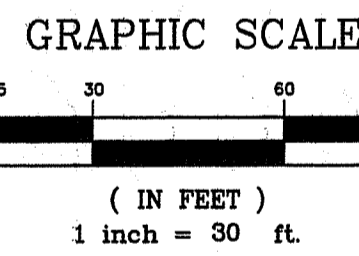


PLAN VIEW
SCALE: 1" = 30'

PROPERTY OWNER:

JENNIFER R BLANSFIELD
P.O. BOX 111
BLOCK ISLAND, RI 02807

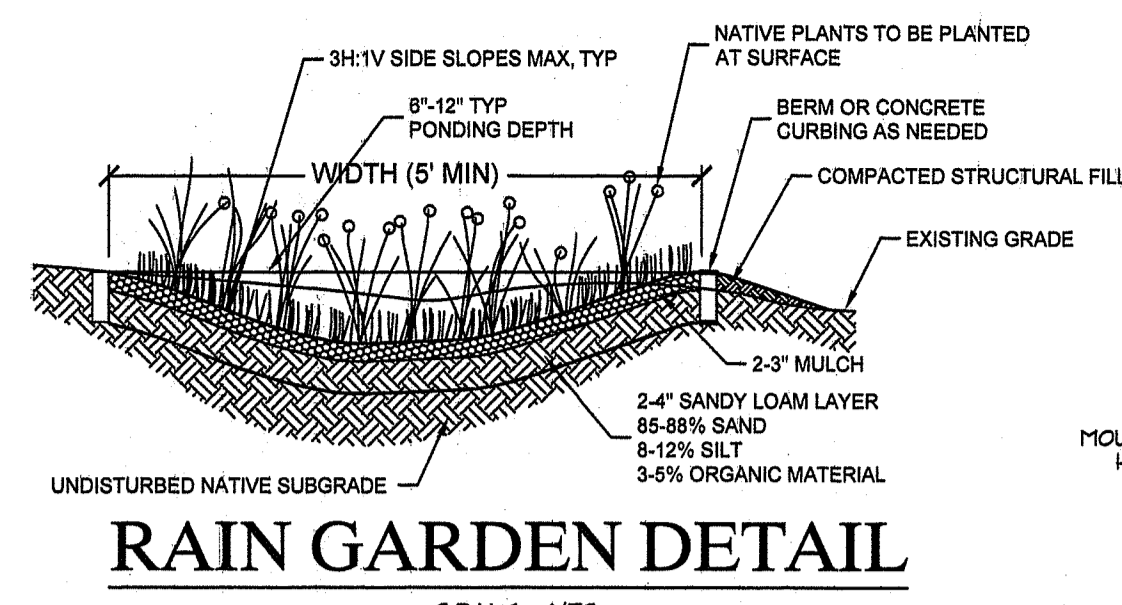


DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED JUL - 1 2021 FILE # 21-0109
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

EROSION CONTROL PROGRAM
PRIOR TO START OF CONSTRUCTION, HAYBALES, SILT FENCES & ALL OTHER SPECIFIED EROSION CONTROL FENCES SHALL BE IN PLACE. CRITICAL AREAS SUCH AS WETLAND AREAS, SLOPES & STREAMS SHALL BE PROTECTED AS PER PLAN AND, IN THE PRESENCE OF WETLANDS, THE CONDITIONS OF THE ASSENT ORDER SHALL BE ADHERED TO. THE CONTRACTOR SHALL BE REQUIRED TO ESTABLISH AND FULLY MAINTAIN ALL REQUIRED EROSION AND SEDIMENTATION CONTROLS. SEDIMENTATION CONTROL PROGRAM ALL EXPOSED SLOPES, INCLUDING STOCKPILES OF MATERIAL, SHALL RECEIVE TEMPORARY SEDIMENTATION & EROSION CONTROLS. THIS WILL INCLUDE LOAMING & SEEDING, MULCHING, HAYMATS, ETC TO STABILIZE THE AREA. ALL DRAINAGE STRUCTURES SHALL BE SURROUNDED BY HAYBALES TO PREVENT INFILTRATION OF SEDIMENTS. SHOULD SEDIMENTS ENTER A CRITICAL AREA (WETLAND, BUFFER ZONE, ADJUTING PROPERTY) THE CONTRACTOR SHALL IMMEDIATELY CLEAN & RESTORE THE EFFECTED AREA.

