

STREET

HOPE

LOT 1
AREA=15,716 S.F.
60'x30' (1,800 SF)
T.O.F. EL.=91.5

LOT 2
AREA=11,577 S.F.

SITE BENCHMARK:
MAG NAIL
H.W. PP = 83.7
TP 2
EL.=87.0
G.W.=83.0

SEWER CLEANOUT
(TYP.)
136.74'

EXISTING BASIN TO BE
REGRADED & RECONFIGURED

95.00' EASEMENT

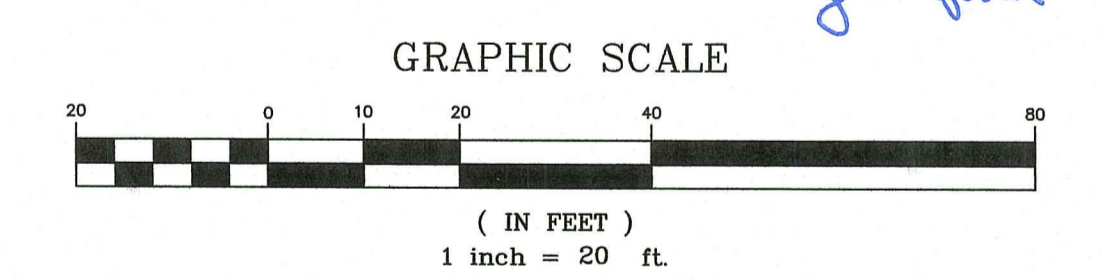
1202 HOPE
LOT 5

#1200
EX. DWELLING

#1202
STY. EX.
DWELLING
2,000 SF

A.P. 103 LOT 2
N/F
1200 HOPE ST
LONGFIELD PROJECT LLC

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS AS
SPECIFIED IN THE LETTER OF APPROVAL
DATED: OCT 17 2023 FILE #: 21-0138
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE



EROSION AND SEDIMENTATION CONTROL

LEGEND

- EXISTING STONE WALL
- - - EXISTING CONTOUR LINE
- - - EXISTING TREE LINE
- - - EXISTING FENCE LINE
- - - EXISTING BUILDING
- ⊙ EXISTING SEWER MANHOLE
- - - EXISTING SEWER LINE
- ⊙ EXISTING DRAIN MANHOLE
- - - EXISTING DRAIN LINE
- - - EXISTING WATER LINE
- - - EXISTING WETLAND FLAG
- ⊙ EXISTING TEST HOLE
- ⊙ EXISTING WATER GATE
- ⊙ EXISTING UTILITY POLE

- PROPOSED COMPOST FILTER SOCK/LOD
- - - PRE-EXISTING CONTOUR LINE
- - - PROPOSED 1200/ABUTTER CONTOUR LINE
- - - PROPOSED NEW CONTOUR LINE

APPLICANT/OWNER:
1202 HOPE STREET INVESTMENT, LLC
C/O MARIA GARIES
1202 HOPE STREET
BRISTOL, RI 02809

Thomas J. Principe, III
REGISTERED PROFESSIONAL ENGINEER

PRINCIPE COMPANY, INC.
ENGINEERING DIVISION
27 SAKONNET RIDGE DRIVE
TIVERTON, RI 02878
401.816.5385
WWW.PRINCIPECOMPANY.COM

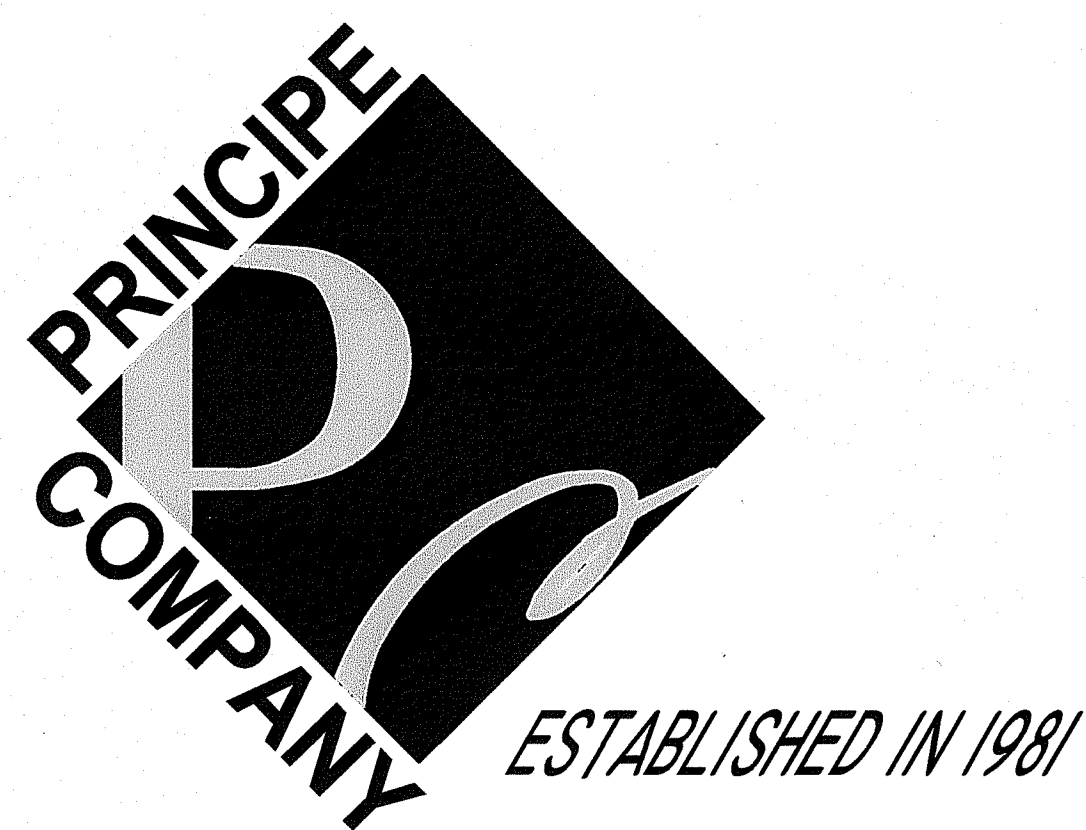
REVISIONS			
No.	DATE	DRWN	CHKD

STORMWATER REVISION PLAN
for
1202 HOPE STREET
AP 103 LOT 14
HOPE STREET
in
BRISTOL, RHODE ISLAND

SCALE: 1"=20'
SHEET NO: 1 OF 2
DRAWN BY: KAB DESIGN BY: KAB CHECKED BY: TJP
DATE: 8/21/2023 PROJECT NO.: LD-2021-10

PRELIMINARY PLAN
 for
 ELIZABETH COURT
 AP 103 LOT 14
 HOPE STREET
 in
 BRISTOL, RHODE ISLAND

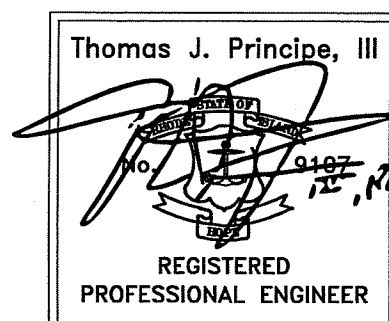
APPLICANT:
 1202 HOPE STREET INVESTMENT, LLC
 C/O JOE GARIES
 P.O. BOX 246
 WARREN, RI 02885



PREPARED BY:
PRINCIPE COMPANY, INC.
 ENGINEERING DIVISION

PO BOX 298
 TIVERTON, RHODE ISLAND 02878
 401.816.5385
 INFO@PRINCIPEENGINEERING.COM
 WWW.PRINCIPEENGINEERING.COM

APRIL 12, 2021
 REVISED JUNE 21, 2021



DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED JUL 13 2021 FILE # 21-0138
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE
Nancy L. Freeman

MASTER PLAN APPROVAL GRANTED BY THE TOWN OF BRISTOL PLANNING BOARD ON DECEMBER 10, 2020

THE TOWN OF BRISTOL PLANNING BOARD UNDER MASTER PLANNING BOARD APPROVAL GRANTED THE FOLLOWING MODIFICATIONS TO THE REGULATIONS.

- 1). MODIFICATION TO THE PAVEMENT WIDTH TO ALLOW 22' OF PAVEMENT INSTEAD OF 24'.
- 2). MODIFICATION TO THE OFF-SET OF THE NEW ROAD FROM GIBSON ROAD FROM 150' TO 133'.



LOCUS MAP
 SCALE: 1"=1,200'

PROJECT DATA:
 NUMBER OF PROPOSED SINGLE FAMILY LOTS: 4
 NUMBER OF EXISTING SINGLE FAMILY LOTS: 1
 PROPOSED ROADWAY = 494 LINEAR FEET
 TOTAL LOT AREA = 5.11± ACRES

THE SITE IS LOCATED IN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN) AS SHOWN ON FLOOD INSURANCE RATE MAP COMMUNITY PANEL NUMBER 44001C0011H EFFECTIVE DATE: JULY 7, 2014

LIST OF DRAWINGS

- 1) TITLE SHEET
- 2) HALF MILE RADIUS MAP
- 3) EXISTING CONDITIONS
- 4) LOT LAYOUT
- 5) GRADING AND UTILITY
- 6) ROADWAY PLAN AND PROFILE
- 7) LANDSCAPE
- 8) SOIL EROSION AND SEDIMENTATION CONTROL
- 9) CONSTRUCTION DETAILS-1
- 10) CONSTRUCTION DETAILS-2
- 11) CONSTRUCTION DETAILS-3
- 12) CONSTRUCTION DETAILS-4

PHASING OF PROJECT:

THIS SITE IS PROPOSED TO BE DEVELOPED IN A SINGLE PHASE

EXISTING CONDITIONS AND CLASS I PROPERTY LINE SURVEY BY:
 TURNING POINT SURVEY COMPANY, INC.
 DATED 8/5/20

WETLANDS DELINEATED BY: NATURAL RESOURCES SERVICES, INC.

PLAN REFERENCE:
 PROPOSED SUBDIVISION PLAN
 MASTER PLAN SUBMISSION
 PLAT 103, LOT 14
 1202 HOPE ST.

PREPARED BY:
 SITE ENGINEERING INC.
 RON T. BLANCHARD, REGISTERED PROFESSIONAL ENGINEER

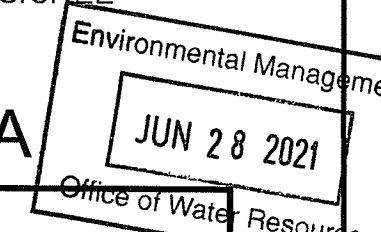
DATED: 11/7/19 LAST REVISED: 10/29/20

APPROVED BY THE TOWN OF BRISTOL PLANNING BOARD

TOWN OF BRISTOL PLANNING CHAIR OR DESIGNEE

ZONING CRITERIA

ZONING DISTRICT	R-10
MINIMUM LOT AREA	10,000 S.F.
MINIMUM LOT FRONTAGE	80'
MINIMUM FRONT YARD SETBACK	30'
MINIMUM SIDE YARD SETBACK	15'
MINIMUM REAR YARD SETBACK	30'
MAXIMUM LOT BUILDING COVERAGE	25%





DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
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 DATED JUN 13 2021 FILE # 21-0138
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Nancy L. Freeman

APPLICANT / OWNER:
 1202 HOPE STREET INVESTMENT, LLC
 C/O JOE GARIES
 P.O. BOX 246
 WARREN, RI 02885

APPROVED BY THE TOWN OF BRISTOL PLANNING BOARD

TOWN OF BRISTOL PLANNING CHAIR OR DESIGNEE

RI Environmental Management

JUN 28 2021

ZONING CRITERIA

ZONING DISTRICT	R-10
MINIMUM LOT AREA	10,000 S.F.
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MINIMUM FRONT YARD SETBACK	30'
MINIMUM SIDE YARD SETBACK	15'
MINIMUM REAR YARD SETBACK	30'
MAXIMUM LOT BUILDING COVERAGE	25%

300 FOOT & HALF MILE RADIUS MAP

Thomas J. Principe, III
 No. 9107
 REGISTERED PROFESSIONAL ENGINEER

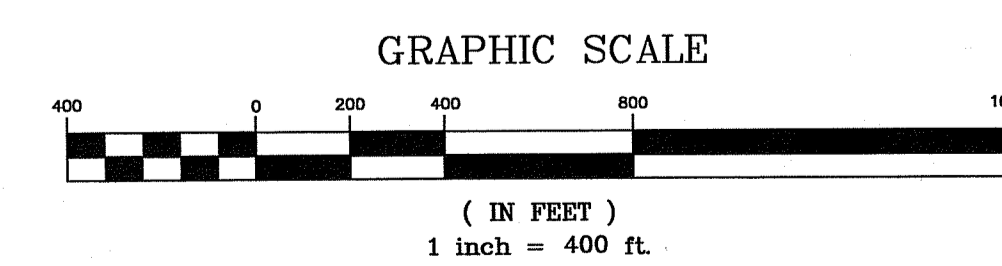
PRINCIPE COMPANY, INC.
 ENGINEERING DIVISION
 PO BOX 298
 TIVERTON, RI 02878
 401.816.5385
 PRINCIPLEENGINEERING@GMAIL.COM
 ESTABLISHED IN 1941

REVISIONS

No.	DATE	DRWN	CHKD
1.	06/21/21	KAB	TJP

PRELIMINARY PLAN
 for
ELIZABETH COURT
 AP 103 LOT 14
 HOPE STREET
 in
 BRISTOL, RHODE ISLAND

SCALE: 1"=400'	SHEET NO: 2 OF 12
DRAWN BY: TJP	DESIGN BY: TJP
DATE: 4/12/21	CHECKED BY: TJP
	PROJECT NO.: LD-2021-10



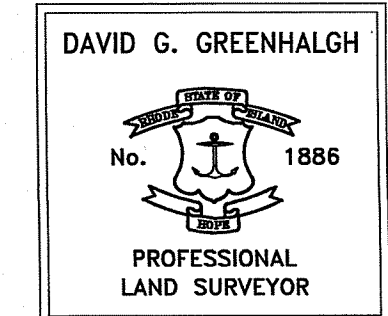
THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON JANUARY 1, 2016 AS FOLLOWS:

TYPE OF BOUNDARY SURVEY
 COMPREHENSIVE BOUNDARY SURVEY MEASUREMENT SPECIFICATION: 1
 DATA ACCUMULATION SURVEY MEASUREMENT SPECIFICATION: 3

BY: DAVID G. GREENHALGH PLS# 1886
 COA NO. A485

PERIMETER SURVEY DATED DEC. 11, 2018 PROVIDED BY:
LAND SURVEYING SERVICES PROVIDED BY:
 Turning Point Survey Company, Inc.

100 Broad Common Road
 Bristol, RI 02809
 Ph. 401.338.7925
 Turningpointsurvey.com
DAVID G. GREENHALGH
 MASS. PLS #34616



Ri Environmental Management
 JUN 28 2021
 Office of Water Resources

APPLICANT / OWNER:
 1202 HOPE STREET INVESTMENT, LLC
 C/O JOE GARIES
 P.O. BOX 246
 WARREN, RI 02885

APPROVED BY THE TOWN OF BRISTOL PLANNING BOARD

TOWN OF BRISTOL PLANNING CHAIR OR DESIGNEE

ZONING CRITERIA

ZONING DISTRICT	R-10
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MINIMUM LOT FRONTAGE	80'
MINIMUM FRONT YARD SETBACK	30'
MINIMUM SIDE YARD SETBACK	15'
MINIMUM REAR YARD SETBACK	30'
MAXIMUM LOT BUILDING COVERAGE	25%

EXISTING CONDITIONS

Thomas J. Principe, III
 REGISTERED PROFESSIONAL ENGINEER

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 ENGINEERING DIVISION
 PO BOX 298
 TIVERTON, RI 02878
 401.816.5385
 PRINCIPEENGINEERING@GMAIL.COM

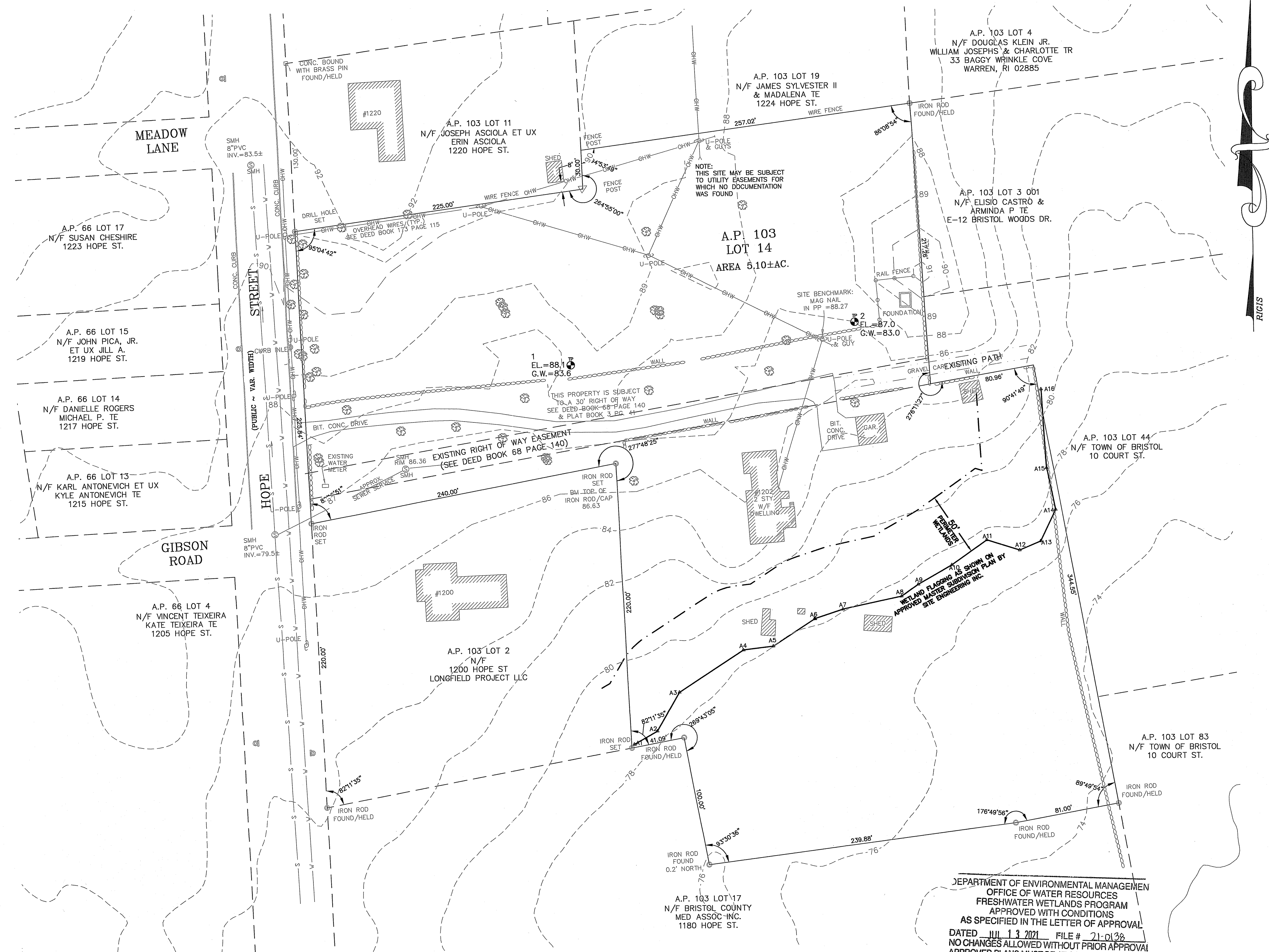
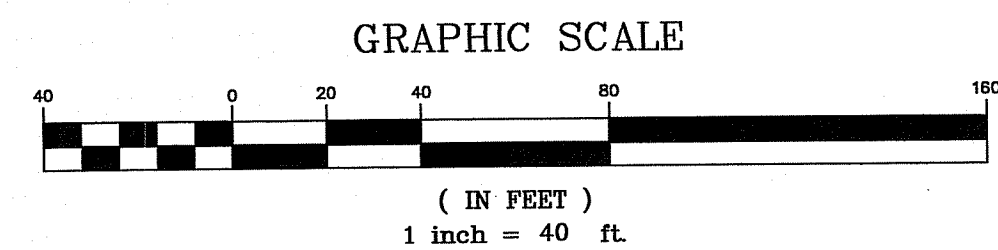
REVISIONS

No.	DATE	DRWN	CHKD
1.	06/21/21	KAB	TJP

PRELIMINARY PLAN
 for
ELIZABETH COURT
 AP 103 LOT 14
 HOPE STREET
 in
 BRISTOL, RHODE ISLAND

SCALE: 1"=40'
 SHEET NO: 3 OF 12
 DRAWN BY: TJP DESIGN BY: TJP CHECKED BY: TJP
 DATE: 4/12/21 PROJECT NO.: LD-2021-10

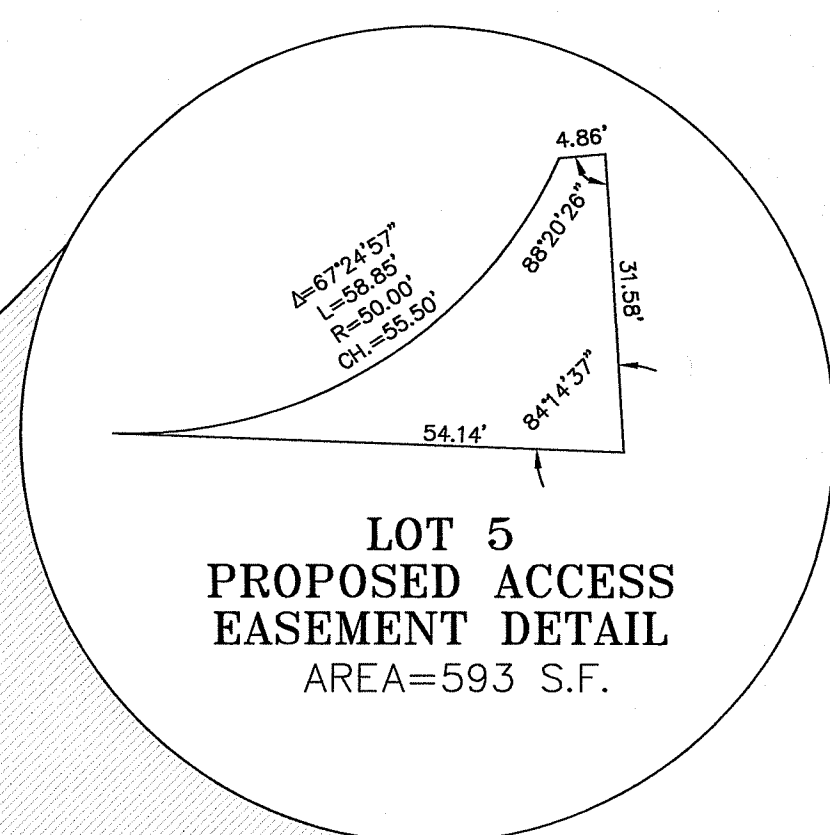
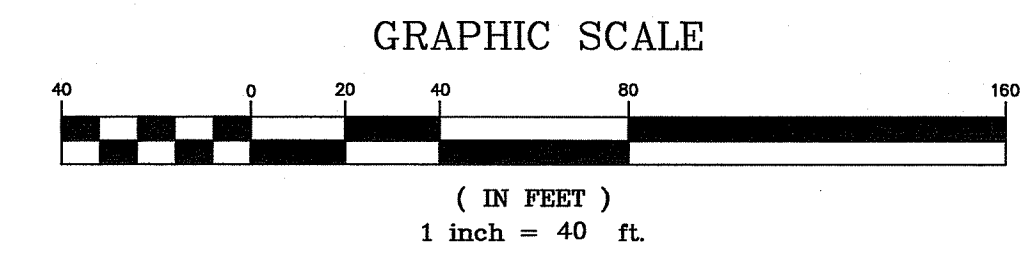
DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED JUL 13 2021 FILE # 21-0136
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE
Nancy L. Freeman



