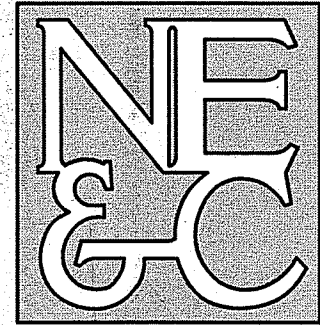
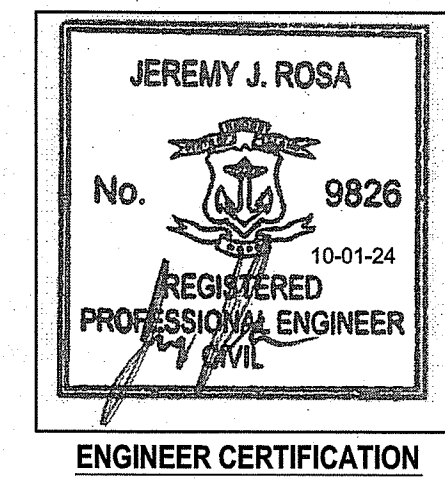


# ECC CONSTRUCTION FACILITY AND STORAGE YARD

ASSESSOR'S PLAT 105 LOT 601  
EAGLEVILLE ROAD  
TIVERTON, RHODE ISLAND

CIVIL ENGINEER: NORTHEAST ENGINEERS & CONSULTANTS, INC.  
  
 A KNOWLEDGE CORPORATION  
 6 VALLEY ROAD MIDDLETOWN RI 02842  
 PHONE (401) 849-0810 FAX (401) 846-4169  
 WWW.NORTHEASTENGINEERS.COM



OWNER:  
 ECC EAGLEVILLE, LLC  
 202 CHASE ROAD  
 PORTSMOUTH, RI 02871

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
 OFFICE OF WATER RESOURCES  
 FRESHWATER WETLANDS PROGRAM  
 APPROVED WITH CONDITIONS AS  
 SPECIFIED IN THE LETTER OF APPROVAL  
 DATED: FEB 05 2025 FILE #: D1-0119  
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

*Andy J. Cloutier*

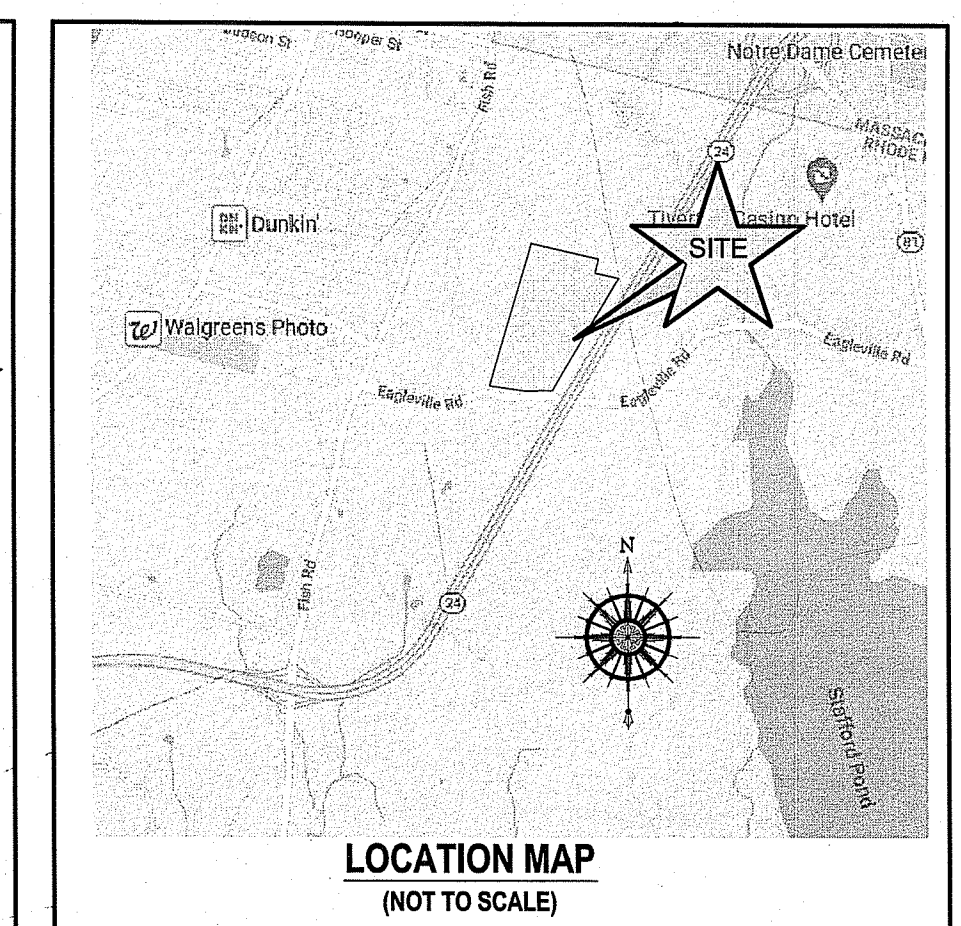
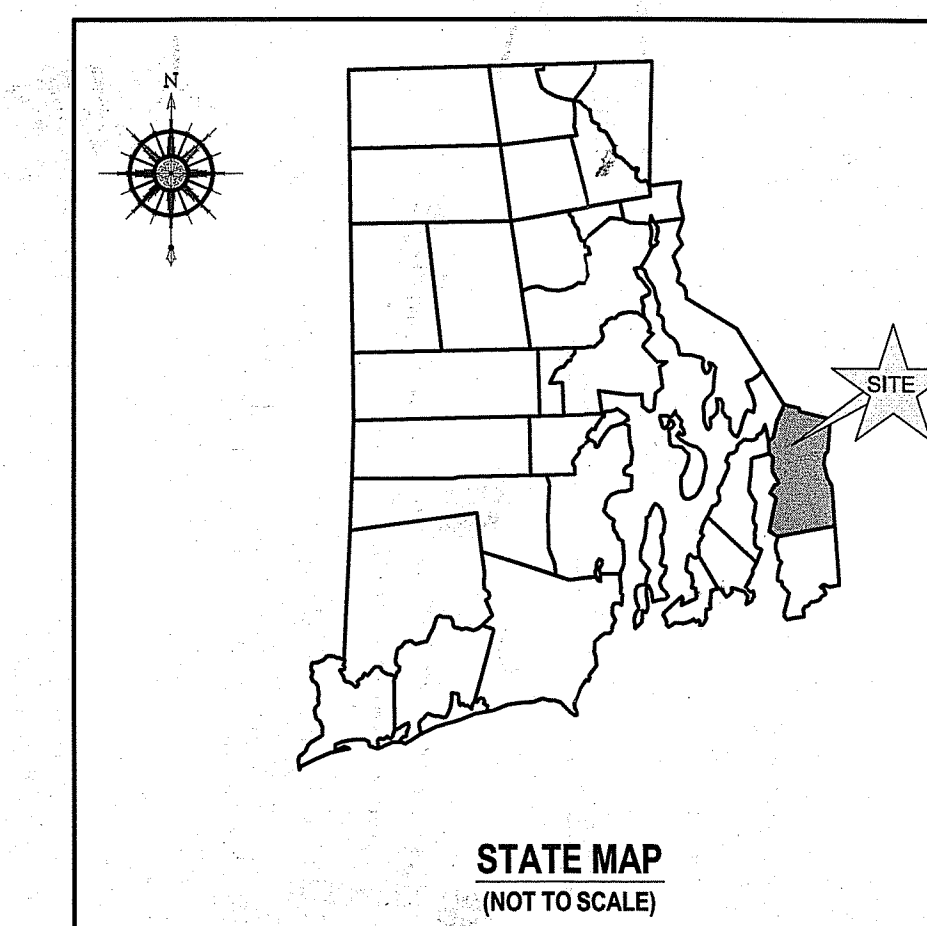
## OCTOBER 1, 2024 PERMIT SET

### PLAN INDEX

#### SITE/CIVIL ENGINEERING PLANS

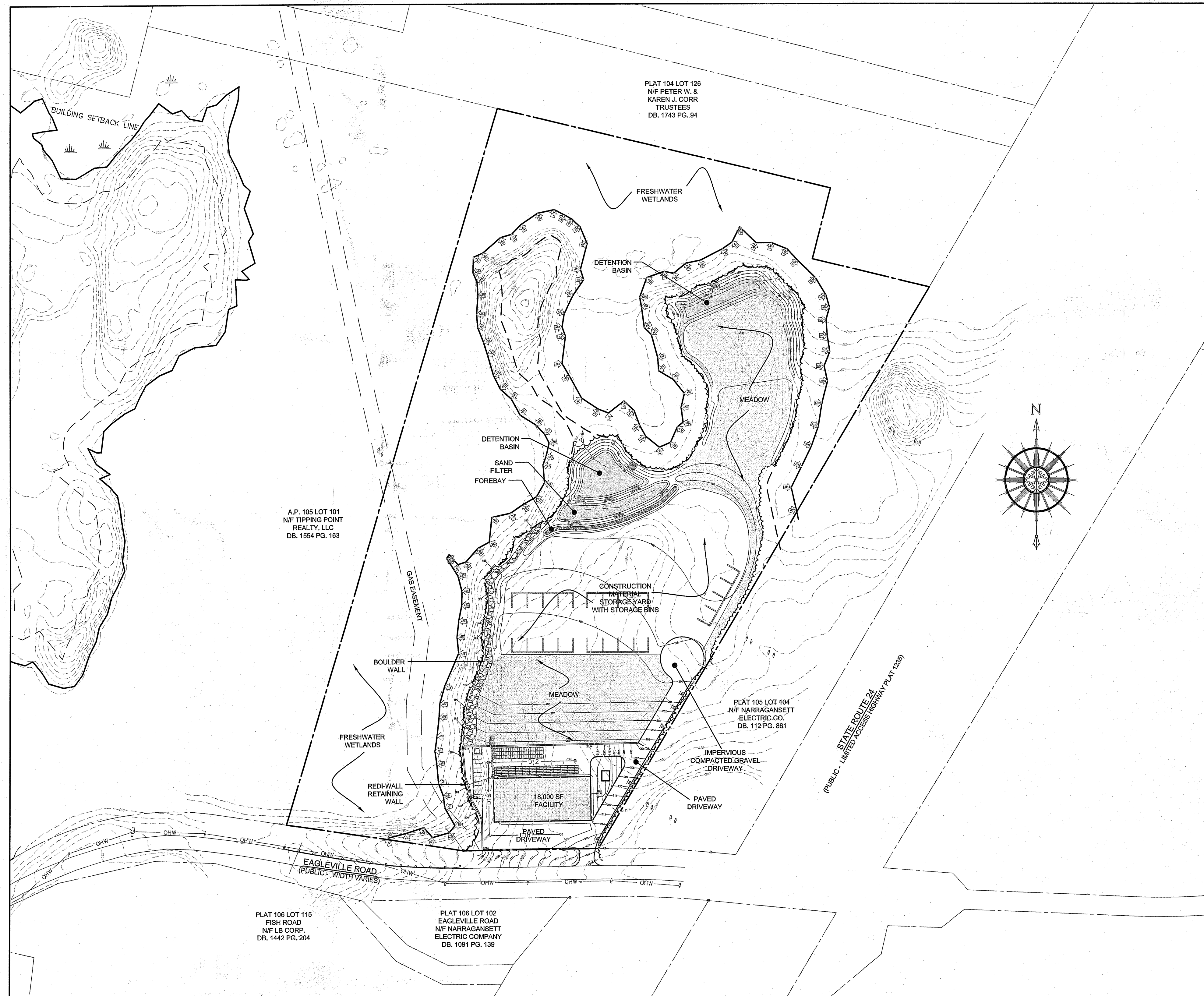
- TITLE SHEET
- PROJECT NOTES
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- PROPOSED CONDITIONS PLANS
- PROPOSED SOIL EROSION & SEDIMENT CONTROL PLANS
- PROPOSED DETAILS

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SUBMISSION AND REVISION SUMMARY		
AGENCY OR REVISION	DATE	COMMENTS
RIDEM	APR 27, 2021	WETLANDS AND RIPDES
RIDEM	AUG 26, 2021	WETLANDS AND RIPDES
RIDEM	OCT 25, 2021	WETLANDS AND RIPDES
TOWN OF TIVERTON	NOV 24, 2021	PLANNING BOARD
TOWN OF TIVERTON	MAR 08, 2022	PLANNING BOARD
TOWN OF TIVERTON	JUN 09, 2022	PLANNING BOARD
RIDEM	OCT 01, 2024	PERMIT MODIFICATION APPLICATION

OCT 25 2024  
 Office of Water Resources



### SITE PLAN

SCALE = 1"=120'

**GENERAL NOTES**

- 1. EXISTING CONDITIONS TAKEN FROM PLANS ENTITLED "MINOR SUBDIVISION, EAGLEVILLE ROAD SUBDIVISION, EAGLEVILLE ROAD, A.P. 105 LOT 101, TIVERTON, RI 02878", PREPARED BY MOUNT HOPE ENGINEERING, INC. LAST REVISED 9/23/19.
- 2. PROPERTY LINE INFORMATION TAKEN FROM PLAN "ECC CONSTRUCTION STORAGE YARD A.P. 105 LOT 801, EAGLEVILLE ROAD, TIVERTON, RHODE ISLAND, LIMITED CONTENT BOUNDARY SURVEY" PREPARED BY NE&C DATED 09MAR22.
- 3. BASE OF ELEVATIONS IS NOT PROVIDED ON REFERENCE PLAN. BENCHMARK WILL BE SET PRIOR TO CONSTRUCTION.
- 4. PROPERTIES ARE ZONED "I" (INDUSTRIAL), ABUTTING PROPERTIES ARE ALSO ZONED "I".
- 5. NORTH ARROW AND BASIS OF BEARING IS NAV83.
- 6. SOIL EVALUATIONS SHOWN PERFORMED BY BRANDON FANEUF (SOIL EVALUATORS LICENSE D4059) ON 12/5/16.
- 7. SITE IS IN ZONE X (NOT A SPECIAL FLOOD HAZARD ZONE) PER FEMA MAP 440050043H DATED 04/05/2010.
- 8. PER PLAN IN REFERENCE #1, WETLANDS WERE DELINEATED BY EDWARD J. AVIZINS ON 11-02-2016. LOCATIONS SHOWN MADE BY MT HOPE ENGINEERING WITH TRIMBLE GEO-XT SUBMETER GPS ON 11-17-2016.
- 9. NO BUILDINGS EXIST ON SUBJECT PROPERTY.
- 10. NO PUBLIC SEWER AVAILABLE TO SUBJECT PROPERTY LINE. THERE ARE NO EXISTING WATER OR ELECTRIC LINES ON SUBJECT PROPERTY. EXISTING GAS LINES ARE LOCATED WITHIN GAS EASEMENT SHOWN ON PLAN.
- 11. PER PLAN IN REFERENCE #1, NO LOCATION PLANS WERE FOUND FOR THE ALGONQUIN GAS TRANSMISSION EASEMENT. SOME DEED REFERENCES FOR THE VICINITY AND HIGHWAY PLANS DEPICT SAID EASEMENTS TO BE 30' WIDE. LOCATION SHOWN BASED ON VENT MARKERS FOUND.
- 12. THE CONTRACTOR SHALL VERIFY THE PROPOSED LAYOUT AND DETAILS WITH THEIR RELATIONSHIP TO THE EXISTING SITE SURVEY. CONTRACTOR SHALL ALSO VERIFY ALL DIMENSIONS, SITE CONDITIONS AND MATERIAL SPECIFICATIONS AND SHALL NOTIFY THE OWNER AND ENGINEER OF ANY ERRORS, OMISSIONS OR DISCREPANCIES BEFORE COMMENCING WORK.
- 13. THE UNDERGROUND UTILITIES KNOWN TO EXIST BY THE ENGINEER FROM HIS SEARCH OF RECORDS ARE INDICATED ON THE PLANS. CONTRACTOR SHALL VERIFY THE LOCATIONS AND DEPTHS OF THE UTILITIES AND EXERCISE PROPER CARE IN EXCAVATING IN THE AREA. ALL DAMAGED PORTIONS SHALL BE REPLACED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE AFFECTED UTILITY COMPANY AND SHALL BE THE CONTRACTOR'S RESPONSIBILITY. PERSONAL INJURY RESULTING FROM CONTACT WITH EXISTING UTILITIES SHALL BE THE CONTRACTOR'S RESPONSIBILITY. WHEREVER CONNECTION OF NEW UTILITIES TO EXISTING UTILITIES ARE SHOWN ON THE PLANS, THE CONTRACTOR SHALL EXPOSE THE EXISTING LINES AT THE PROPOSED CONNECTIONS TO VERIFY THEIR LOCATIONS AND DEPTHS PRIOR TO EXCAVATION FOR NEW LINES. (PLEASE CALL DIG SAFE PRIOR TO CONSTRUCTION AT 1-888-DIG-SAFE AND ALL LOCAL UTILITY COMPANIES.)
- 14. THE CONTRACTOR SHALL NOTIFY ALL AGENCIES TO VERIFY THE ACTUAL LOCATIONS OF ALL UTILITIES IN THE PROJECT AREA PRIOR TO EXCAVATING.
- 15. THE CONTRACTOR SHALL RESTORE TO THEIR ORIGINAL CONDITION OR BETTER, ALL IMPROVEMENTS DAMAGED AS A RESULT OF THE CONSTRUCTION, INCLUDING PAVEMENTS, EMBANKMENTS, CURBS, SIGNS, LANDSCAPING, STRUCTURES, UTILITIES, WALLS, FENCES, ETC. UNLESS PROVIDED FOR SPECIFICALLY IN THE PROPOSAL.
- 16. CONTRACTOR SHALL EXERCISE EXTREME CAUTION TO PRESERVE STREET MONUMENTS.
- 17. STREET MONUMENTS THAT ARE DISTURBED SHALL BE RESTORED UNDER THE LICENSED LAND SURVEYOR'S DIRECTION. ANY NEW DATA SUCH AS ELEVATIONS SHALL BE CERTIFIED BY THE SURVEYOR, AND SUBMITTED TO THE TOWN OF TIVERTON.
- 18. DEVIATIONS OR CHANGES FROM THESE PLANS WILL NOT BE ALLOWED UNLESS APPROVED BY THE PROJECT ENGINEER, APPROPRIATE AGENCY AND OWNER.
- 19. RELOCATION OF ANY UTILITIES SHALL BE AT THE OWNERS EXPENSE AND BE COMPLETED WITH THE PROPOSED UTILITY WORK. ALL UTILITY WORK SHALL BE COORDINATED WITH THE OWNER AND THE ENGINEER. THE OWNER AND THE ENGINEER SHALL BE NOTIFIED AS TO THE RELOCATION REQUIRED PRIOR TO THE START OF CONSTRUCTION.
- 20. AN APPROVED SET OF PLANS AND ALL APPLICABLE PERMITS MUST BE AVAILABLE AT THE CONSTRUCTION SITE AT ALL TIMES.
- 21. CONTRACTOR AGREES THAT HE/SHE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF THE CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT TO BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEERS HARMLESS FROM ANY AND ALL LIABILITY, REAL AND ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM "THE SOLE NEGLIGENCE OF THE OWNER OR PROJECT ENGINEER."
- 22. ALL TRAFFIC CONTROL SHALL CONFORM TO THE MANUAL FOR UNIFORM TRAFFIC CONTROL DEVICES LATEST EDITION INCLUDING ALL REVISIONS.
- 23. THERE ARE HYDRIC SOILS (P<sub>h</sub>) ON THE SUBJECT PROPERTY. THESE SOILS ARE LIMITED TO FLAGGED WETLANDS AND REGULATED PERIMETER WETLANDS. ALL SOILS WITHIN DEVELOPABLE AREAS ARE CLASSIFIED AS C<sub>2</sub>C (C<sub>2</sub>cat). THIS IS A WELL DRAINING HYDROLOGIC GROUP "B" SOIL.
- 24. PROPERTY IS NOT LOCATED WITHIN A PRIMARY WATERSHED PROTECTION OVERLAY DISTRICT.
- 25. PROPERTY IS NOT LOCATED WITH A CRMC JURISDICTIONAL AREA.
- 26. THE PROPOSED PROJECT WAS APPROVED BY RIDEM UNDER FILE NO. 21-0119 & RIPDES NO. RIR102184.
- 27. THE PROPERTY IS NOT LOCATED IN AN AREA DESIGNATED BY THE TOWN OR STATE FOR PURPOSES OF ENVIRONMENTAL PROTECTION OR NATURAL OR CULTURAL RESOURCE PROTECTION.
- 28. THE PROJECT IS NOT LOCATED ADJACENT TO A RIDOT STATE MAINTAINED ROADWAY.

**GRADING NOTES**

- 1. ADEQUATE PROVISIONS SHALL BE MADE TO PREVENT SURFACE WATERS FROM DAMAGING THE CUT FACE OF AN EXCAVATION OR THE SLOPED SURFACES OF A FILL. FURTHERMORE, ADEQUATE PROVISIONS SHALL BE MADE TO PREVENT SEDIMENT RUNOFF FROM LEAVING THE SITE.
- 2. ALL GRADED AREAS SHALL BE SODDERED OR PLANTED IMMEDIATELY AFTER THE GRUBBING WORK HAS BEEN COMPLETED.
- 3. THE TOWN SHALL BE INFORMED OF THE LOCATION OF THE DISPOSAL SITE, IF ANY, FOR THE PROJECT.
- 4. NO GRADING WORK SHALL BE DONE ON SATURDAYS, SUNDAYS AND HOLIDAYS AT ANY TIME WITHOUT PRIOR NOTICE TO THE MUNICIPALITY, PROVIDED SUCH GRADING WORK IS ALSO IN CONFORMANCE WITH THE COMMUNITY NOISE CONTROL STANDARDS.
- 5. THE LIMITS OF DISTURBANCE SHALL BE FLAGGED BEFORE THE COMMENCEMENT OF THE GRADING WORK.
- 6. ALL GRADING OPERATIONS SHALL BE PERFORMED IN CONFORMANCE WITH THE APPLICABLE PROVISIONS OF THE DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND THE MUNICIPALITY.
- 7. AT ALL TIMES, MEASURES TO CONTROL EROSION AND OTHER POLLUTANTS SHALL BE IN PLACE BEFORE GRADING WORK IS INITIATED.
- 8. TEMPORARY EROSION CONTROLS SHALL NOT BE REMOVED BEFORE PERMANENT EROSION CONTROLS ARE IN-PLACE AND ESTABLISHED.
- 9. IF THE GRADING WORK INVOLVES CONTAMINATED SOIL, THEN ALL GRADING WORK SHALL BE DONE IN CONFORMANCE WITH APPLICABLE STATE AND FEDERAL REQUIREMENTS.
- 10. NONCOMPLIANCE TO ANY OF THE ABOVE REQUIREMENTS SHALL MEAN IMMEDIATE SUSPENSION OF ALL WORK, AND REMEDIAL WORK SHALL COMMENCE IMMEDIATELY. ALL COSTS INCURRED SHALL BE BILLED TO THE VIOLATOR. FURTHERMORE, VIOLATORS SHALL BE SUBJECTED TO ADMINISTRATIVE, CIVIL AND/OR CRIMINAL PENALTIES.

**UTILITY NOTES**

- 1. THERE ARE NO NEW UTILITIES PROPOSED AS PART OF THIS PROJECT.
- 2. THERE ARE NO KNOWN UTILITIES IN THE AREA OF WORK.
- 3. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL ASSUMPTIONS, DEDUCTIONS, OR CONCLUSIONS HE/SHE MAY MAKE OR DERIVE FROM THE SUBSURFACE INFORMATION OR DATA FURNISHED ON THE PLANS. THE CONTRACTOR MUST SATISFY HIMSELF/HERSELF THROUGH HIS/HER OWN INVESTIGATIONS AS TO WHAT SUBSURFACE CONDITIONS ARE TO BE ENCOUNTERED.

**SOIL EROSION AND SEDIMENT CONTROL NOTES**

- 1. CONSTRUCTION SEQUENCE:
A. DO NOT BEGIN CONSTRUCTION UNTIL ALL LOCAL, STATE, AND FEDERAL PERMITS HAVE BEEN APPLIED FOR AND RECEIVED. THIS INCLUDES ALL PERMITS FROM APPLICABLE UTILITIES.
B. ALL CONSTRUCTION VEHICLES SHALL ENTER AND LEAVE THE SITE VIA THE PROPOSED CONSTRUCTION ENTRANCE CONFORMING TO THE DETAIL PROVIDED.
C. INSTALL SILT FENCES, SILT SACKS, CHECK DAMS, FILTER SOCKS, STRAW WATTLE AND/OR STRAW BALES AS INDICATED ON THE DRAWINGS TO CONTROL EROSION AND PREVENT SEDIMENT CONTAMINATION OF DOWNSTREAM AREAS PRIOR TO ANY EARTH MOVING ACTIVITIES. THE CONTRACTOR SHALL CONFIRM WITH THE TOWN BUILDING OFFICIAL/TOWN ENGINEER WHICH TYPE OF SEDIMENTATION BARRIERS ARE PREFERRED BY THE TOWN PRIOR TO INSTALLATION.
D. AREA OF PROPOSED OWTS SHALL BE FLAGGED AND DELINEATED WITH EROSION CONTROL BARRIERS AS SHOWN ON PLANS.
E. LIMITS OF CLEARING SHALL BE FLAGGED PRIOR TO THE REMOVAL OF ANY VEGETATION. REMOVE VEGETATION ONLY WHERE NECESSARY. ANY STUMPS TO BE GROUND OR DISPOSED OF OFF SITE.
F. EXCAVATE SAND FILTER AND DETENTION BASINS IN ACCORDANCE WITH THE PLANS AND ESTABLISH A TEMPORARY VEGETATIVE GROWTH THAT MEETS THE APPROVAL OF THE TOWN ENGINEER/BUILDING OFFICIAL. THESE DEPRESSIONS SHALL BE USED AS TEMPORARY SEDIMENT TRAPS DURING CONSTRUCTION. TEMPORARY STONE WEIRS SHALL BE CONSTRUCTED IN THE DETENTION BASIN EXCAVATIONS IN THE VICINITY OF THE FUTURE CONCRETE WEIRS.
G. ROUGH GRADE SITE AND CONSTRUCT BOULDER WALLS AND REDI-WALL RETAINING WALLS.
H. CONSTRUCT SWALES AND INSTALL DRIVEWAY BASED MATERIAL.
I. CONSTRUCT FACILITY AND SUBSURFACE SAND FILTER AND DETENTION SYSTEM.
J. FINAL GRADE SITE AND PAVE AREAS AROUND FACILITY AND PORTION OF ENTRY DRIVEWAY.
K. PLACE COMPACTED GRAVEL SURFACES IN THE LIMITS OF THE STORAGE FACILITY AS SHOWN.
L. REMOVE SEDIMENTS FROM SAND FILTER AND DETENTION BASIN EXCAVATIONS. OVER-EXCAVATE AND SCARIFY THE BOTTOMS OF THESE DEVICES TO RESTORE INFILTRATION CAPACITY. INSTALL SAND MEDIA AND COMPLETE SAND FILTER AND DETENTION BASIN CONSTRUCTION.
M. ESTABLISH FINAL VEGETATIVE GROWTH ON ALL DISTURBED AREAS NOT WITHIN GRAVEL STORAGE AREA.
- 2. NOTES:
A. DURING CONSTRUCTION AND THEREAFTER, EROSION CONTROL MEASURES ARE TO BE IMPLEMENTED AS NOTED. ONLY THE SMALLEST PRACTICAL AREA OF LAND SHOULD BE EXPOSED AT ANY ONE TIME DURING DEVELOPMENT. WHEN LAND IS EXPOSED DURING DEVELOPMENT, THE EXPOSURE SHOULD BE KEPT TO THE SHORTEST PRACTICAL PERIOD OF TIME.
B. AREA OF PROPOSED OWTS SHALL NOT BE USED FOR STOCKPILES OR STORAGE OF MATERIALS OR EQUIPMENT.
C. ANY DISTURBED AREAS WHICH ARE TO BE LEFT TEMPORARILY AND WHICH WILL BE REGRADED LATER DURING CONSTRUCTION SHALL BE STABILIZED WITHIN FOURTEEN DAYS IN ACCORDANCE WITH TEMPORARY MEASURES IN THE VEGETATIVE PRACTICE NOTES.
D. AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED, AND STRIPPED OF TOP SOIL TO REMOVE VEGETATION, ROOTS, AND ANY OTHER OBJECTIONABLE MATERIAL.
E. ALL FILL SHALL BE COMPACTED TO 95% MAX. DENSITY TO REDUCE EROSION, SLIPPAGE, SETTLEMENT SUBSIDENCE, OR OTHER RELATED PROBLEMS.
F. FILL INTENDED TO SUPPORT ANY POTENTIAL BUILDING STRUCTURES AND CONDUITS, ETC., SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL CODES AND SPECIFICATIONS.
G. ALL FILL SHALL BE PLACED AND COMPACTED TO 95% MAX. DENSITY IN LAYERS NOT TO EXCEED 12" IN THICKNESS FILLS.
H. FILL MATERIAL SHALL BE FREE OF BRUSH, RUBBISH, ROCKS, LOGS, STUMPS, BUILDING DEBRIS, AND OTHER OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
I. FROZEN, SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIAL SHALL NOT BE INCORPORATED INTO FILLS.
J. FILL SHALL NOT BE PLACED ON A FROZEN SUBGRADE.
K. SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER.
L. ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 14 DAYS OF FINISH GRADING IN ACCORDANCE WITH THE VEGETATIVE PRACTICE NOTES.
M. REMOVE TEMPORARY EROSION CONTROL MEASURES ONCE UPSLOPE AREAS HAVE BEEN PERMANENTLY STABILIZED AND VEGETATED AREAS HAVE RECEIVED TWO MOWINGS.
- 3. VEGETATIVE PRACTICE:
PERMANENT MEASURES:
A. SLOPES SHALL NOT BE STEEPER THAN 1 VERTICAL TO 3 HORIZONTAL UNLESS OTHERWISE SPECIFIED.
B. LOAM AND SEED REQUIREMENTS ARE SPECIFIED IN RIDOT L01 & L02.
C. A MINIMUM OF 4 INCHES OF LOAM SHALL BE INSTALLED. THE LOAM SHALL BE GRADED TO A SMOOTH CONDITION AND STONES AND OTHER OBJECTS LARGER THAN 2 INCHES SHALL BE REMOVED.
TEMPORARY MEASURES (FOR TEMPORARY PROTECTION OF DISTURBED AREAS)
D. LIMESTONE AND FERTILIZER SHALL BE APPLIED AT THE FOLLOWING RATE:
D.1. LIMESTONE: 3 TONS/ACRE
D.2. FERTILIZER: (10-10-10): 600 LBS/ACRE
E. SEED SHALL BE APPLIED AT THE FOLLOWING RATE:
E.1. WINTER RYE: 100 LBS/ACRE
F. STRAW MULCH SHALL BE APPLIED AT THE RATE OF 1.5 TONS/ACRE.
- 4. MAINTENANCE
DURING THE PERIOD OF CONSTRUCTION AND/OR UNTIL LONG TERM VEGETATION IS ESTABLISHED, THE EROSION CONTROL MEASURES SHALL BE INSPECTED.
A. AT A MINIMUM THE SILT FENCING, STRAW BALES AND FILTER SOCK BARRIERS SHALL BE INSPECTED AND REPAIRED ONCE A WEEK AND /OR IMMEDIATELY FOLLOWING A SIGNIFICANT RAINFALL OR SNOWMELT. SEDIMENT TRAPPED BEHIND THE BARRIERS SHALL BE EXCAVATED WHEN IT REACHES A DEPTH OF 6" AND REGRADED ON THE SITE.
B. EROSION CONTROL BLANKETS SHALL BE INSPECTED ON A WEEKLY BASIS.
C. STONE RIPRAP SHALL BE INSPECTED MONTHLY FOR EXCESSIVE ACCUMULATION OF SEDIMENT. IT MAY BE NECESSARY TO REMOVE STONES, EXCAVATE SEDIMENT, AND REPLACE STONES.
D. IF INSTALLED, THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE REMOVED PRIOR TO PAVING. DURING CONSTRUCTION THE ENTRANCE SHALL BE INSPECTED WEEKLY, AND RE-ESTABLISHED AS NECESSARY.
E. SEEDED AREAS WILL BE FERTILIZED AND RESEDED AS NECESSARY TO INSURE ESTABLISHMENT OF A VEGETATIVE GROWTH THAT MEETS THE APPROVAL OF THE TOWN ENGINEER.

**DRAINAGE NOTES**

- 1. ALL SEDIMENT FOREBAY WEIRS SHALL BE STONE PER THE DETAILS PROVIDED.
- 2. ALL SAND FILTER AND DETENTION BASIN WEIRS SHALL BE CAST CONCRETE PER THE DETAILS PROVIDED.
- 3. BASIN LOW FLOW OUTLET STRUCTURES SHALL BE 12" ADS DRAIN BASINS. ALL PIPE SHALL BE SCHEDULE 40 PVC.
- 4. SWALES, SAND FILTER, AND DETENTION BASINS SHALL BE CONSTRUCTED ACCORDING TO THE DETAILS PROVIDED. ANY DISCREPANCIES OR INCONGRUENCIES WITH THE EXISTING SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER PRIOR TO CONSTRUCTION.
- 5. SUBSURFACE STORMWATER SYSTEM ASSOCIATED WITH FACILITY SHALL BE CONSTRUCTED ACCORDING TO THE DETAILS PROVIDED. ANY DISCREPANCIES OR INCONGRUENCIES WITH THE EXISTING SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER PRIOR TO CONSTRUCTION.

**PUBLIC HEALTH SAFETY AND CONVENIENCE NOTES**

- 1. CONTRACTOR SHALL OBSERVE AND COMPLY WITH ALL FEDERAL, STATE, AND LOCAL LAWS REQUIRED FOR THE PROTECTION OF PUBLIC HEALTH, SAFETY AND ENVIRONMENTAL QUALITY.
- 2. THE CONTRACTOR AT HIS/HER EXPENSE, SHALL KEEP THE PROJECT AREA AND SURROUNDING AREA FREE FROM RUBBISH, DUST, NOISE, EROSION, ETC. THE WORK SHALL BE DONE IN CONFORMANCE WITH THE AIR AND WATER POLLUTION CONTROL STANDARDS AND REGULATIONS OF ALL APPLICABLE FEDERAL, STATE AND LOCAL AGENCIES.
- 3. NO CONTRACTOR SHALL PERFORM ANY CONSTRUCTION OPERATION SO AS TO CAUSE FALLING ROCKS, SILT OR DEBRIS IN ANY FORM TO FALL, SLIDE OR FLOW ONTO ADJOINING PROPERTIES, STREETS OR NATURAL WATERCOURSES. SHOULD SUCH VIOLATIONS OCCUR, THE CONTRACTOR MAY BE CITED AND THE CONTRACTOR SHALL IMMEDIATELY MAKE ALL REMEDIAL ACTIONS AS NECESSARY.
- 4. THE CONTRACTOR SHALL PROVIDE, INSTALL AND MAINTAIN ALL NECESSARY SIGNS, LIGHTS, FLARES, BARRICADES, MARKERS, CONES, AND OTHER PROTECTIVE FACILITIES AND SHALL TAKE ALL NECESSARY PRECAUTIONS FOR THE PROTECTION, CONVENIENCE AND SAFETY OF THE PUBLIC.

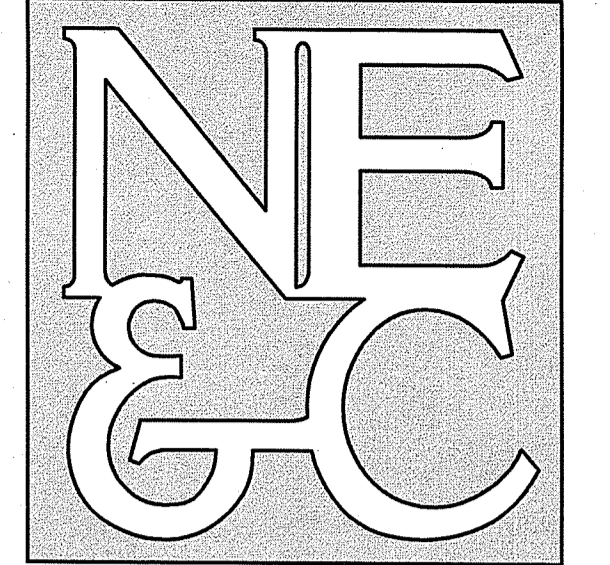
**STORMWATER MAINTENANCE NOTES**

- 1. REFER TO OPERATIONS AND MAINTENANCE DOCUMENT FOR MANAGEMENT OF STORMWATER SYSTEM FOLLOWING CONSTRUCTION.
- 2. MAINTENANCE OF THE STORMWATER SYSTEM DURING CONSTRUCTION OF THE PROJECT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- 3. UPON COMPLETION OF THE CONSTRUCTION, MAINTENANCE OF THE STORMWATER SYSTEM SHALL BECOME THE RESPONSIBILITY OF THE OWNERS.

**ABBREVIATIONS**

AC	ADJ	ASPHALT PAVEMENT
AP	ARCH	ADJACENT
AP	ACCESS	ASSESSOR'S PLAT
ARCH	BC	ACCESSIBLE
BH	BIT	ARCHITECT
CLR	CMP	BOTTOM OF CURB
CMU	CMU	BORING HOLE
CONC	CONC	BITUMINOUS
CONN	COTT	CLEARANCE
COTG	CF	CORRUGATED METAL PIPE
CF	DEMO	CONCRETE MASONRY UNIT
DEMO	DI	CONCRETE
DI	DIA	CONNECT
DIA	DMH	CLEAN OUT TO GRADE
DMH	DS	CUBIC FOOT
DS	DWG	DEMOLISH
DWG	E	DRAIN INLET
E	ELEV/EL	DIAMETER
ELEV/EL	EMH	DRAIN MANHOLE
EMH	EOP	DRAIN MANHOLE
EOP	EQ	DROP PIPE
EQ	EXIST	DOWN SPOUT
EXIST	EXP	DRAWING
EXP	FG	ELECTRIC
FG	FH	ELEVATION
FH	FT	ELECTRIC MANHOLE
FT	G	EDGE OF PAVEMENT
G	GAL	EQUAL
GAL	GV	EXISTING
GV	INV	EXPANSION
INV	JT	FINISH FLOOR ELEVATION
JT	LAND	FINISHED GRADE
LAND	NTS	FIRE HYDRANT
NTS	MAX	FEET
MAX	MECH	GAS
MECH	MIN	GALLON
MIN	PAVT	GATE VALVE
PAVT	PVC	INVERT
PVC	R	JOINT
R	RC	LENGTH
RC	RECONN	LANDSCAPE
RECONN	RIBB	NOT TO SCALE
RIBB	RIDOT	MAXIMUM
RIDOT	ROW	MECHANICAL
ROW	S	MINIMUM
S	SF	PAVEMENT
SF	SHT	POLYVINYLCHLORIDE
SHT	SMH	RADIUS
SMH	STA	REINFORCED CONCRETE
STA	STRUCT	RECONNECT
STRUCT	TC	RHODE ISLAND HIGHWAY BOUND
TC	TOP	RHODE ISLAND DEPARTMENT OF TRANSPORTATION
TOP	UGT	RIGHT OF WAY
UGT	TYP	SLOPE, SEWER
TYP	W	SQUARE FEET
W	W	SHEET
W	W	SEWER MANHOLE
W	W	STATION
W	W	STRUCTURAL
W	W	TOP OF CURB
W	W	TOP OF SURFACE
W	W	UNDERGROUND TELEPHONE
W	W	TYPICAL
W	W	WATER
W	W	WITH
W	W	WELDED WIRE MESH

**NORTHEAST ENGINEERS & CONSULTANTS, INC.**



A KNOWLEDGE CORPORATION®

6 VALLEY ROAD MIDDLETOWN RHODE ISLAND 02842  
PHONE (401) 849-0810 FAX (401) 846-4169  
WWW.NORTHEASTENGINEERS.COM

SITE/CIVIL  
LAND PLANNING  
WATERFRONT  
SURVEYING  
GEOTECHNICAL  
ENVIRONMENTAL  
TRANSPORTATION  
STRUCTURAL

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM

APPROVED WITH CONDITIONS AS  
SPECIFIED IN THE LETTER OF APPROVAL

DATED: FEB 05 2025 FILE #: 21-0119  
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5	RIDEM PERMIT MODIFICATION	01OCT24	
4	FINAL PLAN REVISIONS	08JUN22	
3	TOWN REVIEW COMMENTS	08MAR22	
2	REVISIONS FOR TOWN SUBMISSION	02DEC21	
1	RIDEM REVISIONS	28AUG21	

No.	Revision	Date	App.
Design By:	JJR	Drawn by:	JJR
Scale:	N/A	Date:	26APR21
Project Title:			

**ECC CONSTRUCTION FACILITY AND STORAGE YARD**  
A.P. 105 LOT 801  
EAGLEVILLE ROAD  
TIVERTON  
RHODE ISLAND

Applicant:  
ECC EAGLEVILLE, LLC  
202 CHASE ROAD  
PORTSMOUTH, RI 02871

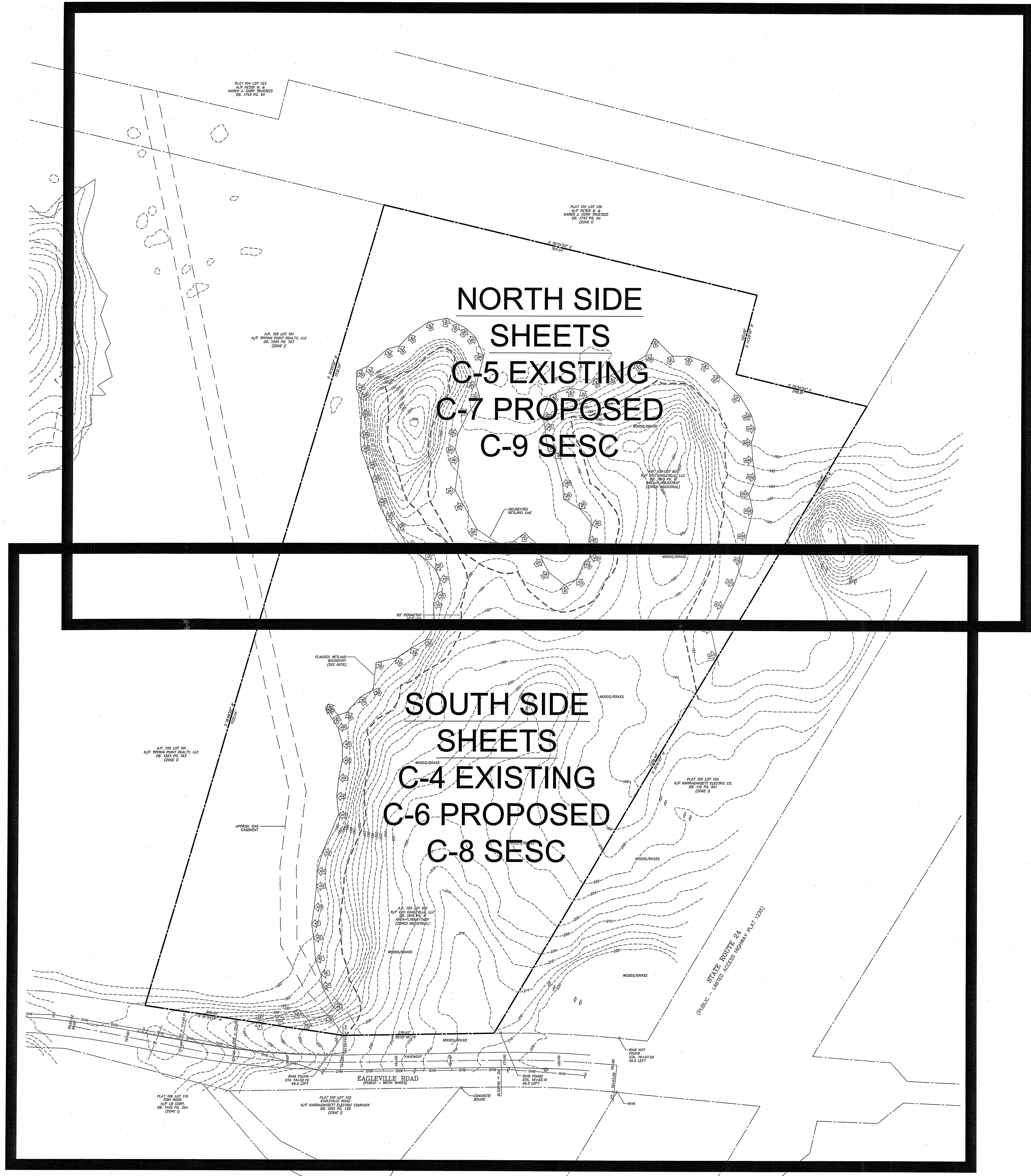
Issued for:  
PERMITTING

Drawing Title:  
PROJECT NOTES

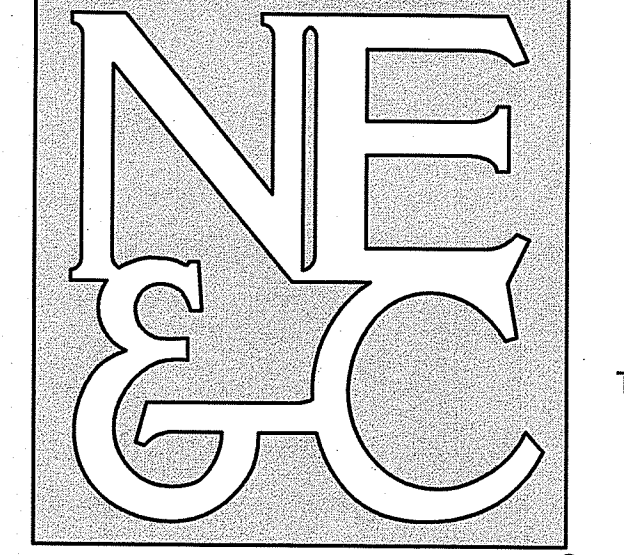
OCT 25 2024

Drawing Number: C-2
Sheet 2 of 13
Project Number: 20099.0
Survey Index: -

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- TRANSPORTATION
- STRUCTURAL

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM

APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL  
DATED: FEB 05 2025 FILE # 21-019

NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL APPROVAL PLANS MUST BE AT CONSTRUCTION SITE

*Andy Clapton*

NOTES:

1. REFER TO COMPLETE PROJECT NOTES ON SHEET C-2.

No.	Revision	Date	App.
3	RIDEM PERMIT MODIFICATION	01OCT24	
2	FINAL PLAN REVISIONS	09JUN22	
1	RIDEM REVISIONS	26AUG21	

Designed By: JJR Drawn by: JJR Checked by: GES  
Scale: 1"=100' Date: 26APR21

Project Title:  
**ECC CONSTRUCTION FACILITY AND STORAGE YARD**  
A.P. 105 LOT 801  
EAGLEVILLE ROAD  
TIVERTON  
RHODE ISLAND

Applicant:  
ECC EAGLEVILLE, LLC  
202 CHASE ROAD  
PORTSMOUTH, RI 02871

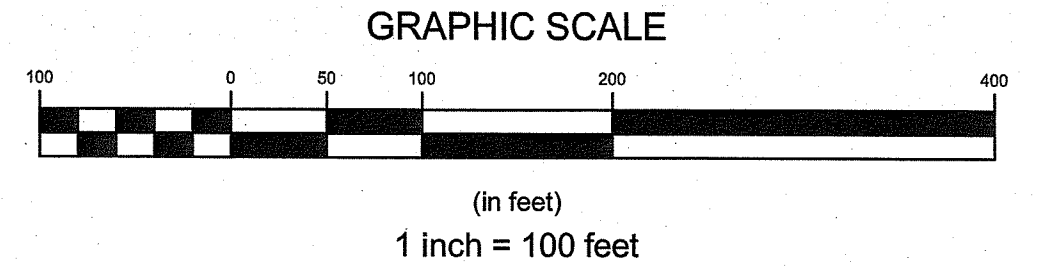
Issued for:  
PERMITTING

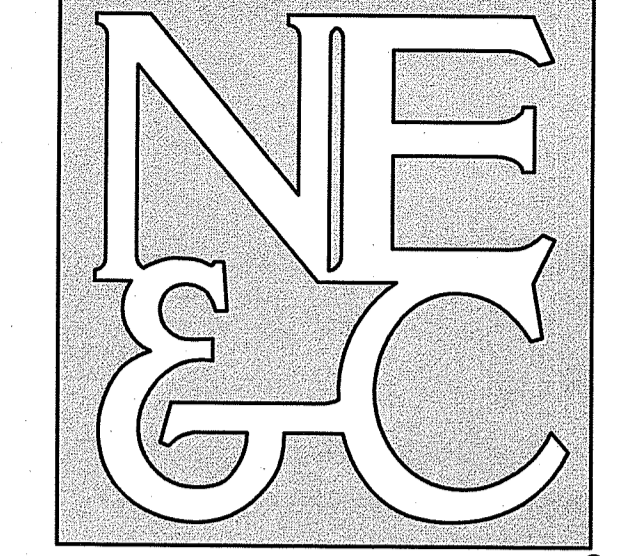
Drawing Title:  
**INDEX PLAN**

OCT 26 2024

	Drawing Number: <b>C-3</b>
	Sheet <b>3</b> of <b>13</b>
	Project Number: <b>20099.0</b>
	Survey Index: -

OWNERSHIP AND USE OF DOCUMENTS: DRAWINGS AND SPECIFICATIONS, AS INSTRUMENTS OF PROFESSIONAL SERVICE, ARE AND SHALL REMAIN THE PROPERTY OF THE ENGINEER. THESE DOCUMENTS ARE NOT TO BE USED, IN WHOLE OR PART, FOR ANY OTHER PROJECTS OR PURPOSES, OR BY ANY OTHER PARTIES, THAN THOSE PROPERLY AUTHORIZED BY CONTRACT, WITHOUT THE EXPRESS AUTHORIZATION OF THE ENGINEER.





