

# Permitting Submission

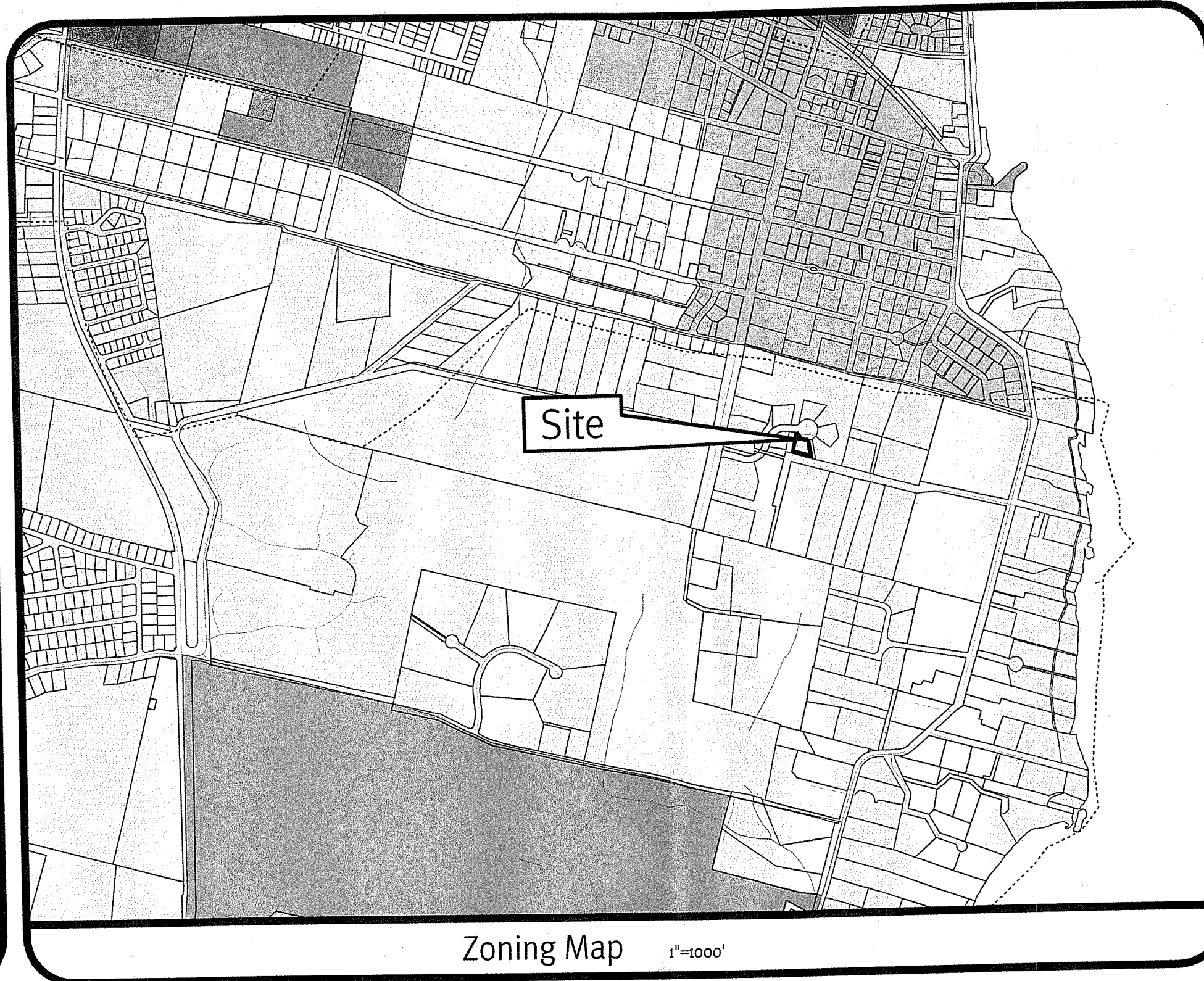
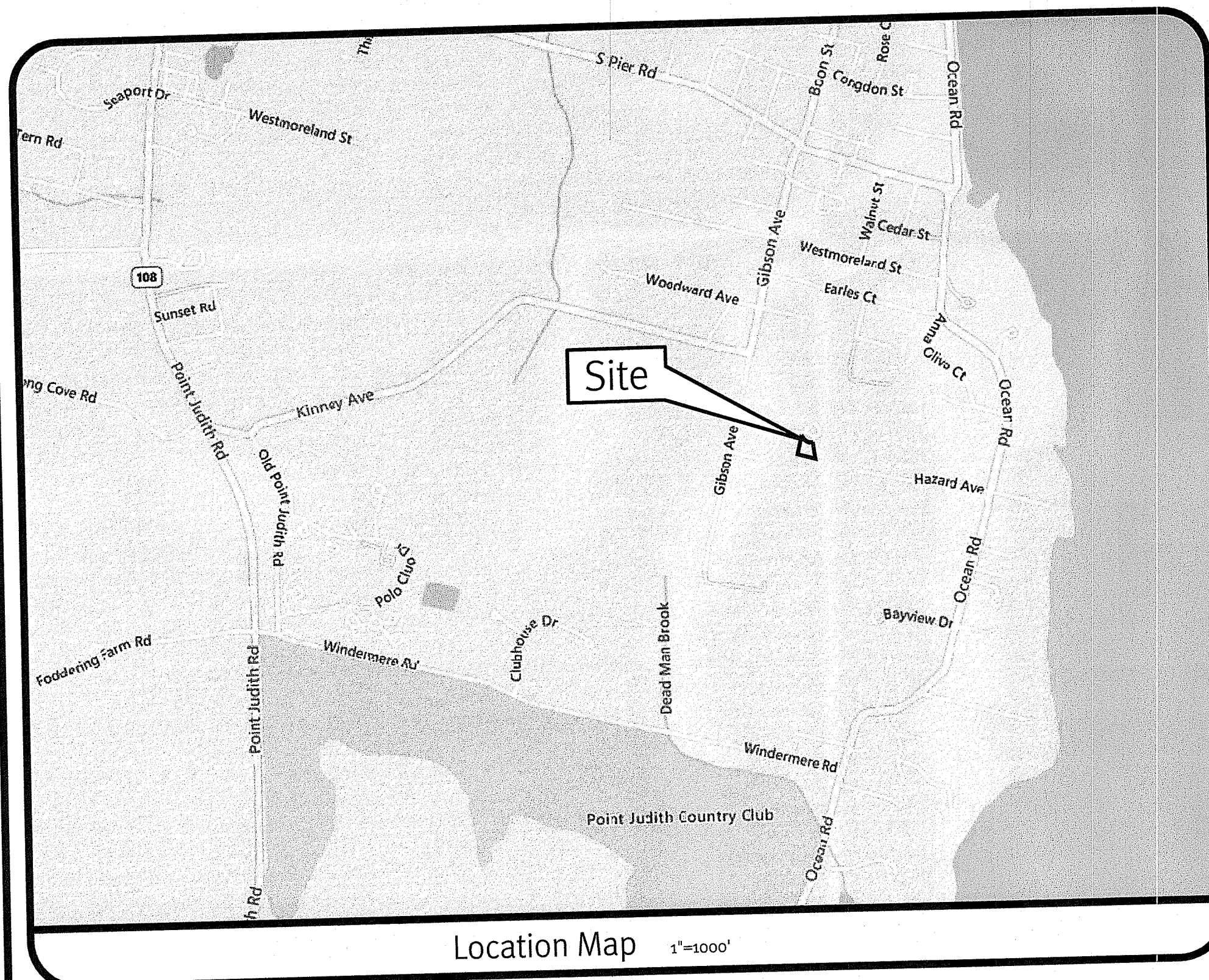
# Kendall Court

Narragansett, Rhode Island

Assessor's Plat F, Lot 5-4

## Sheet Index

1. Cover Sheet
2. Boundary and Topographic Survey
3. Site Plan
4. Detail Sheet



JASON P. CLOUGH  
No. [Signature]  
REGISTERED PROFESSIONAL ENGINEER CIVIL

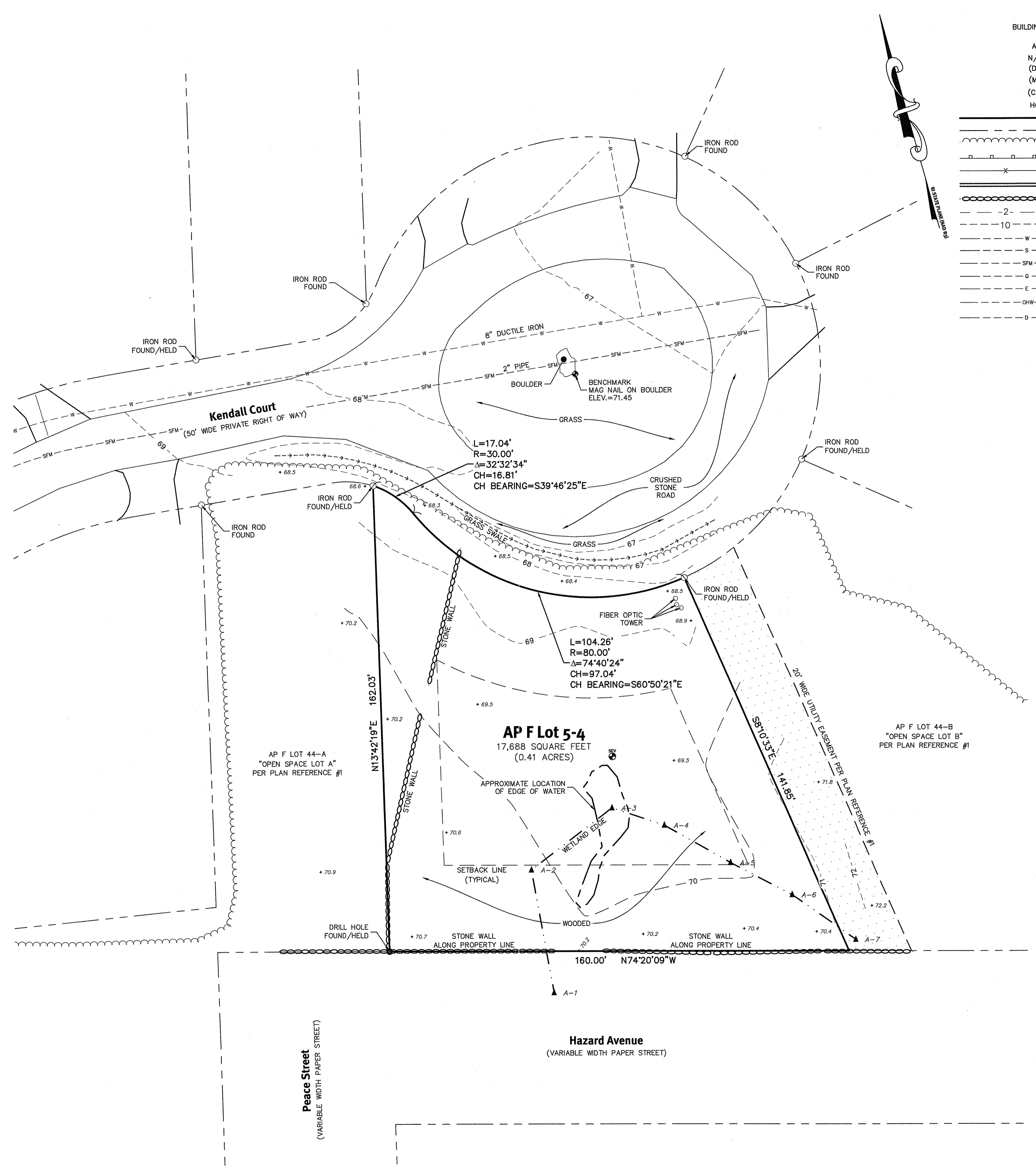
THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS STAMPED PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING.  
DIPRETE ENGINEERING ONLY WARRANTS PLANS ON A DIPRETE PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING DESIGN. DIPRETE ENGINEERING SHALL NOT BE RESPONSIBLE FOR ALL OF THE MEANS, METHODS, SAFETY PRECAUTIONS AND REQUIREMENTS AND OSHA DESIGN IN THE IMPLEMENTATION OF THIS PLAN AND EXISTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE ONLY. DIPRETE ENGINEERING SHALL NOT BE RESPONSIBLE FOR THE LOCATION OF EXISTING UTILITIES. SEE UTILITY NOTE ON SHEET 3.

