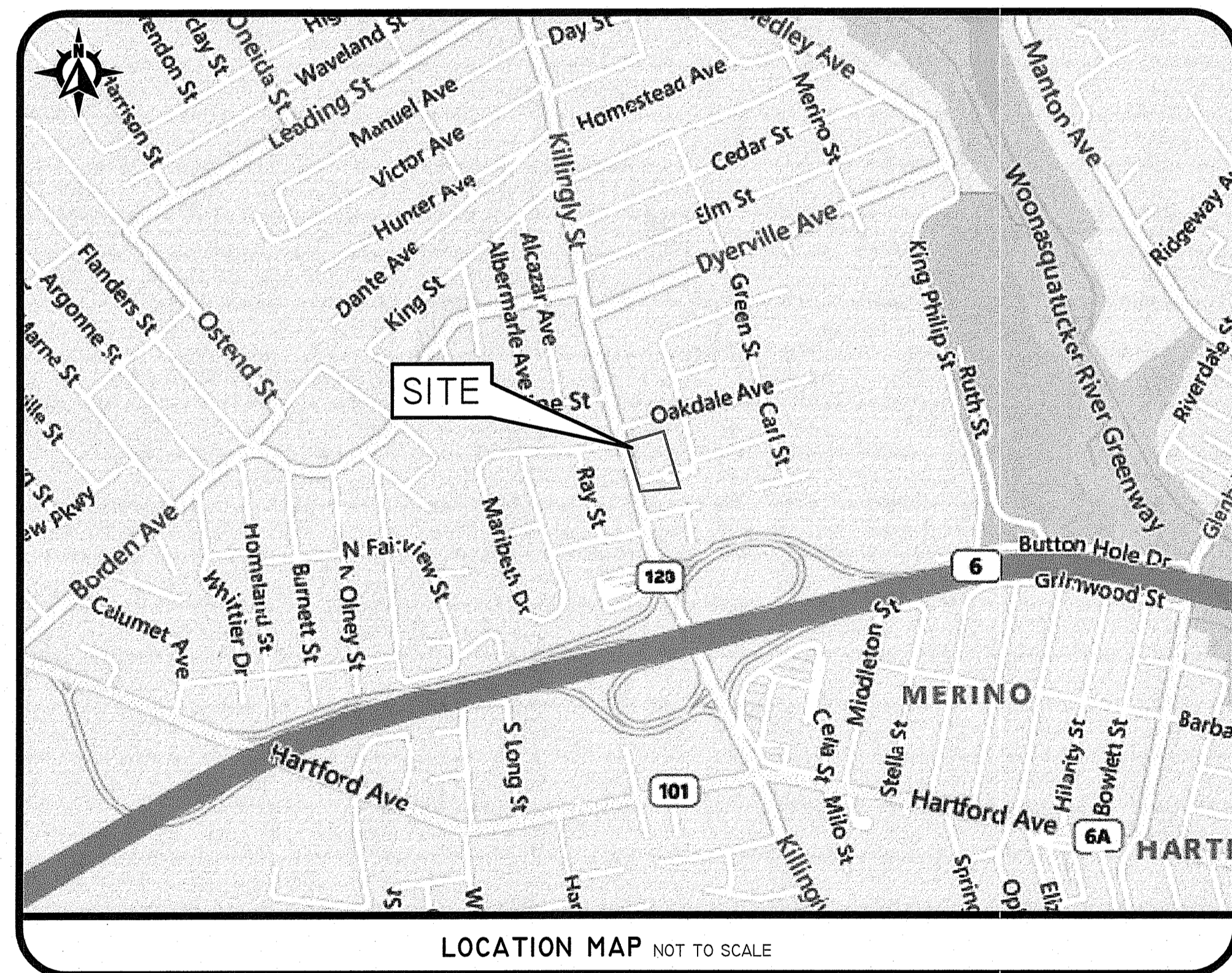


SITE DEVELOPMENT PLANS

SEASONS CORNER MARKET

521 & 525 KILLINGLY STREET
 JOHNSTON, RHODE ISLAND 02919
 ASSESSOR'S PLAT 13 LOTS 397 & 485



LOCATION MAP NOT TO SCALE

SHEET INDEX

- 1 COVER SHEET
 - 2 AERIAL & HALF MILE RADIUS
 - 3 GENERAL NOTES & LEGEND
 - 4 BOUNDARY & TOPOGRAPHIC SURVEY PLAN
 - 5 SOIL EROSION & SEDIMENT CONTROL PLAN
 - 6 SITE LAYOUT PLAN
 - 7 GRADING & SURFACE DRAINAGE PLAN
 - 8 UNDERGROUND TREATMENT SYSTEM - A
 - 9 DETAIL SHEET - 1
 - 10 DETAIL SHEET - 2
 - 11 LANDSCAPE PLAN
 - 12 LANDSCAPE NOTES & DETAILS
- SG-1 SIGNAGE PLAN & ELEVATIONS (BY OTHERS)
- PHOTOMETRIC PLAN (1 OF 1) (BY OTHERS)
- EXBT-1 FUEL CIRCULATION PLAN

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED 2-21-2013 FILE # MAY 21 2021
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE.
Nancy L. Freeman

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 REVIEWED SITE PLAN APPLICATION
 DATED
 SEE LETTER OF SAME DATE.

APR 16 2021

SESC / O&M
 THE SOIL EROSION AND SEDIMENT CONTROL PLAN (SESC) AND STORMWATER OPERATION AND MAINTENANCE PLAN (O&M) ARE REQUIRED DOCUMENTS WITH THIS PLAN SET AND MUST BE MAINTAINED BY THE CONTRACTOR AND OWNER ON SITE.

RIDOT
 THE PROPOSED IMPROVEMENTS WILL NOT INCREASE THE RATE OF STORMWATER RUNOFF ONTO THE STATE HIGHWAY. ALL WORK WITHIN THE STATE RIGHT OF WAY MUST CONFORM TO THE RI STANDARD SPECIFICATIONS, DETAILS, AND ADDENDUMS.

DANA R. NISBET
 No. 11876
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL

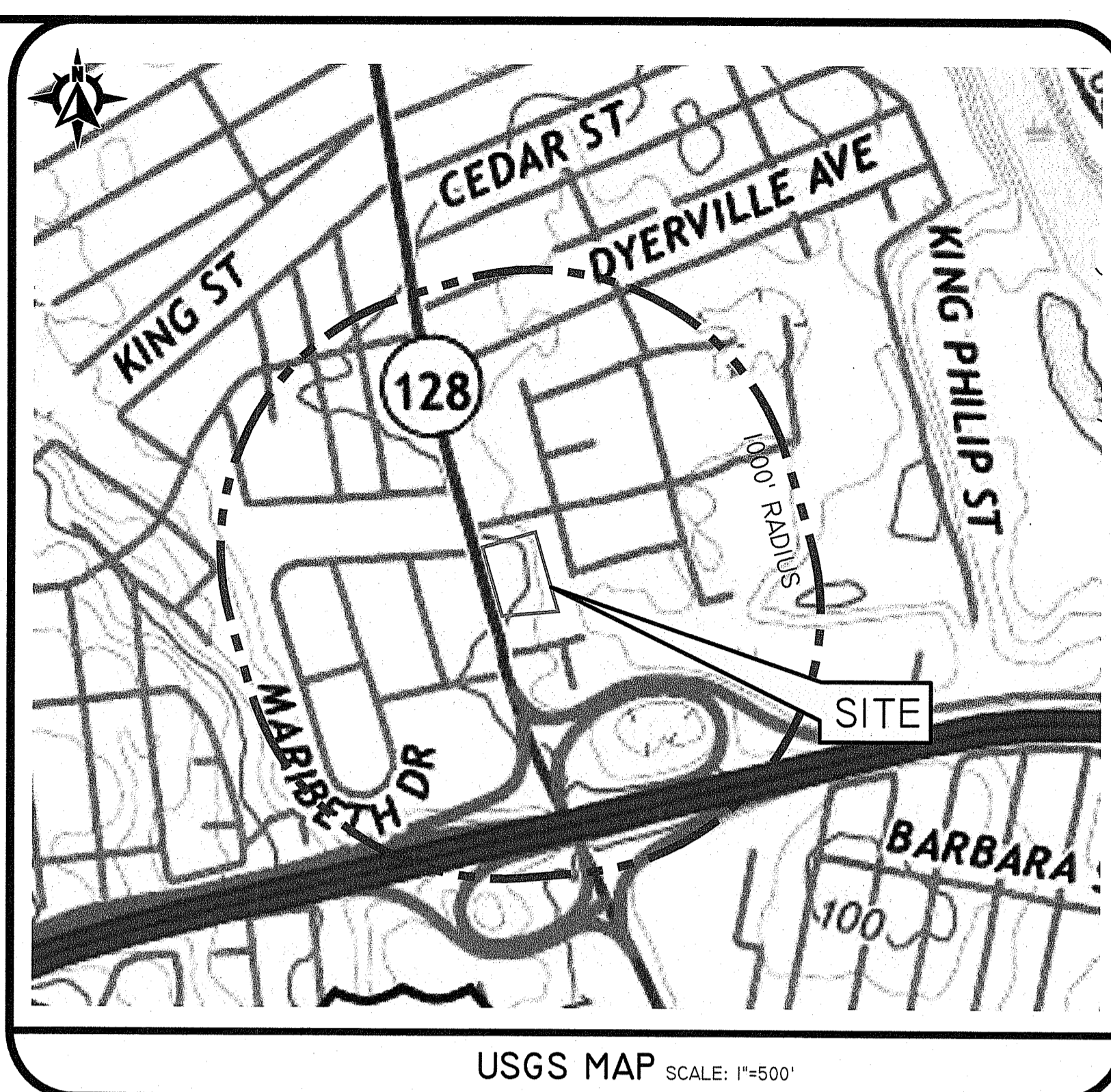
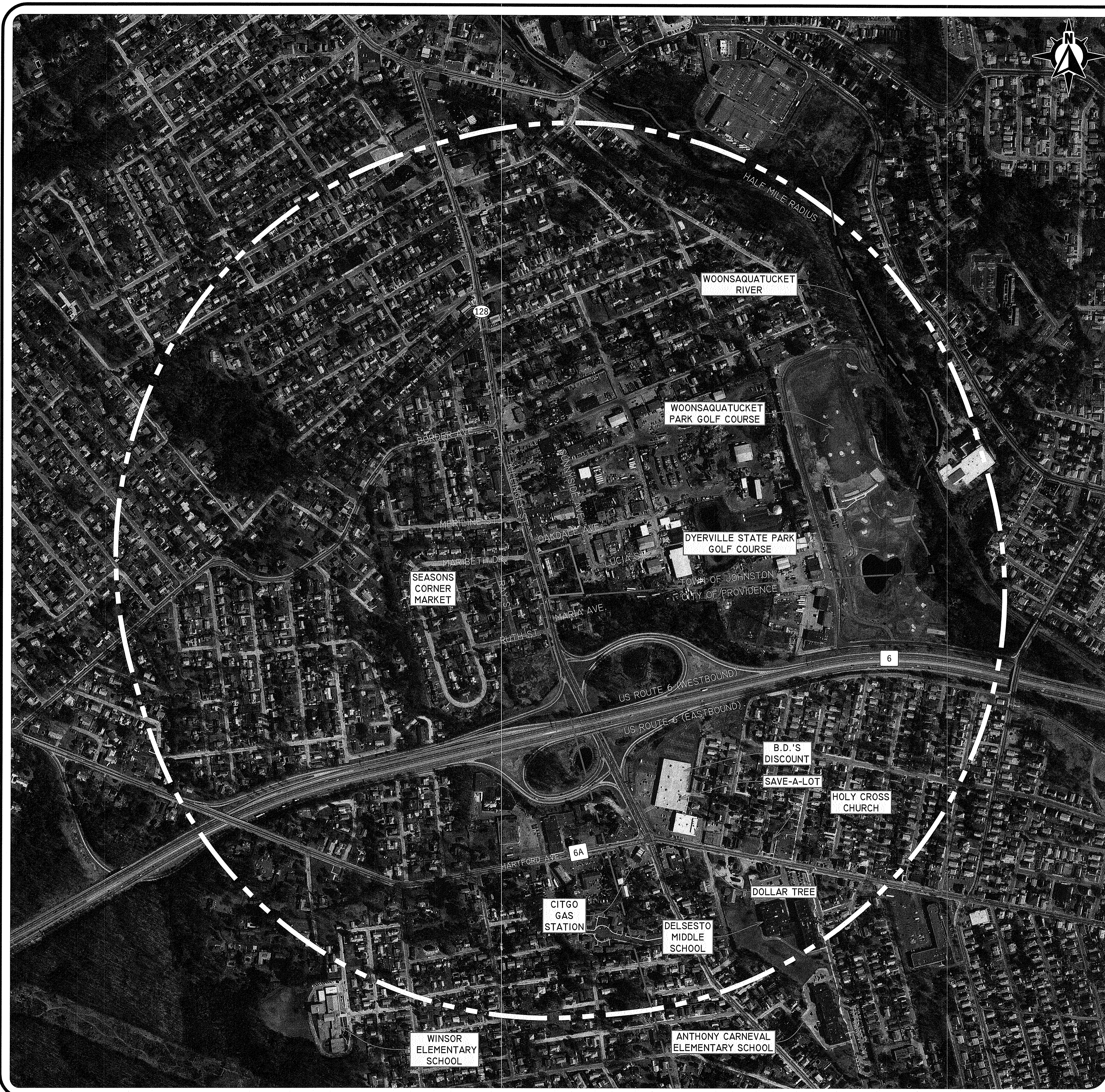
THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS IT IS ISSUED FOR CONSTRUCTION AND STAMPED BY AN ENGINEER.
 DIPRETE ENGINEERING ONLY WARRANTS PLANS ON A DIPRETE ENGINEERING DESIGN. DIPRETE ENGINEERING, DIPRETE PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING, DIPRETE ENGINEERING DOES NOT WARRANT PLANS BY ANY OTHER PARTY. DIPRETE ENGINEERING ASSUMES NO LIABILITY FOR THE DESIGN, CONSTRUCTION, OPERATION, MAINTENANCE, SAFETY, PRECAUTIONS AND REQUIREMENTS, AND PERFORMANCE IN THE IMPLEMENTATION OF THIS PLAN AND DESIGN.
 EXISTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE. ONLY DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR THE LOCATION, DEPTH, OR CHARACTERISTICS OF EXISTING UTILITIES. SEE UTILITY DATE ON SHEET 3.

DESIGN BY: RSS/PAA
DATE: 02-06-21
DESCRIPTION: SITE PLAN REVIEW
BY: BT
DRAWN BY: RSS

COVER SHEET
 SEASONS CORNER MARKET
 ASSESSOR'S PLAT 13 LOTS 397 & 485
 JOHNSTON, RHODE ISLAND 02919
 PREPARED FOR:
 COLBEA ENTERPRISES, LLC
 2050 PLAINFIELD PIKE, CRANSTON, RHODE ISLAND 02921
 TEL: 401-943-0005

RIDEM COPY

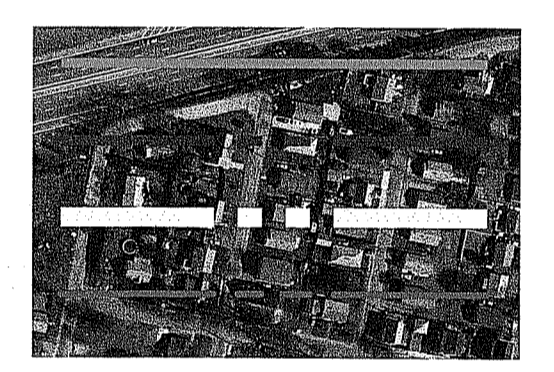
Z:\EHP\PROJECTS\2562-206 KELLINLY STREET 125 AUTOCAD DRAWINGS\2562-206-C\AW.DWG (PLOTTER: 4/19/2021)



USGS MAP SCALE: 1"=500'

LEGEND

- PROPERTY LINE
- 1000' RADIUS LINE
- HALF MILE RADIUS LINE
- APPROXIMATE CITY/TOWN LINE

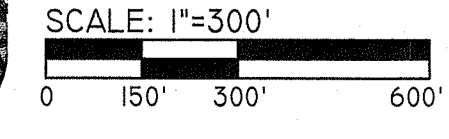


Environmental Management
APR 16 2021
Office of Water Resources

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED MAY 21 2021 FILE # 21-0103
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLAN FOR CONSTRUCTION SITE

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
REVIEWED SITE PLAN APPLICATION NO. [redacted]
DATED [redacted]
SEE LETTER OF SAME DATE.

PHOTO OBTAINED FROM RIGIS.
DATE OF PHOTOGRAPHY 08/12/2015.



DiPrete Engineering
Two Stratford Court Cranston, RI 02920
tel 401-949-1000 fax 401-944-6006 www.diprete-eng.com

Boston • Providence • Newport

DANA R. NISSET
No. 11876
REGISTERED PROFESSIONAL ENGINEER
CIVIL

THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS STAMPED ISSUED FOR CONSTRUCTION AND STAMPED BY THE REGISTERED PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING.
DIPRETE ENGINEERING ONLY WARRANTS PLANS ON A DIPRETE PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING. DIPRETE ENGINEERING DOES NOT WARRANT PLANS BY ANY OTHER PARTY.
THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE NECESSARY CONFORMANCE IN THE IMPLEMENTATION OF THIS PLAN AND EXISTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE. ONLY DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR SEE UTILITY NOTES ON SHEET 3.

0	04/16/21	SITE PLAN REVIEW	R.S.S.
NO.	DATE	DESCRIPTION	BY:
			DESIGN BY: RSS/PAA
			DRAWN BY: RSS

AERIAL & HALF MILE RADIUS
SEASONS CORNER MARKET
ASSESSOR'S PLAT 13 LOTS 397 & 485
JOHNSTON, RHODE ISLAND 02919

PREPARED FOR:
COLBEA ENTERPRISES, LLC
2050 PLAINFIELD PIKE, CRANSTON, RHODE ISLAND 02921
TEL 401-943-0005

BE JOB NO: 2562-206 COPYRIGHT 2021 BY DIPRETE ENGINEERING ASSOCIATES, INC.

SHEET 2 OF 12

GENERAL NOTES:

- 1. THE SITE IS LOCATED ON THE TOWN OF JOHNSTON, RI ASSESSOR'S PLAT 13 LOTS 397 & 485.
2. THE SITE IS APPROXIMATELY 1.4+ ACRES AND IS ZONED B-2.
3. THE OWNER OF AP 13 LOTS 397 & 485 IS: COLBEA ENTERPRISES, LLC
4. THIS SITE IS LOCATED IN FEMA FLOOD ZONE X. REFERENCE FEMA FLOOD INSURANCE RATE MAP 44070303H, MAP REVISED MONTH OCTOBER, 2015.
5. THE BOUNDARY LINE AS SHOWN ON THE ENGINEERING PLAN SET DEPICTS THE RESULTS OF A CLASS I COMPREHENSIVE BOUNDARY SURVEY AS PERFORMED BY WATERMAN ENGINEERING COMPANY.

SOIL INFORMATION:

(REFERENCE: SOIL MAPPING OBTAINED FROM RIGIS, SOIL GEOGRAPHIC DATA DEVELOPED BY THE RHODE ISLAND SOIL SURVEY PROGRAM IN PARTNERSHIP WITH THE NATIONAL COOPERATIVE SOIL SURVEY)

AMERICANS WITH DISABILITIES ACT NOTES:

- 1. ALL IMPROVEMENTS MUST COMPLY WITH THE "AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG)" BY THE DEPARTMENT OF JUSTICE (CURRENT EDITION).
2. MAXIMUM RUNNING SLOPE ALONG ALL ACCESSIBLE PATHS OF TRAVEL MUST BE 4.5% (0.45 FT/FT), AND MAXIMUM CROSS SLOPE ACROSS ALL ACCESSIBLE PATHS OF TRAVEL MUST BE 1.0% (0.010 FT/FT).
3. ADA PARKING SPACES AND LOADING AREAS: THE STEEPEST SLOPE OF THE SPACE, MEASURED IN ANY DIRECTION (INCLUDING DIAGONAL), MUST BE LESS THAN OR EQUAL TO 2% (0.02 FT/FT).

REDEVELOPMENT NOTES:

- 1. ALL EXISTING MANHOLE COVERS, GRATES, VALVE BOXES, SHUT-OFFS, AND HAND HOLES WITHIN THE LIMIT OF DISTURBANCE MUST BE RESET TO FINISHED GRADE.
2. THE CONTRACTOR MUST PROTECT AND MAINTAIN ALL BUILDINGS TO REMAIN AND ALL ACTIVE UTILITIES THAT SERVICE THE BUILDINGS TO REMAIN. EXISTING GAS LINE IS TO BE RELOCATED AROUND PROPOSED CANOPY EXTENSION.
3. ALL UTILITY STRUCTURES INDICATED TO BE ABANDONED MUST BE CUT TO FOUR FEET BELOW FINISH GRADE ELEVATION, INLETS AND OUTLETS PLUGGED WITH MORTAR, AND SEALED WITH CONCRETE, UNLESS OTHERWISE NOTED.

SOIL EROSION AND SEDIMENTATION CONTROL NOTES:

- 1. THE CONTRACTOR IS RESPONSIBLE FOR ALL SOIL EROSION AND SEDIMENT CONTROL ON SITE WHICH MUST BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE APPLICABLE REGULATIONS AND AUTHORITY HAVING JURISDICTION.
2. ALL EROSION CONTROL, INCLUDING (BUT NOT LIMITED TO) SILT FENCE, COMPOST SOCK ETC., TO BE INSTALLED PER THE LATEST EDITION OF THE RHODE ISLAND SOIL EROSION AND SEDIMENTATION CONTROL (RISESC) HANDBOOK AND THE SOIL EROSION & SEDIMENTATION CONTROL PLANS.
3. INLET PROTECTION IS TO BE INSTALLED ON ALL CATCH BASINS ONCE CONSTRUCTED.

DEMOLITION NOTES:

- 1. CONTRACTOR TO OBTAIN ALL FEDERAL, STATE, AND MUNICIPAL APPROVALS PRIOR TO THE START OF CONSTRUCTION.
2. CONTRACTOR TO PERFORM DAILY SWEEPING AT CONSTRUCTION ENTRANCE DURING DEMOLITION AND CONSTRUCTION TO MINIMIZE SEDIMENTS ON EXTERNAL STREETS.
3. ANY EXISTING BUILDING(S) AND PROPERTY PROPOSED TO REMAIN WHICH ARE DAMAGED BY THE CONTRACTOR MUST BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.

TRAFFIC NOTES:

- 1. ALL TRAFFIC CONTROL MUST CONFORM TO THE FEDERAL HIGHWAY ADMINISTRATION (FHWA) MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) CURRENT EDITION.
2. DURING CONSTRUCTION, TRAFFIC CONES ARE TO BE USED FOR SEPARATION OF ACTIVE TRAFFIC FROM WORK ZONE PER MUTCD REQUIREMENTS.
3. DURING CONSTRUCTION FLAGGERS MUST BE EMPLOYED TO ENSURE SAFETY FOR INTERACTION OF CONSTRUCTION VEHICLES AND ACTIVE TRAFFIC.

AS-BUILT NOTES:

ALL COMPONENTS OF THE DRAINAGE, SEWER, AND WATER SYSTEMS MUST BE FIELD LOCATED PRIOR TO COVERING. NOTIFY SURVEYOR A MINIMUM OF SEVENTY-TWO (72) HOURS IN ADVANCE OF NEED FOR FIELD LOCATION OF IMPROVEMENTS. SURVEYOR TO PROVIDE OWNER AND CONTRACTOR WITH WRITTEN NOTICE OF COMPLETION OF FIELD WORK PRIOR TO CONTRACTOR COVERING IMPROVEMENTS. OWNER/DIPRETE WILL NOT ACCEPT FIELD MEASUREMENTS FROM THE SITE CONTRACTOR.

RIDOT NOTES:

- 1. ALL WORK TO BE DONE WITHIN THE STATE RIGHT OF WAY MUST CONFORM TO RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AMENDED MARCH 2018 WITH ALL REVISIONS AND ADDENDA. STANDARD DETAILS FOR THIS WORK ARE RHODE ISLAND STANDARD DETAILS DATED JUNE 21, 2019 WITH ALL REVISIONS.
2. CONTRACTOR MUST OBTAIN A UTILITY CONNECTION PERMIT FOR WORK WITHIN THE STATE ROW PRIOR TO CONSTRUCTION. THE PAPA IS NOT A SUBSTITUTE FOR THE UTILITY PERMIT AND THE PAPA DOES NOT CONSTITUTE AN APPROVAL OF ANY UTILITY WORK.

JOHNSTON, RI NOTES:

- 1. FOR ALL EASEMENTS/RIGHTS-OF-WAY AND DEED/PLAT/ RESTRICTIONS/COVENANTS, SEE NOTE 3 OF THE BOUNDARY AND TOPOGRAPHIC SURVEY PLAN, DATED 11/22/2020, PREPARED BY WATERMAN ENGINEERING COMPANY.
2. THERE ARE NO EXTRAORDINARY/ UNUSUAL NATURAL FEATURES, HISTORIC AREAS, CEMETERIES, OR FOUNDATIONS, ETC. ASSOCIATED WITH THIS SITE.

