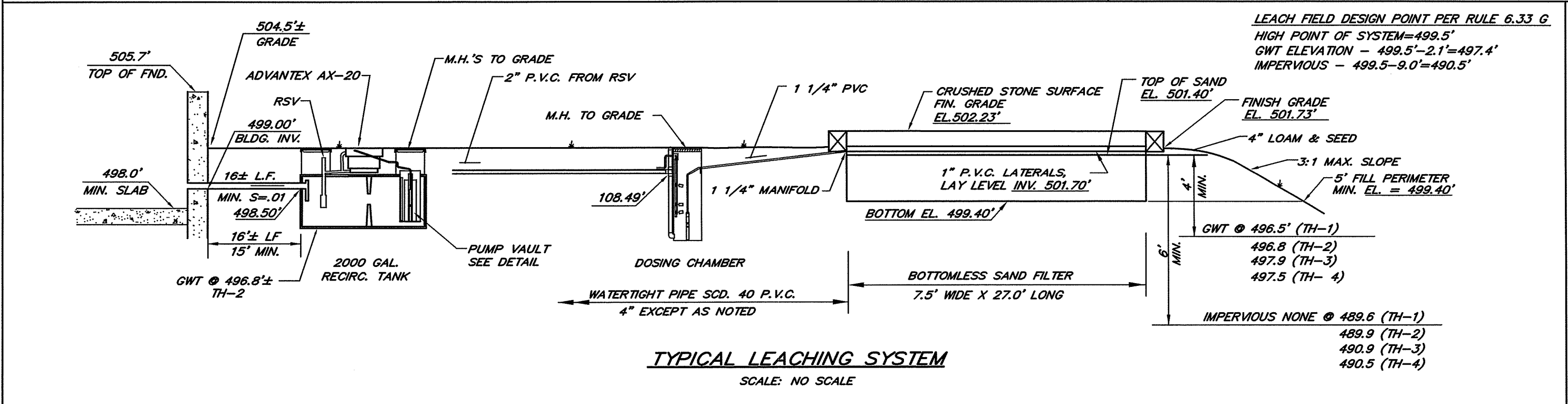
COLD WEATHER ORIFICE SHIELD DETAIL
NOT TO SCALE



PLAN
NOT TO SCALE
BOTTOMLESS SAND FILTER DETAIL
NOT TO SCALE



END SECTION
NOT TO SCALE



TYPICAL LEACHING SYSTEM
SCALE: NO SCALE

- ADVANTEK AX-20 NOTES**
1. SEPTIC TANK SHALL BE 2000 GALLON TWO COMPARTMENT PRECAST CONCRETE TANK TESTED AND CERTIFIED WATER TIGHT BY THE MANUFACTURER.
 2. PUMP VAULT SHALL BE ORENCO SYSTEMS MODEL PVJ 57-2419 BIOTUBE PUMP VAULT.
 3. EFFLUENT PUMP SHALL BE ORENCO SYSTEMS MODEL PF3005 HHF.
 4. DISCHARGE ASSEMBLY SHALL BE ORENCO SYSTEMS MODEL HV125 BX-DB.
 5. FLOAT ASSEMBLY SHALL BE ORENCO SYSTEMS MODEL MF3A OR MF3V.
 6. RECIRCULATING SPLITTER VALVE SHALL BE ORENCO RSV2Q.
 7. CONTROL PANEL AND ALARM SHALL BE ORENCO SYSTEMS MODEL VCOM-AXBT-HT WITH ELAPSED TIME METER, EVENT COUNTER AND PROGRAMMABLE TIMER OPTIONS.
 8. P.V.C. RISER MANHOLES SHALL BE ORENCO SYSTEMS MODEL RR24 AND RR30 RISERS, MODEL FL24-G AND FL30-G LIDS WITH 2\"/>
 - 9. RECIRCULATING SPLITTER VALVE AND ADVANTEK AX-20 SHALL BE SUPPLIED BY ORENCO SYSTEMS.
 - 10. ALL COMPONENTS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND THESE PLANS.
 - 11. PROGRAMMABLE TIMER SHALL BE SET FOR PUMP ON TIME OF 25 SECONDS AND PUMP OFF TIME OF 15.5 MINUTES.
 - 12. HIGH WATER TIMER OVERRIDE SETTINGS SHALL BE : PUMP ON : 25 SEC. PUMP OFF : 7.5 MIN.
 - 13. ALL COMPONENTS AND INSTALLATION MUST BE INSPECTED AND APPROVED BY SCITUATE SURVEYS, INC. ANY COMPONENT SUBSTITUTION MUST BE PRE-APPROVED BY SCITUATE SURVEYS, INC.
 - 14. THE CONTROL PANEL, SPLITTER VALVE AND PUMP FLOATS SHALL BE SET BY THE DESIGNATED REPRESENTATIVE OF ORENCO SYSTEMS, INC.