|     |            |                           |             |             |
|-----|------------|---------------------------|-------------|-------------|
| NO. | DATE       | DESCRIPTION               | DESIGNED BY | DESIGNED BY |
| 0   | 05-15-2021 | PRELIMINARY DETERMINATION | J.P.C.      | J.P.C.      |

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
MAY 19 2021  
REVIEWED SITE PLAN APPLICATION NO.: 21-0144  
DATED JUN 14 2021  
SEE LETTER OF SAME DATE.  
*Emily L. Freeman*

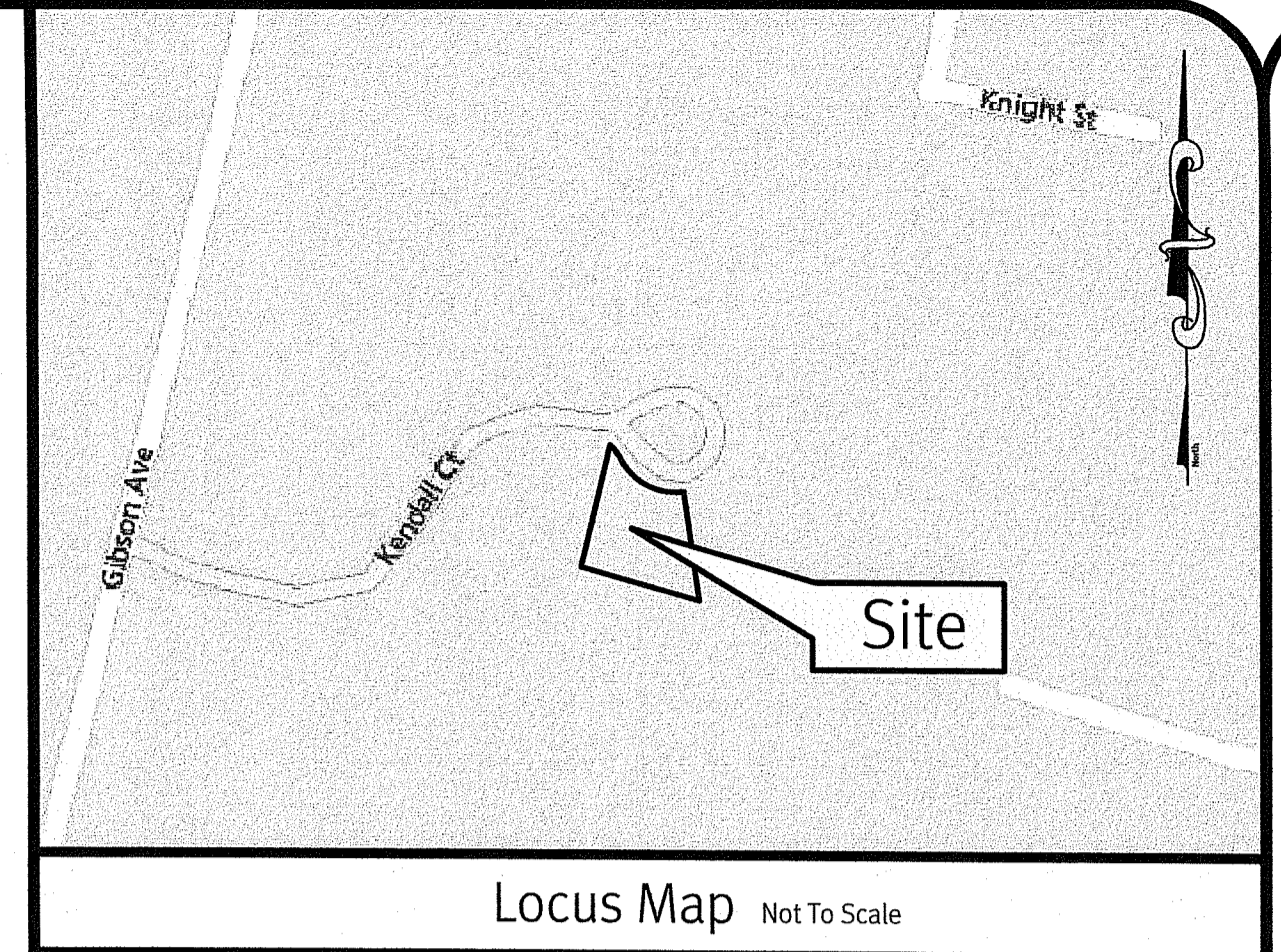
Cover Sheet  
KENDALL COURT  
ASSESSOR'S PLAT F, LOT 5-4,  
NARRAGANSETT, RHODE ISLAND  
OWNER:  
KATHLEEN S. HALL TRUST-1998  
148 WEST RIVER STREET, STE. 1E  
NARRAGANSETT, RHODE ISLAND 02882  
APPLICANT:  
JEFFREY CIANCIOLO, ESQUIRE  
148 WEST RIVER STREET, STE. 1E  
NARRAGANSETT, RHODE ISLAND 02904  
DESIGNED BY: J.P.C.  
DRAWN BY: A.C.A.

Z:\BPM\PROJECTS\0438-001 KENDALL\_GREEN\AUTOCAD DRAWINGS\0438-001-CVAR.DWG PLOTTED: 5/12/2021



**Legend**  
NOT ALL ITEMS SHOWN WILL APPEAR ON THE SURVEY

|                    |                    |                           |
|--------------------|--------------------|---------------------------|
| BUILDING           | ASSESSOR'S PLAT    | NAIL FOUND/SET            |
| AP                 | NOW OR FORMERLY    | DRILL HOLE FOUND/SET      |
| N/F                | DEED               | IRON ROD/PIPE FOUND/SET   |
| (D)                | MEASURED           | BOUND FOUND/SET           |
| (M)                | CHORD ANGLE        | SIGN                      |
| (CA)               | HANDICAPPED        | BOLLARD                   |
| HC                 | PROPERTY LINE      | SOIL EVALUATION           |
| ASSESSOR'S LINE    | TREELINE           | CATCH BASIN               |
| GUARDRAIL          | FENCE              | DOUBLE CATCH BASIN        |
| RETAINING WALL     | STONE WALL         | DRAINAGE MANHOLE          |
| MINOR CONTOUR LINE | MAJOR CONTOUR LINE | FLARED END SECTION        |
| WATER LINE         | SEWER LINE         | GUY POLE                  |
| SEWER FORCE MAIN   | GAS LINE           | ELECTRIC MANHOLE/HANDHOLE |
| GAS LINE           | ELECTRIC LINE      | UTILITY/POWER POLE        |
| OVERHEAD WIRES     | DRAINAGE LINE      | LIGHTPOST                 |
|                    |                    | SEWER/SEPTIC MANHOLE      |
|                    |                    | SEWER VALVE               |
|                    |                    | CLEANOUT                  |
|                    |                    | HYDRANT                   |
|                    |                    | IRRIGATION VALVE          |
|                    |                    | WATER VALVE               |
|                    |                    | WELL                      |
|                    |                    | MONITORING WELL           |
|                    |                    | UNKNOWN MANHOLE           |
|                    |                    | GAS VALVE                 |
|                    |                    | WETLAND FLAG              |
|                    |                    | BENCH MARK                |
|                    |                    | SHRUB                     |
|                    |                    | TREE                      |



- General Notes:**
- THE PARCEL IS FOUND ON ASSESSOR'S PLAT F, LOT 5-4 IN THE TOWN OF NARRAGANSETT, WASHINGTON COUNTY, RHODE ISLAND.
  - THE OWNER PER DEED BOOK 923, PAGE 510 IS THE KATHLEEN S. HALL TRUST - 1998.
  - BASED ON GRAPHICAL PLOTTING ONLY, THE PARCEL IS LOCATED IN ZONE X PER FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP 4409020124, DATED OCTOBER 16, 2013. THIS DESIGNATION MAY CHANGE BASED UPON REVIEW BY A FLOOD ZONE SPECIALIST OR BY THE RESULTS OF A COMPREHENSIVE FLOOD STUDY.
  - THERE WERE NO CEMETERIES, GRAVE SITES AND OR BURIAL GROUNDS OBSERVED WITHIN THE LIMITS OF THE SURVEY.
  - FIELD SURVEY PERFORMED BY DIPRETE ENGINEERING ON APRIL 17, 2020 AND APRIL 3, 2021. THIS PLAN REFLECTS ON THE GROUND CONDITIONS AS OF THOSE DATES.
  - THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT. DIPRETE ENGINEERING IS NOT RESPONSIBLE FOR ANY UNKNOWN OR UNRECORDED EASEMENTS, DEEDS OR CLAIMS THAT A TITLE REPORT WOULD DISCLOSE.
  - WETLAND LOCATIONS SHOWN BASED ON FIELD SURVEY BY DIPRETE ENGINEERING.
- Plan References:**
- FINAL SUBDIVISION PLAN FOR KENDALL GREEN ASSOCIATES LOCATED AT GIBSON AVENUE NARRAGANSETT, RHODE ISLAND BEING A.P. - F LOTS 1-2, 2-4, 2-6, 2-8, 3-17, 5-19, 5-20, 13-10, 13-12, 2-5 AND 14-14. SCALE 1"=50'. DATED NOVEMBER 1990, LAST REVISED DECEMBER 5, 1996. PLAN BY AERIAL TOPO SURVEY. RECORDED IN PLAT BOOK 10 PAGE 74.