SOIL STABILIZATION & PLANTING PROGRAM
ACCEPTABLE PLANTING MATERIALS:
LOAM - THE MATERIAL TO BE FURNISHED SHALL CONSIST OF LOOSE, FRIABLE, SANDY LOAM OR LOAM TOPSOIL FREE OF A MIXTURE OF SUBSOIL, REFUSE STUMPS, ROOTS, ROCKS, BRUSH, WEEDS & OTHER MATERIAL WHICH WILL PREVENT THE FORMATION OF A SUITABLE SEED BED. SEED MIXTURES - ALL LEGUME SEED SHALL BE INOCULATED WITH 24 HOURS BEFORE MIXING & PLANTING WITH THE APPROPRIATE INOCULUM FOR EACH VARIETY. ALL INOCULA SHALL BE FRESH & SHALL BE USED WITHIN THE DATE LIMIT PRESCRIBED BY THE MANUFACTURER. FOR RELATIVELY FLAT SLOPES MIX: % BY WEIGHT
RED FESCUE-CHEWINGS PENNLAWN OR CREEPING KENTUCKY BLUEGRASS 70
COLONIAL BENTGRASS (ASTORIA OR EXETER) 15
PERENNIAL RYEGRASS 5
SEEDING RATE = 100 LBS PER ACRE
FOR STEEP SLOPES 3:1 OR GREATER MIX: % BY WEIGHT
RED FESCUE-CHEWINGS PENNLAWN OR CREEPING PERENNIAL RYEGRASS 75
COLONIAL BENTGRASS (ASTORIA OR EXETER) 5
BIRDSFOOT TREFOIL (EMPIRE) 15
SEEDING RATE = 100 LBS PER ACRE
FOR SOD WATERWAYS, DRAINAGE DITCHES & DRAINAGE BASINS MIX: % BY WEIGHT
CREEPING RED FESCUE 50
TALL FESCUE OR REED CANARYGRASS 50
USE REED CANARY GRASS WHERE MOWING IS NOT REQUIRED
THE ACCEPTED PLANTING SEASON SHALL BE BETWEEN APRIL 1ST AND OCTOBER 15. THE CONTRACTOR SHOULD COORDINATE ON ALL DISTRIBUTED AREAS. THE CONTRACTOR SHALL PROVIDE A MINIMUM OF FOUR (4) INCHES OF LOAM ON AREAS UP TO 10% IN GRADE. ALL AREAS OVER 10% SHALL RECEIVE A MINIMUM OF SIX (6) INCHES. REFERENCE IS HEREBY MADE TO THE RHODE ISLAND SOIL EROSION & SEDIMENT CONTROL HANDBOOK PUBLISHED BY THE SOIL CONSERVATION SERVICE. THE GUIDELINES SHOWN THEREIN SHOULD BE INCORPORATED INTO THE CONSTRUCTION PRACTICES ON SITE.

- IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO OBTAIN ANY & ALL PERMITS REQUIRED BY THE STATE & THE MUNICIPALITY IN WHICH WORK IS BEING PERFORMED PRIOR TO START OF ANY WORK.
- IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO DOCUMENT EXISTING CONDITIONS OF SURROUNDING PROPERTIES & TO MAINTAIN THE INTEGRITY OF SAME. ANY DAMAGE TO & THE COST OF REPAIRS OF UTILITIES, ROADWAYS, STRUCTURES & SURROUNDING PROPERTY SHALL BE FULLY BORNE BY THE CONTRACTOR.
- ALL WORKMANSHIP & MATERIALS SHALL MEET OR EXCEED THE LATEST STANDARDS OF THE MUNICIPALITY, AND THE LATEST STATE STANDARDS & SPECIFICATION PUBLISHED FOR ROAD & BRIDGE CONSTRUCTION.
- CONTACT DIG-SAFE & UTILITY COMPANIES FOR EXACT ON-SITE LOCATION OF EXISTING UNDERGROUND UTILITIES AT LEAST FORTY-EIGHT (48) HOURS PRIOR TO START OF CONSTRUCTION.
- CONTRACTOR SHALL OBTAIN REQUIRED INSPECTION SCHEDULE OF THE MUNICIPALITY. UTILITY COMPANIES & ALL OTHER REQUIRED PARTIES & SHALL STRICTLY ADHERE TO THOSE REQUIREMENTS.
- ALL CONTRACTORS SHALL ADHERE TO ALL CONDITIONS OF CONSTRUCTION APPROVALS & SHALL KEEP A COPY OF ALL APPROVALS ON-SITE DURING CONSTRUCTION. CONTRACTOR SHALL READ ALL APPROVALS PRIOR TO START OF CONSTRUCTION & SHALL CLARIFY ANY QUESTIONS BEFOREHAND.