GRADING AND UTILITY NOTES:

- 1. CONSTRUCTION TO COMMENCE SUMMER 2021 OR UPON RECEIPT OF ALL NECESSARY APPROVALS.
2. THE CONTRACTOR MUST COORDINATE WITH ALL OF THE APPROPRIATE UTILITY COMPANIES FOR AGREEMENTS TO SERVICE THE PROPOSED BUILDING. THIS MUST BE DONE PRIOR TO CONSTRUCTION. NO REPRESENTATIONS ARE MADE BY DIPRETE ENGINEERING THAT UTILITY SERVICE IS AVAILABLE.
3. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING FINISH GRADING AND DRAINAGE AROUND THE BUILDING TO ENSURE SURFACE WATER AND/OR GROUNDWATER ARE DIRECTED AWAY FROM THE STRUCTURE.

- 12. NO STUMP DUMPS ARE PROPOSED ON SITE.
13. ALL DRAINAGE OUTFALLS ARE DESIGNED TO BE INSTALLED AT EXISTING GROUND ELEVATION. CONTRACTOR MUST NOTIFY THE DIPRETE ENGINEERING OF ANY DISCREPANCIES BEFORE EXISTING GROUND IS HIGHER THAN OUTFALL DESIGN ELEVATION IMMEDIATELY. ANY RESOLUTION OF DISCREPANCIES BY THE CONTRACTOR, UNLESS AUTHORIZED IN WRITING IN ADVANCE BY THE OWNER AND DIPRETE ENGINEERING, IS DONE AT THE CONTRACTOR'S RISK.

DRAINAGE STRUCTURES TO BE AS FOLLOWS (UNLESS OTHERWISE NOTED ON PLANS):
• CATCH BASINS NOT ALLOWED TO BE RIDOT STD 4.4.0, 4' DIAMETER
• CATCH BASINS TO HAVE 3' SUMP WITHOUT WEEPHOLES.
• SINGLE FRAME CATCH BASIN GRATES TO BE RIDOT STD. 6.3.2
• MANHOLES TO BE RIDOT STD. 4.2.0, 4.2.1 OR 4.2.2 AS REQUIRED
• DRAINAGE MANHOLE COVERS TO BE RIDOT STD 6.2.1

ALL DRAINAGE STRUCTURES MUST BE WATERTIGHT.
DRAINAGE CONNECTIONS FROM ALL DOWNSPOUTS (DS) ARE SHOWN FOR SCHEMATIC PURPOSES ONLY. THE LEVEL OF DETAIL SHOWN DOES NOT INCLUDE ALL JOINTS THAT MAY BE REQUIRED FOR CONSTRUCTION. ALL FITTINGS & PIPE SLOPES TO THE INTO MAIN TRUNK LINE TO BE FIELD FIT BY CONTRACTOR.

SITE LIGHTING
SITE LIGHTING (TEMPORARY AND PERMANENT) MUST BE DIRECTED AWAY FROM AND SHIELDED FROM ENVIRONMENTALLY SENSITIVE AREAS AND ADJUTING LANDS. EXACT LOCATIONS OF LIGHT POLE TO BE COORDINATED WITH OTHER UTILITIES. FINAL LIGHTING AND CONDUIT LOCATIONS BY OTHERS.

ABBREVIATIONS LEGEND:

Table with 3 columns: Abbreviation, Description, and Notes. Includes entries like ADA (AMERICANS WITH DISABILITY ACT), AHJ (AUTHORITY HAVING JURISDICTION), ARCH (ARCHITECT), BC (BOTTOM OF CURB), BT (BOTTOM OF TESTHOLE), BIT (BITUMINOUS (BERM)), BIO (BIORETENTION), BS (BASEMENT SLAB ELEVATION), BW (FINISHED GRADE AT BOTTOM OF WALL), CB (CATCH BASIN), C (CALCULATED), CL (CENTERLINE), (CA) (CHORD ANGLE), CLDIP (CONCRETE LINED DUCTILE IRON PIPE), CNPY (CANOPY), CO (CLEAN OUT), CONC (CONCRETE), (D) (DEED), DCB (DOUBLE CATCH BASIN), DI (DROP INLET), DMH (DRAINAGE MANHOLE), DP (DETENTION POND), ELEV (ELEVATION), EOP (EDGE OF PAVEMENT), ESC (EROSION AND SEDIMENT CONTROL), EX (EXISTING), FES (FLARED END SECTION), FF (FINISH FLOOR ELEVATION), GS (GARAGE SLAB ELEVATION), GW (GROUND WATER TABLE), HW (HEADWALL), HC (HIGH CAPACITY CATCH BASIN GRATE), HOPE (HIGH DENSITY POLYETHYLENE), ID (INLINE DRAIN), INV (INVERT), IP (INFILTRATION POND), LARCH (LANDSCAPE ARCHITECT), LF (LINEAR FEET), LOD (LIMIT OF DISTURBANCE), LP (LIGHT POLE), (M) MEASURED, MEP (MECHANICAL/ELECTRICAL/ PLUMBING ENGINEER), N/F (NOW OR FORMERLY), OHW (OVERHEAD WIRE), PE (POLYETHYLENE), P (PROPERTY LINE), PR (PROPOSED), PVC (POLYVINYL CHLORIDE), R (RADIUS), RAD (REMOVE AND DISPOSE), RCP (REINFORCED CONCRETE PIPE), RHIB (RHODE ISLAND HIGHWAY BOUND), RL (ROOF LEADER), ROW (RIGHT-OF-WAY), S (SLOPE), SD (SUBDRAIN), SED (SEDIMENT FOREBAY), SF (SQUARE FOOT), SFM (STATE FREEWAY MAIN), SFL (SEWER FORCE MAIN), SG (SLAB ON GRADE ELEVATION), SHL (STATE HIGHWAY LINE), SMH (SEWER MANHOLE), SNDF (SAND FILTER), SS (SIDE SLOPE), STA (STATION), TC (TOP OF CURB), TF (TOP OF FOUNDATION), TRANS (TRANSITION), TW (TOP OF WALL (FINISHED GRADE AT TOP OF WALL)), TYP (TYPICAL), UDS (UNDERGROUND), UIS (UNDERGROUND INFILTRATION SYSTEM), UP (UTILITY POLE), WQ (WALKOUT ELEVATION), WO (WATER QUALITY)

LAYOUT AND MATERIALS:

- 1. DIMENSIONS ARE FROM THE FACE OF CURB, FACE OF BUILDING, FACE OF WALL, AND CENTER LINE OF PAVEMENT MARKINGS, UNLESS OTHERWISE NOTED.
2. CURBING TO BE PRECAST CONCRETE OR AS LABELED ON THE PLANS.
3. SIDEWALK TO BE CONCRETE OR AS LABELED ON THE PLANS.
4. SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THEIR ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR MUST REFER TO THE DETAIL SHEET DIMENSIONS, MANUFACTURERS' LITERATURE, SHOP DRAWINGS AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.
5. PROPOSED BOUNDS AND ANY EXISTING PROPERTY LINE MONUMENTATION DISTURBED DURING CONSTRUCTION MUST BE SET OR RESET BY A PROFESSIONAL LICENSED SURVEYOR.

SITE CALLOUTS LEGEND:

Table with 2 columns: Callout Code and Description. Includes entries like 4DY (4' PAVEMENT MARKINGS- DOUBLE YELLOW), 4W (4' PAINTED WHITE MARKINGS), 4WAS (4' WHITE STRIPING 2' ON CENTER AT 45°), 6W (6' WHITE PAVEMENT MARKINGS), ADAR (ADA CURB RAMP MUST COMPLY WITH ALL ADA REGULATIONS AND REQUIREMENTS), ADAV (VAN ADA SPACE PAVEMENT MARKINGS MUST COMPLY WITH ALL ADA AND MUTCD REGULATIONS AND REQUIREMENTS), 7.1.0 (RIDOT STD PRECAST CONCRETE CURB), 7.1.3 (RIDOT STD PRECAST WHEELCHAIR TRANSITION CURB), 7.6.0 (RIDOT STD CURB SETTING DETAIL), 20.1.0 (RIDOT STD PAVEMENT MARKINGS ARROWS AND ONLY), 20.3.0 (RIDOT STD PAVEMENT MARKINGS - CROSSWALKS AND STOP LINES), 34.4.0 (RIDOT STD STEEL BACKED TIMBER GUARDRAIL), 43.1.0 (RIDOT STD CEMENT CONCRETE SIDEWALK), 43.4.1 (RIDOT STD DRIVEWAY DEVELOPMENT FOR 6' TRANSITION CURB), RH-1 (MUTCD 'STOP' SIGN), RS-1 (MUTCD 'DO NOT ENTER' SIGN)

PROPOSED LEGEND:

Table with 3 columns: Symbol, Description, and Notes. Includes entries like NOT ALL ITEMS SHOWN WILL APPEAR ON PLANS, PROPERTY LINE, BUILDING SETBACKS, CHAIN-LINK FENCE, GUARDRAIL SEE LAYOUT AND MATERIALS NOTE 7, RETAINING WALL, MINOR CONTOUR LINE, MAJOR CONTOUR LINE, SPOUT ELEVATION, EDGE OF PAVEMENT, BITUMINOUS BERM, CONCRETE CURB (RIDOT STD 7.1.0), BUILDING FOOTPRINT, BUILDING OVERHANG, ASPHALT PAVEMENT, HEAVY DUTY ASPHALT PAVEMENT, HEAVY DUTY CONCRETE, CONCRETE, ASPHALT SIDEWALK, SAWCUT LINE, SIGN (RIDOT STD 24.6.2 AS APPLICABLE), SINGLE LIGHT, DOUBLE LIGHT, OVERHANGING LIGHT, ACCESSIBLE PARKING SPACE SYMBOLS, BUILDING INGRESS/EGRESS, DRAINAGE LINE, PERFORATED SUBDRAIN, SWALE, SEWER FORCE MAIN, GAS LINE, WATER LINE, HYDRANT ASSEMBLY, WATER SHUT OFF, WATER VALVE, THRUST BLOCK, SEWER LINE, OVERHEAD WIRE, ELECTRIC, TELEPHONE, CABLE LINE, LIMIT OF DISTURBANCE/ LIMIT OF CLEARING, SEDIMENTATION BARRIER, SILT FENCE (RIDOT STD 9.2.0), COMPOST SOCK OR APPROVED EQUAL, SLOPES STEEPER THAN 3:1 (2:1 OR 1:1 SLOPE), UNDERGROUND INFILTRATION OUTLINE, POND ACCESS, RIPRAP, SAND FILTER, BIO RETENTION, CATCH BASIN, DOUBLE CATCH BASIN, MANHOLE, FLARED END SECTION, HEADWALL

UTILITY NOTE:

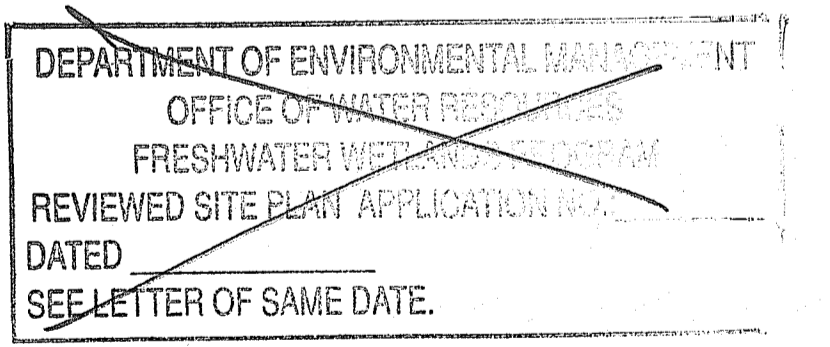
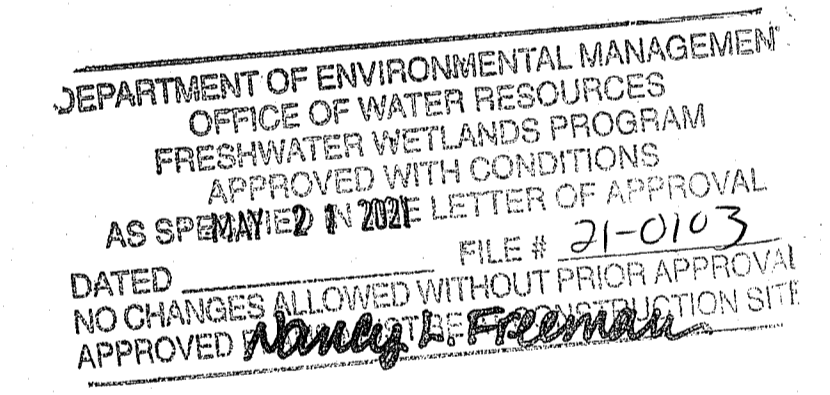
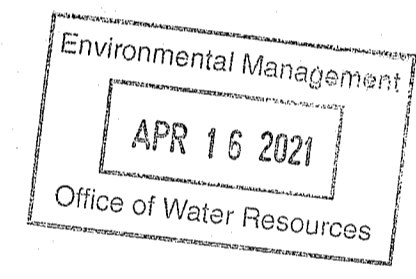
ALL UNDERGROUND UTILITIES SHOWN ON THESE PLANS WERE PROVIDED BY OTHERS AND ARE APPROXIMATE ONLY. LOCATIONS MUST BE DETERMINED IN THE FIELD BEFORE EXCAVATION, BLASTING, UTILITY INSTALLATION, BACKFILLING, GRADING, PAVEMENT RESTORATION, AND ALL OTHER SITE WORK. ALL UTILITY COMPANIES, PUBLIC AND PRIVATE, MUST BE CONTACTED INCLUDING THOSE IN CONTROL OF UTILITIES NOT SHOWN ON THESE DOCUMENTS. CONTACT DIG SAFE A MINIMUM OF 72 WORKING HOURS PRIOR TO ANY CONSTRUCTION AT 811. DIG SAFE IS RESPONSIBLE FOR CONTACTING MEMBER UTILITY COMPANIES. DIG SAFE MEMBER UTILITY COMPANIES ARE RESPONSIBLE TO MARK ONLY THE FACILITIES THAT THEY OWN OR MAINTAIN. NON DIG SAFE MEMBER COMPANIES ARE NOT NOTIFIED BY DIG SAFE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INVESTIGATE AND NOTIFY IF ANY PRIVATELY OWNED OR NON DIG SAFE MEMBER UTILITIES ARE IN THE AREA.

PER THE CODE OF FEDERAL REGULATIONS - TITLE 29, PART 1926 IT IS THE SITE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ACCURATE UNDERGROUND UTILITY LINE LOCATIONS FROM THE UTILITY COMPANIES, UTILITY OWNERS AND, OR VIA UNDERGROUND UTILITY LOCATION EQUIPMENT AS NEEDED TO ESTABLISH ACCURATE LOCATIONS PRIOR TO ANY EXCAVATION. THE USE OF PROFESSIONAL UTILITY LOCATING COMPANIES PRIOR TO ANY EXCAVATION IS RECOMMENDED.

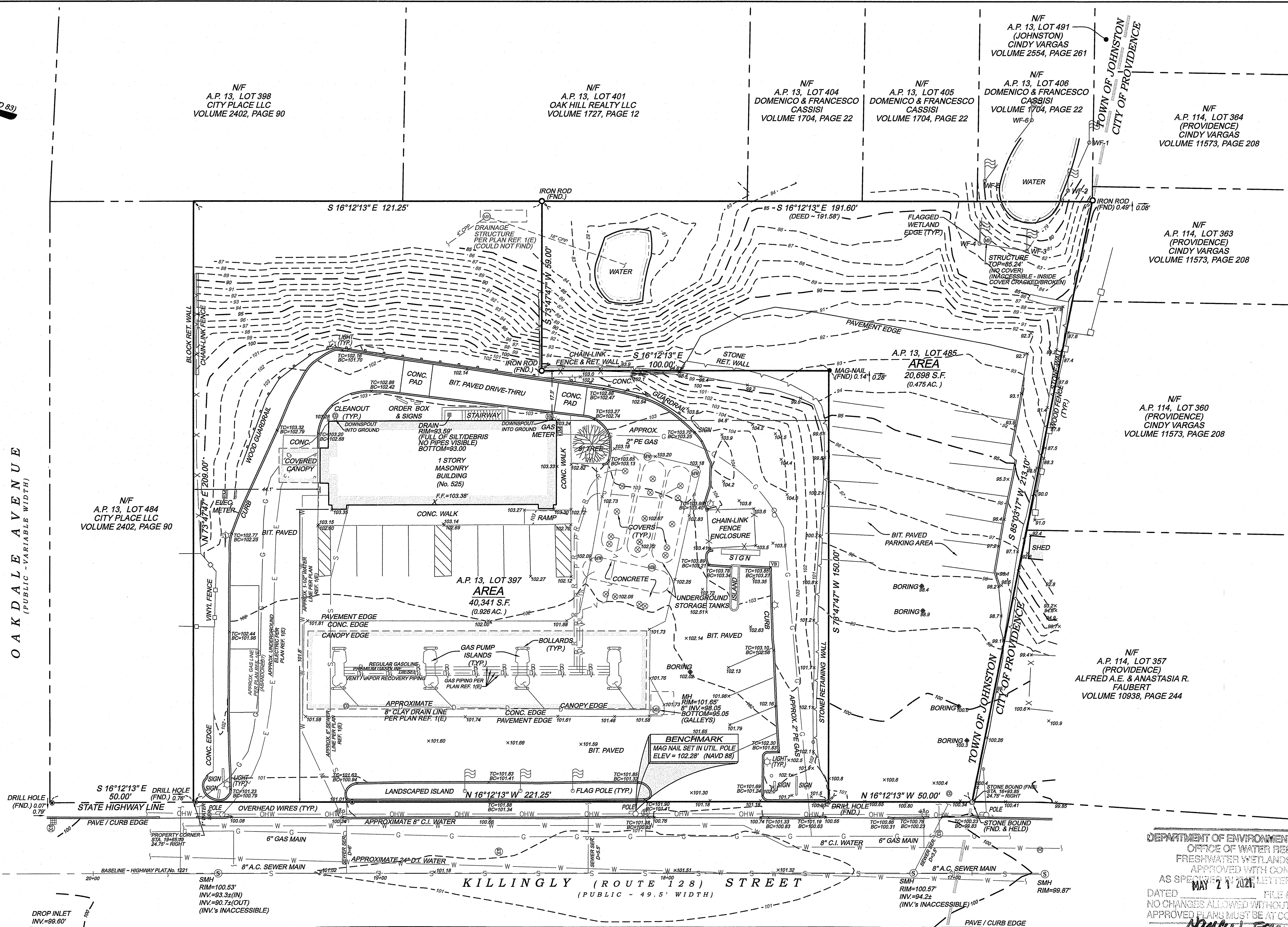
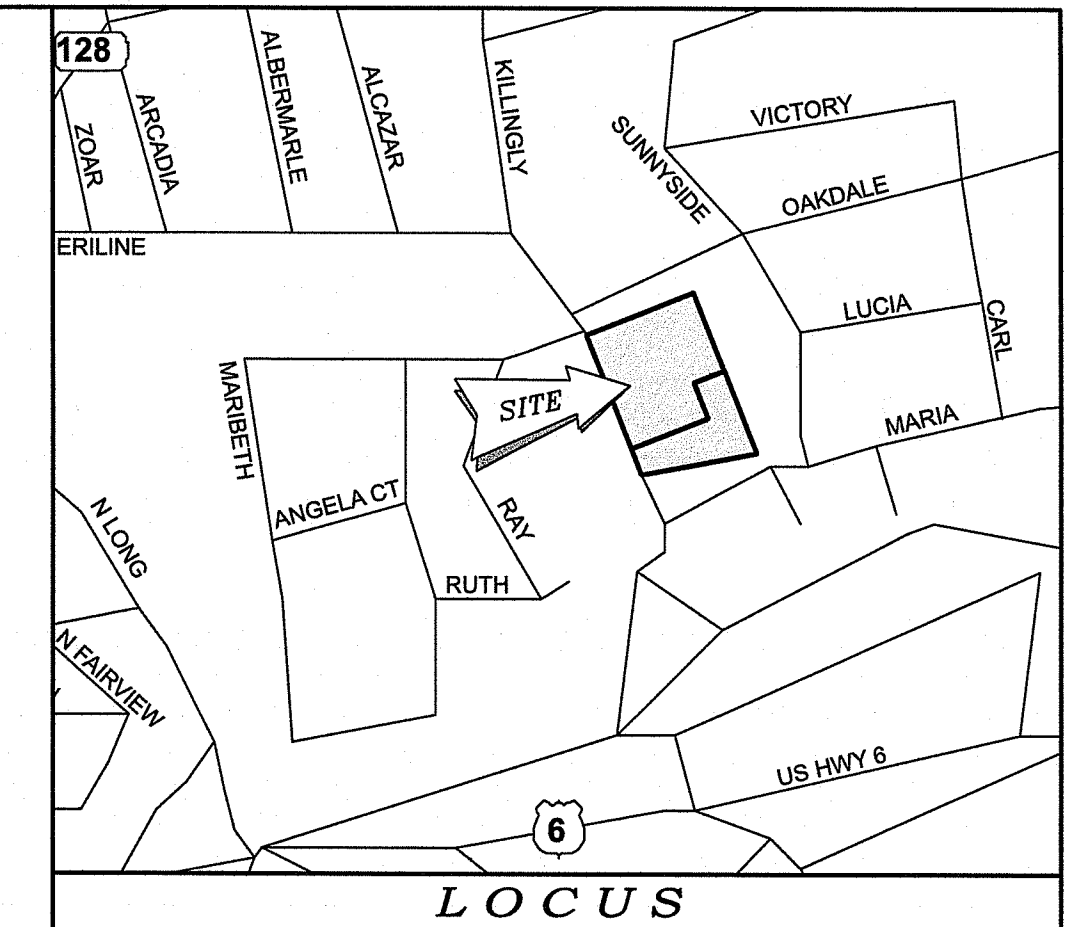
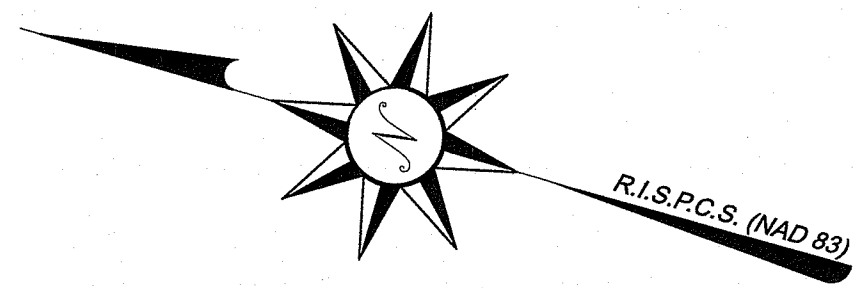
DIPRETE ENGINEERING IS NOT A PROFESSIONAL UTILITY LOCATION COMPANY, AND IS NOT RESPONSIBLE FOR UNDERGROUND UTILITIES DETECTED OR NOT, EITHER IN SERVICE OR ABANDONED. ANY SIZES, LOCATIONS, EXISTENCE, OR LACK OF EXISTENCE OF UTILITIES SHOWN ON THESE PLANS SHOULD BE CONSIDERED APPROXIMATE UNTIL VERIFIED BY A PROFESSIONAL UTILITY LOCATION COMPANY. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED.