**Datum Note:**

1. ELEVATIONS SHOWN HEREON, IN U.S. SURVEY FEET, ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88), AS DETERMINED BY DIPRETE ENGINEERING USING REAL TIME KINEMATIC G.P.S. OBSERVATIONS.

- Utility Notes:**
- ALL EXISTING UTILITIES DEPICTED ARE SHOWN ACCORDANCE WITH UTILITY QUALITY LEVEL D AS DEFINED IN C/ASCE STANDARD 38-02/STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA, LATEST REVISION.
  - ALL EXISTING UNDERGROUND UTILITIES SHOWN WERE PROVIDED BY OTHERS AND ARE APPROXIMATE ONLY. LOCATIONS MUST BE DETERMINED IN THE FIELD BEFORE EXCAVATION, BUSTING, UTILITY INSTALLATION, BACKFILLING, GRADING, PAVEMENT RESTORATION, AND ALL OTHER SITE WORK. ALL UTILITY COMPANIES, PUBLIC AND PRIVATE, MUST BE CONTACTED INCLUDING THOSE IN CONTROL OF UTILITIES NOT SHOWN ON THESE DOCUMENTS. CONTACT DIG SAFE A MINIMUM OF 72 WORKING HOURS PRIOR TO ANY CONSTRUCTION AT 811. DIG SAFE IS RESPONSIBLE FOR CONTACTING MEMBER UTILITY COMPANIES. DIG SAFE MEMBER UTILITY COMPANIES ARE RESPONSIBLE TO MARK ONLY THE FACILITIES THAT THEY OWN OR MAINTAIN. NON DIG SAFE MEMBER COMPANIES ARE NOT NOTIFIED BY DIG SAFE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INVESTIGATE AND NOTIFY IF ANY PRIVATELY OWNED OR NON DIG SAFE MEMBER UTILITIES ARE IN THE AREA.
  - PER THE CODE OF FEDERAL REGULATIONS - TITLE 29, PART 1926 IT IS THE SITE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ACCURATE UNDERGROUND UTILITY LINE LOCATIONS FROM THE UTILITY COMPANIES, UTILITY OWNERS AND, OR VIA UNDERGROUND UTILITY LOCATION EQUIPMENT AS NEEDED TO ESTABLISH ACCURATE LOCATIONS PRIOR TO ANY EXCAVATION. THE USE OF PROFESSIONAL UTILITY LOCATING COMPANIES PRIOR TO ANY EXCAVATION IS RECOMMENDED.
  - DIPRETE ENGINEERING IS NOT A PROFESSIONAL UTILITY LOCATION COMPANY, AND IS NOT RESPONSIBLE FOR UNDERGROUND UTILITIES, DEPICTED OR NOT, EITHER IN SERVICE OR ABANDONED, ANY SIZES, LOCATIONS, EXISTENCE, OR LACK OF EXISTENCE OF UTILITIES SHOWN ON THESE PLANS SHOULD BE CONSIDERED APPROXIMATE UNTIL VERIFIED BY A PROFESSIONAL UTILITY LOCATION COMPANY. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED.

- Zoning Notes:**
- THE PARCEL IS ZONED R-80 PER THE ASSESSOR'S ONLINE DATABASE.
  - THE ZONING ORDINANCE APPENDIX A SECTION 6.4 AND 6.5 LISTS THE DIMENSIONAL REGULATIONS AS FOLLOWS:
- |                                |                    |
|--------------------------------|--------------------|
| MINIMUM LOT AREA               | 80,000 SQUARE FEET |
| MINIMUM FRONTAGE AND LOT WIDTH | 100+ FEET          |
| MINIMUM FRONT YARD             | 35 FEET            |
| MINIMUM SIDE YARD              | 20 FEET            |
| MINIMUM REAR YARD              | 30 FEET            |
| MAXIMUM LOT COVERAGE           | 20 %               |
| MAXIMUM HEIGHT (MAIN)          | 35 FEET            |
| MAXIMUM HEIGHT (ACCESSORY)     | 18 FEET            |

THE ABOVE NOTES ARE BASED ON INFORMATION FROM THE TOWN OF NARRAGANSETT ASSESSOR'S ONLINE DATABASE AND THEIR ZONING ORDINANCE ONLY. ANY SPECIAL PERMITS OR VARIANCES SPECIFIC TO THIS SITE ARE NOT TAKEN INTO CONSIDERATION. PLEASE CONTACT THE ZONING DEPARTMENT FOR ANY ADDITIONAL INFORMATION OR FOR A CERTIFICATE OF ZONING.

**Certification:**

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:

|                                    |                           |
|------------------------------------|---------------------------|
| TYPE OF SURVEY                     | MEASUREMENT SPECIFICATION |
| COMPREHENSIVE BOUNDARY SURVEY      | CLASS 1                   |
| DATA ACCUMULATION SURVEY (LIMITED) | CLASS T-2                 |

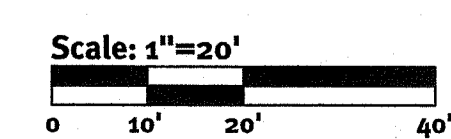
THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS:  
PERIMETER RETRACEMENT PERFORMED BY DIPRETE ENGINEERING FOR THE PURPOSE OF SITE ENGINEERING AND PERMITTING.

ROBERT G. BABCOCK  
No. 2504  
PROFESSIONAL LAND SURVEYOR

5/15/21  
ROBERT G. BABCOCK, RIPLS #2504, COA #LS.000A160

**This Plan Should Be Indexed By The Following Streets:**

- Kendall Court
- Hazard Avenue
- Peace Street



**DiPrete Engineering**  
Two Stafford Court, Cranston, RI 02920  
tel 401-949-1000 fax 401-464-6006 www.diprete-eng.com

Boston • Providence • Newport

Environmental Management  
MAY 19 2021  
Office of Water Resources

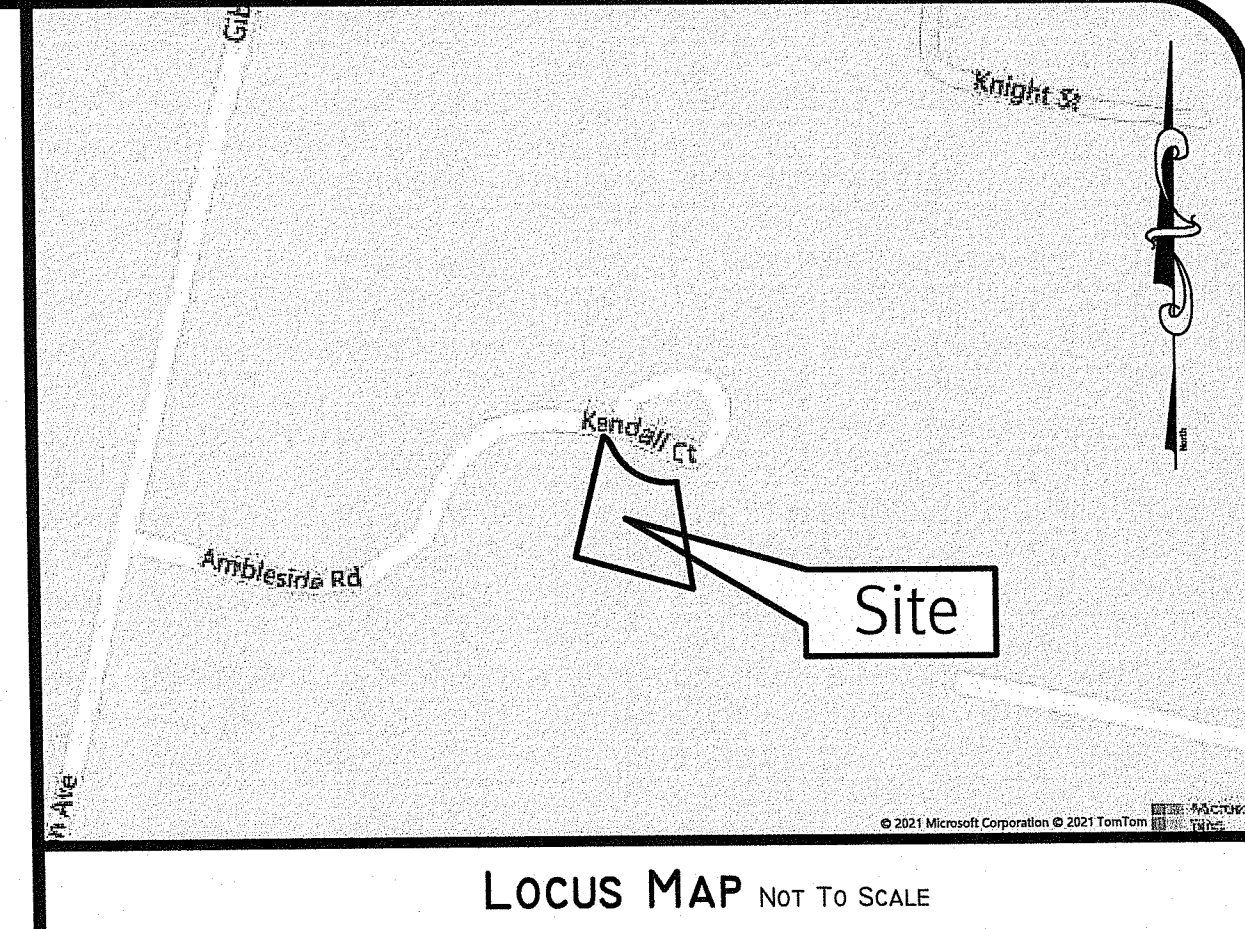
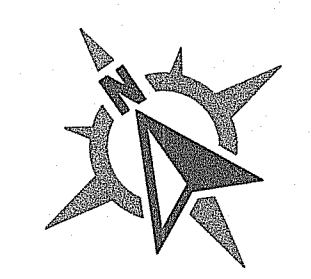
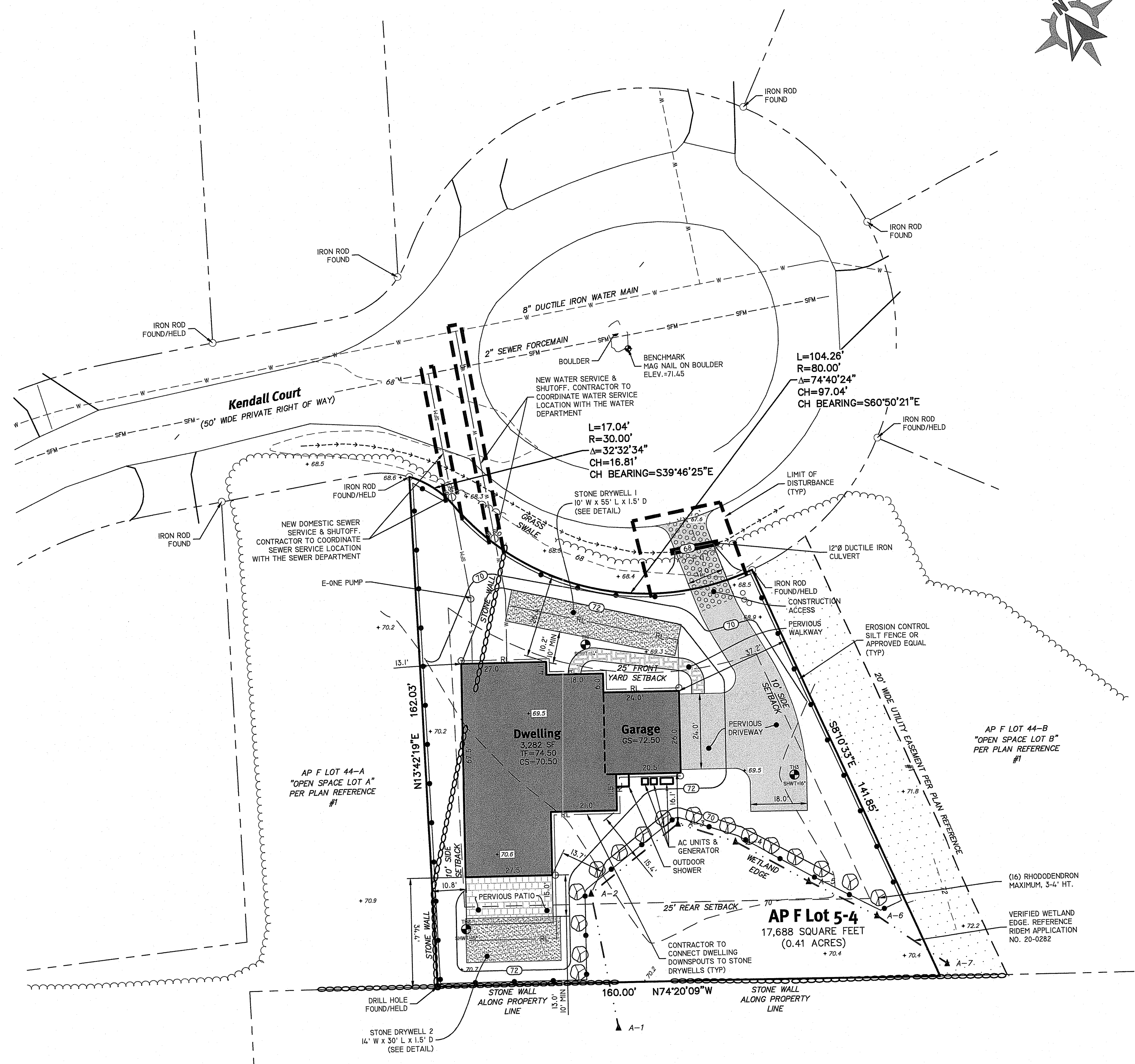
| No. | Date    | Description                    | By:    |
|-----|---------|--------------------------------|--------|
| 1   | 5/13/21 | Boundary and Geographic Survey | A.J.F. |
| 2   | 5/15/21 | Boundary and Geographic Survey | A.J.F. |
| 3   | 5/17/21 | Boundary and Geographic Survey | A.J.F. |