- LEGEND**
- EXISTING STONE WALL
 - - - EXISTING CONTOUR LINE
 - - - EXISTING TREE LINE
 - - - EXISTING FENCE LINE
 - - - EXISTING BUILDING
 - - - EXISTING SEWER MANHOLE
 - - - EXISTING SEWER LINE
 - - - EXISTING DRAIN MANHOLE
 - - - EXISTING DRAIN LINE
 - - - EXISTING WATER LINE
 - - - EXISTING WETLAND FLAG
 - - - EXISTING TEST HOLE
 - EXISTING WATER GATE
 - EXISTING UTILITY POLE
 - PROPOSED UNDERGROUND ELECTRIC
 - PROPOSED SEWER LINE
 - PROPOSED WATER MAIN
 - PROPOSED HYDRANT
 - PROPOSED WATER GATE
 - PROPOSED SILT FENCE
 - PROPOSED CONTOUR LINE
 - PROPOSED FINISH SPOT GRADE
 - PROPOSED CONCRETE BOUND TO BE SET

REFERENCE:
 DEED REF. (BK./PG.) 1990/179
 PLAT REF.
 PLAT BOOK 3 PAGE 41
 PLAT BOOK 4A PAGE 137
 PLAT ENVELOPE 224
 TOWN OF BRISTOL, RI
 LAND EVIDENCE RECORDS

TOPOGRAPHY NOTE:
 TOPOGRAPHY BY PRINCIPE ENGINEERING, INC.
 DATUM: NAVD88



REFERENCE:
 DEED REF. (BK./PG.) 1990/179
 PLAN REF.
 PLAT BOOK 3 PAGE 41
 PLAT BOOK 'A' PAGE 137
 PLAT ENVELOPE 224
 TOWN OF BRISTOL, RI
 LAND EVIDENCE RECORDS

TOPOGRAPHY NOTE:
 TOPOGRAPHY BY PRINCIPE ENGINEERS, INC.
 DATUM: NAVD88

RI Environmental Management
 JUN 28 2021
 Office of Water Resources

APPLICANT / OWNER:
 1202 HOPE STREET INVESTMENT, LLC
 C/O JOE GARIES
 P.O. BOX 246
 WARREN, RI 02885

APPROVED BY THE TOWN OF BRISTOL PLANNING BOARD

TOWN OF BRISTOL PLANNING CHAIR OR DESIGNEE

ZONING CRITERIA

ZONING DISTRICT	R-10
MINIMUM LOT AREA	10,000 S.F.
MINIMUM LOT FRONTAGE	80'
MINIMUM FRONT YARD SETBACK	30'
MINIMUM SIDE YARD SETBACK	15'
MINIMUM REAR YARD SETBACK	30'
MAXIMUM LOT BUILDING COVERAGE	25%

LOT LAYOUT

Thomas J. Principe, III

 REGISTERED PROFESSIONAL ENGINEER

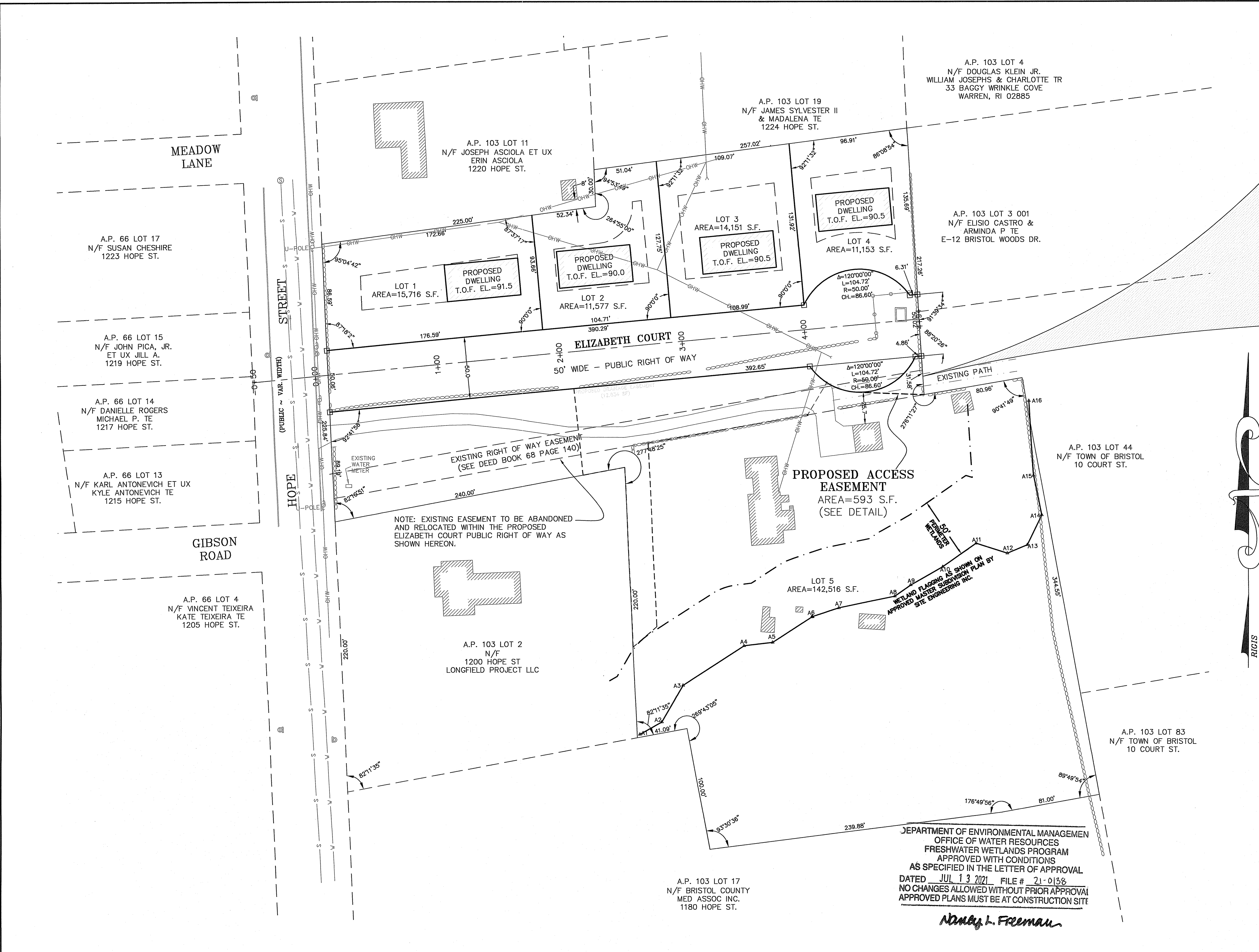
PRINCIPE COMPANY, INC.
 ENGINEERING DIVISION
 PO BOX 298
 TIVERTON, RI 02878
 401.816.5385
 PRINCIPEENGINEERING@GMAIL.COM

ESTABLISHED IN 1981

PRELIMINARY PLAN
 for
ELIZABETH COURT
AP 103 LOT 14
 HOPE STREET
 in
 BRISTOL, RHODE ISLAND

REVISIONS			
No.	DATE	DRWN	CHKD
1.	06/21/21	KAB	TJP

SCALE: 1"=40'	SHEET NO.: 4 OF 12
DRAWN BY: TJP	DESIGN BY: TJP
CHECKED BY: TJP	
DATE: 4/12/21	PROJECT NO.: LD-2021-10



NOTE: EXISTING EASEMENT TO BE ABANDONED AND RELOCATED WITHIN THE PROPOSED ELIZABETH COURT PUBLIC RIGHT OF WAY AS SHOWN HEREON.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED JUL 13 2021 FILE # 21-0136
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David L. Freeman

LEGEND

	EXISTING STONE WALL		EXISTING WATER GATE
	EXISTING CONTOUR LINE		EXISTING UTILITY POLE
	EXISTING TREE LINE		PROPOSED UNDERGROUND ELECTRIC
	EXISTING FENCE LINE		PROPOSED SEWER LINE
	EXISTING BUILDING		PROPOSED WATER MAIN
	EXISTING SEWER MANHOLE		PROPOSED HYDRANT
	EXISTING SEWER LINE		PROPOSED WATER GATE
	EXISTING DRAIN MANHOLE		PROPOSED SILT FENCE
	EXISTING DRAIN LINE		PROPOSED CONTOUR LINE
	EXISTING WATER LINE		PROPOSED FINISH SPOT GRADE
	EXISTING WETLAND FLAG		PROPOSED CONCRETE BOUND TO BE SET
	EXISTING TEST HOLE		

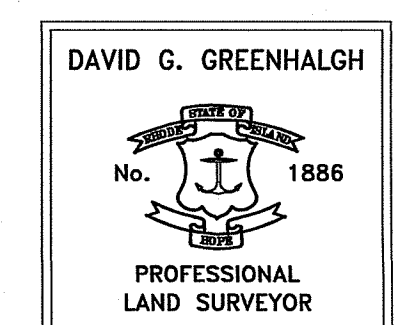
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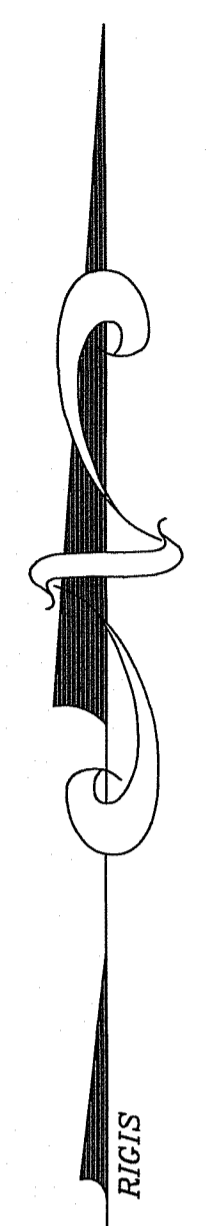
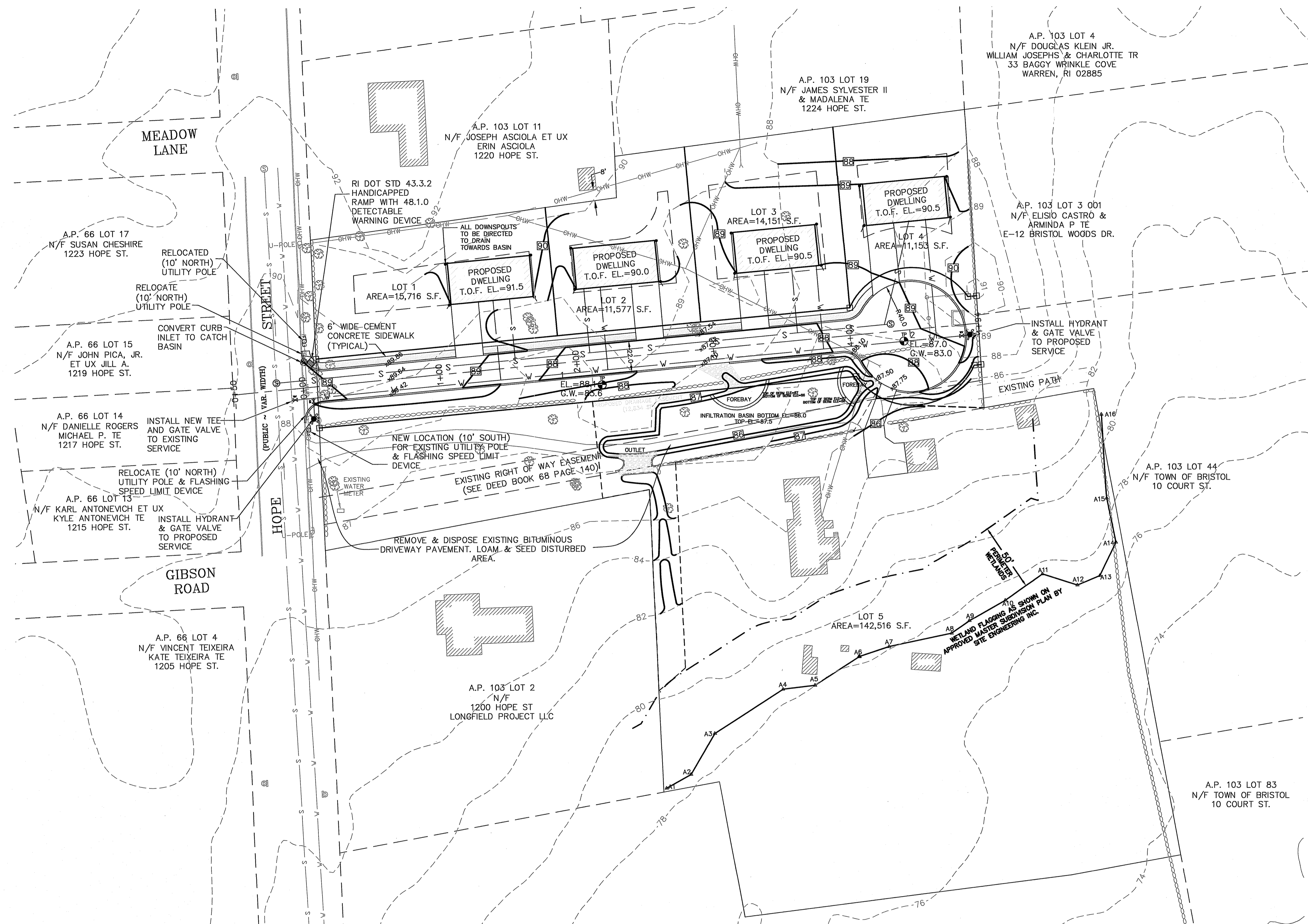
TYPE OF BOUNDARY SURVEY
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BY: DAVID G. GREENHALGH PLS# 1886
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DAVID G. GREENHALGH
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RI Environmental Management
 JUN 28 2021
 Office of Water Resources

APPLICANT / OWNER:
 1202 HOPE STREET INVESTMENT, LLC
 C/O JOE GARIES
 P.O. BOX 246
 WARREN, RI 02885

APPROVED BY THE TOWN OF BRISTOL PLANNING BOARD

TOWN OF BRISTOL PLANNING CHAIR OR DESIGNEE

ZONING CRITERIA

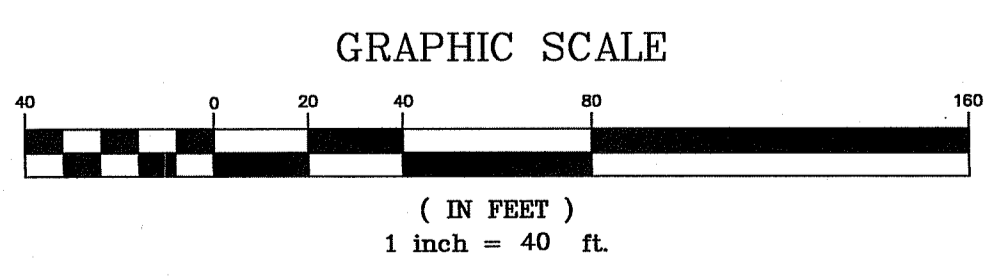
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MAXIMUM LOT BUILDING COVERAGE	25%

UTILITY AND GRADING

LEGEND

	EXISTING STONE WALL		EXISTING WATER GATE
	EXISTING CONTOUR LINE		EXISTING UTILITY POLE
	EXISTING TREE LINE		PROPOSED UNDERGROUND ELECTRIC
	EXISTING FENCE LINE		PROPOSED SEWER LINE
	EXISTING BUILDING		PROPOSED WATER MAIN
	EXISTING SEWER MANHOLE		PROPOSED HYDRANT
	EXISTING SEWER LINE		PROPOSED WATER GATE
	EXISTING DRAIN MANHOLE		PROPOSED SILT FENCE
	EXISTING DRAIN LINE		PROPOSED CONTOUR LINE
	EXISTING WATER LINE		PROPOSED FINISH SPOT GRADE
	EXISTING WETLAND FLAG		PROPOSED CONCRETE BOUND TO BE SET
	EXISTING TEST HOLE		

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED JUL 13 2021 FILE # 21-0158
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Nancy L. Freeman



Thomas J. Principe, III

 REGISTERED PROFESSIONAL ENGINEER

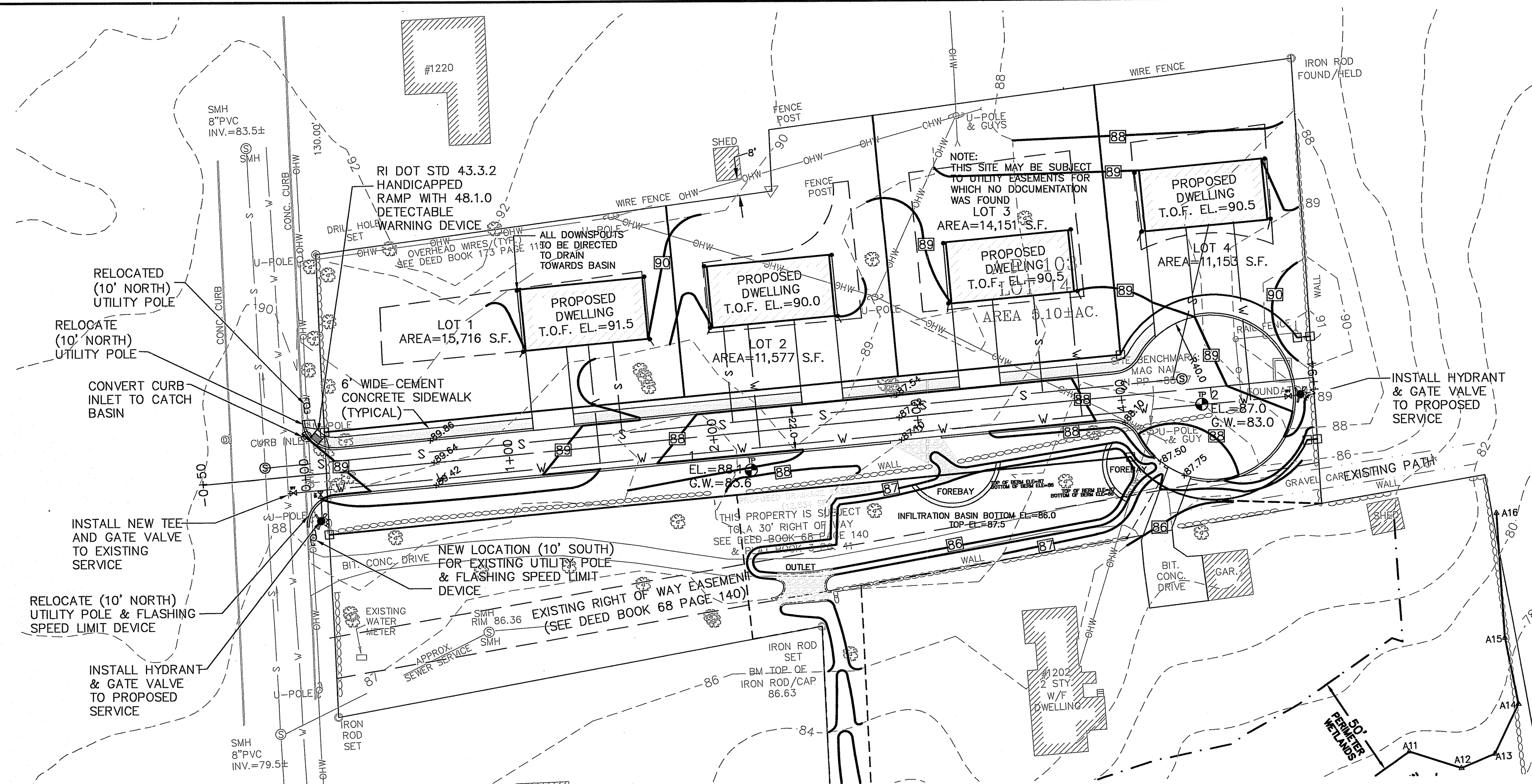
PRINCIPE COMPANY, INC.
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 PO BOX 298
 TIVERTON, RI 02878
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 PRINCIPEENGINEERING@GMAIL.COM

REVISIONS

No.	DATE	DRWN	CHKD
1.	06/21/21	KAB	TJP

PRELIMINARY PLAN
 for
ELIZABETH COURT
 AP 103 LOT 14
 HOPE STREET
 in
 BRISTOL, RHODE ISLAND

SCALE: 1"=40'	SHEET NO: 5 OF 12
DRAWN BY: TJP	DESIGN BY: TJP
DATE: 4/12/21	CHECKED BY: TJP
	PROJECT NO.: LD-2021-10

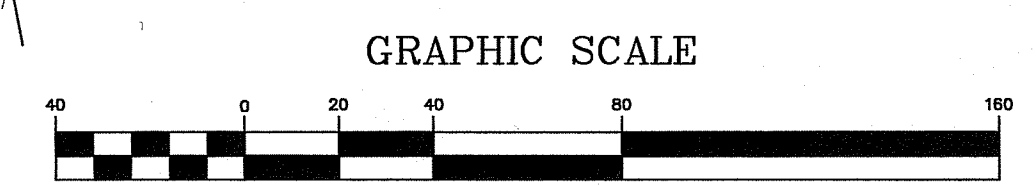


ROADWAY PLAN VIEW
SCALE: 1"=40'

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
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Nancy L. Freeman