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OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS AS  
SPECIFIED IN THE LETTER OF APPROVAL  
DATED FEB 05 2025 FILE # 21-019  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

LEGEND:

	PROPERTY LINE
	ABUTTER PROPERTY LINE
	TOPOGRAPHIC CONTOUR
	FRESHWATER WETLAND BOUNDARY
	FRESHWATER WETLAND FLAG
	50' PERIMETER WETLAND BOUNDARY
	UTILITY EASEMENT
	GUARDRAIL
	BUILDING SETBACK LINE
	OVERHEAD WIRE
	SOIL BOUNDARY LINE
	UTILITY POLE
	TEST PIT LOCATION

No.	Revision	Date	App.
6	RIDEM PERMIT MODIFICATION	01OCT24	
5	FINAL PLAN REVISIONS	09JUN22	
4	TOWN REVIEW COMMENTS	31MAR22	
3	TOWN REVIEW COMMENTS	08MAR22	
2	REVISIONS FOR TOWN SUBMISSION	02DEC21	
1	RIDEM REVISIONS	26AUG21	

Designed By: JJR Drawn by: JJR Checked by: GES  
Scale: 1"=50' Date: 26APR21

**ECC CONSTRUCTION FACILITY AND STORAGE YARD**  
A.P. 105 LOT 601  
EAGLEVILLE ROAD  
TIVERTON  
RHODE ISLAND

Applicant:  
**ECC EAGLEVILLE, LLC**  
202 CHASE ROAD  
PORTSMOUTH, RI 02871

Issued for:  
**PERMITTING**

Drawing Title:  
**EXISTING CONDITIONS**  
OCT 25 2024

Drawing Number:  
**C-4**

Sheet **4** of **13**

Project Number:  
**20099.0**

Survey Index:

OWNERSHIP AND USE OF DOCUMENTS, DRAWINGS AND SPECIFICATIONS, AS INSTRUMENTS OF PROFESSIONAL SERVICE, ARE AND SHALL REMAIN THE PROPERTY OF THE ENGINEER. THESE DOCUMENTS ARE NOT TO BE USED, IN WHOLE OR PART, FOR ANY OTHER PROJECTS OR PURPOSES, OR BY ANY OTHER PARTIES, THAN THOSE PROPERLY AUTHORIZED BY CONTRACT, WITHOUT THE EXPRESS AUTHORIZATION OF THE ENGINEER.

- NOTES:
- EXISTING CONDITIONS TAKEN FROM PLANS ENTITLED "MINOR SUBDIVISION, EAGLEVILLE ROAD SUBDIVISION, EAGLEVILLE ROAD, A.P. 105 LOT 101, TIVERTON, RI 02878", PREPARED BY MOUNT HOPE ENGINEERING, INC. LAST REVISED 5/23/19.
  - PROPERTY LINE INFORMATION TAKEN FROM PLAN "ECC CONSTRUCTION STORAGE YARD A.P. 105 LOT 601, EAGLEVILLE ROAD, TIVERTON, RHODE ISLAND, LIMITED CONTENT BOUNDARY SURVEY" PREPARED BY NESC DATED 09MAR22.
  - BASE OF ELEVATIONS IS ASSUMED.
  - PROPERTIES ARE ZONED "I" (INDUSTRIAL), ABUTTING PROPERTIES ARE ALSO ZONED "I".
  - NORTH ARROW AND BASIS OF BEARING IS NAV83.
  - PER PLAN IN REFERENCE #1, WETLANDS WERE DELINEATED BY EDWARD J. AVIZINIS ON 11-02-2016. LOCATIONS SHOWN MADE BY MT HOPE ENGINEERING WITH TRIMBLE GEO-XT SUBMETER GPS ON 11-17-201.
  - REFER TO SHEET 2 FOR COMPLETE NOTES.

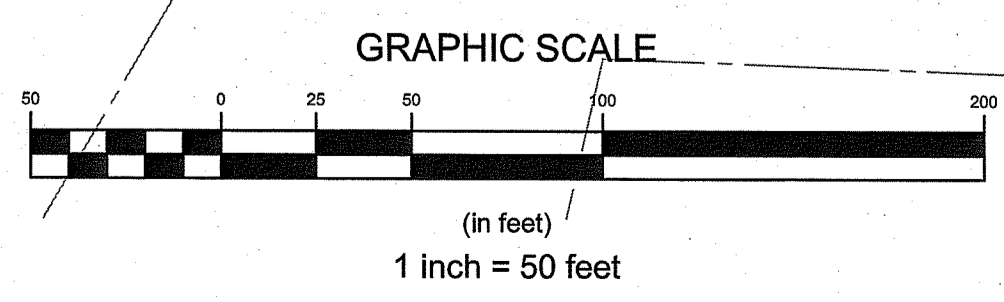
A.P. 105 LOT 101  
N/F TIPPING POINT REALTY, LLC  
DB. 1554 PG. 163  
(ZONE I)

A.P. 105 LOT 601  
N/F ECC EAGLEVILLE, LLC  
DB. 1815 PG. 6  
AREA=1,166,677±SQ'  
(ZONED INDUSTRIAL)

PLAT 105 LOT 104  
N/F NARRAGANSETT ELECTRIC CO.  
DB. 112 PG. 861  
(ZONE I)



PURPOSE:  
THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING PROPERTY LINES AND SITE FEATURES OF THE SUBJECT PROPERTY AS TAKEN FROM A CLASS I BOUNDARY SURVEY AND A CLASS V-3 TOPOGRAPHIC SURVEY PREPARED BY OTHERS.



FLAT 104 LOT 123  
N/F PETER W. &  
KAREN J. CORR TRUSTEES  
DB. 1743 PG. 94

FLAT 104 LOT 126  
N/F PETER W. &  
KAREN J. CORR TRUSTEES  
DB. 1743 PG. 94  
(ZONE 1)

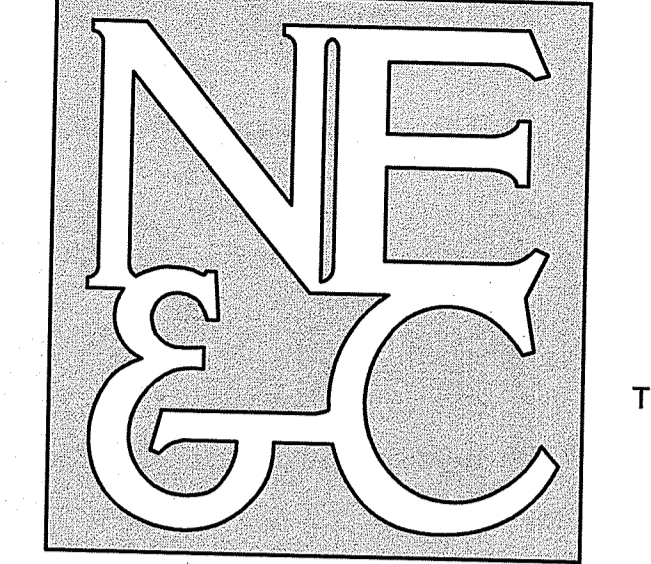
A.P. 105 LOT 101  
N/F TIPPING POINT REALTY, LLC  
DB. 1554 PG. 183  
(ZONE 1)

A.P. 105 LOT 601  
N/F ECC EAGLEVILLE, LLC  
DB. 1815 PG. 67  
AREA=1,166,677 SF  
(ZONED INDUSTRIAL)

**NOTES:**

- EXISTING CONDITIONS TAKEN FROM PLANS ENTITLED "MINOR SUBDIVISION, EAGLEVILLE ROAD" SUBDIVISION, EAGLEVILLE ROAD, A.P. 105 LOT 101, TIVERTON, RI 02878, PREPARED BY MOUNT HOPE ENGINEERING, INC. LAST REVISED 5/23/19.
- PROPERTY LINE INFORMATION TAKEN FROM PLAN "ECC CONSTRUCTION STORAGE YARD A.P. 105 LOT 601, EAGLEVILLE ROAD, TIVERTON, RHODE ISLAND, LIMITED CONTENT BOUNDARY SURVEY" PREPARED BY NE&C DATED 08MAR22.
- BASE OF ELEVATIONS IS ASSUMED.
- PROPERTIES ARE ZONED "I" (INDUSTRIAL). ABUTTING PROPERTIES ARE ALSO ZONED "I".
- NORTH ARROW AND BASIS OF BEARING IS NAV83.
- PER PLAN IN REFERENCE #1, WETLANDS WERE DELINEATED BY EDWARD J. AVIZINIS ON 11-02-2016. LOCATIONS SHOWN MADE BY MT HOPE ENGINEERING WITH TRIMBLE GEO-CX2 SUBMETER GPS ON 11-17-201.
- REFER TO SHEET 2 FOR COMPLETE NOTES.

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OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM

APPROVED WITH CONDITIONS AS  
SPECIFIED IN THE LETTER OF APPROVAL  
DATED: FEB 05 2025 FILE #: 21-019  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

**LEGEND:**

- PROPERTY LINE
- - - ABUTTER PROPERTY LINE
- - - TOPOGRAPHIC CONTOUR
- - - FRESHWATER WETLAND BOUNDARY
- ◀ FRESHWATER WETLAND FLAG
- - - 50' PERIMETER WETLAND BOUNDARY
- - - UTILITY EASEMENT
- - - GUARDRAIL
- - - BUILDING SETBACK LINE
- - - OVERHEAD WIRE
- - - SOIL BOUNDARY LINE
- - - UTILITY POLE
- ⊕ TEST PIT LOCATION

**PURPOSE:**

THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING PROPERTY LINES AND SITE FEATURES OF THE SUBJECT PROPERTY AS TAKEN FROM A CLASS I BOUNDARY SURVEY AND A CLASS V-3 TOPOGRAPHIC SURVEY PREPARED BY OTHERS.

6	RIDEM PERMIT MODIFICATION	01OCT24
5	FINAL PLAN REVISIONS	06JUN22
4	TOWN REVIEW COMMENTS	31MAR22
3	TOWN REVIEW COMMENTS	08MAR22
2	REVISIONS FOR TOWN SUBMISSION	02DEC21
1	RIDEM REVISIONS	26AUG21
No.	Revision	Date
Designed By:	JJR	Drawn by: JJR
Checked by:	GES	Date:
Scale:	1"=50'	Date:
Project Title:	26APR21	

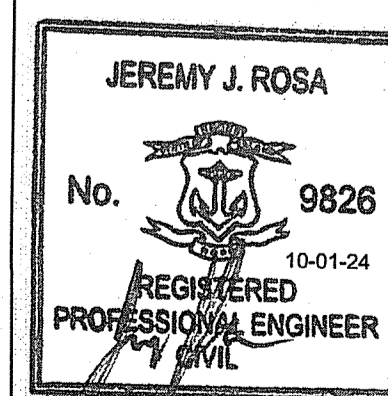
**ECC CONSTRUCTION  
FACILITY AND STORAGE YARD**  
A.P. 105 LOT 601  
EAGLEVILLE ROAD  
TIVERTON  
RHODE ISLAND

Applicant:  
**ECC EAGLEVILLE, LLC**  
202 CHASE ROAD  
PORTSMOUTH, RI 02871

Issued for:  
**PERMITTING**

Drawing Title:  
**EXISTING CONDITIONS**

OCT 25 2024



Drawing Number:

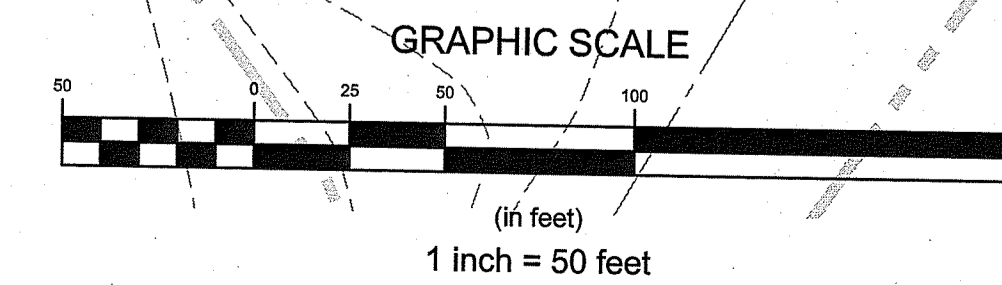
**C-5**

Sheet **5** of 13

Project Number:  
**20099.0**

Survey Index:

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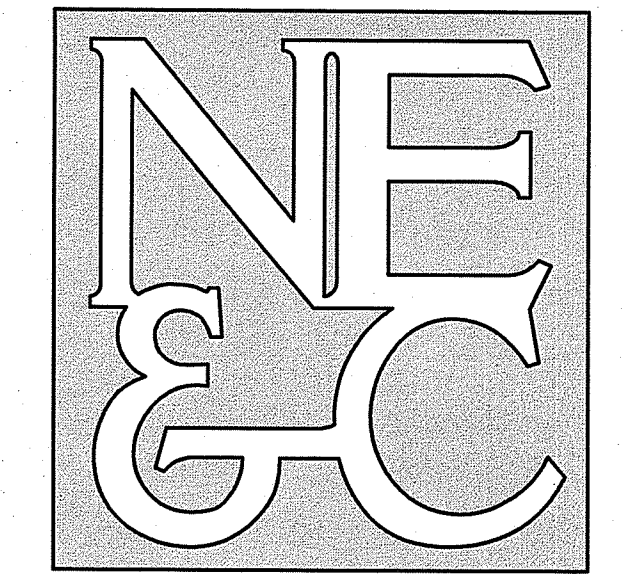


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FRESHWATER WETLANDS PROGRAM

APPROVED WITH CONDITIONS AS  
SPECIFIED IN THE LETTER OF APPROVAL  
DATED: FEB 05 2025 FILE # 21-0119

NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

LEGEND:

	PROPERTY LINE
	ABUTTER PROPERTY LINE
	TOPOGRAPHIC CONTOUR
	FRESHWATER WETLAND BOUNDARY
	FRESHWATER WETLAND FLAG
	50' PERIMETER WETLAND BOUNDARY
	UTILITY EASEMENT
	GUARDRAIL
	BUILDING SETBACK LINE
	OVERHEAD WIRE
	SOIL BOUNDARY LINE
	UTILITY POLE
	TEST PIT LOCATION
	PROPOSED TOPOGRAPHIC CONTOUR
	PROPOSED SETBACK LINE
	PROPOSED DRAIN LINE
	PROPOSED DRAIN MANHOLE

NOTES:  
1. REFER TO COMPLETE PROJECT NOTES ON SHEET C-2.

No.	Revision	Date	App.
5	RIDEM PERMIT MODIFICATION	01OCT24	
4	FINAL PLAN REVISIONS	08JUN22	
3	TOWN REVISIONS	31MAR22	
2	TOWN REVISIONS	08MAR22	
1	RIDEM REVISIONS	26AUG21	

Designed By: **JJR** Drawn by: **JJR** Checked by: **GES**  
Scale: 1"=50' Date: 26APR21

Project Title:  
**ECC CONSTRUCTION  
FACILITY AND STORAGE YARD**  
A.P. 105 LOT 601  
EAGLEVILLE ROAD  
TIVERTON  
RHODE ISLAND

Client/Owner:  
**ECC EAGLEVILLE, LLC**  
202 CHASE ROAD  
PORTSMOUTH, RI 02871

Issued for:  
**PERMITTING**

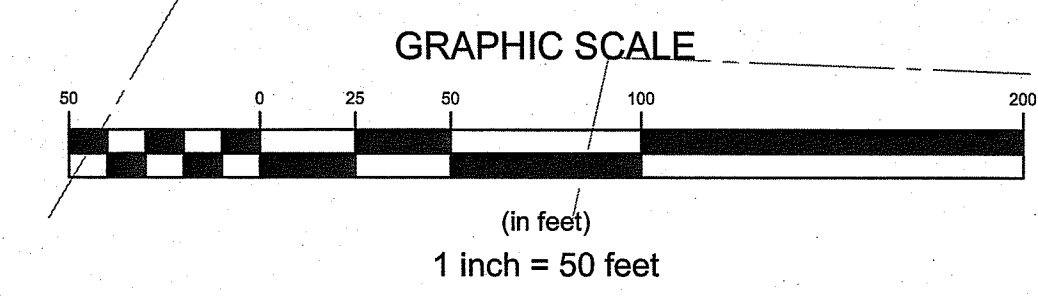
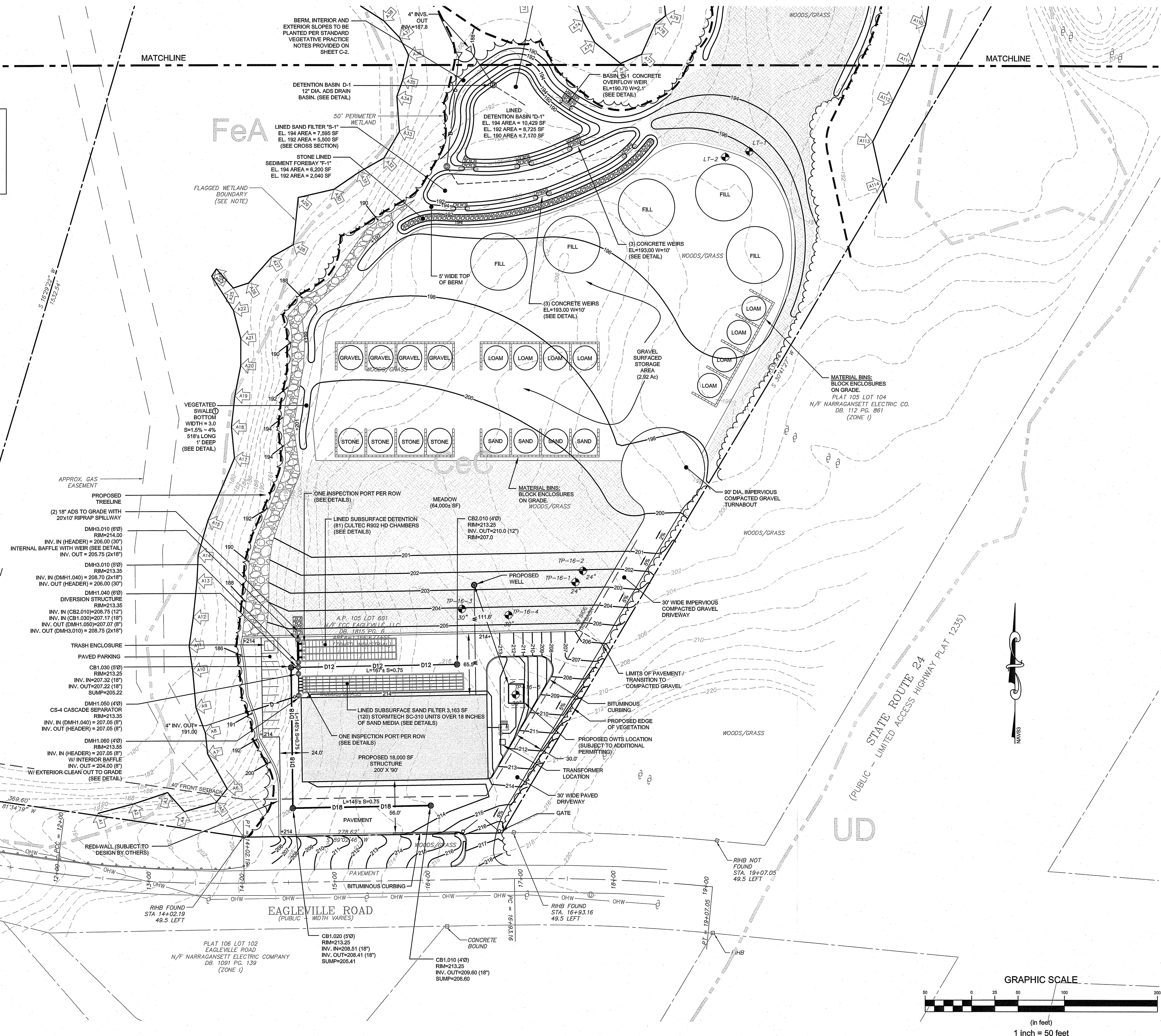
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**PROPOSED CONDITIONS**  
OCT 08 2024

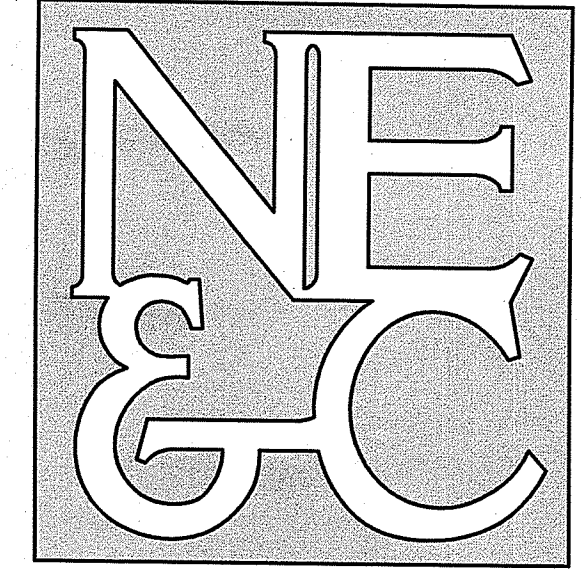
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	Sheet <b>6</b> of <b>13</b>
	Project Number: <b>20099.0</b>
	Survey Index:

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**TOWN OF TIVERTON ZONING REGULATIONS**  
DISTRICT: I - INDUSTRIAL  
FRONTAGE: 150' MIN  
SETBACKS:  
FRONT: 40'  
SIDE: 35'  
REAR: 80'  
AREA: 40,000 sq ft  
LOT COVERAGE: 50%  
\* FOR PERMITTED OR SPECIAL USE

A.P. 105 LOT 101  
N/F TIPPING POINT REALTY, LLC  
DB. 1554 PG. 163  
(ZONE 1)





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OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM

APPROVED WITH CONDITIONS AS  
SPECIFIED IN THE LETTER OF APPROVAL

LEGEND: DATED: FEB 05 2025 FILE #: 21-0119  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

- 200 TOPOGRAPHIC CONTOUR
- FRESHWATER WETLAND BOUNDARY
- FRESHWATER WETLAND FLAG
- 50' PERIMETER WETLAND BOUNDARY
- UTILITY EASEMENT
- GUARDRAIL
- BUILDING SETBACK LINE
- OHW OVERHEARD WIRE
- SOIL BOUNDARY LINE
- UTILITY POLE
- TEST PIT LOCATION
- 190 PROPOSED TOPOGRAPHIC CONTOUR
- PROPOSED SETBACK LINE
- PROPOSED DRAIN LINE
- PROPOSED DRAIN MANHOLE

NOTES:

- REFER TO COMPLETE PROJECT NOTES ON SHEET C-2.

No.	Revision	Date	App.
5	RIDEM PERMIT MODIFICATION	01OCT24	
4	FINAL PLAN REVISIONS	08JUN22	
3	TOWN REVISIONS	31MAR22	
2	TOWN REVISIONS	08MAR22	
1	RIDEM REVISIONS	28AUG21	

Designed By: JJR Drawn by: JJR Checked by: GES  
Scale: 1"=50' Date: 26APR21

Project Title:  
**ECC CONSTRUCTION FACILITY AND STORAGE YARD**  
A.P. 105 LOT 601  
EAGLEVILLE ROAD  
TIVERTON  
RHODE ISLAND

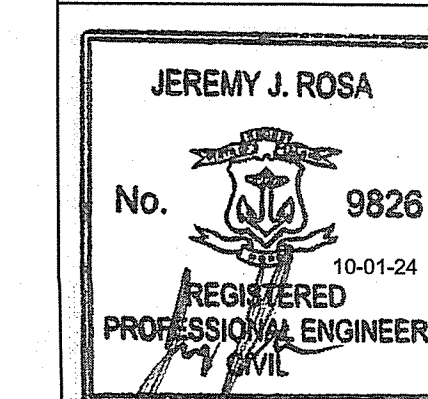
Client/Owner:  
ECC EAGLEVILLE, LLC  
202 CHASE ROAD  
PORTSMOUTH, RI 02871

Issued for:  
PERMITTING

Drawing Title:  
**PROPOSED CONDITIONS**

OCT 05 2024

Drawing Number: <b>C-7</b>
Sheet <b>7</b> of <b>13</b>
Project Number: <b>20099.0</b>
Survey Index:



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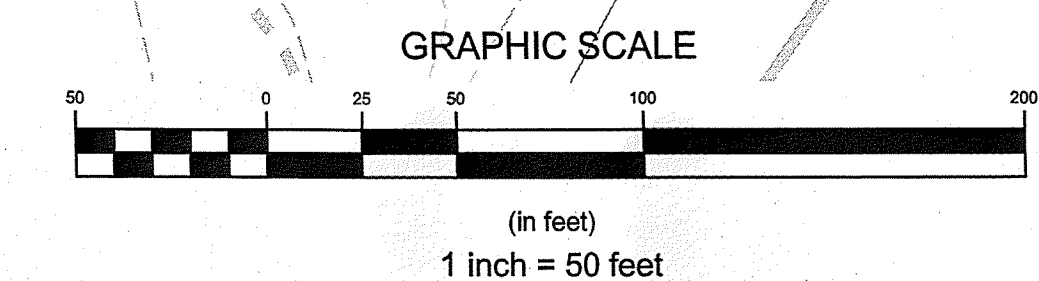
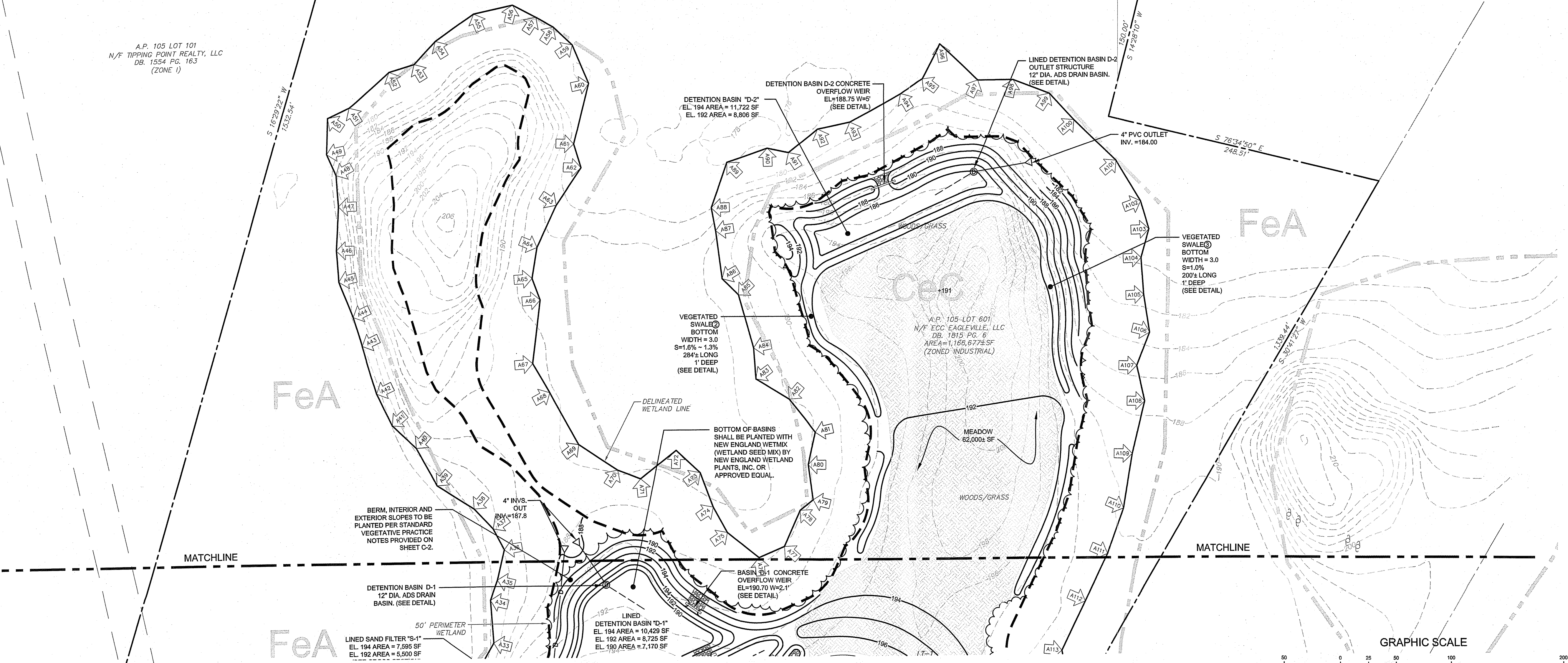
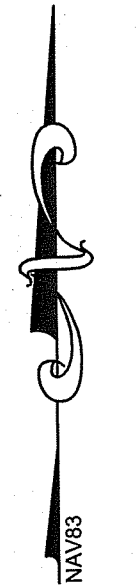
PLAT 104 LOT 123  
N/F PETER W. &  
KAREN J. CORR TRUSTEES  
DB. 1743 PG. 94

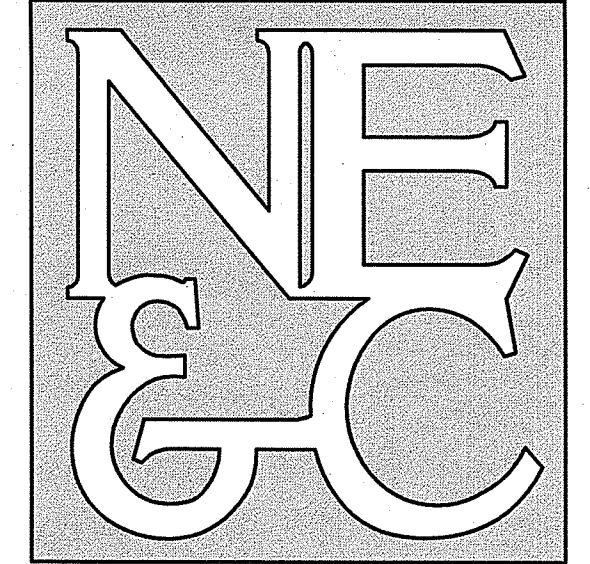
PLAT 104 LOT 126  
N/F PETER W. &  
KAREN J. CORR TRUSTEES  
DB. 1743 PG. 94  
(ZONE I)

A.P. 105 LOT 101  
N/F TIPPING POINT REALTY, LLC  
DB. 1554 PG. 163  
(ZONE I)

A.P. 105 LOT 601  
N/F ECC EAGLEVILLE, LLC  
DB. 1815 PG. 5  
AREA = 1,158,673 SF  
(ZONED INDUSTRIAL)

**TOWN OF TIVERTON ZONING REGULATIONS**  
DISTRICT: I - INDUSTRIAL  
FRONTAGE: 150' MIN  
SETBACKS:  
FRONT: 40'  
SIDE: 30'  
REAR: 60'  
AREA: 40,000 sf  
LOT COVERAGE: 50%  
\* FOR PERMITTED OR SPECIAL USE





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OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS AS  
SPECIFIED IN THE LETTER OF APPROVAL  
DATED: FEB 05 2025 FILE # 21-0119  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

LEGEND:

	PROPERTY LINE
	ABUTTER PROPERTY LINE
	TOPOGRAPHIC CONTOUR
	FRESHWATER WETLAND BOUNDARY
	FRESHWATER WETLAND FLAG
	50' PERIMETER WETLAND BOUNDARY
	UTILITY EASEMENT
	GUARDRAIL
	BUILDING SETBACK LINE
	OVERHEAD WIRE
	F.S. PROPOSED FILTER SOCK (EROSION BARRIER)
	STRAW BALES
	LIMIT OF DISTURBANCE

NOTES:

1. REFER TO COMPLETE PROJECT NOTES ON SHEET C-2.

3	RIDEM PERMIT MODIFICATION	01OCT24			
2	FINAL PLAN REVISIONS	09JUN22			
1	RIDEM REVISIONS	26AUG21			
No.	Revision	Date	App.		
Designed By:	JJR	Drawn by:	JJR	Checked by:	GES
Scale:	1"=50'	Date:	26APR21		

Project Title:  
**ECC CONSTRUCTION FACILITY AND STORAGE YARD**  
A.P. 105 LOT 601  
EAGLEVILLE ROAD  
TIVERTON  
RHODE ISLAND

Client/Owner:  
ECC EAGLEVILLE, LLC  
202 CHASE ROAD  
PORTSMOUTH, RI 02871

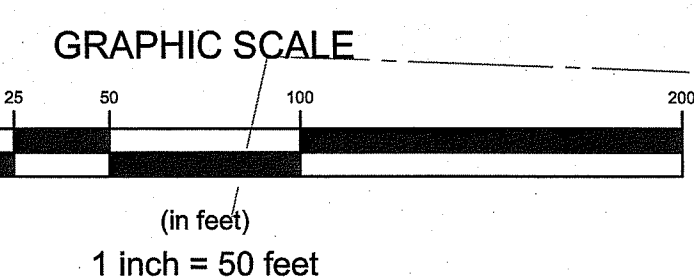
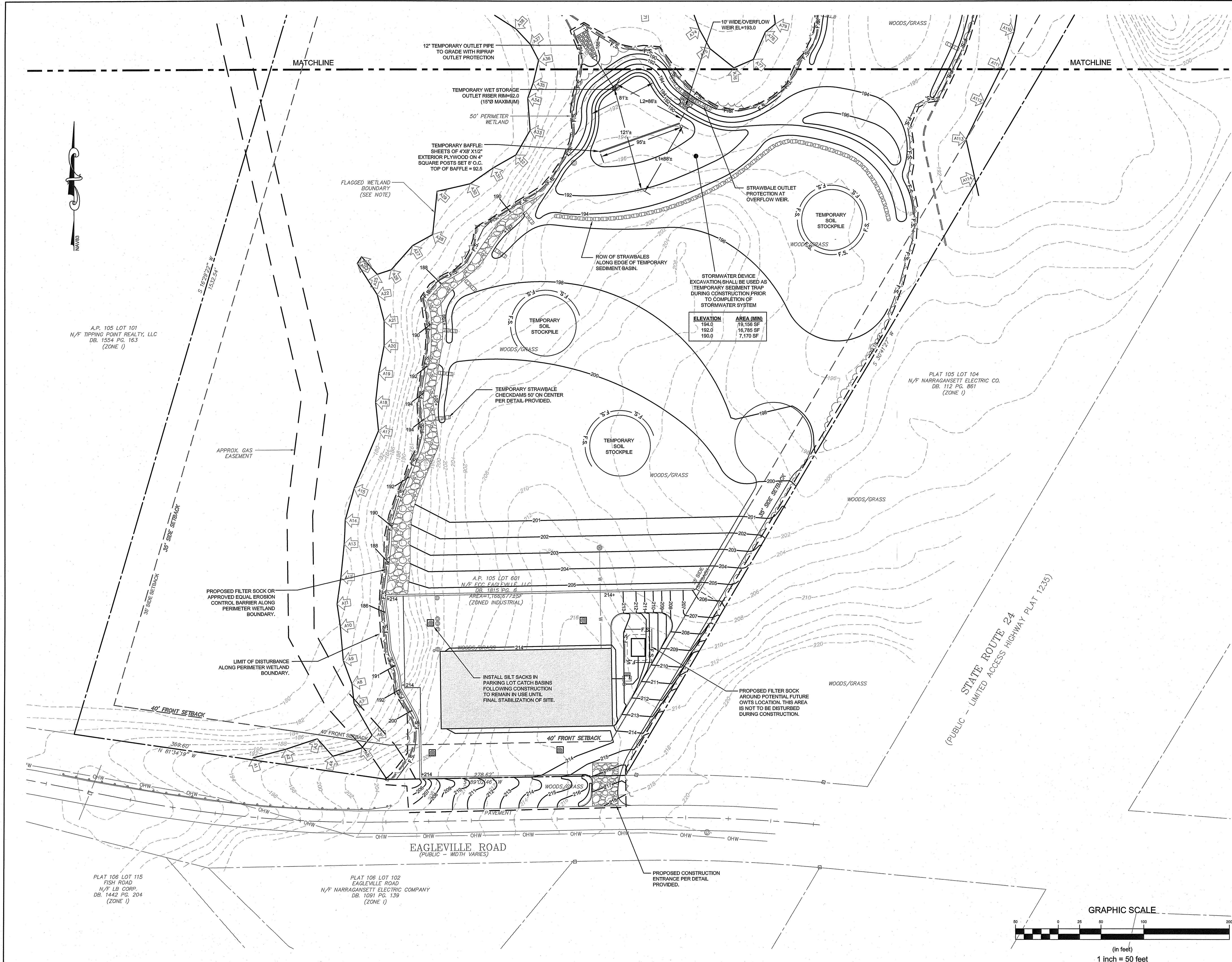
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PERMITTING

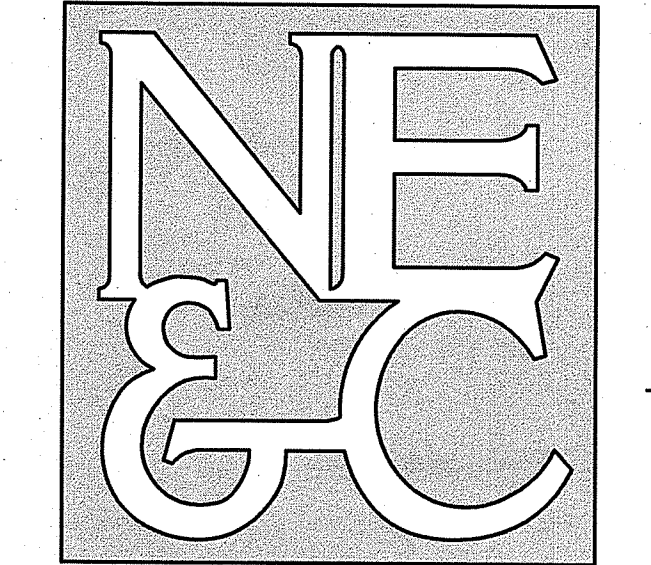
Drawing Title:  
**SOIL EROSION & SEDIMENT CONTROL PLAN**

OCT 9 2024

	Drawing Number:	<b>C-8</b>
	Sheet	8 of 13
	Project Number:	20099.0
	Survey Index:	

OWNERSHIP AND USE OF DOCUMENTS: DRAWINGS AND SPECIFICATIONS, AS INSTRUMENTS OF PROFESSIONAL SERVICE, ARE AND SHALL REMAIN THE PROPERTY OF THE ENGINEER. THESE DOCUMENTS ARE NOT TO BE USED, IN WHOLE OR PART, FOR ANY OTHER PROJECTS OR PURPOSES, OR BY ANY OTHER PARTIES, THAN THOSE PROPERLY AUTHORIZED BY CONTRACT, WITHOUT THE EXPRESS AUTHORIZATION OF THE ENGINEER.





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RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
 OFFICE OF WATER RESOURCES  
 FRESHWATER WETLANDS PROGRAM  
 APPROVED WITH CONDITIONS AS  
 SPECIFIED IN THE LETTER OF APPROVAL  
 DATED: FEB 05 2025 FILE # 21-019  
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

LEGEND:

	PROPERTY LINE
	ABUTTER PROPERTY LINE
	TOPOGRAPHIC CONTOUR
	FRESHWATER WETLAND BOUNDARY
	FRESHWATER WETLAND FLAG
	50' PERIMETER WETLAND BOUNDARY
	UTILITY EASEMENT
	GUARDRAIL
	BUILDING SETBACK LINE
	OVERHEAD WIRE
	PROPOSED FILTER SOCK (EROSION BARRIER)
	STRAW BALES
	LIMIT OF DISTURBANCE

NOTES:  
 1. REFER TO COMPLETE PROJECT NOTES ON SHEET C-2.