Drawn By: A.J.F.

**Boundary and Topographic Survey**  
Kendall Court  
Narragansett, Rhode Island

Client:  
**Jay Hall**  
14, Kendall Court, Narragansett, Rhode Island 02882

DE Job No: 0435-001 Copyright 2021 by DiPrete Engineering Associates, Inc.



- GENERAL NOTES:**
- THE PARCEL IS FOUND ON ASSESSOR'S PLAT F, LOT 5-4 IN THE TOWN OF NARRAGANSETT, WASHINGTON COUNTY, RHODE ISLAND.
  - THE OWNER OF AP F LOT 5-4 IS: THE KATHLEEN S. HALL TRUST - 1998, 14 KENDALL COURT, NARRAGANSETT, RI 02818
  - BASED ON GRAPHICAL PLOTTING ONLY, THE PARCEL IS LOCATED IN ZONE X PER FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP 44099C022J, DATED OCTOBER 16, 2015. THIS DESIGNATION MAY CHANGE BASED UPON REVIEW BY A FLOOD ZONE SPECIALIST OR BY THE RESULTS OF A COMPREHENSIVE FLOOD STUDY.
  - THERE WERE NO CEMETERIES, GRAVE SITES AND OR BURIAL GROUNDS OBSERVED WITHIN THE LIMITS OF THE SURVEY.
  - FIELD SURVEY PERFORMED BY DIPRETE ENGINEERING ON APRIL 17, 2020. THIS PLAN REFLECTS ON THE GROUND CONDITIONS AS OF THAT DATE.
  - THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT. DIPRETE ENGINEERING IS NOT RESPONSIBLE FOR ANY UNKNOWN OR UNRECORDED EASEMENTS, DEEDS OR CLAIMS THAT A TITLE REPORT WOULD DISCLOSE.
  - WETLAND LOCATIONS SHOWN BASED ON INFORMATION FROM NATURAL RESOURCE SERVICES, INC.
  - THE PARCEL IS ZONED R-80 PER THE ASSESSOR'S ONLINE DATABASE. PLEASE CONTACT THE ZONING DEPARTMENT FOR ANY ADDITIONAL INFORMATION OR FOR A CERTIFICATE OF ZONING.
  - EXISTING SITE FEATURES SHALL REMAIN UNLESS OTHERWISE NOTED ON THESE PLANS.
  - CONTRACTOR TO NOTIFY DESIGN ENGINEER WITH ANY DISCREPANCIES.
  - THE CONTRACTOR SHALL OBTAIN ALL NECESSARY LOCAL PERMITS PRIOR TO CONSTRUCTION.
  - ANY DAMAGE TO PRIVATE PROPERTY CAUSED BY THE CONTRACTOR SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
  - CONTRACTOR TO COMPLY WITH ALL APPLICABLE EROSION CONTROL REQUIREMENTS IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS.
  - UNLESS SPECIFIED OTHERWISE ALL MATERIALS SHALL MEET THE R.I. DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.

- PLAN REFERENCES:**
- FINAL SUBDIVISION PLAN FOR KENDALL GREEN ASSOCIATES LOCATED AT GIBSON AVENUE NARRAGANSETT, RHODE ISLAND BEING PLATS F-1, F-2, F-3, F-4, F-5, F-6, F-7, F-8, F-9, F-10, F-11, F-12, F-13 AND F-14, SCALE 1"=50', DATED NOVEMBER 1990. LAST REVISED DECEMBER 5, 1996. PLAN BY AERIAL TOPO SURVEY. RECORDED IN PLAT BOOK 10 PAGE 74.

- DATUM NOTE:**
- ELEVATIONS SHOWN HEREON, IN U.S. SURVEY FEET, ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88), AS DETERMINED BY DIPRETE ENGINEERING USING REAL TIME KINEMATIC G.P.S. OBSERVATIONS.

- UTILITY NOTES:**
- ALL EXISTING UTILITIES DEPICTED ARE SHOWN ACCORDANCE WITH UTILITY QUALITY LEVEL D AS DEFINED IN C/ASCE STANDARD 38-02 (STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA), LATEST REVISION.
  - ALL EXISTING UNDERGROUND UTILITIES SHOWN WERE PROVIDED BY OTHERS AND ARE APPROXIMATE ONLY. LOCATIONS MUST BE DETERMINED IN THE FIELD BEFORE EXCAVATION, BLASTING, UTILITY INSTALLATION, BACKFILLING, GRADING, PAVEMENT RESTORATION, AND ALL OTHER SITE WORK. ALL UTILITY COMPANIES, PUBLIC AND PRIVATE, MUST BE CONTACTED INCLUDING THOSE IN CONTROL OF UTILITIES NOT SHOWN ON THESE DOCUMENTS. CONTACT DIG SAFE A MINIMUM OF 72 WORKING HOURS PRIOR TO ANY CONSTRUCTION AT 811. DIG SAFE IS RESPONSIBLE FOR CONTACTING MEMBER UTILITY COMPANIES. DIG SAFE MEMBER UTILITY COMPANIES ARE RESPONSIBLE TO MARK ONLY THE FACILITIES THAT THEY OWN OR MAINTAIN. NON DIG SAFE MEMBER COMPANIES ARE NOT NOTIFIED BY DIG SAFE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INVESTIGATE AND NOTIFY IF ANY PRIVATELY OWNED OR NON DIG SAFE MEMBER UTILITIES ARE IN THE AREA.
  - PER THE CODE OF FEDERAL REGULATIONS - TITLE 29, PART 1926 IT IS THE SITE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ACCURATE UNDERGROUND UTILITY LINE LOCATIONS FROM THE UTILITY COMPANIES, UTILITY OWNERS AND/OR VIA UNDERGROUND UTILITY LOCATION EQUIPMENT AS NEEDED TO ESTABLISH ACCURATE LOCATIONS PRIOR TO ANY EXCAVATION. THE USE OF PROFESSIONAL UTILITY LOCATING COMPANIES PRIOR TO ANY EXCAVATION IS RECOMMENDED.
  - DIPRETE ENGINEERING IS NOT A PROFESSIONAL UTILITY LOCATION COMPANY, AND IS NOT RESPONSIBLE FOR UNDERGROUND UTILITIES, DEPICTED OR NOT, EITHER IN SERVICE OR ABANDONED. ANY SIZES, LOCATIONS, EXISTENCE, OR LACK OF EXISTENCE OF UTILITIES SHOWN ON THESE PLANS SHOULD BE CONSIDERED APPROXIMATE UNTIL VERIFIED BY A PROFESSIONAL UTILITY LOCATION COMPANY. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED.
  - UTILITY PLAN REFERENCES:
    - WATER INFORMATION OBTAINED FROM THE TOWN OF NARRAGANSETT.
    - SEWER INFORMATION OBTAINED FROM THE TOWN OF NARRAGANSETT.