RI Environmental Management
JUN 28 2021
Office of Water Resources

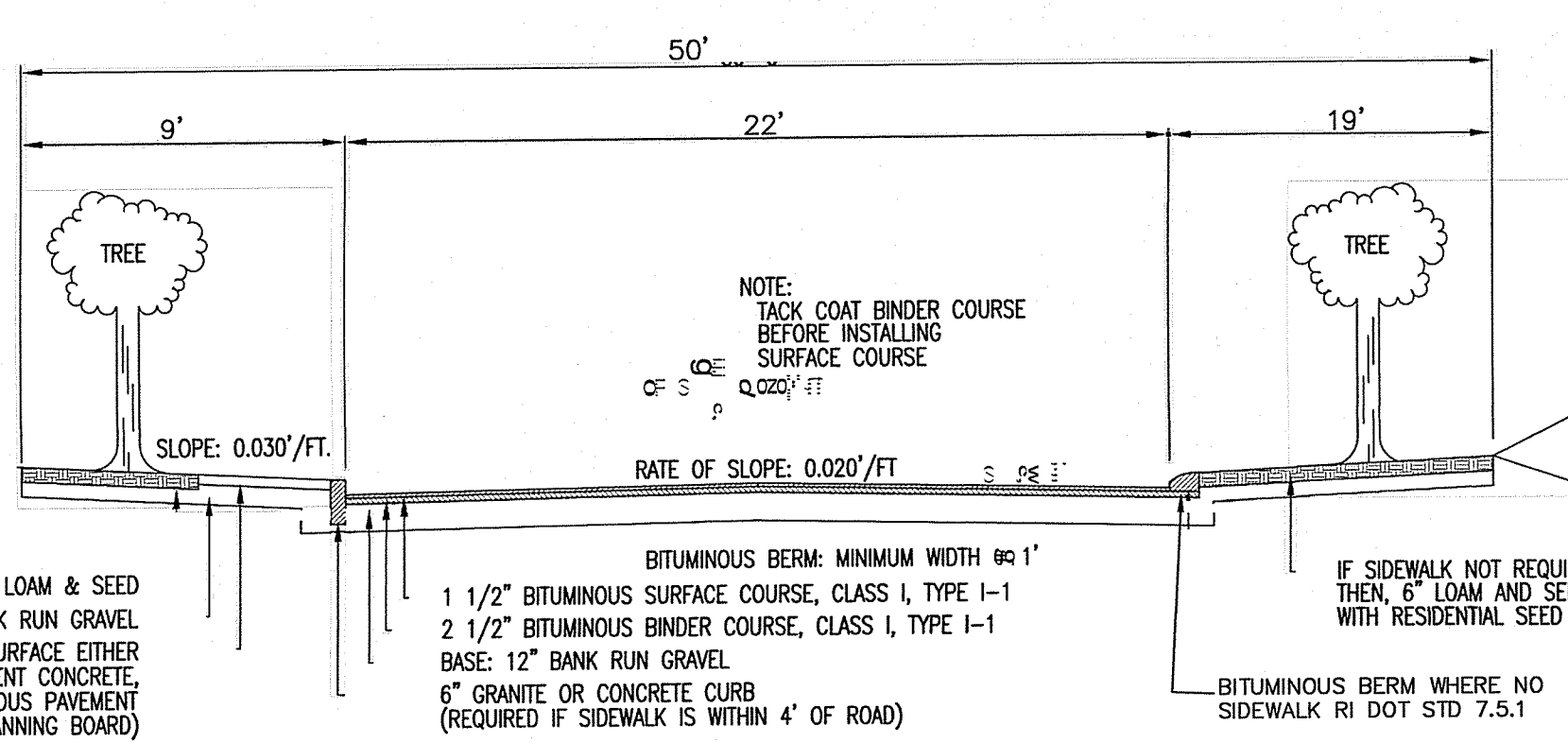


APPLICANT / OWNER:
1202 HOPE STREET INVESTMENT, LLC
C/O JOE GARIES
P.O. BOX 246
WARREN, RI 02885

APPROVED BY THE TOWN OF BRISTOL PLANNING BOARD
TOWN OF BRISTOL PLANNING CHAIR OR DESIGNEE

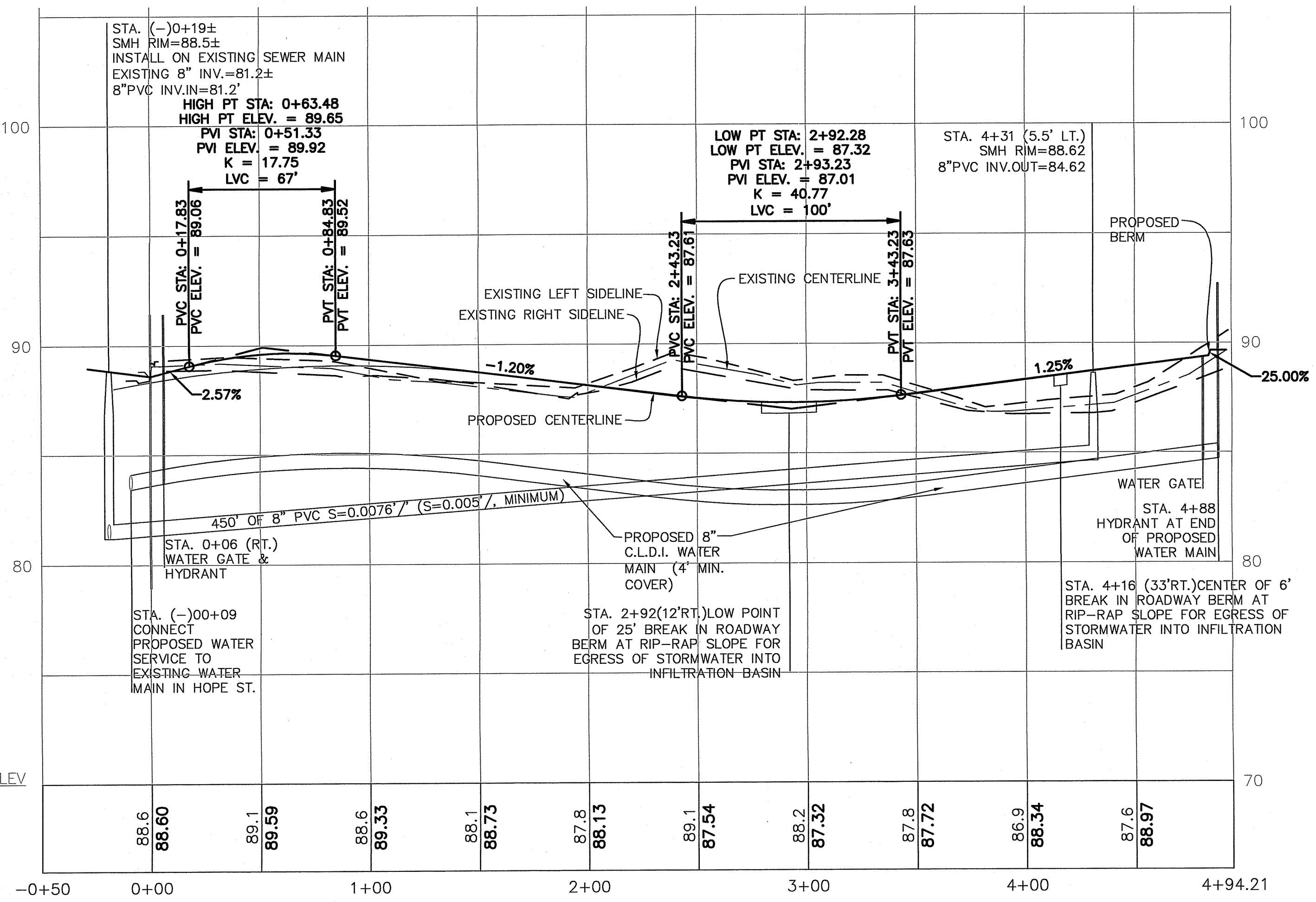
ZONING CRITERIA

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MINIMUM LOT AREA	10,000 S.F.
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MINIMUM REAR YARD SETBACK	30'
MAXIMUM LOT BUILDING COVERAGE	25%



TOWN OF BRISTOL
SEPTEMBER, 2009
TYPICAL SECTION
(LOCAL RESIDENTIAL STREET)

- LEGEND**
- EXISTING STONE WALL
 - EXISTING CONTOUR LINE
 - EXISTING TREE LINE
 - EXISTING FENCE LINE
 - EXISTING BUILDING
 - EXISTING SEWER MANHOLE
 - EXISTING SEWER LINE
 - EXISTING DRAIN MANHOLE
 - EXISTING DRAIN LINE
 - EXISTING WATER LINE
 - EXISTING WETLAND FLAG
 - EXISTING TEST HOLE
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 - PROPOSED UNDERGROUND ELECTRIC
 - PROPOSED SEWER LINE
 - PROPOSED WATER MAIN
 - PROPOSED HYDRANT
 - PROPOSED WATER GATE
 - PROPOSED SILT FENCE
 - PROPOSED CONTOUR LINE
 - PROPOSED FINISH SPOT GRADE
 - PROPOSED CONCRETE BOUND TO BE SET



ROADWAY PROFILE VIEW
SCALE: 1"=40' HORIZONTAL / 1"=4' VERTICAL

ROADWAY PLAN AND PROFILE

Thomas J. Principe, III
REGISTERED PROFESSIONAL ENGINEER

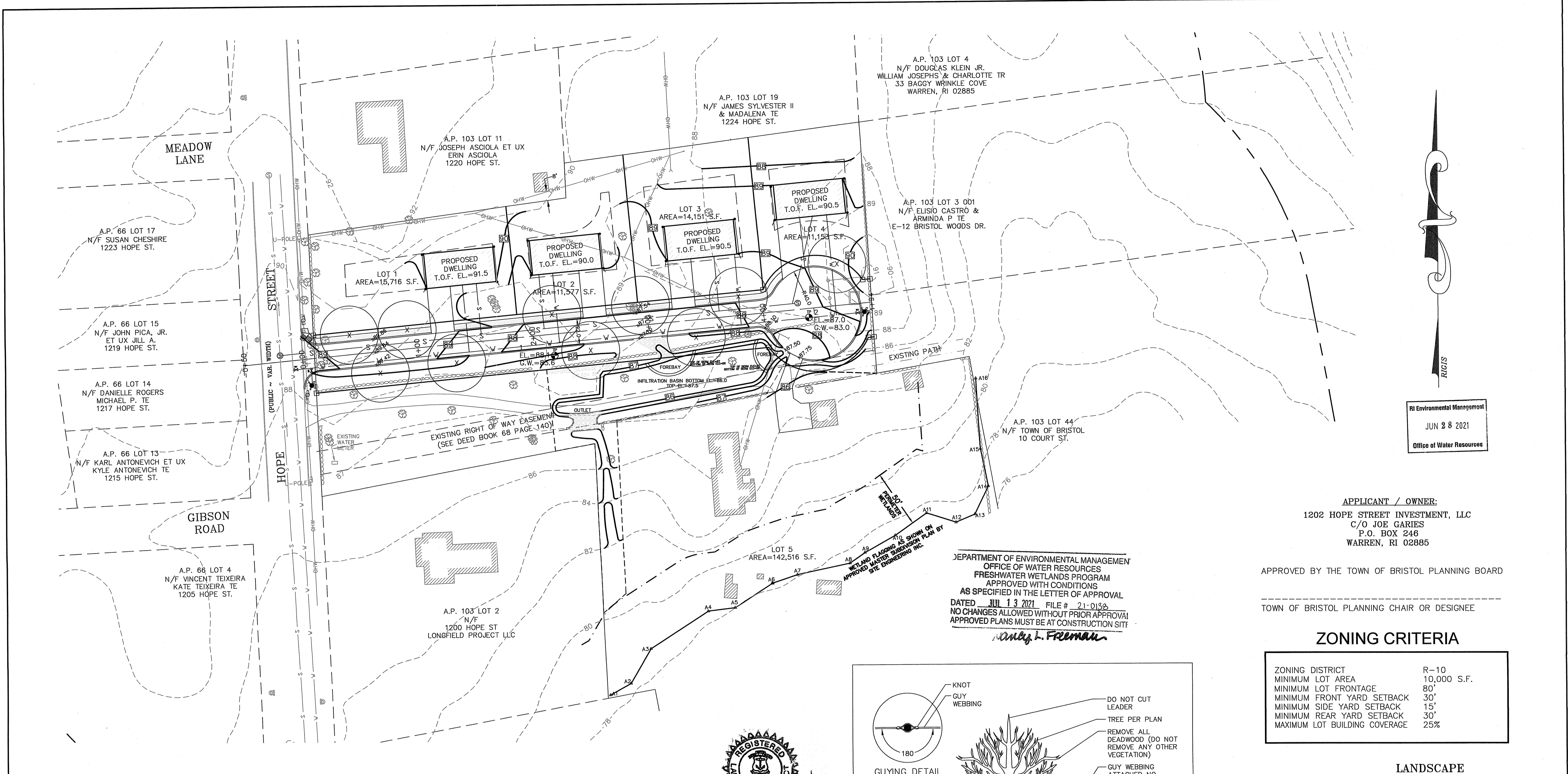
PRINCIPLE COMPANY, INC.
ENGINEERING DIVISION
PO BOX 298
TIVERTON, RI 02878
401.816.5385
PRINCIPLEENGINEERING@GMAIL.COM

REVISIONS

No.	DATE	DRWN	CHKD
1.	06/21/21	KAB	TJP

PRELIMINARY PLAN
for
ELIZABETH COURT
AP 103 LOT 14
HOPE STREET
in
BRISTOL, RHODE ISLAND

SCALE: 1"=40' SHEET NO: 6 OF 12
DRAWN BY: TJP DESIGN BY: TJP CHECKED BY: TJP
DATE: 4/12/21 PROJECT NO.: LD-2021-10



RI Environmental Management
 JUN 28 2021
 Office of Water Resources

APPLICANT / OWNER:
 1202 HOPE STREET INVESTMENT, LLC
 C/O JOE GARIES
 P.O. BOX 246
 WARREN, RI 02885

APPROVED BY THE TOWN OF BRISTOL PLANNING BOARD
 TOWN OF BRISTOL PLANNING CHAIR OR DESIGNEE

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED JUL 13 2021 FILE # 21-0136
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE
Only J. Freeman

ZONING CRITERIA

ZONING DISTRICT	R-10
MINIMUM LOT AREA	10,000 S.F.
MINIMUM LOT FRONTAGE	80'
MINIMUM FRONT YARD SETBACK	30'
MINIMUM SIDE YARD SETBACK	15'
MINIMUM REAR YARD SETBACK	30'
MAXIMUM LOT BUILDING COVERAGE	25%

LANDSCAPE

Thomas J. Principe, III
 REGISTERED PROFESSIONAL ENGINEER

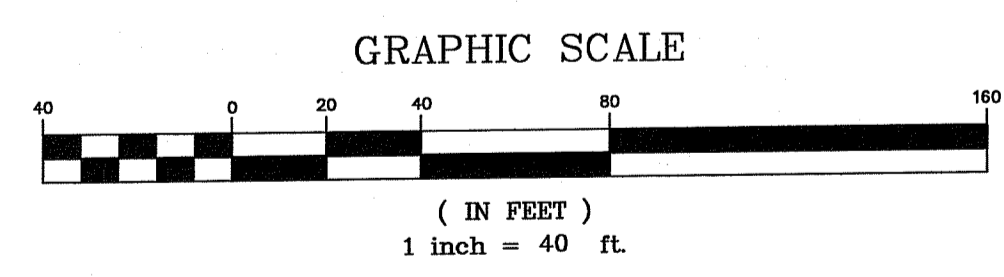
PRINCIPE COMPANY, INC.
 ENGINEERING DIVISION
 P.O. BOX 298
 TIVERTON, RI 02878
 401.816.5385
 PRINCIPLEENGINEERING@GMAIL.COM

REVISIONS

No.	DATE	DRWN	CHKD
1.	06/21/21	KAB	TJP

PRELIMINARY PLAN
 for
ELIZABETH COURT
 AP 103 LOT 14
 HOPE STREET
 in
 BRISTOL, RHODE ISLAND

SCALE: 1"=40' SHEET NO: 7 OF 12
 DRAWN BY: TJP DESIGN BY: TJP CHECKED BY: TJP
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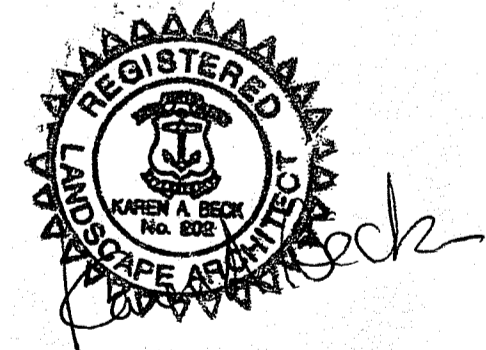
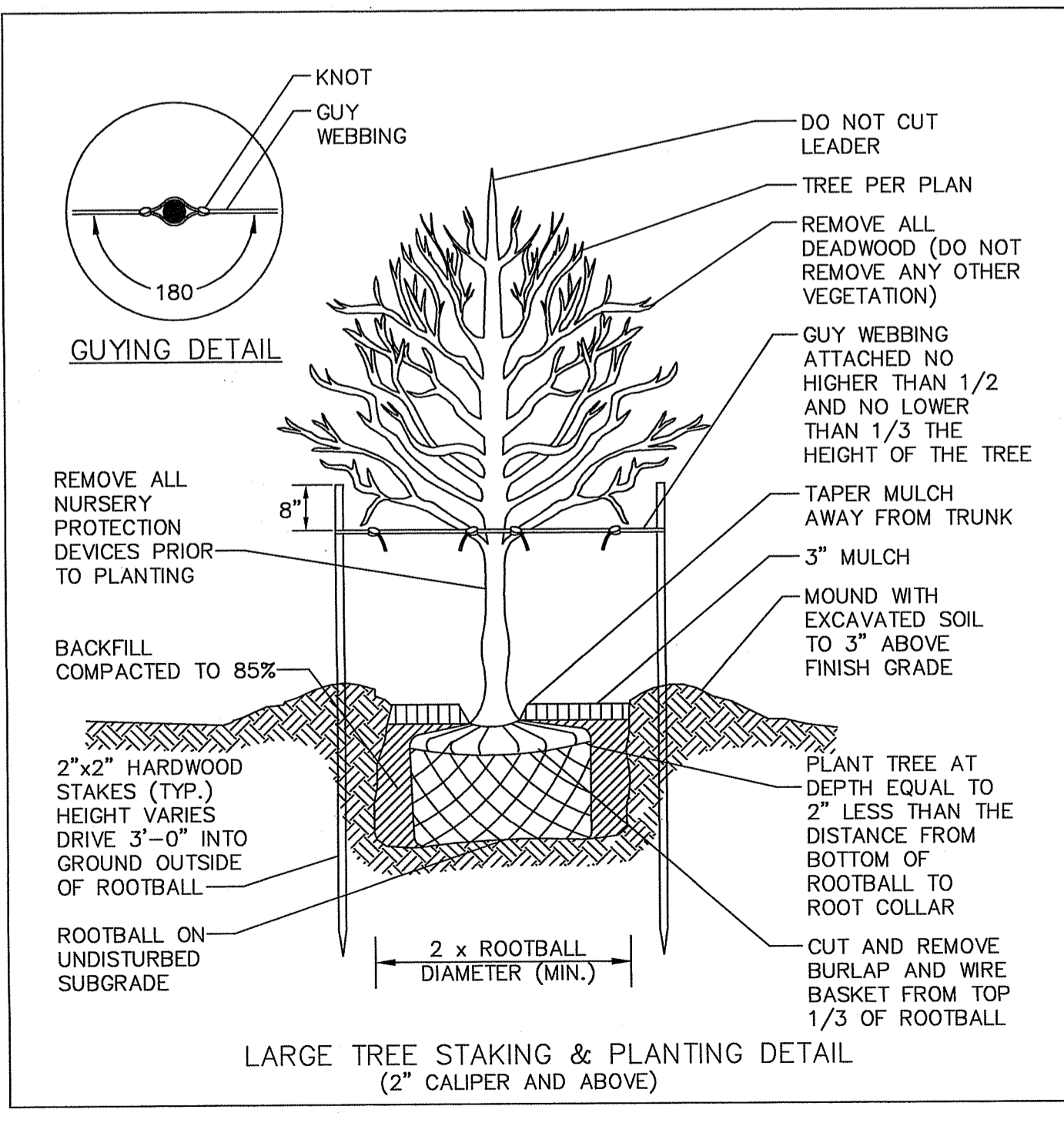
LEGEND

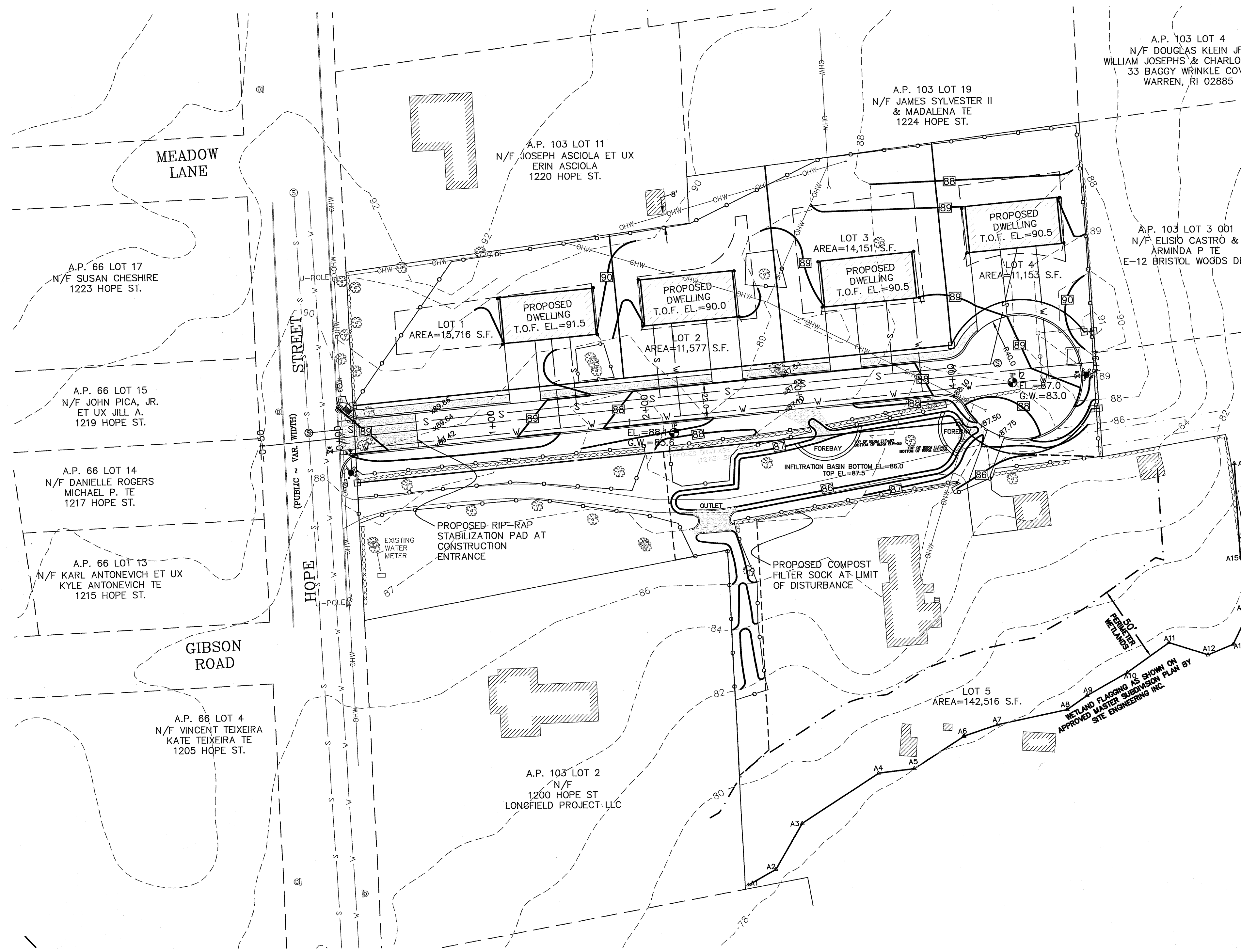
	EXISTING STONE WALL		EXISTING WATER GATE
	EXISTING CONTOUR LINE		EXISTING UTILITY POLE
	EXISTING TREE LINE		PROPOSED UNDERGROUND ELECTRIC
	EXISTING FENCE LINE		PROPOSED SEWER LINE
	EXISTING BUILDING		PROPOSED WATER MAIN
	EXISTING SEWER MANHOLE		PROPOSED HYDRANT
	EXISTING SEWER LINE		PROPOSED WATER GATE
	EXISTING DRAIN MANHOLE		PROPOSED SILT FENCE
	EXISTING DRAIN LINE		PROPOSED CONTOUR LINE
	EXISTING WATER LINE		PROPOSED FINISH SPOT GRADE
	EXISTING WETLAND FLAG		PROPOSED CONCRETE BOUND TO BE SET
	EXISTING TEST HOLE		

MASTER PLANT SCHEDULE

SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	REMARKS
AS	4	Acer rubrum 'Scarlet Sentinel'	Upright red maple	2.5-3" cal.	B&B	6' STD.
Ns	3	Nyssa sylvatica	Tupelo	2.5-3" cal.	B&B	6' STD.
Qb	3	Quercus bicolor	Swamp white oak	2.5-3" cal.	B&B	6' STD.