3	RIDEM PERMIT MODIFICATION	01OCT24	
2	FINAL PLAN REVISIONS	09JUN22	
1	RIDEM REVISIONS	28AUG21	
No.	Revision	Date	App.
Designed By:	JJR	Drawn by:	JJR
Checked by:	GES	Date:	26APR21

Project Title:  
**ECC CONSTRUCTION  
 FACILITY AND STORAGE YARD**  
 A.P. 105 LOT 601  
 EAGLEVILLE ROAD  
 TIVERTON  
 RHODE ISLAND

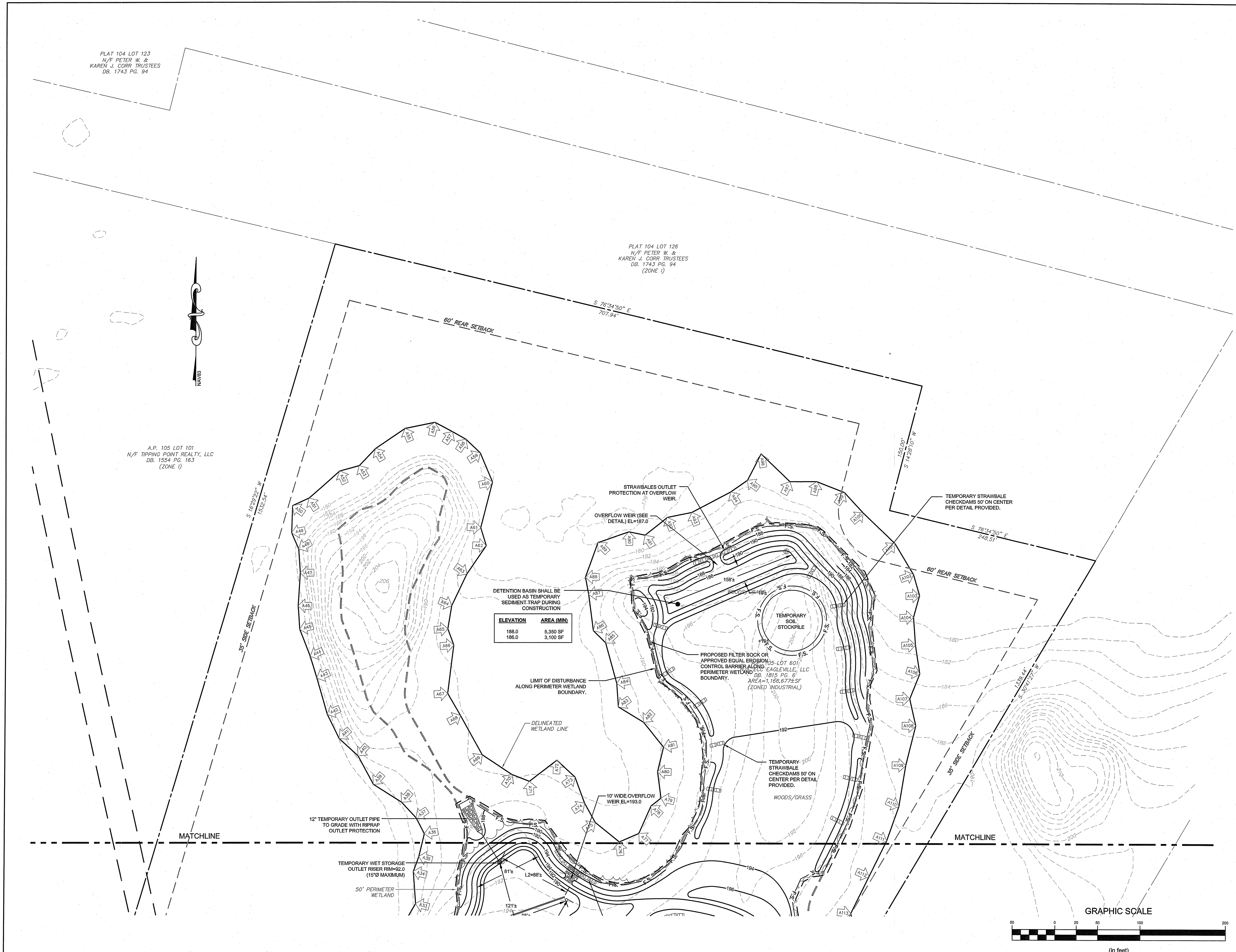
Client/Owner:  
 ECC EAGLEVILLE, LLC  
 202 CHASE ROAD  
 PORTSMOUTH, RI 02871

Issued for:  
 PERMITTING

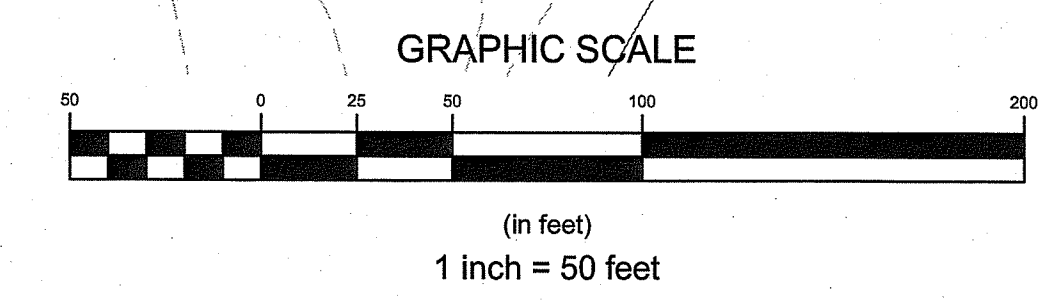
Drawing Title:  
**SOIL EROSION &  
 SEDIMENT CONTROL PLAN**  
 OCT 25 2024

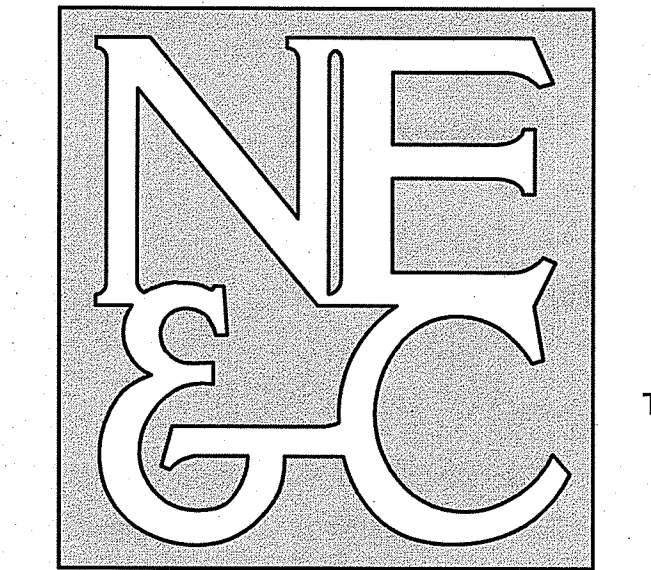
	Drawing Number:	<b>C-9</b>
	Sheet	9 of 13
	Project Number:	20099.0
	Survey Index:	

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ELEVATION	AREA (MIN)
188.0	5,350 SF
186.0	3,100 SF





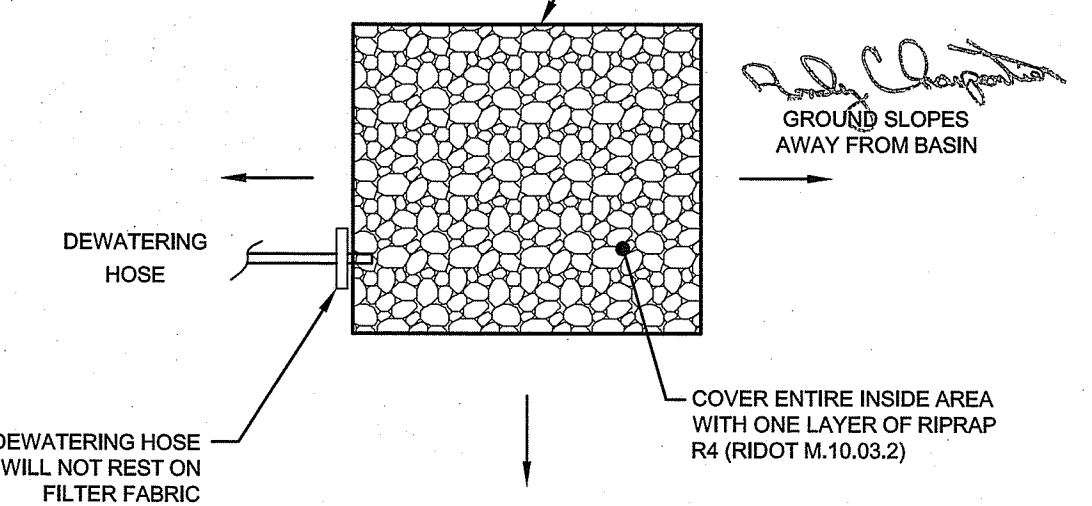
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TRANSPORTATION  
STRUCTURAL

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL

DATED: FEB 05 2025 FILE # 2019-0119  
NO CHANGES ALLOWED WITHOUT WRITTEN PERMITAL APPROVAL. APPROVED PLANS MUST BE AT CONSTRUCTION SITE



DEWATERING BASIN  
SCALE: NOT TO SCALE

3	RIDEM PERMIT MODIFICATION	01OCT24	
2	FINAL PLAN REVISIONS	06JUN22	
1	RIDEM REVISIONS	26AUG21	
No.	Revision	Date	App.
Designed By:	JJR	Drawn by:	JJR
Checked by:	GES	Scale:	AS SHOWN
Date:	26APR21		

Project Title:  
**ECC CONSTRUCTION FACILITY AND STORAGE YARD**  
A.P. 105 LOT 601  
EAGLEVILLE ROAD  
TIVERTON  
RHODE ISLAND

Client/Owner:  
ECC EAGLEVILLE, LLC  
202 CHASE ROAD  
PORTSMOUTH, RI 02871

Issued for:  
PERMITTING

Drawing Title:  
**SITE DETAILS 1**

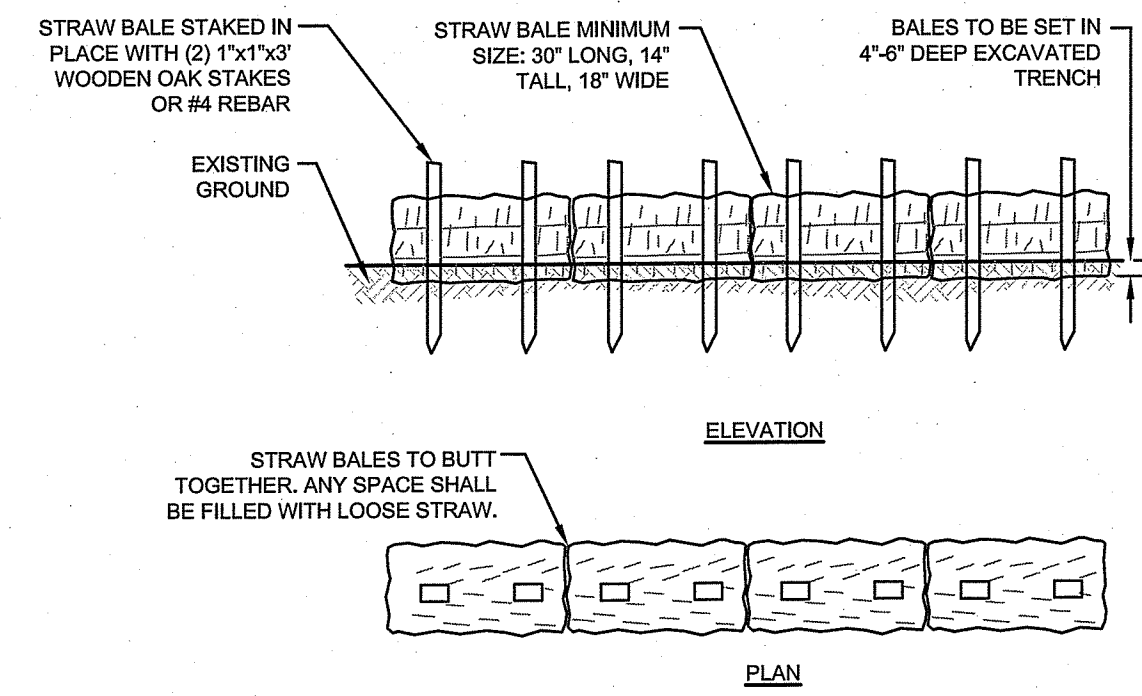
Drawing Number:  
**C-10**

Sheet **10** of **13**

Project Number:  
**20099.0**

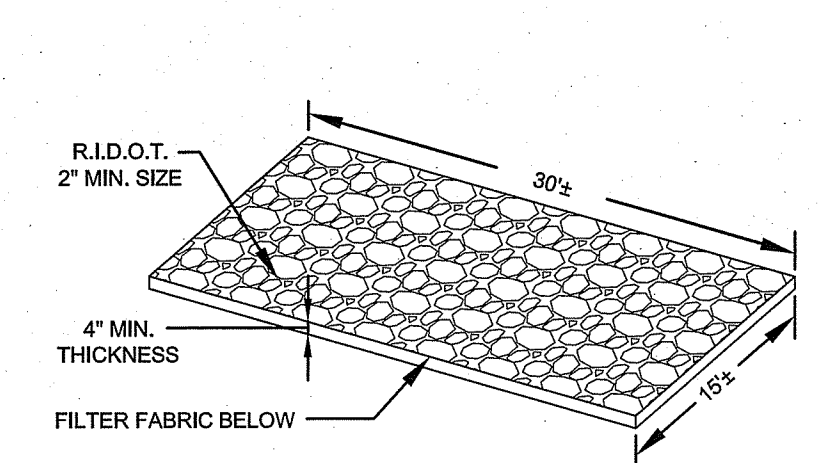
Survey Index:

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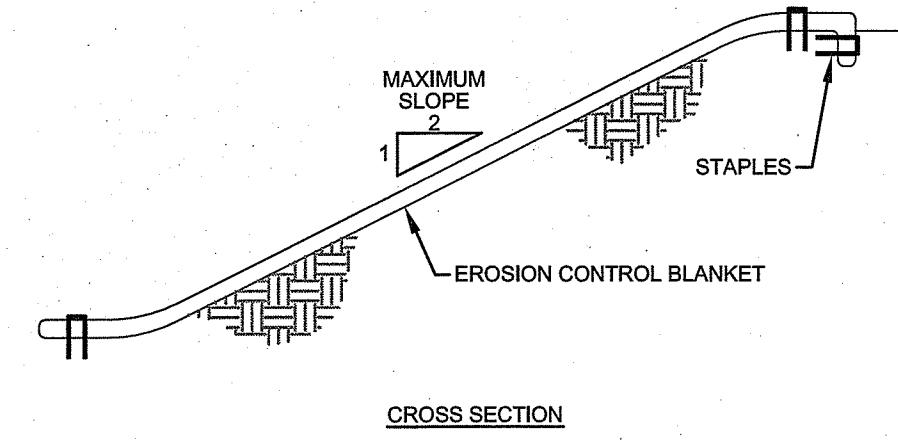


- NOTES:**
- BALE WEIGHT SHALL NOT BE LESS THAN 50 LBS AND SHALL BE BOUND WITH NO LESS THAN TWO STRINGS OR WIRES CONTAINING A MINIMUM OF FIVE (5) CUBIC FEET OF MATERIAL. MINIMUM DIMENSIONS SHOWN IN DETAIL.
  - STRAW BALES SHALL BE CERTIFIED AS BEING NOXIOUS WEED-FREE BALES. TO BE "CERTIFIED" MEANS THAT THE PRODUCT IS FREE OF ANY NOXIOUS WEEDS.
  - STAKES SHALL BE DRIVEN THROUGH STAKES AT A SLIGHT UPSTREAM ANGLE TO PREVENT BALE FROM OVERTURNING.
  - LOOSE STRAW SHALL BE WEDGED BETWEEN BALES AFTER INSTALLATION.
  - MATERIAL EXCAVATED FROM TRENCH SHALL BE BACKFILLED, COMPACTED, AND STABILIZED.

BALED STRAW EROSION CONTROL BARRIER  
SCALE: NOT TO SCALE

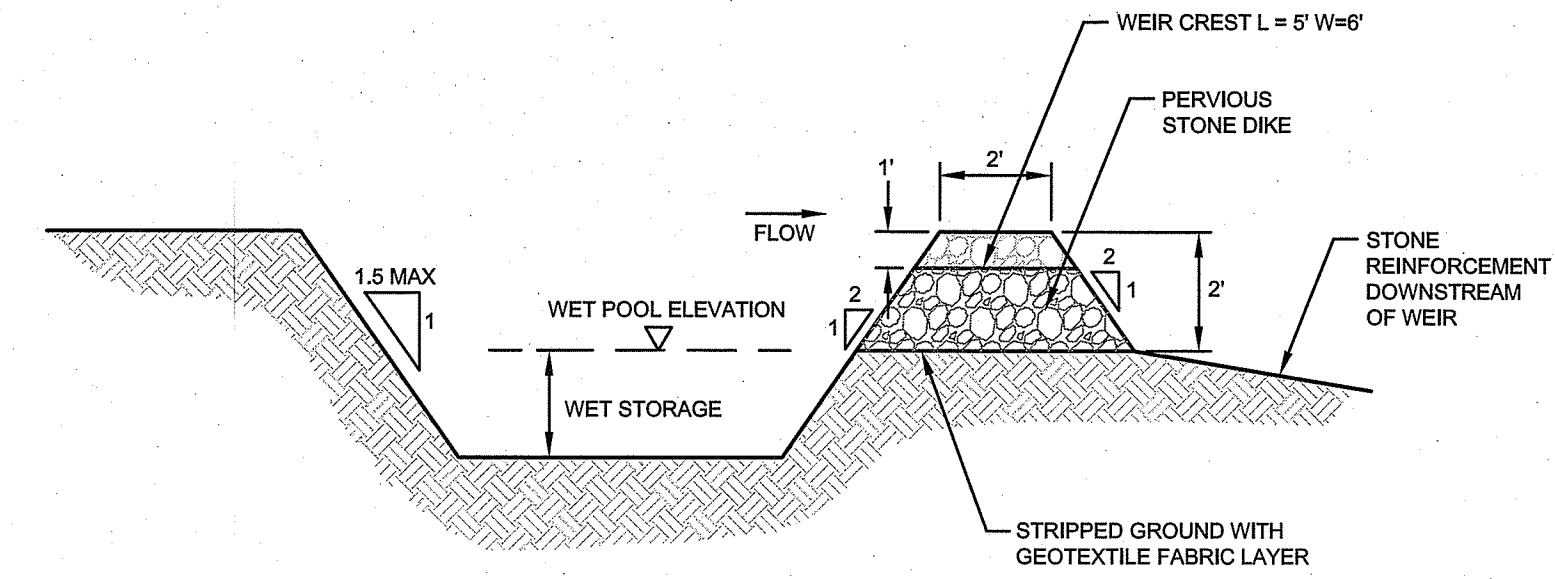


CONSTRUCTION ENTRANCE  
SCALE: NOT TO SCALE

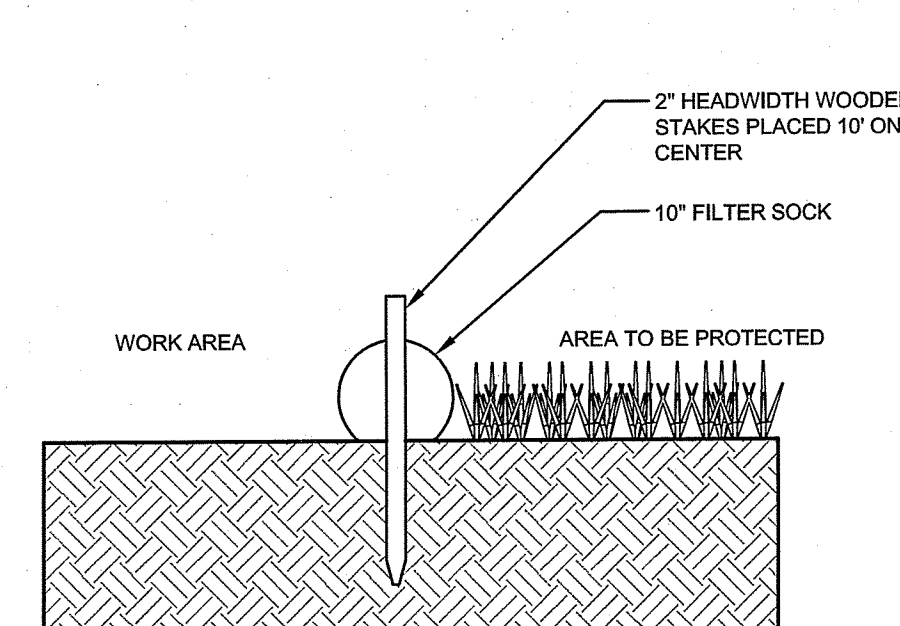
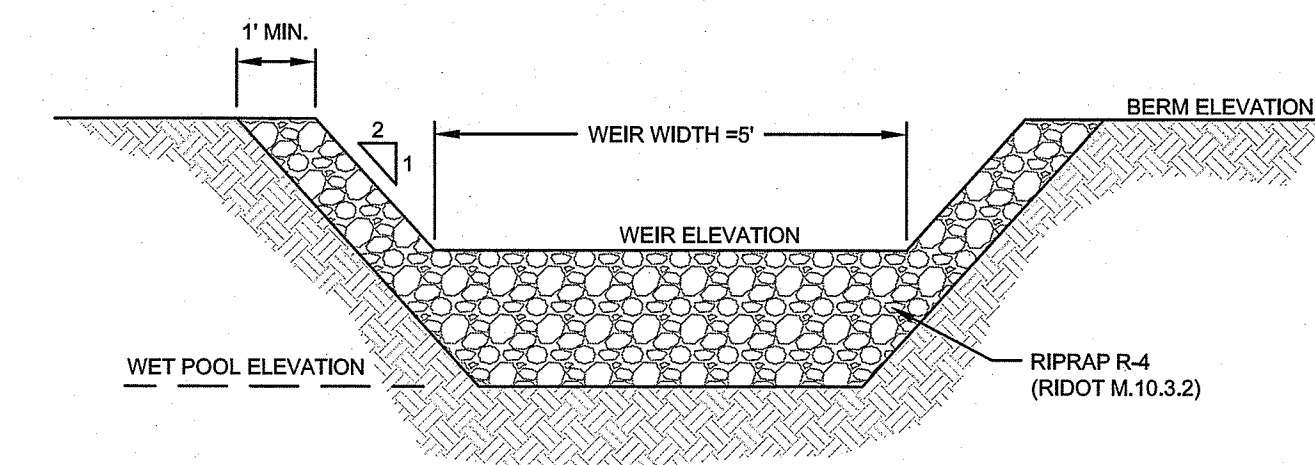


- NOTES:**
- PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF LIME, FERTILIZER, AND SEED.
  - ANCHORING THE BLANKET IN A 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
  - ROLL THE BLANKETS DOWN THE SLOPE IN THE DIRECTION OF THE WATER FLOW.
  - THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2" OVERLAP.
  - WHEN BLANKETS MUST BE SPLICED DOWN THE SLOPE, PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH APPROXIMATELY 6" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART.

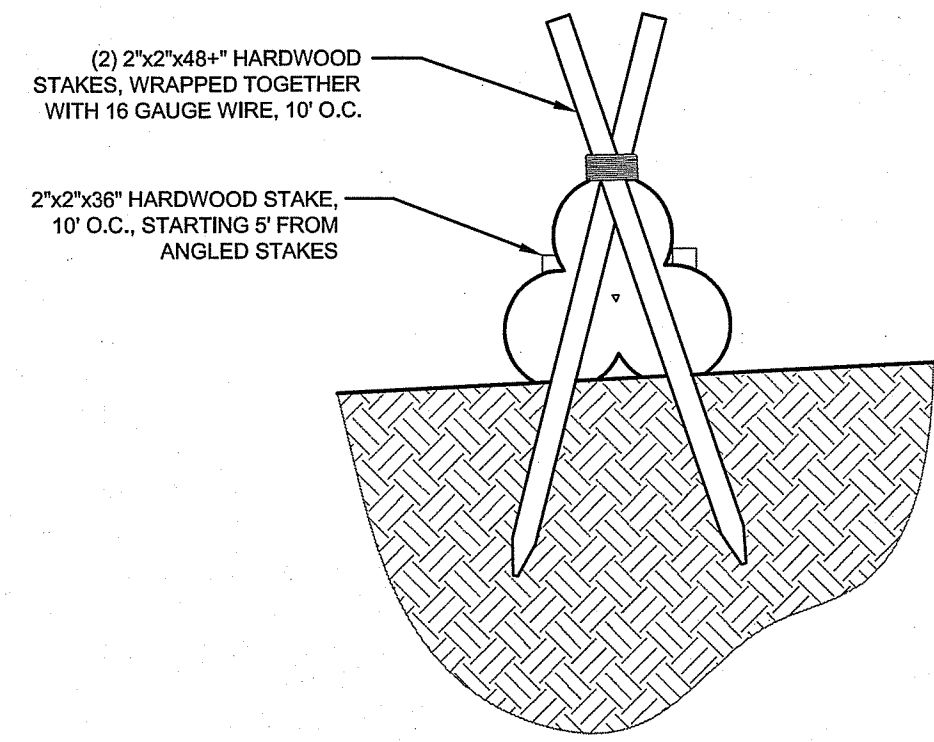
EROSION CONTROL BLANKET  
SCALE: NOT TO SCALE



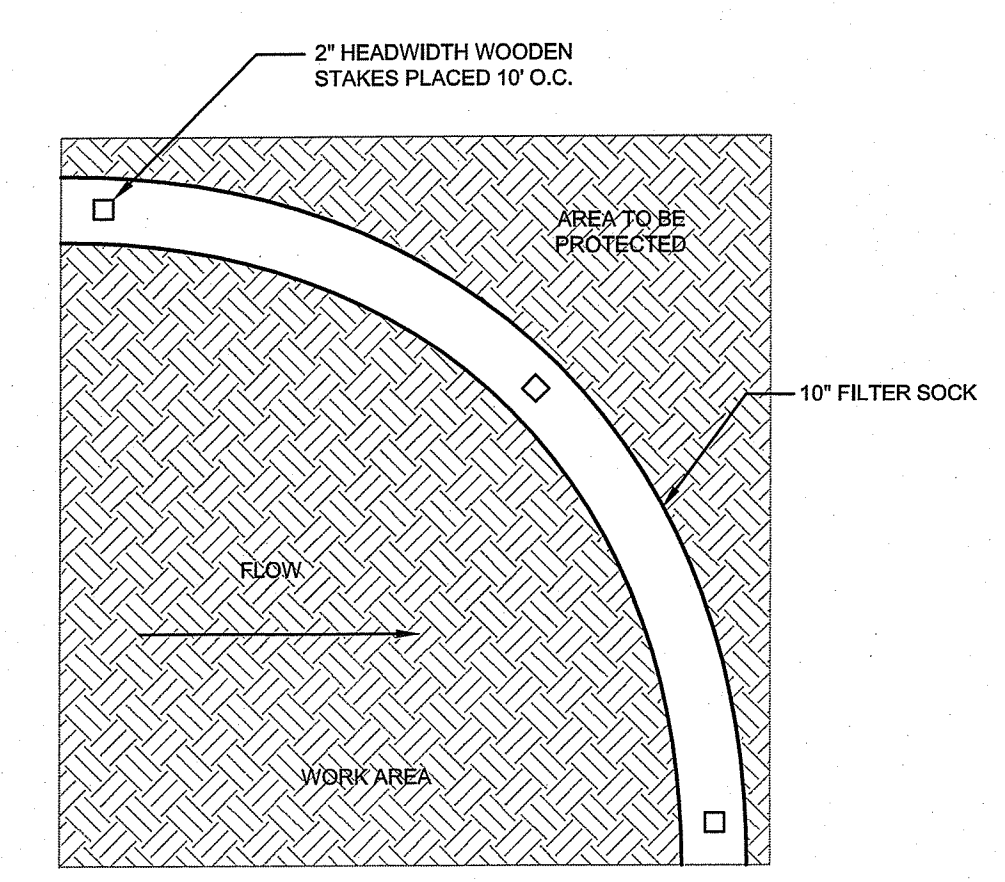
TYPICAL SEDIMENT TRAP DETAILS  
SCALE: NOT TO SCALE



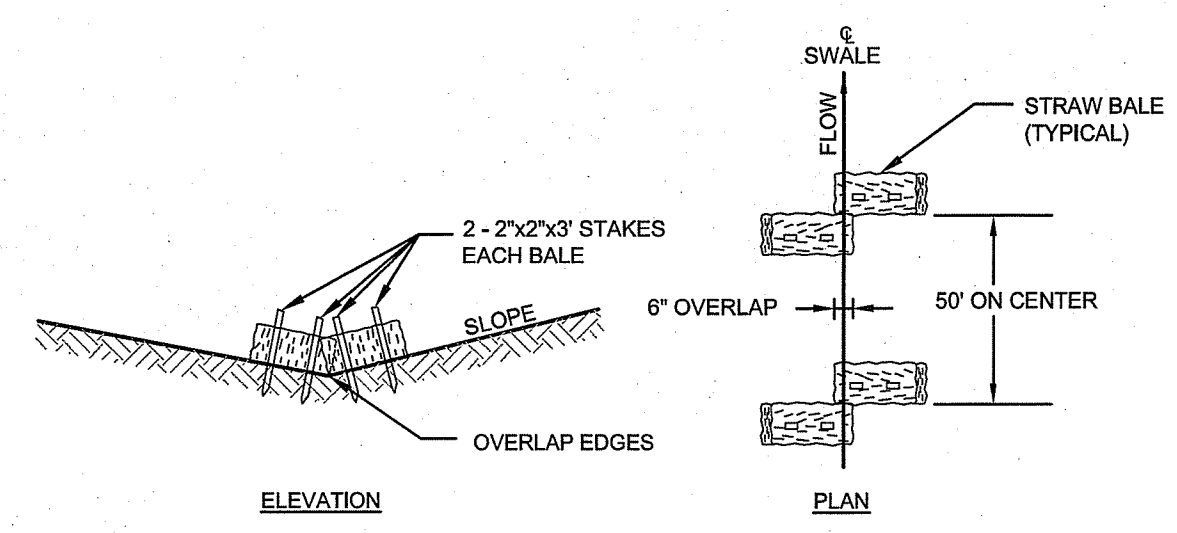
SECTION VIEW



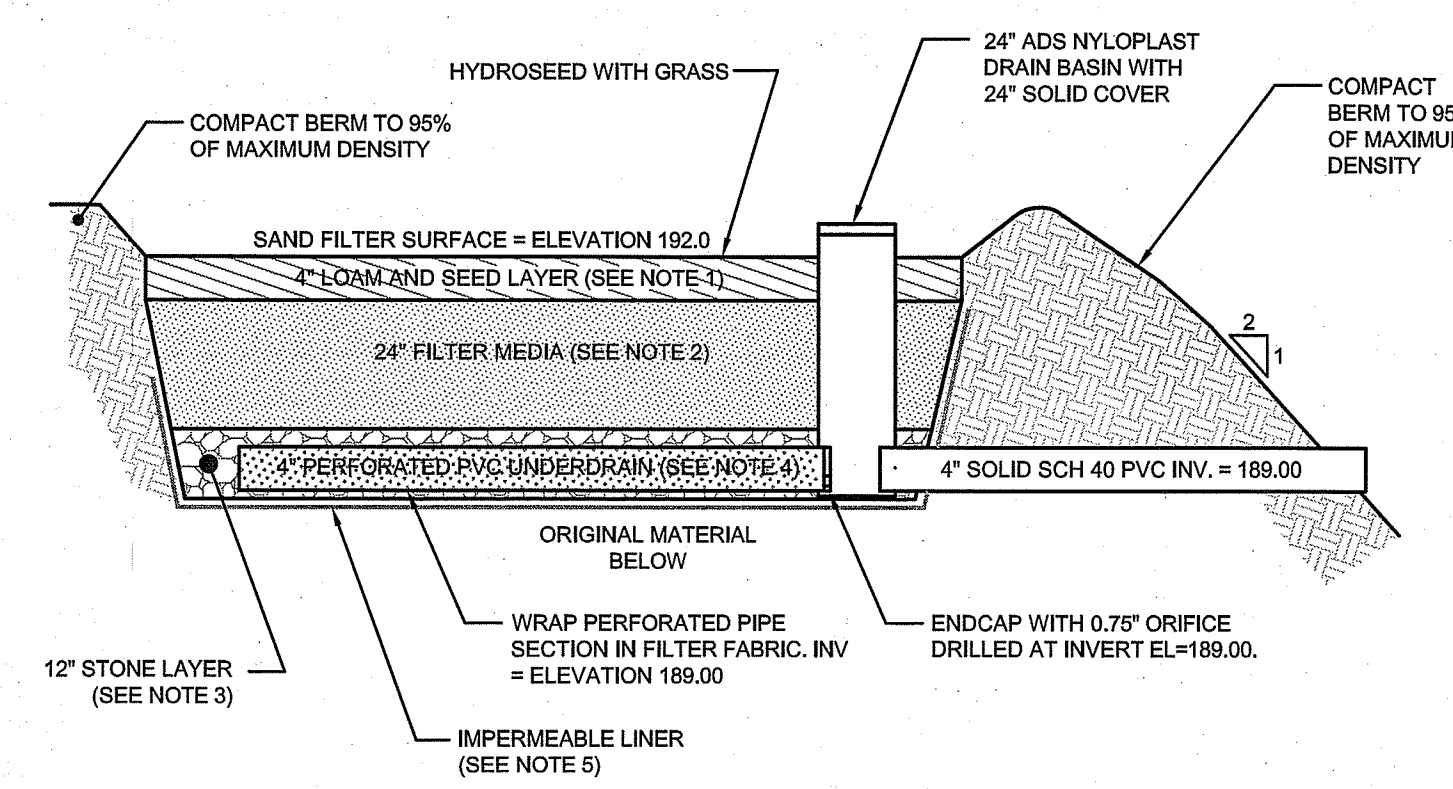
PYRAMID SECTION VIEW (FOR HIGH FLOW CONDITIONS)



10" FILTER SOCK DETAIL  
SCALE: NOT TO SCALE

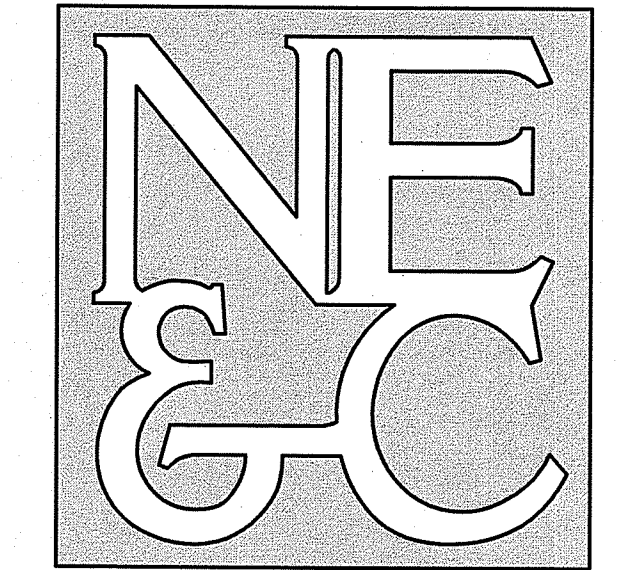


TEMPORARY STRAW BALE CHECK DAM  
SCALE: NOT TO SCALE



- SAND FILTER NOTES:**
- SAND FILTER SHALL BE PLANTED WITH NEW ENGLAND WETMIX (WETLAND SEED MIX) BY NEW ENGLAND WETLAND PLANTS, INC. OR APPROVED EQUAL.
  - SAND FILTER SAND TO BE CLEAN AASHTO M-6 OR ASTM C-33 CONCRETE SAND (0.02" TO 0.04"). SAND SUBSTITUTIONS SUCH AS DIABASE AND GRAYSTONE #10 ARE NOT ACCEPTABLE. NO CALCIUM CARBONATED OR DOLOMITIC SAND SUBSTITUTIONS ARE ACCEPTABLE. NO ROCK DUST CAN BE USED AS SAND.
  - UNDERDRAIN STONE SHALL CONFORM TO AASHTO M-43, 0.25" TO 0.75". MATERIAL MUST BE WASHED CLEAN STONE.
  - UNDERDRAIN SHALL BE SCHEDULE 40 PVC PIPE CONFORMING TO ASTM D-1785 OR AASHTO M-278. PERFORATIONS SHALL BE 3/8" @ 6" ON CENTER. PIPE SHALL HAVE 3" OF GRAVEL OVER PIPE.
  - IMPERMEABLE LINER SHALL BE A 30 MIL POLY-LINER.

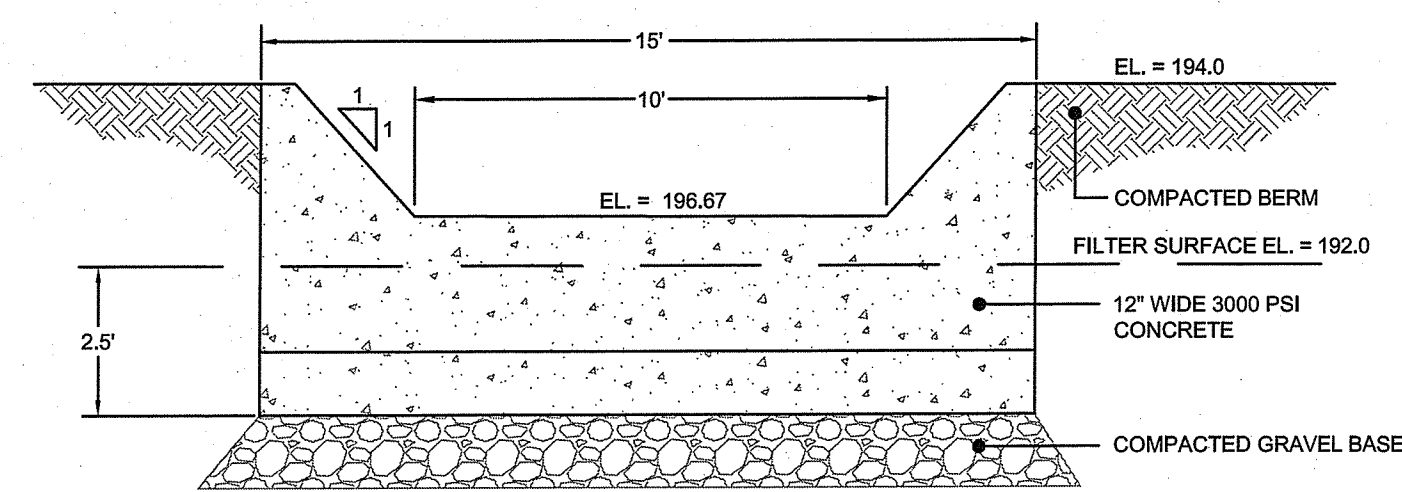
LINED SAND FILTER CROSS SECTION  
SCALE: NOT TO SCALE



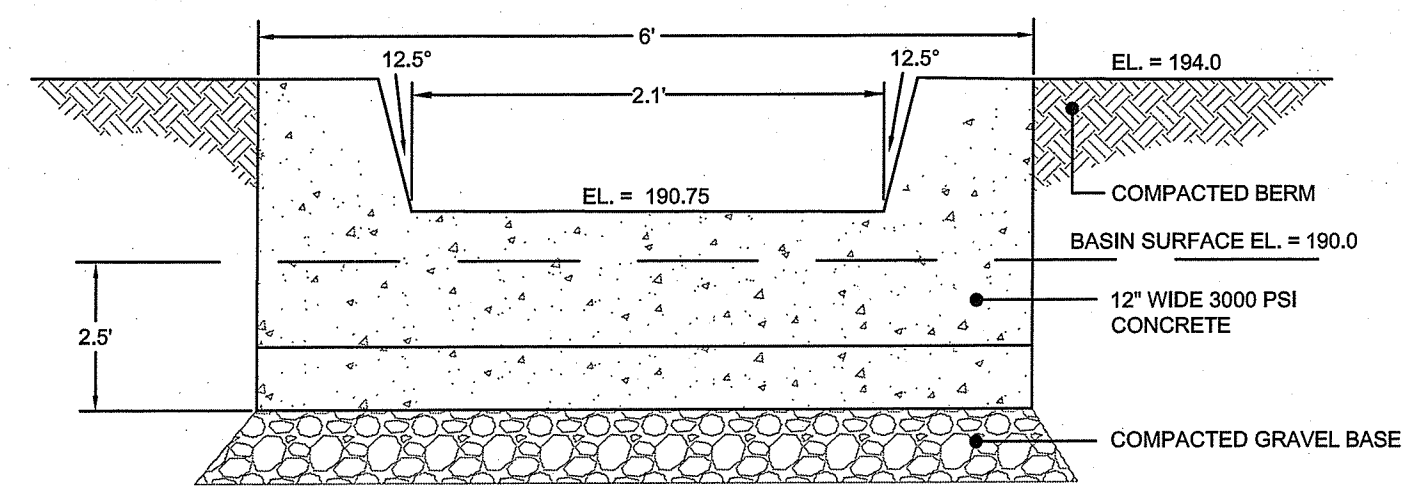
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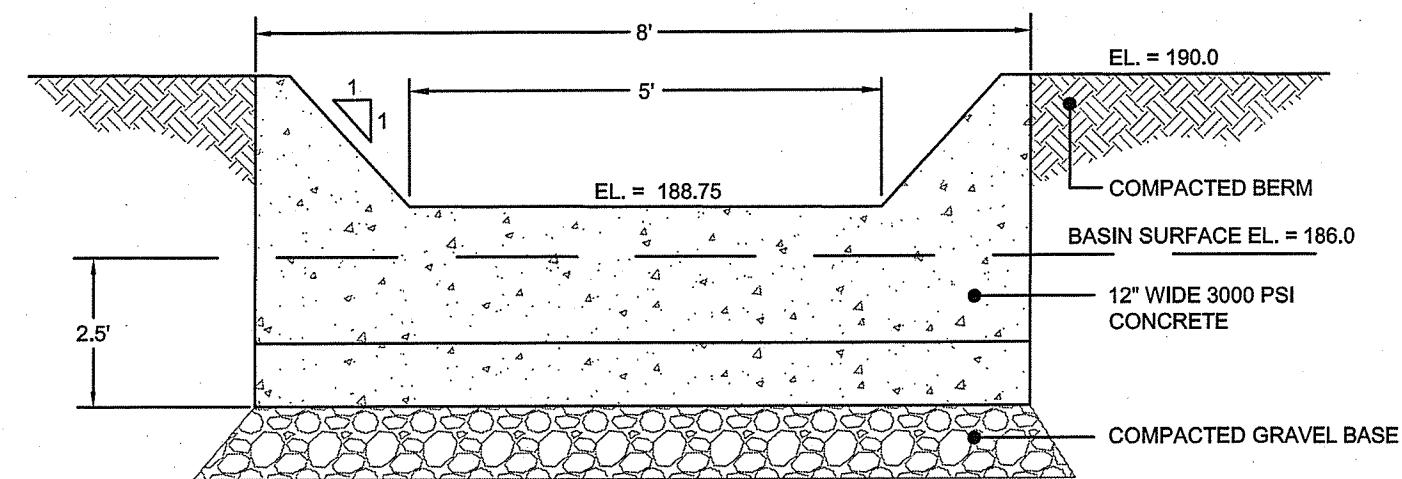
SITE/CIVIL  
 LAND PLANNING  
 WATERFRONT  
 SURVEYING  
 GEOTECHNICAL  
 ENVIRONMENTAL  
 TRANSPORTATION  
 STRUCTURAL