DiPrete Engineering logo and contact information: Two Stafford Court Cranston, RI 02920, tel. 401-943-1000 fax. 401-464-6006 www.diprete-eng.com

DANA R. NISBET Registered Professional Engineer Civil No. 11876-A



GENERAL NOTES & LEGEND SEASONS CORNER MARKET ASSessor's PLAT 13 LOTS 397 & 485 JOHNSTON, RHODE ISLAND 02919 PREPARED FOR: COLBEA ENTERPRISES, LLC 2050 PLAINFIELD PIKE, CRANSTON, RHODE ISLAND 02921 TEL. 401-943-1000

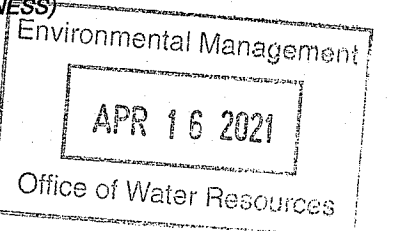


NOTES / REFERENCES

- REFERENCE IS MADE TO THE FOLLOWING MAPS AND PLANS OF RECORD:
 - PLAN ENTITLED "PLAN OF SURVEY IN JOHNSTON, R.I. FOR SHELL OIL COMPANY BY STANLEY ENGINEERING, INC. SCALE 1" = 10', DECEMBER, 1970.
 - PLAN ENTITLED "OAKDALE BELONGING TO M.A. WHITE BY FRANK E. WATERMAN CO., DECEMBER, 1919, SCALE: 1" = 80'."
 - PLAN ENTITLED "ALTA / NSPS LAND TITLE SURVEY PLAN A.P. 13, LOT 485 KILLINGLY STREET JOHNSTON RHODE ISLAND, PREPARED FOR: ADLER POLLOCK & SHREVE P.C., PREPARED BY: WATERMAN ENGINEERING COMPANY, DATED: 07/18/17, SCALE: 1" = 20'."
 - R.I. HIGHWAY PLAT No. 1221
 - PLAN SET ENTITLED "COLBEA, 2050 PLAINFIELD TURNPIKE, CRANSTON, RHODE ISLAND 02921, PROPOSED FOODMART 325 KILLINGLY STREET, JOHNSTON, RHODE ISLAND CONSULTING SITE / BUILDING / DESIGN, 55 BRONX STREET, WATTFORD, CT 06105, STRUCTURAL, C.A. PRETZER ASSOCIATES, INC., 191 FRANKLIN AVENUE, CRANSTON, RI 02910, KILLINGLY ST., 92700 ISSUED FOR CONSTRUCTION."
- REFERENCE IS MADE TO THE FOLLOWING TOWN OF JOHNSTON LAND EVIDENCE RECORDS REGARDING RECORDED TITLE TO THE PREMISES SURVEYED:
 - A.P. 13, LOT 397 - COLBEA ENTERPRISES, L.L.C. - VOLUME 845, PAGE 348
 - A.P. 13, LOT 485 - COLBEA ENTERPRISES, L.L.C. - VOLUME 2610, PAGE 75
- THESE PREMISES MAY BE SUBJECT TO THE FOLLOWING EASEMENTS, RIGHTS OF WAY OR AGREEMENTS OF RECORD:
 - EASEMENTS / AGREEMENTS MAY EXIST REGARDING THE LOCATION OF THE EXISTING BIT PAVEMENT, STONE RETAINING WALLS & OVERHEAD WIRES AS SHOWN. (NO RECORDS FOUND)
 - EXCEPTING ALL RIGHT, TITLE AND INTEREST IN AND TO ANY OIL, GAS AND OTHER MINERALS AS DESCRIBED IN VOLUME 845, PAGE 348. (MINERAL RIGHTS RELEASED TO MOTIVA ENTERPRISES L.L.C. FROM SHELL OIL COMPANY AS DESCRIBED IN VOLUME 846, PAGE 4.)
- THESE PREMISES ARE SITUATED IN AN 'B2 ZONE' (GENERAL BUSINESS)

DIMENSIONAL REQUIREMENTS	
MIN. STRUCT. DISTANCE FROM RESIDENTIAL BOUNDARY ZONE	= 50 FT.
MIN. S/B FRONT YARD	= 40 FT.
MIN. S/B REAR YARD	= 40 FT.
MIN. S/B SIDE YARD	= 40 FT.
MAX. STRUCTURE HEIGHT	= 35 FT.
MAX. BUILDING COVERAGE	= 40%

NOTE - ZONING INFORMATION IS FROM CURRENT ZONING AND MAY NOT REFLECT THE CONDITIONS AT THE TIME OF CONSTRUCTION OR ANY VARIANCES GRANTED.
- THESE PREMISES ARE SITUATED IN A ZONE 'X' (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS DESIGNATED ON THE "NATIONAL FLOOD INSURANCE PROGRAM, FIRM FLOOD INSURANCE RATE MAP PROVIDENCE COUNTY, RHODE ISLAND (ALL JURISDICTIONS) PANEL 303 OF 451 TOWN OF JOHNSTON MAP NUMBER 4407020353H MAP REVISED: OCTOBER 2, 2015. FEDERAL EMERGENCY MANAGEMENT AGENCY."
- ANY UTILITIES SHOWN ON THIS PLAN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING PLANS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH OR ABANDONED. THE SURVEYOR DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM ALL AVAILABLE INFORMATION. (PLEASE CONTACT DIG SAFE 72 HOURS PRIOR TO CONSTRUCTION AT PHONE NO. 1-888-DIG-SAFE AND/OR ALL LOCAL UTILITY COMPANIES.)
- THE LOCATION OF THE TOWN / CITY LINE WAS REPRODUCED FROM THE EXISTING MONUMENT FOUND AND EXISTING DEEDS / PLATS OF RECORD. MORE RESEARCH / FIELD WORK MAY BE NEEDED TO DELINEATE THE EXACT LOCATION OF THE TOWN / CITY LINE. A COMPLETE SURVEY OF THE TOWN / CITY LINE WAS NOT CONDUCTED AS PART OF THIS PROJECT.
- SNOW COVER WAS PRESENT DURING THE COURSE OF PERFORMING THE FIELD SURVEY IN 2019, THEREFORE NOT ALL FEATURES AND / OR APPURTENANCES MAY BE SHOWN.
- THE WETLAND FLAGS SHOWN HEREON WERE DELINEATED BY NATURAL RESOURCE SERVICES, INC., P.O. BOX 311, HARRISVILLE, RI 02830 IN SEPTEMBER, 2020 AND FIELD LOCATED BY WATERMAN ENGINEERING COMPANY IN NOVEMBER, 2020.

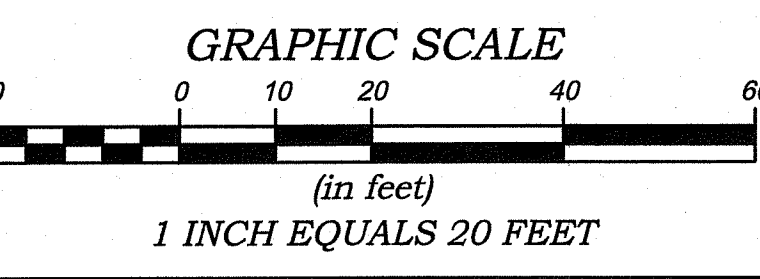


DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED MAY 21 2021 FILE # Z1-0107
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE
Nancy J. Freeman

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
REVIEWED SITE PLAN APPLICATION
DATED
SEE LETTER OF SAME DATE.

LEGEND & ABBREVIATIONS

- | | |
|--------------------------------|-------------------------------|
| NF - NOW OR FORMERLY | — — — — — PROPERTY LINE |
| A.P. - ASSESSORS PLAT | - - - - - ZONING SETBACK LINE |
| S.F. - SQUARE FEET | - - - - - EXISTING CONTOUR |
| AC. - ACRES | - - - - - NEW CONTOUR |
| + - PLUS OR MINUS | - - - - - STONE WALL |
| STY - STORY | X - FENCE |
| W/F - WOOD FRAMED | S - SEWER LINE |
| SH - STATE HIGHWAY PLAT | D - DRAIN LINE |
| RET. - RETAINING WALL | W - WATER LINE |
| PE - PEDESTRIAN | G - GAS LINE |
| (FND.) - FOUND | E - ELECTRIC LINE |
| R/HB - RI HIGHWAY BOUND | ⊙ - SANITARY SEWER MANHOLE |
| M/NAIL - MASONRY NAIL | ⊙ - CATCH BASIN |
| FE - FLARED END | ⊙ - STORM DRAIN MANHOLE |
| RCP - REINFORCED CONCRETE PIPE | ⊙ - WATER GATE |
| CLF - CHAIN LINK FENCE | ⊙ - GAS VALVE |
| INV. - INVERT | ⊙ - ELECTRIC MANHOLE |
| x 10.80 - EXISTING SPOT GRADE | ⊙ - GRANITE BOUND |
| x 10.80 - NEW SPOT GRADE | ⊙ - DRILL HOLE |
| | ⊙ - IRON PIPE |



COPYRIGHT
 THESE DRAWINGS ARE THE PROPERTY OF THE ENGINEER/SURVEYOR AND HAVE BEEN PREPARED FOR THE OWNER. FOR THIS PROJECT AT THIS SITE AND ARE NOT TO BE USED FOR ANY OTHER PURPOSE, LOCATION OR OWNER WITHOUT WRITTEN CONSENT OF THIS OWNER OR ONE OF ITS DIRECTORS.
 WATERMAN ENGINEERING CO.
 CIVIL ENGINEERING & SURVEYING
 46 SUTTON AVENUE
 EAST PROVIDENCE, RI 02914-2094

** SIGNATURES MUST BE IN BLUE INK TO CONSTITUTE AN ORIGINAL PLAN

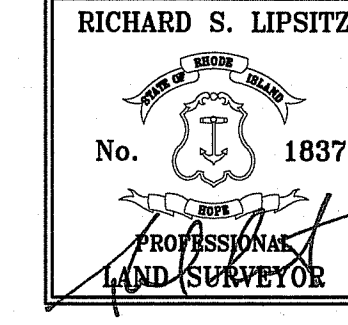
CERTIFICATION

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON JANUARY 1, 2016, AS FOLLOWS:

TYPE OF BOUNDARY SURVEY: COMPREHENSIVE BOUNDARY SURVEY
 MEASUREMENT / ACCURACY SPECIFICATION: I

OTHER TYPE OF SURVEY: DATA ACCUMULATION SURVEY III

THE PURPOSE FOR CONDUCTING THIS SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS:
 BOUNDARY & TOPOGRAPHIC SURVEY PLAN FOR THE FUTURE DEVELOPMENT OF THE SUBJECT PARCELS.



BY: *Richard S. Lipsitz*
 RICHARD S. LIPSITZ, P.L.S. REG. NO. 1837
 WATERMAN ENGINEERING COMPANY (COA NO. LS.0004483) DATE 11/12/2020

NO.	DATE	REVISION	CHECKED BY
1	11/12/2020	ADD'L TOPOGRAPHY / UTILITIES & WETLAND FLAGS	BJT

BOUNDARY & TOPOGRAPHIC SURVEY PLAN
 A.P. 13, LOTS 397 & 495
 KILLINGLY STREET
 JOHNSTON, RHODE ISLAND

COLBEA / EAST SIDE ENTERPRISE, LLC
 7 STARLINE WAY
 CRANSTON, RHODE ISLAND 02921

PROJECT NO.	17-062
SCALE:	1" = 20'
DATE:	03/15/19
DRAWN BY:	EBP/BJT
CHECKED BY:	RSL
FILENAME:	17062_SUI_2019
SHEET:	1 of 1 SHTS
DRAWING #:	SUI



46 Sutton Avenue
 East Providence, RI
 Phone: (401) 438-5775
 Fax: (401) 438-5773
 www.watermanengineering.net



Diprete Engineering

Two Stafford Court Cranston, RI 02920
tel 401-943-1000 fax 401-664-6006 www.diprete-eng.com

Boston • Providence • Newport

DANA R. NISBET
No. 11876
REGISTERED PROFESSIONAL ENGINEER CIVIL

Environmental Management
Office of Water Resources
APR 16 2021

THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS STAMPED ISSUED FOR CONSTRUCTION AND STAMPED BY REGISTERED PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING.
DIPRETE ENGINEERING ONLY WARRANTS PLANS ON A DIPRETE PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING. DIPRETE ENGINEERING DOES NOT WARRANT PLANS BY ANY OTHER PARTY.
THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE WORKS SHOWN CONFORMANCE IN THE IMPLEMENTATION OF THIS PLAN AND EXISTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE ONLY. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF EXISTING UTILITIES OR EXISTING UTILITIES. SEE UTILITY NOTE ON SHEET 3.

NO.	DATE	DESCRIPTION	DESIGN BY:
0	04/16/21	SITE PLAN REVIEW	RSS/PAW
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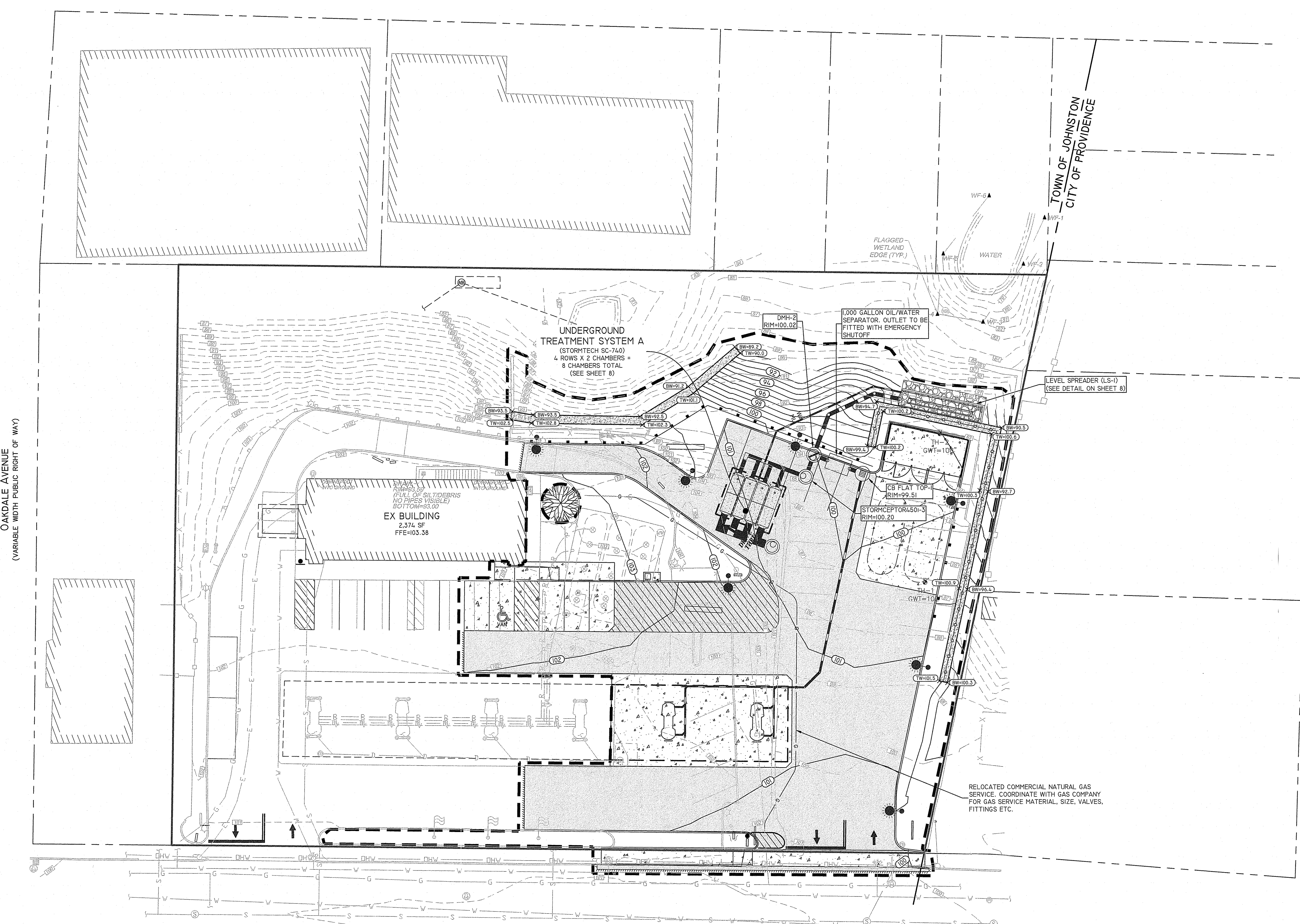
DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
REVIEWED SITE PLAN APPLICATION FOR
DATED
SEE LETTER OF SAME DATE.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATE: MAY 21 2021 FILE # 21-0103
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS FOR CONSTRUCTION SITE

SCALE: 1"=20'
0 10' 20' 40'

GRADING & SURFACE DRAINAGE PLAN

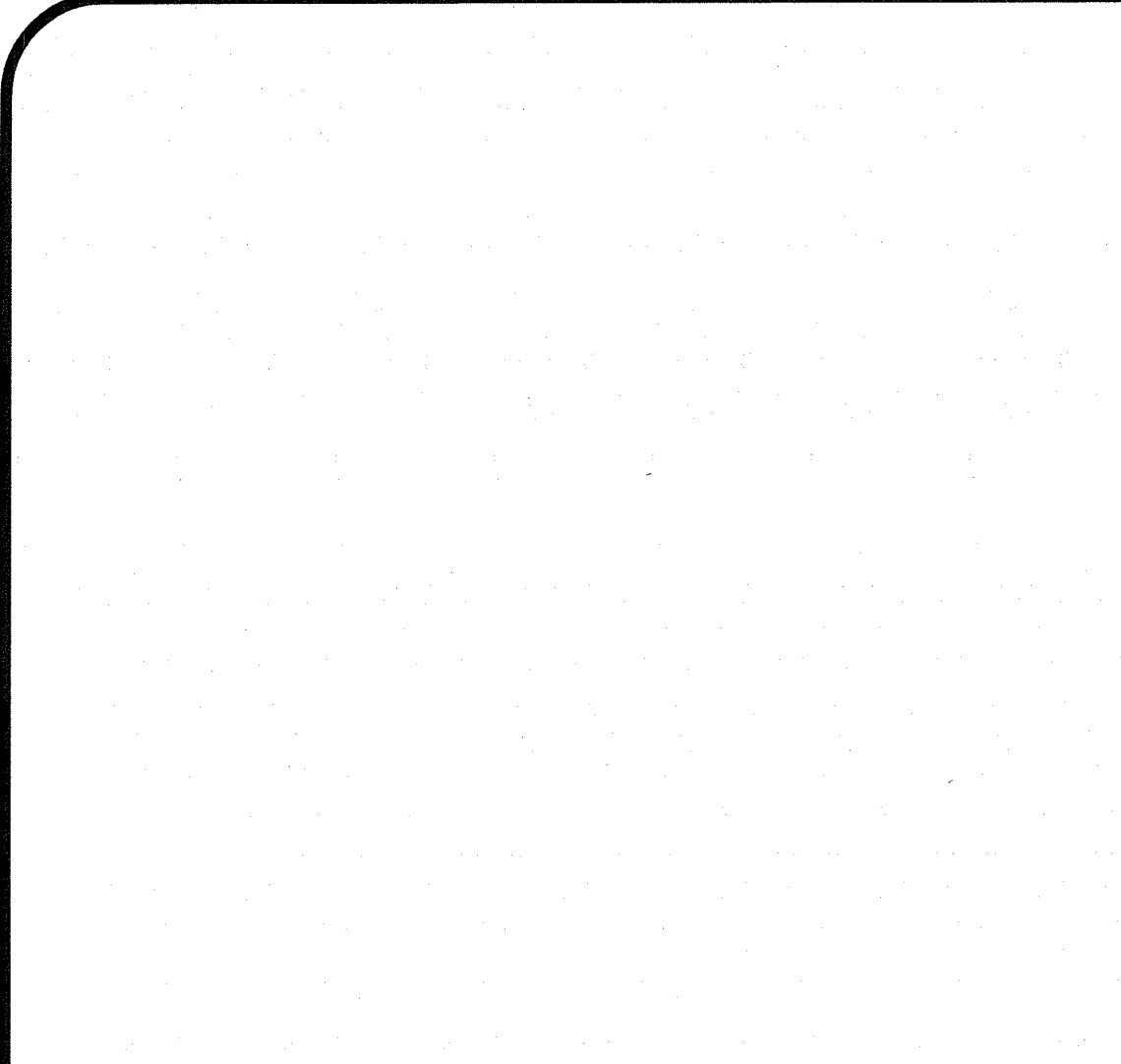
SEASONS CORNER MARKET
ASSESSOR PLATS 1 & 485
JOHNSTON, RHODE ISLAND 02919
PREPARED FOR:
COLBEA ENTERPRISES, LLC
2050 PLAINFIELD PIKE, CRANSTON, RHODE ISLAND 02921
TEL 401-943-0005



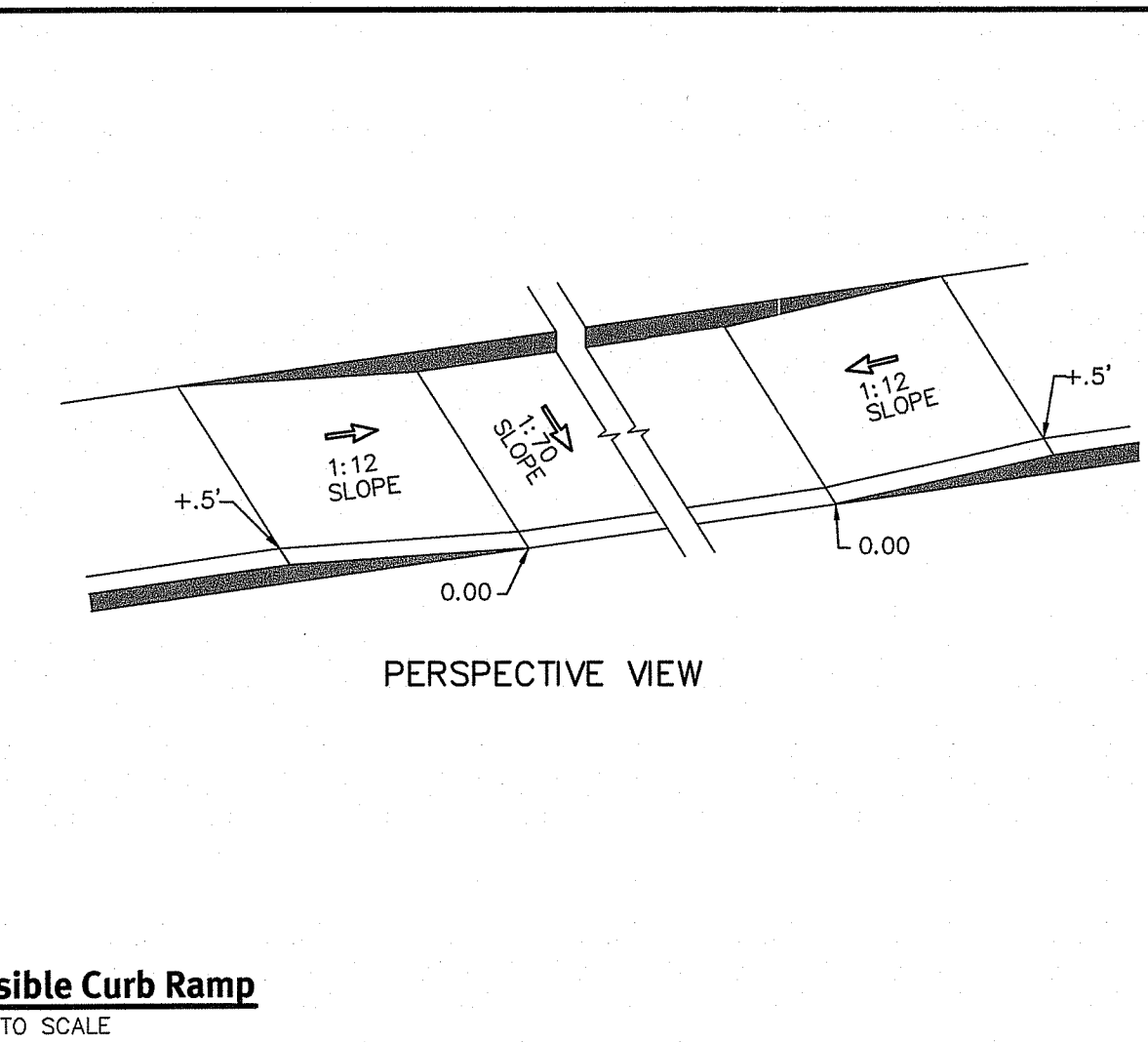
OAKDALE AVENUE
(VARIABLE WIDTH PUBLIC RIGHT OF WAY)

KILLINGLY STREET (ROUTE 128)
(RI HIGHWAY PLAT 122)
(49.5' WIDE PUBLIC RIGHT OF WAY)