- LANDSCAPE NOTES:**
- ALL PLANT MATERIAL TO CONFORM TO ANSI STANDARDS.
 - ALL PLANT MATERIAL TO RECEIVE THREE INCHES OF SHREDDED PINE BARK MULCH.
 - ALL PLANT MATERIAL TO BE GUARANTEED TO SURVIVE AT LEAST ONE FULL YEAR FROM DATE OF PLANTING.
 - ALL PLANT MATERIAL SUBJECT TO FIELD VERIFICATION OF LOCATION AND SPECIES.
 - THERE WILL BE NO PLANT MATERIAL SUBSTITUTIONS WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT.
 - DISTURBED SOILS WITHIN THE PROJECT LIMITS ARE TO BE LOAMED AND SEEDED WITH A MINIMUM OF 4" OF LOAM AND APPLICABLE SEEDING MIXTURE.
 - PLANT SPECIES SHALL BE SITUATED SUCH THAT THE AS, Ns AND Qb SHALL NOT BE ADJACENT TO ONE ANOTHER TO THE GREATEST EXTENT POSSIBLE





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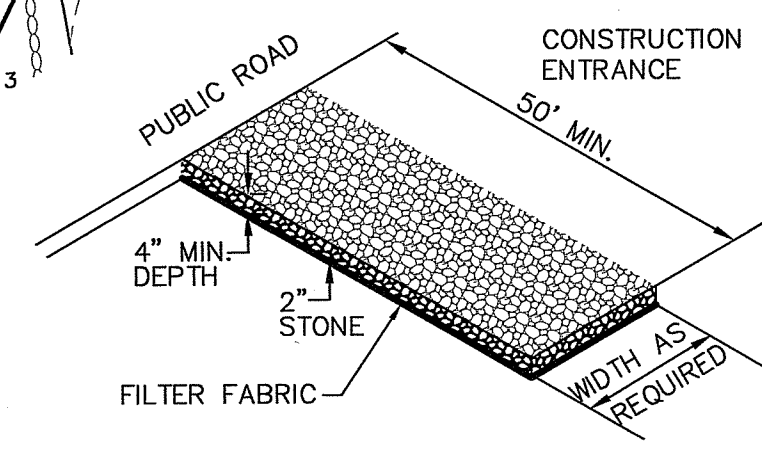
RI Environmental Services
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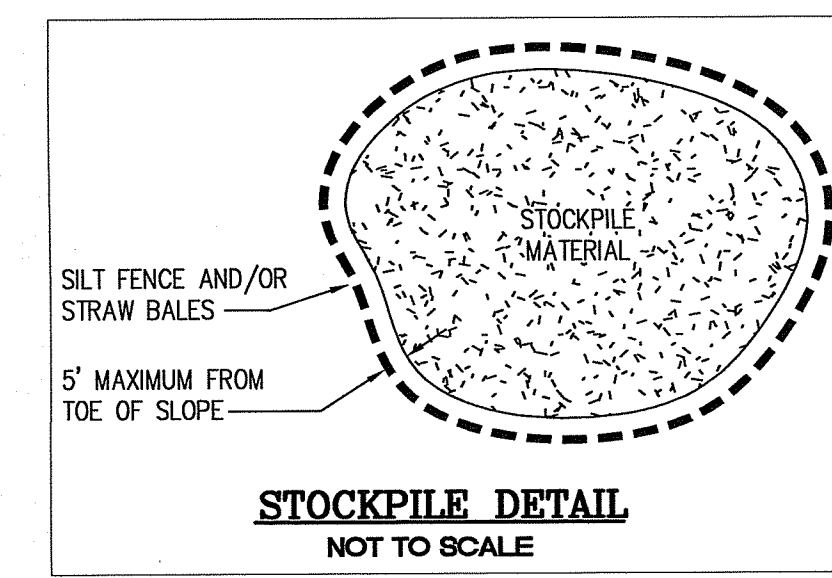


MATERIALS SIZE

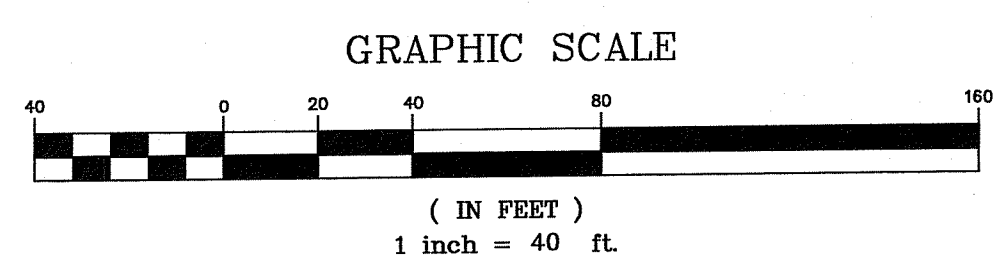
SQUARE MESH SIEVES	2" CRUSHED STONE OR GRAVEL	ASTM C-33 NO. 2	ASTM C-33 NO. 3
2-1/2 INCHES	100	90-100	100
2 INCHES	95-100	35-70	90-100
1-1/2 INCHES	30-55	0-15	35-70
1-1/4 INCHES	0-25	-	0-15
1 INCH	0-5	0-5	0-5
3/4 INCH	-	-	-
1/2 INCH	-	-	-
3/8 INCH	-	-	-

NOTE:
 STABILIZATION PAD TO BE IN CONFORMANCE WITH STANDARDS SET FORTH IN THE "RHODE ISLAND GUIDELINES FOR SOIL & SEDIMENT CONTROL."

RIP-RAP STABILIZATION PAD @ CONSTRUCTION ENTRANCE
 NOT TO SCALE

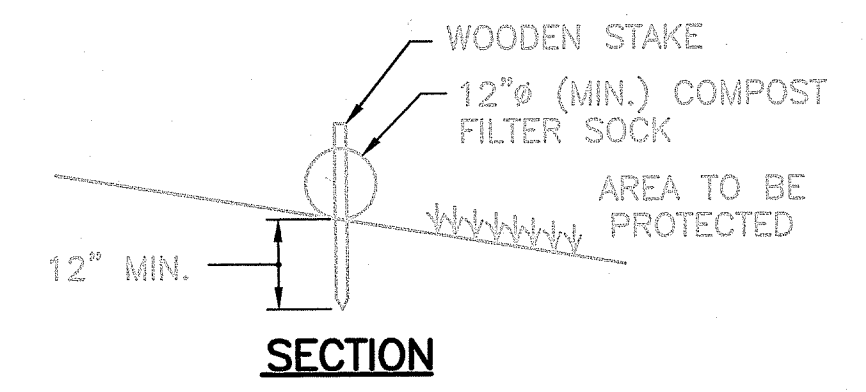
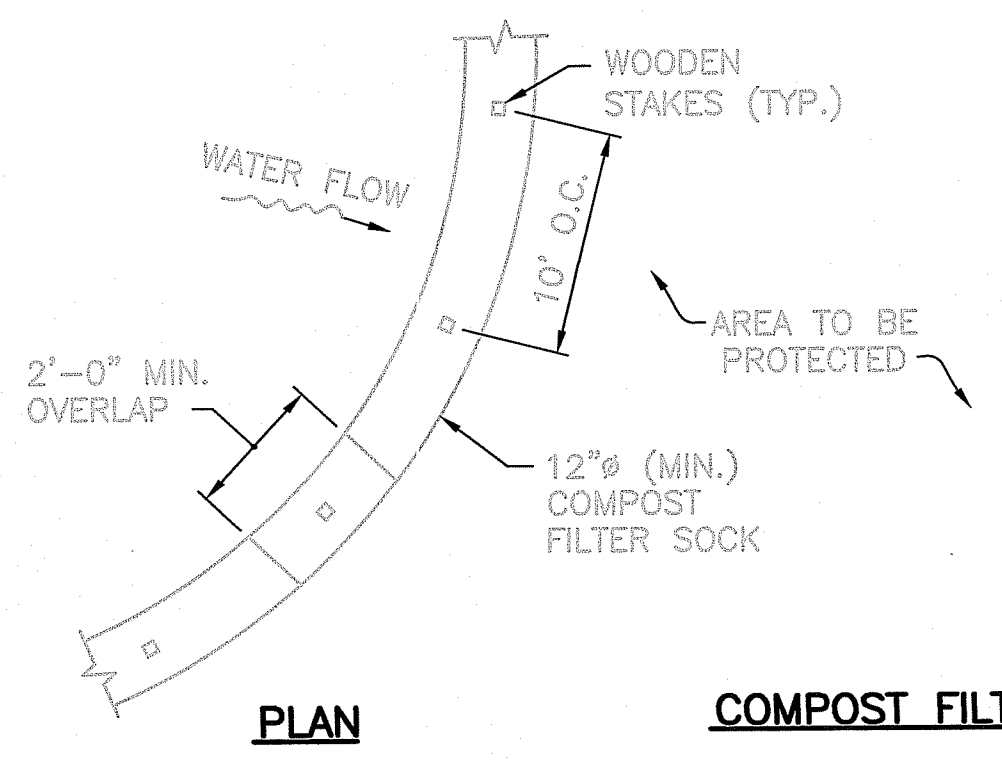


STOCKPILE DETAIL
 NOT TO SCALE



LEGEND

	EXISTING STONE WALL		EXISTING WATER GATE
	EXISTING CONTOUR LINE		EXISTING UTILITY POLE
	EXISTING TREE LINE		PROPOSED UNDERGROUND ELECTRIC
	EXISTING FENCE LINE		PROPOSED SEWER LINE
	EXISTING BUILDING		PROPOSED WATER MAIN
	EXISTING SEWER MANHOLE		PROPOSED HYDRANT
	EXISTING SEWER LINE		PROPOSED WATER GATE
	EXISTING DRAIN MANHOLE		PROPOSED COMPOST FILTER SOCK
	EXISTING DRAIN LINE		PROPOSED CONTOUR LINE
	EXISTING WATER LINE		PROPOSED FINISH SPOT GRADE
	EXISTING WETLAND FLAG		PROPOSED CONCRETE BOUND TO BE SET
	EXISTING TEST HOLE		



NOTES:
 1. ALL MATERIAL TO MEET REQUIREMENTS OF SECTION 206 OF RI STANDARD SPECIFICATIONS.
 2. COMPOST MATERIAL MUST BE ACCEPTED BY THE ENGINEER PRIOR TO PLACEMENT.

COMPOST FILTER SOCK PERIMETER EROSION CONTROLS
 NOT TO SCALE

EROSION AND SEDIMENTATION CONTROL

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GENERAL NOTES

1. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO OBTAIN ANY AND ALL PERMITS REQUIRED BY THE STATE OF RHODE ISLAND AND THE MUNICIPALITY PRIOR TO COMMENCING ANY WORK.
2. IT SHALL ALSO BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO MAINTAIN THE INTEGRITY OF ALL EXISTING UTILITIES, STRUCTURES, AND ADJUTING PROPERTIES. THE COST OF ANY REPAIR OR REPLACEMENT OF DAMAGED ITEMS SHALL BE BORNE BY THE CONTRACTOR.
3. BEFORE STARTING ANY CONSTRUCTION THE CONTRACTOR SHALL COORDINATE INSTALLATION OF ANY HYDRANTS, WATER MAINS, BLOWOFF ASSEMBLIES, FITTINGS, AND VALVES WITH THE LOCAL WATER DEPARTMENT AS TO TYPE AND MANUFACTURER.
4. THE CONTRACTOR SHALL COORDINATE ALL WORK WITH THE MUNICIPAL ENGINEERING DEPARTMENT AND ALL UTILITY INSTALLATIONS AND INSPECTIONS WITH THE APPROPRIATE UTILITY COMPANY. A 48 HOUR ADVANCE NOTICE IS REQUIRED BEFORE WORK COMMENCEMENT.
5. ALL WORK PERFORMED HEREIN SHALL BE GOVERNED BY THE "R.I. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (REVISION OF 1997)" WITH ALL CORRECTIONS AND ADDENDA AND THE 1974 R.I. STANDARD DETAILS WITH ALL CORRECTIONS AND ADDENDA AND THE TOWN OF WARREN STANDARD SPECIFICATIONS AND DETAILS.
6. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR QUANTITY TAKE-OFF IN COMPUTING ANY ESTIMATES.
7. EMBANKMENT SLOPES AND ALL DISTURBED AREAS ARE TO RECEIVE 4" OF TOPSOIL AND SEEDING, SEE EROSION CONTROL PROGRAM.
8. UNLESS OTHERWISE SPECIFIED, ALL STORM DRAINS SHALL BE REINFORCED CONCRETE CLASS III PIPE.
9. THE CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION INDICATED ON THESE PLANS. THAT INCLUDES ANY CONSTRUCTION TO BRING UTILITIES TO SITE, ANY REPAIRS, ANY TRENCHING REQUIRED, HYDRANTS, ANY AND ALL CONSTRUCTION FOR ACCEPTANCE OF ROADS AND EASEMENTS.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL TEMPORARY SEDIMENTATION AND EROSION CONTROLS.
11. THE LOCATION OF EXISTING UTILITIES AS SHOWN ARE APPROXIMATE AND SHALL BE VERIFIED BY THE CONTRACTOR. "DIG SAFE" SHALL BE CONTACTED BY THE CONTRACTOR AS PART OF THIS VERIFICATION.
12. IN ALL EXCAVATION AND PLACEMENT OF FILL, THE CONTRACTOR SHALL PERFORM THE WORK IN FULL COMPLIANCE WITH THE R.I. STANDARD SPECIFICATION SECTION 202.
13. ALL WATER MAINS SHALL BE DEFLECTED ALONG A CURVE WITH A MINIMUM RADIUS OF 250' AT ANY LOCATION WHERE THIS IS NOT POSSIBLE, PROPER BENDS AND FITTINGS SHALL BE USED.
14. ALL EXCESS SOIL, STUMPS, TREES, ROCKS, BOULDERS, AND OTHER REFUSE SHALL BE DISCARDED OFF SITE, IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.

EROSION CONTROL & SOIL STABILIZATION PROGRAM

1. DENUDED SLOPES SHALL NOT BE UNATTENDED OR EXPOSED FOR EXCESSIVE PERIODS OF TIME SUCH AS THE INACTIVE WINTER SEASON.
2. ALL DISTURBED SLOPES, EITHER NEWLY CREATED OR EXPOSED PRIOR TO OCTOBER 15, SHALL BE SEEDED OR PROTECTED BY THAT DATE, FOR ANY WORK COMPLETED DURING EACH CONSTRUCTION YEAR.
3. THE TOPSOIL SHALL HAVE A SANDY LOAM TEXTURE RELATIVELY FREE OF SUBSOIL MATERIAL, STONES, ROOTS, LUMPS OF SOIL, TREE LIMBS, TRASH OR CONSTRUCTION DEBRIS AND SHALL CONFORM WITH R.I. STD SPECIFICATION M 18.
4. THE SEED MIX SHALL BE INOCULATED WITHIN 24 HOURS, BEFORE MIXING AND PLANTING, WITH APPROPRIATE INOCULUM FOR EACH VARIETY.
5. THE DESIGN MIX SHALL BE COMPRISED OF THE FOLLOWING PERMANENT SEEDING MIXTURES:

A. MOWED AREA (ALL FLATS OR SLOPES LESS THAN 3:1)

MIXTURE:	% BY WEIGHT:	SEEDING DATES:
RED FESCUE	75	APRIL 1 - JUNE 15
KENTUCKY BLUEGRASS	15	AUGUST 15 - OCTOBER 15
COLONIAL BENTGRASS	5	
PERENNIAL RYEGRASS	5	
TOTAL:	100 lbs/Ac.	

B. UNMOWED AREA OR INFREQUENTLY MOWED (ALL SLOPES GREATER THAN 3:1)

MIXTURE:	% BY WEIGHT:	SEEDING DATES:
RED FESCUE	75	APRIL 1 - JUNE 15
COLONIAL BENTGRASS	5	AUGUST 15 - OCTOBER 15
PERENNIAL RYEGRASS	5	
BIRDFOOT TREFLOIL	15	
TOTAL:	100 lbs/Ac.	

6. TEMPORARY TREATMENTS SHALL CONSIST OF A STRAW, OR FIBER MULCH OR PROTECTIVE COVERS SUCH AS A MAT OR FIBER LINING (BURLAP, JUTE, FIBERGLASS NETTING, EXCELSIOR BLANKETS) THEY SHALL BE INCORPORATED INTO THE WORK AS WARRANTED OR AS ORDERED BY THE ENGINEER.
7. STRAW APPLICATIONS SHOULD BE IN THE AMOUNT OF 3,000 - 4,000 lbs/Ac.
8. ALL STRAW BALES OR COMPOST FILTER SOCK SHALL REMAIN IN PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED. IF NEEDED, TEMPORARY SEEDING CAN HELP MINIMIZE THE EROSION. A TEMPORARY SEEDING GUIDE MUST BE INCLUDED AS A REFERENCE. THE FOLLOWING SPECIES ARE RECOMMENDED:

MIXTURE:	lbs./1,000 S.F.	lbs./Ac.	SEEDING DATES:
ANNUAL RYEGRASS	1.0 - 1.5	40 - 60	3/1 - 6/1
PERENNIAL RYEGRASS	1.0 - 1.5	40 - 60	3/1 - 6/1
SUDAN GRASS	0.7 - 1.0	30 - 40	5/15 - 8/15
MILLET	0.7 - 1.0	30 - 40	5/15 - 8/15
WINTER RYE	3.0	120	4/15 - 6/15
OATS	0.5 - 5.0	86 - 120	3/1 - 6/15
WEEPING COVER GRASS	0.5 - 5.0	5 - 20	5/1 - 7/1

9. THE CONTRACTOR MUST REPAIR AND/OR RESEED ANY AREAS THAT DO NOT DEVELOP WITHIN THE PERIOD OF ONE YEAR AND HE SHALL DO SO AT NO ADDITIONAL EXPENSE.
10. ALL FILL SHALL BE THOROUGHLY COMPACTED UPON PLACEMENT IN STRICT CONFORMANCE WITH THE R.I.D.P.W. STD SPECIFICATIONS SECTION 202.
11. STABILIZATION OF ONE FORM OR ANOTHER AS DESCRIBED ABOVE SHALL BE ACHIEVED WITHIN 15 DAYS OF FINAL GRADING.
12. STOCKPILES OF TOPSOIL SHALL NOT BE LOCATED NEAR WATERWAYS, THEY SHALL HAVE SIDE SLOPES NO GREATER THAN 30% AND STOCKPILES SHALL ALSO BE SEEDED AND/OR STABILIZED.
13. ON BOTH STEEP AND LONG SLOPES CONSIDERATION SHALL BE GIVEN TO "CRIMPING" OR "TRACKING" TO TACK DOWN MULCH APPLICATIONS.
14. REFERENCE THE SEDIMENTATION CONTROL PROGRAM AND ORDER OF PROCEDURE FOR PROPER COORDINATION
15. THE DRAINAGE SYSTEM SHALL RECEIVE ONE FINAL CLEANING PRIOR TO ACCEPTANCE TO THE OVERALL PROJECT BY THE OWNER. SEDIMENTS SHALL BE DISPOSED OF IN A PROPER MANNER.

ORDER OF PROCEDURE:

1. PRIOR TO ANY CLEARING AND GRUBBING OR ANY ROUGH GRADING, TEMPORARY STRAW BALES OR COMPOST FILTER SOCK SHALL BE PLACED OUTSIDE THE LIMITS OF CONSTRUCTION AS PER THE PLANS (I.E. ALONG ROADWAYS, STREAM BANKS, CRITICAL AREAS, ETC.).
2. ALL EROSION AND SEDIMENTATION CONTROL STRUCTURES SHALL BE PERIODICALLY MAINTAINED AS PER THE RESPECTIVE PROGRAMS FOR TEMPORARY CONTROL.
3. IF WORK PROGRESS IS TO BE INTERRUPTED AT ANY TIME, REFERENCE EROSION AND SEDIMENTATION PROGRAMS FOR TEMPORARY CONTROL.
4. TEMPORARY STRAW BALES OR COMPOST FILTER SOCK ALONG AND AT THE ENDS OF ROADWAYS MAY ALSO BE REMOVED AFTER FINAL SOIL STABILIZATION HAS BEEN ACHIEVED AND APPROVED.
5. HAYBALES LOCATED AT DRAINAGE OUTLETS MUST REMAIN UNTIL SUCH TIME THAT A DESIRABLE STAND OF GRASS OR COVER HAS BEEN ESTABLISHED AND THE PROJECT RECEIVES A FAVORABLE APPROVAL FOR FINAL ACCEPTANCE FROM THE ENGINEER.