**DIMENSIONAL REGULATIONS:**

|                                 | R-80 (RESIDENTIAL PLANNED DISTRICT) |
|---------------------------------|-------------------------------------|
| CURRENT ZONING:                 | R-80 (RESIDENTIAL PLANNED DISTRICT) |
| MINIMUM LOT AREA:               | 10,000 SF                           |
| MINIMUM FRONTAGE AND LOT WIDTH: | 75'                                 |
| MINIMUM FRONT YARD:             | 25'                                 |
| MINIMUM SIDE YARD:              | 10'                                 |
| MINIMUM REAR YARD:              | 25'                                 |
| MAXIMUM BUILDING COVERAGE:      | 25%                                 |
| MAXIMUM SITE COVERAGE:          | 25%                                 |
| MAXIMUM BUILDING HEIGHT:        | 35'                                 |

**Certification:**

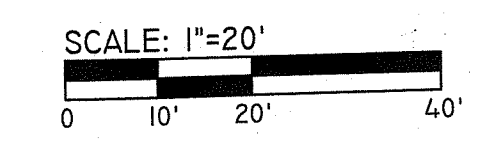
THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:

| TYPE OF SURVEY                     | MEASUREMENT SPECIFICATION |
|------------------------------------|---------------------------|
| COMPREHENSIVE BOUNDARY SURVEY      | CLASS 1                   |
| DATA ACCUMULATION SURVEY (LIMITED) | CLASS T-2                 |

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS:  
PERIMETER RETRACEMENT PERFORMED BY DIPRETE ENGINEERING FOR THE PURPOSE OF SITE ENGINEERING AND PERMITTING.

ROBERT G. BABCOCK  
No. 2504  
PROFESSIONAL LAND SURVEYOR

5/15/21  
ROBERT G. BABCOCK, RIPLS #2504, COA #LS.000A160



**DiPrete Engineering**  
Two Stafford Court Cranston, RI 02920  
tel. 401-943-1000 fax 401-664-6006 www.diprete-eng.com

Boston • Providence • Newport

JASON P. CLOUGH  
No. [Signature]  
REGISTERED PROFESSIONAL ENGINEER CIVIL

Environmental Management  
MAY 19 2021

DESIGN BY: J.P.C.  
BY: [Signature]  
DATE: [Signature]  
DRAWN BY: A.C.A.

**SITE PLAN**  
KENDALL COURT  
ASSESSOR'S PLAT F LOT 5-4,  
NARRAGANSETT, RHODE ISLAND

APPLICANT:  
KATHLEEN S. HALL TRUST-1998  
14 WEST RIVER STREET, STE. 1E  
NARRAGANSETT, RHODE ISLAND 02882

OWNER:  
KATHLEEN S. HALL TRUST-1998  
14 KENDALL COURT  
NARRAGANSETT, RHODE ISLAND 02882

SHEET 3 OF 4

Z:\DHMAN\PROJECTS\04-03-2001 KENDALL GREEN\ATOC\DRAWINGS\04-03-2001 PLANS\DWG PLOTTER: 5/15/2021

**ESTABLISHMENT OF VEGETATIVE COVER**

- SLOPES SHALL NOT BE LEFT UNATTENDED OR EXPOSED FOR EXCESSIVE PERIODS OF TIME SUCH AS THE INACTIVE WINTER SEASON. THE CONTRACTOR SHALL INITIATE APPROPRIATE VEGETATIVE PRACTICES ON ALL DISTURBED AREAS AS SOON AS POSSIBLE BUT NOT MORE THAN FOURTEEN (14) DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT AREA HAS TEMPORARILY OR PERMANENTLY CEASED, UNLESS THE ACTIVITY IS TO RESUME WITHIN TWENTY-ONE (21) DAYS.
- ALL DISTURBED SLOPES EITHER NEWLY CREATED OR CURRENTLY EXPOSED SHALL BE SEEDED OR PROTECTED.
- THE TOPSOIL SHALL HAVE A SANDY LOAM TEXTURE RELATIVELY FREE OF SUBSOIL MATERIAL, STONES, ROOTS, LUMPS OF SOIL, TREE LIMBS, TRASH OR CONSTRUCTION DEBRIS AND SHALL CONFORM WITH RHODE ISLAND DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, M.20.
- THE TEMPORARY SEEDING DESIGN MIX SHALL BE COMPRISED OF THE FOLLOWING:

| TYPE               | % BY WEIGHT |
|--------------------|-------------|
| ANNUAL RYEGRASS    | 40          |
| PERENNIAL RYEGRASS | 60          |

- THE NEW ENGLAND EROSION CONTROL/RESTORATION SEED MIX SHALL BE COMPRISED OF THE FOLLOWING:

| TYPE                   | % BY WEIGHT |
|------------------------|-------------|
| UPLAND BENTGRASS       | 1.0         |
| CREeping BENTGRASS     | 1.0         |
| BIG BLUESTEM           | 8.0         |
| NEW ENGLAND ASTER      | 1.0         |
| FOX SEDGE              | 8.0         |
| VIRGINIA WILD RYE      | 28.0        |
| BONSEET                | 1.0         |
| GRASS LEAVED GOLDENROD | 1.0         |
| CREeping RED FESCUE    | 24.0        |
| SOFT RUSH              | 0.5         |
| SENSITIVE FERN         | 1.0         |
| SWITCH GRASS           | 8.0         |
| LITTLE BLUESTEM        | 15.0        |
| GREEN BULLRUSH         | 1.0         |
| WOOL GRASS             | 0.5         |
| BLUE VERVAIN           | 1.0         |

- THE GENERAL PURPOSE SEED MIX SHALL BE COMPRISED URI #2 OF THE FOLLOWING:

| TYPE                         | % BY WEIGHT |
|------------------------------|-------------|
| CREeping RED FESCUE          | 40          |
| IMPROVED PERENNIAL RYE GRASS | 20          |
| IMPROVED KENTUCKY BLUEGRASS  | 30          |
| KENTUCKY BLUEGRASS           | 10          |

EARLY SPRING OR LATE SUMMER SEEDING IS RECOMMENDED. SEEDING SCHEDULE SHOULD CONFORM WITH RHODE ISLAND DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, L.02.03.1 SEEDING DATES. PERMANENT SEEDING SHALL BE DURING THE APRIL 1 TO MAY 31 OR AUGUST 15 TO OCTOBER 15. TEMPORARY SEEDING MAY BE DONE ANYTIME BETWEEN MARCH 15 AND NOVEMBER 15 WITH THE APPROVAL OF THE ENGINEER OF RECORD. FERTILIZE AS REQUIRED BY SOIL TESTING TO COMPLIMENT OR UPGRADE EXISTING CONDITIONS. THE SEED MIX SHALL BE INOCULATED WITHIN 24 HOURS AND BEFORE MIXING AND PLANTING, WITH APPROPRIATE INOCULANTS FOR EACH VARIETY.

TEMPORARY TREATMENTS SHALL CONSIST OF STRAW, FIBER MULCH OR PROTECTIVE COVERS SUCH AS A MAT OR FIBER LINING. SIDE SLOPES OF BASINS SHALL BE TREATED WITH NORTH AMERICAN GREEN EROSION CONTROL BLANKETS SUCH AS SIS0 OR APPROVED EQUAL. THEY SHALL BE INCORPORATED INTO THE WORK AS WARRANTED OR AS ORDERED BY THE ENGINEER. HAY OR STRAW APPLICATIONS SHALL BE IN THE AMOUNT OF 2 TONS/ACRE.

ALL TEMPORARY PROTECTION SHALL REMAIN IN PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED.

ALL FILL SHALL BE THOROUGHLY COMPACTED UPON PLACEMENT IN STRICT CONFORMANCE WITH RHODE ISLAND DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION PART 200.

STOCKPILES OF TOPSOIL SHALL NOT BE LOCATED NEAR WATERWAYS. THEY SHALL HAVE SIDE SLOPES NO GREATER THAN 2:1 AND SHALL BE TEMPORARILY SEEDED AND/OR STABILIZED.

ALL AREAS PROPOSED TO BE VEGETATED THAT ARE DISTURBED BY CONSTRUCTION SHALL BE STABILIZED WITH PERMANENT SEEDING IMMEDIATELY FOLLOWING FINISH GRADING. PERMANENTLY SEEDING AREAS SHALL BE PROTECTED DURING ESTABLISHMENT WITH MULCH. ALL SEEDING AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STANDARD IS MAINTAINED. WELL ESTABLISHED VEGETATION SHALL BE MAINTAINED. BARE OR ERODED AREAS SHALL BE IMMEDIATELY REPAIRED AND RESEEDED BY THE CONTRACTOR. ACTIVITIES SHALL BE CONFINED TO WITHIN THE LIMIT OF WORK AS SHOWN ON THE PLANS.

MAXIMUM PERMANENT GRADED SLOPE WITHIN THE SITE IS TO BE 3:1 UNLESS NOTED OTHERWISE.

THE CONSTRUCTION SUPERINTENDENT SHALL HAVE OVERALL RESPONSIBILITY FOR PLAN IMPLEMENTATION AND FOR SEEING THAT THE APPROPRIATE WORKERS ARE AWARE OF THE PROVISIONS OF THE PLAN. THE CONTRACTOR MUST REPAIR AND/OR RESEED ANY AREAS THAT DO NOT DEVELOP WITHIN THE PERIOD OF ONE YEAR AND SHALL DO SO AT NO ADDITIONAL EXPENSE TO THE OWNER.

REFERENCE THE "RHODE ISLAND SOIL EROSION AND SEDIMENTATION CONTROL HANDBOOK" PREPARED BY THE USDA SOIL CONSERVATION SERVICE, REVISED 2014, AS A GUIDE.