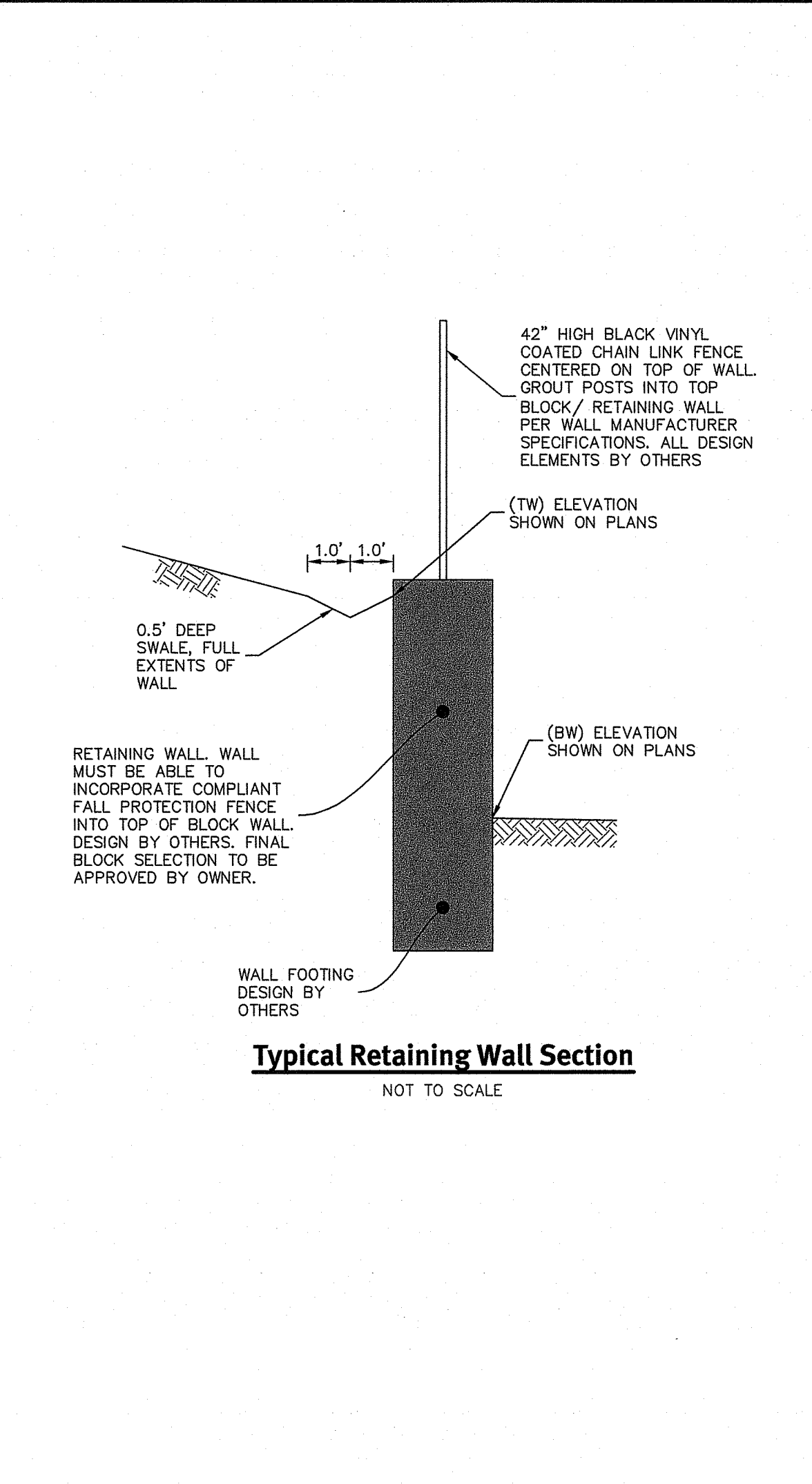
Z:\NSHAN\PROJECTS\2562-006 KILLINGLY STREET SEWERTODD DRAWINGS\2562-006-PLAN.DWG PLOT: 06/15/2021



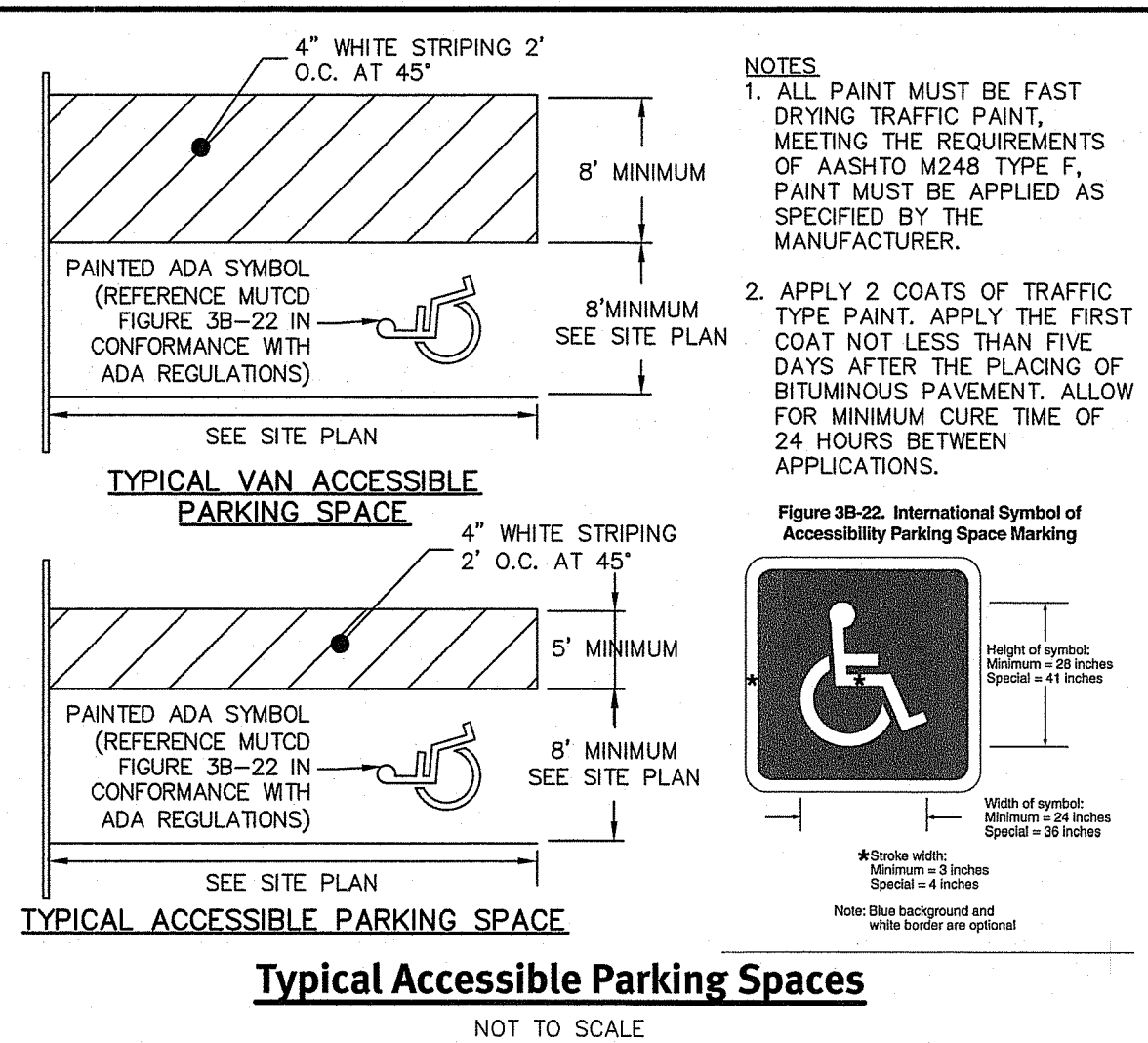
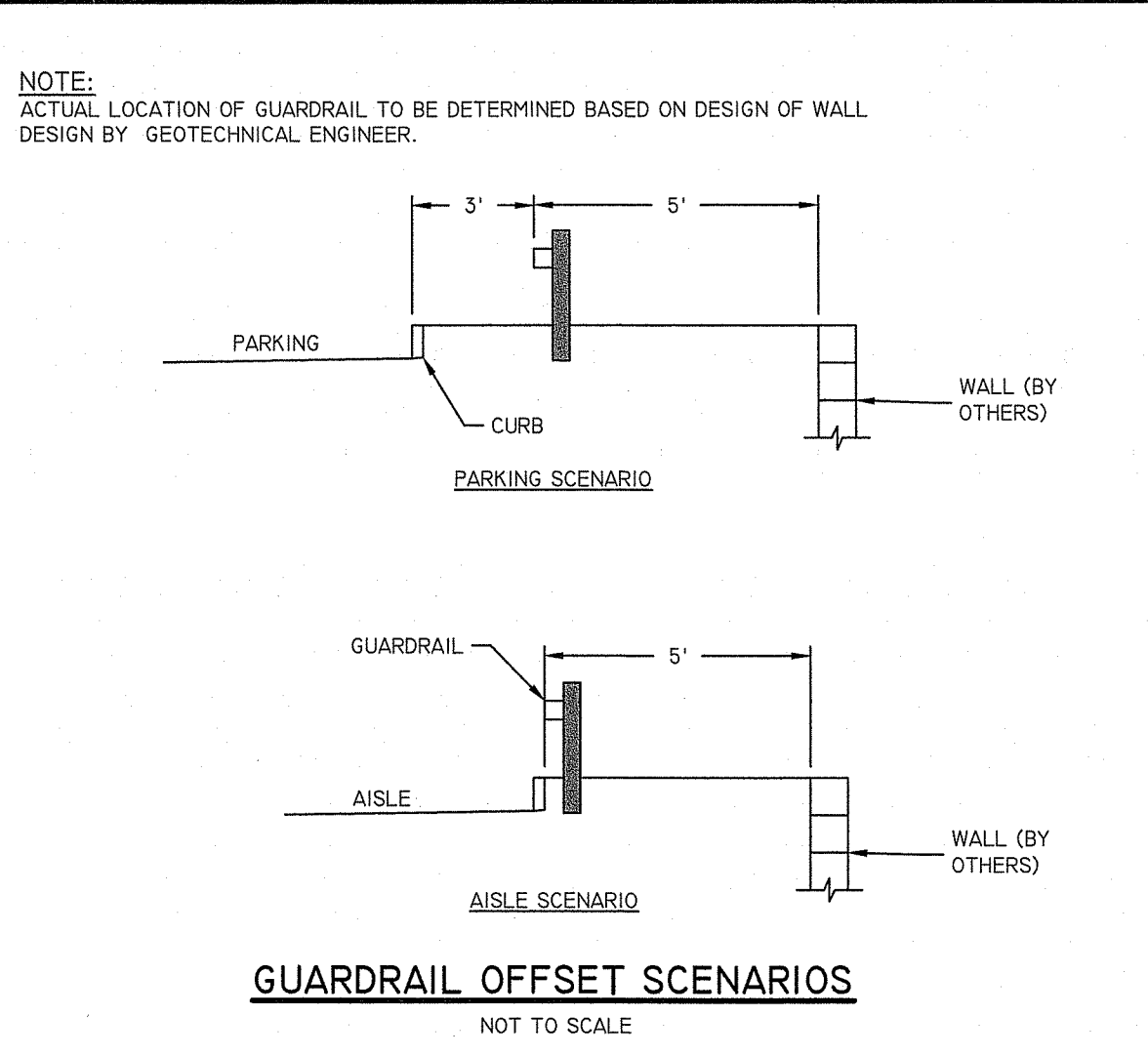
Typical Accessible Curb Ramp
NOT TO SCALE



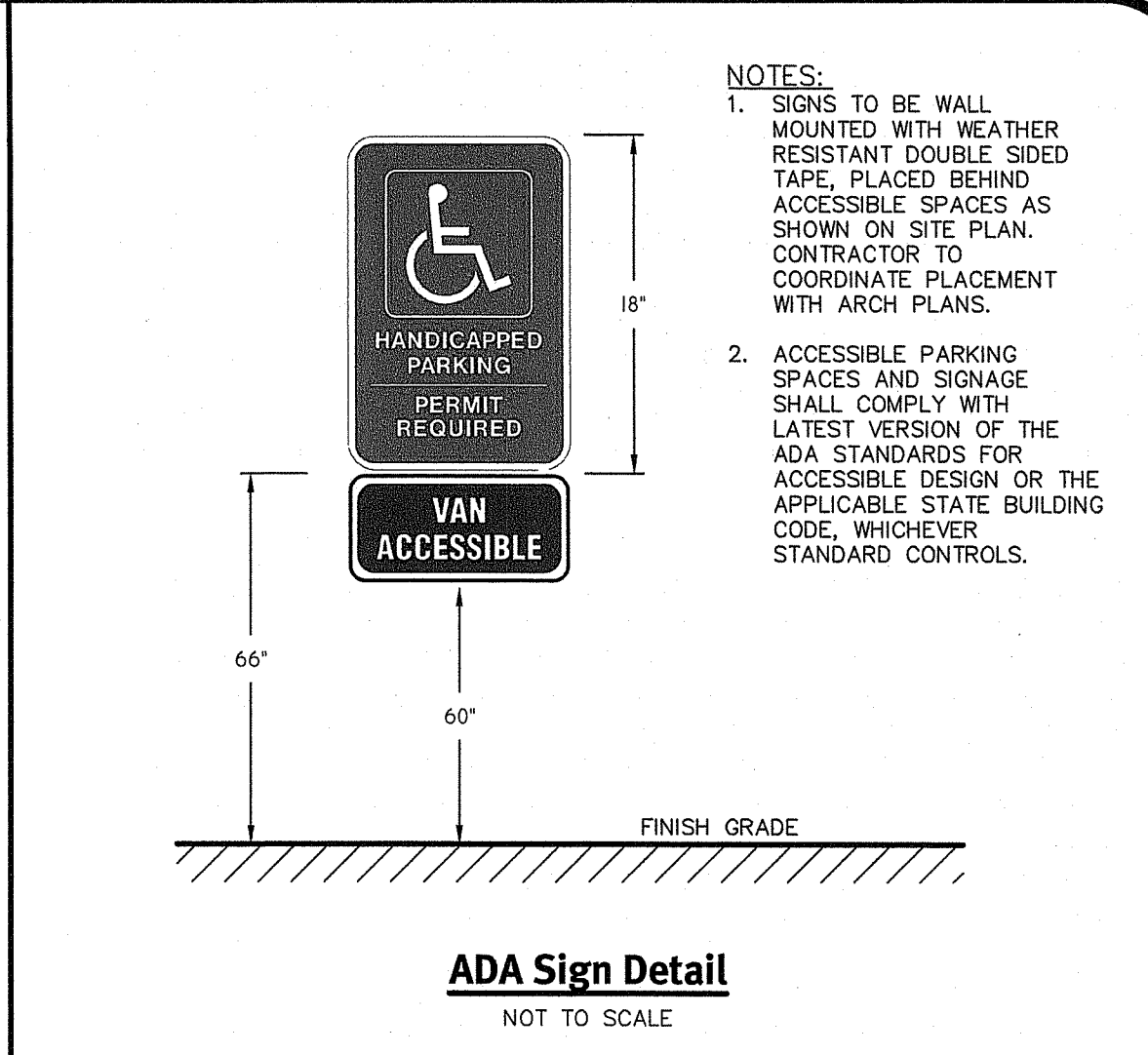
Typical Retaining Wall Section
NOT TO SCALE



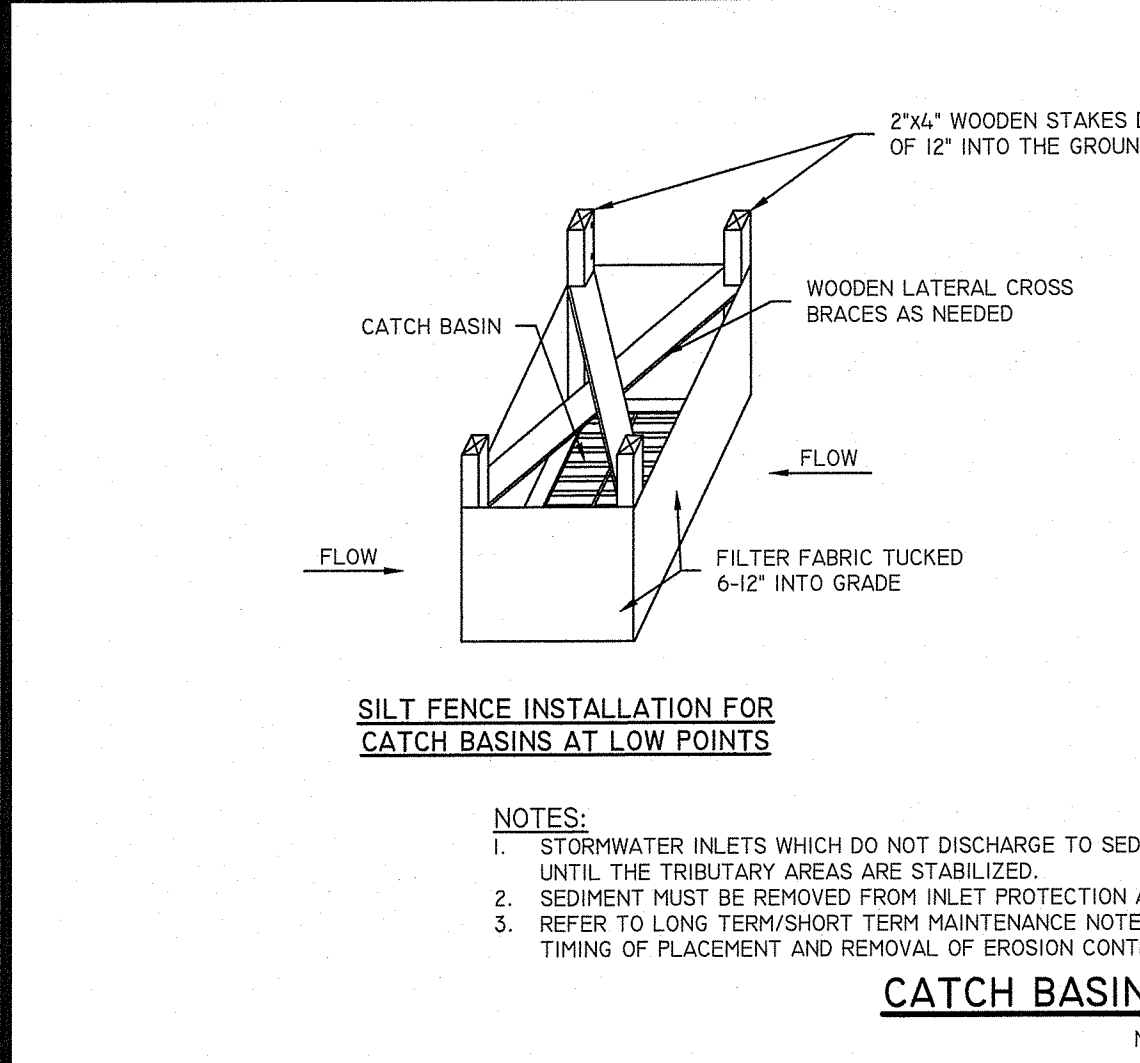
GUARDRAIL OFFSET SCENARIOS
NOT TO SCALE



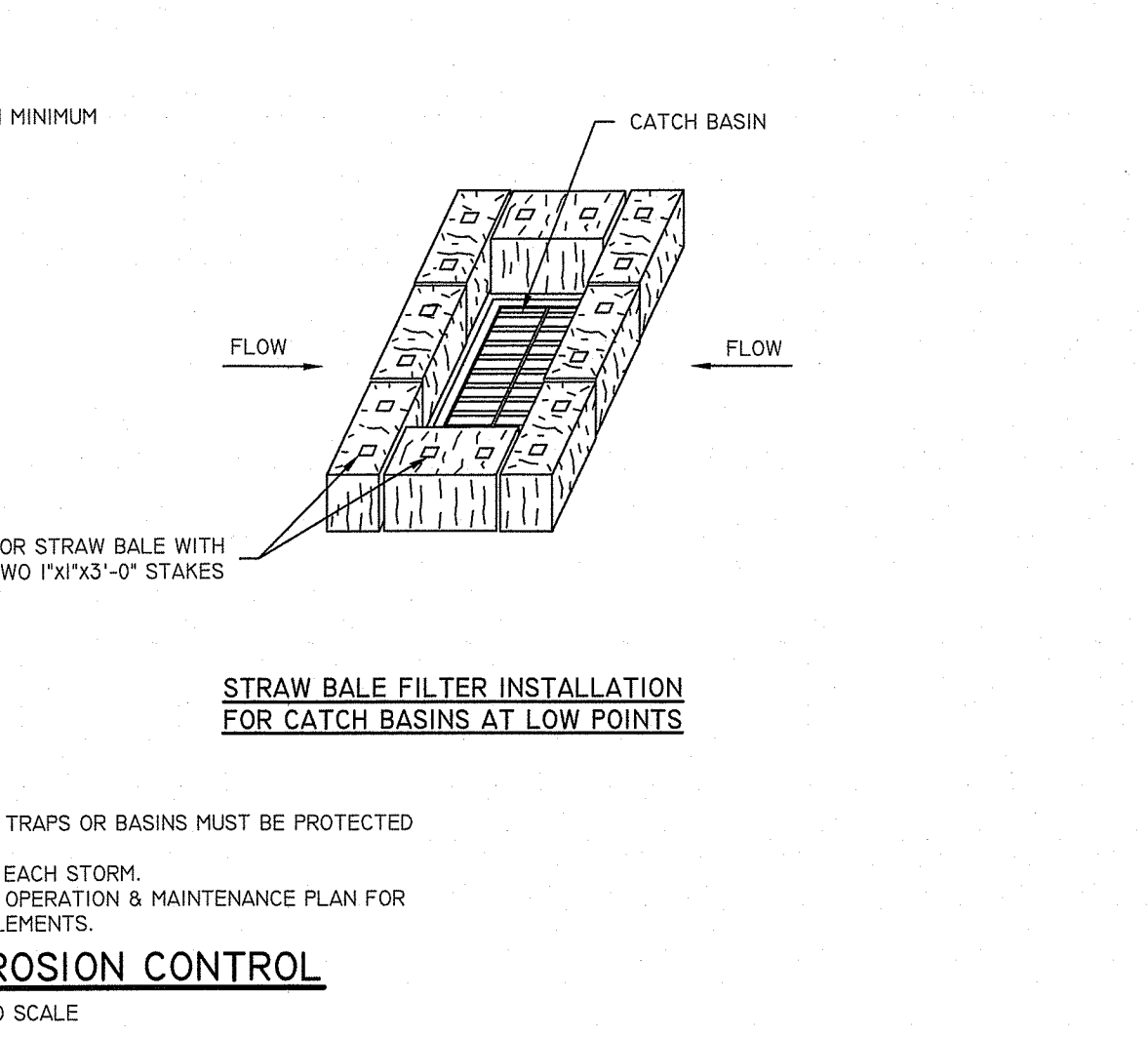
Typical Accessible Parking Spaces
NOT TO SCALE