- MAINTENANCE NOTES**
1. THE SEPTIC TANK, ADVANTEK SYSTEM, SAND FILTER AND PUMP SYSTEMS SHALL BE INSPECTED AND MAINTAINED AT A MINIMUM TWICE ANNUALLY.
 2. INSPECTION AND MAINTENANCE SHALL BE PERFORMED IN CONFORMANCE WITH THE PROCEDURES SPECIFIED IN THE SYSTEM OPERATION AND MAINTENANCE MANUAL.
 3. SAND FILTER AND ADVANTEK PIPING SHALL BE FLUSHED AND CLEANED AS REQUIRED. ORIFICES SHALL BE CHECKED FOR PLUGGING AND SQUIRT HEIGHT MEASURED. SQUIRT HEIGHT SHOULD BE 2\"/>
 - 4. PUMP VAULT SCREEN SHALL BE RAISED AND CLEANED BY FLUSHING WITH A HOSE INTO THE TANK.
 - 5. PUMP, FLOAT ASSEMBLY AND CONTROL PANEL SHALL BE CHECKED FOR PROPER OPERATION AND CYCLE TIMING.
 - 6. DATE ELAPSED TIME AND EVENT COUNTER METER READINGS SHALL BE RECORDED. AVERAGE DAILY PUMP RUNS SHALL BE CALCULATED AND CHECKED FOR CONFORMANCE TO DESIGN PROGRAM. TIMER ADJUSTMENTS SHALL BE MADE AS REQUIRED.
 - 7. SCUM AND SLUDGE DEPTHS IN THE TANK SHALL BE MEASURED AND RECORDED ANNUALLY. THE TANK SHALL BE PUMPED IF THE SCUM DEPTH EXCEEDS 6\"/>
 - 8. ALL MAINTENANCE SHALL BE PERFORMED BY A QUALIFIED SAND FILTER AND ADVANTEK MAINTENANCE CONTRACTOR.

- BOTTOMLESS SAND FILTER NOTES**
1. ALL DISTRIBUTION PIPING AND FITTINGS SHALL BE SCD. 40 P.V.C. PRESSURE PIPE OR EQUAL.
 2. PEA STONE SHALL BE ROUND WASHED STONE WITH A DIAMETER OF 3/8\"/>
 - 3. FILTER SAND SHALL BE ASTM C-33 SAND WITH AN EFFECTIVE SIZE (D10) OF 0.3 mm AND A UNIFORMITY COEFFICIENT (Cu) BETWEEN 3.0 AND 4.0.
 - 4. FILTER SAND SHALL BE SIEVE TESTED AND CERTIFIED PRIOR TO DELIVERY TO THE SITE.
 - 5. FILTER SAND SHALL BE PLACED DAMP IN 8\"/>
 - 6. FILTER FABRIC SHALL BE A LIGHTWEIGHT NON-WOVEN FABRIC. COVER STONE SHALL BE ROUND COVER WASHED STONE WITH A DIAMETER OF 3/8\"/>
 - 7. ORIFICE SHIELDS TO BE UP AT 1/3 AND 2/3 POINTS TO PROVIDE VACUUM BREAK.
 - 8. DOSING CHAMBER PUMP SHALL BE ORENCO MODEL 3005.
 - 9. REFERENCE THE R.I.D.E.M. NOV. 2013 GUIDELINES FOR THE DESIGN AND USE OF BOTTOMLESS SAND FILTERS FOR INSTALLATION PROCEDURES.
 - 10. ALL MATERIALS AND COMPONENTS MUST BE INSPECTED AND APPROVED BY SCITUATE SURVEYS, INC. AT THE SITE PRIOR TO INSTALLATION.

DESIGN FLOW

4 BEDROOMS X 115 GPD/BEDROOM = 460 GPD (MAXIMUM DAILY FLOW)
 AVERAGE DAILY FLOW: 5 PERSONS X 60 GPD/PERSON = 300 GPD

INFLUENT CHARACTERISTICS

CHARACTERISTIC	AVERAGE (mg/l)	WEEKLY PEAK (mg/l)	RARELY EXCEEDS (mg/l)
BOD	150	250	500
TSS	40	75	150
TKN	65	75	150
FOG	20	25	30

ORENCO DISTRIBUTOR
ATLANTIC SOLUTIONS, INC.
2417 EAST MAIN ROAD
PORTSMOUTH, R.I. 02871
401-849-2837

HOLLISTON SAND CO., INC.
1171 ROAD P.O. BOX 393
SLATERSVILLE, R.I. 02876
401-766-5010

ORENCO DISTRIBUTOR
GREEN WASTEWATER SOLUTIONS
80 KILVERT STREET
WARWICK, R.I. 02886
401-737-7600

ORENCO SYSTEMS, INC.
814 AIRWAY AVE.
SUTHERLIN OR. 97479
800-348-9843

SCITUATE SURVEYS, INC.

410 TIIOGUE AVENUE
GOVENTRY, RHODE ISLAND 02816
401-821-0101

LAND SURVEYING/MAPPING/SITE PLANNING

SCALE IN FEET

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE BOARD OF STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 28, 2018 AS FOLLOWS:

DATE OF SURVEY: 02/20/2021
 CLASS: III
 METHOD: GPS
 TECHNIQUE: SURVEY ACCURACY 1/2
 DATE OF SURVEY: 02/20/2021

STATEMENT OF WORK: TO CONDUCT A DATA ACQUISITION SURVEY, AND TO COLLECT TOPOGRAPHIC AND PHYSICAL FEATURE LOCATION DATA FOR A METEOROLOGICAL STATION AND ON-SITE SURVEY SYSTEM DESIGN.

ANGEOLO M. RAIMONDI
 No. 1762
 PROFESSIONAL LAND SURVEYOR

IF THIS MAP DOES NOT BEAR AN ORIGINAL SIGNATURE AND "NET" STAMP, THEN IT IS NOT AN AUTHENTIC PERSONAL COPY.

PLAN OF PROPOSED IMPROVEMENTS TO AND ON-SITE WASTEWATER TREATMENT SYSTEM

ON LAND OF
CHARLES E. WERCHADLO
ASSESSOR'S PLAT 46 LOT 49
WESTCOTT ROAD
SCITUATE, RHODE ISLAND

SCALE: AS NOTED. DATE: JUNE 22, 2021. REVISION:

PROJECT NO.: SS1140.03
DRAWING NO.: SS4820-5

SHEET 5 OF 5