**MAINTENANCE: SHORT TERM / LONG TERM**

- THE STONE STABILIZATION PADS AT THE SITE ENTRANCE SHALL BE MAINTAINED BY THE CONTRACTOR. THE MAINTENANCE SHALL INCLUDE TOP DRESSING WITH ADDITIONAL CONTROL (SE & SC) ON SITE. SEQUENCE OF CONSTRUCTION PROVIDED MAY BE MODIFIED AS FIELD CONDITIONS WARRANT WITH PRIOR APPROVAL FROM OWNER OR THEIR REPRESENTATIVE.
- ALL SILT FENCE, TEMPORARY TREATMENTS (STRAW, ETC.), AND TEMPORARY PROTECTION SHALL BE MAINTAINED BY THE CONTRACTOR THROUGHOUT CONSTRUCTION. SILT FENCE SHALL BE INSPECTED BY THE CONTRACTOR WITHIN 24 HOURS AFTER EACH STORM EVENT OR EVERY 7 DAYS, WHICHEVER COMES FIRST, FOR UNDERMINING AND DETERIORATION. A STORM EVENT SHALL BE DEFINED AS 0.25 INCHES OF RAIN WITHIN A 24-HOUR PERIOD. THE SILT FENCE SHALL BE REPAIRED OR REPLACED AS WARRANTED. THE CONTRACTOR SHALL CLEAN THE ACCUMULATED SEDIMENT TO HALF OF THE ORIGINAL HEIGHT OF THE HAY BALES/SILT FENCE BECOMES FILLED IN WITH SEDIMENT. THE SILT FENCE SHALL REMAIN IN PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED. FOLLOWING CONFIRMATION FROM THE OWNER AND/OR THE PROJECT ENGINEER THAT AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER HAS BEEN ESTABLISHED THE SILT FENCE SHALL BE REMOVED.
- THE CONTRACTOR SHALL MAINTAIN ALL TOPSOIL STOCKPILES AND SEDIMENT BARRIERS THROUGHOUT CONSTRUCTION. EXTREME CARE SHALL BE TAKEN TO ENSURE THAT SEDIMENTS DO NOT SPILL OVER THE SEDIMENT BARRIER. SILT FENCE SHALL BE STAKED AROUND THE STOCKPILES.
- ALL DISTURBED SLOPES EITHER NEWLY CREATED OR CURRENTLY EXPOSED SHALL BE SEEDED, PROTECTED, AND MAINTAINED BY THE CONTRACTOR FOLLOWING FINAL GRADING AND CONSTRUCTION. THE CONTRACTOR SHALL CHECK ALL SEEDING AREAS REGULARLY TO SEE THAT A GOOD STAND OF VEGETATION IS MAINTAINED. THE CONTRACTOR MUST REPAIR OR RESEED ANY AREAS THAT DO NOT DEVELOP WITHIN THE PERIOD OF ONE YEAR AND SHALL DO SO AT NO ADDITIONAL EXPENSE TO THE OWNER.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE AND INSPECTION OF THE DRAINAGE BMPs DURING AND UP TO A YEAR AFTER COMPLETION OF CONSTRUCTION AND ACCEPTANCE BY THE OWNER. THE OWNER IS RESPONSIBLE FOR INSPECTIONS AND MAINTENANCE THEREAFTER. THE DRAINAGE BMPs SHALL BE INSPECTED/MAINTAINED AS DETAILED BELOW.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTION, MAINTENANCE AND REPAIR TO ALL DRAINAGE STRUCTURES AND RELATED COMPONENTS ON SITE DURING THE CONSTRUCTION PERIOD. IMMEDIATELY FOLLOWING CONSTRUCTION FOR A MAXIMUM OF ONE YEAR, OR UNTIL ACCEPTANCE BY THE ENGINEER AND THE OWNER. THE OWNER IS RESPONSIBLE FOR INSPECTIONS AND MAINTENANCE THEREAFTER.
- A LEGALLY BINDING AND ENFORCEABLE MAINTENANCE AGREEMENT SHALL BE EXECUTED BETWEEN THE OWNER AND THE RESPONSIBLE AUTHORITY TO ENSURE THE FOLLOWING MAINTENANCE SCHEDULES ARE FOLLOWED.
- DURING THE FIRST SIX (6) MONTHS OF OPERATIONS, INSPECTIONS SHALL BE ACCOMPLISHED IN EACH DRAINAGE BMP AFTER EVERY RAINFALL EVENT. TO CHECK FOR CLOGGING OR, CONVERSELY, TOO RAPID A STORMWATER RELEASE. FOLLOWING THE SIX (6) MONTHS, INSPECTIONS SHALL BE CONDUCTED, AT A MINIMUM, ANNUALLY.
- IF STANDING WATER IS OBSERVED WITHIN THE DRAINAGE BMPs FOR MORE THAN THREE (3) DAYS AFTER A RAINFALL, THEN FAILURE OF THE SYSTEM MAY HAVE OCCURRED AND SHALL BE ADDRESSED THROUGH REPAIR OR REPLACEMENT.
- THE CONSTRUCTION SUPERINTENDENT SHALL HAVE OVERALL RESPONSIBILITY FOR THE MAINTENANCE PROGRAM DURING THE CONSTRUCTION PHASE AND FOR A PERIOD OF ONE YEAR AFTER CONSTRUCTION. THE SUPERINTENDENT SHALL SEE THAT THE APPROPRIATE WORKERS ARE AWARE OF THE PROVISIONS OF THE PLAN.
- AFTER ACCEPTANCE OF THE SITE BY THE OWNER, THE OWNER SHALL HAVE OVERALL RESPONSIBILITY FOR IMPLEMENTING THE MAINTENANCE PROGRAM FOR THE STORMWATER MANAGEMENT PLAN.
- THE RESPONSIBLE PARTY FOR THE STORMWATER MANAGEMENT PROGRAM IS THE OWNER OF THE SITE. THE FUNDING FOR THE STORMWATER MANAGEMENT PROGRAM IS BY THE OWNER. IF THE PROPERTY IS SOLD, THE RESPONSIBILITY OF THE STORMWATER MANAGEMENT PROGRAM WILL BE TRANSFERRED TO THE NEW OWNER.

**THE FOLLOWING MAINTENANCE PROCEDURES MUST BE FOLLOWED FOR THE DRYWELLS:**

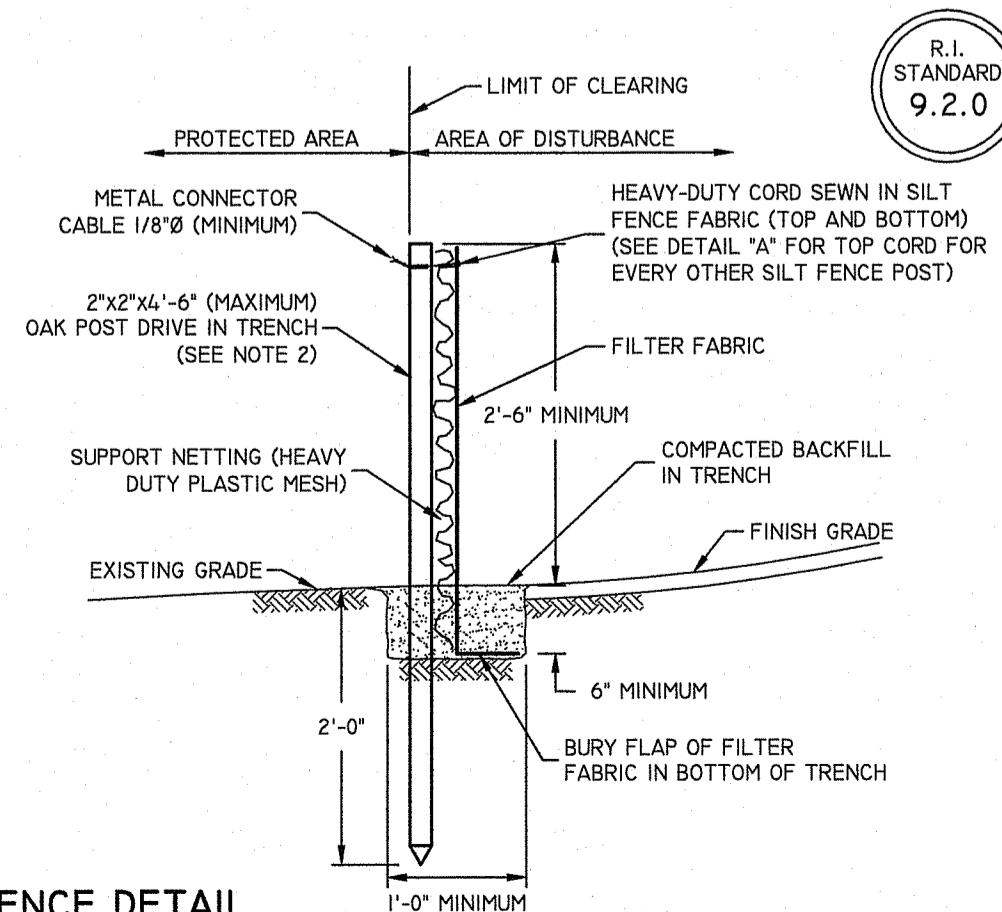
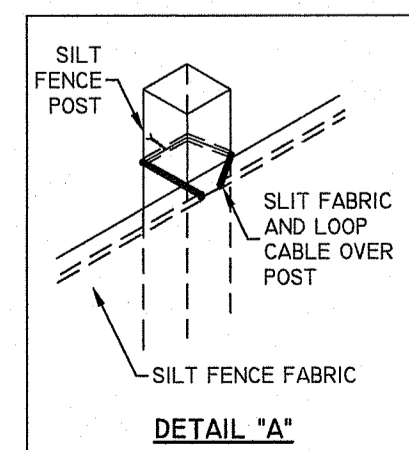
- INFILTRATION PRACTICES SHALL BE INSPECTED ANNUALLY AND REPAIRED IF NECESSARY TO ENSURE PROPER DRAINAGE.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE AND INSPECTION DURING AND UP TO A YEAR AFTER COMPLETION OF CONSTRUCTION AND ACCEPTANCE BY THE OWNER. THE OWNER IS RESPONSIBLE FOR INSPECTIONS AND MAINTENANCE THEREAFTER. THE CONTRACTOR'S MAINTENANCE/INSPECTION RESPONSIBILITIES SHALL INCLUDE REPLACING THE STONE WITHIN THE DRYWELL IF STORMWATER REMAINS IN THE DRYWELL LONGER THAN 48 HOURS. THE CONTRACTOR SHALL INSPECT DRYWELLS AFTER EACH STORM GREATER THAN 0.5 INCHES AND REPAIR AS NECESSARY. THE OWNER SHALL INSPECT THE DRYWELL SEMIANNUALLY AND AFTER RAIN FALL EVENTS GREATER THAN ONE INCH. IF REPAIRS ARE NEEDED, THEY SHALL BE CARRIED OUT IMMEDIATELY. REPAIRS ARE NECESSARY IF STORMWATER REMAINS IN THE DRYWELL LONGER THAN 48 HOURS.

**THE FOLLOWING MAINTENANCE PROCEDURES SHALL BE FOLLOWED FOR THE PERVIOUS DRIVEWAY/WALKWAY/PATIO:**

- THE SURFACE OF THE PERVIOUS DRIVEWAY/WALKWAY/PATIO SHALL BE MONITORED AFTER STORMS TO ENSURE IT DRAINS PROPERLY. THE SURFACE SHALL BE INSPECTED ANNUALLY FOR DETERIORATION AND REPAIRED AS NEEDED.
- USE OF SAND AND SALT ON PERVIOUS DRIVEWAYS/WALKWAYS/PATIOS SHALL BE MINIMIZED.