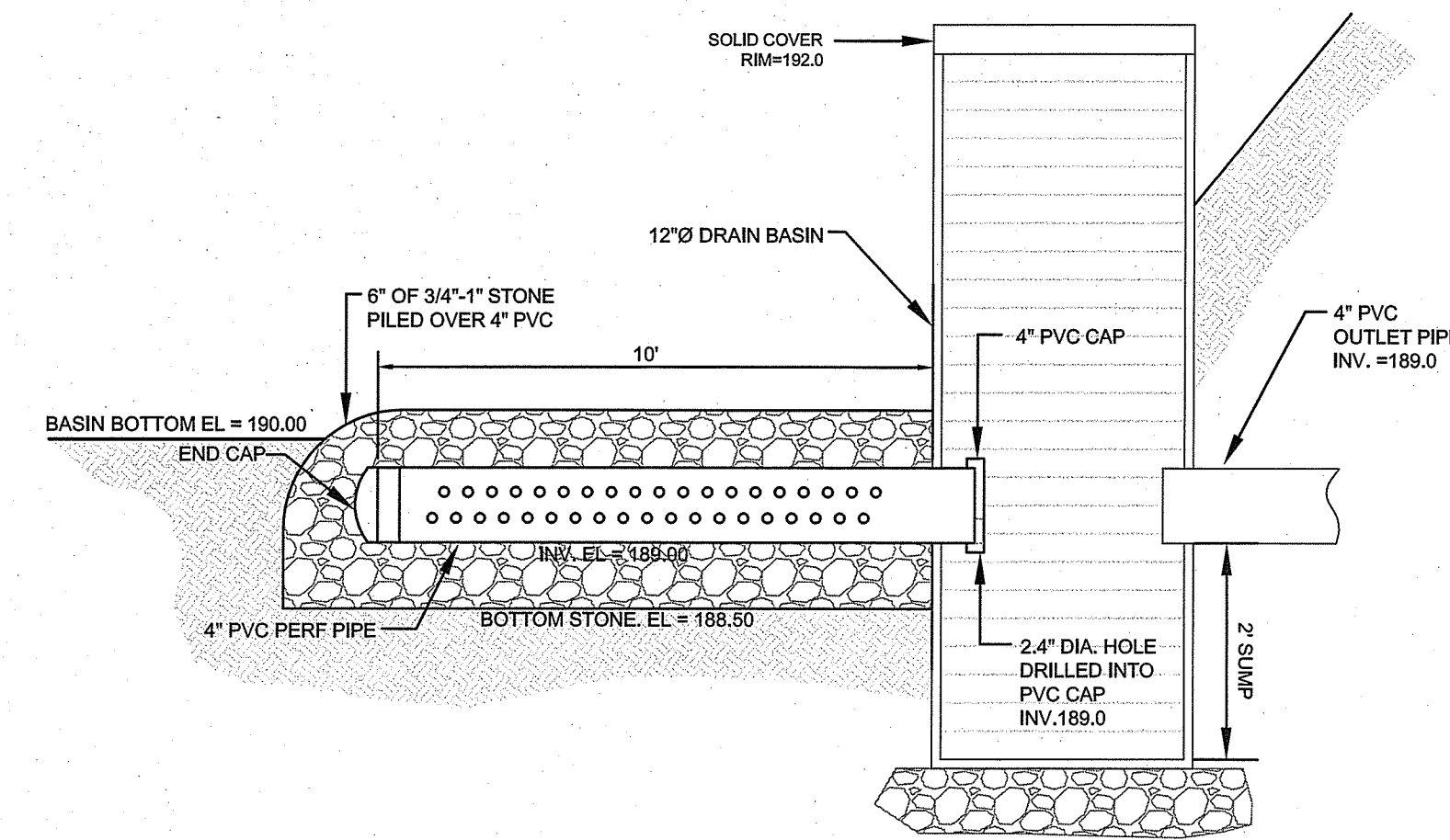
SAND FILTER S-1 & FOREBAY CONCRETE OUTLET WEIR DETAIL  
 SCALE: NOT TO SCALE



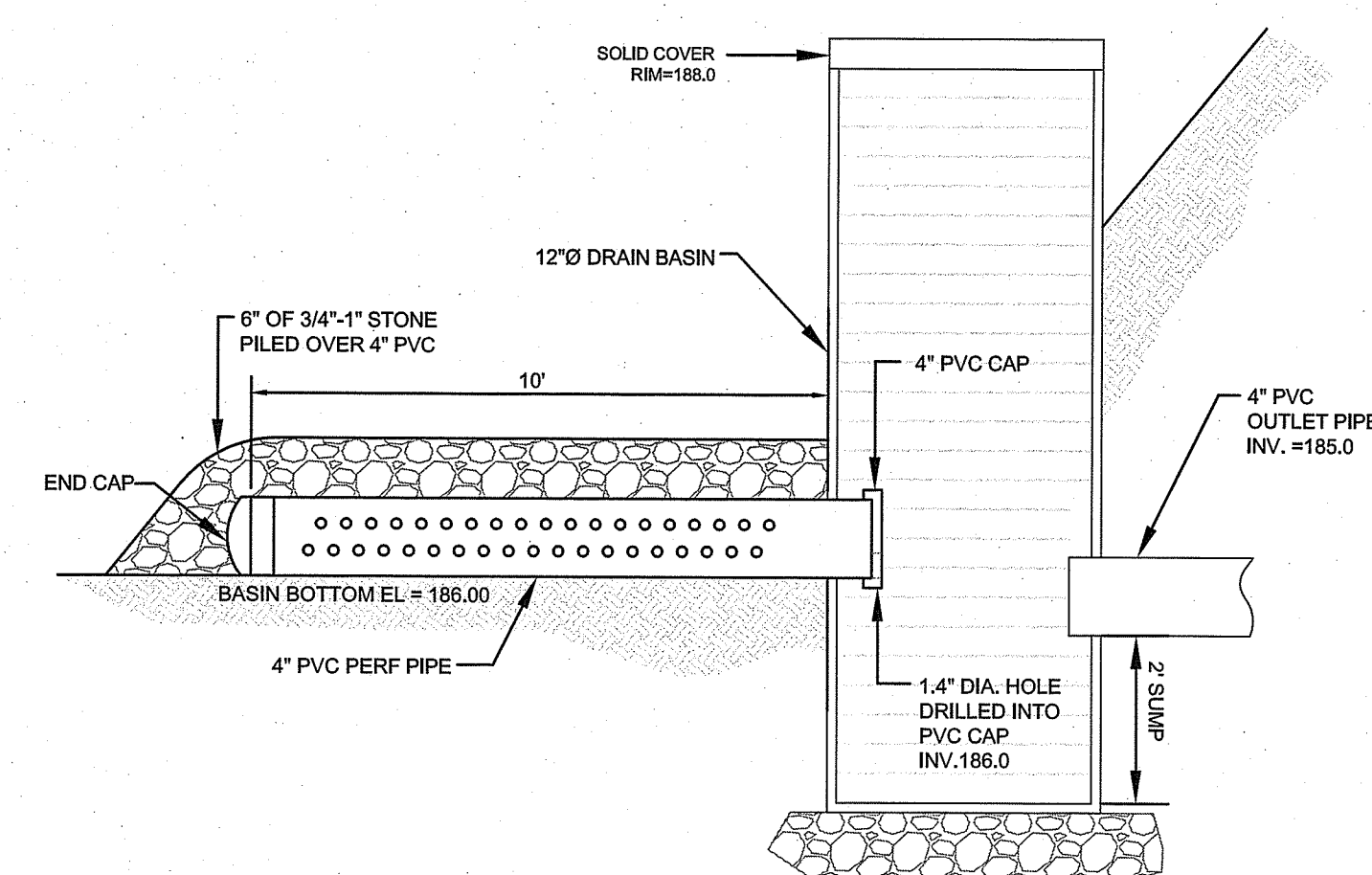
DETENTION BASIN D-1 CONCRETE OUTLET WEIR DETAIL  
 SCALE: NOT TO SCALE



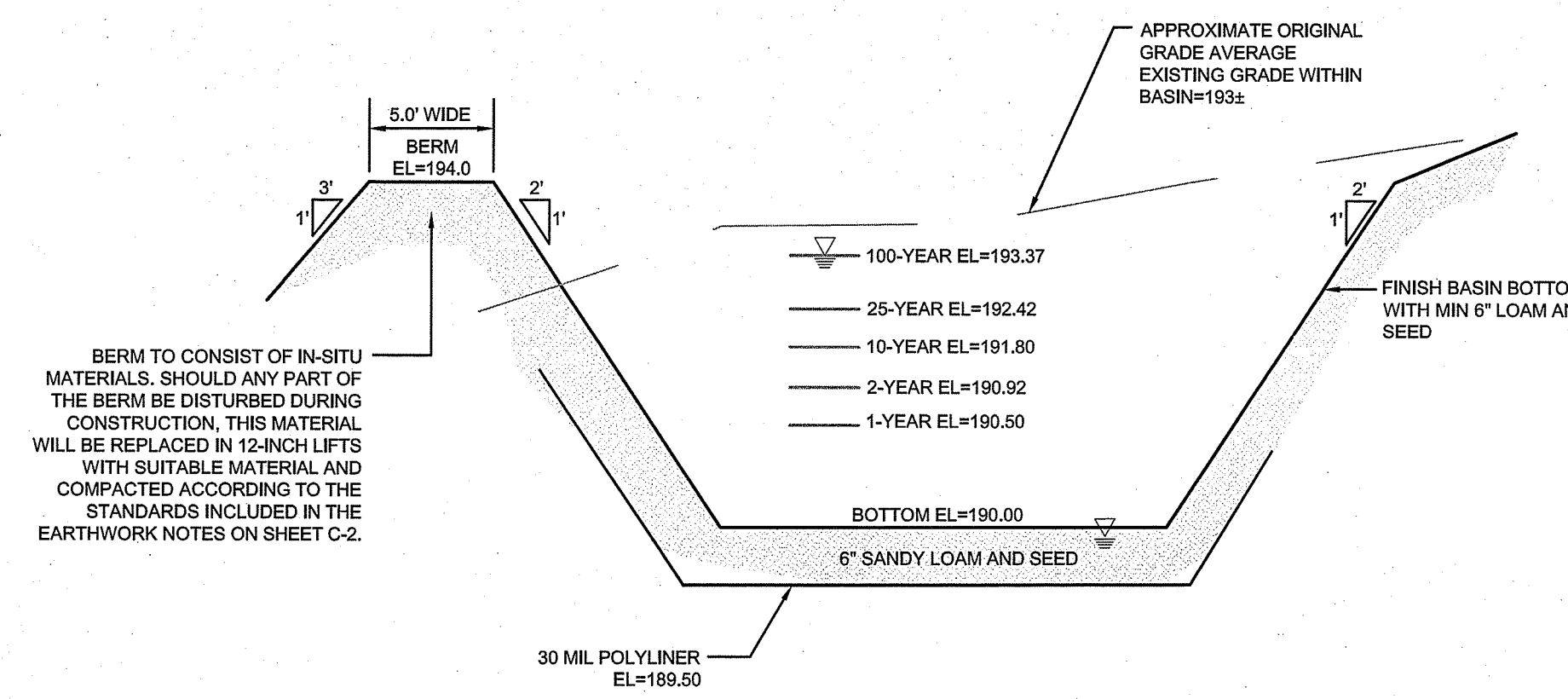
DETENTION BASIN D-2 CONCRETE OUTLET WEIR DETAIL  
 SCALE: NOT TO SCALE



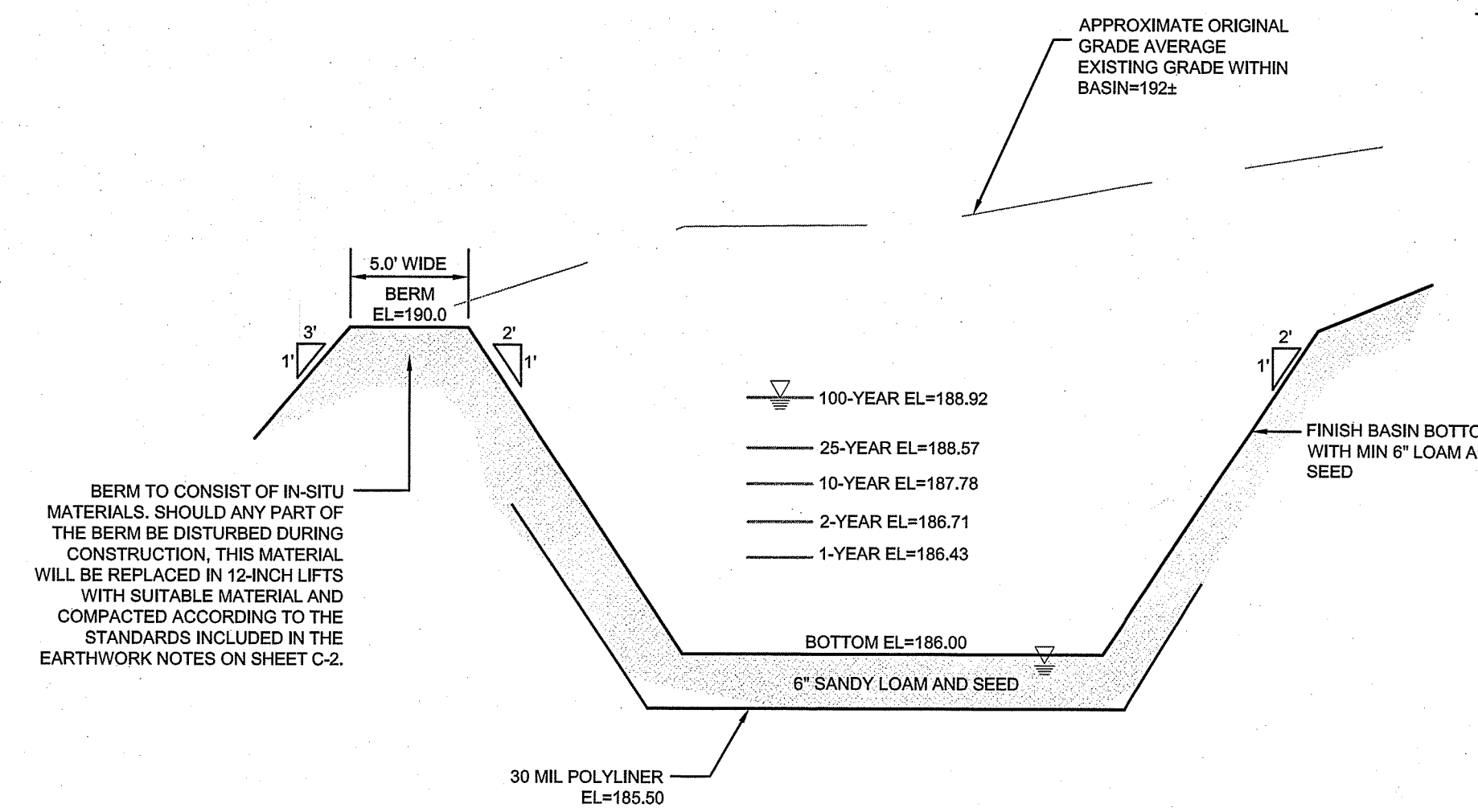
DETENTION BASIN D-1 LOW FLOW OUTLET PIPE DETAIL  
 SCALE: NOT TO SCALE



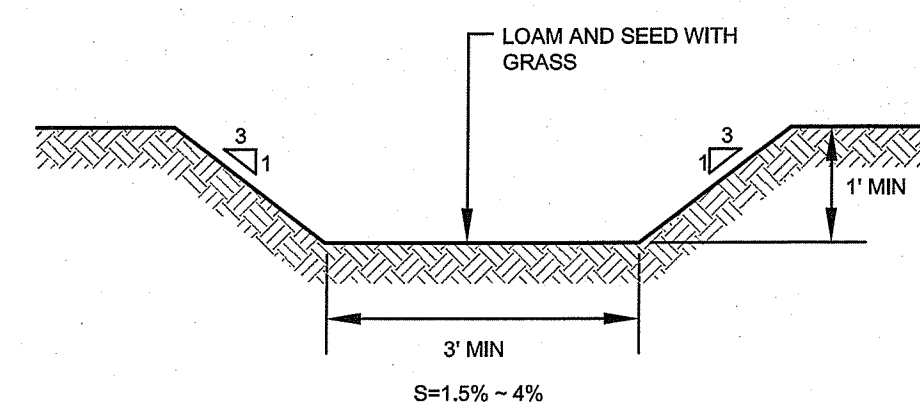
DETENTION BASIN D-2 LOW FLOW OUTLET PIPE DETAIL  
 SCALE: NOT TO SCALE



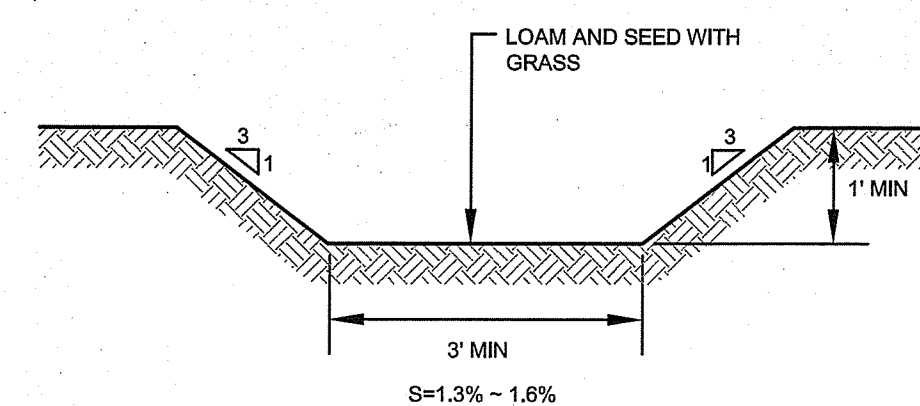
DETENTION BASIN D-1 SECTION  
 SCALE: NOT TO SCALE



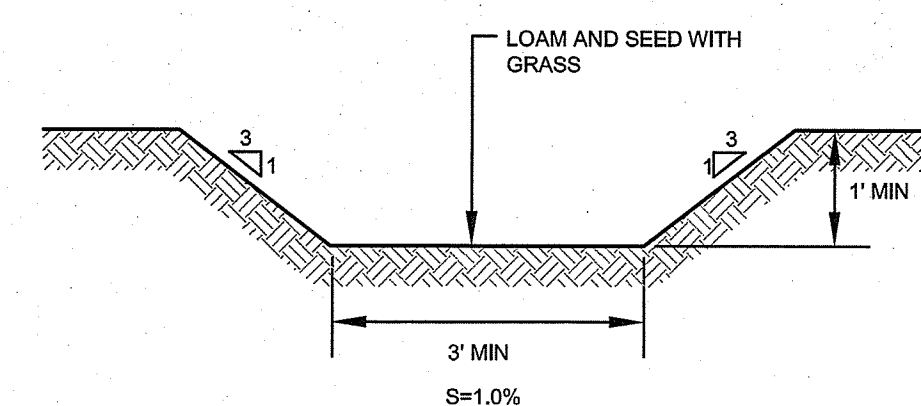
DETENTION BASIN D-2 SECTION  
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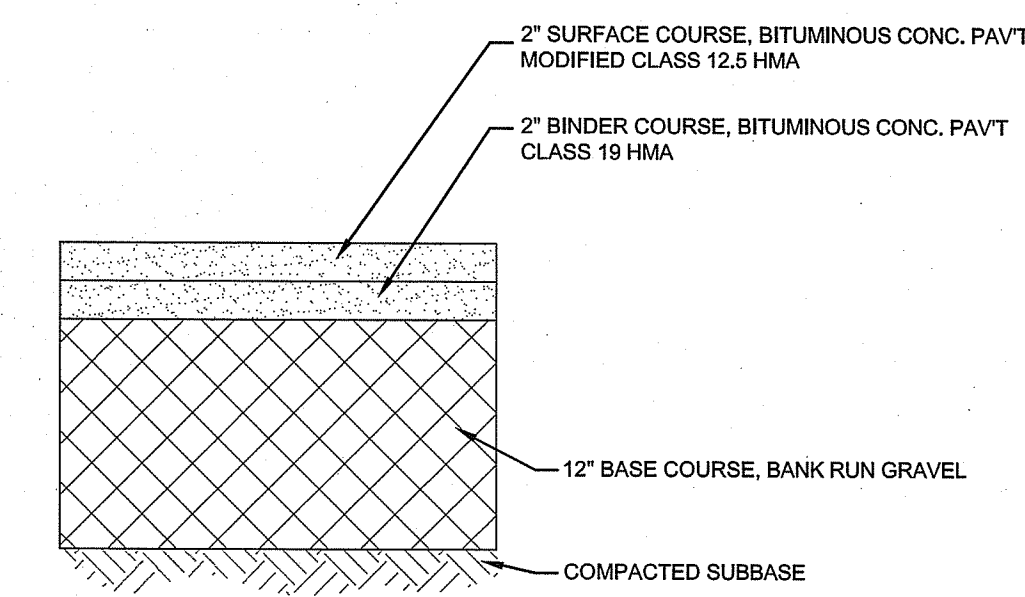
SWALE 1: (GRASS) CROSS SECTION  
 SCALE: NOT TO SCALE



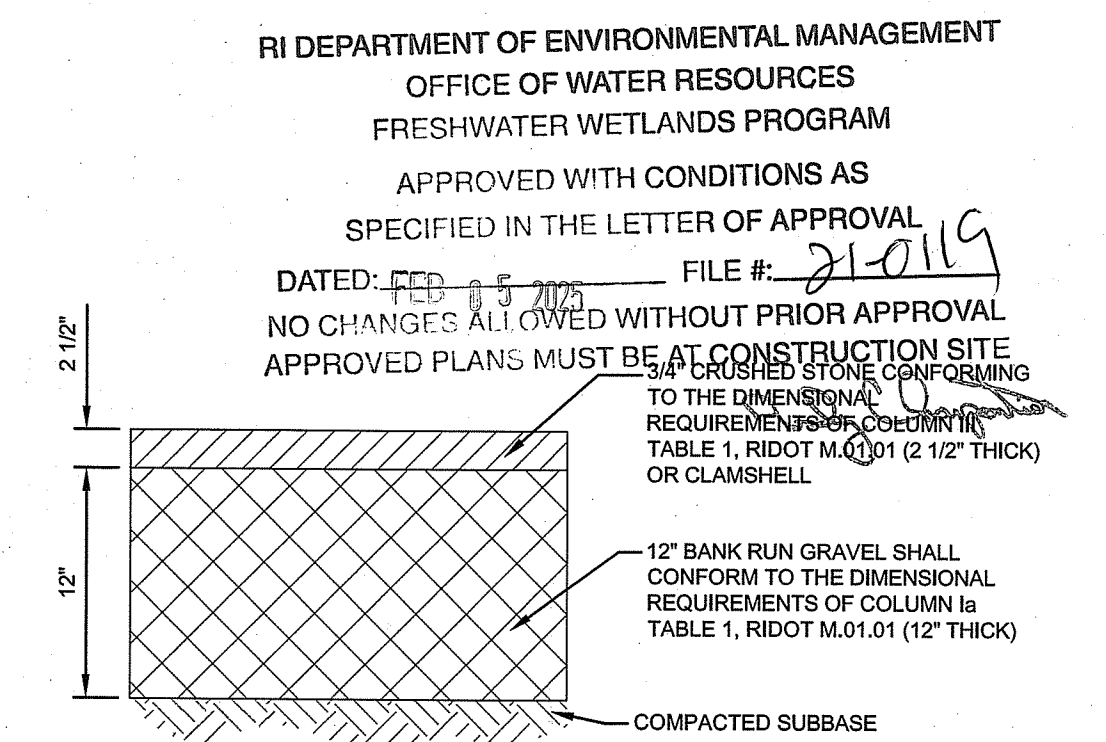
SWALE 2: (GRASS) CROSS SECTION  
 SCALE: NOT TO SCALE



SWALE 3: (GRASS) CROSS SECTION  
 SCALE: NOT TO SCALE



TYPICAL BITUMINOUS PAVEMENT SECTION  
 FOR PORTION OF DRIVEWAY AND SURROUNDING FACILITY  
 SCALE: NOT TO SCALE



GRAVEL DRIVEWAY SECTION  
 SCALE: NOT TO SCALE

4	RIDEM PERMIT MODIFICATION	01OCT24	
3	FINAL PLAN REVISIONS	09JUN22	
2	RIDEM REVISIONS	25OCT21	
1	RIDEM REVISIONS	26AUG21	
No.	Revision	Date	App.
Designed By:	JJR	Drawn by:	JJR
Checked by:	GES	Date:	26APR21

Project Title:  
**ECC CONSTRUCTION FACILITY AND STORAGE YARD**  
 A.P. 105 LOT 601  
 EAGLEVILLE ROAD  
 TIVERTON  
 RHODE ISLAND

Client/Owner:  
**ECC EAGLEVILLE, LLC**  
 202 CHASE ROAD  
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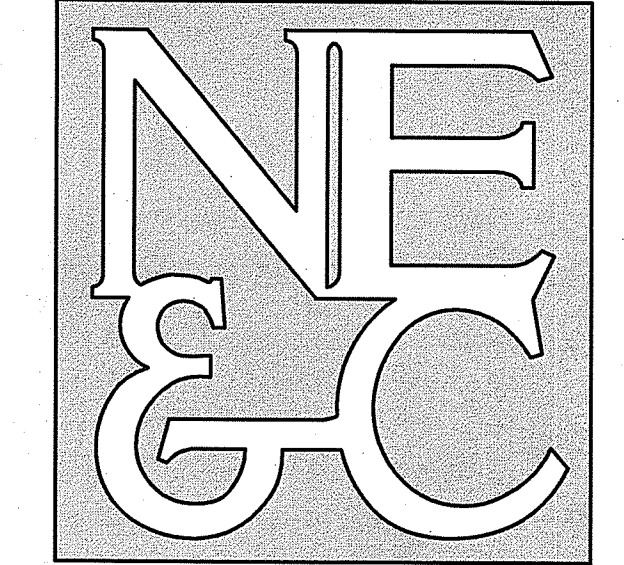
Drawing Title:  
**SITE DETAILS 2**

DATE: OCT 25 2024

Drawing Number:  
**C-11**  
 Sheet 11 of 13  
 Project Number:  
**20099.0**  
 Survey Index:

**JEREMY J. ROSA**  
 No. 9826  
 REGISTERED PROFESSIONAL ENGINEER  
 10-01-24  
 CIVIL

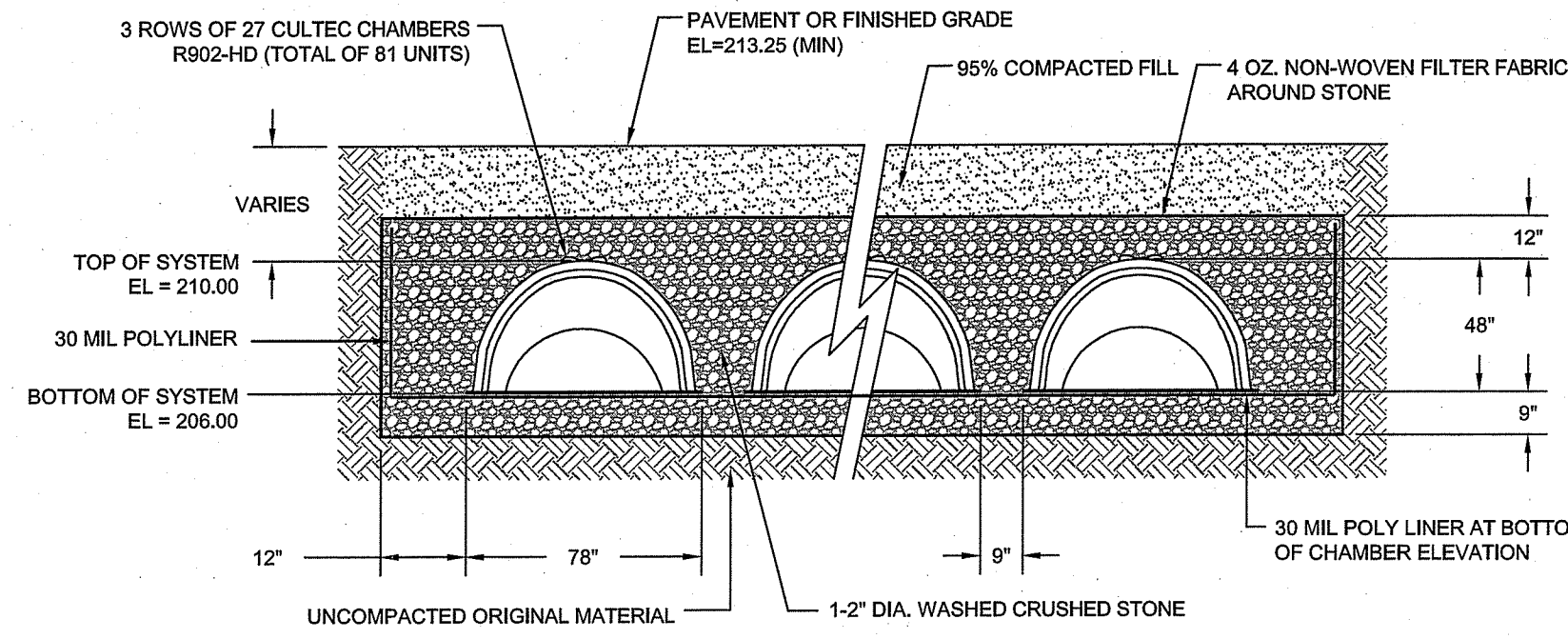
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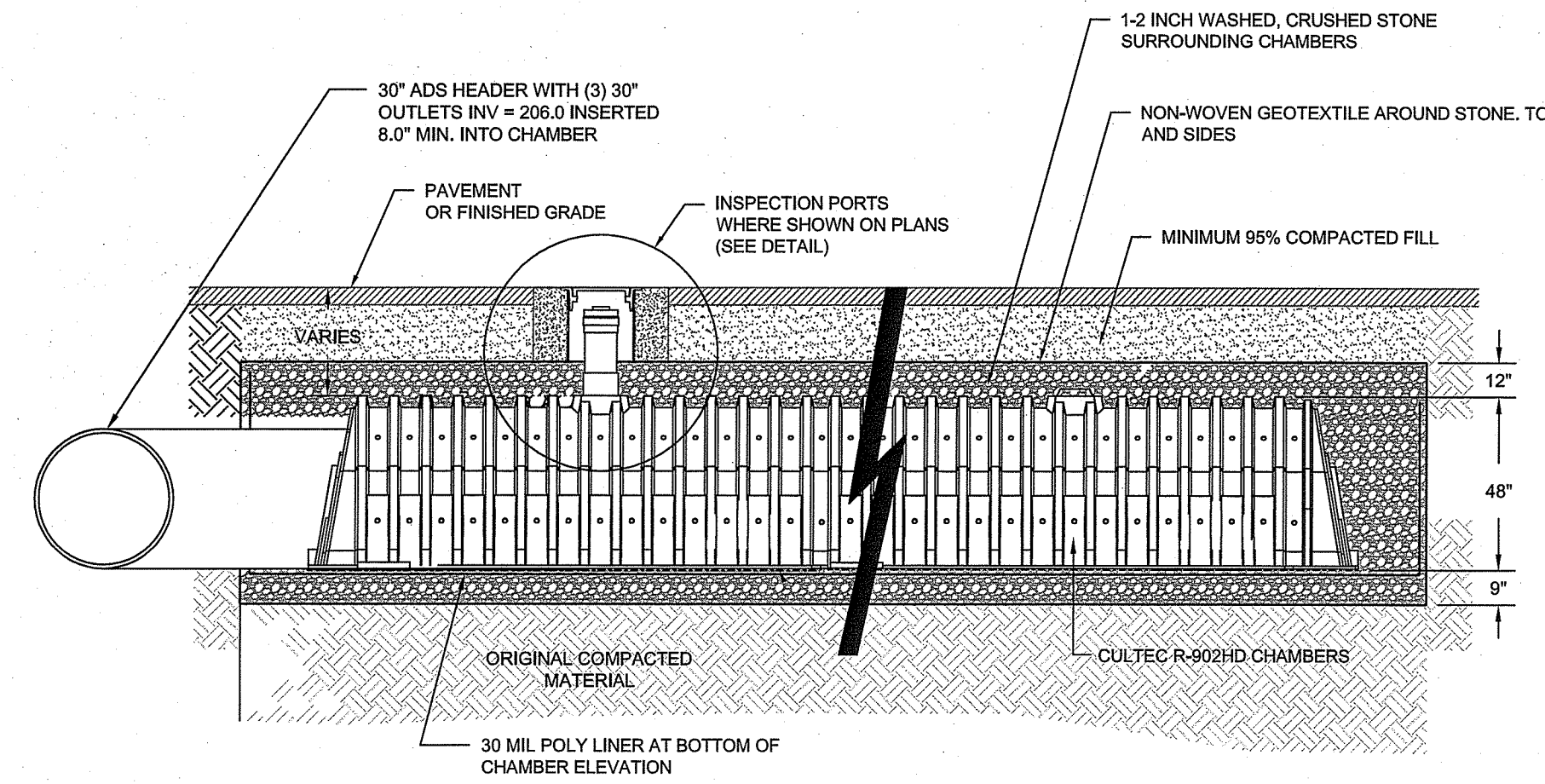
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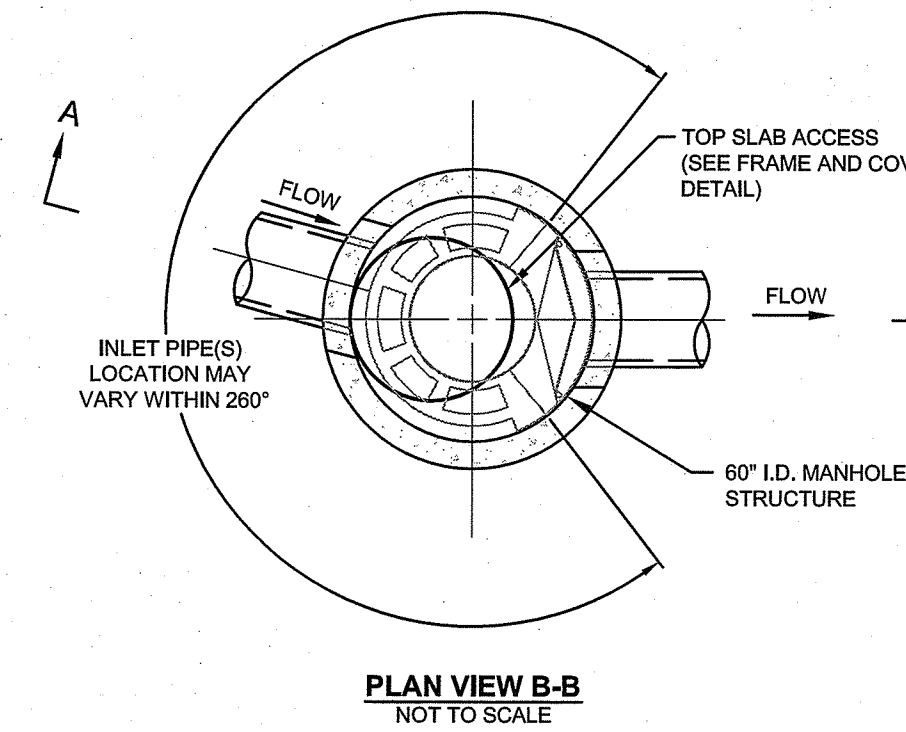
SITE/CIVIL  
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 TRANSPORTATION  
 STRUCTURAL



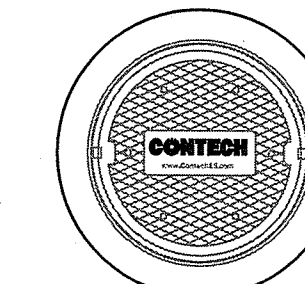
**CULTEC R-902HD SUBSURFACE DETENTION CROSS SECTION**  
 SCALE: NOT TO SCALE



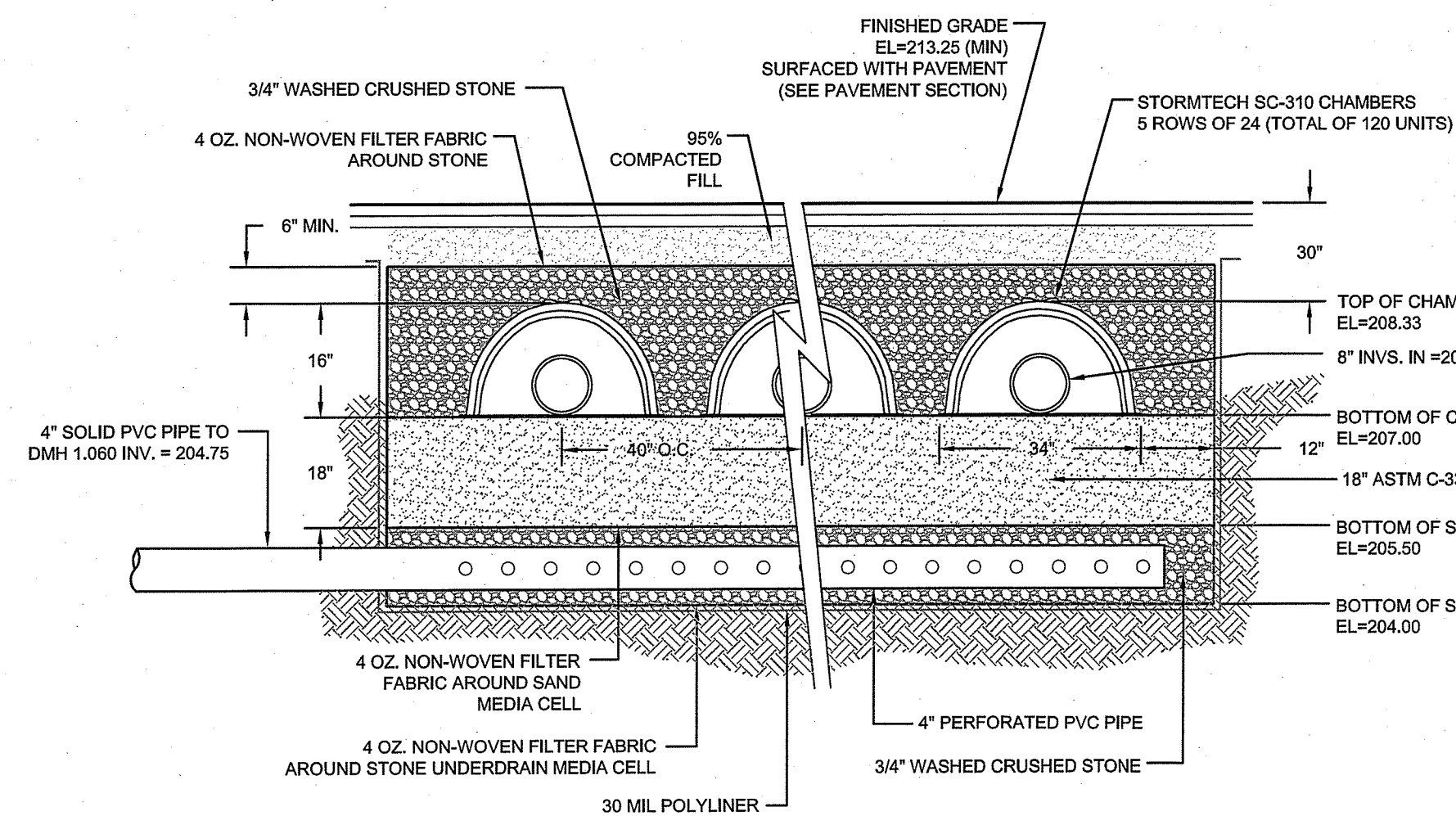
**CULTEC R-902HD SUBSURFACE DETENTION SYSTEM PROFILE**  
 SCALE: NOT TO SCALE



**PLAN VIEW B-B**  
 NOT TO SCALE

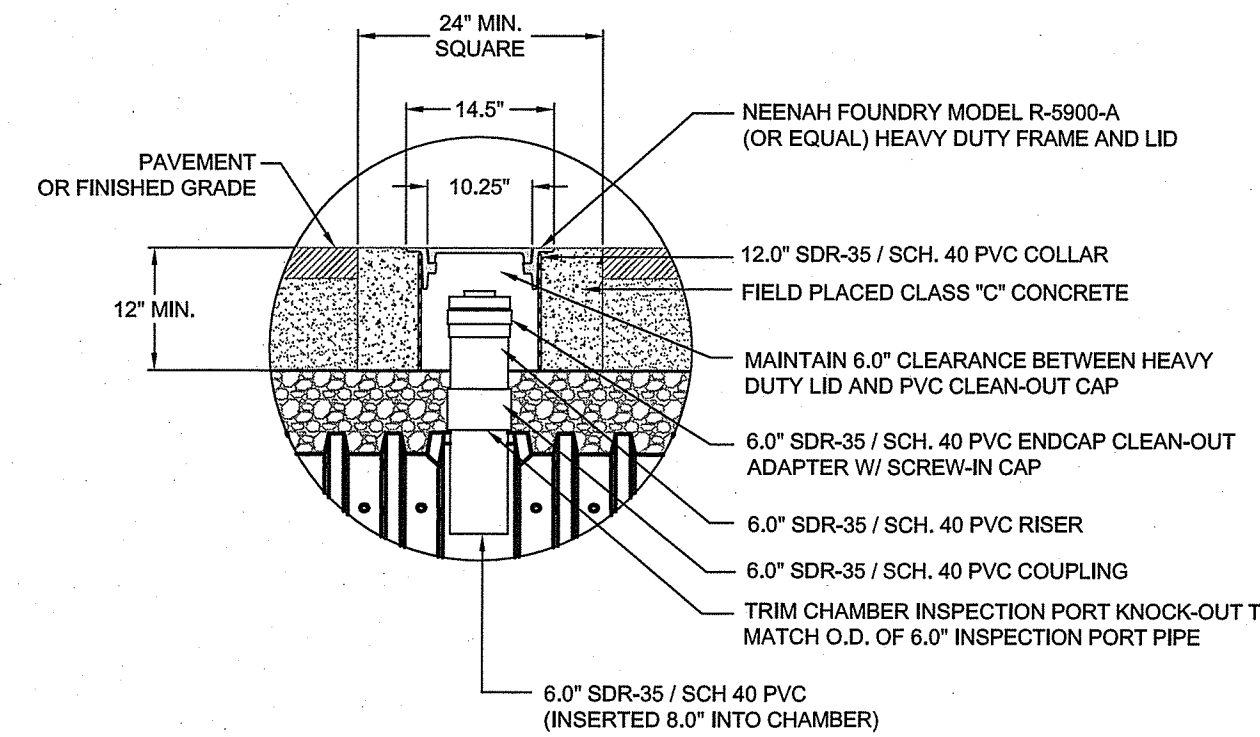


**FRAME AND COVER**  
 (DIAMETER VARIES)  
 NOT TO SCALE

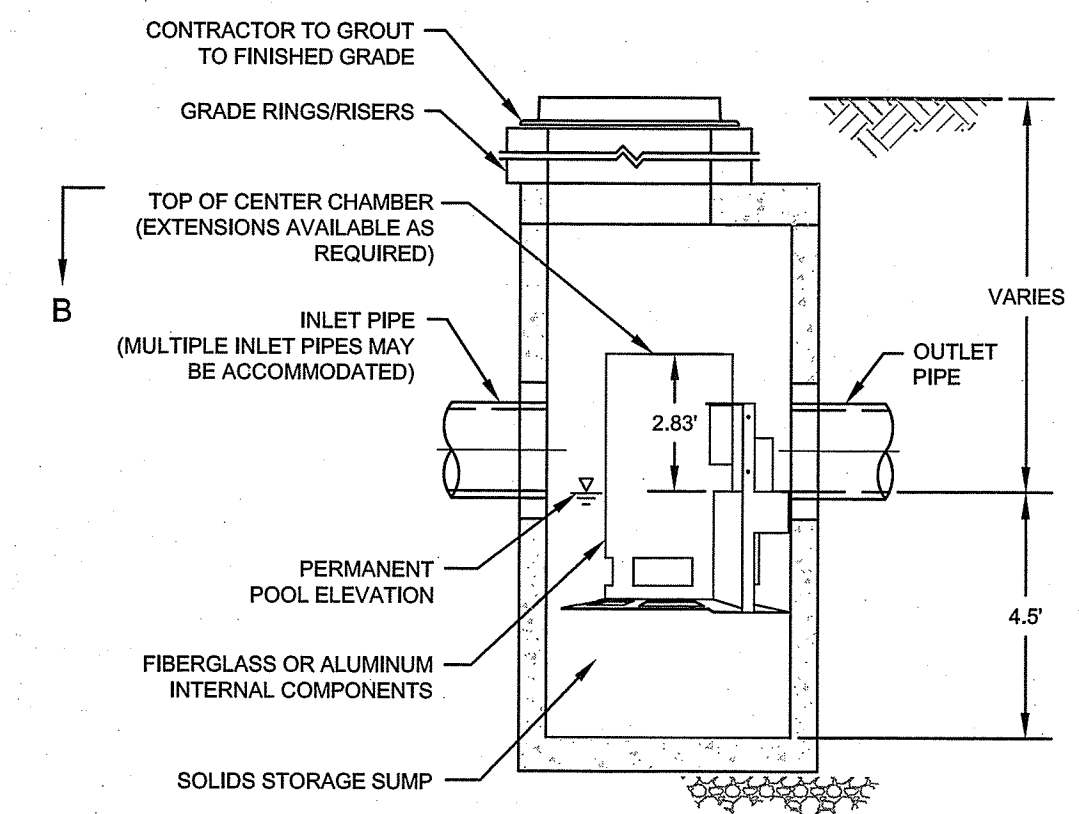


NOTE: EXCAVATION FOR SYSTEM MUST BE LINED WITH A 30 MIL POLYLINER TO PREVENT INTERACTION WITH GROUNDWATER

**SUBSURFACE SAND FILTER SECTION**  
 SCALE: NOT TO SCALE



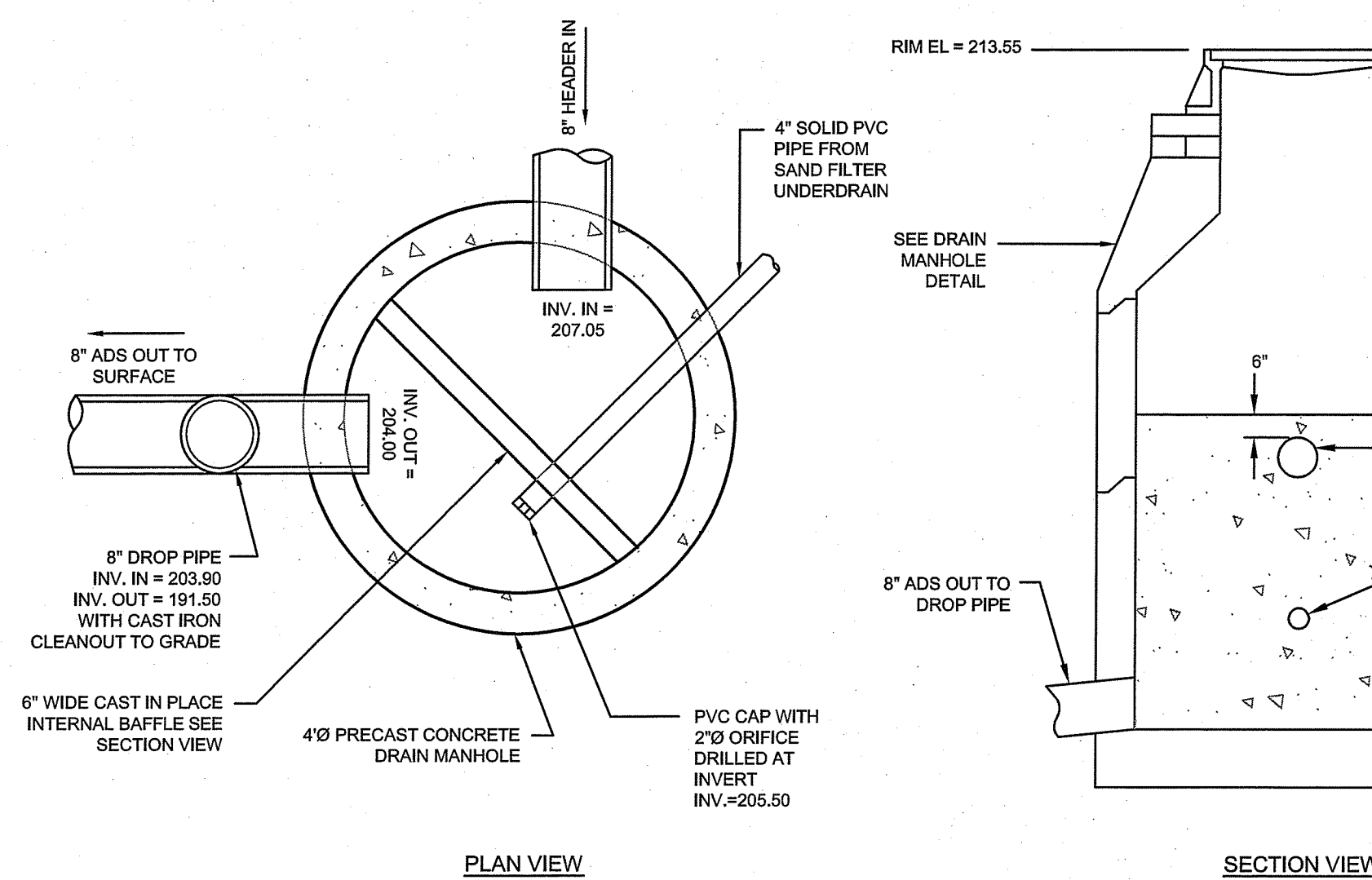
**INSPECTION PORT (PAVED APPLICATION)**  
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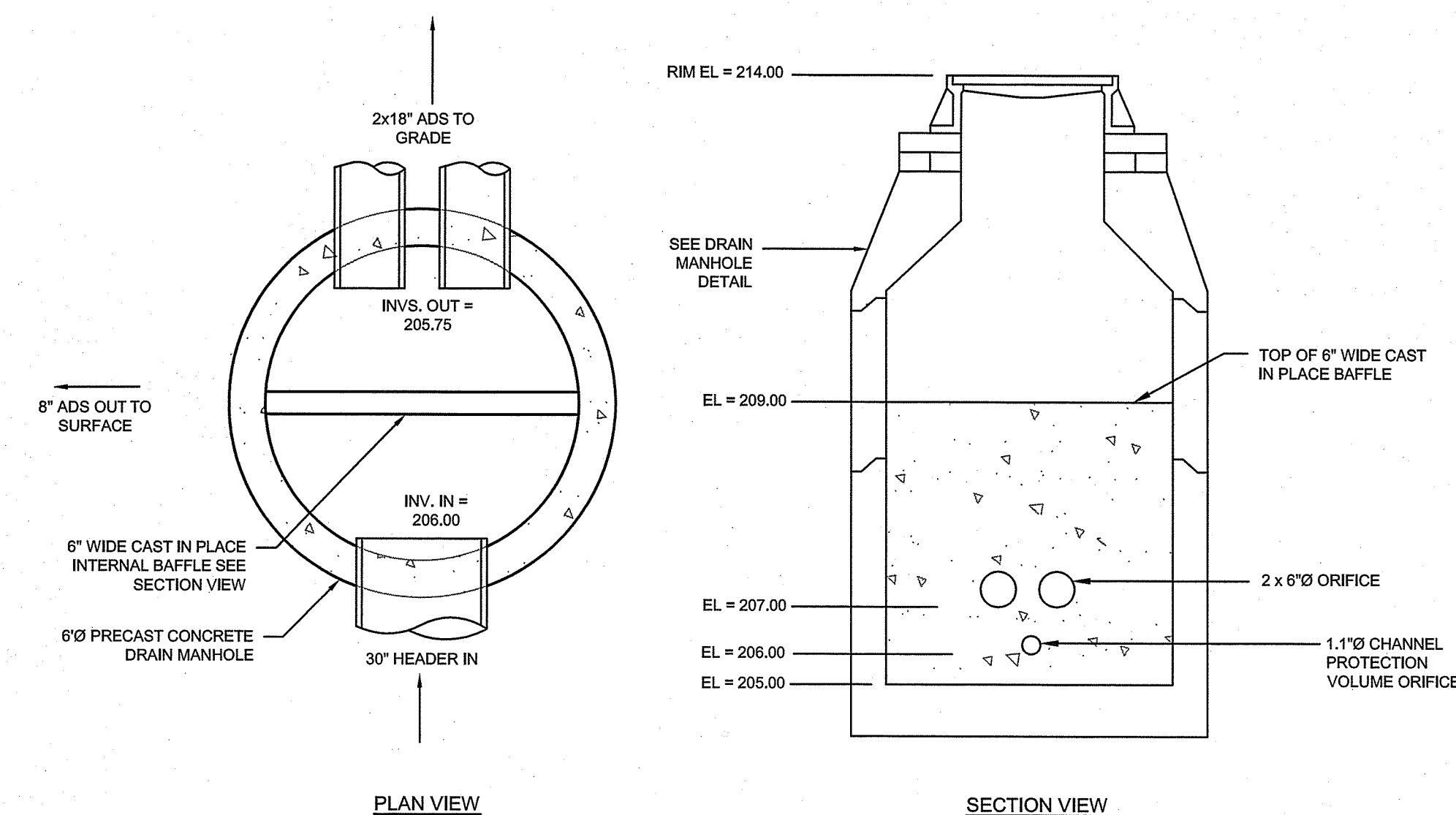
**CS-4 CASCADE SEPARATOR DETAIL**  
 SCALE: NOT TO SCALE