RAIN GARDEN DETAIL
SCALE: NTS

- DESIGN NOTES:**
- PLANTINGS - NATIVE PLANTS ARE PREFERRED, BECAUSE NON-NATIVE AND INVASIVE SPECIES CAN REPRODUCE DOWNSTREAM TO DAMAGE HABITAT AND CHANGE HYDROLOGY. IF NON-NATIVES ARE CHOSEN, BE SURE THAT THEY WILL NOT DAMAGE DOWNSTREAM WATERWAYS.
 - RAIN GARDEN SIZING CRITERIA (PER RI STORMWATER MANAGEMENT GUIDANCE DOCS TABLE 7 & 8): DRAINAGE AREA REQUIRED = 30'X22' OR 660 S.F. USING SANDY SOILS, 700 S.F. OF DRAINAGE & 8' DEEP RAIN GARDEN, 56 S.F. OF AREA IS REQUIRED. THIS PLAN PROPOSES 65 S.F. OF RAIN GARDEN & SHALL BE ELLIPTICAL IN SHAPE & SHALL NOT BE NARROWER THAN 6' @ ITS MIDPOINT OR SHORTER THAN 14' IN LENGTH.

- CONSTRUCTION NOTES:**
- CONVEY WATER TO THE RAIN GARDEN VIA 4" SDR 35 SOLID PVC. PROVIDE 6" RIP-RAP FOR 4" ALL AROUND PIPE DAYLIGHT LOCATION FOR STABILIZATION & TO MINIMIZE EROSION
 - BUILD AND VEGETATE RAIN GARDEN AS EARLY AS POSSIBLE TO ESTABLISH PLANTINGS BEFORE DIRECTING STORMWATER RUNOFF TO IT OR DIVERGENT STORMWATER AROUND FACILITY.
 - THE AREA OF THE RAIN GARDEN SHALL BE FENCED OFF FROM THE FIRST DAY OF EARTH MOVING UNTIL PROJECT COMPLETION TO PREVENT COMPACTION OF THE SUBGRADE, DIRT TRACKING ONTO ANY LAYER OF THE FACILITY, AND STOCKPIILING OF CONSTRUCTION MATERIALS THAT MAY CLOG THE SURFACE.
 - DURING EXCAVATION OF NATIVE SOILS TO THE BOTTOM OF THE FACILITY, RAINFALL MAY CAUSE FINES TO CLOG THE SURFACE OF THE FACILITY. IF THIS OCCURS DURING CONSTRUCTION, HAND RAKE THE SURFACE TO A DEPTH OF 3" TO RESTORE INFILTRATION CAPACITY.
 - AREA OF L.O.D., WITHIN 50' WETLAND PERIMETER, WILL BE RESTORED TO ITS ORIGINAL STATE WHEN CONSTRUCTION HAS BEEN COMPLETED.