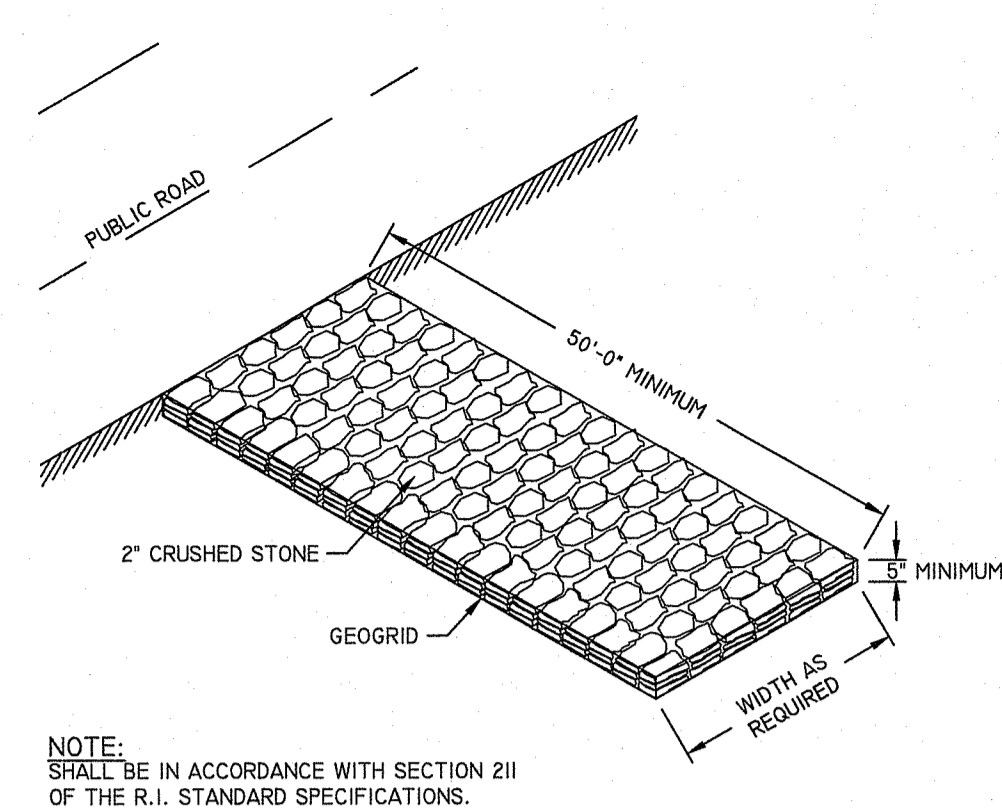
**NOTES:**

- SHALL BE IN ACCORDANCE WITH SECTION 206 OF THE R.I. STANDARD SPECIFICATIONS.
- 2"x2"x4'-6" (MAXIMUM) OAK POSTS FOR SILT FENCE SHALL BE LOCATED 8'-0" (MAXIMUM) O.C. IN WETLAND AREAS AND 4'-0" (MAXIMUM) O.C. IN WETLAND RAVINE, GULLY OR DROP-OFF AREAS AS SHOWN ON PLANS.
- 1"x1"x4'-0" (MINIMUM) POSTS PERMITTED FOR PRE-CONCRETED SILT FENCE.
- SILT FENCE SHALL BE INSTALLED BEFORE ANY GRUBBING OR EARTH EXCAVATION TAKES PLACE.



**SEQUENCE OF CONSTRUCTION OF CONSTRUCTION AND STAGING OF LAND DISTURBING ACTIVITIES**

- CONTRACTOR IS RESPONSIBLE FOR SOIL EROSION AND SEDIMENT CONTROL (SE & SC) ON SITE. SEQUENCE OF CONSTRUCTION PROVIDED MAY BE MODIFIED AS FIELD CONDITIONS WARRANT WITH PRIOR APPROVAL FROM OWNER OR THEIR REPRESENTATIVE.
- CONSTRUCTION TO BEGIN IN THE FALL 2021 OR UPON RECEIPT OF ALL NECESSARY APPROVALS.
- SURVEY AND STAKE THE DRAINAGE BMPs (DRYWELLS AND/OR OTHER DRAINAGE FEATURES), DRAIN LINES, AND LIMIT OF SEDIMENTATION BARRIERS/LIMIT OF DISTURBANCE.
- PLACE SEDIMENTATION BARRIERS (SILT FENCE OR APPROVED EQUAL) AS SHOWN ON THE PLANS AND STAKED OUT IN THE FIELD. IN NO CASE IS THE LIMIT OF WORK TO EXTEND BEYOND THE SEDIMENTATION BARRIERS. PLACE BARRIERS AROUND VEGETATED SWALE. NO CONSTRUCTION TRAFFIC IS PERMITTED IN THESE AREAS.
- INSTALL TEMPORARY SEDIMENTATION CONTROL MEASURES AND DEVICES AS WARRANTED. ALL TEMPORARY CONTROL DEVICES SHALL BE INSTALLED PER THE RHODE ISLAND SOIL EROSION AND SEDIMENTATION CONTROL HANDBOOK.
- BEGIN DEMOLITION AND CLEARING AND GRUBBING IN AREA OF THE BUILDING, DRAINAGE BMPs, AND OTHER AREAS AS INDICATED ON THE PLANS. TOPSOIL IS TO BE STRIPPED AND STOCKPILED IN APPROVED LOCATIONS. TOPSOIL STOCKPILES ARE TO BE PROTECTED BY A ROW OF SEDIMENTATION BARRIERS AND COVERED OR TEMPORARILY SEEDED.
- BEGIN CONSTRUCTION OF THE BUILDING FOUNDATION AND STRUCTURE.
- BEGIN CONSTRUCTION OF DRAINAGE BMP'S.
- ONCE THE SITE IS STABILIZED THE DRAINAGE BMPs AND DRAINAGE NETWORK MAY BE BROUGHT ONLINE WITH THE APPROVAL OF THE DESIGN ENGINEER.
- REMOVE ALL TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROL MEASURES FOLLOWING VEGETATIVE ESTABLISHMENT OF ALL DISTURBED AREAS.



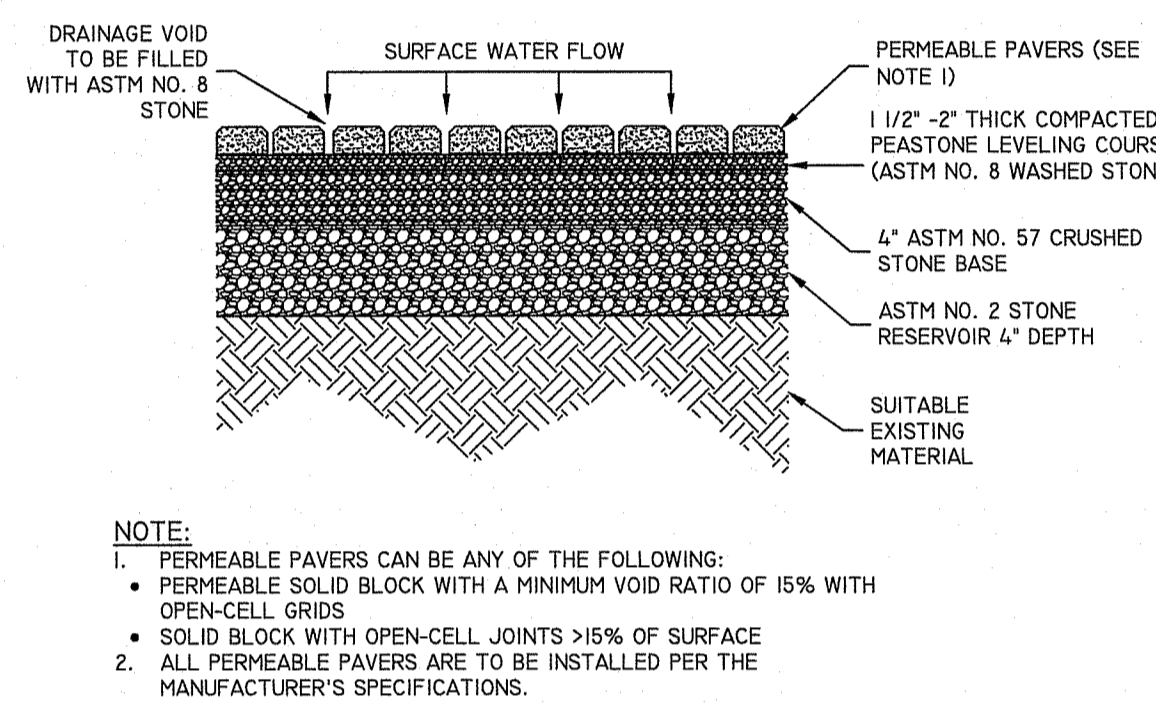
**STRUCTURAL MEASURES**

- RUNOFF WATER QUALITY IS IMPROVED UTILIZING DRYWELLS AND PERVIOUS SURFACES. CONSTRUCTION OF THE BMPs SHALL BE SUPERVISED BY THE PROJECT ENGINEER.
- A STONE STABILIZATION PAD IS LOCATED AT THE SITE ENTRANCE TO REDUCE THE TRACKING OR FLOWING OF SEDIMENT ONTO THE PUBLIC RIGHT OF WAY.
- SILT FENCE SHALL BE INSTALLED DOWNSTREAM OUTSIDE THE LIMITS OF ANY PROPOSED CONSTRUCTION AS SHOWN ON THE SITE PLANS AND PRIOR TO THE COMMENCEMENT OF THE PROPOSED ALTERATION.
- TEMPORARY BEAMS AND / OR SWALES SHALL BE USED DURING CONSTRUCTION TO DIRECT SURFACE TO TEMPORARY SEDIMENTATION BASINS TO CAPTURE AND TREAT THE MAXIMUM AMOUNT OF STORM WATER.
- THE BMPs ARE NOT TO BE USED AS SEDIMENTATION TRAPS DURING CONSTRUCTION AND SHALL BE PROTECTED FROM CONSTRUCTION ACTIVITIES (I.E. HEAVY MACHINERY) TO PREVENT COMPACTION. THE CONTRACTOR SHALL CONSTRUCT ANY SEDIMENTATION TRAPS WHICH ARE REQUIRED TO MEET ALL GUIDELINES IN THE RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK.
- THE CONSTRUCTION SUPERINTENDENT SHALL HAVE THE OVERALL RESPONSIBILITY FOR STRUCTURAL MEASURE IMPLEMENTATION AND FOR SEEING THAT THE APPROPRIATE WORKERS ARE AWARE OF THE PROVISIONS OF THE PLAN.
- REFERENCE THE "RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK" PREPARED BY THE USDA SOIL CONSERVATION SERVICE, REVISED 2014, AS A GUIDE.