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
 OFFICE OF WATER RESOURCES  
 FRESHWATER WETLANDS PROGRAM  
 APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL  
 DATED: FEB 05 2025 FILE # 21019  
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

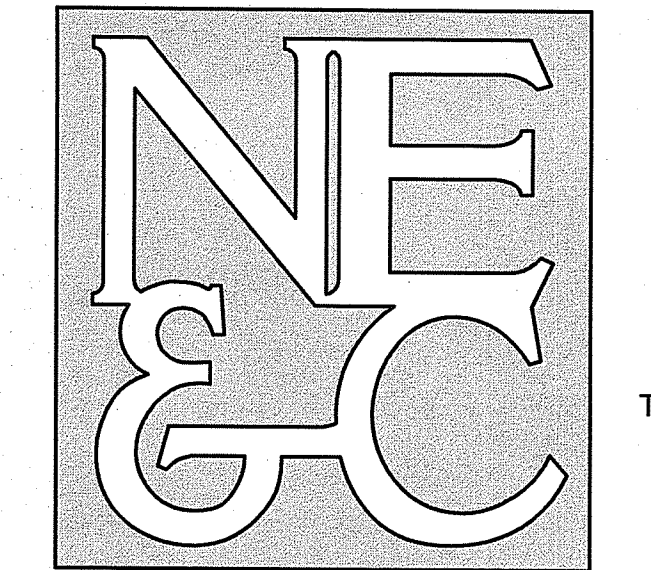
1				RIDEAM PERMIT MODIFICATION				01OCT24			
No.	Revision	Date	App.								
Designed By:	JJR	Drawn by:	JJR	Checked by:	GES						
Scale:	AS SHOWN			Date:	26APR21						
Project Title:											
<b>ECC CONSTRUCTION FACILITY AND STORAGE YARD</b> A.P. 105 LOT 601 EAGLEVILLE ROAD TIVERTON RHODE ISLAND											
Client/Owner:											
ECC EAGLEVILLE, LLC 202 CHASE ROAD PORTSMOUTH, RI 02871											
Issued for:											
PERMITTING											
Drawing Title:											
<b>SITE DETAILS 3</b> OCT 3 5 2024											
Drawing Number:											
<b>C-12</b>											
Sheet 12 of 13											
Project Number:											
20099.0											
Survey Index:											
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**SUBSURFACE SAND FILTER OUTLET STRUCTURE DETAIL (DMH 1.060)**  
 SCALE: NOT TO SCALE



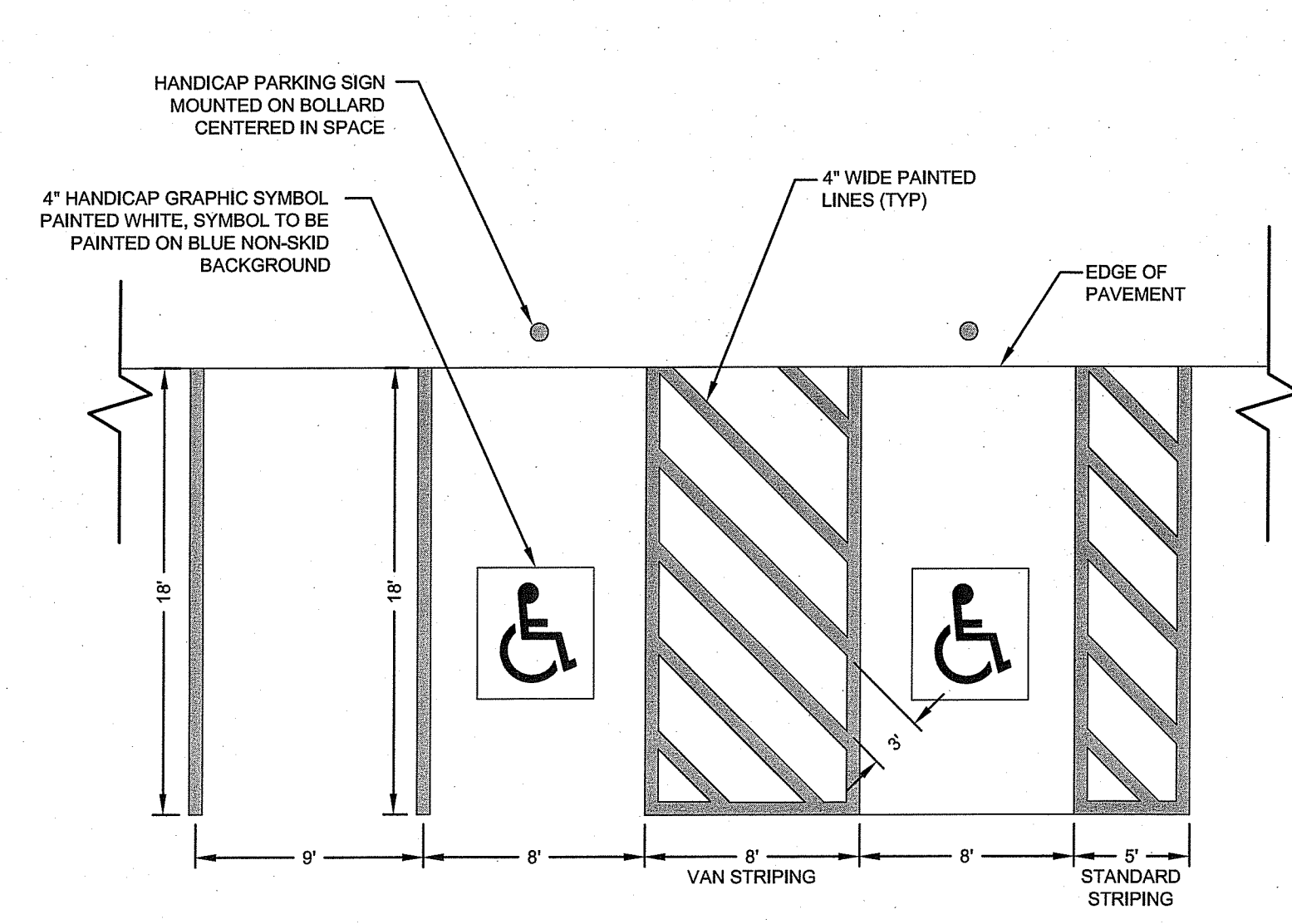
**SUBSURFACE DETENTION OUTLET STRUCTURE DETAIL (DMH 3.010)**  
 SCALE: NOT TO SCALE



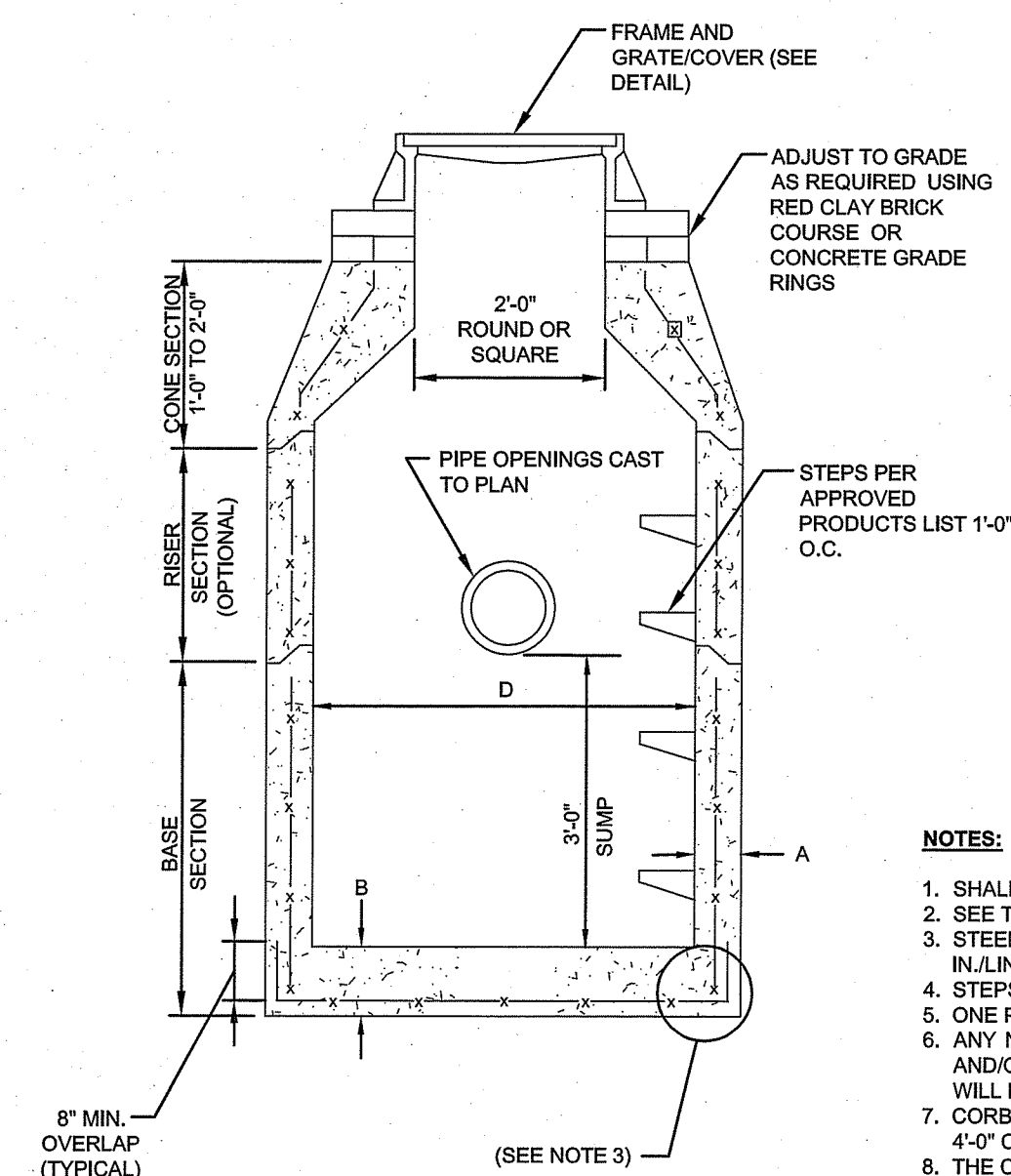
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STRUCTURAL



**PARKING STALL STRIPING**  
SCALE: NOT TO SCALE



ALTERNATIVE TOP SLAB (See Notes 9 & 10)

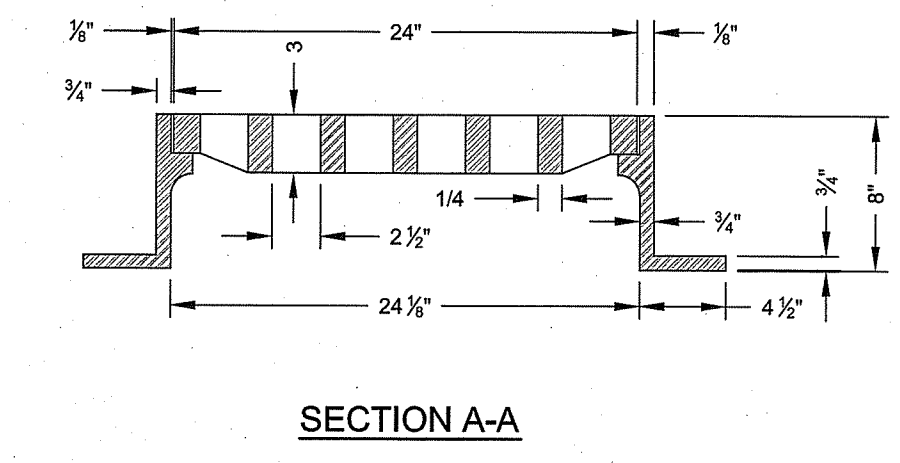
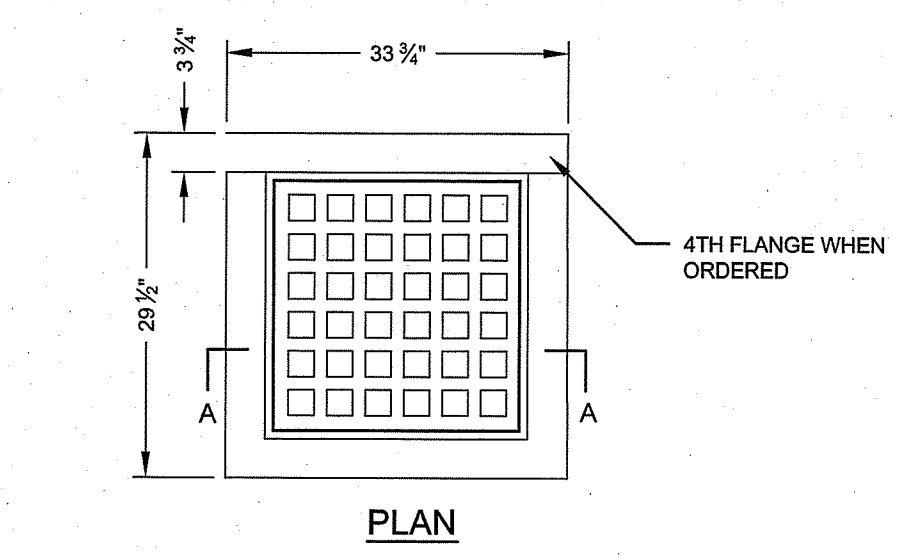
CATCH BASIN DIAMETER (D)	A	B	CIRCUMFERENTIAL STEEL REINFORCEMENT REQUIRED*
4'-0"	5"	6"	0.12 SQ. IN./LIN. FT.
5'-0"	6"	7"	0.15 SQ. IN./LIN. FT.
6'-0"	7"	8"	0.18 SQ. IN./LIN. FT.
8'-0"	9"	8"	REFER TO MANUFACTURER

\* FOR LONGITUDINAL (VERTICAL STANDING) REINFORCEMENT REFER TO ASTM C478, ITEM 8.1.2

**NOTES:**

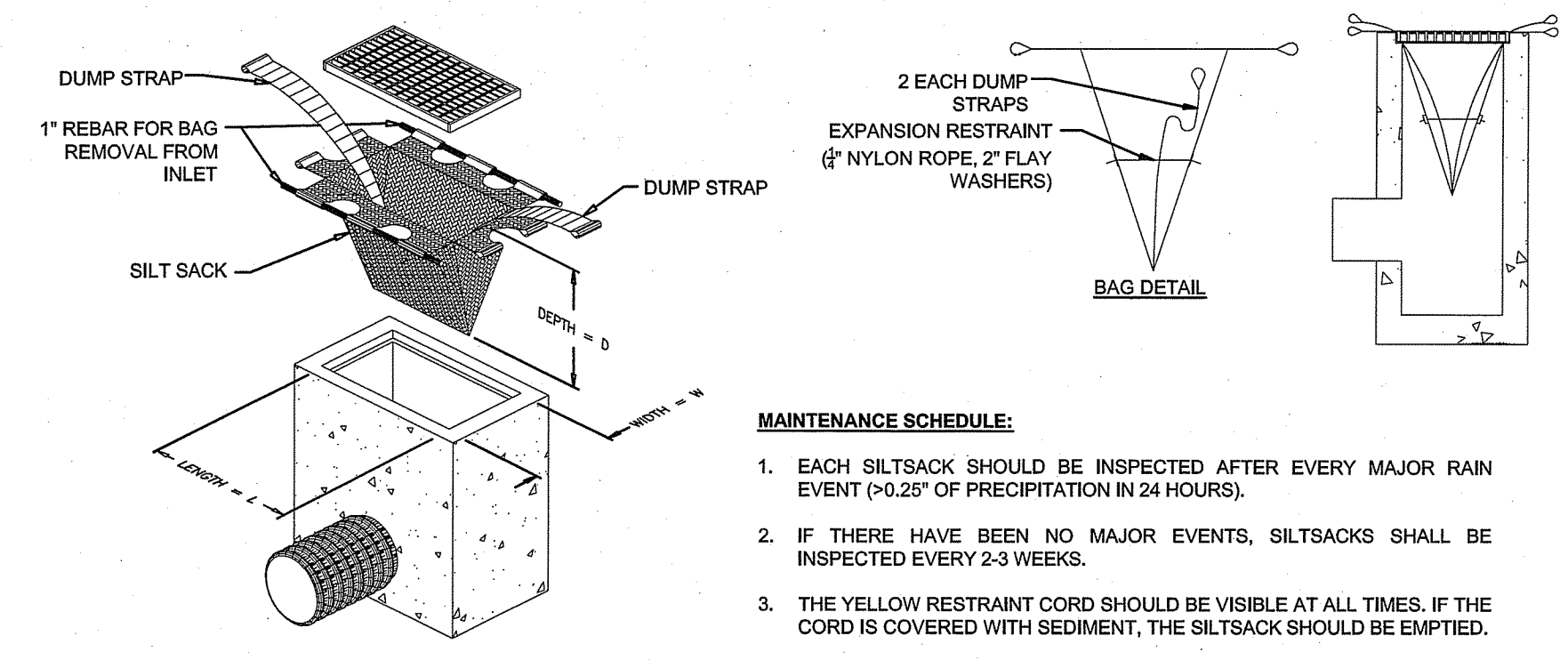
1. SHALL BE ACCORDANCE WITH SECTION 702 OF THE R.I. STANDARD SPECIFICATION.
2. SEE TABLE 1 FOR STEEL REINFORCEMENT REQUIREMENTS.
3. STEEL REINFORCEMENT FOR BASE SECTION BOTTOM SHALL BE A MINIMUM OF 0.12 SQ. IN./LIN. FT. (BOTH WAYS).
4. STEPS SHALL CONFORM TO STD. 5.3.0 AND SHALL BE INSTALLED AT THE CASTING PLANT.
5. ONE POUR MONOLITHIC BASE SECTION.
6. ANY NECESSARY ADJUSTMENTS DURING CONSTRUCTION WILL BE DONE BY SAW-CUTTING AND/OR CORING ONLY. NO JACKHAMMERS, HAMMERS AND CHISELS OR PNEUMATIC TOOLS WILL BE ALLOWED.
7. CORBEL MADE OF RED CLAY BRICK WILL BE PERMITTED FOR THE "CONE SECTION" OF THE 4'-0" CATCH BASIN ONLY.
8. THE CENTERLINE OF THE OPENING MUST BE WITHIN 2'-0" FROM THE STEPS.
9. ALTERNATIVE TOP SLAB IS STEEL REINFORCED TO MEET OR EXCEED H-25 LOADING (SEE STD. 4.7.2).
10. ALTERNATIVE TOP SLAB IS ONLY FOR USE WHEN REDUCING SECTION DOES NOT FIT BECAUSE OF STRUCTURE DEPTH.

**PRECAST ROUND CATCH BASIN & DRAIN MANHOLE**  
SCALE: NOT TO SCALE



**SQUARE FRAME AND GRATE**  
SCALE: NOT TO SCALE

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL  
DATED: FEB 05 2025 FILE # 21-0119  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
APPROVED PLANS MUST BE AT CONSTRUCTION SITE



- MAINTENANCE SCHEDULE:**
1. EACH SILTSACK SHOULD BE INSPECTED AFTER EVERY MAJOR RAIN EVENT (>0.25" OF PRECIPITATION IN 24 HOURS).
  2. IF THERE HAVE BEEN NO MAJOR EVENTS, SILTSACKS SHALL BE INSPECTED EVERY 2-3 WEEKS.
  3. THE YELLOW RESTRAINT CORD SHOULD BE VISIBLE AT ALL TIMES. IF THE CORD IS COVERED WITH SEDIMENT, THE SILTSACK SHOULD BE EMPTIED.

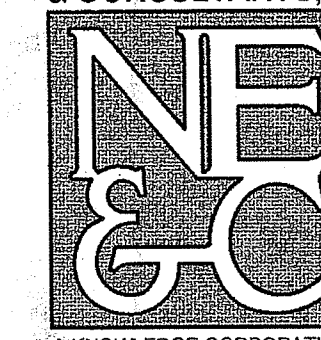
**SILT SACK DETAIL**  
SCALE: NOT TO SCALE

1				RIDEW PERMIT MODIFICATION		01OCT24	
No.	Revision	Date	App.				
Designed By:	JJR	Drawn by:	JJR	Checked by:	GES		
Scale:	AS SHOWN		Date:	26APR21			
Project Title:							
<b>ECC CONSTRUCTION FACILITY AND STORAGE YARD</b>							
A.P. 105 LOT 601 EAGLEVILLE ROAD TIVERTON RHODE ISLAND							
Client/Owner:							
ECC EAGLEVILLE, LLC 202 CHASE ROAD PORTSMOUTH, RI 02871							
Issued for:							
PERMITTING							
Drawing Title:							
<b>SITE DETAILS 4</b>							
OCT 25 2024							
				Drawing Number:			
				<b>C-13</b>			
				Sheet 13 of 13			
				Project Number: 20099.0			
				Survey Index:			
<p>OWNERSHIP AND USE OF DOCUMENTS: DRAWINGS AND SPECIFICATIONS, AS INSTRUMENTS OF PROFESSIONAL SERVICE, ARE AND SHALL REMAIN THE PROPERTY OF THE ENGINEER. THESE DOCUMENTS ARE NOT TO BE USED, IN WHOLE OR PART, FOR ANY OTHER PROJECTS OR PURPOSES, OR BY ANY OTHER PARTIES, THAN THOSE PROPERLY AUTHORIZED BY CONTRACT, WITHOUT THE EXPRESS AUTHORIZATION OF THE ENGINEER.</p>							

# ECC CONSTRUCTION STORAGE YARD

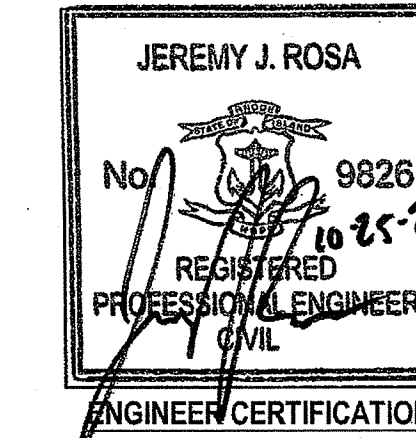
ASSESSOR'S PLAT 105 LOT 601  
EAGLEVILLE ROAD  
TIVERTON, RHODE ISLAND

CIVIL ENGINEER: NORTHEAST ENGINEERS & CONSULTANTS, INC.



A KNOWLEDGE CORPORATION  
6 VALLEY ROAD MIDDLETOWN RI 02842  
PHONE (401) 849-0810 FAX (401) 846-4199  
WWW.NORTHEASTENGINEERS.COM

SITE/CIVIL  
LAND PLANNING  
WATERFRONT  
SURVEYING  
GEOTECHNICAL  
ENVIRONMENTAL  
TRANSPORTATION  
STRUCTURAL  
MATERIALS TESTING



OWNER:

ECC EAGLEVILLE, LLC  
202 CHASE ROAD  
PORTSMOUTH, RI 02871

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS  
AS SPECIFIED IN THE LETTER OF APPROVAL  
DATED NOV - 5 2021 FILE # 21-0119  
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APPROVED PLANS MUST BE AT CONSTRUCTION SITE

*Dorothy L. Freeman*

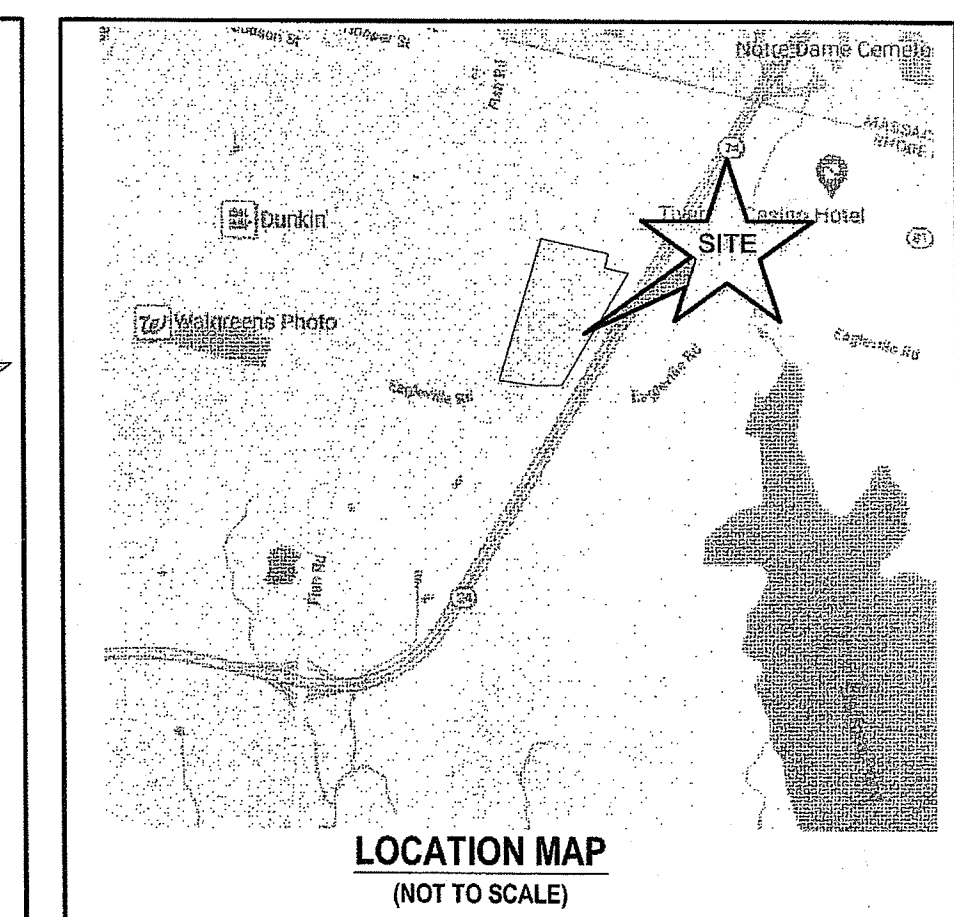
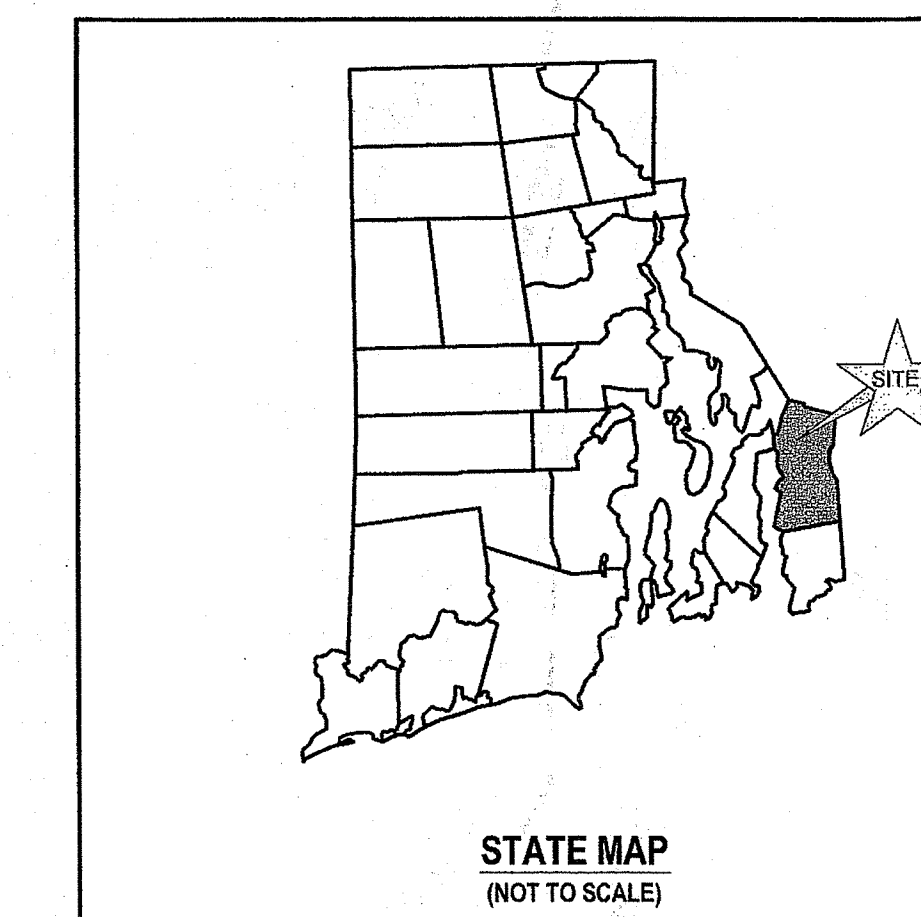
## OCTOBER 25, 2021 PERMIT SET

### PLAN INDEX

#### SITE/CIVIL ENGINEERING PLANS

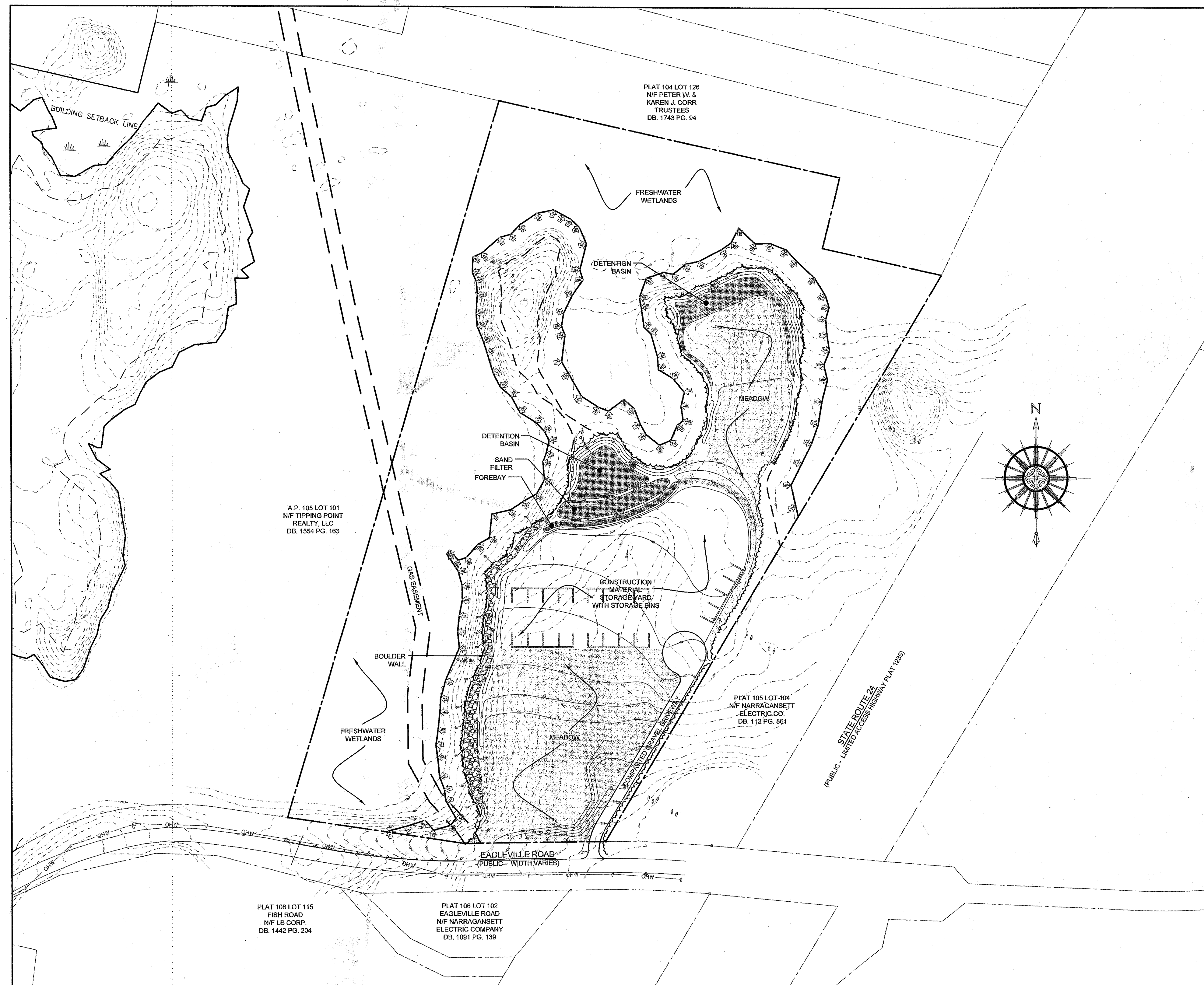
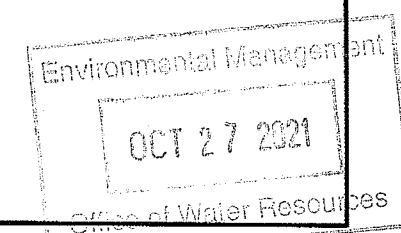
- TITLE SHEET
- PROJECT NOTES
- INDEX SHEET
- EXISTING CONDITIONS PLANS
- PROPOSED CONDITIONS PLANS
- PROPOSED SOIL EROSION & SEDIMENT CONTROL PLANS
- PROPOSED DETAILS

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- SHEET 2
- SHEET 3
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#### SUBMISSION AND REVISION SUMMARY

AGENCY OR REVISION	DATE	COMMENTS
RIDEM	APR 27, 2021	WETLANDS AND RIPDES
RIDEM	AUG 26, 2021	WETLANDS AND RIPDES
RIDEM	OCT 25, 2021	WETLANDS AND RIPDES



### SITE PLAN

SCALE = 1"=120'

**GENERAL NOTES**

- PROPERTY LINES AND EXISTING CONDITIONS TAKEN FROM PLANS ENTITLED "MINOR SUBDIVISION, EAGLEVILLE ROAD SUBDIVISION, EAGLEVILLE ROAD, A.P. 105 LOT 101, TIVERTON, RI 02878", PREPARED BY MOUNT HOPE ENGINEERING, INC. LAST REVISED 5/23/19.
- BASE OF ELEVATIONS IS ASSUMED.
- PROPERTIES ARE ZONED "I" (INDUSTRIAL), ABUTTING PROPERTIES ARE ALSO ZONED "I".
- NORTH ARROW AND BASIS OF BEARING IS NAV83.
- SOIL EVALUATIONS SHOWN PERFORMED BY BRANDON FANEUF (SOIL EVALUATORS LICENSE D4059) ON 12/5/16.
- SITE IS IN ZONE X (NOT A SPECIAL FLOOD HAZARD ZONE) PER FEMA MAP 44065C043H DATED 04/05/2010.
- PER PLAN IN REFERENCE #1, WETLANDS WERE DELINEATED BY EDWARD J. AVIZINIS ON 11-02-2016. LOCATIONS SHOWN MADE BY MT HOPE ENGINEERING WITH TRIMBLE GEO-XT SUBMETER GPS ON 11-17-201.
- NO BUILDINGS EXIST ON SUBJECT PROPERTY.
- NO PUBLIC SEWER AVAILABLE TO SUBJECT PROPERTY LINE. THERE ARE NO EXISTING WATER OR ELECTRIC LINES ON SUBJECT PROPERTY. EXISTING GAS LINES ARE LOCATED WITHIN GAS EASEMENT SHOWN ON PLAN.
- PER PLAN IN REFERENCE #1, NO LOCATION PLANS WERE FOUND FOR THE ALGONQUIN GAS TRANSMISSION EASEMENT. SOME DEED REFERENCES FOR THE VICINITY AND HIGHWAY PLANS DEPICT SAID EASEMENTS TO BE 30' WIDE. LOCATION SHOWN BASED ON VENT MARKERS FOUND.
- THE CONTRACTOR SHALL VERIFY THE PROPOSED LAYOUT AND DETAILS WITH THEIR RELATIONSHIP TO THE EXISTING SITE SURVEY. CONTRACTOR SHALL ALSO VERIFY ALL DIMENSIONS, SITE CONDITIONS AND MATERIAL SPECIFICATIONS AND SHALL NOTIFY THE OWNER AND ENGINEER OF ANY ERRORS, OMISSIONS OR DISCREPANCIES BEFORE COMMENCING WORK.
- THE UNDERGROUND UTILITIES KNOWN TO EXIST BY THE ENGINEER FROM HIS SEARCH OF RECORDS ARE INDICATED ON THE PLANS. CONTRACTOR SHALL VERIFY THE LOCATIONS AND DEPTHS OF THE UTILITIES AND EXERCISE PROPER CARE IN EXCAVATING IN THE AREA. ALL DAMAGED PORTIONS SHALL BE REPLACED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE AFFECTED UTILITY COMPANY AND SHALL BE THE CONTRACTOR'S RESPONSIBILITY. PERSONAL INJURY RESULTING FROM CONTACT WITH EXISTING UTILITIES SHALL BE THE CONTRACTOR'S RESPONSIBILITY. WHEREVER CONNECTION OF NEW UTILITIES TO EXISTING UTILITIES ARE SHOWN ON THE PLANS, THE CONTRACTOR SHALL EXPOSE THE EXISTING LINES AT THE PROPOSED CONNECTIONS TO VERIFY THEIR LOCATIONS AND DEPTHS PRIOR TO EXCAVATION FOR NEW LINES. (PLEASE CALL DIG SAFE PRIOR TO CONSTRUCTION AT 1-888-DIG-SAFE AND ALL LOCAL UTILITY COMPANIES.)
- THE CONTRACTOR SHALL NOTIFY ALL AGENCIES TO VERIFY THE ACTUAL LOCATIONS OF ALL UTILITIES IN THE PROJECT AREA PRIOR TO EXCAVATING.
- THE CONTRACTOR SHALL RESTORE TO THEIR ORIGINAL CONDITION OR BETTER, ALL IMPROVEMENTS DAMAGED AS A RESULT OF THE CONSTRUCTION, INCLUDING PAVEMENTS, EMBANKMENTS, CURBS, SIGNS, LANDSCAPING, STRUCTURES, UTILITIES, WALLS, FENCES, ETC. UNLESS PROVIDED FOR SPECIFICALLY IN THE PROPOSAL.
- CONTRACTOR SHALL EXERCISE EXTREME CAUTION TO PRESERVE STREET MONUMENTS.
- STREET MONUMENTS THAT ARE DISTURBED SHALL BE RESTORED UNDER THE LICENSED LAND SURVEYOR'S DIRECTION. ANY NEW DATA SUCH AS ELEVATIONS SHALL BE CERTIFIED BY THE SURVEYOR, AND SUBMITTED TO THE TOWN OF TIVERTON.
- DEVIATIONS OR CHANGES FROM THESE PLANS WILL NOT BE ALLOWED UNLESS APPROVED BY THE PROJECT ENGINEER, APPROPRIATE AGENCY AND OWNER.
- RELOCATION OF ANY UTILITIES SHALL BE AT THE OWNERS EXPENSE AND BE COMPLETED WITH THE UTILITY WORK. THE OWNER SHALL BE NOTIFIED AS TO THE RELOCATION REQUIRED PRIOR TO THE START OF CONSTRUCTION.
- AN APPROVED SET OF PLANS AND ALL APPLICABLE PERMITS MUST BE AVAILABLE AT THE CONSTRUCTION SITE AT ALL TIMES.
- CONTRACTOR AGREES THAT HE/SHE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF THE CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT TO BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEERS HARMLESS FROM ANY AND ALL LIABILITY, REAL AND ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM "THE SOLE NEGLIGENCE OF THE OWNER OR PROJECT ENGINEER."
- ALL TRAFFIC CONTROL SHALL CONFORM TO THE MANUAL FOR UNIFORM TRAFFIC CONTROL DEVICES LATEST EDITION INCLUDING ALL REVISIONS.
- THERE ARE HYDRIC SOILS (Fa) ON THE SUBJECT PROPERTY. THESE SOILS ARE LIMITED TO FLAGGED WETLANDS AND REGULATED PERIMETER WETLANDS. ALL SOILS WITHIN DEVELOPABLE AREAS ARE CLASSIFIED AS C&C (C&Dm). THIS IS A WELL DRAINING HYDROLOGIC GROUP "B" SOIL.