SEDIMENTATION CONTROL PROGRAM:

1. RIP RAP SPLASH PADS SHALL BE INSTALLED AT THE OUTLETS FOR ALL CULVERTS DISCHARGING INTO A WATERWAY.
2. EXTREME CARE SHALL BE EXERCISED SO AS TO PREVENT ANY UNSUITABLE MATERIAL ENTERING THE WETLANDS.
3. ALL DISTURBED AREAS SUBJECT TO EROSION TENDENCIES WHETHER THEY BE NEWLY FILLED OR EXCAVATED SHALL BE SEEDED AND PROTECTED WITH A FIBER MULCH.
4. DURING CONSTRUCTION, THE CONTRACTOR AND/OR DEVELOPER SHALL BE RESPONSIBLE FOR MAINTAINING DRAINAGE AND RUNOFF FLOW DURING STORMS AND PERIODS OF RAINFALL.
5. SEDIMENTATION CONTROL DEVICES SHALL BE INSPECTED CLOSELY AND MAINTAINED PROMPTLY AFTER EACH RAINFALL.
6. CARE SHOULD BE TAKEN SO AS NOT TO PLACE "REMOVED SEDIMENTS" WITHIN THE PATH OF EXISTING, NEWLY CREATED (BOTH TEMPORARY AND PERMANENT) OR PROPOSED WATERCOURSES OR THOSE AREAS SUBJECT TO STORM WATER FLOW.
7. ADDITIONAL STRAW BALES OF COMPOST FILTER SOCK SHALL BE LOCATED AS CONDITIONS WARRANT.
8. ALL SEDIMENTS SHALL BE REMOVED FROM THE DRAINAGE AND INFILTRATION FACILITIES AS SCHEDULED FOR EACH FACILITY (SEE INFILTRATION BASIN MAINTENANCE, THIS SHEET).
9. REFERENCE THE "R.I. SOIL EROSION AND SEDIMENT CONTROL HANDBOOK" PREPARED BY THE U.S. DEPT. OF AGRICULTURE, SOIL CONSERVATION SERVICE, 1989, AS A GUIDE.

INFILTRATION BASIN MAINTENANCE SCHEDULE:

1. Side-slopes, embankments, and the basin floor will be mowed at least once per growing season, to prevent unwanted woody growth. This storm water facility is to be managed for wildlife habitat, therefore, mowings will be conducted after mid August to prevent mortality to ground nesting birds and animals.
2. All trash and litter and other debris will be removed from the storm water facility including inlet and outlet structures. This will be accomplished at least twice per year, preferably spring and fall.
3. Sediments will be removed from the basin immediately following site stabilization and every year thereafter. Accumulated sediments may have to be removed more frequently if the sediment storage capacity of the forebays or sediment storage areas are within the last 10 percent of available capacity. Sediment removal within the basin will restore the original capacity and design depth.
4. If blockage of a basin outlet structure occurs it may be necessary to dewater the pond for access to the blockage. The dewatering flow must be adequately filtered prior to discharge into a receiving water body to remove suspended solids.
5. Pools of stagnant water in the infiltration basin indicates failure due to erosion and scouring of the basin bottom, particularly near an inlet device. This deficiency will be corrected immediately to prevent a nuisance habitat for insects, especially mosquitoes.
6. All outlet structures and outflow channels will be inspected annually. Inspections will be accomplished several times during the first six months of operation, especially after rainfall events to check for clogging or, conversely, too rapid of a release.
7. The grassed areas of the basin will be inspected at least twice per year to check for erosion problems. Problem areas must be reseeded immediately to stabilize exposed soils, thereby preventing erosion and potential clogging of outflow devices.
8. Repairs or replacement of inlet/outlet structures, rip-rap channels, fences, or other elements of the facility will be done within 30 days of deficiency reports. If an emergency situation is imminent then repair/replacement must be done immediately to avert failure or danger to nearby residents.
9. All sediment generated during construction and as a result of maintenance of the drainage system must be disposed of properly. Sediment shall not be disposed of in or near State or Federal regulated waters.
10. Records of the first two years of maintenance following construction shall be submitted to RIDEM Division of Water Resources. Maintenance records for subsequent years shall be kept on file and submitted to RIDEM, Division of Water Resources, upon request.
11. All drainage facilities will be maintained by a Homeowner's Association.

VEGETATIVE COVER AND PLANTING

1. THE NORMAL ACCEPTABLE SEASONABLE SEEDING DATES ARE APRIL 1ST THROUGH OCTOBER 15TH.
2. TOP SOIL FOR PERMANENT OR LONG TERM TEMPORARY SEEDING SHOULD HAVE A SANDY LOAM TEXTURE, RELATIVELY FREE OF SUBSOIL MATERIAL, STONES, ROOTS, LUMPS OF SOIL, TREE LIMBS, TRASH OR CONSTRUCTION DEBRIS. TOP SOIL SHALL CONFORM WITH RHODE ISLAND SPECIFICATIONS M18.01.
3. THE DESIGN SEED MIX UTILIZED IN ALL DISTURBED AREAS TO BE SEEDED SHALL BE COMPRISED OF THE FOLLOWING:

TYPE	% BY WEIGHT	SEEDING DATE
CREeping RED FESCUE	70	
ASTORIA BENTGRASS	5	APRIL 1 - JUNE 15
BIRDFOOT TREFLOIL	15	AUG. 15 - OCT. 15
PERENNIAL RYE GRASS	10	

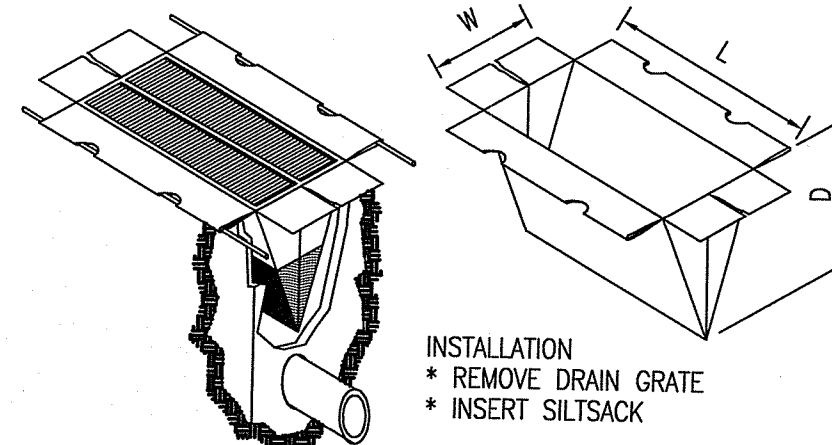
APPLICATION RATE - 100 LBS PER ACRE

SEED MIX SHALL BE INOCULATED WITHIN 24 - HOURS BEFORE MIXING AND PLANTING, WITH APPROPRIATE INOCULATION FOR EACH SEED VARIETY. ALTERNATE SEED TYPES DUE TO SITE SPECIFIC CONDITIONS AND SOILS ARE ACCEPTABLE WITH THE ENGINEER'S APPROVAL.

4. IN TOPSOIL SEEDING AREAS, THE CONTRACTOR WILL LIME AND FERTILIZE AS REQUIRED TO COMPLIMENT OR UPGRADE SOIL CONDITIONS.
5. THE CONTRACTOR MUST REPAIR AND/OR RESEED ANY PERMANENT VEGETATIVE COVER AREAS THAT DO NOT DEVELOP OR WHICH ERODE WITHIN A ONE (1) YEAR PERIOD.

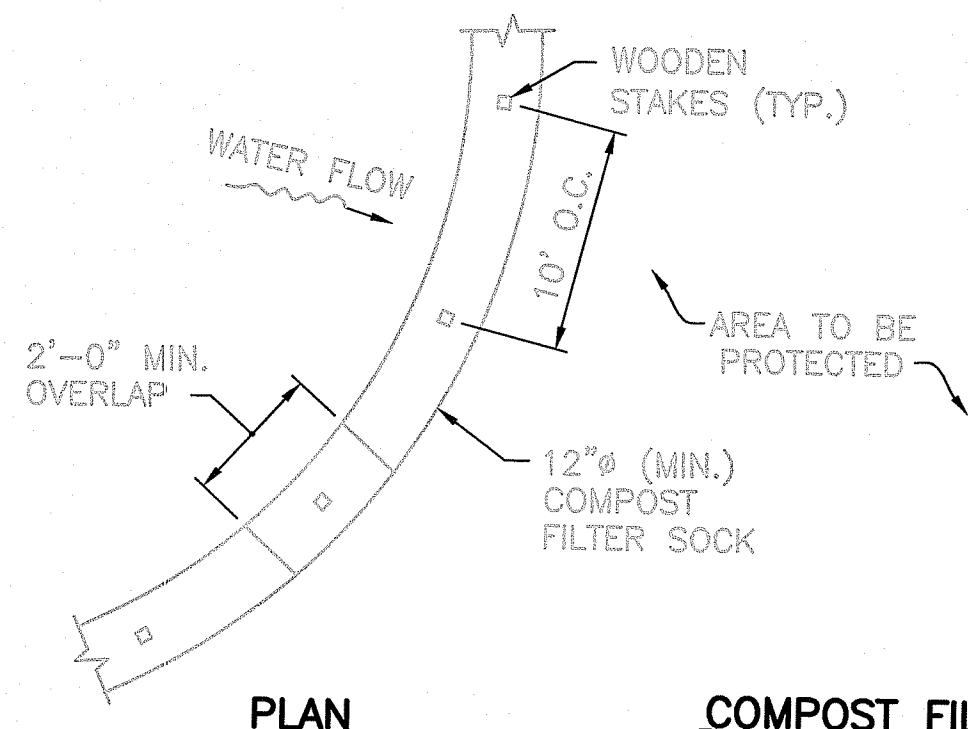
EROSION CONTROL, SOIL STABILIZATION AND SEDIMENT CONTROL PLAN

1. PRIOR TO THE COMMENCEMENT OF ANY CLEARING, GRUBBING, DEMOLITION OR EARTHWORK ACTIVITY, TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES AS INDICATED ON THE PLANS ARE TO BE INSTALLED BY THE CONTRACTOR.
2. CONSTRUCTION ACCESS STABILIZATION ENTRANCE PADS ARE TO BE INSTALLED PRIOR TO THE COMMENCEMENT OF SITE GRUBBING OR EARTHWORK ACTIVITY.
3. EXISTING CATCH BASINS ARE TO BE PROTECTED WITH HAY BALES AND/OR SILT SACS PRIOR TO THE START OF SITE GRUBBING, EARTHWORK OR UNDERGROUND UTILITY AND DRAINAGE INFRASTRUCTURE INSTALLATION TO SERVE THE DEVELOPMENT SITE.
4. THE PROJECT CONSTRUCTION SEQUENCE, TO THE EXTENT PRACTICAL, SHOULD REQUIRE THE INSTALLATION OF DOWN GRADE AND OFF SITE STORM DRAINAGE SYSTEM IMPROVEMENTS BEFORE THE START OF SITE GRUBBING AND EARTHWORK ACTIVITY.
5. TEMPORARY SITE SLOPE TREATMENTS FOR SOIL STABILIZATION SHALL CONSIST OF STRAW, FIBER MULCH, RIP RAP OR PROTECTIVE COVERS SUCH AS MAT OR FIBER LINING (BURLAP, JUTE, FIBERGLASS NETTING, AND EXCELSIOR OR EQUAL PRODUCTS). THESE AND OTHER ACCEPTABLE MEASURES SHALL BE INCORPORATED INTO THE SITE WORK AS WARRANTED OR AS ORDERED BY THE ENGINEER.
6. CONSTRUCTION SITES ARE DYNAMIC, THE CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION AND OR MOVEMENT AND MAINTENANCE OF EROSION CONTROLS, SOIL STABILIZATION AND SEDIMENT CONTROL MEASURES AS NEEDED TO MAXIMIZE THE INTENT OF THE PLAN FOR ALL SITE CONDITIONS THROUGHOUT THE CONSTRUCTION PERIOD.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PERIODIC INSPECTION, MAINTENANCE, REPAIR, AND REPLACEMENT OF EROSION CONTROLS, SOIL STABILIZATION AND SEDIMENT CONTROL DEVICES UNTIL AN ACCEPTABLE PERMANENT VEGETATIVE GROWTH IS ESTABLISHED. THE CONTRACTOR SHALL MAINTAIN A DETAIL LOG OF ALL EROSION CONTROL INSPECTIONS, COMPLAINTS RELATED TO EROSION OR SEDIMENT, AND CORRECTIVE REMEDIAL MEASURES TAKEN THROUGHOUT THE COURSE OF THE PROJECT CONSTRUCTION.
8. SOIL EROSION AND SEDIMENT CONTROL IS NOT LIMITED TO DAMAGES CAUSED BY WATER BUT ALSO INCLUDES EROSION AND SEDIMENT RESULTING FROM WINDS. MEASURES, SUCH AS TEMPORARY GROUND COVERS, WATER AND CALCIUM APPLICATIONS ARE TO BE UNDERTAKEN AS NEEDED TO MINIMIZE WIND RELATED SOIL AND DUST CONTROL.
9. STOCK PILES OF EARTH MATERIALS SHALL NOT BE LOCATED NEAR WATERWAYS OR WETLANDS. STOCK PILES SHALL HAVE SIDE SLOPES NO GREATER THAN THIRTY PERCENT (30%). STOCK PILES SHALL BE SURROUNDED ON THE DOWN GRADIENT OF THE EXISTING GROUND SURFACE BY STRAW BALES OR SILT FENCE. THE STOCK PILES SHALL ALSO BE SEEDED OR STABILIZED IN SOME MANNER TO PREVENT SOIL EROSION.
10. THE SMALLEST POSSIBLE SITE AREAS SHALL BE DISTURBED OR EXPOSED AT ONE TIME AND DENUDED SLOPES OR WORK AREAS SHALL NOT BE LEFT EXPOSED FOR EXCESSIVE PERIODS OF TIME, SUCH AS INACTIVE PERIODS OR SITE WORK SHUT DOWNS.
11. TO THE EXTENT POSSIBLE, ALL DISTURBED AREAS MUST BE SEEDED OR STABILIZED WITHIN THE CONSTRUCTION SEASON. STABILIZATION OF ONE FORM OR ANOTHER SHALL BE ACHIEVED WITHIN FIFTEEN (15) DAYS OF FINAL GRADING.
12. EXPOSED STEEP OR LONG SLOPES SHOULD BE TREATED WITH "CRIMPING" OR "TRACKING" TO REDUCE EROSION AND SEDIMENT AND TO TACK DOWN SEEDING OR MULCH APPLICATIONS.
13. IF CONCRETE IS TO BE USED ON SITE, THE CONTRACTOR MUST ESTABLISH AND MAINTAIN SPECIFIC WASHOUT AREAS FOR THE CONCRETE TRUCKS WITH APPROPRIATE PROTECTION CONTROLS.
14. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND MAINTAINING COLLECTION AND STORAGE LOCATIONS ON-SITE FOR ALL CONSTRUCTION DEBRIS AND TRASH SO THAT THIS MATERIAL DOES NOT BECOME A NEIGHBORHOOD NUISANCE.
15. EXISTING TREES AND VEGETATION WILL BE RETAINED WHENEVER FEASIBLE.
16. SITE SOIL EROSION AND SOIL STABILIZATION AND SEDIMENT CONTROLS MUST CONFORM TO ALL REQUIREMENTS OF THE APPLICABLE LOCAL COMMUNITY ORDINANCES AND STATE REGULATIONS.

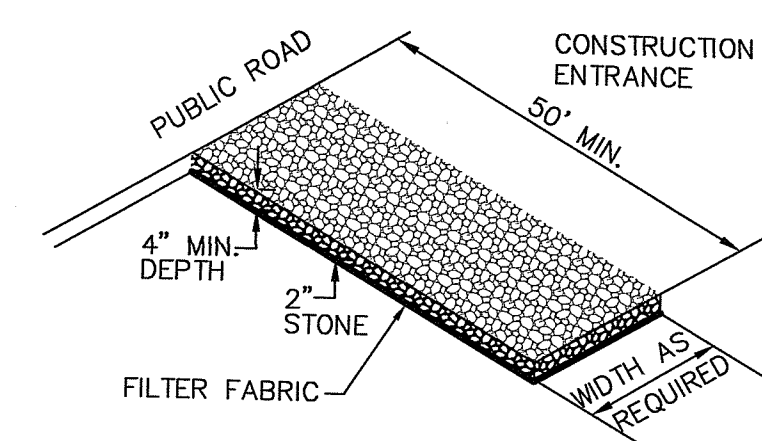


AS MANUFACTURED BY ACF ENVIRONMENTAL OR APPROVED EQUAL

SILTSACK DETAIL
NOT TO SCALE



COMPOST FILTER SOCK PERIMETER EROSION CONTROLS
NOT TO SCALE

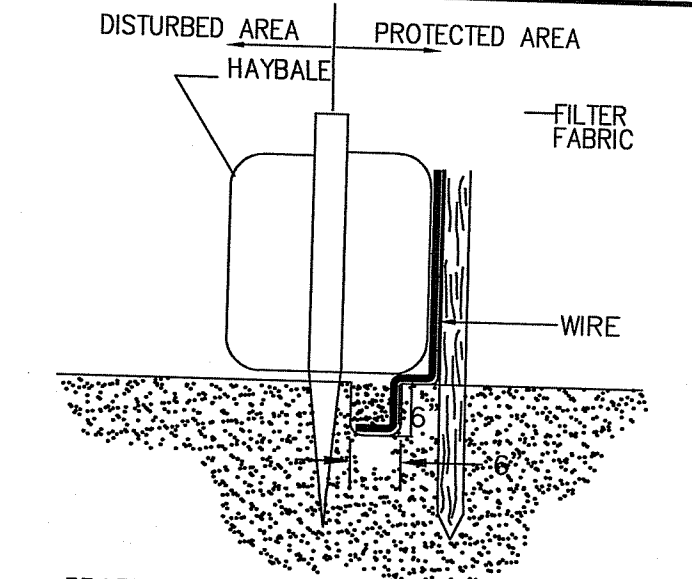


MATERIALS SIZE

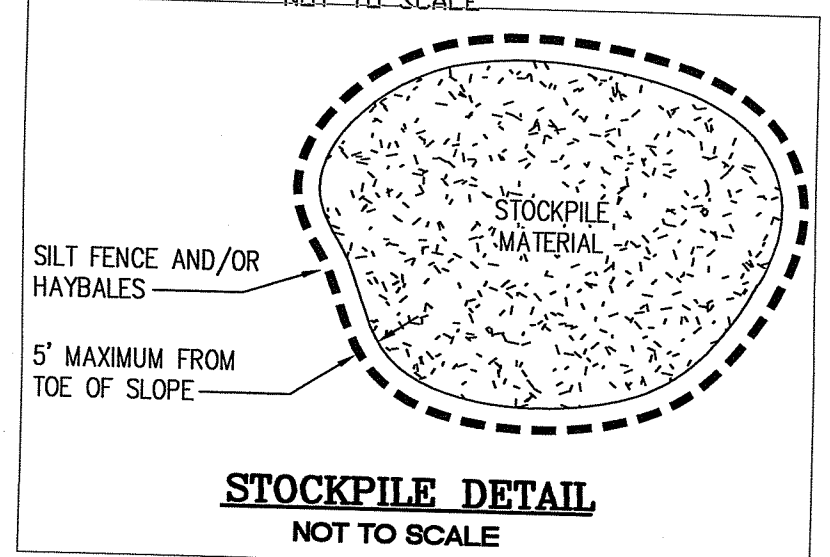
SQUARE MESH SIEVES	2" CRUSHED STONE OR GRAVEL	ASTM C-33 NO. 2	ASTM C-33 NO. 3
	% FINER	% FINER	% FINER
2-1/2 INCHES	100	90-100	100
2 INCHES	95-100	35-70	90-100
1-1/2 INCHES	30-55	0-15	35-70
1-1/4 INCHES	0-25	-	-
1 INCH	0-5	-	0-15
3/4 INCH	-	0-5	-
1/2 INCH	-	-	0-5
3/8 INCH	-	-	-

NOTE: STABILIZATION PAD TO BE IN CONFORMANCE WITH STANDARDS SET FORTH IN THE "RHODE ISLAND GUIDELINES FOR SOIL & SEDIMENT CONTROL".

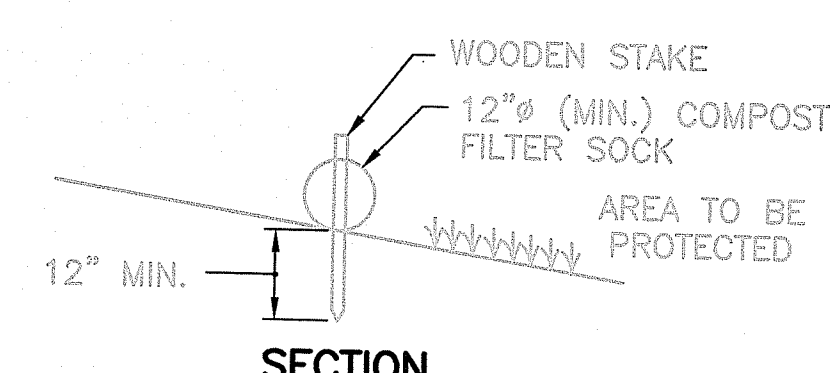
RIP-RAP STABILIZATION PAD @ CONSTRUCTION ENTRANCE
NOT TO SCALE



HAYBALE W/SILT FENCE DETAIL
NOT TO SCALE



STOCKPILE DETAIL
NOT TO SCALE



SECTION

NOTES:
1. ALL MATERIAL TO MEET REQUIREMENTS OF SECTION 206 OF RI STANDARD SPECIFICATIONS.
2. COMPOST MATERIAL MUST BE ACCEPTED BY THE ENGINEER PRIOR TO PLACEMENT.