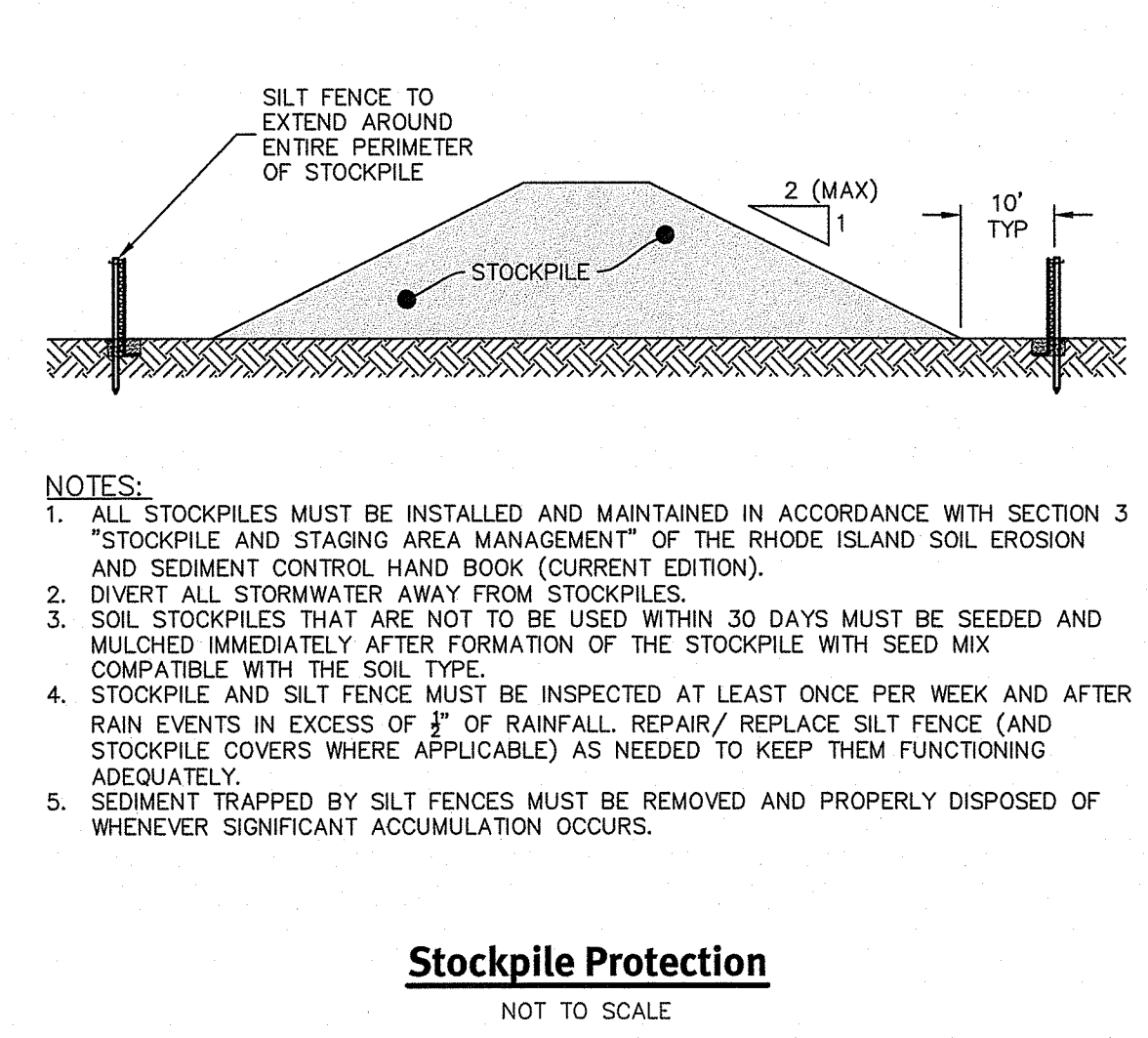
ADA Sign Detail
NOT TO SCALE



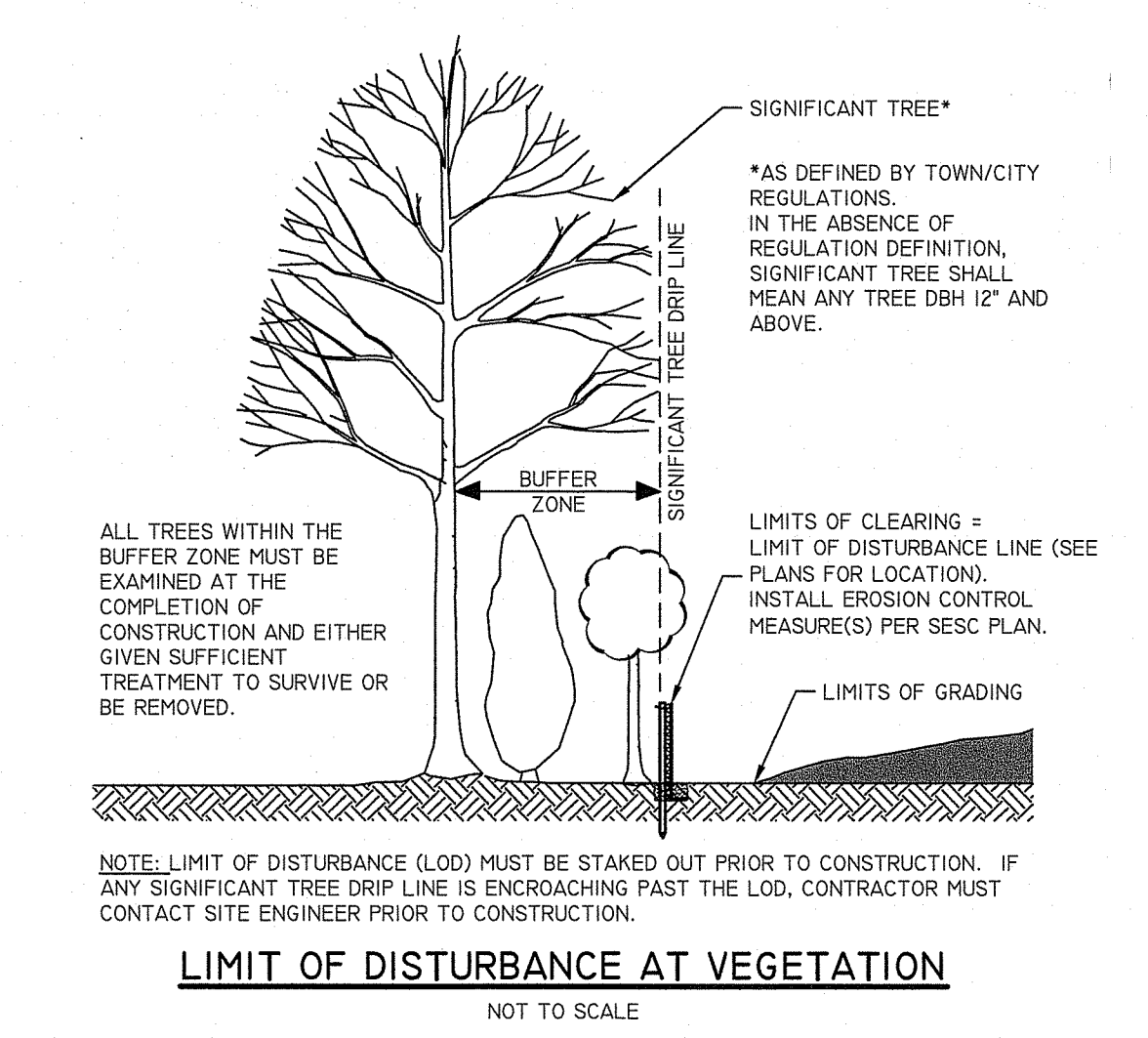
CATCH BASIN EROSION CONTROL
NOT TO SCALE



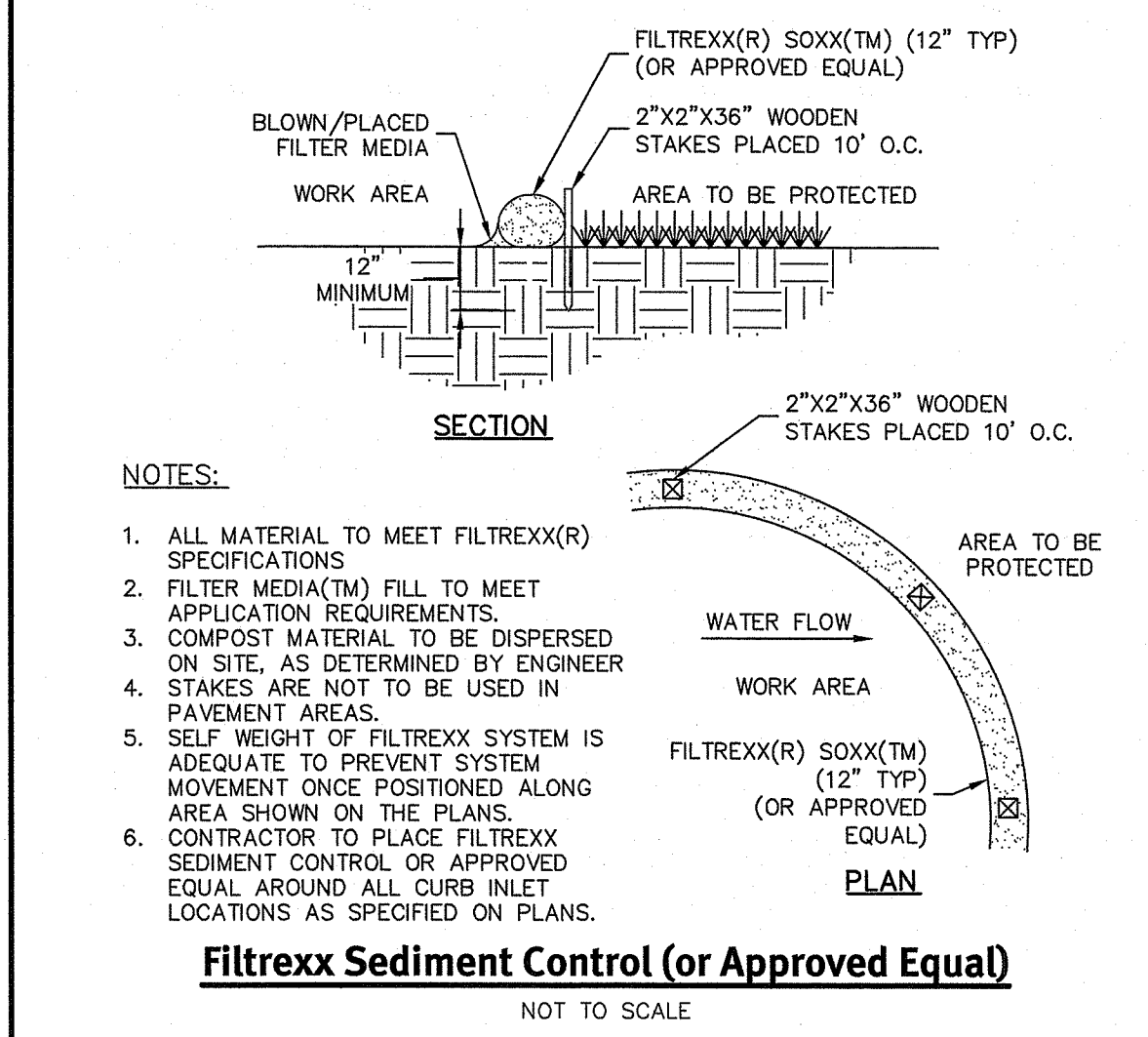
STRAW BALE FILTER INSTALLATION FOR CATCH BASINS AT LOW POINTS



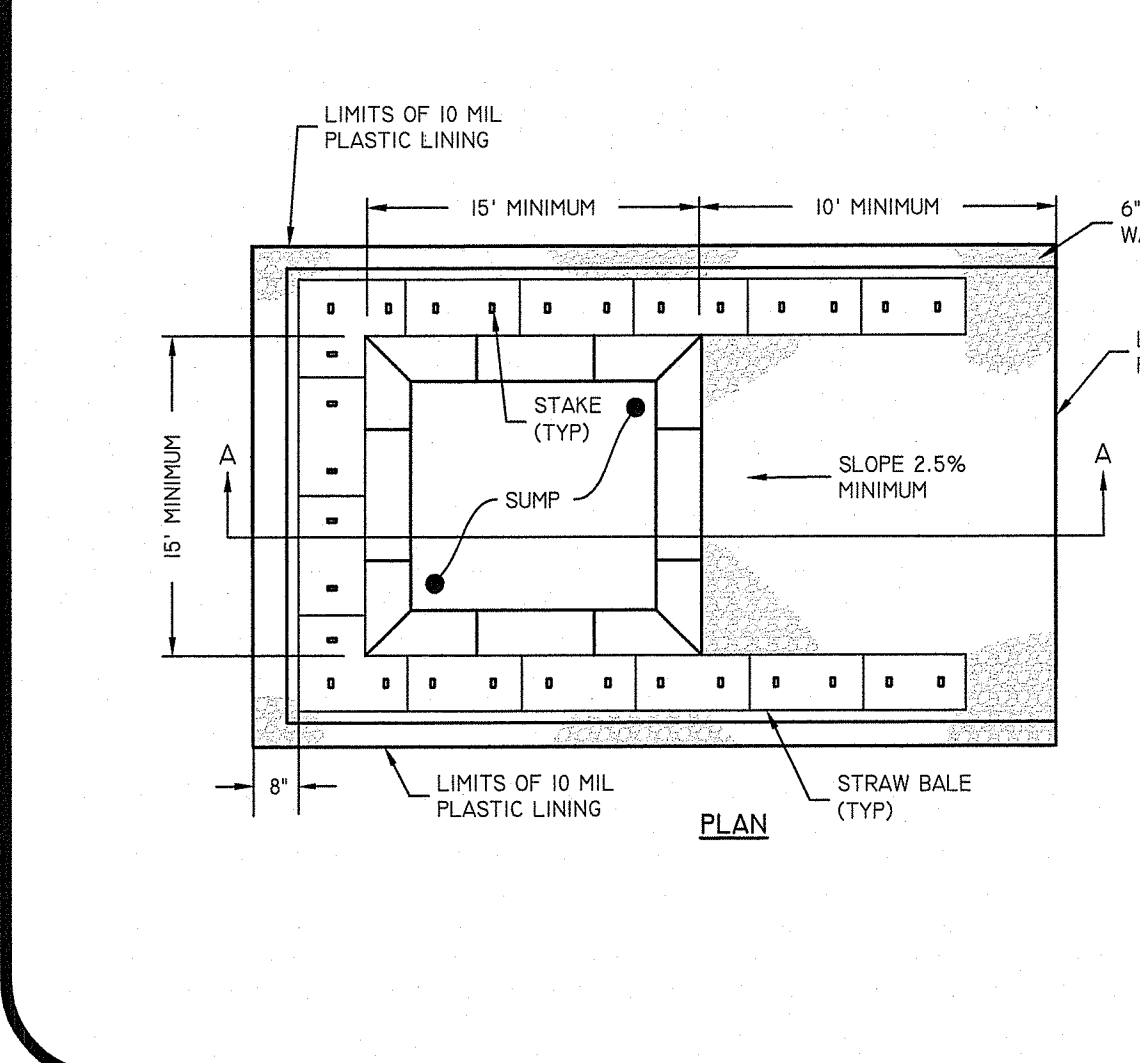
Stockpile Protection
NOT TO SCALE



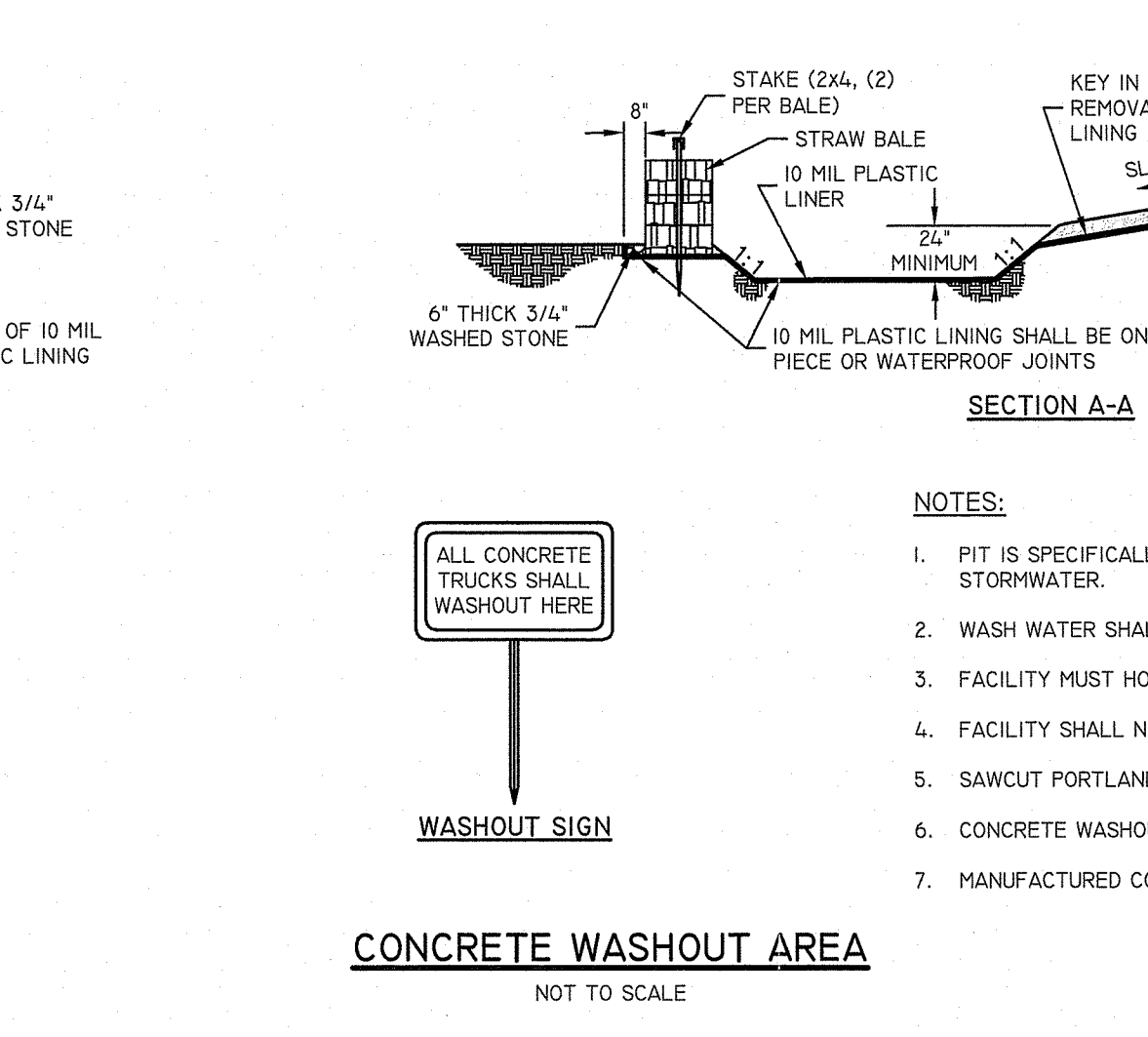
LIMIT OF DISTURBANCE AT VEGETATION
NOT TO SCALE



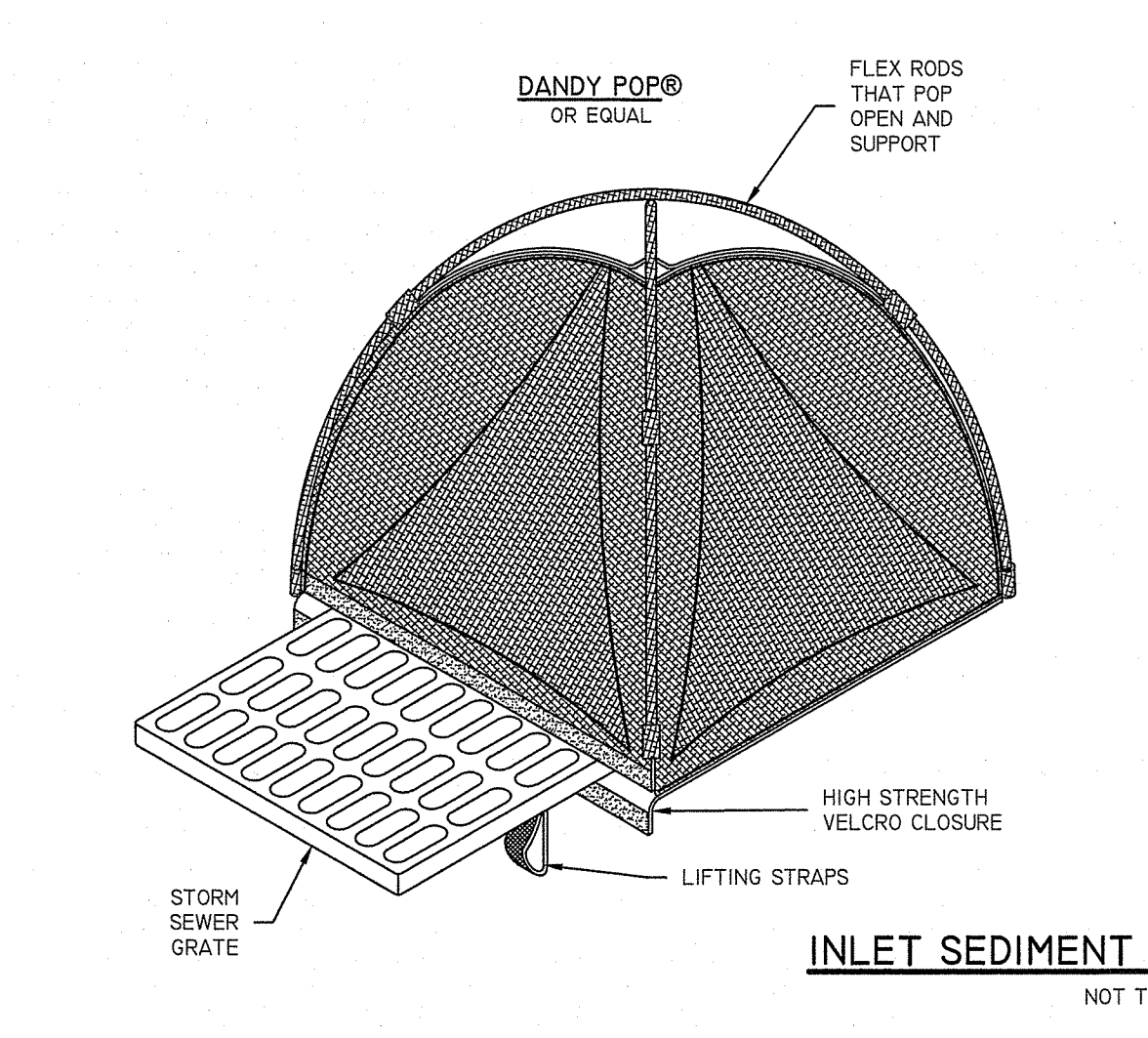
Filtrexx Sediment Control (or Approved Equal)
NOT TO SCALE



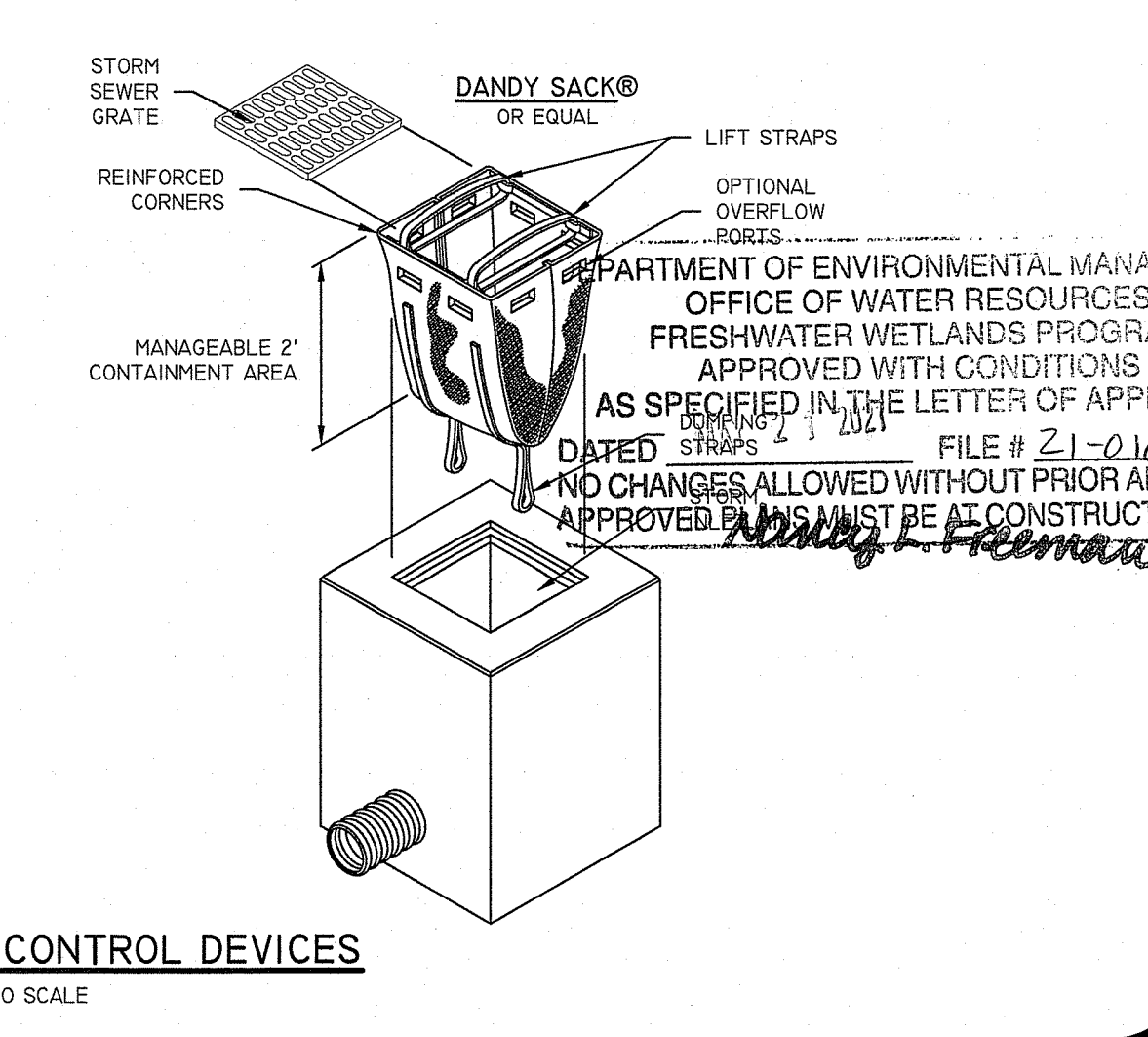
CONCRETE WASHOUT AREA
NOT TO SCALE



- NOTES:**
1. PIT IS SPECIFICALLY DESIGNATED, DIKED AND IMPERVIOUS CONTAINMENT TO PREVENT CONTACT BETWEEN CONCRETE WASH AND STORMWATER.
 2. WASH WATER SHALL NOT BE ALLOWED TO FLOW TO SURFACE WATER.
 3. FACILITY MUST HOLD SUFFICIENT VOLUME TO CONTAIN CONCRETE WASTE WITH A MINIMUM FREEBOARD OF 12".
 4. FACILITY SHALL NOT BE FILLED BEYOND 95% CAPACITY UNLESS A NEW FACILITY IS CONSTRUCTED.
 5. SAWCUT PORTLAND CEMENT CONCRETE, RESIDUE FROM SAWCUT AND GRINDING TO BE DISPOSED OF IN THE PIT.
 6. CONCRETE WASHOUTS SHALL BE LOCATED A MINIMUM OF 100' FROM DRAINAGE WAYS, INLETS, AND SURFACE WATERS.
 7. MANUFACTURED CONCRETE WASHOUT DEVICES MAY BE USED IF REMOVED FROM THE SITE WHEN 95% FULL CAPACITY.



INLET SEDIMENT CONTROL DEVICES
NOT TO SCALE



NOT TO SCALE

DiPrete Engineering
Two Stafford Court, Cranston, RI 02920
tel. 401-943-1000 fax. 401-464-6006 www.diprete-eng.com

Boston • Providence • Newport

DANA R. NISBET
No. 11876
REGISTERED PROFESSIONAL ENGINEER CIVIL

Environmental Management
Office of Water Resources
APR 16 2021

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DIPRETE ENGINEERING ONLY WARRANTS PLANS ON A DIPRETE ENGINEERING DESIGN. DIPRETE ENGINEERING DOES NOT WARRANT PLANS BY ANY OTHER PARTY. THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE NEARBY ADJACENT UTILITIES. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR CONFORMANCE IN THE IMPLEMENTATION OF THIS PLAN AND CUSTOMER UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE. ONLY DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR THE LOCATION OF EXISTING UTILITIES. SEE UTILITY NOTES ON SHEET 3.