**GRADING NOTES**

- ADEQUATE PROVISIONS SHALL BE MADE TO PREVENT SURFACE WATERS FROM DAMAGING THE CUT FACE OF AN EXCAVATION OR THE SLOPED SURFACES OF A FILL. FURTHERMORE, ADEQUATE PROVISIONS SHALL BE MADE TO PREVENT SEDIMENT RUNOFF FROM LEAVING THE SITE.
- ALL GRADED AREAS SHALL BE SODDED OR PLANTED IMMEDIATELY AFTER THE GRUBBING WORK HAS BEEN COMPLETED.
- THE TOWN SHALL BE INFORMED OF THE LOCATION OF THE DISPOSAL SITE, IF ANY, FOR THE PROJECT.
- NO GRADING WORK SHALL BE DONE ON SATURDAYS, SUNDAYS AND HOLIDAYS AT ANY TIME WITHOUT PRIOR NOTICE TO THE MUNICIPALITY, PROVIDED SUCH GRADING WORK IS ALSO IN CONFORMANCE WITH THE COMMUNITY NOISE CONTROL STANDARDS.
- THE LIMITS OF DISTURBANCE SHALL BE FLAGGED BEFORE THE COMMENCEMENT OF THE GRADING WORK.
- ALL GRADING OPERATIONS SHALL BE PERFORMED IN CONFORMANCE WITH THE APPLICABLE PROVISIONS OF THE DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND THE MUNICIPALITY.
- WHERE APPLICABLE AND FEASIBLE THE MEASURES TO CONTROL EROSION AND OTHER POLLUTANTS SHALL BE IN PLACE BEFORE GRADING WORK IS INITIATED.
- TEMPORARY EROSION CONTROLS SHALL NOT BE REMOVED BEFORE PERMANENT EROSION CONTROLS ARE IN-PLACE AND ESTABLISHED.
- IF THE GRADING WORK INVOLVES CONTAMINATED SOIL, THEN ALL GRADING WORK SHALL BE DONE IN CONFORMANCE WITH APPLICABLE STATE AND FEDERAL REQUIREMENTS.
- NONCOMPLIANCE TO ANY OF THE ABOVE REQUIREMENTS SHALL MEAN IMMEDIATE SUSPENSION OF ALL WORK AND REMEDIAL WORK SHALL COMMENCE IMMEDIATELY. ALL COSTS INCURRED SHALL BE BILLED TO THE VIOLATOR. FURTHERMORE, VIOLATORS SHALL BE SUBJECT TO ADMINISTRATIVE, CIVIL AND/OR CRIMINAL PENALTIES.

**UTILITY NOTES**

- THERE ARE NO NEW UTILITIES PROPOSED AS PART OF THIS PROJECT.
- THERE ARE NO KNOWN UTILITIES IN THE AREA OF WORK.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL ASSUMPTIONS, DEDUCTIONS, OR CONCLUSIONS HE/SHE MAY MAKE OR DERIVE FROM THE SUBSURFACE INFORMATION OR DATA FURNISHED ON THE PLANS. THE CONTRACTOR MUST SATISFY HIMSELF/HERSELF THROUGH HIS/HER OWN INVESTIGATIONS AS TO WHAT SUBSURFACE CONDITIONS ARE TO BE ENCOUNTERED.

**SOIL EROSION AND SEDIMENT CONTROL NOTES**

- CONSTRUCTION SEQUENCE:
  - DO NOT BEGIN CONSTRUCTION UNTIL ALL LOCAL, STATE, AND FEDERAL PERMITS HAVE BEEN APPLIED FOR AND RECEIVED. THIS INCLUDES ALL PERMITS FROM APPLICABLE UTILITIES.
  - ALL CONSTRUCTION VEHICLES SHALL ENTER AND LEAVE THE SITE VIA THE PROPOSED CONSTRUCTION ENTRANCE CONFORMING TO THE DETAIL PROVIDED.
  - INSTALL SILT FENCES, SILT SACKS, CHECK DAMS, FILTER SOCKS, STRAW WATTLE AND/OR STRAW BALES AS INDICATED ON THE DRAWINGS TO CONTROL EROSION AND PREVENT SEDIMENT CONTAMINATION OF DOWNSTREAM AREAS PRIOR TO ANY EARTH MOVING ACTIVITIES. THE CONTRACTOR SHALL CONFORM WITH THE TOWN BUILDING OFFICIAL/TOWN ENGINEER WHICH TYPE OF SEDIMENTATION BARRIERS ARE PREFERRED BY THE TOWN PRIOR TO INSTALLATION.
  - AREA OF POTENTIAL FUTURE OWTS SHALL BE FLAGGED AND DELINEATED WITH EROSION CONTROL BARRIERS AS SHOWN ON PLANS.
  - LIMITS OF CLEARING SHALL BE FLAGGED PRIOR TO THE REMOVAL OF ANY VEGETATION. REMOVE VEGETATION ONLY WHERE NECESSARY. ANY STUMPS TO BE GROUND OR DISPOSED OF OFF SITE.
  - EXCAVATE SAND FILTER AND DETENTION BASINS IN ACCORDANCE WITH THE PLANS AND ESTABLISH A TEMPORARY VEGETATIVE GROWTH THAT MEETS THE APPROVAL OF THE TOWN ENGINEER/BUILDING OFFICIAL. THESE DEPRESSIONS SHALL BE USED AS TEMPORARY SEDIMENT TRAPS DURING CONSTRUCTION. TEMPORARY STONE WEIRS SHALL BE CONSTRUCTED IN THE DETENTION BASIN EXCAVATIONS IN THE VICINITY OF THE FUTURE CONCRETE WEIRS.
  - ROUGH GRADE SITE AND CONSTRUCT BOULDER WALLS USING ON-SITE ROCK.
  - CONSTRUCT SWALES AND INSTALL DRIVEWAY GRAVEL MATERIAL.
  - FINAL GRADE SITE AND PLACE COMPACTED GRAVEL SURFACES IN THE LIMITS OF THE STORAGE FACILITY AS SHOWN.
  - REMOVE SEDIMENTS FROM SAND FILTER AND DETENTION BASIN EXCAVATIONS. OVER-EXCAVATE AND SCARIFY THE BOTTOMS OF THESE DEVICES TO RESTORE INFILTRATION CAPACITY. INSTALL SAND MEDIA AND COMPLETE SAND FILTER AND DETENTION BASIN CONSTRUCTION.
  - ESTABLISH FINAL VEGETATIVE GROWTH ON ALL DISTURBED AREAS NOT WITHIN GRAVEL STORAGE AREA.
- NOTES:
  - DURING CONSTRUCTION AND THEREAFTER, EROSION CONTROL MEASURES ARE TO BE IMPLEMENTED AS NOTED. ONLY THE SMALLEST PRACTICAL AREA OF LAND SHOULD BE EXPOSED AT ANY ONE TIME DURING DEVELOPMENT. WHEN LAND IS EXPOSED DURING DEVELOPMENT, THE EXPOSURE SHOULD BE KEPT TO THE SHORTEST PRACTICAL PERIOD OF TIME.
  - AREA OF POTENTIAL FUTURE OWTS SHALL NOT BE USED FOR STOCKPILES OR STORAGE OF MATERIALS OR EQUIPMENT.
  - ANY DISTURBED AREAS WHICH ARE TO BE LEFT TEMPORARILY AND WHICH WILL BE REGRADED LATER DURING CONSTRUCTION SHALL BE STABILIZED WITHIN FOURTEEN DAYS IN ACCORDANCE WITH TEMPORARY MEASURES IN THE VEGETATIVE PRACTICE NOTES.
  - AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED, AND STRIPPED OF TOP SOIL TO REMOVE VEGETATION, ROOTS, AND ANY OTHER OBJECTIONABLE MATERIAL.
  - ALL FILL SHALL BE COMPACTED TO 95% MAX. DENSITY TO REDUCE EROSION, SLIPPAGE, SETTLEMENT SUBSIDENCE, OR OTHER RELATED PROBLEMS.
  - FILL INTENDED TO SUPPORT ANY POTENTIAL BUILDING STRUCTURES AND CONDUITS, ETC., SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL CODES AND SPECIFICATIONS.
  - ALL FILL SHALL BE PLACED AND COMPACTED TO 95% MAX. DENSITY IN LAYERS NOT TO EXCEED 12" IN THICKNESS FILLS.
  - FILL MATERIAL SHALL BE FREE OF BRUSH, RUBBISH, ROCKS, LOGS, STUMPS, BUILDING DEBRIS, AND OTHER OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
  - FROZEN, SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIAL SHALL NOT BE INCORPORATED INTO FILLS.
  - FILL SHALL NOT BE PLACED ON A FROZEN SUBGRADE.
  - SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER.
  - ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 14 DAYS OF FINISH GRADING IN ACCORDANCE WITH THE VEGETATIVE PRACTICE NOTES.
  - REMOVE TEMPORARY EROSION CONTROL MEASURES ONCE UPSLOPE AREAS HAVE BEEN PERMANENTLY STABILIZED AND VEGETATED AREAS HAVE RECEIVED TWO MOWINGS.
- VEGETATIVE PRACTICE:
 

PERMANENT MEASURES:

  - SLOPES SHALL NOT BE STEEPER THAN 1 VERTICAL TO 3 HORIZONTAL UNLESS OTHERWISE SPECIFIED.
  - LOAM AND SEED REQUIREMENTS ARE SPECIFIED IN RIDOT LOT 1 & LOT 2.
  - A MINIMUM OF 4 INCHES OF LOAM SHALL BE INSTALLED. THE LOAM SHALL BE GRADED TO A SMOOTH CONDITION AND STONES AND OTHER OBJECTS LARGER THAN 2 INCHES SHALL BE REMOVED.

TEMPORARY MEASURES (FOR TEMPORARY PROTECTION OF DISTURBED AREAS)

  - LIMESTONE AND FERTILIZER SHALL BE APPLIED AT THE FOLLOWING RATE:
    - LIMESTONE: 3 TONS/ACRE
    - FERTILIZER: (10-10-10): 600 LBS/ACRE
  - SEED SHALL BE APPLIED AT THE FOLLOWING RATE:
    - WINTER RYE: 100 LB/ACRE
    - STRAW MULCH SHALL BE APPLIED AT THE RATE OF 1.5 TONS/ACRE.
- MAINTENANCE
 

DURING THE PERIOD OF CONSTRUCTION AND/OR UNTIL LONG TERM VEGETATION IS ESTABLISHED, THE EROSION CONTROL MEASURES SHALL BE INSPECTED.

  - AT A MINIMUM THE SILT FENCING, STRAW BALES AND FILTER SOCK BARRIERS SHALL BE INSPECTED AND REPAIRED ONCE A WEEK AND / OR IMMEDIATELY FOLLOWING A SIGNIFICANT RAINFALL OR SNOWMELT. SEDIMENT TRAPPED BEHIND THE BARRIERS SHALL BE EXCAVATED WHEN IT REACHES A DEPTH OF 6" AND REGRADED ON THE SITE.
  - EROSION CONTROL BLANKETS SHALL BE INSPECTED ON A WEEKLY BASIS.
  - STONE RIPRAP SHALL BE INSPECTED MONTHLY FOR EXCESSIVE ACCUMULATION OF SEDIMENT. IT MAY BE NECESSARY TO REMOVE STONES, EXCAVATE SEDIMENT, AND REPLACE STONES.
  - IF INSTALLED, THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE REMOVED PRIOR TO PAVING. DURING CONSTRUCTION THE ENTRANCE SHALL BE INSPECTED WEEKLY, AND RE-ESTABLISHED AS NECESSARY.
  - SEEDED AREAS WILL BE FERTILIZED AND RESEED AS NECESSARY TO INSURE ESTABLISHMENT OF A VEGETATIVE GROWTH THAT MEETS THE APPROVAL OF THE TOWN ENGINEER.

**DRAINAGE NOTES**

- ALL SEDIMENT FOREBAY WEIRS SHALL BE STONE PER THE DETAILS PROVIDED.
- ALL SAND FILTER AND DETENTION BASIN WEIRS SHALL BE CAST CONCRETE PER THE DETAILS PROVIDED.
- BASIN LOW FLOW OUTLET STRUCTURES SHALL BE 12" ADS DRAIN BASINS. ALL PIPE SHALL BE SCHEDULE 40 PVC.
- SWALES, SAND FILTER, AND DETENTION BASINS SHALL BE CONSTRUCTED ACCORDING TO THE DETAILS PROVIDED. ANY DISCREPANCIES OR INCONGRUENCIES WITH THE EXISTING SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER PRIOR TO CONSTRUCTION.

**PUBLIC HEALTH SAFETY AND CONVENIENCE NOTES**

- CONTRACTOR SHALL OBSERVE AND COMPLY WITH ALL FEDERAL, STATE, AND LOCAL LAWS REQUIRED FOR THE PROTECTION OF PUBLIC HEALTH, SAFETY AND ENVIRONMENTAL QUALITY.
- THE CONTRACTOR AT HIS/HER EXPENSE, SHALL KEEP THE PROJECT AREA AND SURROUNDING AREA FREE FROM RUBBISH, DUST, NOISE, EROSION, ETC. THE WORK SHALL BE DONE IN CONFORMANCE WITH THE AIR AND WATER POLLUTION CONTROL STANDARDS AND REGULATIONS OF ALL APPLICABLE FEDERAL, STATE AND LOCAL AGENCIES.
- NO CONTRACTOR SHALL PERFORM ANY CONSTRUCTION OPERATION SO AS TO CAUSE FALLING ROCKS, SILT OR DEBRIS IN ANY FORM TO FALL, SLIDE OR FLOW ONTO ADJOINING PROPERTIES, STREETS OR NATURAL WATERCOURSES. SHOULD SUCH VIOLATIONS OCCUR, THE CONTRACTOR MAY BE CITED AND THE CONTRACTOR SHALL IMMEDIATELY MAKE ALL REMEDIAL ACTIONS AS NECESSARY.
- THE CONTRACTOR SHALL PROVIDE, INSTALL AND MAINTAIN ALL NECESSARY SIGNS, LIGHTS, FLARES, BARRICADES, MARKERS, CONES, AND OTHER PROTECTIVE FACILITIES AND SHALL TAKE ALL NECESSARY PRECAUTIONS FOR THE PROTECTION, CONVENIENCE AND SAFETY OF THE PUBLIC.

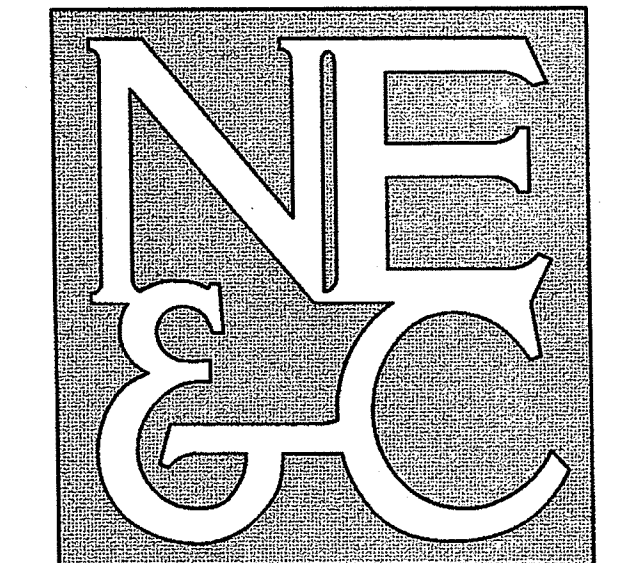
**STORMWATER MAINTENANCE NOTES**

- SAND FILTER MAINTENANCE:
  - GRASSES AND/OR SPECIFIED VEGETATION SHALL BE PLANTED AROUND AND WITHIN THE SAND FILTER IMMEDIATELY FOLLOWING CONSTRUCTION TO STABILIZE SLOPES AND PREVENT EROSION.
  - THE FILTER SHOULD BE INSPECTED FOLLOWING AT LEAST THE FIRST TWO PRECIPITATION EVENTS OF AT LEAST 1.0 INCH TO ENSURE THAT THE SYSTEM IS FUNCTIONING PROPERLY. THEREAFTER, THE FILTER SHOULD BE INSPECTED AT LEAST ANNUALLY AND AFTER STORM EVENTS OF GREATER THAN OR EQUAL TO THE 1-YEAR, 24-HOUR TYPE III PRECIPITATION EVENT (2.8 INCHES). SEDIMENTS COLLECTED WITHIN THE TOP STRATA OF THE FILTER SHALL BE GRASSES AND/OR SPECIFIED VEGETATION SHALL BE PLANTED AROUND AND WITHIN THE SAND FILTER IMMEDIATELY FOLLOWING CONSTRUCTION TO STABILIZE SLOPES AND PREVENT EROSION.
  - THE FOLLOWING SHALL ALSO BE COMPLETED ON AN ANNUAL BASIS:
    - THE SLOPES OF THE FILTER SHOULD BE INSPECTED FOR EROSION AND GULLING.
    - REINFORCE ANY EXISTING RIPRAP IF IT IS FOUND TO BE DEFICIENT, EROSION IS PRESENT AT THE OUTLET STRUCTURES, OR ANY EXISTING RIPRAP HAS BEEN COMPROMISED.
    - ANY AREAS WITHIN THE EXTENTS OF THE FILTER THAT ARE SUBJECT TO EROSION OR GULLING SHOULD BE REPLISHED WITH THE ORIGINAL DESIGN MATERIAL, AND RE-VEGETATED ACCORDING TO DESIGN DRAWINGS. SLOPE PROTECTION MATERIAL SHOULD BE PLACED IN AREAS PRONE TO EROSION. EMBANKMENT STABILITY SHOULD BE INSPECTED FOR SEEPAGE AND BURROWING ANIMALS.
    - MOW THE GRASS AROUND THE PERIMETER OF AND WITHIN THE FILTER. SEED BARE AREAS, AND REMOVE LITTER AND DEBRIS AT LEAST THREE TIMES PER GROWING SEASON TO MAINTAIN MAXIMUM GRASS HEIGHTS LESS THAN TWELVE INCHES. REMOVE ANY INVASIVE VEGETATION WITHIN THE EXTENTS OF THE FILTER. ANY INVASIVE VEGETATION ENCRACING UPON THE PERIMETER OF THE FILTER SHOULD BE PRUNED OR REMOVED IF IT IS PROHIBITING ACCESS TO THE FILTERS, COMPROMISING SIGHT VISIBILITY, AND/OR COMPROMISING THE ORIGINAL DESIGN INTENT. IF DEAD OR DYING GRASS ON THE BOTTOM IS OBSERVED, CHECK TO ENSURE THAT WATER INFILTRATES WITHIN TWO DAYS FOLLOWING STORMS.
    - SILT/SEDIMENT SHOULD BE REMOVED FROM THE FILTER BED ANNUALLY, WHEN ACCUMULATION EXCEEDS 1 INCH, OR WHEN THE FILTERING CAPACITY DIMINISHES SUBSTANTIALLY. IF STANDING WATER IS OBSERVED MORE THAN 48 HOURS AFTER A STORM EVENT, THEN THE TOP 6 INCHES OF SAND SHOULD BE REMOVED AND REPLACED. IF DISCOLORED OR CONTAMINATED MATERIAL IS FOUND BELOW THIS REMOVED SURFACE THEN THAT MATERIAL SHOULD ALSO BE REMOVED AND REPLACED UNTIL ALL CONTAMINATED SAND HAS BEEN REMOVED FROM THE FILTER MEDIA. THE SAND SHOULD BE DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS.
- BASIN OUTLET STRUCTURE MAINTENANCE:
  - ALL INLET / OUTFLOW PIPES ARE TO BE INSPECTED AT LEAST THREE TIMES IN THE FIRST SIX MONTHS OF OPERATION. EVIDENCE OF CLOGGING, OR RAPID RELEASE OF FLOW SHALL BE REPORTED TO THE PROJECT ENGINEER AND REMEDIED IMMEDIATELY.
  - CONVEYANCE PIPES SHOULD BE INSPECTED BIANNUALLY. ANY STRUCTURAL FAULTS SHOULD BE REPAIRED AS NECESSARY FOR PROPER FUNCTION OF THE STRUCTURE.
- SEDIMENTS AND TRASH SHALL BE REMOVED FROM SWALES AND FOREBAYS ON AN ANNUAL BASIS. EXCESSIVE VEGETATION THAT NEGATIVELY AFFECTS THE HYDRAULIC EFFICIENCY OF THE DEVICES SHALL BE PRUNED OR REMOVED. ANY EXPOSED SOIL SHALL BE REINFORCED WITH NEW GRASSES IMMEDIATELY AFTER DISTURBANCE.
- MAINTENANCE OF THE STORMWATER SYSTEM DURING CONSTRUCTION OF THE PROJECT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- UPON COMPLETION OF THE CONSTRUCTION, MAINTENANCE OF THE STORMWATER SYSTEM SHALL BECOME THE RESPONSIBILITY OF THE OWNER.

**ABBREVIATIONS**

AC	ASPHALT PAVEMENT
ADJ	ADJACENT
AP	ASSESSOR'S PLAT
ACCESS	ACCESSIBLE
ARCH	ARCHITECT
BC	BOTTOM OF CURB
BH	BORING HOLE
BIT	BITUMENOUS
CLR	CLEARANCE
CMP	CORRUGATED METAL PIPE
CMU	CONCRETE MASONRY UNIT
CONC	CONCRETE
CONN	CONNECT
COTT	CLEAN OUT TO GRADE
CF	CURE FOOT
DEMO	DEMOLISH
DI	DRAIN INLET
DIA	DIAMETER
DMH	DRAIN MANHOLE
dp	DROP PIPE
DS	DOWN SPOUT
DWG	DRAWING
E	ELECTRIC
ELEV	ELEVATION
EMH	ELECTRIC MANHOLE
EOP	EDGE OF PAVEMENT
EQ	EQUAL
EXIST	EXISTING
EXP	EXPANSION
FFE	FINISH FLOOR ELEVATION
FG	FINISHED GRADE
FI	FIRE HYDRANT
FT	FEET
G	GAS
GAL	GALLON
GV	GATE VALVE
INVT	INVERT
JOINT	JOINT
L	LENGTH
LAND	LANDSCAPE
NTS	NOT TO SCALE
MAX	MAXIMUM
MECH	MECHANICAL
MIN	MINIMUM
PAVT	PAVEMENT
PVC	POLYVINYLCHLORIDE
R	RADIUS
RC	REINFORCED CONCRETE
RECONN	RECONNECT
RIBB	RHODE ISLAND HIGHWAY BOUND
RIDOT	RHODE ISLAND DEPARTMENT OF TRANSPORTATION
ROW	RIGHT OF WAY
S	SLOPE, SEWER
SF	SQUARE FEET
SHT	SHEET
SMH	SEWER MANHOLE
STA	STATION
STRUCT	STRUCTURAL
TO	TOP OF CURB
TOP	TOP OF SURFACE
UGT	UNDERGROUND TELEPHONE
TYP	TYPICAL
W	WATER
WTH	WITH
WWM	WELDED WIRE MESH

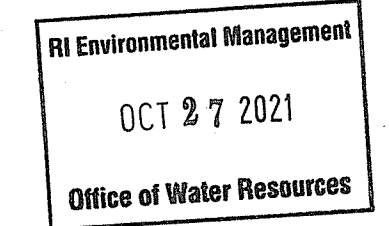
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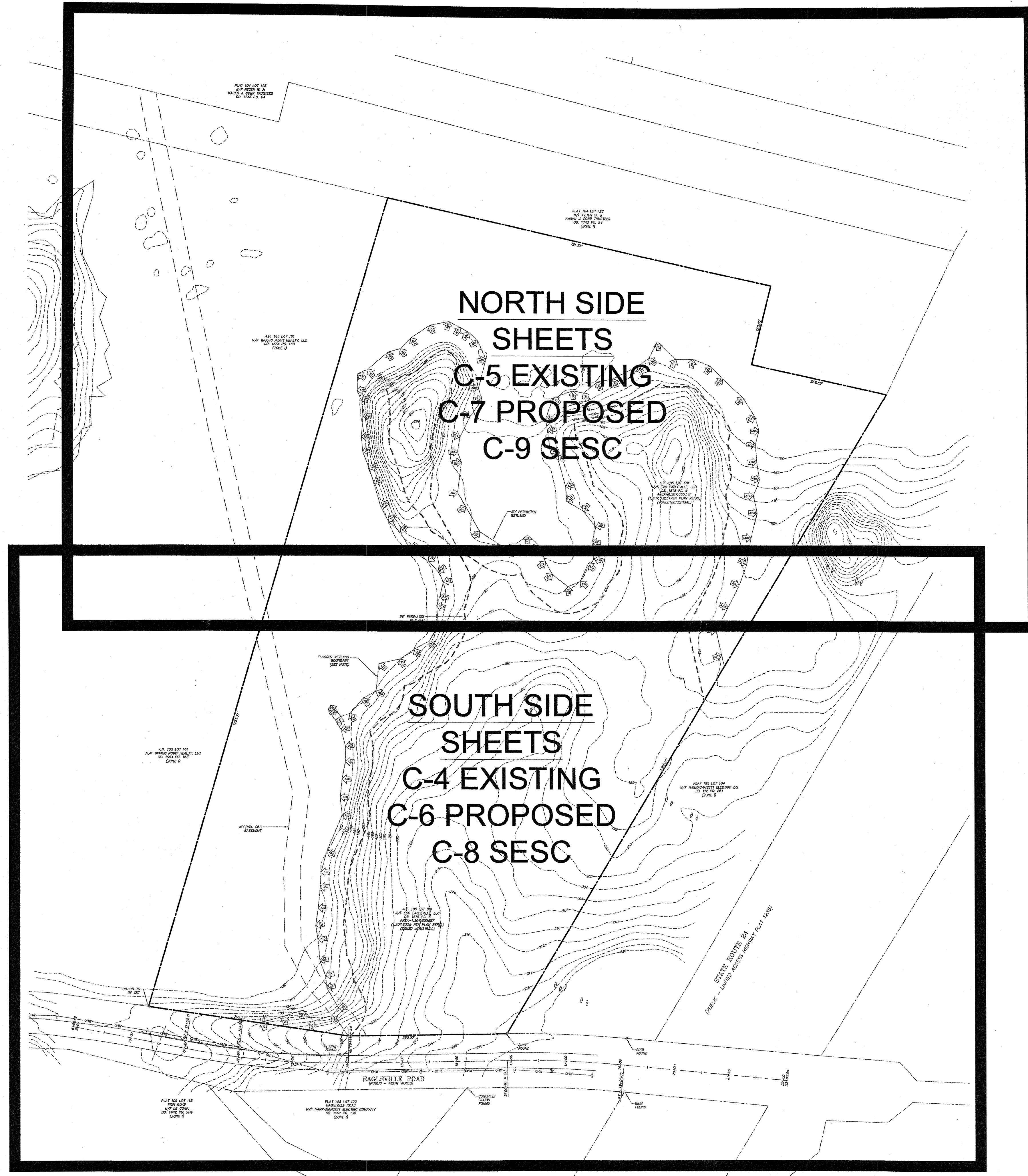
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LAND PLANNING  
WATERFRONT  
SURVEYING  
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ENVIRONMENTAL  
TRANSPORTATION  
STRUCTURAL



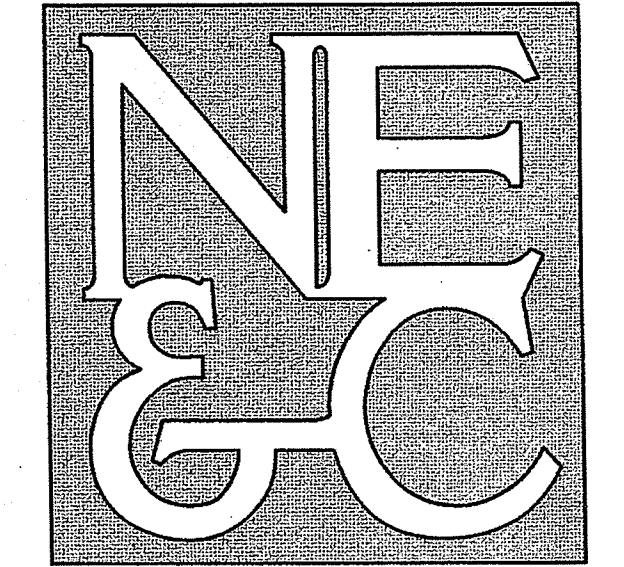
DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS  
AS SPECIFIED IN THE LETTER OF APPROVAL  
DATED NOV - 5 2021 FILE # 21-0119  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

*Nancy L. Freeman*

1	RIDEM REVISIONS	26AUG21	
No.	Revision	Date	App.
Designed By:	JJR	Drawn by:	JJR
Checked by:		Checked by:	GES
Scale:	N/A	Date:	23APR21
Project Title:			
<b>ECC CONSTRUCTION STORAGE YARD</b>			
A.P. 105 LOT 601 EAGLEVILLE ROAD TIVERTON RHODE ISLAND			
Applicant:		Owner:	
ECC EAGLEVILLE, LLC		202 CHASE ROAD PORTSMOUTH, RI 02871	
Issued for:			
PERMITTING			
Drawing Title:			
NOTES			
Drawing Number:		C-2	
Sheet		2 of 11	
Project Number:		20099.0	
Survey Index:			
OWNERSHIP AND USE OF DOCUMENTS: DRAWINGS AND SPECIFICATIONS, AS INSTRUMENTS OF PROFESSIONAL SERVICE, ARE AND SHALL REMAIN THE PROPERTY OF THE ENGINEER. THESE DOCUMENTS ARE NOT TO BE USED, IN WHOLE OR PART, FOR ANY OTHER PROJECTS OR PURPOSES, OR BY ANY OTHER PARTIES, THAN THOSE PROPERLY AUTHORIZED BY CONTRACT, WITHOUT THE EXPRESS AUTHORIZATION OF THE ENGINEER.			



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 SURVEYING  
 GEOTECHNICAL  
 ENVIRONMENTAL  
 TRANSPORTATION  
 STRUCTURAL

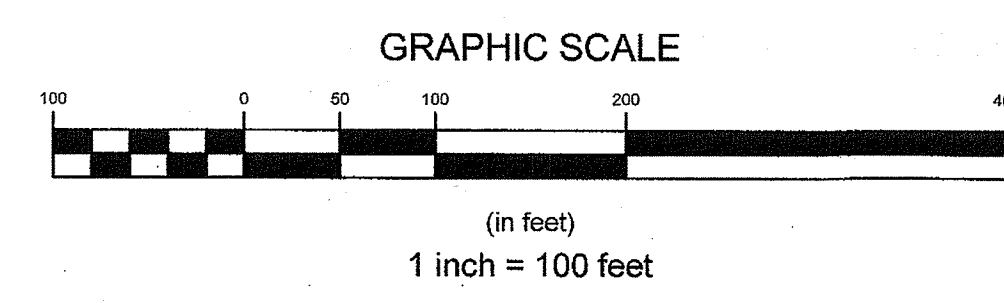
RI Environmental Management  
 OCT 27 2021  
 Office of Water Resources

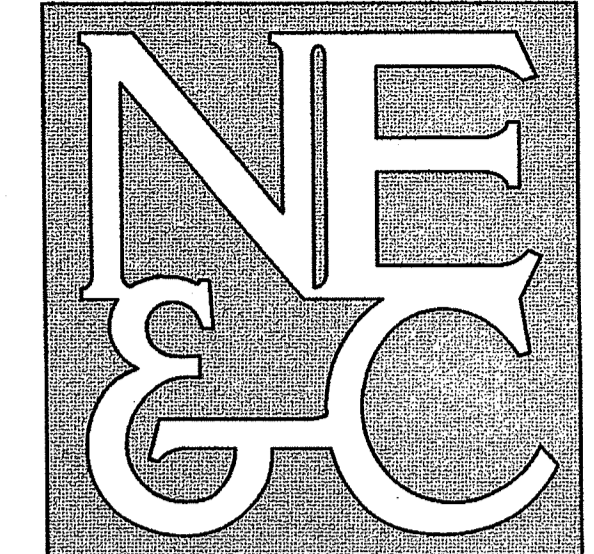
DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
 OFFICE OF WATER RESOURCES  
 FRESHWATER WETLANDS PROGRAM  
 APPROVED WITH CONDITIONS  
 AS SPECIFIED IN THE LETTER OF APPROVAL  
 DATED NOV - 5 2021 FILE # 21-0119  
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 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

*Nancy L. Freeman*

NOTES:  
 1. REFER TO COMPLETE PROJECT NOTES ON SHEET C-2.

1	RIDEM REVISIONS	26AUG21	
No.	Revision	Date	App.
Designed by:	JJR	Drawn by:	JJR
Checked by:	GES	Date:	26APR21
Scale:	1"=100'		
Project Title:			
ECC CONSTRUCTION STORAGE YARD A.P. 105 LOT 601 EAGLEVILLE ROAD TIVERTON RHODE ISLAND			
Applicant:		Owner:	
ECC EAGLEVILLE, LLC 202 CHASE ROAD PORTSMOUTH, RI 02871			
Issued for:			
PERMITTING			
Drawing Title:			
INDEX PLAN			
Drawing Number:		C-3	
Sheet		3 of 11	
Project Number:		20099.0	
Survey Index:			
<small>OWNERSHIP AND USE OF DOCUMENTS: DRAWINGS AND SPECIFICATIONS, AS INSTRUMENTS OF PROFESSIONAL SERVICE, ARE AND SHALL REMAIN THE PROPERTY OF THE ENGINEER. THESE DOCUMENTS ARE NOT TO BE USED, IN WHOLE OR PART, FOR ANY OTHER PROJECTS OR PURPOSES, OR BY ANY OTHER PARTIES, THAN THOSE PROPERLY AUTHORIZED BY CONTRACT, WITHOUT THE EXPRESS AUTHORIZATION OF THE ENGINEER.</small>			





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RI Environmental Management

OCT 27 2021

Office of Water Resources

LEGEND:

- PROPERTY LINE
- - - ABUTTER PROPERTY LINE
- - - TOPOGRAPHIC CONTOUR
- - - FRESHWATER WETLAND BOUNDARY
- ▲ FRESHWATER WETLAND FLAG
- - - 50' PERIMETER WETLAND BOUNDARY
- - - UTILITY EASEMENT
- - - GUARDRAIL
- OHW OVERHEAD WIRE
- - - SOIL BOUNDARY LINE
- UTILITY POLE
- TEST PIT LOCATION

NOTES:

1. REFER TO COMPLETE PROJECT NOTES ON SHEET C-2.

RIDEM REVISIONS		26AUG21	
No.	Revision	Date	App.
1			

Designed By: JJR Drawn by: JJR Checked by: GES  
Scale: 1"=50' Date: 26APR21

Project Title:  
**ECC CONSTRUCTION STORAGE YARD**  
A.P. 105 LOT 601  
EAGLEVILLE ROAD  
TIVERTON  
RHODE ISLAND

Applicant: **ECC EAGLEVILLE, LLC**  
202 CHASE ROAD  
PORTSMOUTH, RI 02871

Issued for: **PERMITTING**

Drawing Title:  
**EXISTING CONDITIONS**

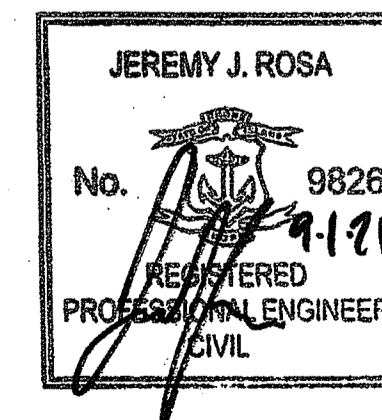
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**C-4**

Sheet **4** of **11**

Project Number:  
**20099.0**

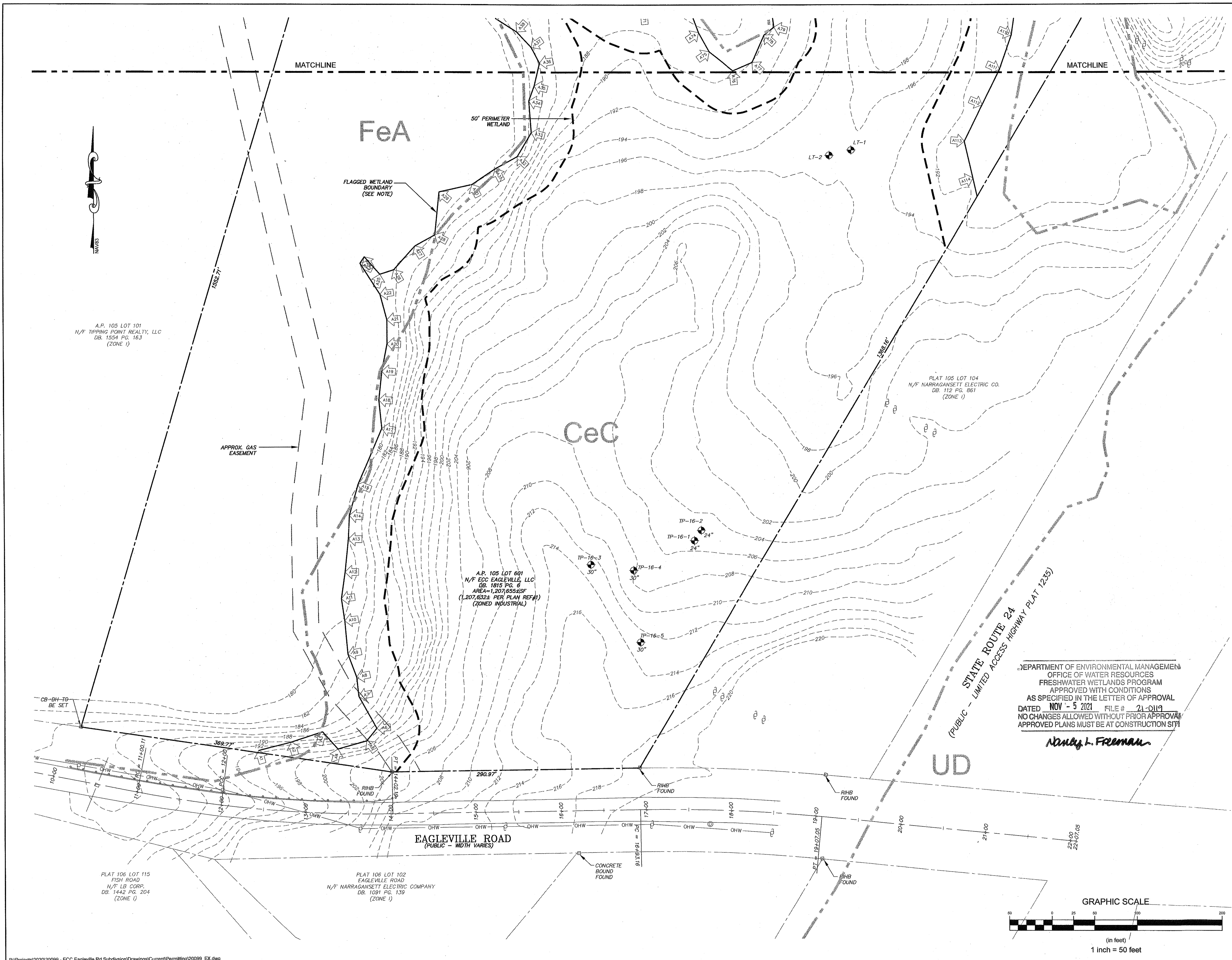
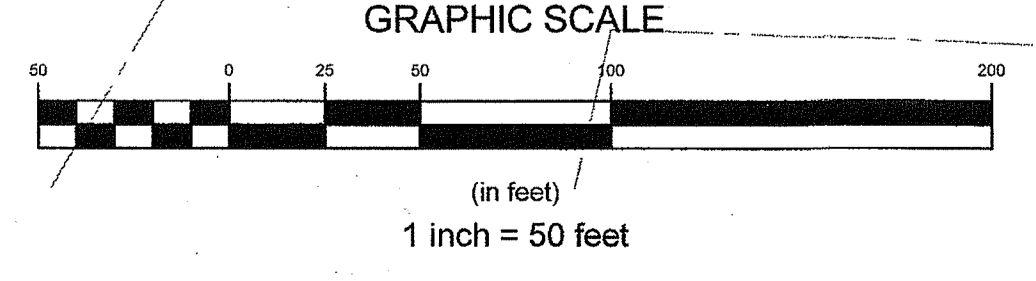
Survey Index:

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DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS  
AS SPECIFIED IN THE LETTER OF APPROVAL  
DATED **NOV - 5 2021** FILE # **21-0119**  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

*Nancy L. Freeman*



PLAT 104 LOT 123  
N/F PETER W. &  
KAREN J. CORR TRUSTEES  
DB. 1743 PG. 94

PLAT 104 LOT 126  
N/F PETER W. &  
KAREN J. CORR TRUSTEES  
DB. 1743 PG. 94  
(ZONE 1)

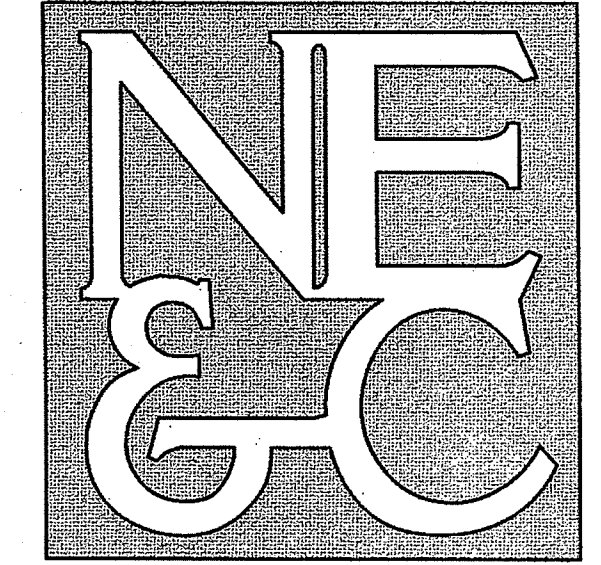
A.P. 105 LOT 101  
N/F TIPPING POINT REALTY, LLC  
DB. 1554 PG. 163  
(ZONE 1)

A.P. 105 LOT 601  
N/F ECC EAGLEVILLE, LLC  
DB. 1815 PG. 6  
AREA 1,207,652± SF  
(1,207,632± PER PLAN REF#1)  
(ZONED INDUSTRIAL)

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS  
AS SPECIFIED IN THE LETTER OF APPROVAL  
DATED 1202 C-10N FILE # 21-0119  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

*Jeremy J. Freeman* 11/5/21

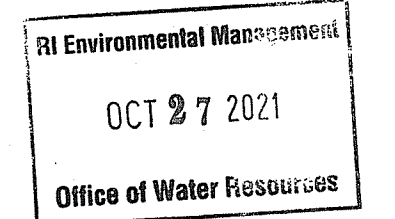
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STRUCTURAL



LEGEND:

- PROPERTY LINE
- - - ABUTTER PROPERTY LINE
- - - TOPOGRAPHIC CONTOUR
- - - FRESHWATER WETLAND BOUNDARY
- ▲ FRESHWATER WETLAND FLAG
- - - 50' PERIMETER WETLAND BOUNDARY
- - - UTILITY EASEMENT
- - - GUARDRAIL
- - - OVERHEAD WIRE
- - - SOIL BOUNDARY LINE
- - - UTILITY POLE
- ⊙ TEST PIT LOCATION

NOTES:

- REFER TO COMPLETE PROJECT NOTES ON SHEET C-2.