RI Environmental Management
Office of Water Resources
JUN 28 2021

APPLICANT / OWNER:
1202 HOPE STREET INVESTMENT, LLC
C/O JOE GARIES
P.O. BOX 246
WARREN, RI 02885

APPROVED BY THE TOWN OF BRISTOL PLANNING BOARD

TOWN OF BRISTOL PLANNING CHAIR OR DESIGNEE

CONSTRUCTION DETAILS

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED JUL 13 2021 FILE # 21-0136
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE
Nancy J. Freeman

Thomas J. Principe, III
REGISTERED PROFESSIONAL ENGINEER

PRINCIPE COMPANY, INC.
ENGINEERING DIVISION
PO BOX 298
TIVERTON, RI 02878
401.816.5385
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REVISIONS

No.	DATE	DRWN	CHKD
1.	06/21/21	KAB	TJP

PRELIMINARY PLAN
for
ELIZABETH COURT
AP 103 LOT 14
HOPE STREET
in
BRISTOL, RHODE ISLAND

SCALE: 1"=40'
SHEET NO: 9 OF 12
DRAWN BY: TJP DESIGN BY: TJP CHECKED BY: TJP
DATE: 4/12/21 PROJECT NO.: LD-2021-10

DRAINAGE AND UTILITY NOTES:

- UTILITY LOCATION VERIFICATION IS TO INCLUDE TEST HOLES AS NEEDED.
- WATER MAINS AND APPURTENANCES, INCLUDING SERVICE CONNECTIONS SHALL BE INSTALLED IN CONFORMITY WITH THE SPECIFICATIONS OF THE BRISTOL COUNTY WATER AUTHORITY AND IN ACCORDANCE WITH THE TOWN'S MASTER OR STUDY WATER PLAN.
- THE CONTRACTOR IS REQUIRED TO SCHEDULE AND COORDINATE WATER SERVICE INSTALLATIONS, SHUT DOWNS AND DISRUPTIONS WHICH AFFECT THE SITE AND SITE ADJACENT USERS WITH THE LOCAL WATER AUTHORITY AND THE LOCAL FIRE DEPARTMENT.
- UNDERGROUND UTILITIES, ELECTRIC, TELEPHONE, FIRE ALARM CABLE, TELEVISION AND GAS SERVICES SHALL BE INSTALLED PER THE REQUIREMENTS OF THE APPLICABLE SITE UTILITY PROVIDER
- METALLIC WARNING TAPE SHALL BE INSTALLED 12" ABOVE ALL STORM DRAIN AND OTHER UTILITIES.
- IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO MAINTAIN THE INTEGRITY OF ALL EXISTING UTILITIES, STRUCTURES AND ADJUTING PROPERTIES. THE COST OF ANY REPAIR OR REPLACEMENT OF DAMAGED ITEMS SHALL BE BORNE BY THE CONTRACTOR.

INFILTRATION BASIN MAINTENANCE SCHEDULE:

- Side-slopes, embankments, and the upper stage of the basin will be mowed at least once per growing season, to prevent unwanted woody growth. This storm water facility is to be managed for wildlife habitat, therefore, mowings will be conducted after mid August to prevent mortality to ground nesting birds and animals.
- All trash and litter and other debris will be removed from the storm water facility including inlet and outlet structures. This will be accomplished at least twice per year, preferably spring and fall.
- Sediments will be removed from the basin immediately following site stabilization and every year thereafter. Accumulated sediments may have to be removed more frequently if the sediment storage capacity of the forebays or sediment storage areas are within the last 10 percent of available capacity. Sediment removal within the basin will restore the original capacity and design depth.
- Pools of stagnant water in infiltration basin indicates failure due to erosion and scouring of the basin bottom, particularly near an inlet device. This deficiency will be corrected immediately to prevent a nuisance habitat for insects, especially mosquitoes.
- All outlet structures and outflow channels will be inspected annually. Inspections will be accomplished several times during the first six months of operation, especially after rainfall events to check for clogging or, conversely, too rapid of a release.
- The grassed areas of the basin will be inspected at least twice per year to check for erosion problems. Problem areas must be reseeded immediately to stabilize exposed soils, thereby preventing erosion and potential clogging of outflow devices.
- Repairs or replacement of inlet/outlet structures, rip-rap channels, fences, or other elements of the facility will be done within 30 days of deficiency reports. If an emergency situation is imminent then repair/replacement must be done immediately to avert failure or danger to nearby residents.
- All sediment generated during construction and as a result of maintenance of the drainage system must be disposed of properly. Sediment shall not be disposed of in or near State or Federal regulated waters.
- Records of the first two years of maintenance following construction shall be submitted to RIDEM Division of Water Resources. Maintenance records for subsequent years shall be kept on file and submitted to RIDEM, Division of Water Resources, upon request.
- All drainage facilities will be maintained by a Homeowner's Association.

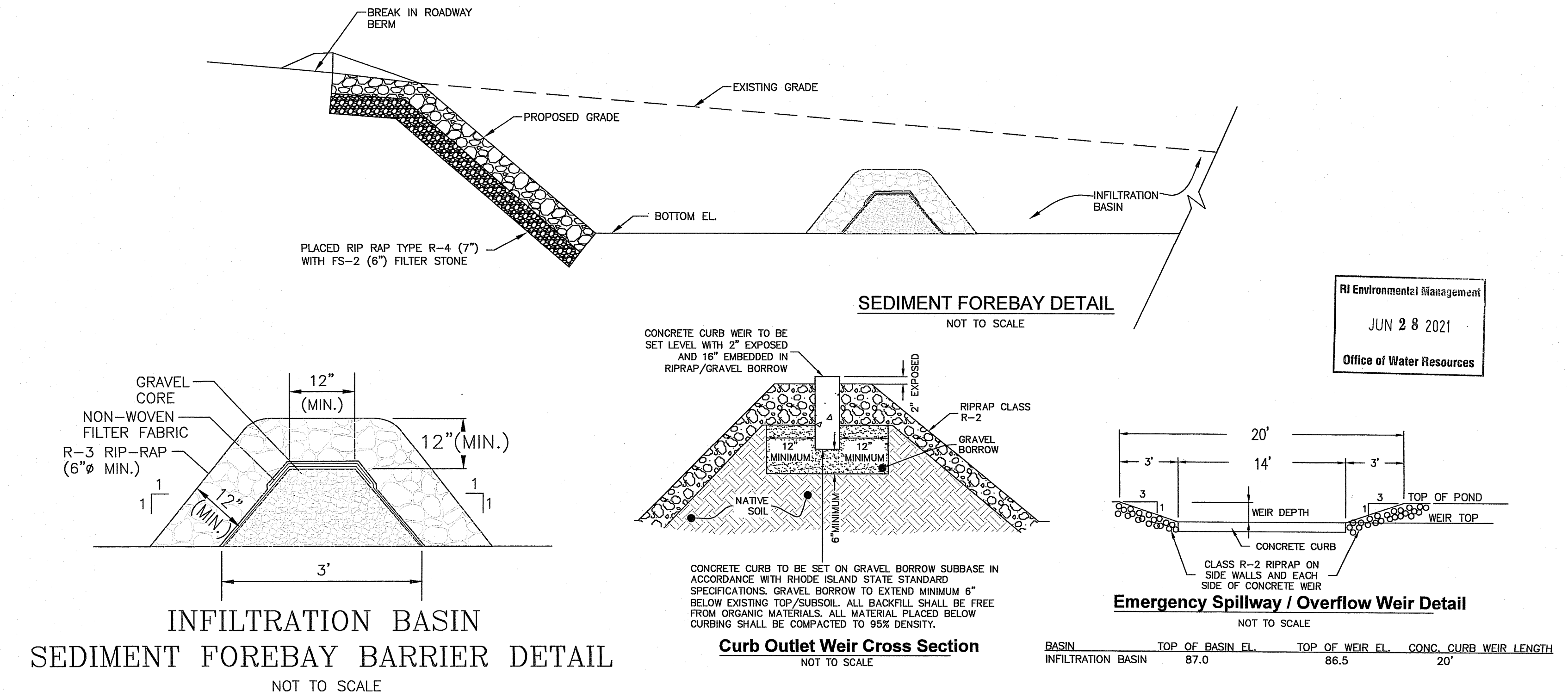
STORM DRAINAGE SYSTEM MAINTENANCE PLAN:

THE FOLLOWING LIST OF MAINTENANCE TASKS AND FREQUENCIES MUST BE ADHERED TO IN ORDER TO INSURE A SUCCESSFUL LONG TERM OPERATION OF THE STORM DRAINAGE SYSTEM.

- DURING CONSTRUCTION ACTIVITIES ALL EROSION CONTROLS ON THE SITE SHALL BE INSPECTED AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN TWENTY FOUR (24) HOURS AFTER AN EVENT WHICH GENERATES AT LEAST 0.25 INCHES OF RAIN IN A TWENTY FOUR (24) HOUR PERIOD.
- SEDIMENTS SHALL BE REMOVED FROM ALL BASINS IMMEDIATELY AFTER SITE STABILIZATION.
- ALL TRASH, LITTER AND OTHER DEBRIS SHALL BE REMOVED FROM ALL STORM WATER INLET AND OUTLET STRUCTURES A MINIMUM OF TWICE PER YEAR. THESE STRUCTURES SHALL ALSO BE INSPECTED TWICE PER YEAR. INSPECTIONS SHALL BE PERFORMED SEVERAL TIMES WITHIN THE FIRST SIX MONTHS OF OPERATION.
- REPAIRS OR REPLACEMENT OF INLET/OUTLET STRUCTURES OR ANY ELEMENT OF THE FACILITY SHALL BE DONE WITHIN THIRTY (30) DAYS OF DEFICIENCY REPORTS. IF AN EMERGENCY SITUATION IS IMMINENT THEN REPAIR/REPLACEMENT SHALL BE DONE IMMEDIATELY TO AVERT FAILURE OR DANGER TO NEARBY RESIDENTS.
- MAKE REPAIRS IMMEDIATELY USING APPROPRIATE STONE SIZES. DO NOT PLACE STONES ABOVE FINISHED GRADE.
- ALL REMOVED SEDIMENTS AND DEBRIS SHALL BE DISPOSED OF OFF SITE IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.
- ALL OUTLET STRUCTURES AND OUTFLOW CHANNELS WILL BE INSPECTED ANNUALLY. INSPECTIONS WILL BE ACCOMPLISHED SEVERAL TIMES DURING THE FIRST SIX MONTHS OF OPERATION, ESPECIALLY AFTER RAINFALL EVENTS TO CHECK FOR CLOGGING OR, CONVERSELY, TOO RAPID OF A RELEASE.
- REPAIRS OR REPLACEMENT OF INLET/OUTLET STRUCTURES, RIP-RAP CHANNELS, FENCES, OR OTHER ELEMENTS OF THE FACILITY WILL BE DONE WITHIN 30 DAYS OF DEFICIENCY REPORTS. IF AN EMERGENCY SITUATION IS IMMINENT THEN REPAIR/REPLACEMENT MUST BE DONE IMMEDIATELY TO AVERT FAILURE OR DANGER TO NEARBY RESIDENTS.
- ALL SEDIMENT GENERATED DURING CONSTRUCTION AND AS A RESULT OF MAINTENANCE OF THE DRAINAGE SYSTEM MUST BE DISPOSED OF PROPERLY. SEDIMENT SHALL NOT BE DISPOSED OF IN OR NEAR STATE OR FEDERAL REGULATED WATERS.
- ADDITIONAL BMP INSPECTION/MAINTENANCE MEASURES OUTLINED WITHIN THE PROJECT STORMWATER POLLUTION PREVENTION PLAN SHALL BE ADHERED TO.

INFILTRATION BASIN NOTES:

- DURING CONSTRUCTION HEAVY EQUIPMENT SHALL NOT TRAVERSE THE INFILTRATION AREA IN ORDER TO PREVENT DETRIMENTAL COMPACTION.
- SHOP DRAWING SUBMITTAL AND APPROVAL BY DESIGN ENGINEER REQUIRED FOR INFILTRATION BASIN PRIOR TO CONSTRUCTION.



RI Environmental Management
JUN 28 2021
Office of Water Resources

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED JUL 13 2021 FILE # 21-0136
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE
Monty L. Freeman

Thomas J. Principe, III
[Signature]
REGISTERED PROFESSIONAL ENGINEER

PRINCIPE COMPANY, INC.
ENGINEERING DIVISION
PO BOX 298
TIVERTON, RI 02878
401.816.5385
PRINCIPEENGINEERING@GMAIL.COM
ESTABLISHED IN 1981

REVISIONS

No.	DATE	DRWN	CHKD
1.	06/21/21	KAB	TJP

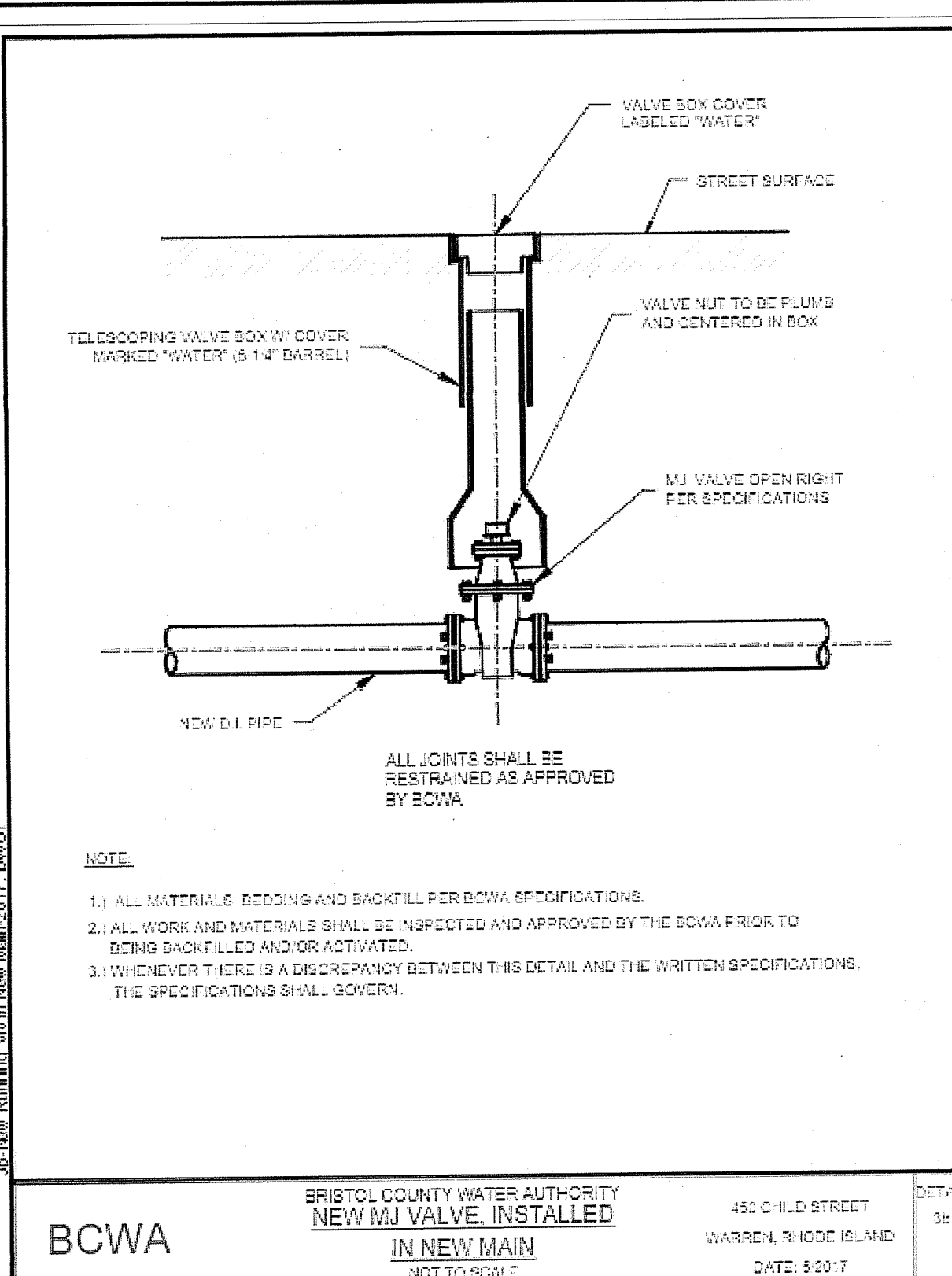
PRELIMINARY PLAN
for
ELIXABETH COURT
AP 103 LOT 14
HOPE STREET
in
BRISTOL, RHODE ISLAND

SCALE: 1"=40'
SHEET NO: 10 OF 12
DRAWN BY: TJP DESIGN BY: TJP CHECKED BY: TJP
DATE: 4/12/21 PROJECT NO.: LD-2021-10

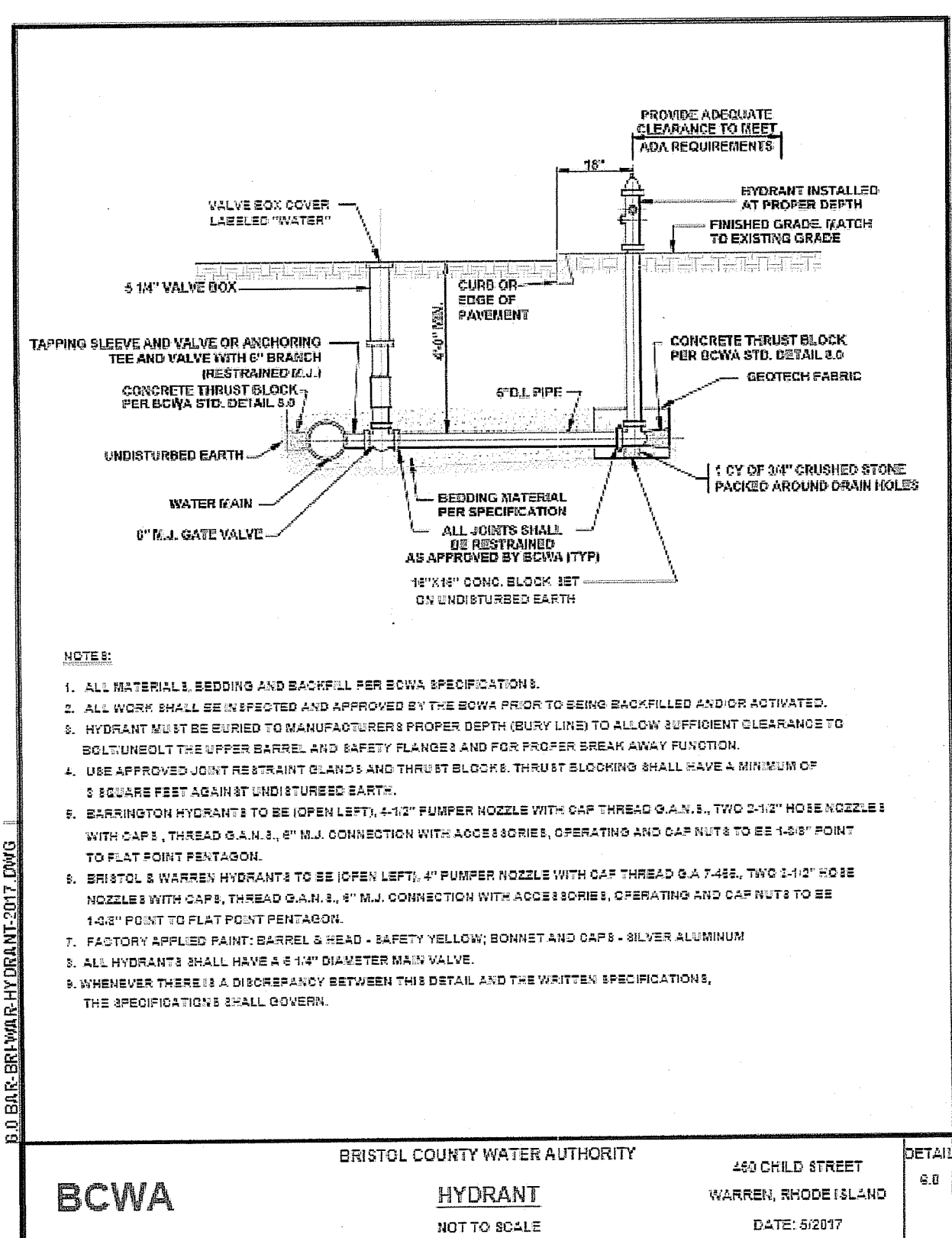
APPLICANT / OWNER:
1202 HOPE STREET INVESTMENT, LLC
C/O JOE GARIES
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APPROVED BY THE TOWN OF BRISTOL PLANNING BOARD
TOWN OF BRISTOL PLANNING CHAIR OR DESIGNEE