DESIGN BY: RSP/PA
DRAWN BY: RSS
DATE: 03-05-21
SITE PLAN REVIEW
NO. DATE DESCRIPTION
R.S.S. BY: R.S.S.

SEASONS CORNER MARKET
ACCESSORY PLANT 1, 1, 073, 497 & 495
JOHNSTON, RHODE ISLAND 02919

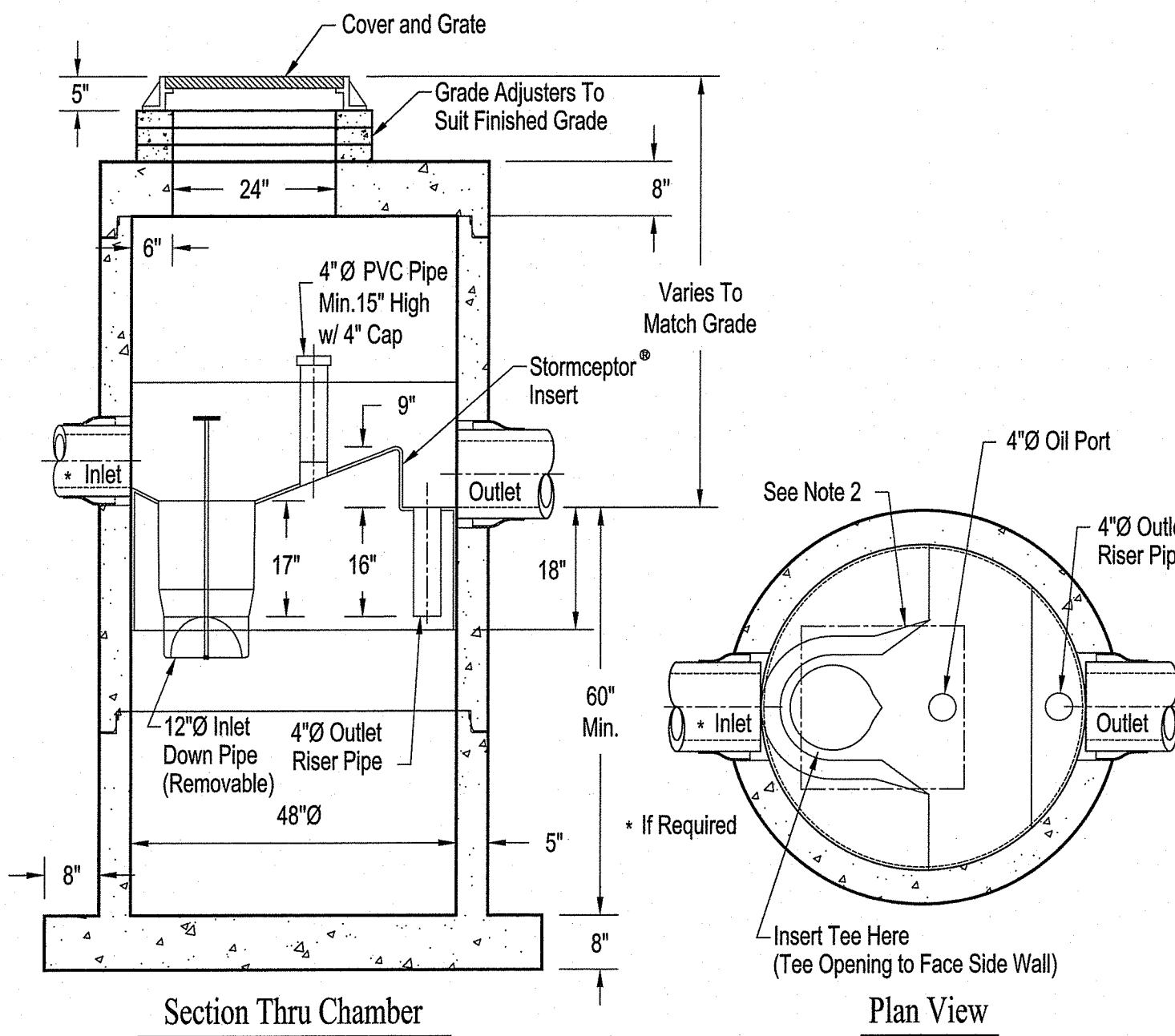
COLBEA ENTERPRISES, LLC
2050 PLAINFIELD PIKE, CRANSTON, RHODE ISLAND 02921
TEL. 401-943-0005

PREPARED FOR:
AS SPECIFIED IN THE LETTER OF APPROVAL
FILE # 21-012
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED BY: *Dan Freeman*

DETAIL SHEET
SHEET 9 OF 12

Z:\NEW\PROJECTS\25642-006_KLLINLEY STREET 585 MUTUOCAD DRAWINGS\25642-006-CVARE.DWG PLOT.DWG 4/15/2021

STC 450i Precast Concrete Stormceptor®
(450 U.S. Gallon Capacity)



- Notes:
- The Use Of Flexible Connection is Recommended at The Inlet and Outlet Where Applicable.
 - The Cover Should be Positioned Over The Inlet Drop Pipe and The Oil Port.
 - The Stormceptor System is protected by one or more of the following U.S. Patents: #4985148, #5498331, #5725760, #5753115, #5849181, #6068765, #6371690.
 - Contact a Concrete Pipe Division representative for further details not listed on this drawing.

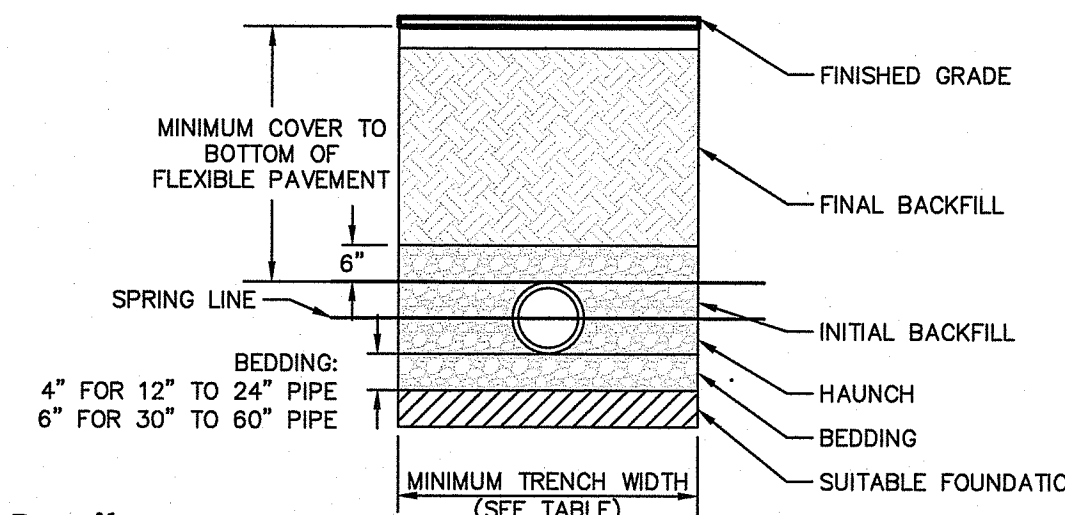
Rinker 027

INSTALLATION NOTES:

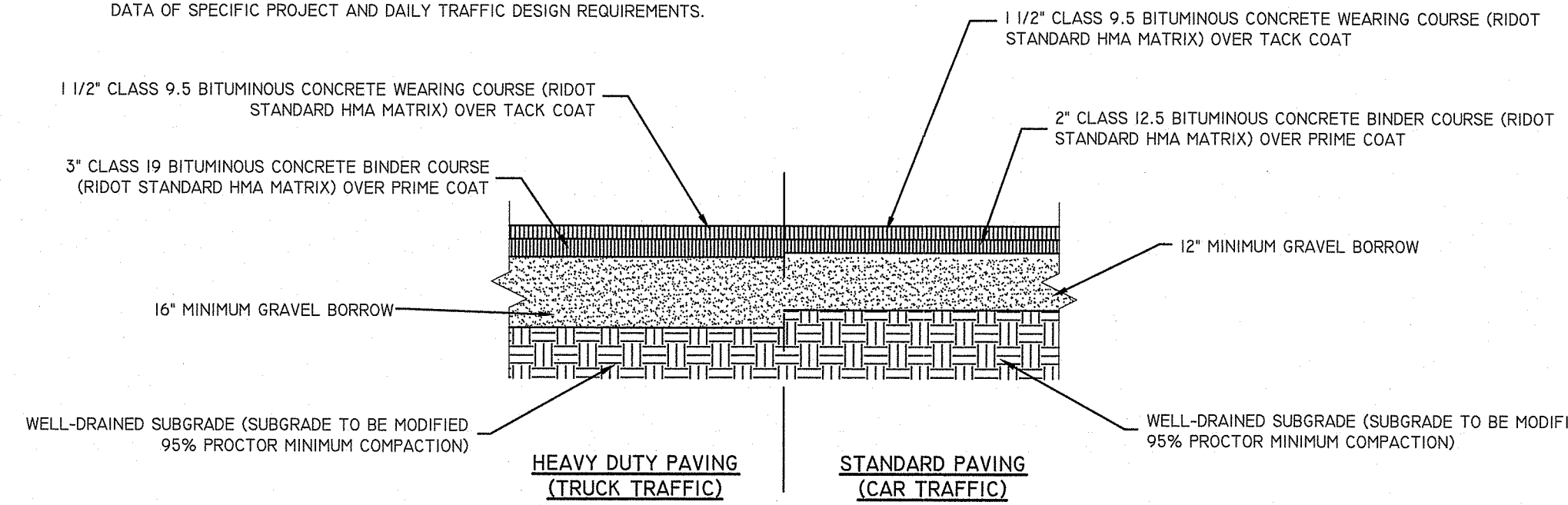
- ALL PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS, LATEST EDITION.
- MEASURES SHOULD BE TAKEN TO PREVENT MIGRATION OF NATIVE FINES INTO BACKFILL MATERIAL, WHEN REQUIRED.
- FOUNDATION: WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE ENGINEER, AS AN ALTERNATIVE AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL.
- BEDDING: SUITABLE MATERIAL SHALL BE CLASS I, II OR III. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER, UNLESS OTHERWISE NOTED BY THE ENGINEER. MINIMUM BEDDING THICKNESS SHALL BE 4" (100MM) FOR 4"-24" (100MM-600MM); 6" (150MM) FOR 30"-60" (750MM-900MM).
- INITIAL BACKFILL: SUITABLE MATERIAL SHALL BE CLASS I, II OR III IN THE PIPE ZONE EXTENDING NOT LESS THAN 6" ABOVE CROWN OF PIPE. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. MATERIAL SHALL BE INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION.
- MINIMUM COVER: MINIMUM COVER, H, IN NON-TRAFFIC APPLICATIONS (GRASS OR LANDSCAPE AREAS) IS 12" FROM THE TOP OF PIPE TO GROUND SURFACE. ADDITIONAL COVER MAY BE REQUIRED TO PREVENT FLOTATION. FOR TRAFFIC APPLICATIONS, MINIMUM COVER, H, IS 12" UP TO 48" PIPE AND 24" OF COVER FOR 60" PIPE, MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT.

PIPE #	MIN. TRENCH WIDTH	PIPE #	MIN. TRENCH WIDTH
4"	21"	24"	48"
6"	23"	30"	56"
8"	26"	36"	64"
10"	28"	42"	72"
12"	30"	48"	80"
15"	34"	60"	96"
18"	39"		

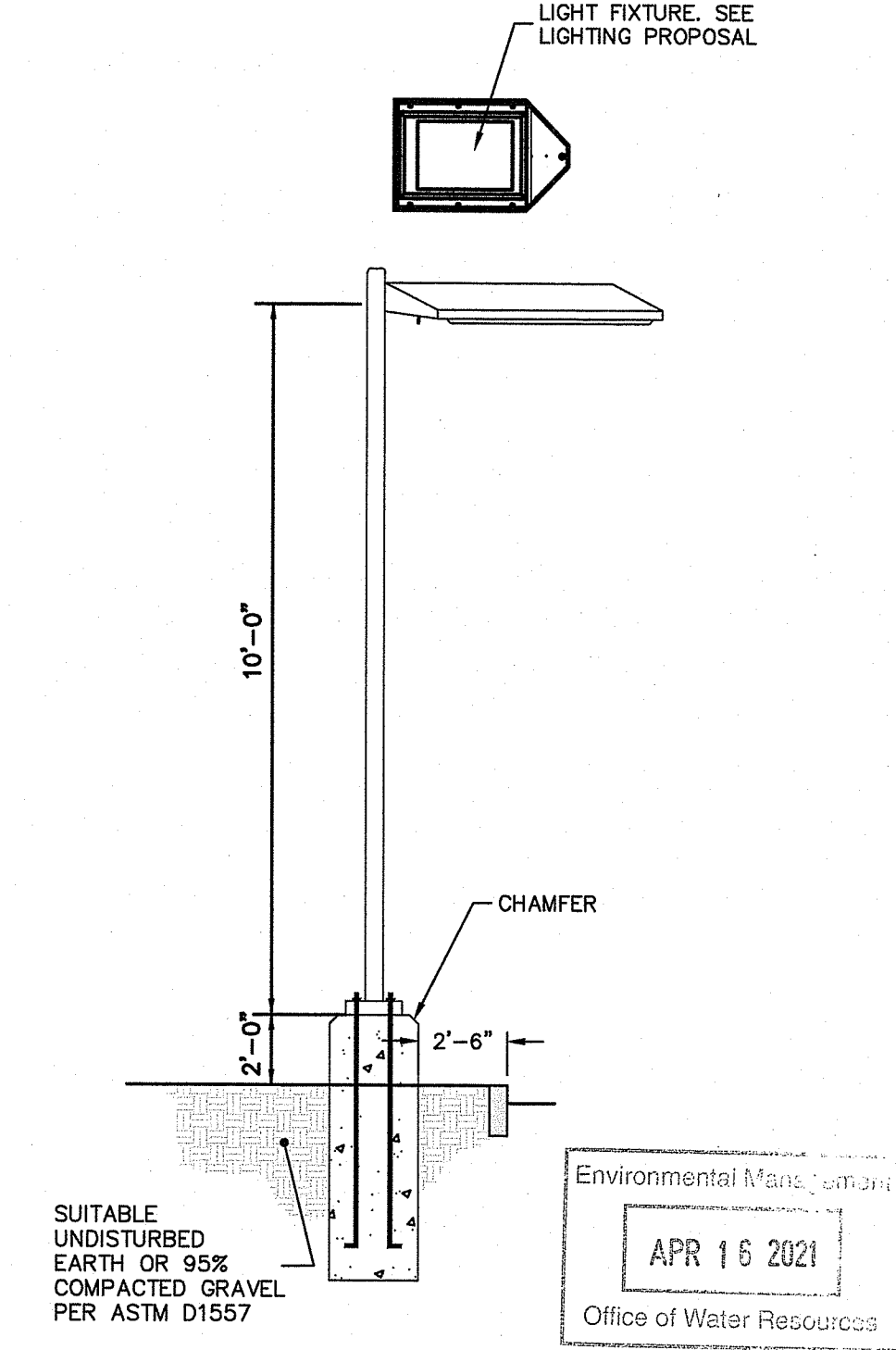
HDPE Trench Detail
NOT TO SCALE



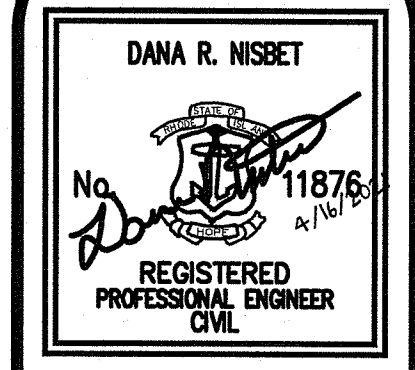
NOTE:
THIS PAVEMENT SECTION DETAIL REFLECTS ASSUMED MINIMUM REQUIREMENTS WITHOUT GEOTECHNICAL EVALUATION. FINAL DESIGN TO BE BASED ON GEOTECHNICAL DATA OF SPECIFIC PROJECT AND DAILY TRAFFIC DESIGN REQUIREMENTS.



TYPICAL PAVEMENT SECTION
NOT TO SCALE



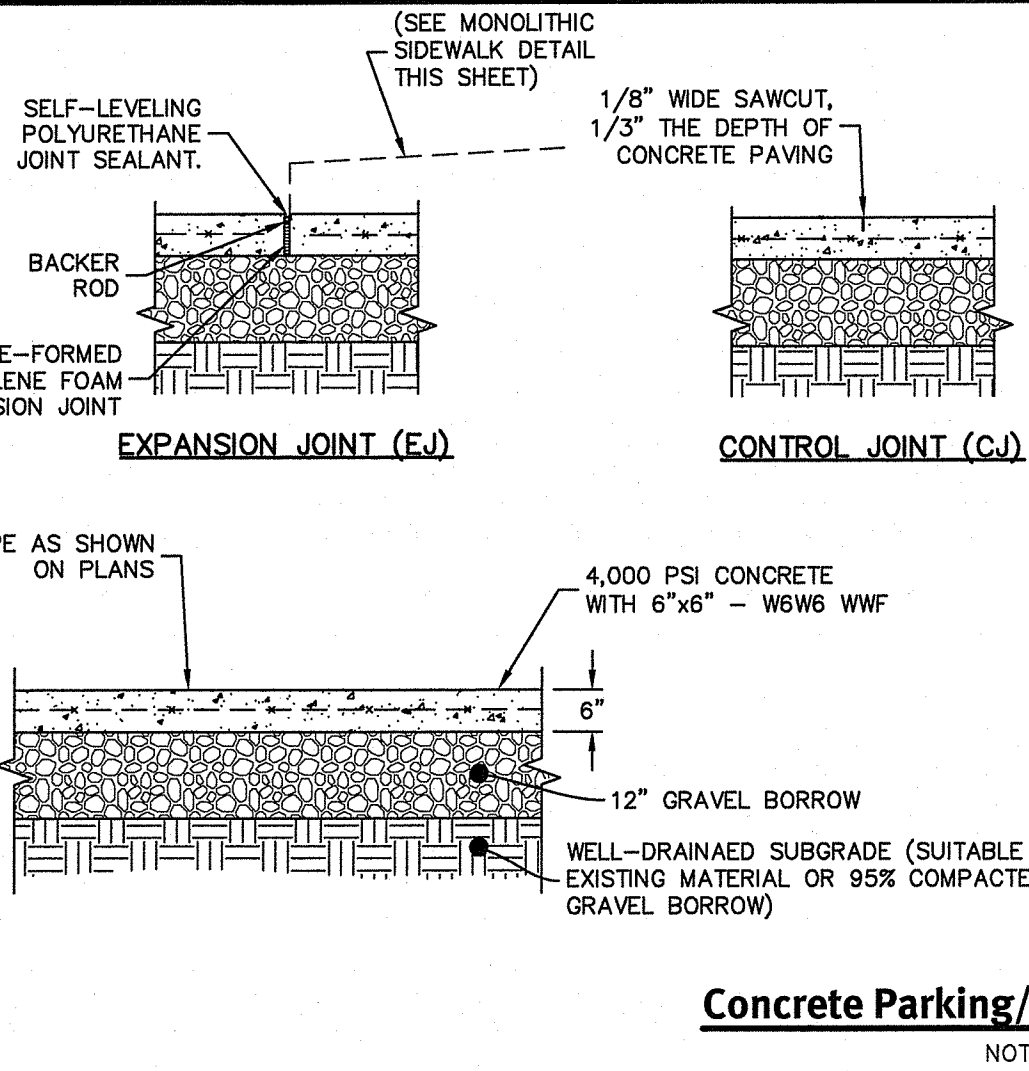
Site Light
NOT TO SCALE



THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS STAMPED AND SIGNED BY THE REGISTERED PROFESSIONAL ENGINEER OF APPLICABLE ENGINEERING.
DIPRETE ENGINEERING ONLY WARRANTS PLANS ON A DIPRETE PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING. DIPRETE ENGINEERING DOES NOT WARRANT PLANS BY ANY OTHER PARTY. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR DESIGN PERFORMANCE IN THE IMPLEMENTATION OF THIS PLAN AND DESIGN.
EXISTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE. ONLY DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF EXISTING UTILITIES. SEE UTILITY NOTES ON SHEET 5.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED MAY 21 2021 FILE # 21-0103
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED BY: *[Signature]*

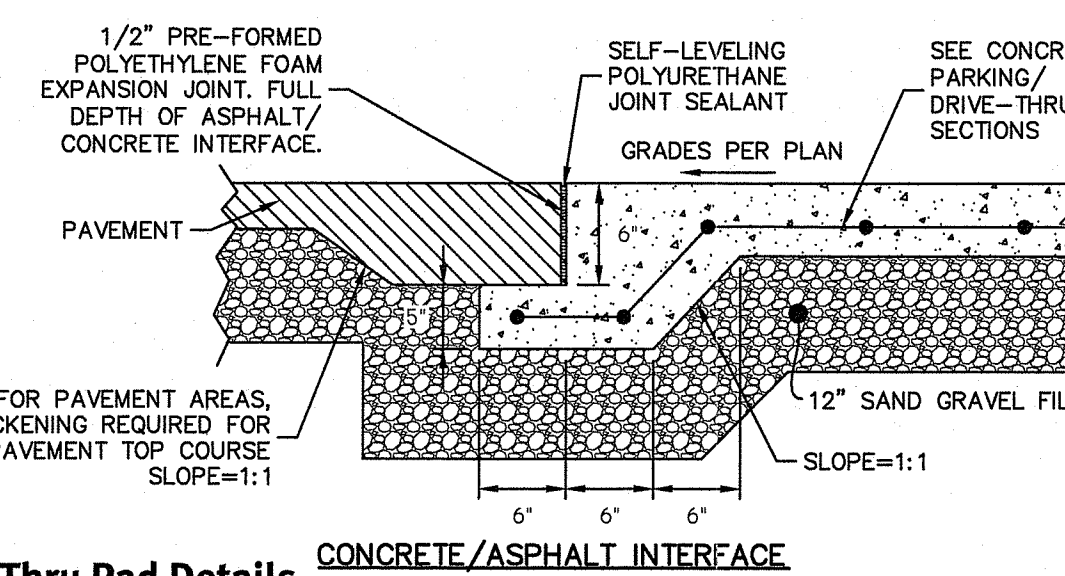
DESIGN BY: RSP/PA
DATE: 01-06-21
SITE PLAN REVIEW: []
DATE: []
DESCRIPTION: []
DRAWN BY: RSS
R.S.S. BY: []
B.T. BY: []



Concrete Parking/ Drive Thru Pad Details
NOT TO SCALE

NOTES:

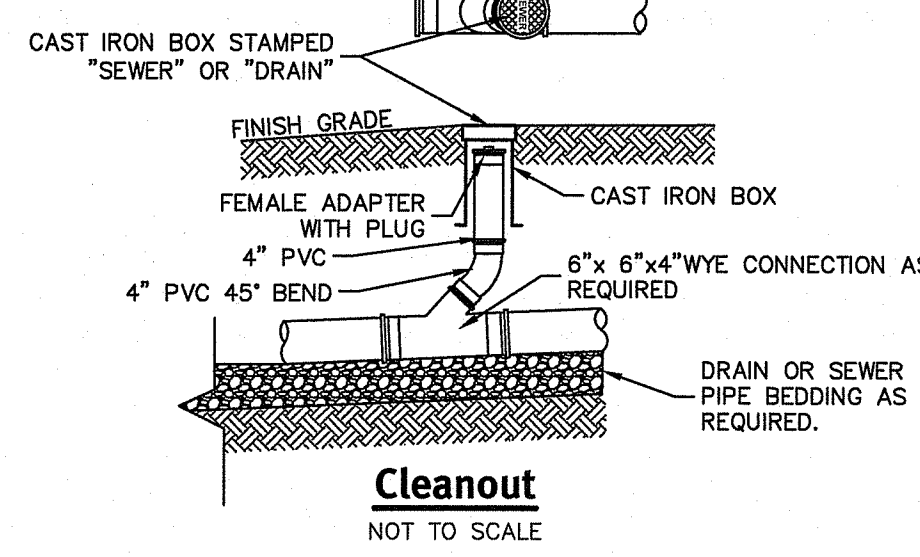
- IN CONCRETE PARKING PAD AREAS, JOINTING TO ALIGN WITH PARKING STRIPING, SUBJECT TO THE MAXIMUM LIMITS LISTED BELOW.
- SAWCUT CONTROL JOINTS TO BE MAX SPACING OF 10' O.C.
- EXPANSION JOINTS TO BE MAX SPACING OF 50' O.C.
- EXPANSION JOINTS TO BE INSTALLED FULL DEPTH OF PAVEMENT.
- EXPANSION JOINTS TO BE INSTALLED AT INTERFACE WITH ALL WALLS, CURBS, COLUMNS, STEPS, CHANGES IN PAVEMENT AND BUILDINGS.
- THOROUGHLY WASH AND CLEAN ALL SURFACES AND REMOVE ALL DEBRIS AFTER SAWCUTTING.
- BACKER ROD SHALL BE A CLOSED CELL POLYURETHANE FOAM ROD WITH A DIAMETER 25% LARGER THAN THE WIDTH OF PREFORMED JOINT.
- JOINT SEALANT COVER TO MATCH CONCRETE PAVEMENT/ FINISH.
- ALL PAVEMENT LAYERS MUST COMPLY WITH TOWN & RIDOT SPECIFICATIONS.