No.	Revision	Date	App.
1	RIDEM REVISIONS	26AUG21	

Designed By: JJR Drawn by: JJR Checked by: GES  
Scale: 1"=50' Date: 26APR21

Project Title:  
**ECC CONSTRUCTION STORAGE YARD**  
A.P. 105 LOT 601  
EAGLEVILLE ROAD  
TIVERTON  
RHODE ISLAND

Applicant: ECC EAGLEVILLE, LLC  
202 CHASE ROAD  
PORTSMOUTH, RI 02871

Owner:  
ECC EAGLEVILLE, LLC  
202 CHASE ROAD  
PORTSMOUTH, RI 02871

Issued for:  
PERMITTING

Drawing Title:  
**EXISTING CONDITIONS**

	Drawing Number: <b>C-5</b>
	Sheet <b>5</b> of <b>11</b>
	Project Number: <b>20099.0</b>
	Survey Index: -

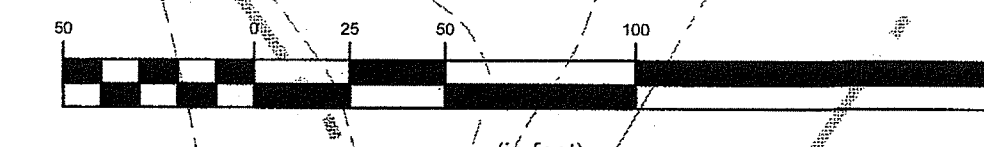
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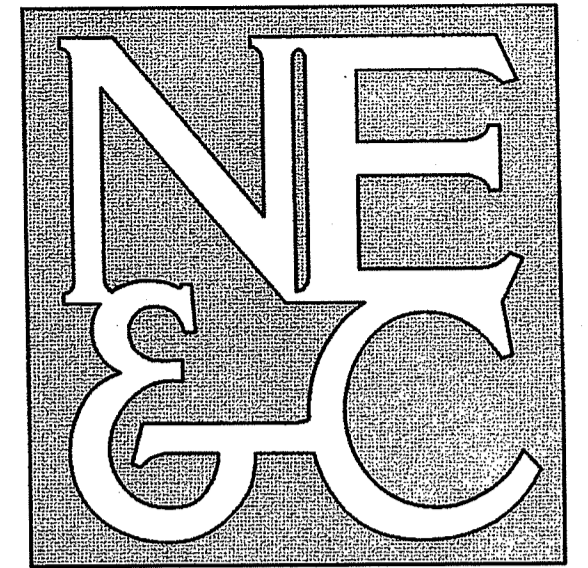
MATCHLINE

MATCHLINE

GRAPHIC SCALE



1 inch = 50 feet



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RI Environment

OCT 27 2021

Office of Water Resources

LEGEND:

- PROPERTY LINE
- ABUTTER PROPERTY LINE
- - - TOPOGRAPHIC CONTOUR
- - - FRESHWATER WETLAND BOUNDARY
- ▲ FRESHWATER WETLAND FLAG
- - - 50' PERIMETER WETLAND BOUNDARY
- - - UTILITY EASEMENT
- - - GUARDRAIL
- - - OVERHEAD WIRE
- - - SOIL BOUNDARY LINE
- UTILITY POLE
- TEST PIT LOCATION
- - - PROPOSED TOPOGRAPHIC CONTOUR
- - - PROPOSED PERFORATED DRAIN
- - - PROPOSED PVC DRAIN LINE
- PROPOSED 12" DIA. DRAIN BASIN

NOTES:

- REFER TO COMPLETE PROJECT NOTES ON SHEET C-2.

No.	Revision	Date	App.
1	RIDEM REVISIONS	26AUG21	

Designed By: JJR Drawn by: JJR Checked by: CES  
Scale: 1"=50' Date: 26APR21

Project Title:  
**ECC CONSTRUCTION STORAGE YARD**  
A.P. 105 LOT 601  
EAGLEVILLE ROAD  
TIVERTON  
RHODE ISLAND

Client/Owner:  
ECC EAGLEVILLE, LLC  
202 CHASE ROAD  
PORTSMOUTH, RI 02871

Issued for:  
PERMITTING

Drawing Title:  
**PROPOSED CONDITIONS**

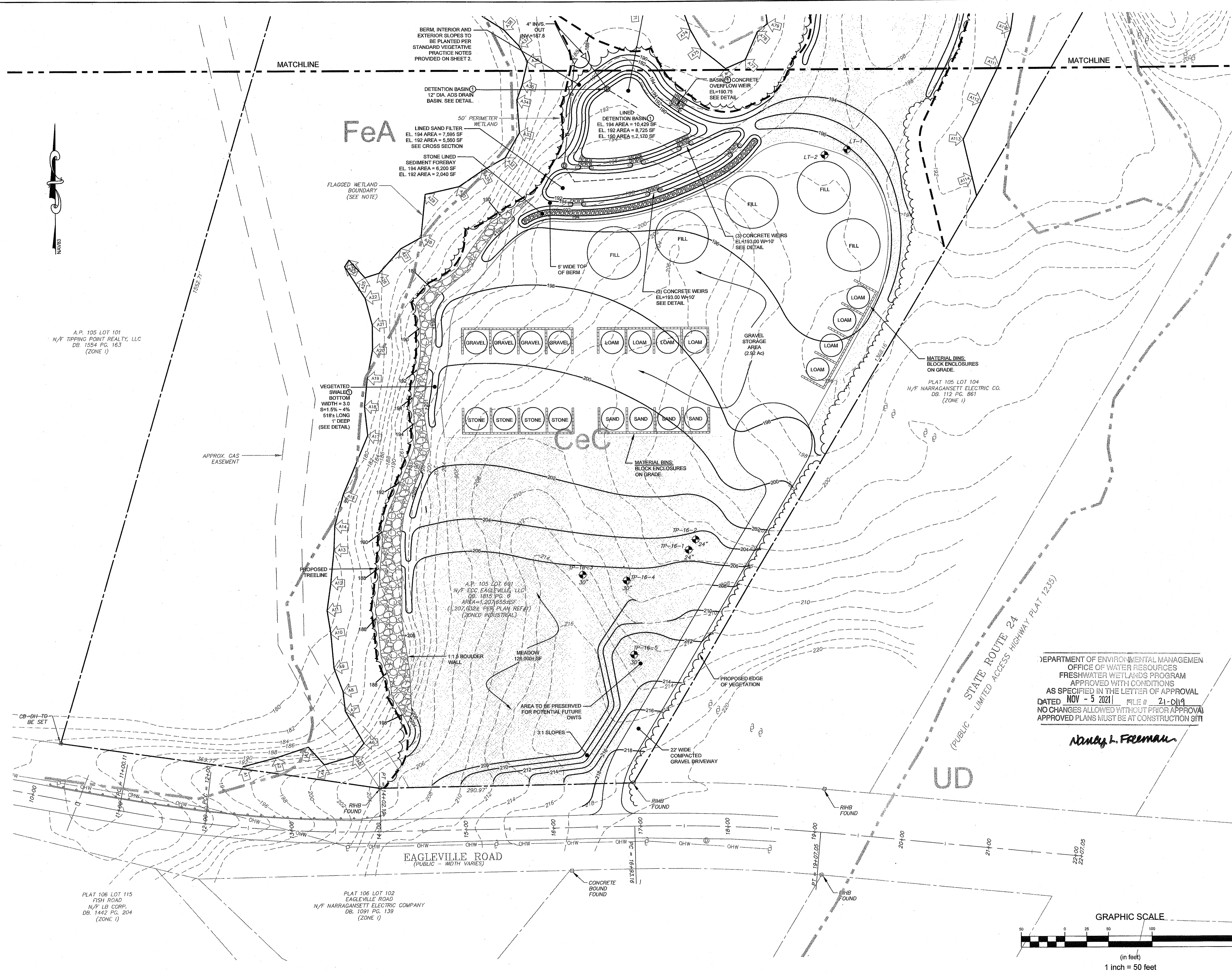
Drawing Number:  
**C-6**

Sheet **6** of **11**

Project Number:  
**20099.0**

Survey Index:  
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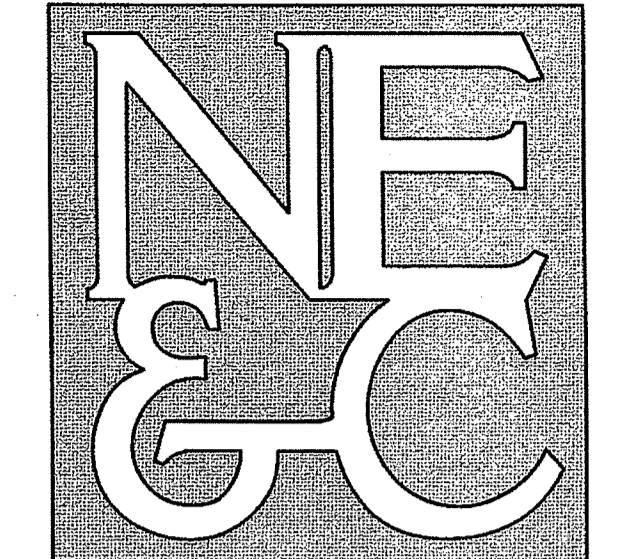
A.P. 105 LOT 101  
N/F TIPPING POINT REALTY, LLC  
DB. 1354 PG. 163  
(ZONE 1)

APPROX. GAS EASEMENT

A.P. 105 LOT 601  
N/F ECC EAGLEVILLE, LLC  
DB. 1815 PG. 8  
AREA = 1,207,855 SQ. FT.  
(207,832% PER PLAN REF #1)  
(ZONED INDUSTRIAL)

PLAT 108 LOT 115  
FISH ROAD  
N/F LB CORP.  
DB. 1442 PG. 204  
(ZONE 1)

PLAT 106 LOT 102  
EAGLEVILLE ROAD  
N/F NARRAGANSETT ELECTRIC COMPANY  
DB. 1091 PG. 139  
(ZONE 1)



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OCT 27 2021  
Office of Water Resources

LEGEND:

	PROPERTY LINE
	ABUTTER PROPERTY LINE
	TOPOGRAPHIC CONTOUR
	FRESHWATER WETLAND BOUNDARY
	FRESHWATER WETLAND FLAG
	50' PERIMETER WETLAND BOUNDARY
	UTILITY EASEMENT
	GUARDRAIL
	OVERHEAD WIRE
	SOIL BOUNDARY LINE
	UTILITY POLE
	TEST PIT LOCATION
	PROPOSED TOPOGRAPHIC CONTOUR
	PROPOSED PERFORATED DRAIN
	PROPOSED PVC DRAIN LINE
	PROPOSED 12" DIA. DRAIN BASIN

NOTES:  
1. REFER TO COMPLETE PROJECT NOTES ON SHEET C-2.

RDEM REVISIONS			
No.	Revision	Date	App.
1		26AUG21	

Designed By: JJR Drawn by: JJR Checked by: GES  
Scale: 1"=50' Date: 26APR21

Project Title:  
**ECC CONSTRUCTION STORAGE YARD**  
A.P. 105 LOT 601  
EAGLEVILLE ROAD  
TIVERTON  
RHODE ISLAND

Client/Owner:  
ECC EAGLEVILLE, LLC  
202 CHASE ROAD  
PORTSMOUTH, RI 02871

Issued for:  
**PERMITTING**

Drawing Title:  
**PROPOSED CONDITIONS**

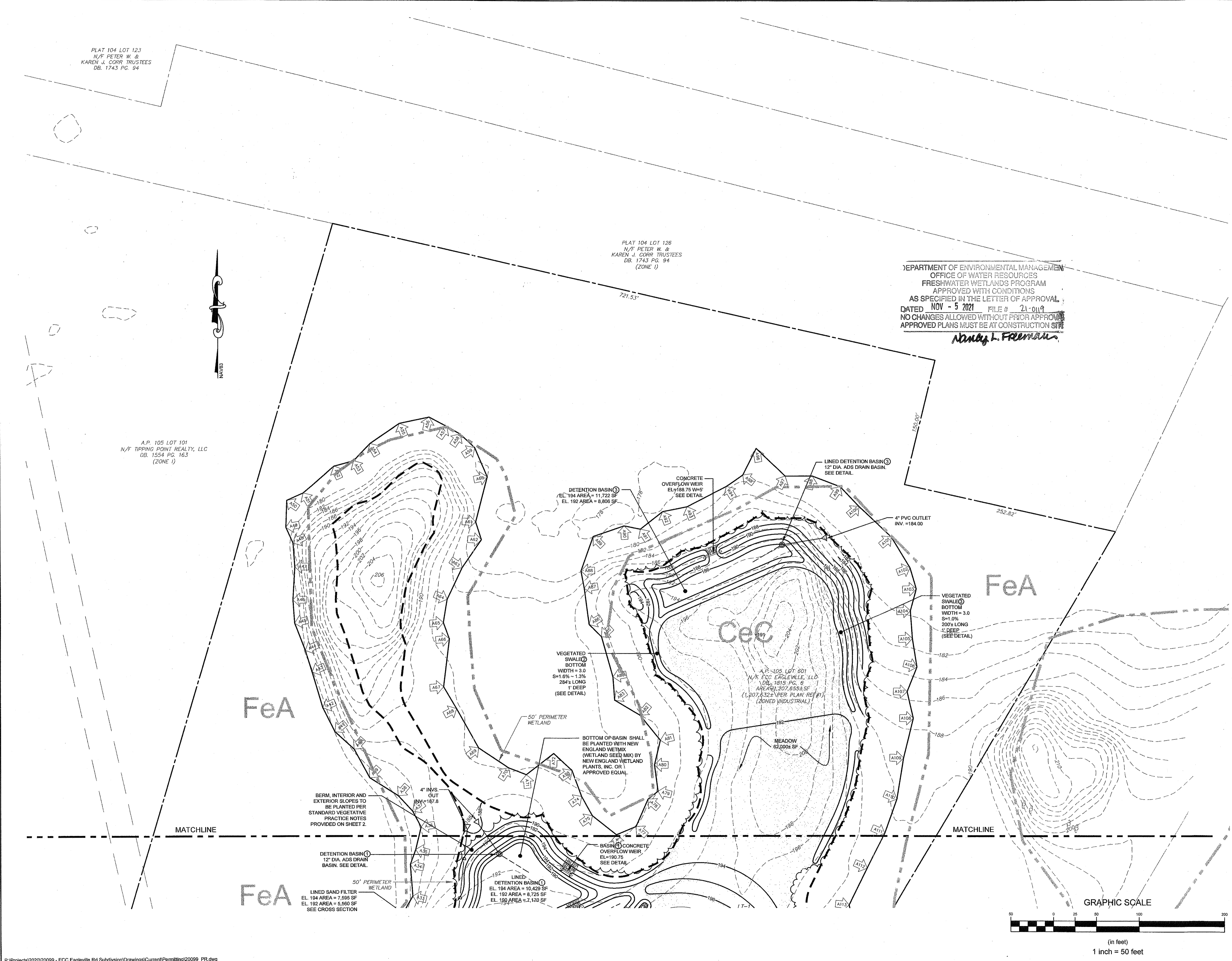
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**C-7**

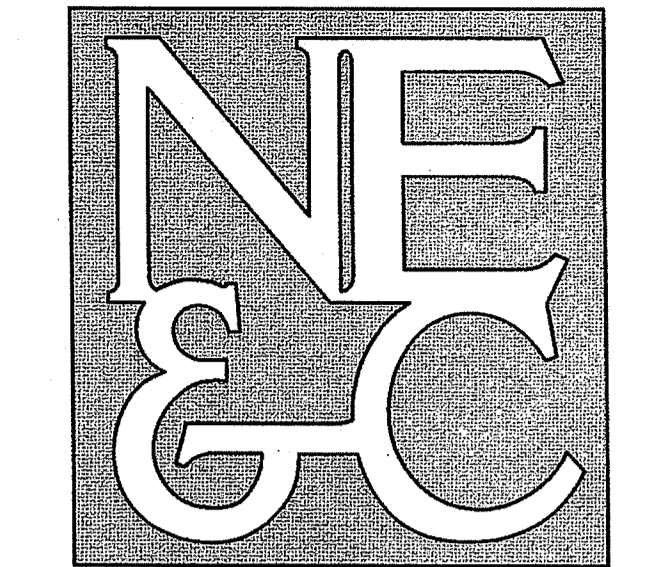
Sheet **7** of **11**

Project Number:  
**20099.0**

Survey Index:  
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- TRANSPORTATION
- STRUCTURAL

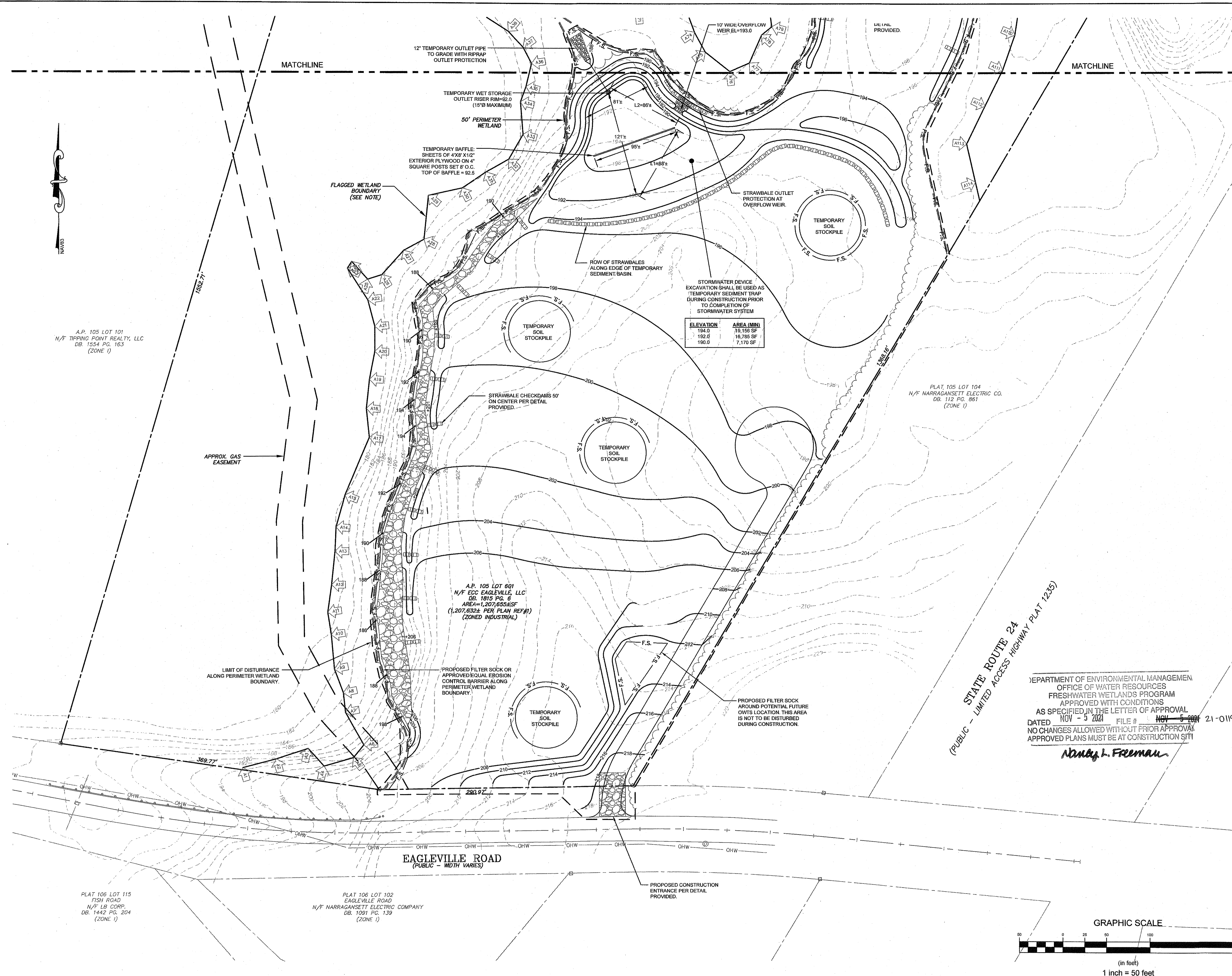
RI Environmental Management  
 OCT 27 2021  
 Office of Water Resources

**LEGEND:**

	PROPERTY LINE
	ABUTTER PROPERTY LINE
	TOPOGRAPHIC CONTOUR
	FRESHWATER WETLAND BOUNDARY
	FRESHWATER WETLAND FLAG
	50' PERIMETER WETLAND BOUNDARY
	UTILITY EASEMENT
	GUARDRAIL
	OVERHEAD WIRE
	F.S. FRESHWATER SOIL BOUNDARY LINE
	STRAW BALES
	LIMIT OF DISTURBANCE

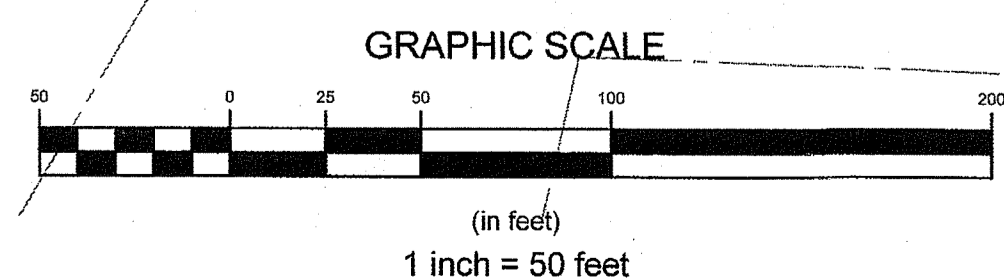
- NOTES:**
- REFER TO COMPLETE PROJECT NOTES ON SHEET C-2.

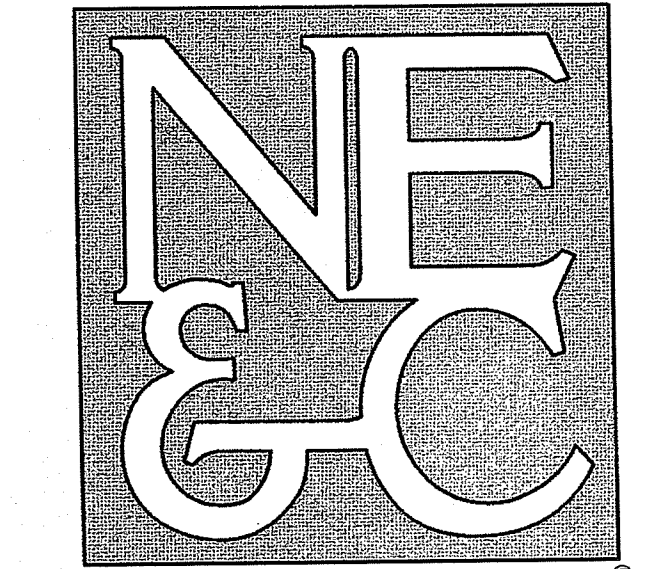
1	RIDEM REVISIONS	26AUG21	
No.	Revision	Date	App.
Designed By:	JJR	Drawn by:	JJR
Checked by:	GES		
Scale:	1"=50'	Date:	26APR21
Project Title:			
<b>ECC CONSTRUCTION STORAGE YARD</b>			
A.P. 105 LOT 601			
EAGLEVILLE ROAD			
TIVERTON			
RHODE ISLAND			
Client/Owner:			
ECC EAGLEVILLE, LLC			
202 CHASE ROAD			
PORTSMOUTH, RI 02871			
Issued for:			
PERMITTING			
Drawing Title:			
<b>SOIL EROSION &amp; SEDIMENT CONTROL PLAN</b>			
Drawing Number:			
<b>C-8</b>			
Sheet 8 of 11			
Project Number:			
<b>20099.0</b>			
Survey Index:			
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ELEVATION	AREA (MIN)
194.0	19,156 SF
192.0	16,785 SF
190.0	7,170 SF

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
 OFFICE OF WATER RESOURCES  
 FRESHWATER WETLANDS PROGRAM  
 APPROVED WITH CONDITIONS  
 AS SPECIFIED IN THE LETTER OF APPROVAL  
 DATED NOV - 5 2021 FILE # NOV - 5 2021 21-0119  
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 APPROVED PLANS MUST BE AT CONSTRUCTION SITE  
*Nancy L. Freeman*





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RI Environmental Management  
OCT 27 2021  
Office of Water Resources

PLAT 104 LOT 123  
N/F PETER W. &  
KAREN J. CORR. TRUSTEES  
DB. 1743 PG. 94

PLAT 104 LOT 126  
N/F PETER W. &  
KAREN J. CORR. TRUSTEES  
DB. 1743 PG. 94  
(ZONE 1)

A.P. 105 LOT 101  
N/F TIPPING POINT REALTY, LLC  
DB. 1554 PG. 163  
(ZONE 1)

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS  
AS SPECIFIED IN THE LETTER OF APPROVAL  
DATED NOV - 5 2021 FILE # 21-0119  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
APPROVED PLANS MUST BE AT CONSTRUCTION SITE  
*Nancy L. Freeman*

- LEGEND:
- PROPERTY LINE
  - - - BUTTER PROPERTY LINE
  - TOPOGRAPHIC CONTOUR
  - FRESHWATER WETLAND FLAG
  - FRESHWATER WETLAND FLAG
  - 50' PERIMETER WETLAND BOUNDARY
  - UTILITY EASEMENT
  - GUARDRAIL
  - OHW OVERHEAD WIRE
  - F.S. F.S. SOIL BOUNDARY LINE (EROSION BARRIER)
  - STRAW BALES
  - LIMIT OF DISTURBANCE

NOTES:  
1. REFER TO COMPLETE PROJECT NOTES ON SHEET C-2.

1	REVISIONS	26AUG21	
No.	Revision	Date	App.
Designed By:	JJR	Drawn by:	JJR
Checked by:	GES	Date:	26APR21
Scale:	1"=50'	Date:	26APR21

Project Title:  
**ECC CONSTRUCTION STORAGE YARD**  
A.P. 105 LOT 601  
EAGLEVILLE ROAD  
TIVERTON  
RHODE ISLAND

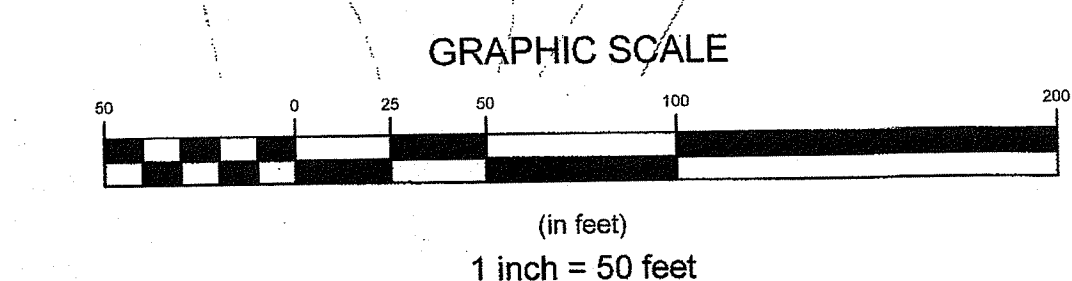
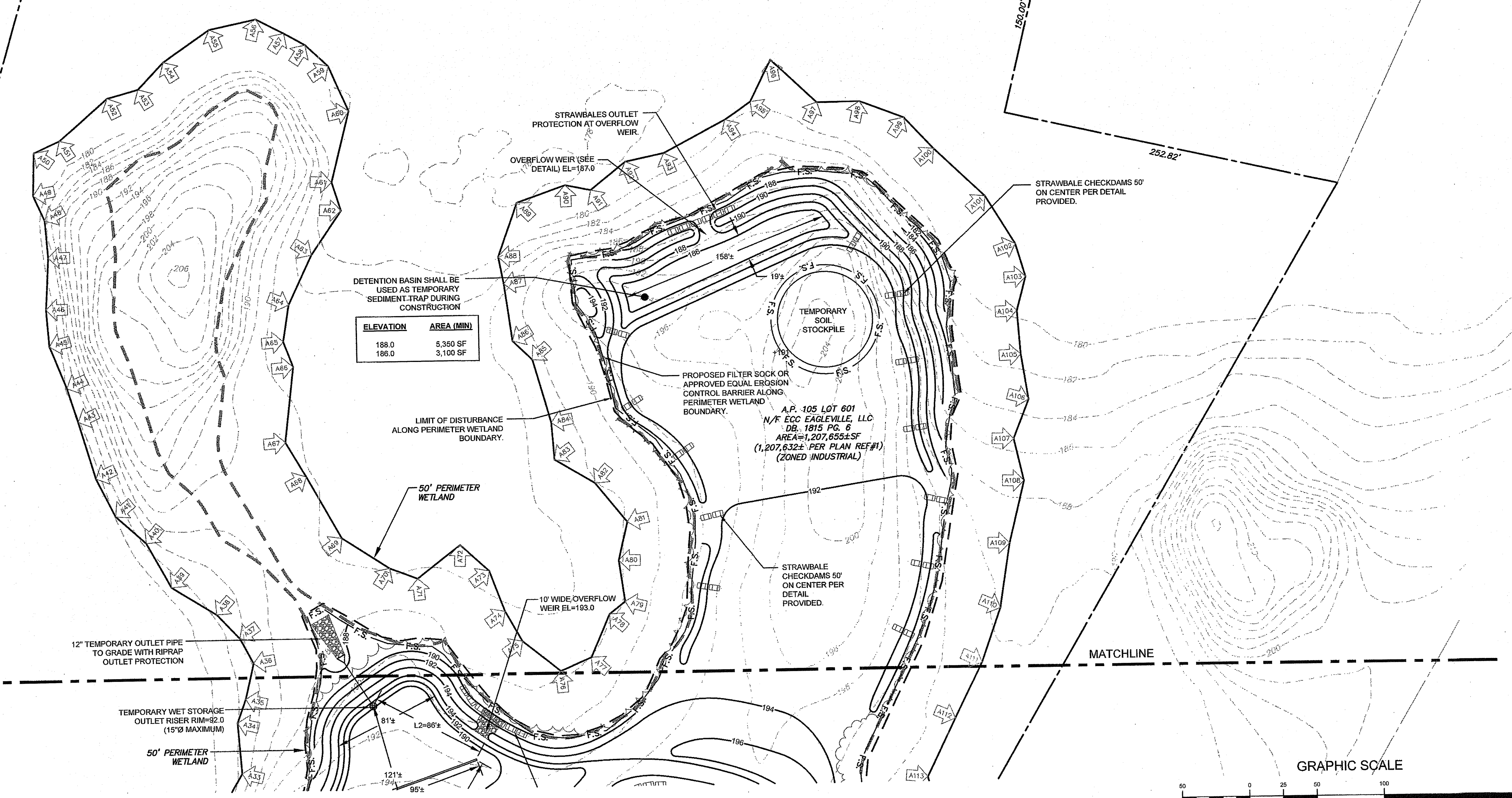
Client/Owner:  
**ECC EAGLEVILLE, LLC**  
202 CHASE ROAD  
PORTSMOUTH, RI 02871

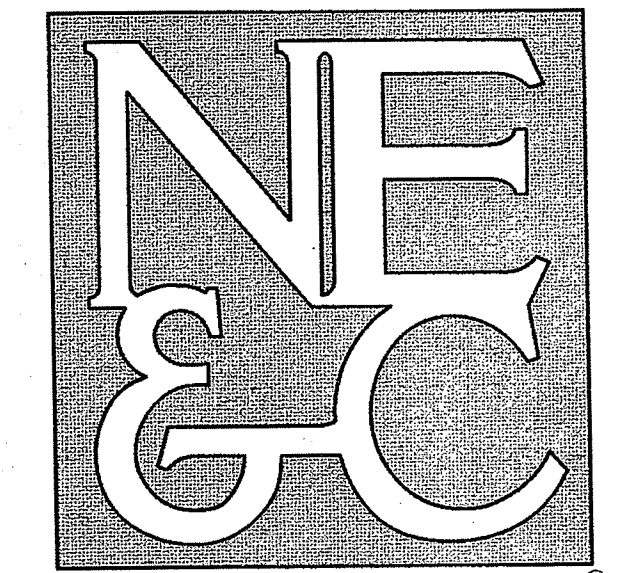
Issued for:  
**PERMITTING**

Drawing Title:  
**SOIL EROSION &  
SEDIMENT CONTROL PLAN**

	Drawing Number:	<b>C-9</b>
	Sheet	<b>9 of 11</b>
	Project Number:	<b>20099.0</b>
	Survey Index:	

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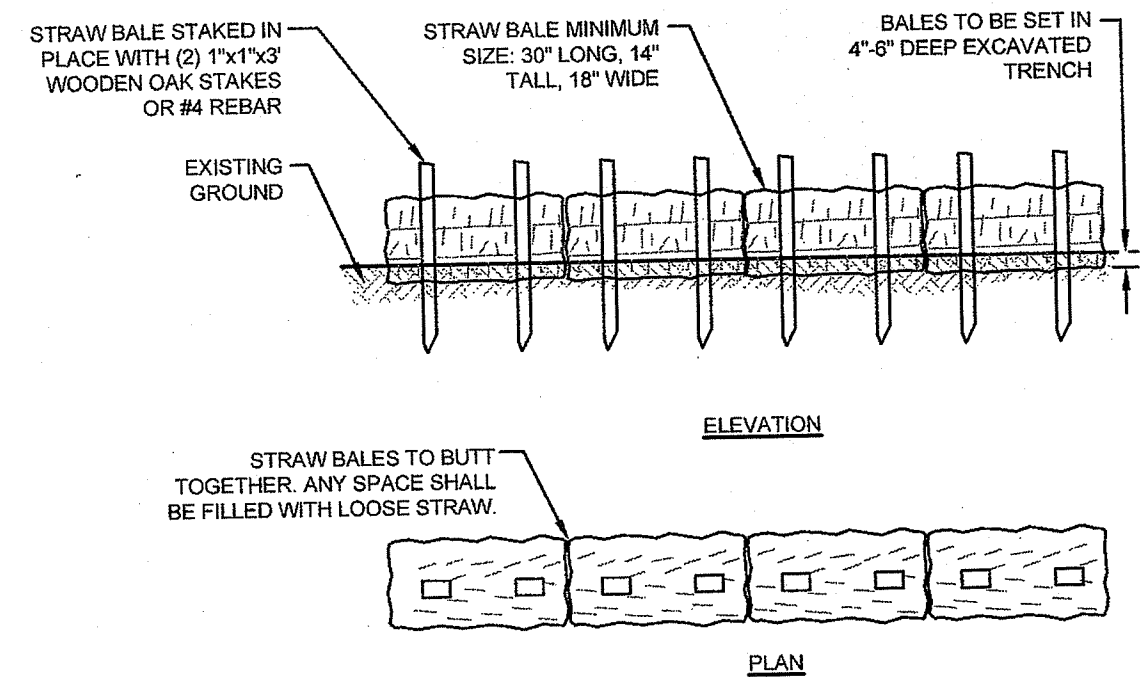




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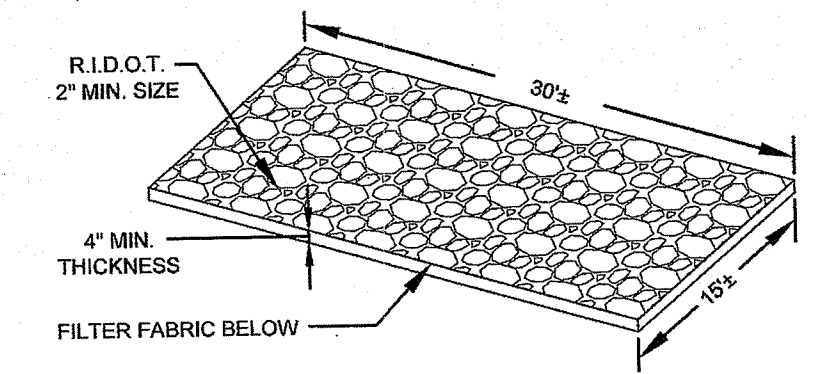
6 VALLEY ROAD MIDDLETOWN RHODE ISLAND 02842  
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SITE/CIVIL  
 LAND PLANNING  
 WATERFRONT  
 SURVEYING  
 GEOTECHNICAL  
 ENVIRONMENTAL  
 TRANSPORTATION  
 STRUCTURAL

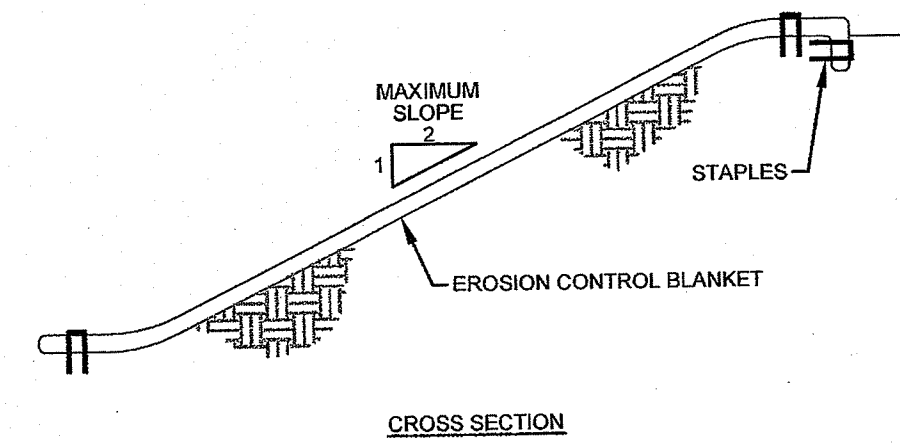


- NOTES:**
1. BALE WEIGHT SHALL NOT BE LESS THAN 50 LBS AND SHALL BE BOUND WITH NO LESS THAN TWO STRINGS OR WIRES CONTAINING A MINIMUM OF FIVE (5) CUBIC FEET OF MATERIAL. MINIMUM DIMENSIONS SHOWN IN DETAIL.
  2. STRAW BALES SHALL BE CERTIFIED AS BEING NOXIOUS WEED-FREE BALES. TO BE "CERTIFIED" MEANS THAT THE PRODUCT IS FREE OF ANY NOXIOUS WEEDS.
  3. STAKES SHALL BE DRIVEN THROUGH STAKES AT A SLIGHT UPSTREAM ANGLE TO PREVENT BALE FROM OVERTURNING.
  4. LOOSE STRAW SHALL BE WEDGED BETWEEN BALES AFTER INSTALLATION.
  5. MATERIAL EXCAVATED FROM TRENCH SHALL BE BACKFILLED, COMPACTED, AND STABILIZED.

**BALED STRAW EROSION CONTROL BARRIER**  
 SCALE: NOT TO SCALE

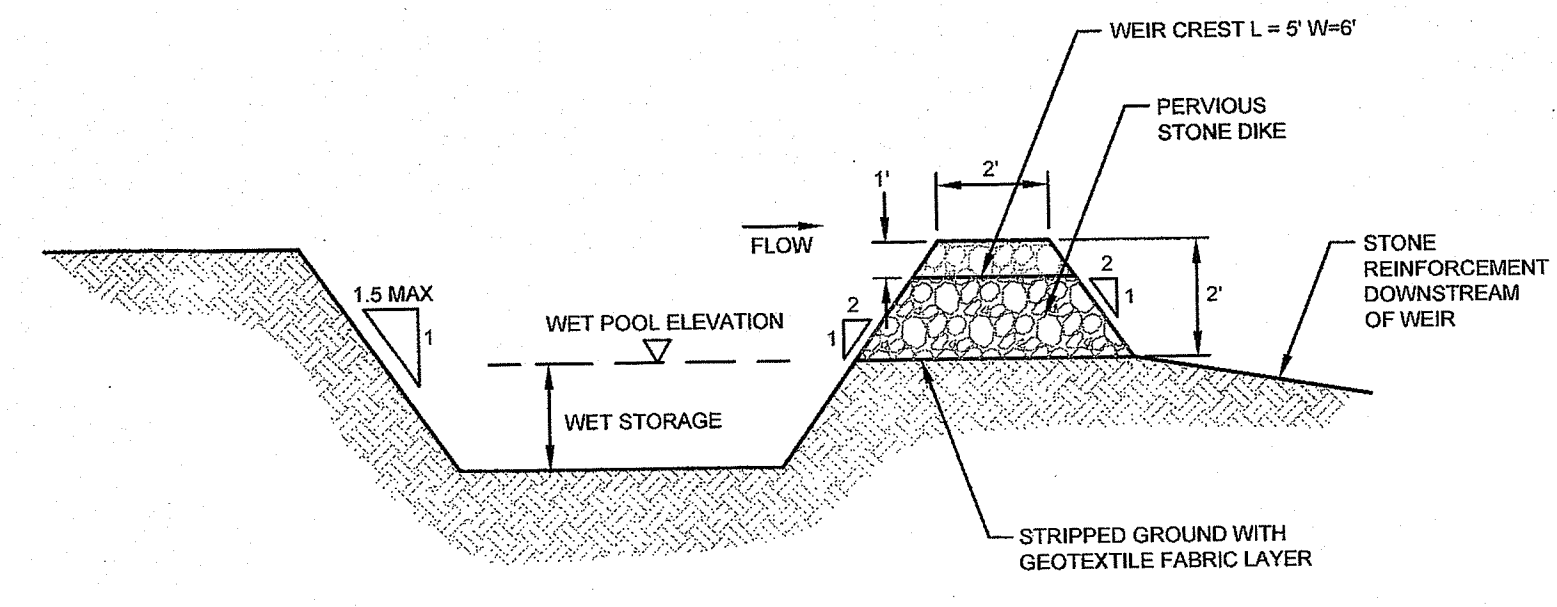


**CONSTRUCTION ENTRANCE**  
 SCALE: NOT TO SCALE

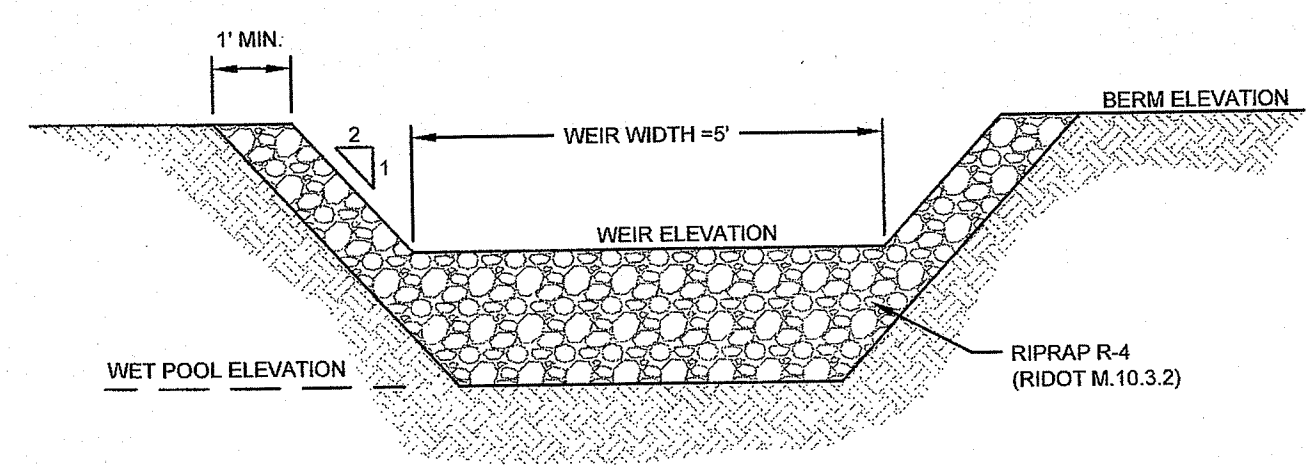


- NOTES:**
1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF LIME, FERTILIZER, AND SEED.
  2. ANCHORING THE BLANKET IN A 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
  3. ROLL THE BLANKETS DOWN THE SLOPE IN THE DIRECTION OF THE WATER FLOW.
  4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2" OVERLAP.
  5. WHEN BLANKETS MUST BE SPICED DOWN THE SLOPE, PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH APPROXIMATELY 6" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART.