ZONING DISTRICT : RB

BUILDING SETBACKS :
FRONT : 50'
REAR : 50'
SIDES : 20'
MAXIMUM LOT COVERAGE : 8%

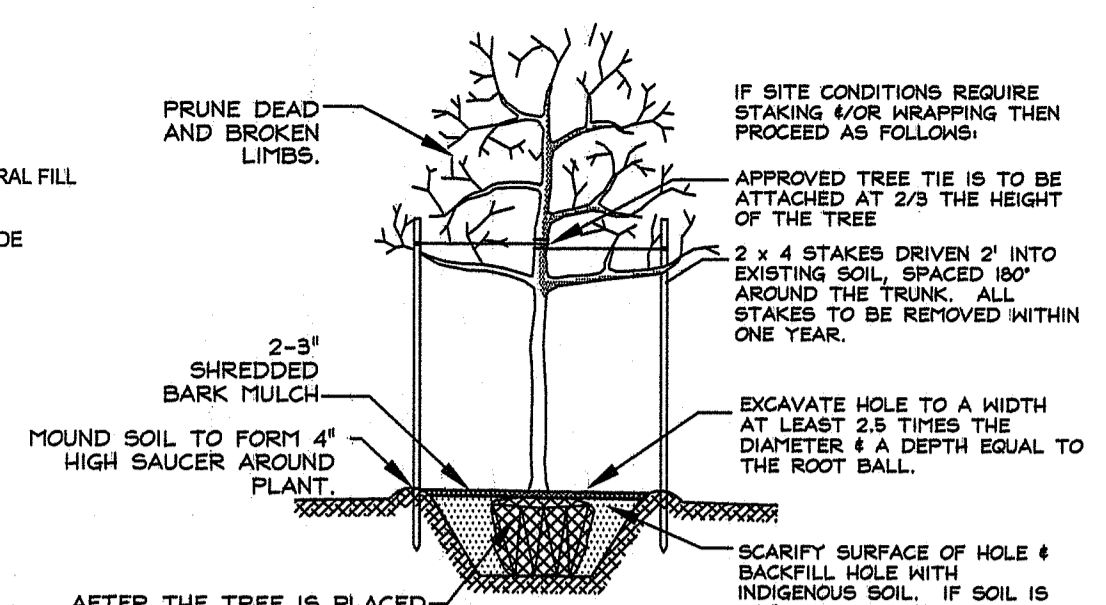
PLANT SCHEDULE

TYPE	BOTANICAL NAME	COMMON NAME	SIZE	COMMENTS
TREE	PRUNUS SEROTINA	BLACK CHERRY	4'-6'	10' O.C.
TREE	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	4'-6'	10' O.C.
TREE	ACER RUBRUM	RED MAPLE	4'-6'	10' O.C.
SHRUB	MYRICA PENNSYLVANICA	BAYBERRY	2'-3'	8' O.C.
SHRUB	AMELANCHLER CANADENSIS	SHADBUSH	2'-3'	8' O.C.
SHRUB	VIBURNUM DENTATUM	ARROWWOOD	2'-3'	8' O.C.

*THIS PLAN SHOWS A TOTAL OF 40 PLANTINGS. CONTRACTOR OR OWNER WILL PROVIDE AN EQUAL MIXTURE OF 20 PLANTS & 20 TREES FROM THE SCHEDULE ABOVE.

LEGEND

- RI HIGHWAY BOUND FOUND
- CONCRETE BOUND DRILLHOLE FOUND
- IRON ROD FOUND
- UTILITY POLE
- WATER SHUTOFF
- DRILLHOLE FOUND
- CESSPOOL/SEPTIC TANK LID
- WELL
- STONE WALL
- PROPERTY LINE
- APPROX. PROPERTY LINE
- PROP. SILT FENCE
- CONTOUR (ASSUMED DATUM)
- EXISTING WATERLINE
- EXISTING ELECTRICAL
- EXISTING TREELINE
- SOIL EVALUATION
- PROPOSED WATERLINE
- PROPOSED DRAINLINE
- PROPOSED SEWERLINE