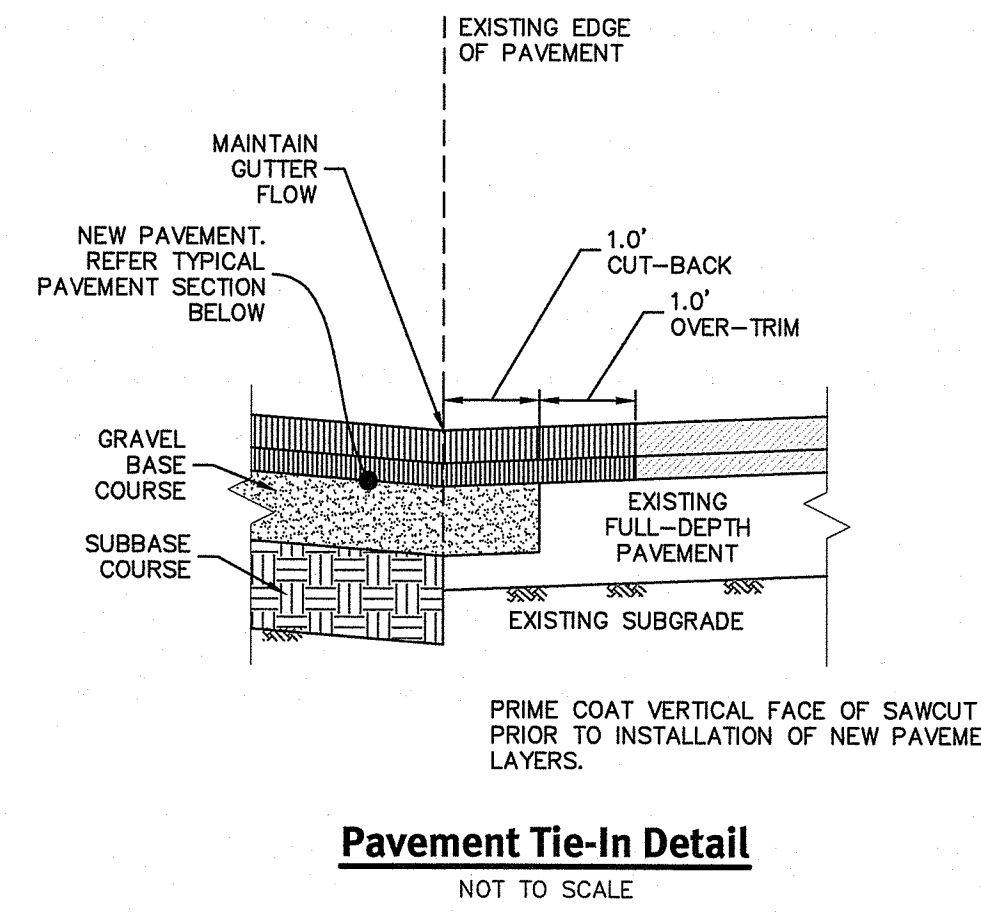
CONCRETE/ASPHALT INTERFACE

NOTES:

- ALL PIPE AND FITTINGS SHALL BE SCH-35 PVC FOR SEWER, OR HDPE PIPE FOR DRAINAGE.
- PIPE BEDDING AND BACKFILL FOR CLEANOUTS SHALL MEET APPLICABLE DRAINAGE AND SEWER SPECIFICATIONS UNLESS OTHERWISE NOTED BY ENGINEER.
- FOR SEWER CLEANOUTS, A MINIMUM OF ONE CLEANOUT SHALL BE PLACED ON EACH LATERAL, 5' FROM THE STRUCTURE. FOR LONGER RUNS, CLEANOUTS SHALL BE LOCATED EVERY 100'. FOR DRAIN CLEANOUTS SEE PLANS FOR LOCATION AS REQUIRED.
- ALL CLEANOUTS SHALL BE SLEEVED WITH A CAST-IRON BOX SET FLUSH WITH THE FINAL GRADE OF GRASS, HARDSCAPE, ROADWAYS OR CONCRETE AREAS. CAST IRON BOX NOT REQUIRED FOR STORMWATER BMP AREAS. COVERS SHALL BE INSCRIBED WITH THE WORD "SEWER" OR "DRAIN" ACCORDINGLY. FOR ROADWAY APPLICATIONS, THE CAST-IRON BOX MUST MEET H-20 LOADING.



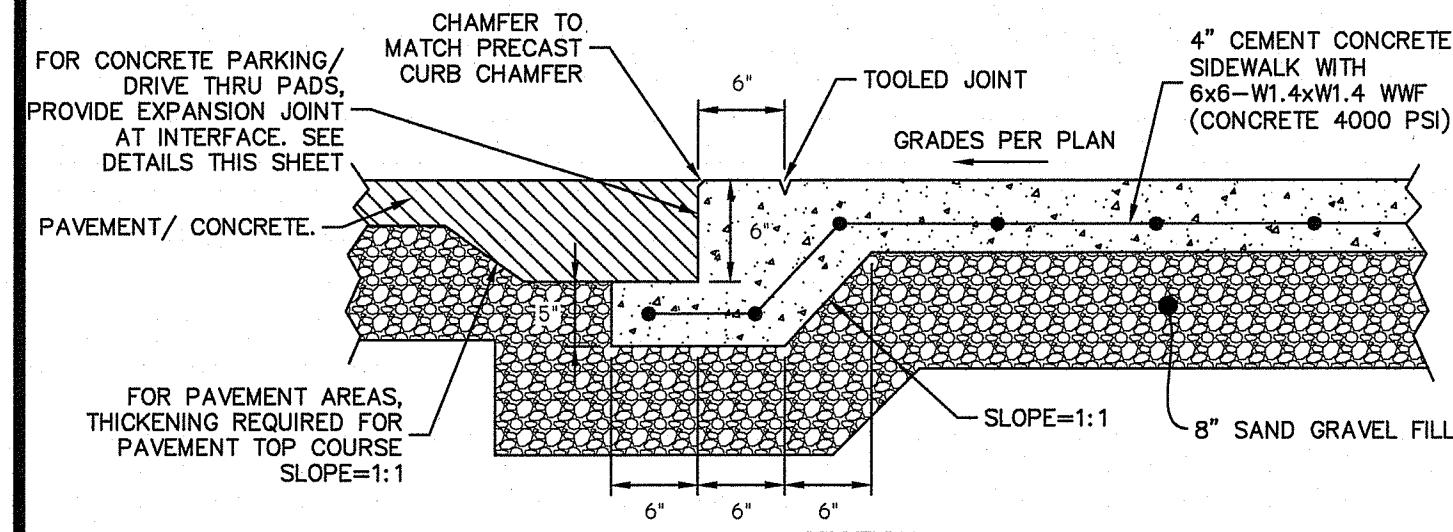
Cleanout
NOT TO SCALE



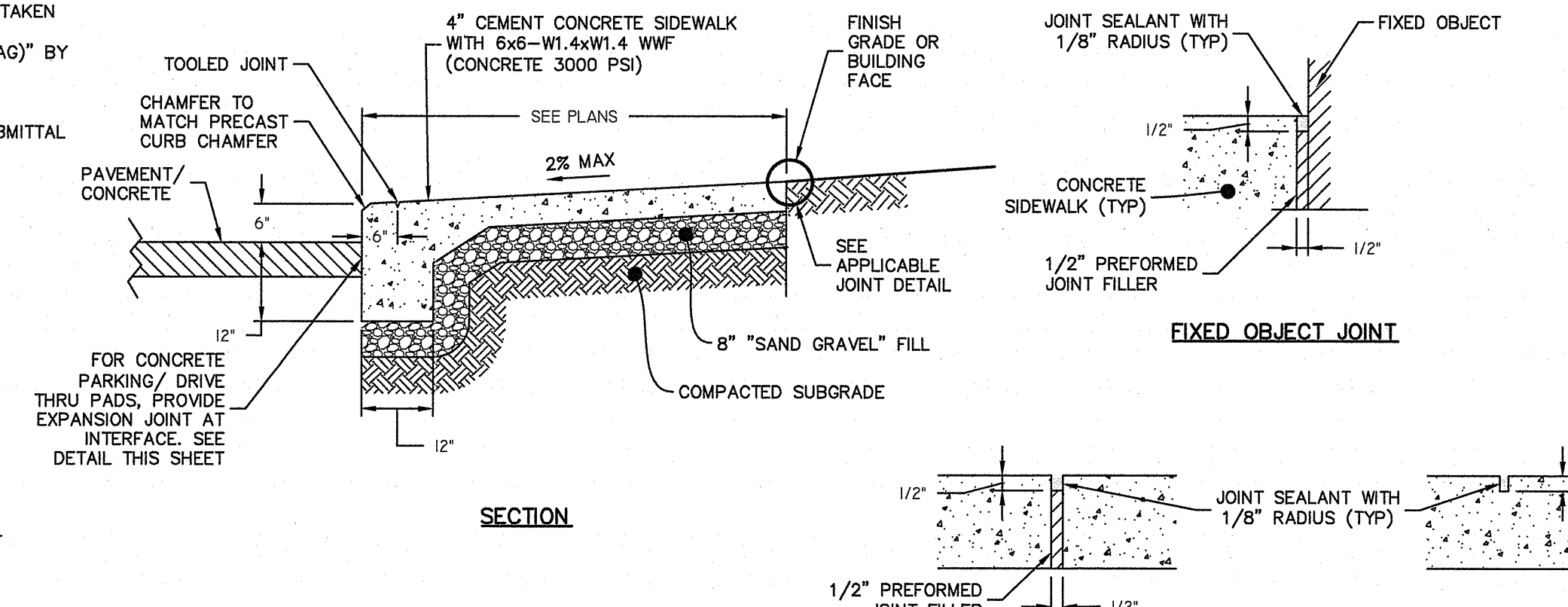
Pavement Tie-In Detail
NOT TO SCALE

NOTES:

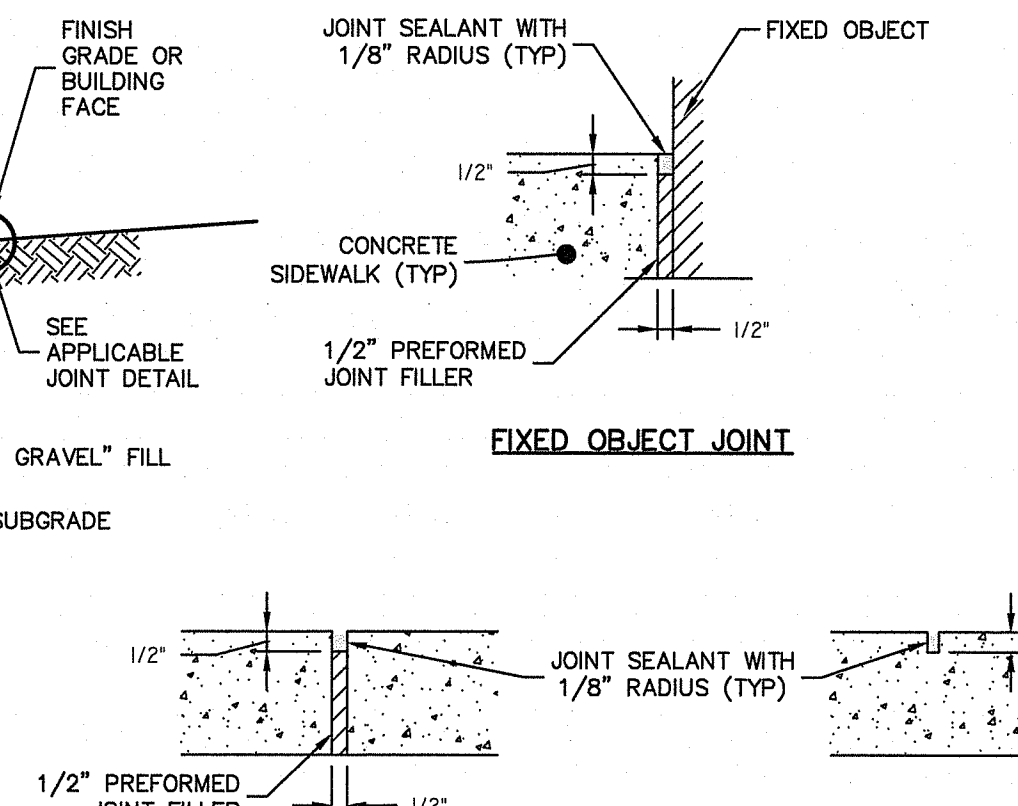
- SEE SITE PLAN FOR SIDEWALK WIDTH AND GRADES.
- SURFACE TEXTURE SHALL BE A LIGHT BROOMING, TRANSVERSE TO THE LENGTH OF THE WALK. CARE MUST BE TAKEN TO ENSURE A UNIFORM GRADE, FREE OF SAGS AND SHORT GRADE CHANGES.
- ALL IMPROVEMENTS SHALL MUST WITH THE "AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG)" BY THE DEPARTMENT OF JUSTICE, CURRENT EDITION.
- PROVIDE EXPANSION JOINTS AT MAX. 20 FT. O.C. WITH PREFORMED JOINT FILLER AND SEALANT. SEE DETAIL.
- PROVIDE CONTROL JOINTS AT 5' O.C.
- CONCRETE SIDEWALKS TO BE BROOM FINISHED WITH CONCRETE SEALER. CONTRACTOR TO PROVIDE SEALER SUBMITTAL FOR APPROVAL PRIOR TO CONSTRUCTION.
- MUST BE IN ACCORDANCE WITH CURRENT R.I. STANDARD SPECIFICATIONS.



Monolithic Concrete Sidewalk (Flush)
NOT TO SCALE

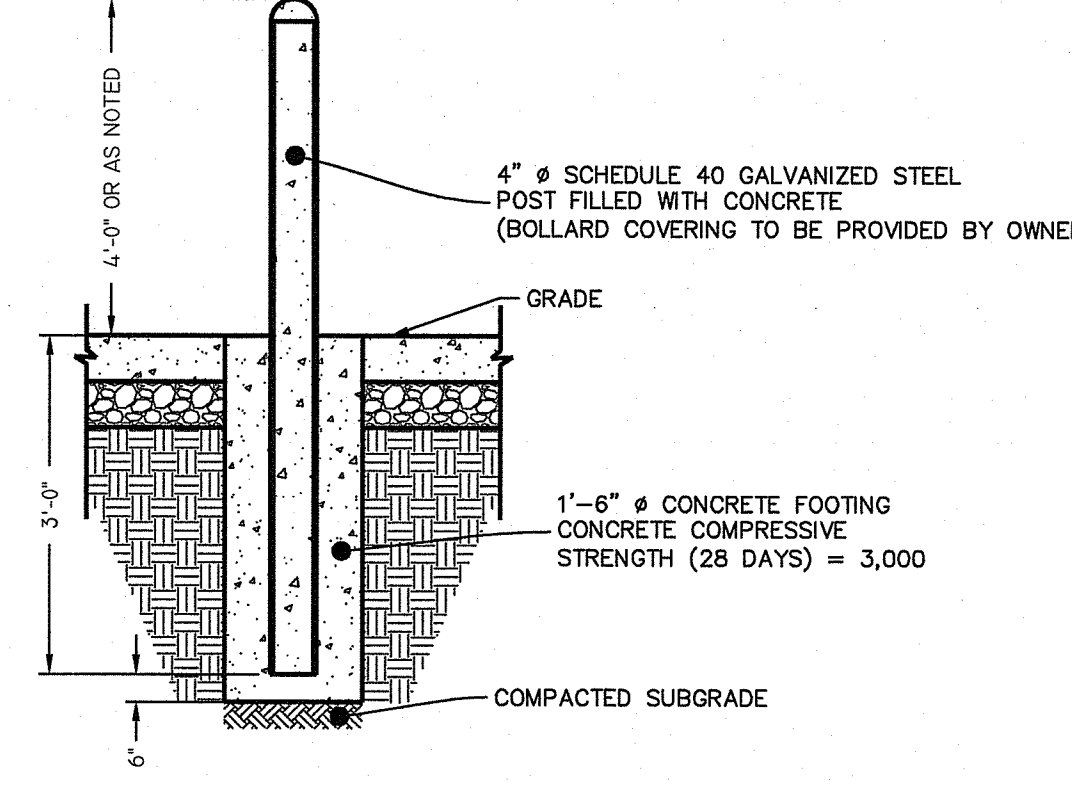


Monolithic Concrete Sidewalk (6" Reveal)
NOT TO SCALE

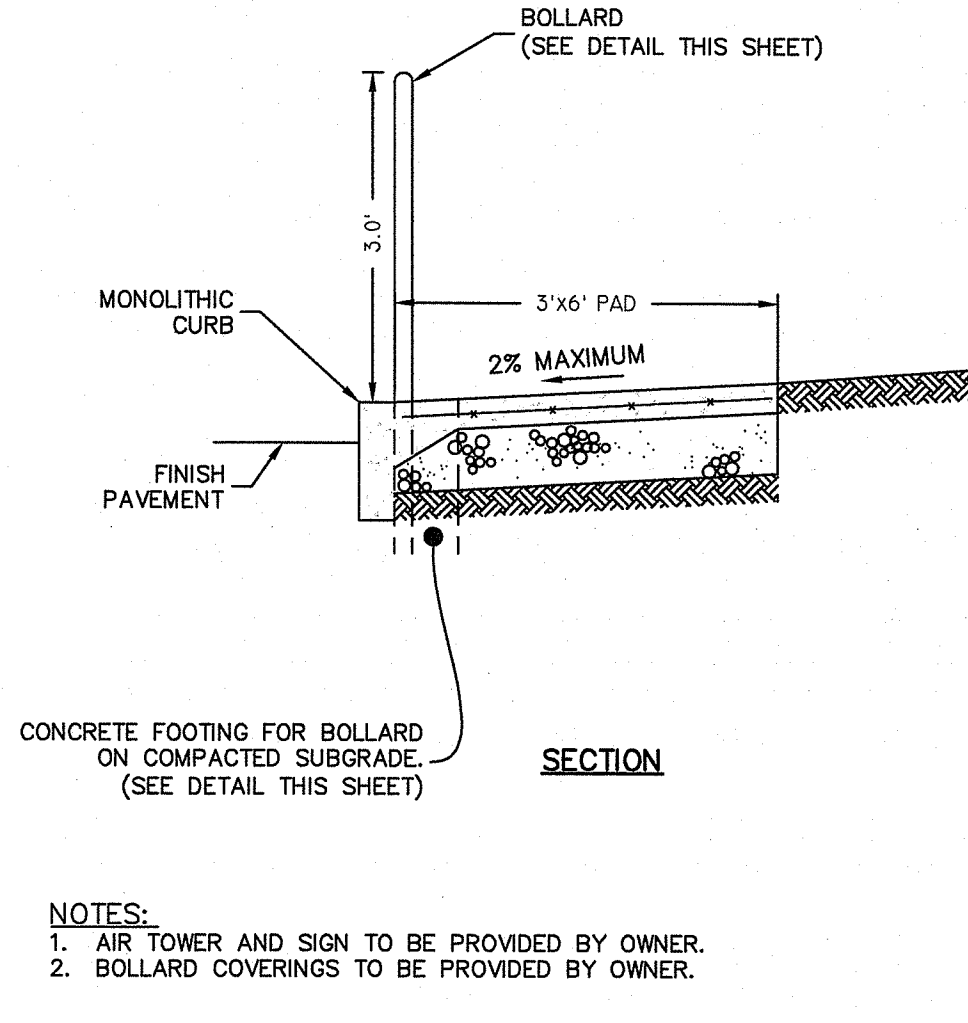


EXPANSION JOINT

CONTROL JOINT



Bollard Detail
NOT TO SCALE

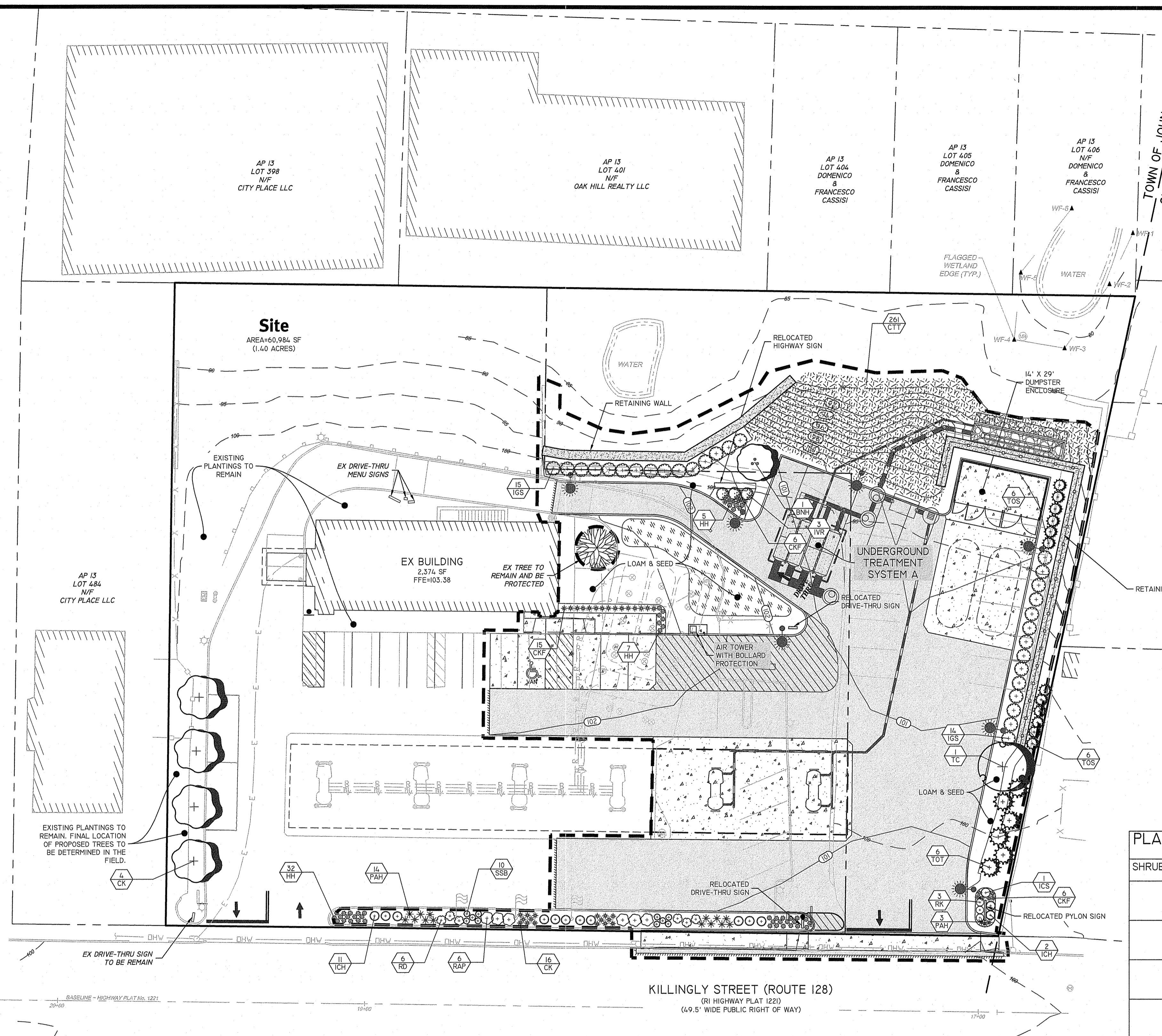


Air Tower Foundation Detail

- NOTES:
- AIR TOWER AND SIGN TO BE PROVIDED BY OWNER.
 - BOLLARD COVERINGS TO BE PROVIDED BY OWNER.