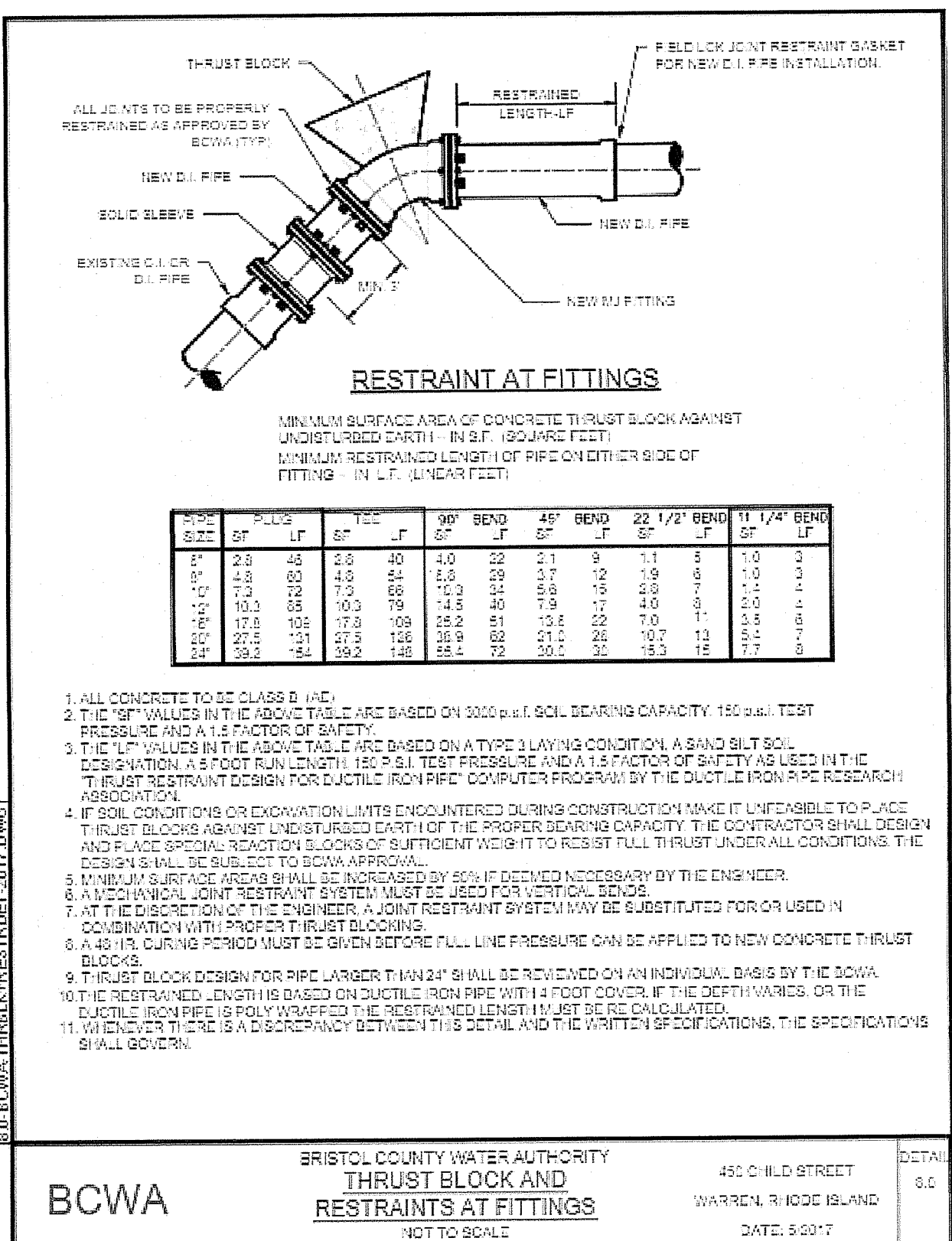
CONSTRUCTION DETAILS



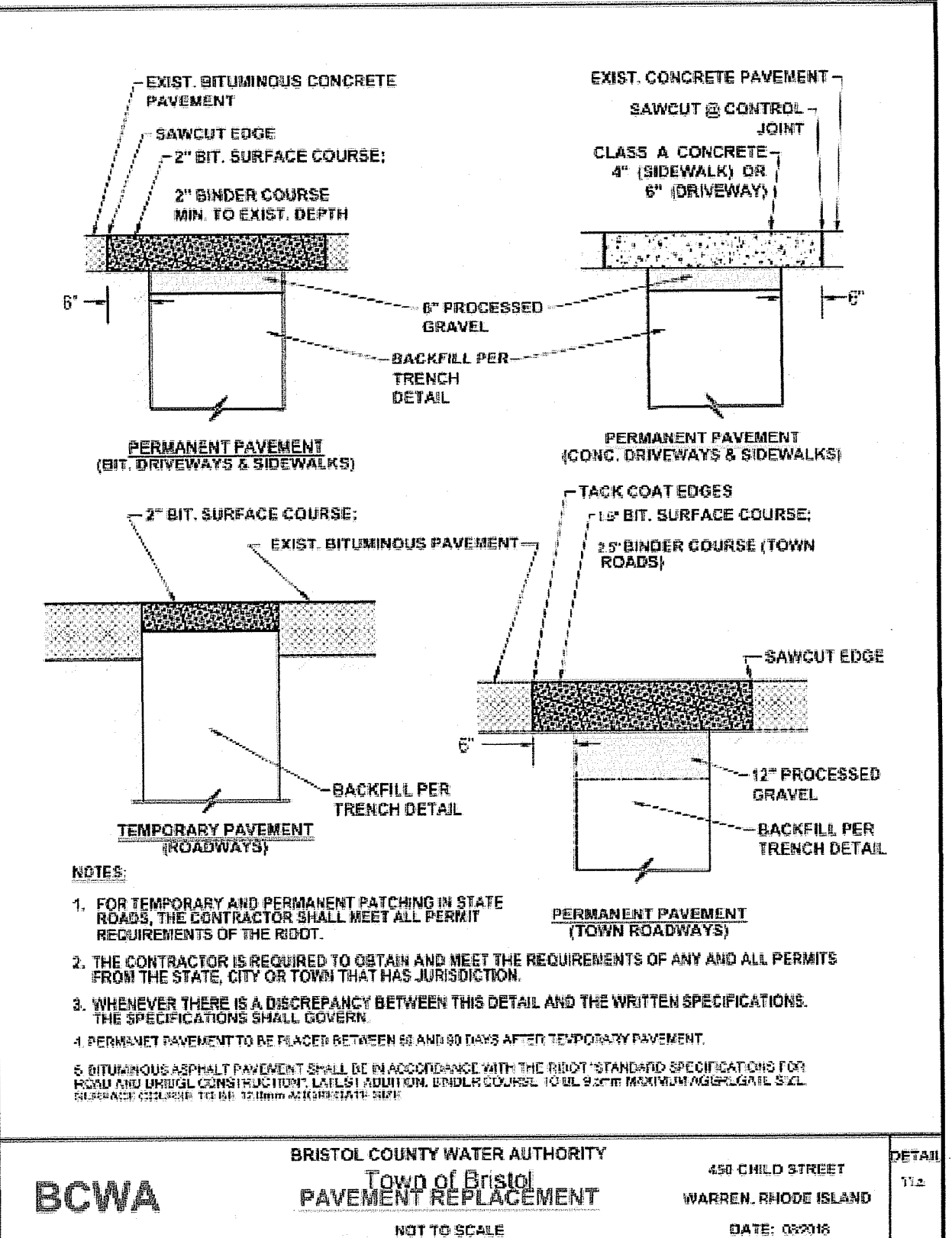
BCWA BRISTOL COUNTY WATER AUTHORITY 450 CHILD STREET WARREN, RHODE ISLAND DATE: 5/2017
NEW MJ VALVE INSTALLED IN NEW MAIN
 NOT TO SCALE



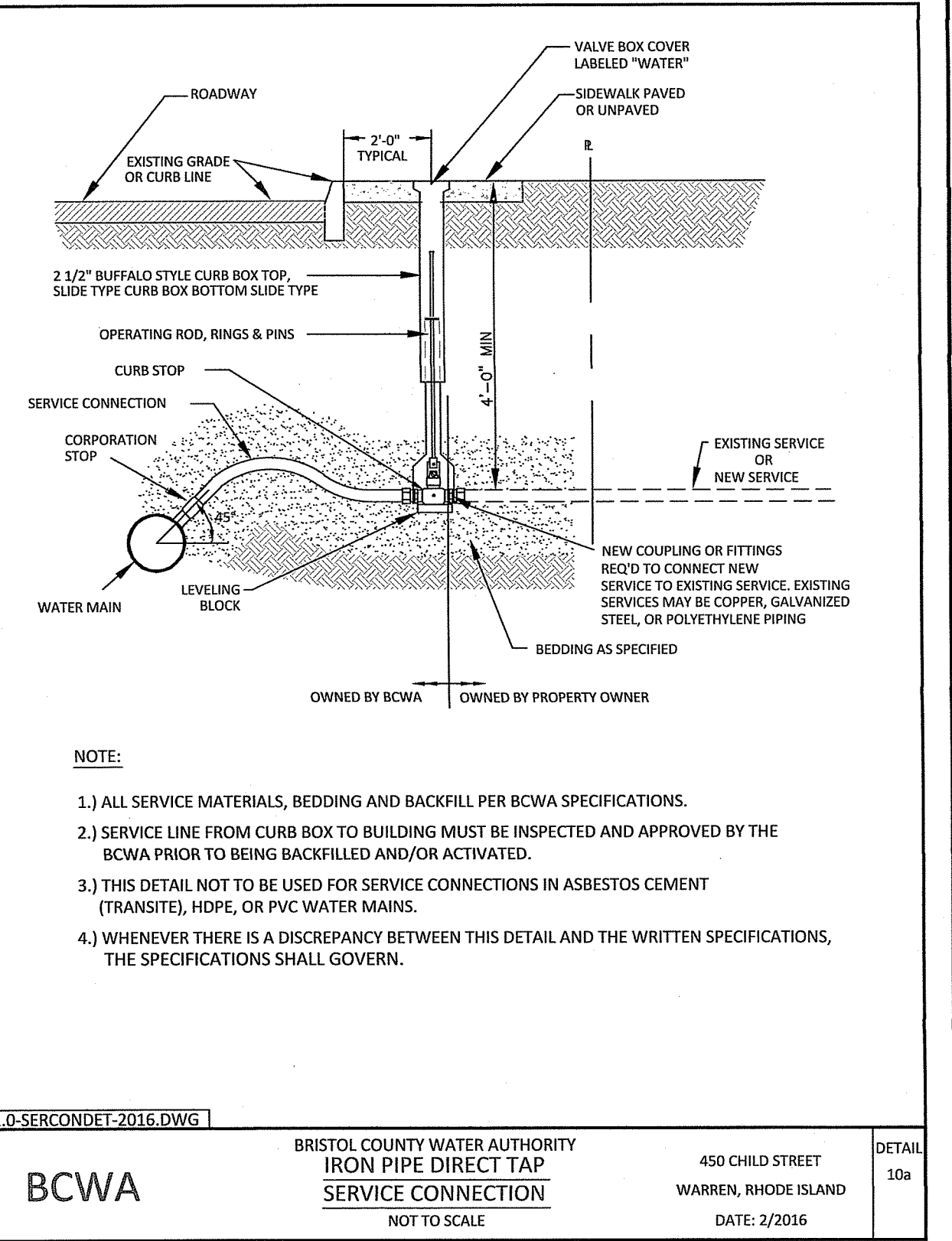
BCWA BRISTOL COUNTY WATER AUTHORITY 450 CHILD STREET WARREN, RHODE ISLAND DATE: 6/2017
HYDRANT
 NOT TO SCALE



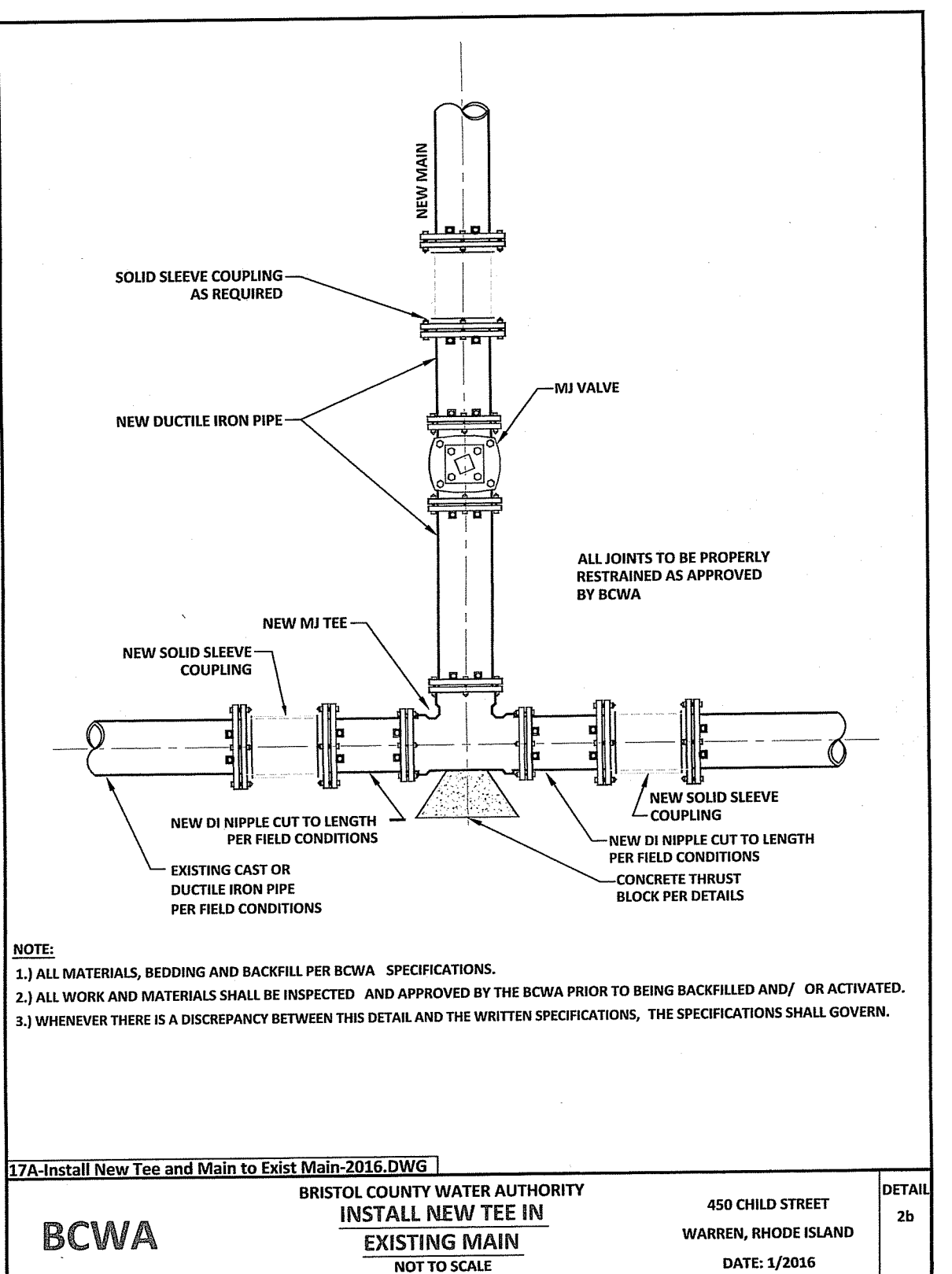
BCWA BRISTOL COUNTY WATER AUTHORITY 450 CHILD STREET WARREN, RHODE ISLAND DATE: 6/2017
THRUST BLOCK AND RESTRAINTS AT FITTINGS
 NOT TO SCALE



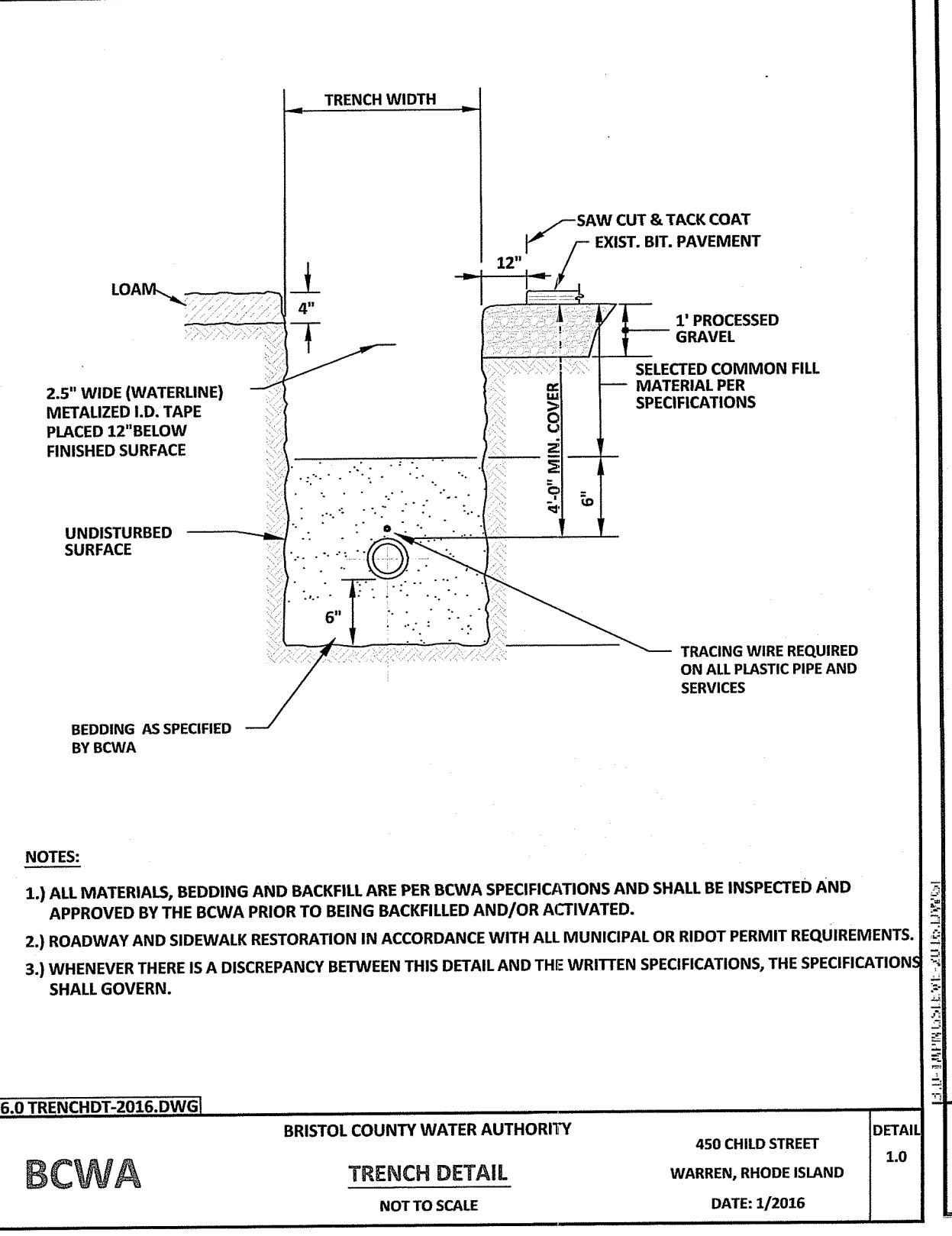
BCWA BRISTOL COUNTY WATER AUTHORITY 450 CHILD STREET WARREN, RHODE ISLAND DATE: 09/2016
TOWN OF BRISTOL PAVEMENT REPLACEMENT
 NOT TO SCALE



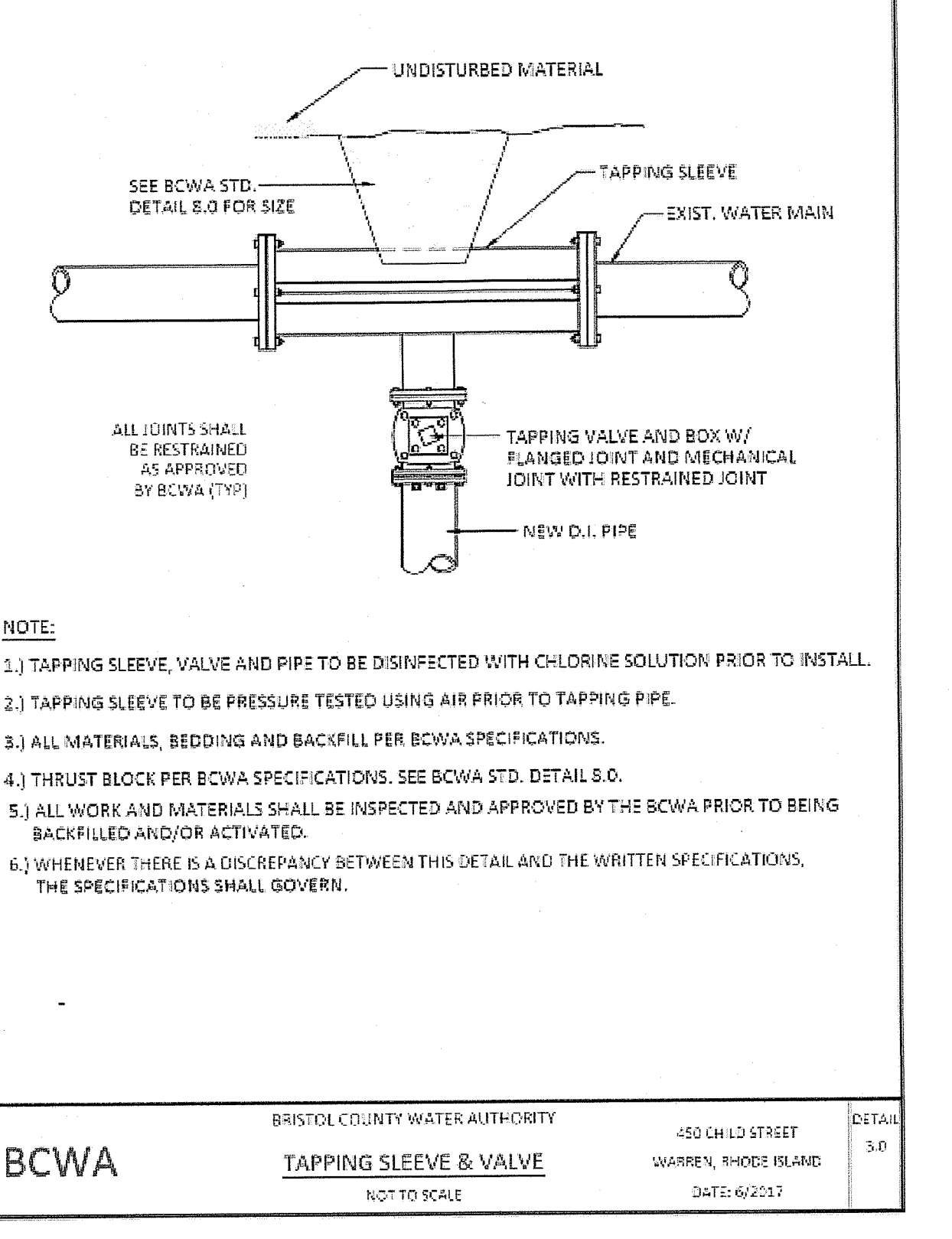
BCWA BRISTOL COUNTY WATER AUTHORITY 450 CHILD STREET WARREN, RHODE ISLAND DATE: 2/2016
IRON PIPE DIRECT TAP SERVICE CONNECTION
 NOT TO SCALE



BCWA BRISTOL COUNTY WATER AUTHORITY 450 CHILD STREET WARREN, RHODE ISLAND DATE: 1/2016
INSTALL NEW TEE AND MAIN TO EXIST MAIN
 NOT TO SCALE



BCWA BRISTOL COUNTY WATER AUTHORITY 450 CHILD STREET WARREN, RHODE ISLAND DATE: 1/2016
TRENCH DETAIL
 NOT TO SCALE



BCWA BRISTOL COUNTY WATER AUTHORITY 450 CHILD STREET WARREN, RHODE ISLAND DATE: 02/2017
TAPPING SLEEVE & VALVE
 NOT TO SCALE

RI Environmental Management
 JUN 28 2021
 Office of Water Resources

APPLICANT / OWNER:
 1202 HOPE STREET INVESTMENT, LLC
 C/O JOE GARIES
 P.O. BOX 246
 WARREN, RI 02885

APPROVED BY THE TOWN OF BRISTOL PLANNING BOARD

TOWN OF BRISTOL PLANNING CHAIR OR DESIGNEE

CONSTRUCTION DETAILS

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED JUL 13 2021 FILE # 21-0130
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
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Nancy L. Freeman