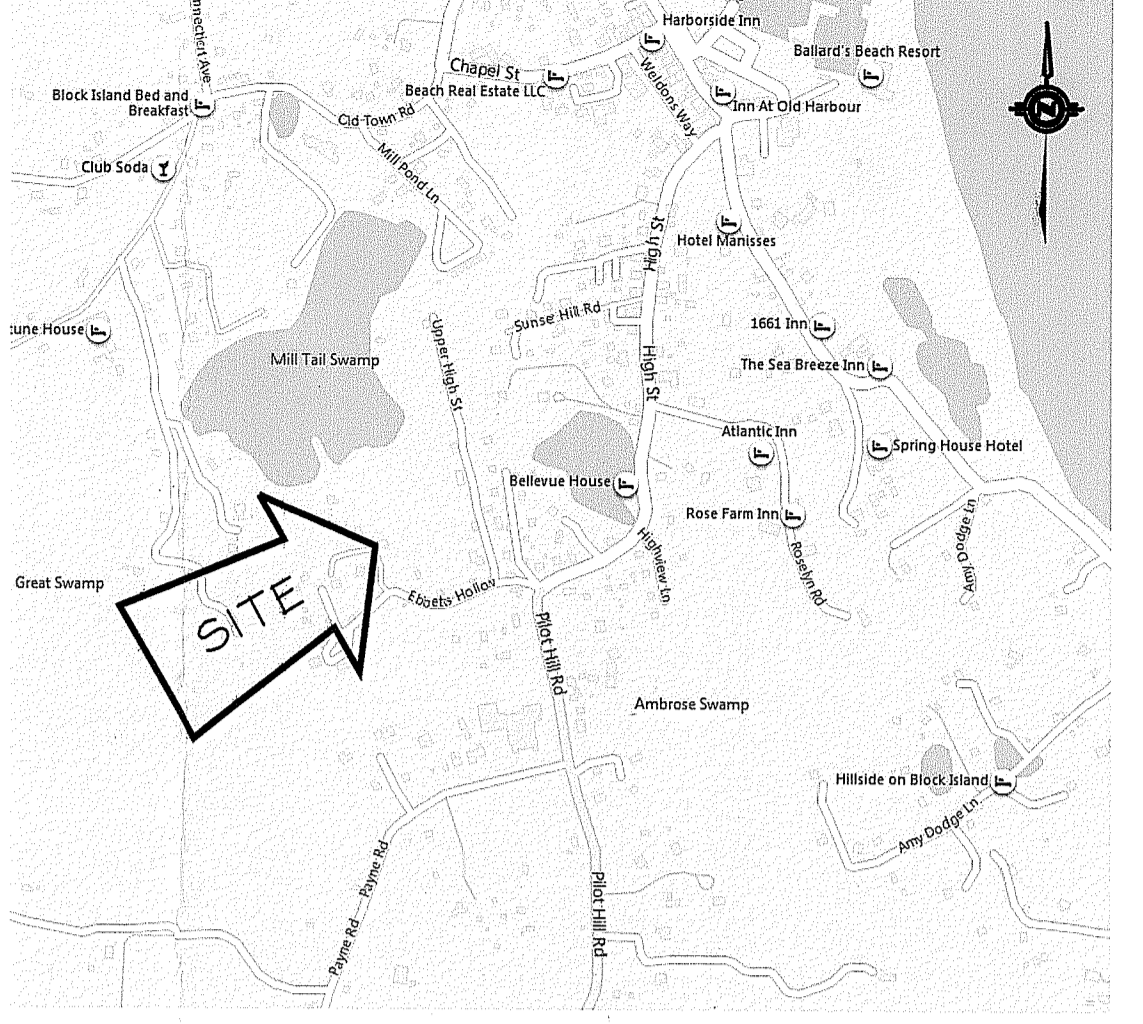
PLANTING DETAIL
NOT TO SCALE

PLANTING NOTES:

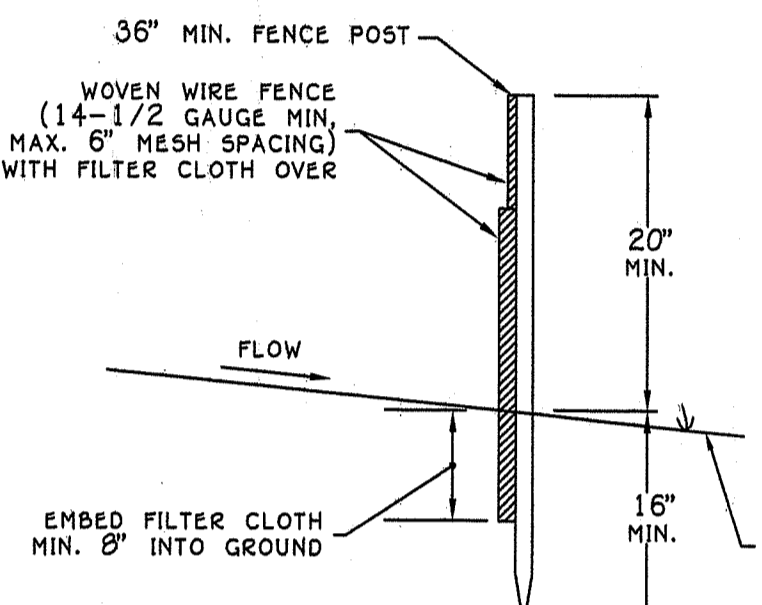
- THE TOP 50% OF BURLAP AND WIRE BASKET SHALL BE REMOVED.
- ENOUGH SOIL FROM THE TOP OF THE ROOT BALL SHALL BE REMOVED TO EXPOSE TRUNK/ROOT FLARE.
- TORN OR RAGGED ROOTS SHALL BE PRUNED TO MAKE A CLEAN TERMINATION.
- THE SOIL AT THE BOTTOM OF THE HOLE SHALL BE COMPACTED TO RESIST SETTLING OF THE TREE.
- SOIL THAT IS NUTRIENT DEFICIENT SHALL BE AMENDED BY THE ADDITION OF COMPOST PRIOR TO BACKFILLING THE HOLE.
- TREES SHALL BE PLANTED AT A DEPTH THAT ALLOWS FULL EXPOSURE OF TRUNK/ROOT FLARE.
- SOIL FROM THE PLANTING HOLE SHALL BE BUILT UP ALONG THE PERIMETER, TO ACT AS A DAM TO RETAIN WATER.
- TREES SHALL BE MULCHED WITH 2 (TWO) TO 3 (THREE) INCHES OF MULCH, KEEPING MULCH 3 (THREE) INCHES AWAY FROM TRUNK