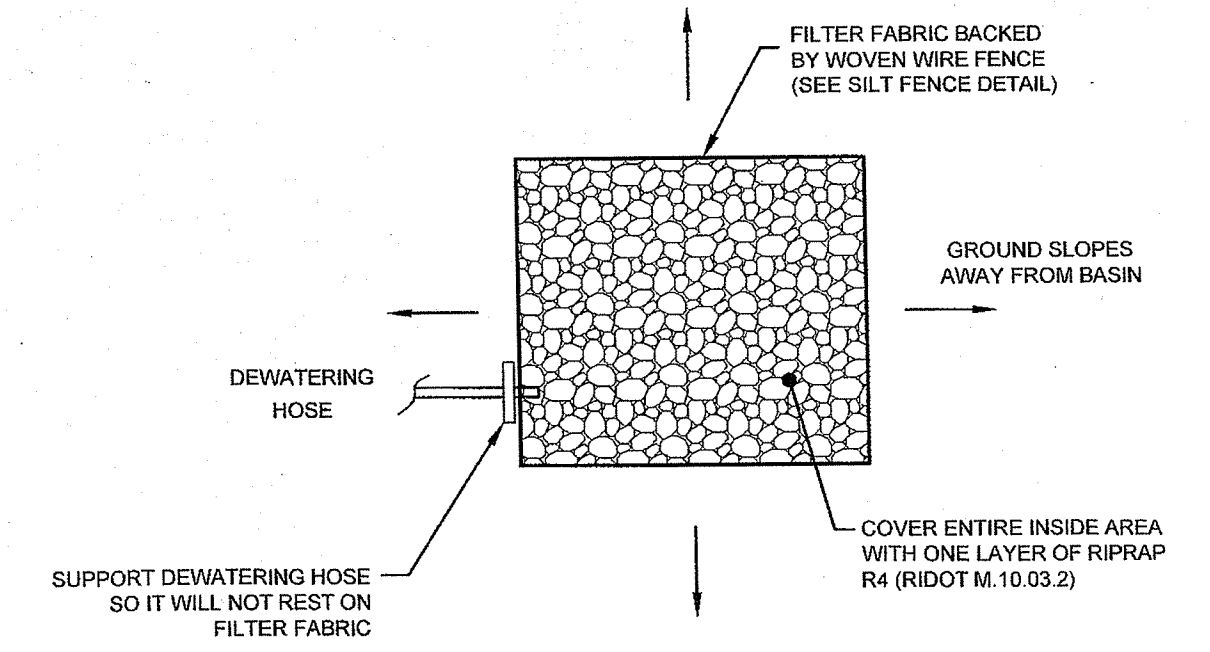
**EROSION CONTROL BLANKET**  
 SCALE: NOT TO SCALE



**TYPICAL SEDIMENT TRAP DETAILS**  
 SCALE: NOT TO SCALE



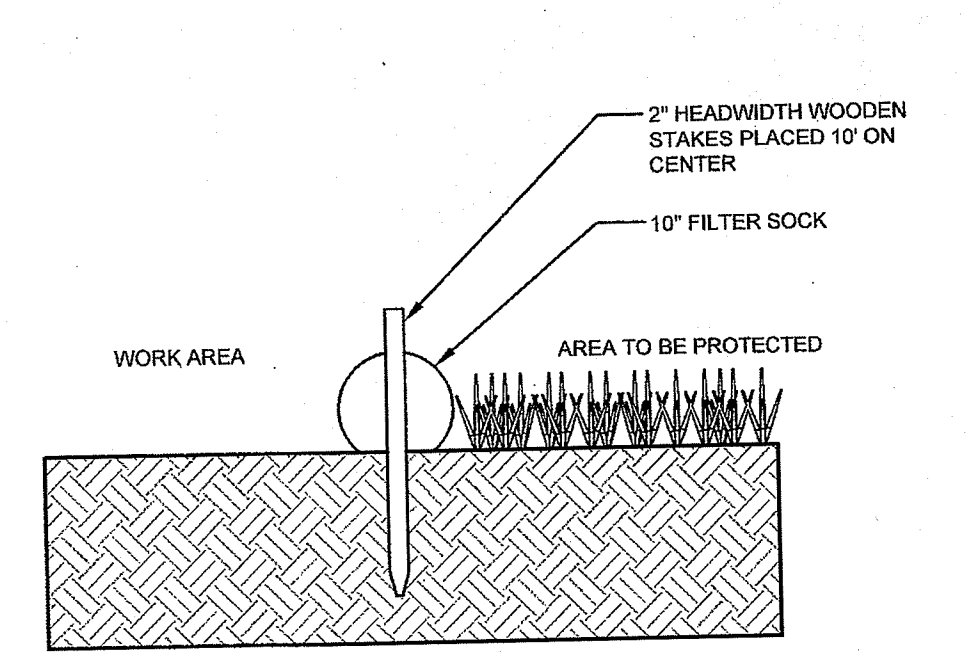
**TYPICAL SEDIMENT TRAP DETAILS**  
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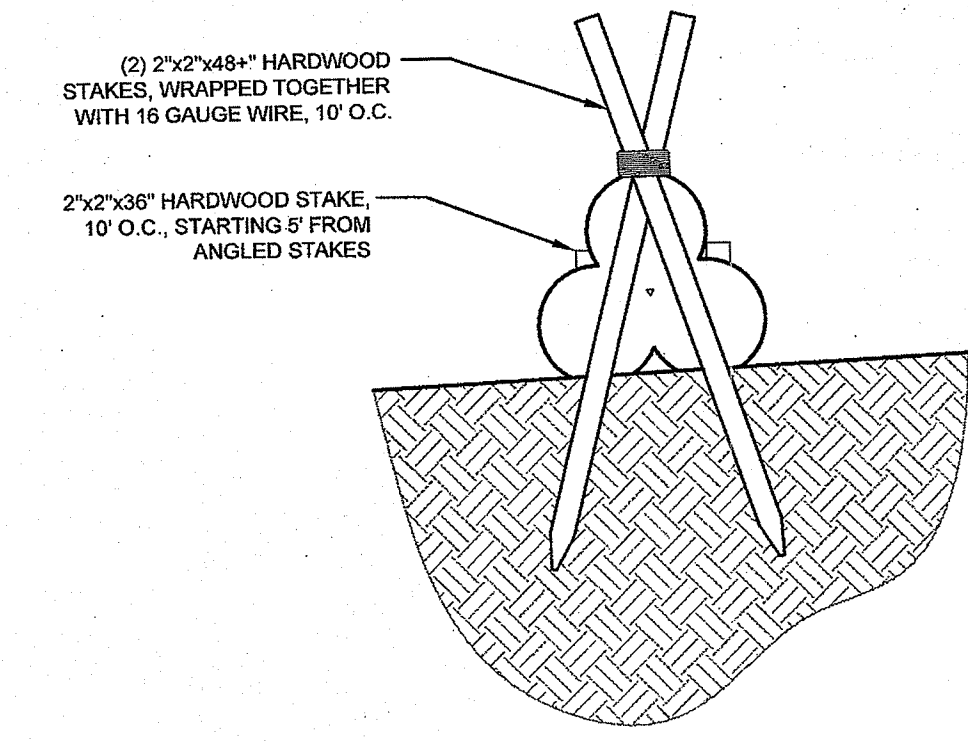
**DEWATERING BASIN**  
 SCALE: NOT TO SCALE

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
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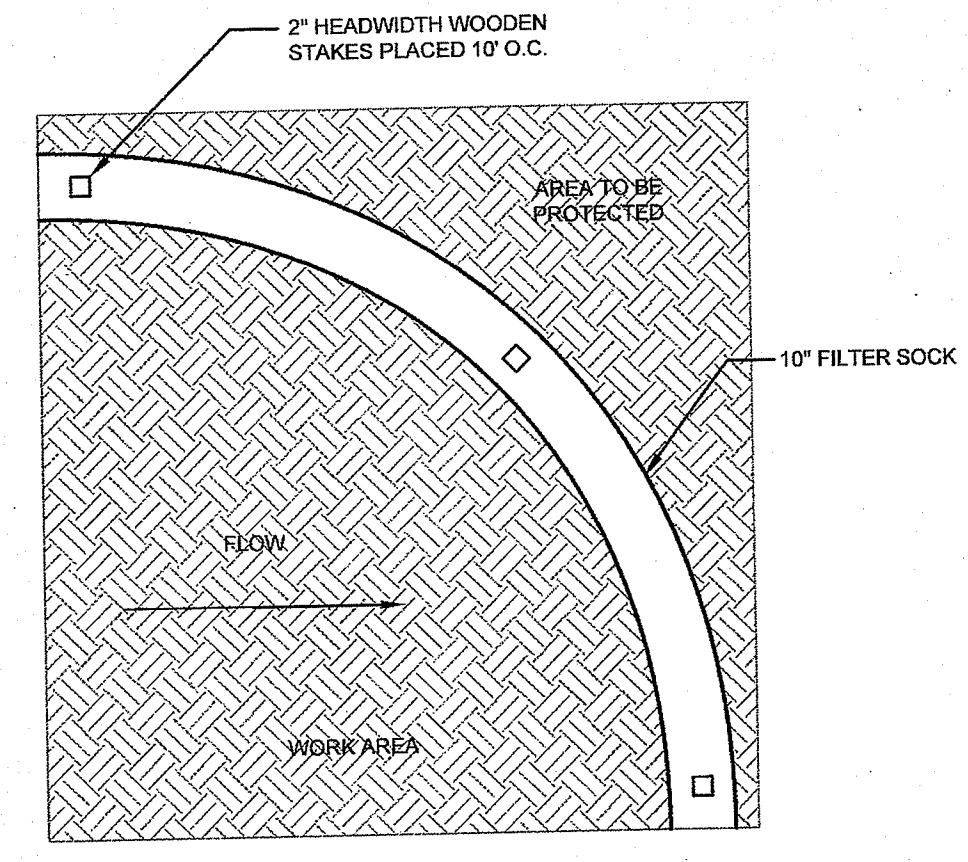
RI Environmental Management  
 OCT 27 2021  
 Office of Water Resources



**SECTION VIEW**

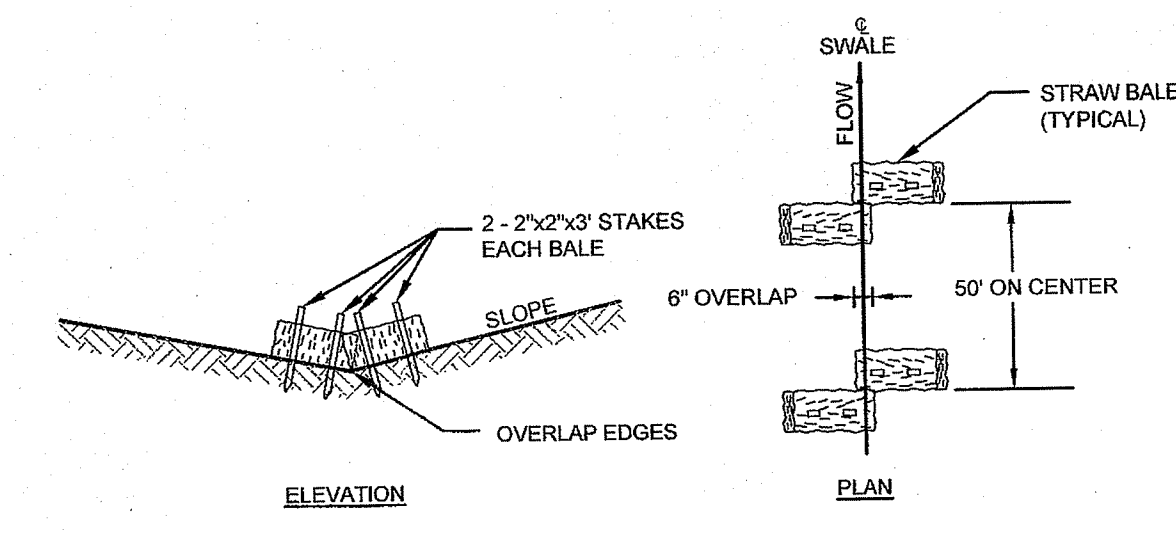


**PYRAMID SECTION VIEW (FOR HIGH FLOW CONDITIONS)**

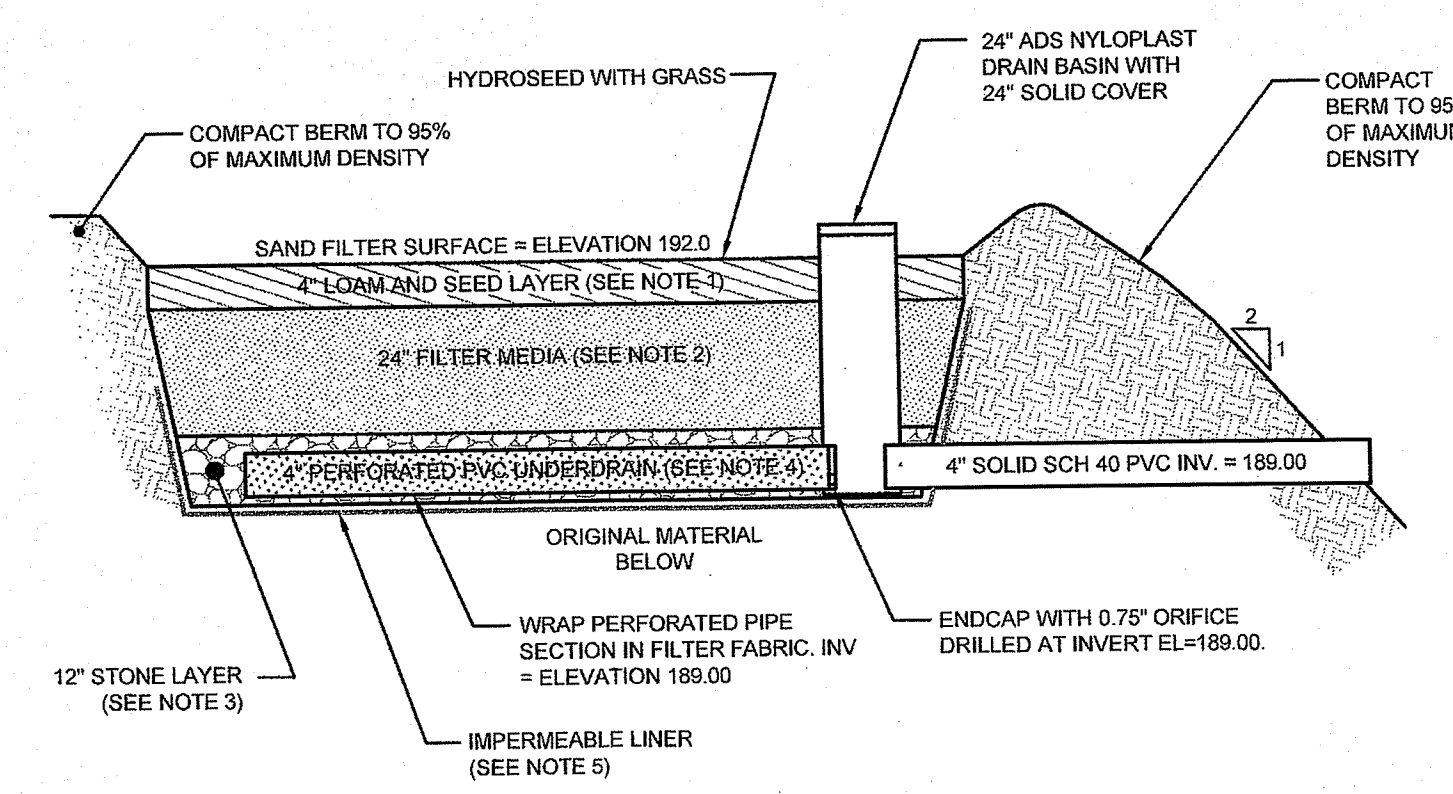


**TOP VIEW**

**10" FILTER SOCK DETAIL**  
 SCALE: NOT TO SCALE



**STRAW BALE CHECK DAM**  
 SCALE: NOT TO SCALE

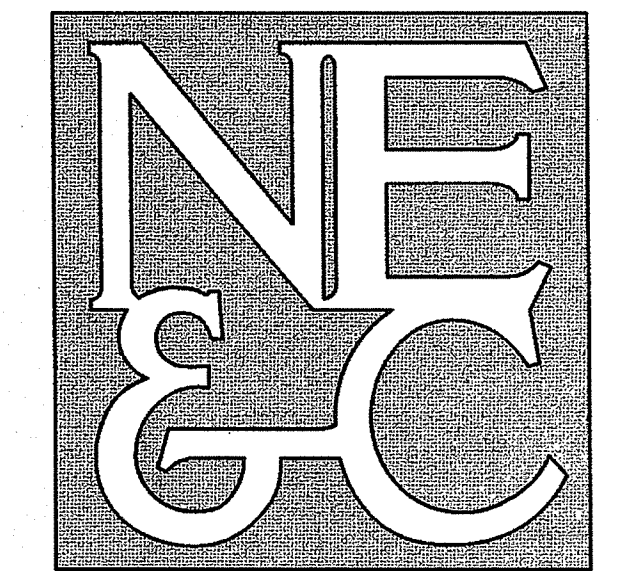


**SAND FILTER NOTES:**

1. SAND FILTER SHALL BE PLANTED WITH NEW ENGLAND WETMIX (WETLAND SEED MIX) BY NEW ENGLAND WETLAND PLANTS, INC. OR APPROVED EQUAL.
2. SAND FILTER SAND TO BE CLEAN AASHTO M-6 OR ASTM C-33 CONCRETE SAND (0.075" TO 0.04"), SAND SUBSTITUTIONS SUCH AS DIABASE AND GRAYSTONE #10 ARE NOT ACCEPTABLE. NO CALCIUM CARBONATED OR DOLOMITIC SAND SUBSTITUTIONS ARE ACCEPTABLE. NO ROCK DUST CAN BE USED AS SAND.
3. UNDERDRAIN STONE SHALL CONFORM TO AASHTO M-43, 0.25" TO 0.75". MATERIAL MUST BE WASHED CLEAN STONE.
4. UNDERDRAIN SHALL BE SCHEDULE 40 PVC PIPE CONFORMING TO ASTM D-1785 OR AASHTO M-278. PERFORATIONS SHALL BE 3/8" @ 6" ON CENTER. PIPE SHALL HAVE 3" OF GRAVEL OVER PIPE.
5. IMPERMEABLE LINER SHALL BE A 30 MIL POLY-LINER.

**LINED SAND FILTER CROSS SECTION**  
 SCALE: NOT TO SCALE

1	RIDEM REVISIONS	26AUG21	
No.	Revision	Date	App.
Designed By:	JJR	Drawn by:	JJR
Checked by:	GES	Scale:	AS SHOWN
Date:	26APR21	Project Title:	ECC CONSTRUCTION STORAGE YARD A.P. 105 LOT 601 EAGLEVILLE ROAD TIVERTON RHODE ISLAND
Client/Owner:	ECC EAGLEVILLE, LLC 202 CHASE ROAD PORTSMOUTH, RI 02871		
Issued for:	PERMITTING		
Drawing Title:	SITE DETAILS 1		
Drawing Number:	C-10		
Sheet	10 of 11		
Project Number:	20099.0		
Survey Index:			
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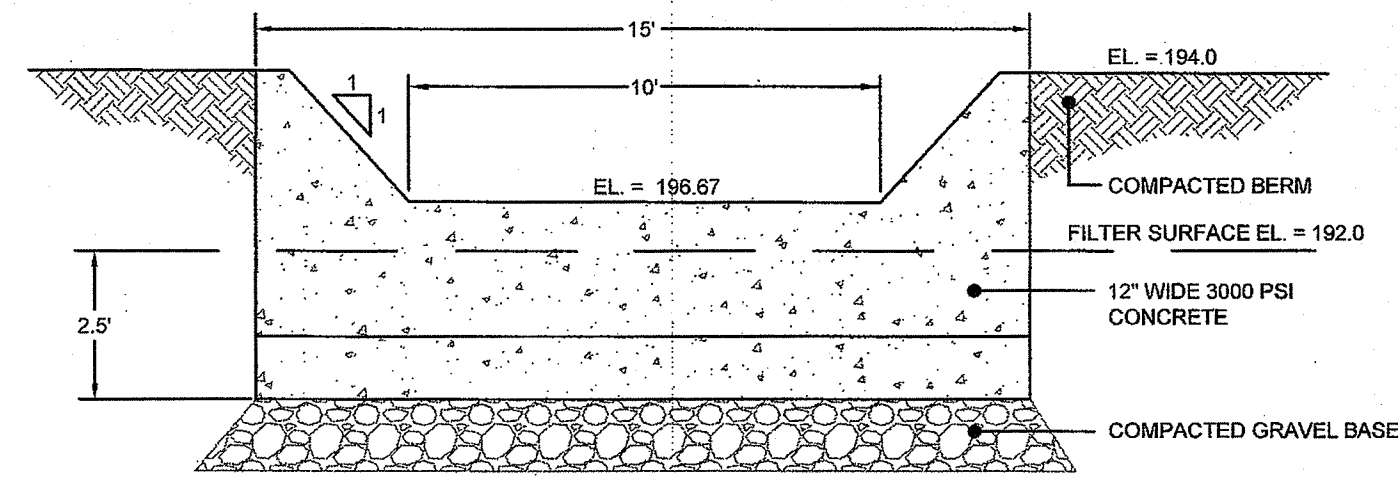


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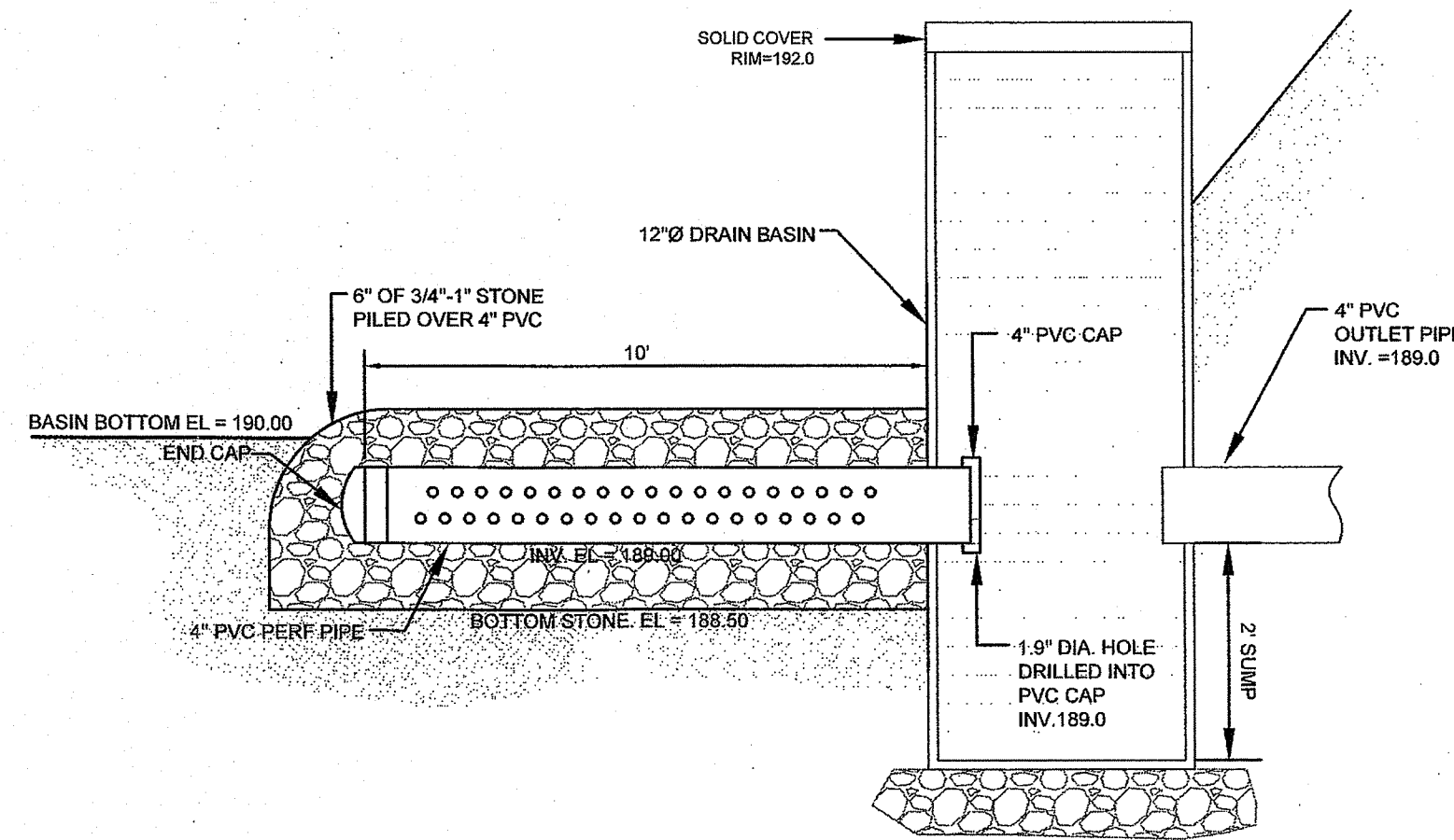
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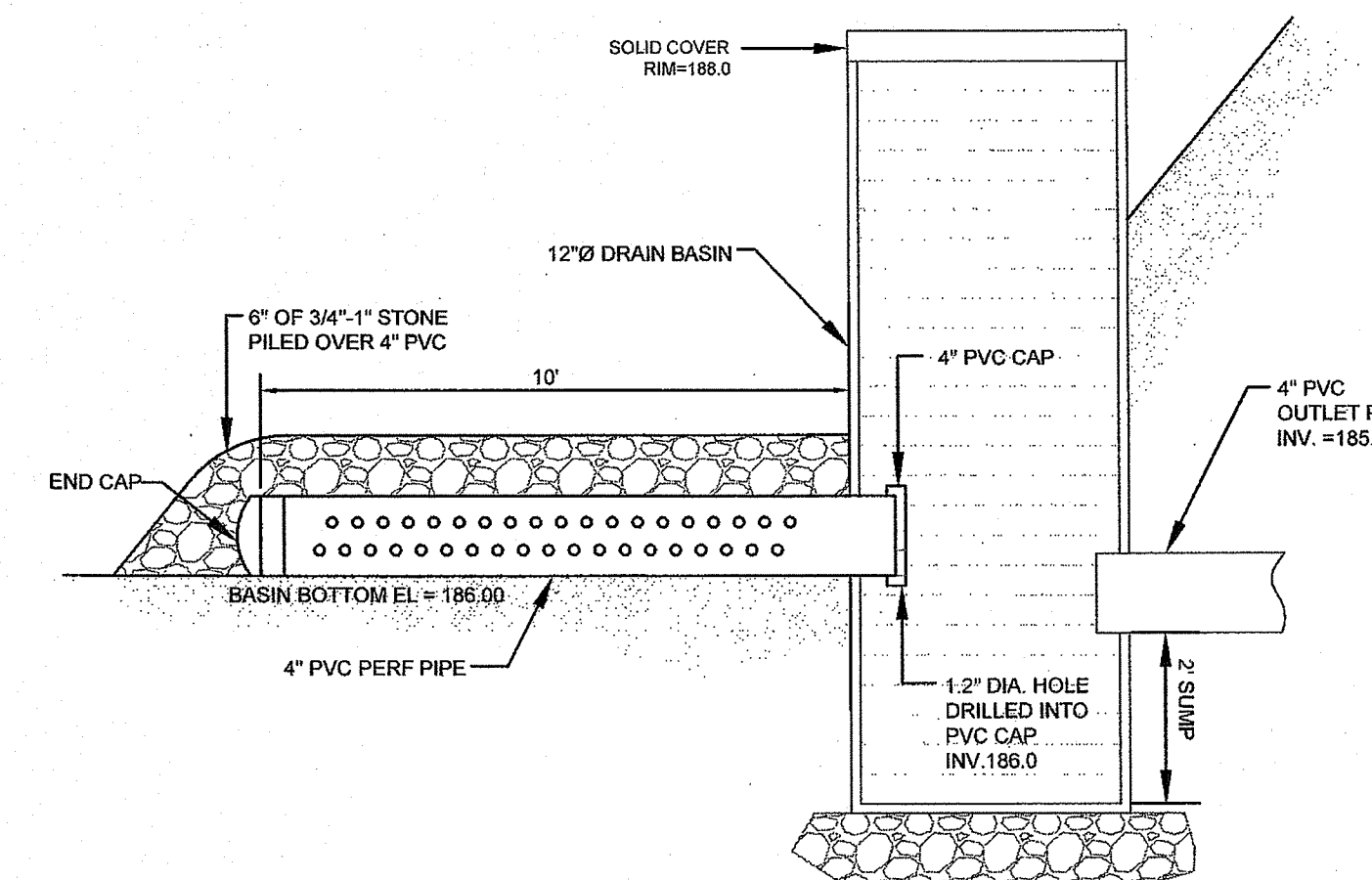
RI Environmental Management  
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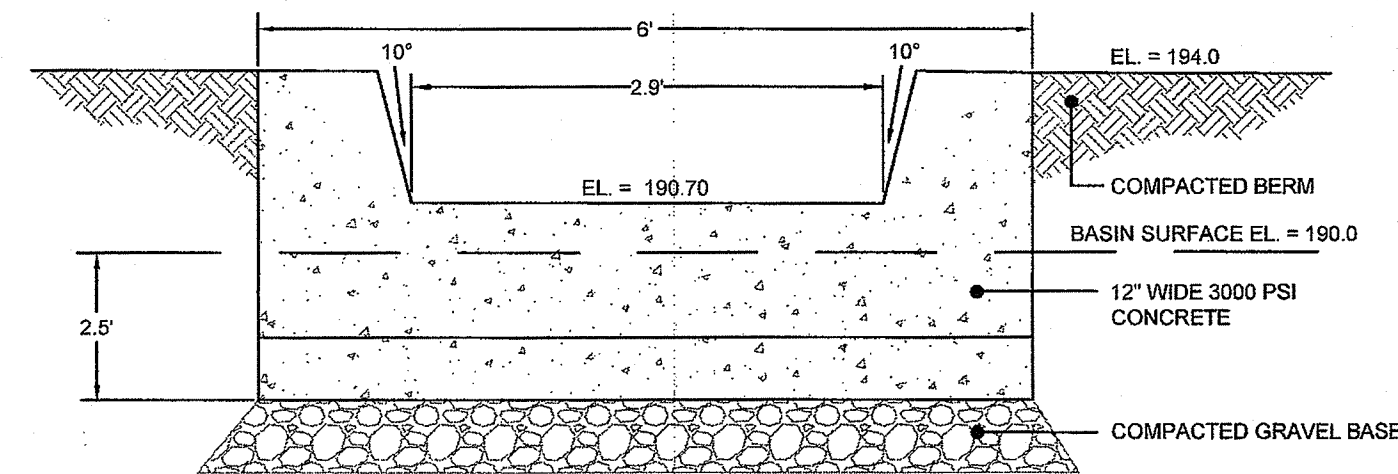
SAND FILTER & FOREBAY CONCRETE OUTLET WEIR DETAIL  
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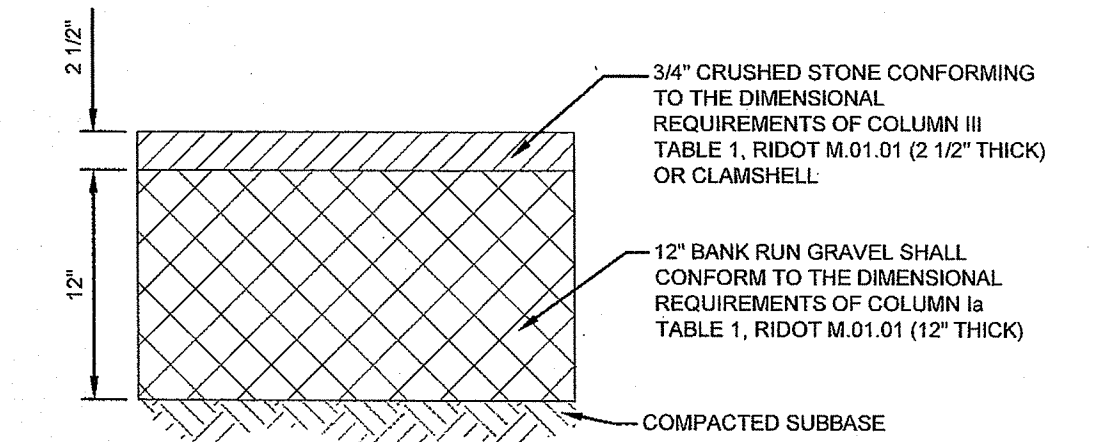
DETENTION BASIN 1 LOW FLOW OUTLET PIPE DETAIL  
SCALE: NOT TO SCALE



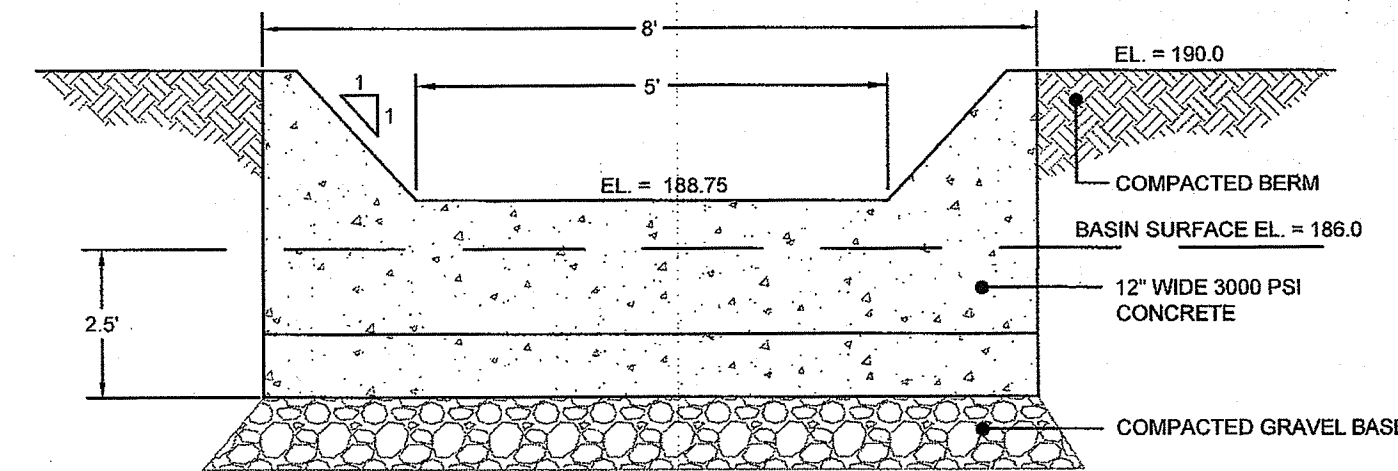
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SCALE: NOT TO SCALE



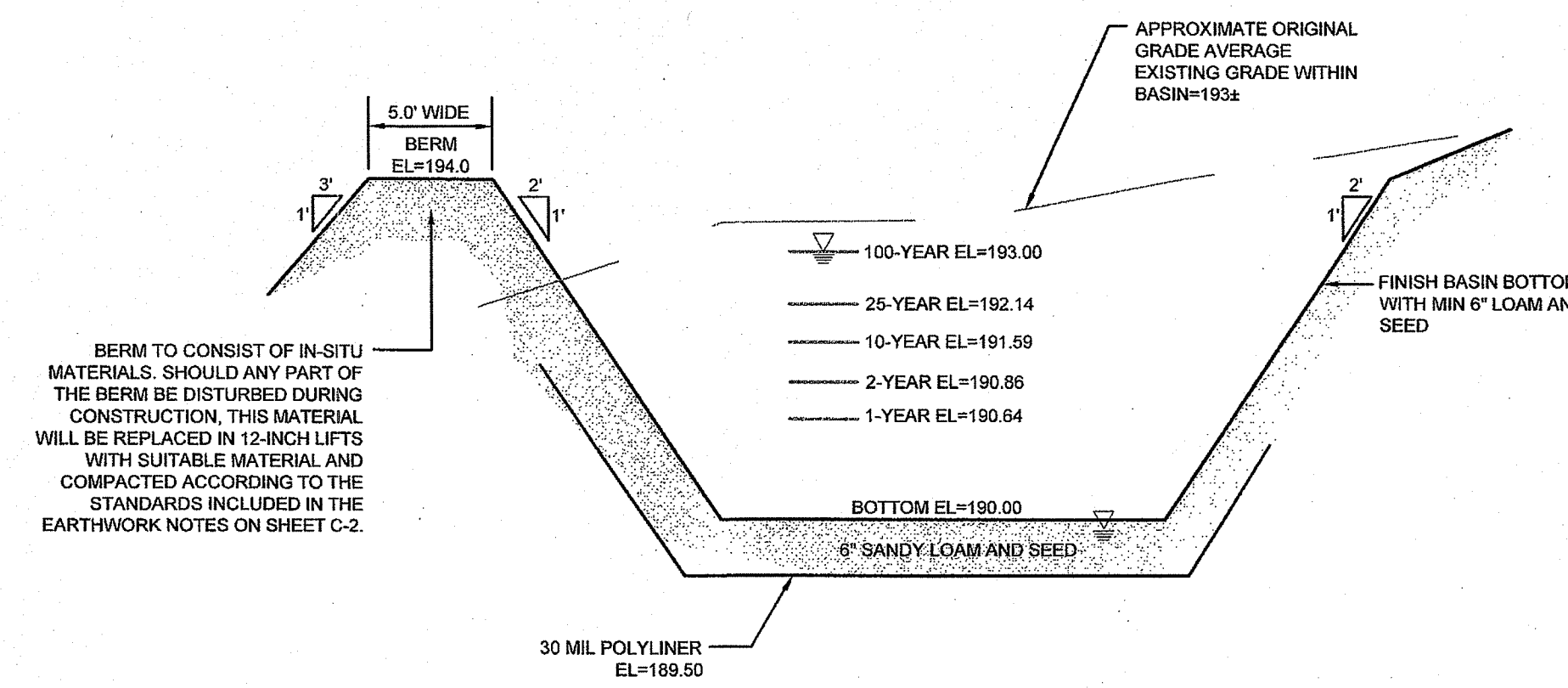
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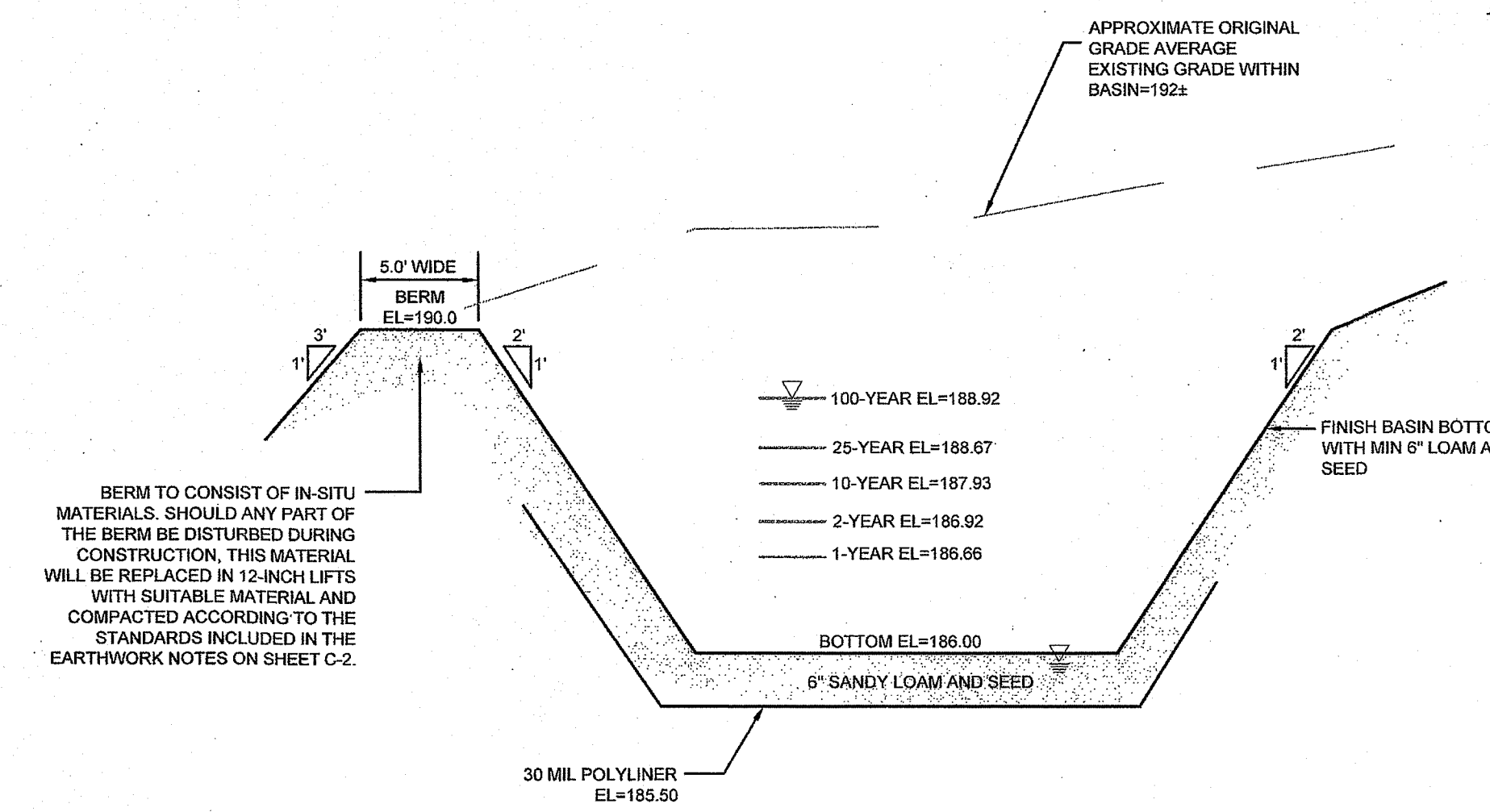
GRAVEL DRIVEWAY SECTION  
SCALE: NOT TO SCALE



DETENTION BASIN 2 CONCRETE OUTLET WEIR DETAIL  
SCALE: NOT TO SCALE



DETENTION BASIN 1 SECTION  
SCALE: NOT TO SCALE

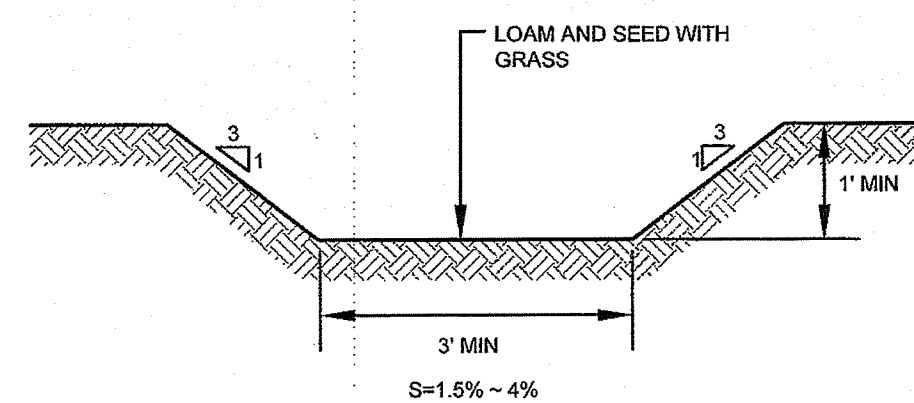


DETENTION BASIN 2 SECTION  
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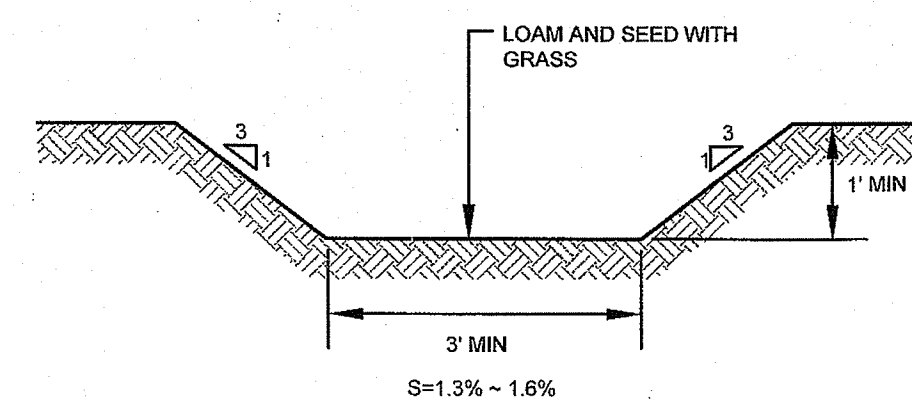
BERM TO CONSIST OF IN-SITU MATERIALS. SHOULD ANY PART OF THE BERM BE DISTURBED DURING CONSTRUCTION, THIS MATERIAL WILL BE REPLACED IN 12-INCH LIFTS WITH SUITABLE MATERIAL AND COMPACTED ACCORDING TO THE STANDARDS INCLUDED IN THE EARTHWORK NOTES ON SHEET C-2.

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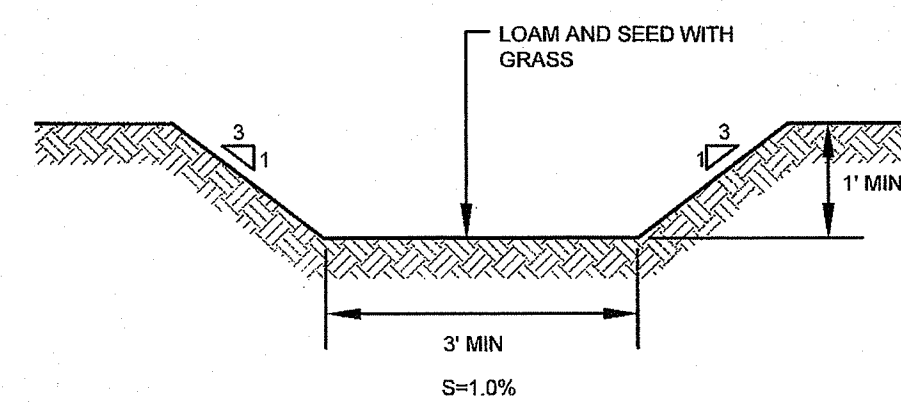
DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
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SWALE 1: (GRASS) CROSS SECTION  
SCALE: NOT TO SCALE



SWALE 2: (GRASS) CROSS SECTION  
SCALE: NOT TO SCALE



SWALE 3: (GRASS) CROSS SECTION  
SCALE: NOT TO SCALE

No.	Revision	Date	App.
2	RIDEM REVISIONS	25OCT21	
1	RIDEM REVISIONS	26AUG21	

Designed By: JJR Drawn by: JJR Checked by: GES  
Scale: AS SHOWN Date: 26APR21

Project Title:  
**ECC CONSTRUCTION STORAGE YARD**  
A.P. 105 LOT 601  
EAGLEVILLE ROAD  
TIVERTON  
RHODE ISLAND

Client/Owner:  
ECC EAGLEVILLE, LLC  
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Drawing Title:  
SITE DETAILS 2

	Drawing Number: <b>C-11</b> Sheet 11 of 11 Project Number: <b>20099.0</b> Survey Index: -
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