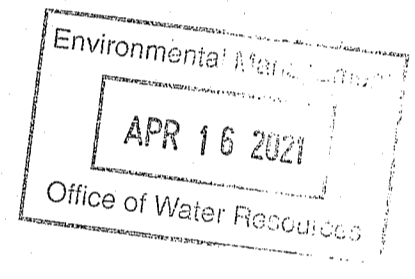
DETAIL SHEET - 2
SEASONS CORNER MARKET
ASSESSOR'S PLAT 13 LOTS 397 & 485
JOHNSTON, RHODE ISLAND 02919
PREPARED FOR:
COLBEA ENTERPRISES, LLC
2050 PLAINFIELD PIKE, CRANSTON, RHODE ISLAND 02921
TEL 401-942-0005
DESIGNED BY: RSP/PA
DATE: 01-06-21
SITE PLAN REVIEW: []
DATE: []
DESCRIPTION: []
DRAWN BY: RSS
R.S.S. BY: []
B.T. BY: []

OAKDALE AVENUE
(VARIABLE WIDTH PUBLIC RIGHT OF WAY)

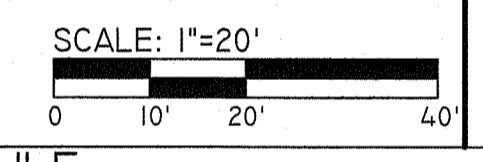


AP 13 LOT 398 N/W CITY PLACE LLC
 AP 13 LOT 401 N/W OAK HILL REALTY LLC
 AP 13 LOT 406 DOMENICO & FRANCESCO CASSISI
 AP 13 LOT 406 DOMENICO & FRANCESCO CASSISI
 AP 13 LOT 406 DOMENICO & FRANCESCO CASSISI
 AP 14 LOT 364 N/W CINDY VARGAS (PROVIDENCE)
 AP 14 LOT 363 N/W CINDY VARGAS (PROVIDENCE)
 AP 14 LOT 360 N/W CINDY VARGAS (PROVIDENCE)
 AP 14 LOT 357 N/W ALFRED A.E. & ANASTASIA R. FAUBERT (PROVIDENCE)

- PLANTING NOTES:**
- CONTRACTOR TO VERIFY ALL UTILITY LOCATIONS BY NOTIFYING DIG-SAFE (811) AT LEAST 72 HOURS PRIOR TO ANY CONSTRUCTION OR SITE PREPARATION AND ANY/OR ALL LOCAL UTILITY COMPANIES AS REQUIRED.
 - ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS BY THE CONTRACTOR. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR THIS PROJECT.
 - CONTRACTOR TO PROVIDE A ONE (1) YEAR GUARANTEE FOR ALL MATERIALS. CONTRACTOR GUARANTEES THAT PLANTS WILL REMAIN HEALTHY FOR ONE (1) GROWING SEASON. CONTRACTOR TO MAINTAIN ALL PLANTING AND LAWNS UNTIL FINAL PROJECT ACCEPTANCE. GUARANTEE PERIOD TO COMMENCE AT FINAL ACCEPTANCE. ANY REPLACEMENT PLANTS SHALL BE OF THE SAME SIZE AND SPECIES AS SPECIFIED WITH NEW GUARANTEE COMMENCING ON THE DATE OF REPLACEMENT.
 - ALL PLANT MATERIAL SHALL CONFORM, IN ALL RESPECTS, TO THE GUIDELINES OF "THE AMERICAN STANDARD FOR NURSERY STOCK," LATEST EDITION, PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION, INC. ALL PLANTS SHALL BE NURSERY GROWN AND SHALL HAVE BEEN GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST TWO (2) YEARS.
 - PLANT SUBSTITUTION SELECTION MUST BE APPROVED BY LANDSCAPE ARCHITECT AND/OR OWNER PRIOR TO INSTALLATION.
 - ALL PLANTS TO BE PLANTED SO THAT AFTER SETTLEMENT THEY BEAR THE SAME RELATION TO THE SURROUNDING GROUND AS TO THEIR ORIGINAL GRADE BEFORE DIGGING.
 - CREATE SAUCER AROUND INDIVIDUAL PLANTS CAPABLE OF HOLDING WATER. ALL PLANTS TO BE FLOODED WITH CLEAN WATER TWICE WITHIN THE FIRST 24 HOURS OF PLANTING. ADDITIONAL WATERING SHALL BE MADE AS REQUIRED TO KEEP PLANTS FROM WILTING AND DRYING OUT UNTIL FINAL ACCEPTANCE.
 - ALL PLANTS TO RECEIVE A MINIMUM OF TWO (2) INCHES OF UNDYED, SHREDDED PINE BARK MULCH AND SHALL COVER PLANTING BEDS AS SHOWN ON DRAWINGS UNLESS OTHERWISE NOTED.
 - TRIM BROKEN AND DEAD BRANCHES FROM TREES AND SHRUBS AFTER PLANTING. NEVER CUT A LEADER.
 - CONTRACTOR TO LOAM AND SEED ALL DISTURBED LANDSCAPE AREAS OUTSIDE OF THE PLANTING BEDS USING AN ENDOPHYTE ENHANCED MIX AT A RATE OF 5-7 LBS. PER 1000 SF AVAILABLE AT ALLENS SEED IN EXETER, RI OR AS DIRECTED BY TOWN/OWNER UNLESS OTHERWISE NOTED. ANY SOO (TURF) UTILIZED SHALL BE DROUGHT TOLERANT ENDOPHYTES OR PREDOMINANTLY FESCUE IN CHARACTER.
 - RECOMMENDED DATES FOR PLANTING ARE APRIL 15 TO JUNE 15 AND SEPTEMBER 15 TO NOVEMBER 15.
 - ALL LANDSCAPED AREAS SHALL BE KEPT FREE OF WEEDS AND DEBRIS. ALL VEGETATION WITHIN SAID AREAS SHALL BE MAINTAINED FREE OF PHYSICAL DAMAGE CAUSED BY CHEMICALS, INSECTS, DISEASES, LACK OF WATER OR OTHER CAUSES. DAMAGED PLANTS SHALL BE REPLACED WITH THE SAME OR SIMILAR VEGETATION ON AN ANNUAL BASIS.
 - LOAM MOVED ON SITE TO BE STOCKPILED AND RETAINED AND TO BE USED AS REQUIRED FOR THE LANDSCAPE DESIGN. LOAM SHALL NOT BE MIXED WITH ANY UNSUITABLE MATERIALS OR SUBSOIL. EXCESS LOAM TO REMAIN ON THE OWNER'S PROPERTY AND ONLY REMOVED WITH THE OWNER'S PERMISSION. NEW LOAM SHALL BE FRIABLE, FERTILE, MEDIUM TEXTURED SANDY LOAM THAT IS FREE OF TOXIC MATERIALS FOR HEALTHY PLANT GROWTH AND SURVIVAL. LOAM SHALL BE FREE OF MATTER 1" OR GREATER IN DIAMETER AND WHEN TESTED SHALL HAVE A PH BETWEEN 5.5 AND 7.5. CONTRACTOR TO PROVIDE 8 INCHES OF GOOD QUALITY, LOAM AND/OR REUSE EXISTING LOAM TO PROVIDE A MINIMUM 6 INCH DEPTH.
 - IRRIGATION AND LIGHTING BY OTHERS.
 - THIS PLAN IS FOR LANDSCAPE PLANTING ONLY.



DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED FILE # 21-0103
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE
 Mandy L. Freeman



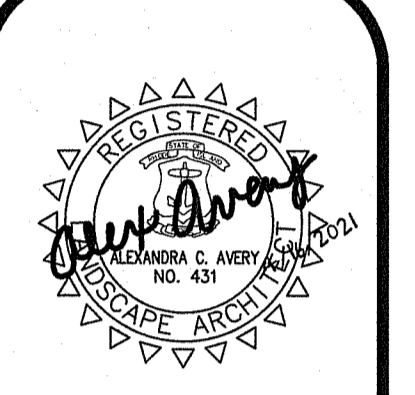
PLANT SCHEDULE

SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	
	ICS	1	ILEX CRENATA 'SKY PENCIL'	SKY PENCIL JAPANESE HOLLY	7 GAL	
	ICH	13	ILEX CRENATA 'HELERII'	HELER JAPANESE HOLLY	18" HT/SPREAD MIN.	
	IGS	29	ILEX GLABRA 'SHAMROCK'	INKBERRY	18" HT/SPREAD MIN.	
	RAP	6	RHODODENDRON AZALEA 'FJM'	AZALEA	18" HT/SPREAD MIN.	
	RD	6	RHODODENDRON X 'DELAWARE VALLEY WHITE'	DELAWARE VALLEY WHITE AZALEA	18" HT/SPREAD MIN.	
	RK	3	Rosa x 'Knockout' TM	ROSE	18" HT/SPREAD MIN.	
GRASSES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	
	CKF	27	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	2 GAL	
	PAH	17	PENNISETUM ALOPECUROIDES 'HAMELN'	HAMELN DWARF FOUNTAIN GRASS	2 GAL	
ANNUALS/PERENNIALS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	
	HH	44	HEMEROCALLIS X 'HAPPY RETURNS'	HAPPY RETURNS DAYLILY	2 GAL	
	SSB	10	SEDUM SPECTABILE 'BRILLIANT'	BRILLIANT STONECROP	2 GAL	
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING
	CTT	261	COTONEASTER ADPRESSUS 'TOM THUMB'	EARLY COTONEASTER	2 GAL @ 36" O/C	36" o.c.

PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT
	BNH	1	BETULA NIGRA 'HERITAGE'	HERITAGE RIVER BIRCH	2/2.5" CAL B&B
	CK	4	CORNUS KOUSA	KOUSA DOGWOOD	2/2.5" CAL B&B
	TC	1	TILIA CORDATA	LITTLELEAF LINDEN	2/2.5" CAL B&B
EVERGREEN TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT
	TOS	12	THUJA OCCIDENTALIS 'SMARAGD'	EMERALD GREEN ARBORVITAE	6' HT MIN
	TOT	6	THUJA OCCIDENTALIS 'TECHNY'	TECHNY ARBORVITAE	6' HT MIN

DiPrete Engineering
 Two Stafford Court Cranston, RI 02920
 Tel: 401-943-1000 fax: 401-464-6006 www.diprete-eng.com
 Boston • Providence • Newport

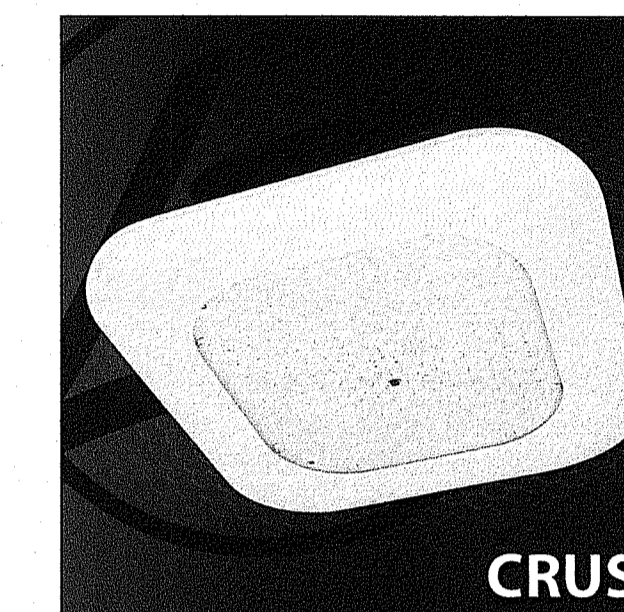
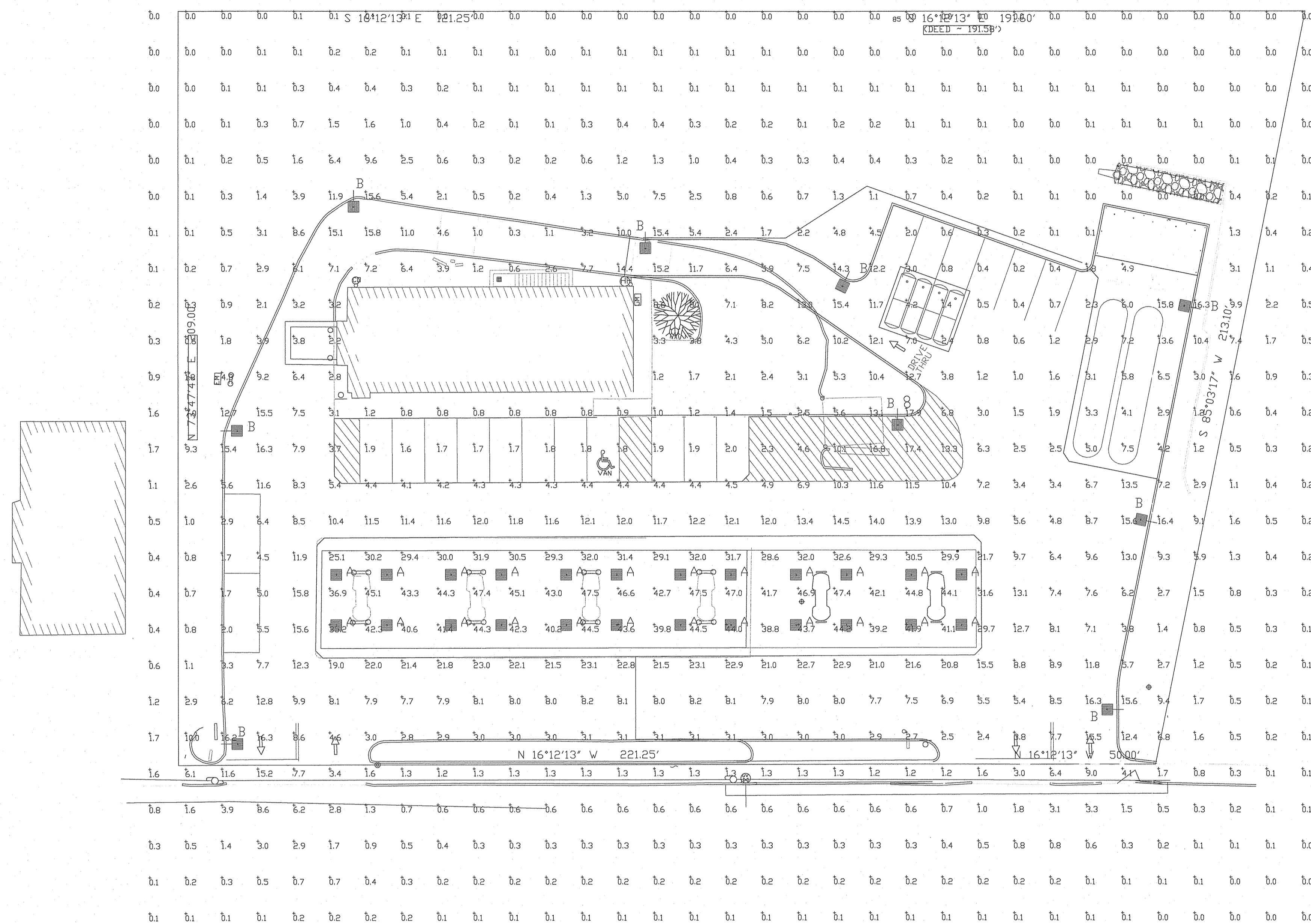


THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS STAMPED AND SIGNED BY THE REGISTERED PROFESSIONAL ENGINEER OR ARCHITECT.
 DIPRETE ENGINEERING ONLY WARRANTS PLANS ON A DIPRETE ENGINEERING PROJECT. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR THE CONTRACTOR'S USE OF THESE PLANS FOR ANY OTHER PROJECT.
 THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE NEARBY ADJACENT PROPERTIES AND UTILITIES. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION.
 SEE UTILITY NOTES ON SHEET 01-01 FOR UTILITY LOCATIONS.

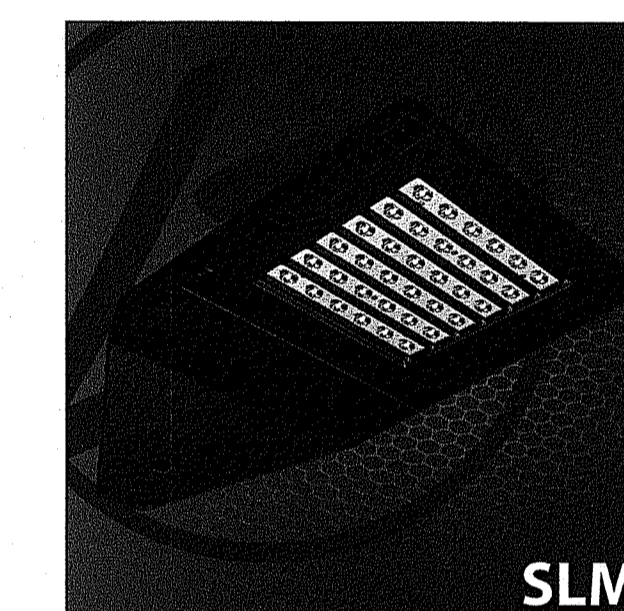
NO.	DATE	DESCRIPTION	DESIGN BY:	R.S.S.
0	04-16-21	SITE PLAN REVIEW	BY: R.S.S.	
1	04-16-21	DESCRIPTION	BY: R.S.S.	
2	04-16-21	DESCRIPTION	BY: R.S.S.	

LANDSCAPE PLAN
 SEASONS CORNER MARKET
 JOHNSON, RHODE ISLAND 02919
 PREPARED FOR:
COLBEA ENTERPRISES, LLC
 2050 PLAINFIELD PIKE, CRANSTON, RHODE ISLAND 02921
 TEL 401-943-0005
 SHEET 11 OF 12

Z:\DHAN\PROJECTS\2562-006 KILLINGLY STREET SIZES\AUTOCAD DRAWINGS\2562-006-LARC.DWG PLOTTED: 4/15/2021



CRUS



SLM

Environmental Management
 APR 16 2021
 Office of Water Resources

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PERMIT
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED MAY 21 2021 FILE # 21-0103
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE
RONALD L. FREEMAN

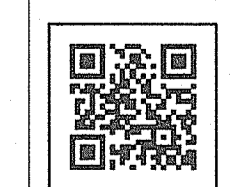
Luminaire Schedule										
Symbol	Qty	Label	Arrangement	Description	LLD	UDF	LLF	Arr. Lum. Lumens	Arr. Watts	
	24	A	SINGLE	CRUS-SC-SS-50 MTD @ 15'	1.000	1.000	1.000	13980	93	
	9	B	SINGLE	SLM-LED-18L-SIL-FT-50-70CRI-SINGLE-12' MT HGT	1.000	1.000	1.000	18904	135	

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ALL CALC POINTS	Illuminance	Fc	5.96	47.5	0.0	N.A.	N.A.
CANDPY	Illuminance	Fc	38.90	47.5	25.1	1.55	1.89
INSIDE CURB	Illuminance	Fc	8.04	23.1	0.2	40.20	115.50

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

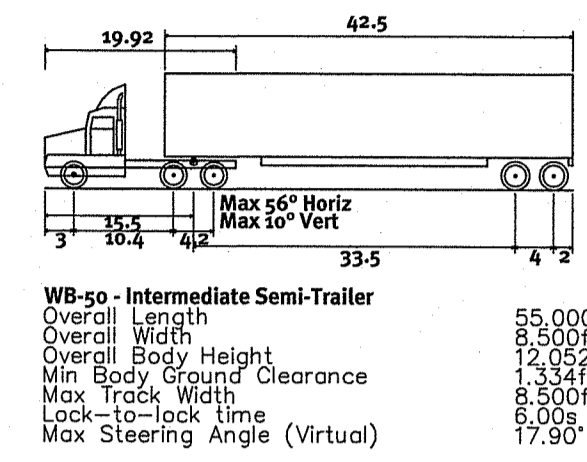
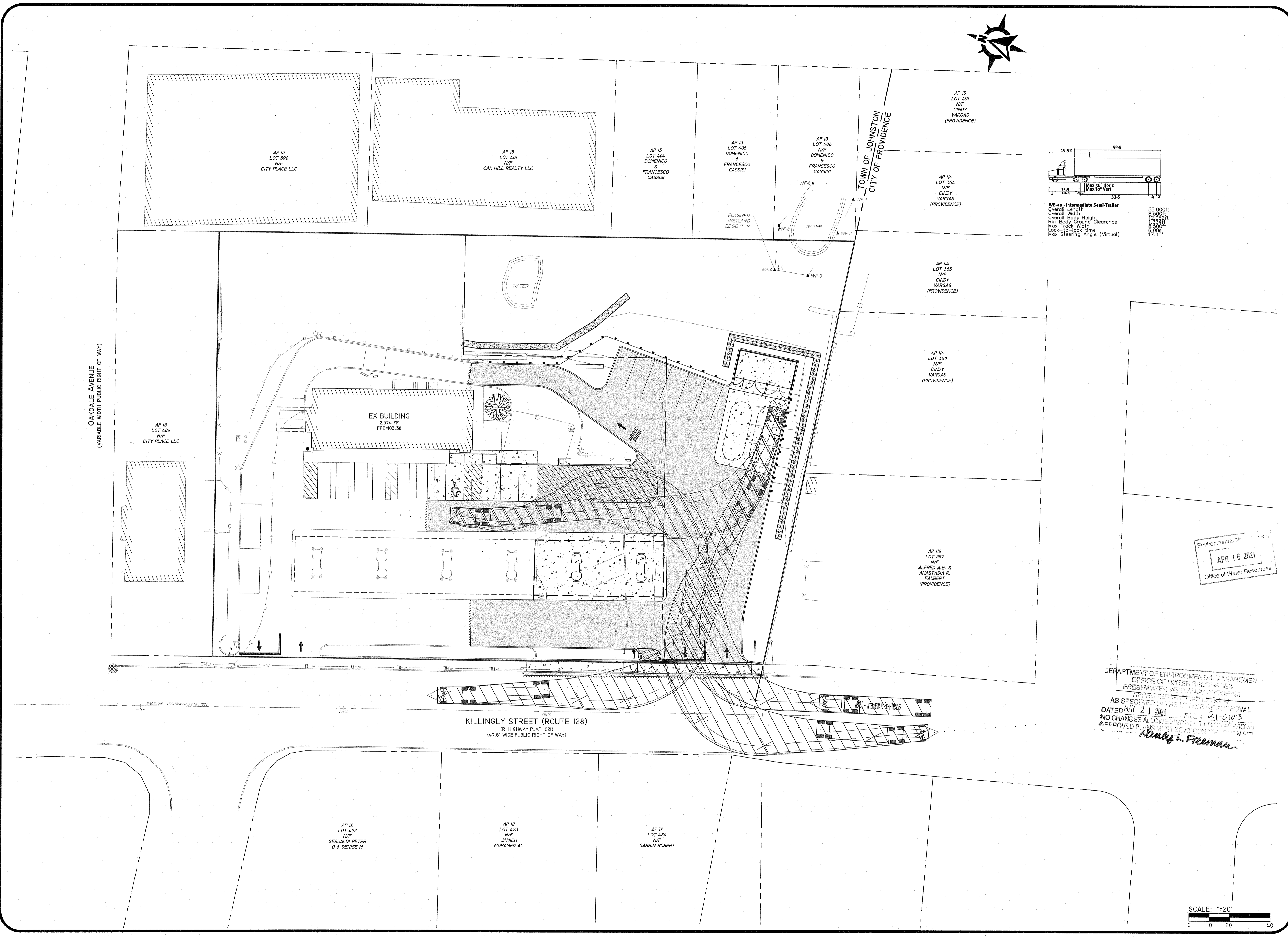
This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with the Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in lamps/LED's and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted. Fixture nomenclature noted does not include mounting hardware or poles. This drawing is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.

Total Project Watts
 Total Watts = 3447



LIGHTING PROPOSAL LO-153557-1
 SEASONS CORNER MARKET
 521 & 525 KILLINGLY STREET
 JOHNSTON, RI
 BY/DATE: DATE: 4-09-21 REV: 4-14-21 SHEET 1 OF 1
 SCALE: 1"=20' 0 20

Z:\DEMANPROJECTS\2662-006 KILLINGLY STREET 525 AUTOCAD DRAWINGS\2662-006-PLANNING PLOTTER: 4/15/2021



Environmental #
APR 16 2021
Office of Water Resources

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
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DATED MAY 21 2021 FILE # 21-0103
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Danby L. Freeman

SCALE: 1"=20'
0 10' 20' 40'

DiPrete Engineering
Two Stafford Court Cranston, RI 02920
tel 401-943-1000 fax 401-464-6006 www.diprete-eng.com
Boston • Providence • Newport

DANA R. NISBET
No. 11876
REGISTERED PROFESSIONAL ENGINEER
CIVIL

THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS STAMPED ISSUED FOR CONSTRUCTION AND STAMPED BY AN ENGINEER.
DIPRETE ENGINEERING ONLY WARRANTS PLANS ON A DIPRETE PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING. DIPRETE ENGINEERING DOES NOT WARRANT PLANS BY ANY OTHER PARTY.
THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE NECESSARY EXISTING UTILITIES SHOWN ON THIS PLAN AND FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
ONLY DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR CONFORMANCE IN THE IMPLEMENTATION OF THIS PLAN AND SEE UTILITY NOTES ON SHEET 3.

NO.	DATE	DESCRIPTION	BY:
0	04-06-21	SITE PLAN REVIEW	R.S.S.
		DESIGN	BY: R.S.S./P.A.A.
		DRAWN BY:	R.S.S.

FUEL CIRCULATION PLAN
SEASONS CORNER MARKET
ASSESSOR'S PLAT 13 LOTS 397 & 468
JOHNSTON, RHODE ISLAND 02919
PREPARED FOR:
COLBEA ENTERPRISES, LLC
2050 PLAINFIELD PIKE, CRANSTON, RHODE ISLAND 02921
TEL 401-943-0005
SHEET 1 OF 1