NOTES:

- THE SITE RESIDES WITHIN A FLOOD ZONE "X" ACCORDING TO NFIP WASHINGTON COUNTY, RI FIRM MAP # 44009C0366J DATED 10/16/2013.
- SITE IS NOT LOCATED WITHIN A CRMC OR RIDEM CRITICAL RESOURCE AREA.
- MAXIMUM EXISTING & PROPOSED SLOPE GRADE WITHIN THE L.O.D. = 25%. APPROXIMATELY 6,180 SQ. FT. OF LAND DISTURBANCE.
- THE UTILITIES SHOWN HEREON ARE THE RESULT OF FIELD LOCATIONS OF VISIBLE STRUCTURES AT THE TIME OF FIELD SURVEY & RECORD PLANS ACQUIRED FROM THE UTILITY COMPANIES. WE ACCEPT NO RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF UTILITIES SHOWN. CALL DIG-SAFE PRIOR TO START OF CONSTRUCTION FOR EXACT UTILITY LOCATIONS.
- REFERENCE LAND EVIDENCE BOOK/PAGE: 533/2, 103/69, 456/208, 442/260, 186/169, 59/245, 415/227, 364/229, 158/289, 355/64, 337/181, 49/280.
- THIS SURVEY HAS BEEN CONDUCTED & THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES & REGULATIONS ADOPTED BY THE RI STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON 11/25/2015 AS FOLLOWS: CLASS III MEASUREMENT SPECIFICATION BOUNDARY SURVEY. CLASS III STANDARD FOR TOPOGRAPHY & EXISTING CONDITION DATA. THIS PLAN WAS CONDUCTED AT THE REQUEST OF THE OWNER FOR A WETLANDS PERMIT SITE PLAN.
- STREET INDEX (PER RIQL 34-13-1): HIGH STREET
- SUBJECT TO EASEMENTS & RIGHTS OF WAY OF RECORD (IF ANY).
- RI GENERAL LAWS 11-22-1 & 11-44-11 FORBID THE REMOVAL OR DESTRUCTION OF ANY HIGHWAY OR PRIVATE SURVEY MARKER. PENALTY IS \$500 &/OR UP TO 1 YEAR IN JAIL.
- REFERENCE PLAN ENTITLED "PLAN OF PROPOSED HOUSE ON LOT 86-6, ASSESSOR'S PLAT 10 OWNED BY LEWIS GAFFETT, REVISED 10/30/11, SCALE: 1"=40', HILBERN LAND SURVEYING"
- REFERENCE PLAN ENTITLED "EBBET HOLLOW AT BLOCK ISLAND, RI, KENNETH ANTHONY & ASSOCIATES, FEB. 1981, SCALE: 1"=40'."
- REFERENCE PLAN ENTITLED "SURVEY OF LAND FOR LEWIS H. GAFFETT, SCALE: 1"=40', KENNETH ANTHONY & ASSOCIATES, MARCH 1981."
- WETLANDS SHOWN ON THIS PLAN WERE DELINEATED BY NATURAL RESOURCE SERVICES, INC. & REVISED OCTOBER 31, 2011.
- REFERENCE RIDEM WETLANDS APP.#11-0061 FOR MORE INFO.
- THERE IS NO CONSTRUCTION ACCESS ENTRANCE PROPOSED BECAUSE THERE IS AN EXISTING EARTH DRIVE, LEADING TO A SHARED GRAVEL RIGHT OF WAY, 0.2 MILES FROM HIGH STREET, TO THE SITE FOR ALL CONSTRUCTION ACTIVITY ACCESS.
- THE GENERAL SOILS ON THE SITE, CONSIST OF THE FOLLOWING TYPE IN THE AREAS OF CONSTRUCTION (ACCORDING TO USDA SOIL SURVEY): PAB - PAXTON FINE SANDY LOAMS, 3-8% SLOPES.
- THIS PLAN WAS REPRODUCED FROM ELECTRONIC PLANS PROVIDED TO ATLAS LAND SURVEYING (ALS) IN NOTE 10 & FIELD CHECK OF SOME INFORMATION. ALS TAKES NO RESPONSIBILITY FOR THE ACCURACY OF THE FIELD DATA REFERENCED IN NOTE 10. OWNER ASSUMES ALL RESPONSIBILITY OF FIELD DATA ACCURACY.
- THIS PLAN DOES NOT DETAIL OR ENGINEER HOW SEWER & WATER WILL TIE INTO THE EXISTING TOWN SUPPLIES THAT EXIST SOUTH OF THE PROPERTY WITHIN THE RIGHT OF WAY/GRAVEL DRIVE TO/FROM HIGH STREET. SEE PLAN BY OTHERS FOR MORE DETAIL.
- 40' R.O.W., IDENTIFIED IN NOTES 10, 11, & 12, TO BE ELIMINATED PRIOR TO CONSTRUCTION (IF NOT ALREADY DONE SO). NO LAND EVIDENCE WAS FOUND TO NOTE WHETHER SAID R.O.W. HAS BEEN ELIMINATED. OWNER ASSUMES THIS RESPONSIBILITY.
- THE PROPOSED STORMWATER MANAGEMENT PRACTICES SHOWN ON THIS PLAN WERE DESIGNED AS FOLLOWS: MAXIMUM OF 660 SQ. FT. OF ROOFLINE IS PROPOSED. USING TABLES 10 & 11 FROM THE RIDM MANUAL & DESIGNING ON SANDY SOILS, W/ AN 8" DEEP RAIN GARDEN, 56 SQ. FT. IS REQUIRED. THE 8" DEEP RAIN GARDEN DESIGNED IS ELLIPTICAL IN SHAPE & 6' WIDE & 14' LONG, PROVIDING 65 SQ. FT. OF DRAINAGE.
- THIS PLAN HAS BEEN REVISED AS PART OF A MODIFICATION REQUEST FOR APP.#21-0109.