Thomas J. Principe, III
 REGISTERED PROFESSIONAL ENGINEER

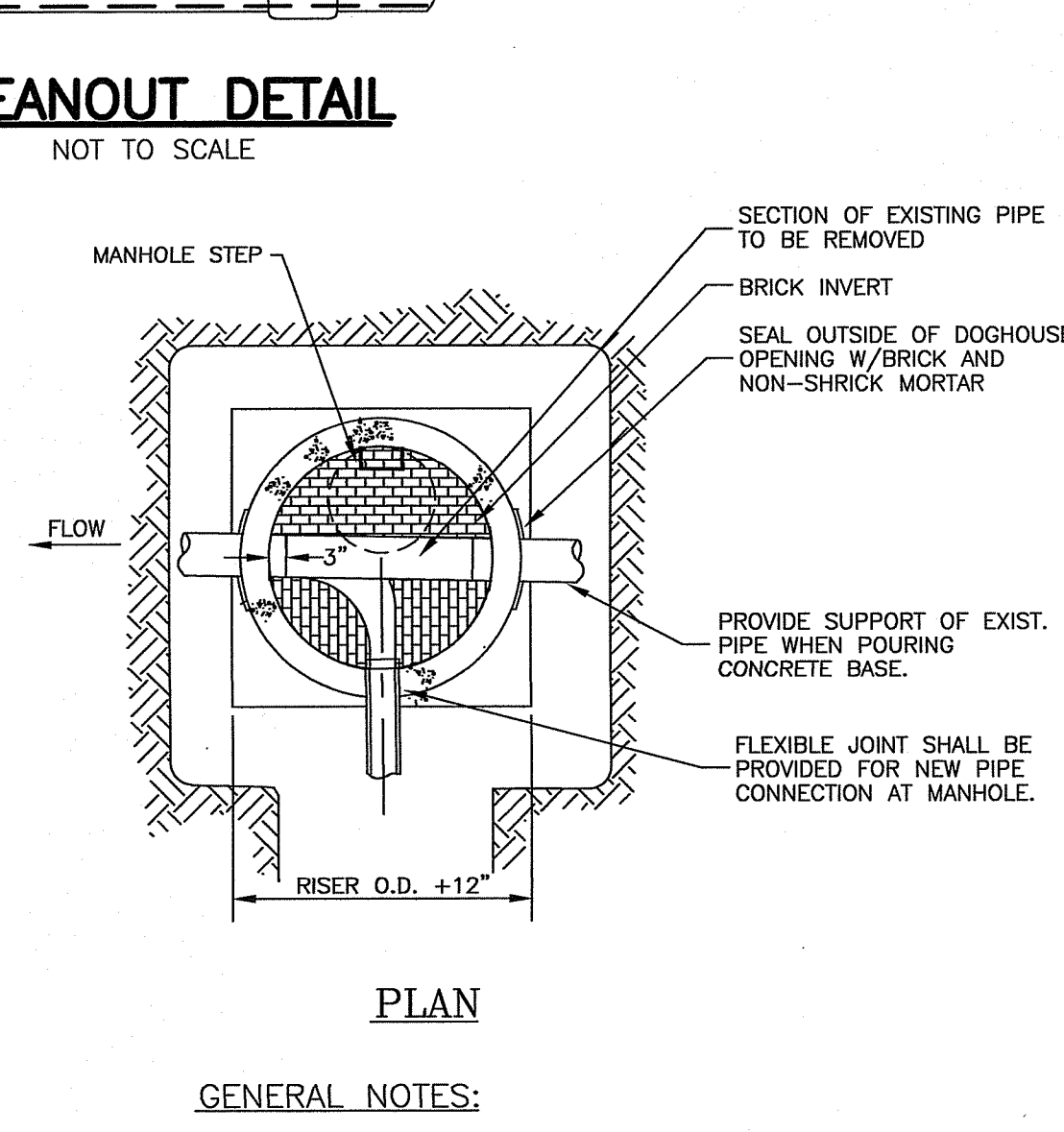
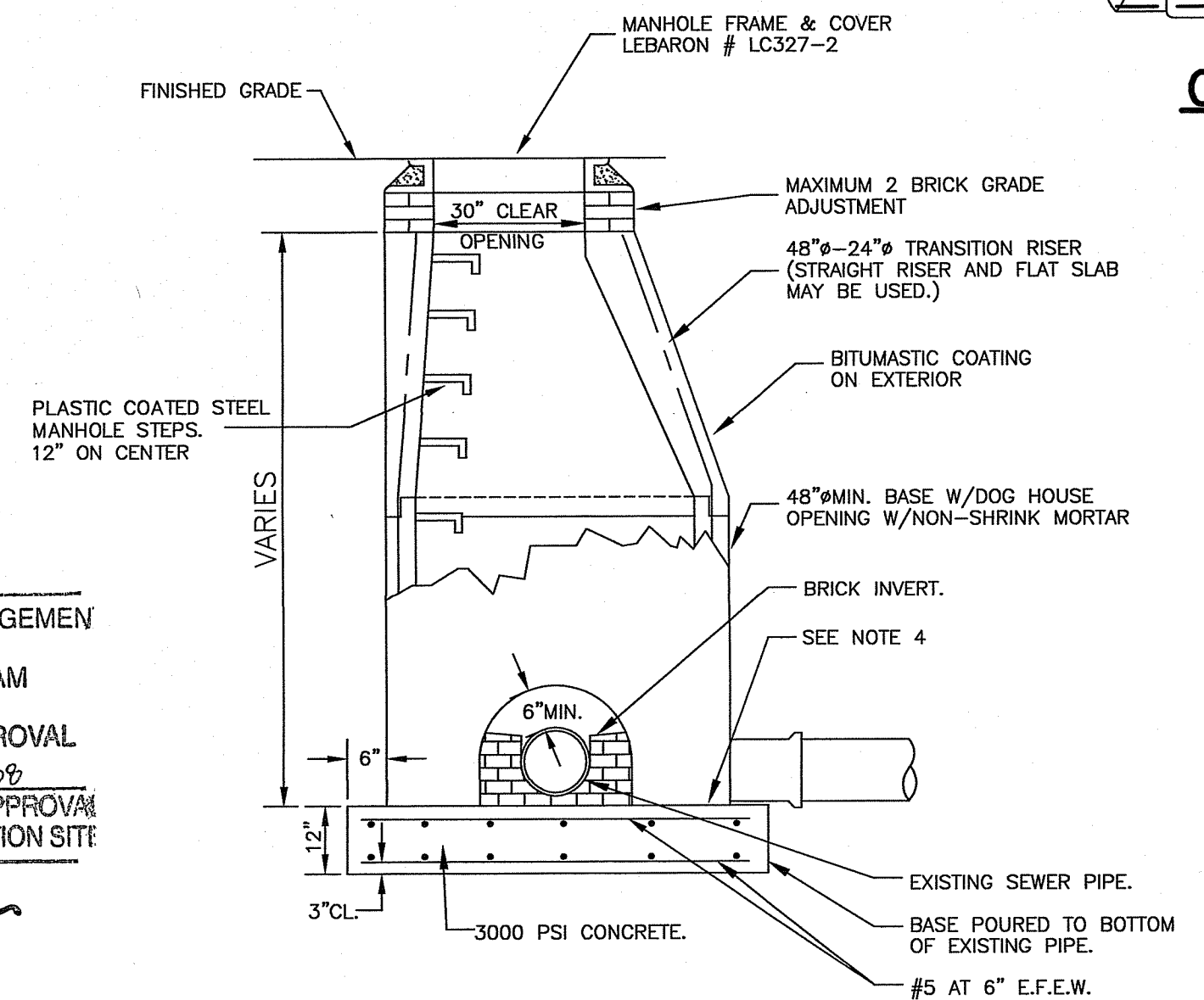
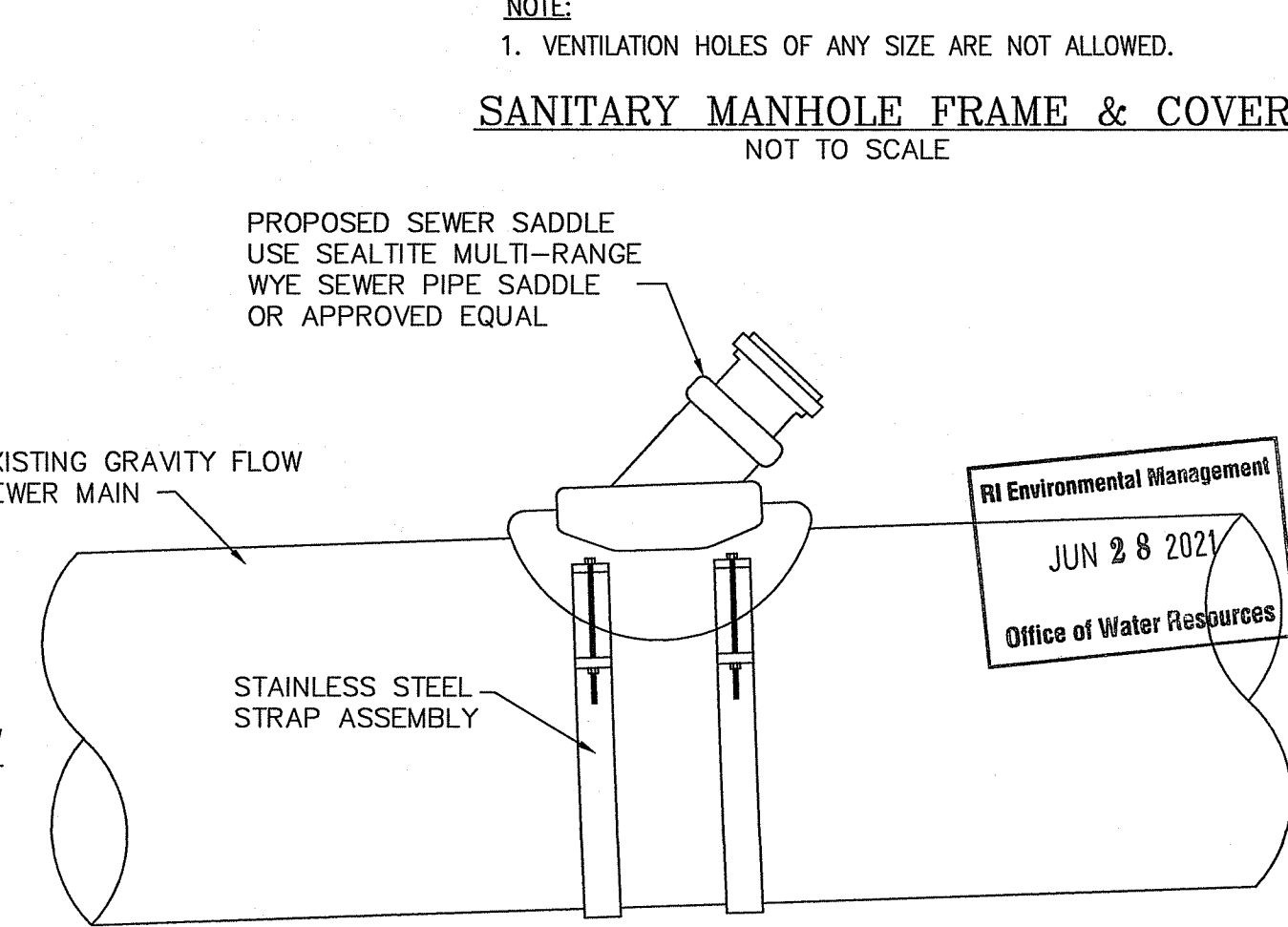
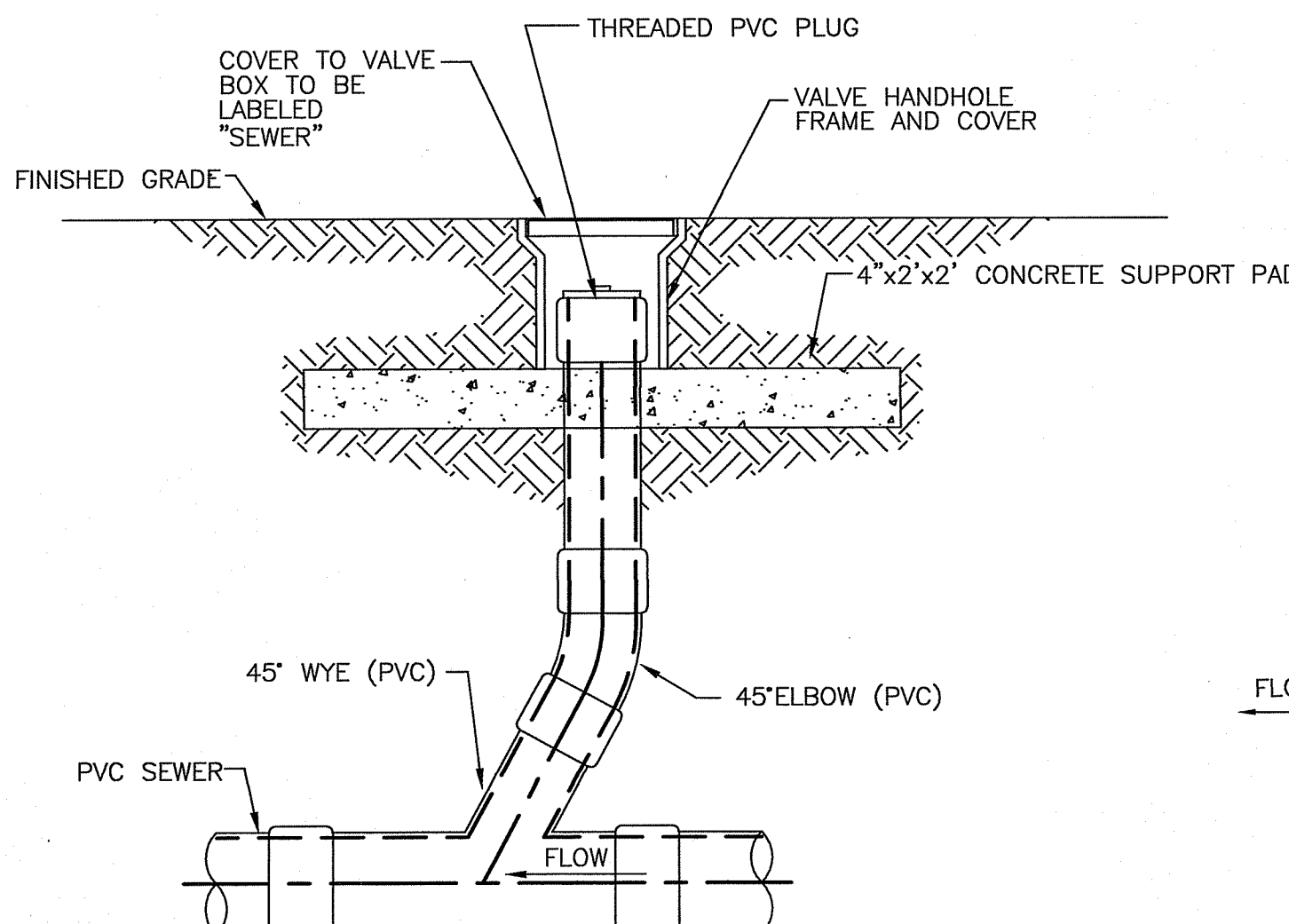
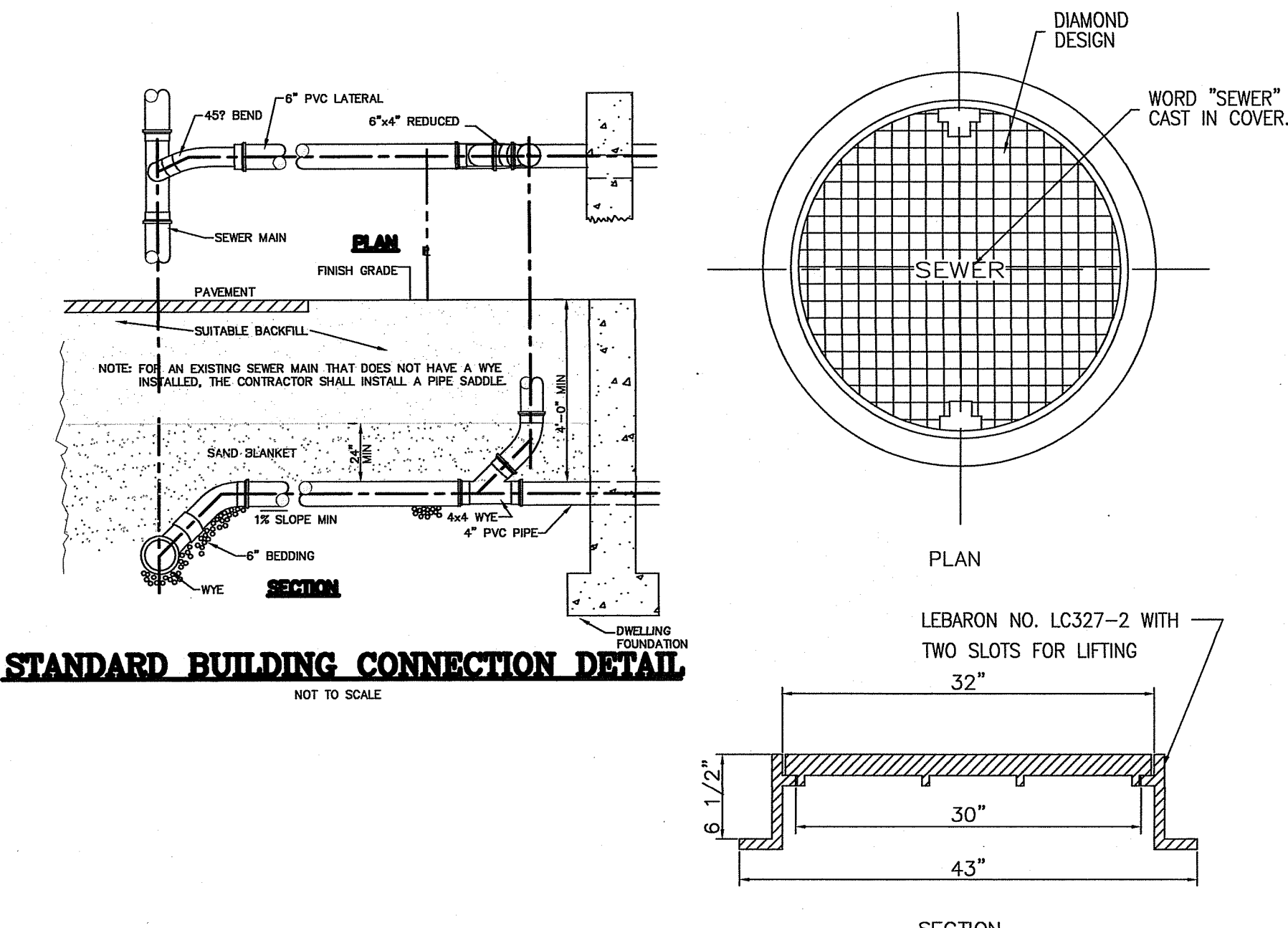
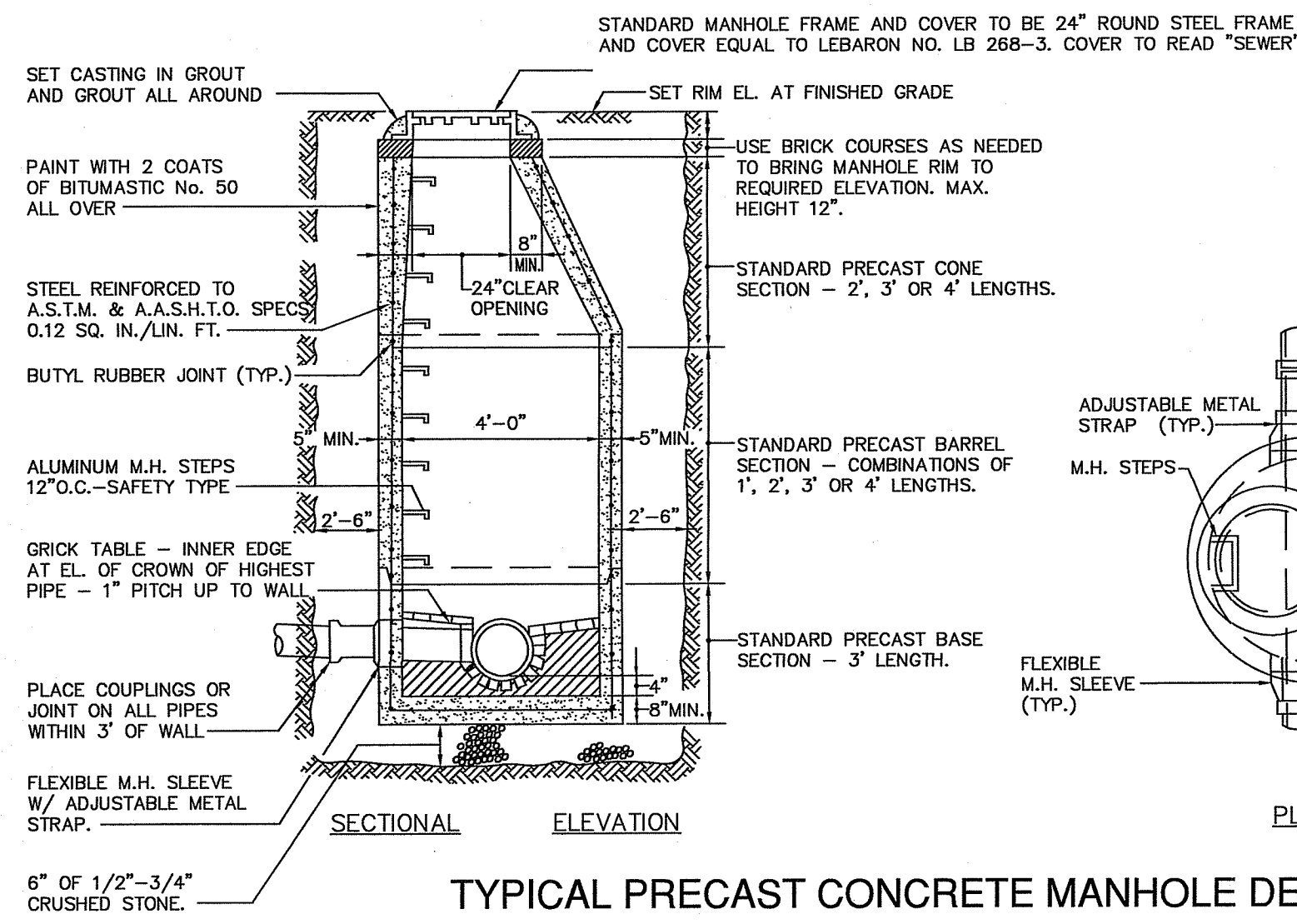
PRINCIPLE COMPANY, INC.
 ENGINEERING DIVISION
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 TIVERTON, RI 02878
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REVISIONS

No.	DATE	DRWN	CHKD
1.	06/21/21	KAB	TJP

PRELIMINARY PLAN
 for
 ELIZABETH COURT
 AP 103 LOT 14
 HOPE STREET
 in
 BRISTOL, RHODE ISLAND

SCALE: 1"=40' SHEET NO: 11 OF 12
 DRAWN BY: TJP DESIGN BY: TJP CHECKED BY: TJP
 DATE: 4/12/21 PROJECT NO.: LD-2021-10



DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
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AS SPECIFIED IN THE LETTER OF APPROVAL
DATED 11/13/2021 FILE # 21-D129
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Nancy L. Freeman

- GENERAL NOTES:**
- USE FOR SEWER MANHOLE #6
 - MANHOLE SHALL HAVE SHELF & INVERT, CONSTRUCTED TO CONFORM TO THE SIZE OF PIPE AND FLOW. AT CHANGES IN DIRECTION, THE INVERTS SHALL BE LAID OUT IN CURVES OF THE LONGEST POSSIBLE RADIUS TANGENT TO THE CENTERLINE OF THE SEWER PIPES.
 - SHELVES SHALL BE CONSTRUCTED TO THE ELEVATION OF THE HIGHEST PIPE CROWN.
 - THE JOINT BETWEEN POURED BASE AND BASE SECTION TO BE WATERTIGHT.
 - THE SEWER MANHOLE SHALL BE VACUUM TESTED AND APPROVED BY THE WEST WARWICK SEWER AUTHORITY PRIOR TO SYSTEM GOING ON-LINE.

Thomas J. Principe, III
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PRELIMINARY PLAN
for
ELIZABETH COURT
AP 103 LOT 14
HOPE STREET
in
BRISTOL, RHODE ISLAND

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