**NON-STRUCTURAL MEASURES**

- CONSTRUCTION TRAFFIC SHALL BE LIMITED TO THE ACCESS ROAD, UTILITY EASEMENTS AND AREAS TO BE GRADED.
- TOPSOIL SHALL BE STRIPPED FROM AREAS TO BE GRADED AND STOCKPILED FOR LATER USE. STOCKPILE LOCATION SHALL BE SUBJECT TO APPROVAL BY THE PROJECT ENGINEER. A SEDIMENT BARRIER SHALL SURROUND ALL TOPSOIL STOCKPILES.
- ALL TYPES OF WASTE GENERATED AT THE SITE SHALL BE DISPOSED OF IN A MANNER CONSISTENT WITH STATE LAW AND TOWN REGULATIONS. CONSTRUCTION DEBRIS SHALL BE DISPOSED OF DAILY TO AVOID EXPOSURE TO PRECIPITATION.
- THE CONSTRUCTION SUPERINTENDENT SHALL HAVE OVERALL RESPONSIBILITY FOR PLAN IMPLEMENTATION OF NON-STRUCTURAL MEASURES AND FOR SEEING THAT THE APPROPRIATE WORKERS ARE AWARE OF THE PROVISIONS OF THE PLAN.
- REFERENCE THE "RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK" PREPARED BY THE USDA SOIL CONSERVATION SERVICE, REVISED 2014, AS A GUIDE.

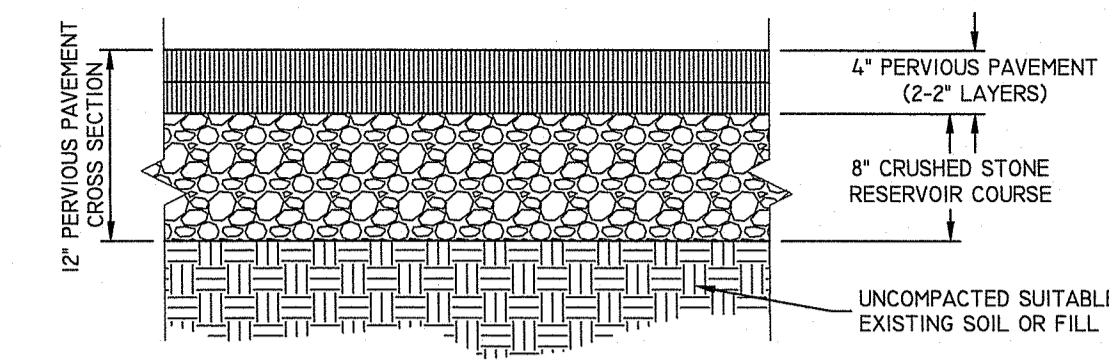
**PERMEABLE PAVER DETAIL**



| STANDARD SIEVE SIZE (INCHES) | AASHTO NO. 57 | AASHTO NO. 8 | AASHTO NO. 2 |
|------------------------------|---------------|--------------|--------------|
| 3                            |               | 100          |              |
| 2 1/2                        |               | 90-100       |              |
| 2                            |               | 35-70        |              |
| 1 1/2                        | 100           |              | 0-15         |
| 1                            | 95-100        |              |              |
| 3/4                          |               | 100          |              |
| 1/2                          | 25-60         |              |              |
| 3/8                          |               | 85-100       |              |
| #4                           | 0-10          | 10-30        |              |
| #8                           | 0-5           | 0-10         |              |
| #16                          |               | 0-5          |              |
| #200                         | 0             | 0-2          |              |

- NOTE:**
- PERMEABLE PAVERS CAN BE ANY OF THE FOLLOWING:
    - PERMEABLE SOLID BLOCK WITH A MINIMUM VOID RATIO OF 15% WITH OPEN-CELL GRIDS
    - SOLID BLOCK WITH OPEN-CELL JOINTS >15% OF SURFACE
  - ALL PERMEABLE PAVERS ARE TO BE INSTALLED PER THE MANUFACTURER'S SPECIFICATIONS.

**TYPICAL PERVIOUS PAVEMENT CROSS SECTION (RESIDENTIAL USE)**



**NOTE:**  
ALTERNATIVE PERVIOUS DRIVEWAY DETAIL. CONFIRM PERVIOUS DRIVEWAY TYPE WITH OWNER

**CONSTRUCTION, MAINTENANCE, & INSPECTION NOTES:**

- ROOF LEADERS ARE TO TIE INTO PROPOSED DRYWELLS.
- DRYWELL AREA TO BE STAKED, MARKED, AND REMAIN UNDISTURBED PRIOR TO CONSTRUCTION. THERE IS TO BE NO CONSTRUCTION TRAFFIC ON DESIGNATED AREA PRIOR TO CONSTRUCTION.
- PLACE FILTER FABRIC ALONG THE BOTTOM AND SIDES OF TRENCH AND FILL WITH CRUSHED, WASHED STONE.
- OVERLAP FILTER FABRIC ON THE TOP OF THE FILTER STONE. BACK FILL WITH CLEAN FILL TO FINISH GRADE.
- (\*) MONITORING WATER LEVELS WITHIN THE INSPECTION PORT AT VARIOUS TIME INTERVALS AFTER A RAINFALL EVENT WILL INDICATE THE EFFECTIVENESS OF THE SYSTEM. IF WATER IS STANDING IN DRYWELL SYSTEM 72 HOURS AFTER A STORM EVENT, SYSTEM FAILURE HAS OCCURRED AND WILL REQUIRE FLUSHING MAINTENANCE, REPAIR OR REPLACEMENT OF THE SYSTEM. THE OWNER WILL MAINTAIN THE DRAINAGE COMPONENTS.

**SIZING NOTES:**

- DRYWELLS SIZED USING TABLE 10 OF THE STATE OF RHODE ISLAND STORMWATER MANAGEMENT GUIDANCE FOR INDIVIDUAL SINGLE-FAMILY RESIDENTIAL LOT DEVELOPMENT

**SIZING DATA**

SOIL CONDITIONS: SANDY  
DRYWELL DEPTH: 18 INCHES  
GWT DEPTH: 14-16 INCHES

**DRYWELL SIZING CALCULATION:**  
TOTAL IMPERVIOUS AREA = 3,200 SF  
DRYWELL SIZING RATIO = 120 SF (DRYWELL SURFACE AREA) / 1,000 SF (IMPERVIOUS SURFACE AREA)

120 SF = X SF / 1,000 SF = 394 DRYWELL REQUIRED

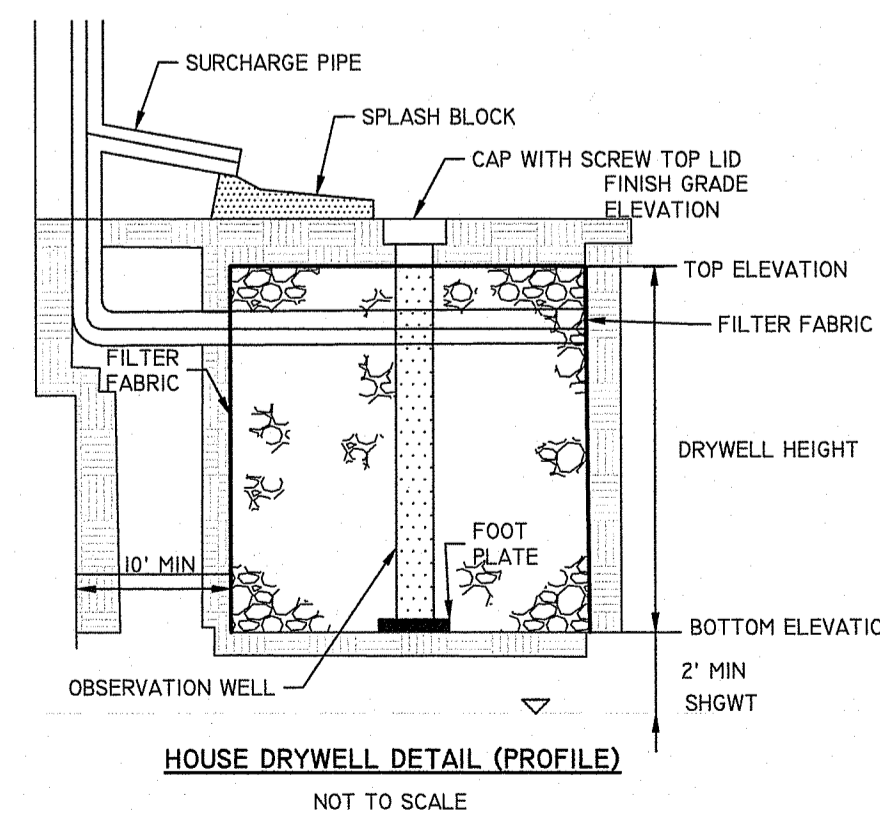
DRYWELL AREA PROVIDED = DRYWELL 1 = 550 SF  
DRYWELL 2 = 420 SF  
TOTAL = 970 SF\*

\*DRYWELLS OVERSIZED TO MEET TOWN OF NARRAGANSETT SECTION 7.7 ZONING REQUIREMENTS FOR A 25-YEAR DESIGN STORM.

| DRYWELL | PROPOSED GRADING ELEVATION | TOP OF DRYWELL | ELEVATION AT BOTTOM STONE OF DRYWELL | SEASONAL HIGH GWT ELEVATION | SEPARATION DISTANCE (FEET) |
|---------|----------------------------|----------------|--------------------------------------|-----------------------------|----------------------------|
| 1       | 72                         | 71.50          | 70                                   | 68                          | 2                          |
| 2       | 73                         | 72.50          | 71                                   | 69                          | 2                          |

**HOUSE DRYWELL DETAIL**

NOT TO SCALE



**JASON P. CLOUGH**  
REGISTERED PROFESSIONAL ENGINEER CIVIL  
No. [Signature]

Environmental Management  
Office of Water Resources  
MAY 10 2021

THIS PLAN SET MUST BE USED FOR CONSTRUCTION PURPOSES UNLESS OTHERWISE SPECIFIED FOR CONSTRUCTION AND STAMPED BY A REGISTERED PROFESSIONAL ENGINEER OF RHODE ISLAND. DIPIRETE ENGINEERING ONLY WARRANTS PLANS ON A DIPIRETE ENGINEERING DESIGN. DIPIRETE ENGINEERING, DIPIRETE PROFESSIONAL ENGINEERING, DIPIRETE ENGINEERING DOES NOT WARRANT PLANS BY ANY OTHER PARTY. THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE DETAILS. THE CONTRACTOR SHALL VERIFY THE ACCURACY OF THE DATA AND CONFORMANCE IN THE IMPLEMENTATION OF THIS PLAN AND SEE UTILITY NOTES ON SHEET 3.

DESIGN BY: J.P.C.  
DRAWN BY: A.C.A.

**NOTES & DETAILS**  
**KENDALL COURT**  
ASSESSOR'S PLAT F LOT 5-4  
NARRAGANSETT, RHODE ISLAND

APPLICANT:  
**KATHLEEN S. HALL TRUST-1998**  
148 WEST RIVER STREET, STE. 1E  
NARRAGANSETT, RHODE ISLAND 02882

OWNER:  
**KATHLEEN S. HALL TRUST-1998**  
148 WEST RIVER STREET, STE. 1E  
NARRAGANSETT, RHODE ISLAND 02882

DESIGNED BY: J.P.C.  
DRAWN BY: A.C.A.