LOCUS MAP



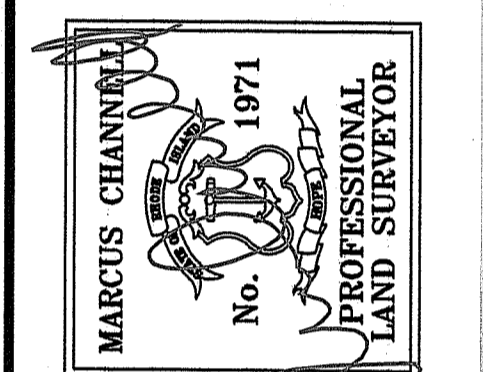
SILT FENCE DETAIL
N.T.S.

- CONSTRUCTION NOTES FOR FABRICATED SILT FENCE**
- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
 - FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
 - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
 - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

SITE DEVELOPMENT PLAN

A.P. 10, LOT 68-6
OFF HIGH STREET
NEW SHOREHAM, RHODE ISLAND

Prepared For:
JENNIFER BLANSFIELD



ATLAS LAND SURVEYING, LLC
PROPERTY & CONSTRUCTION SURVEYING & MAPPING

91 Parkway Drive ~ Warwick, RI 02886
401-737-4407
WWW.ATLASLANDSURVEYING.COM

REVISION: MAY 2021

DATE: MARCH 2021
DRAWN BY: KRC
SCALE: 1" = 30'

SHEET
1
OF 1 SHEETS 1
JOB NO. BLANS
DWG. NO. BLANS-SITE

