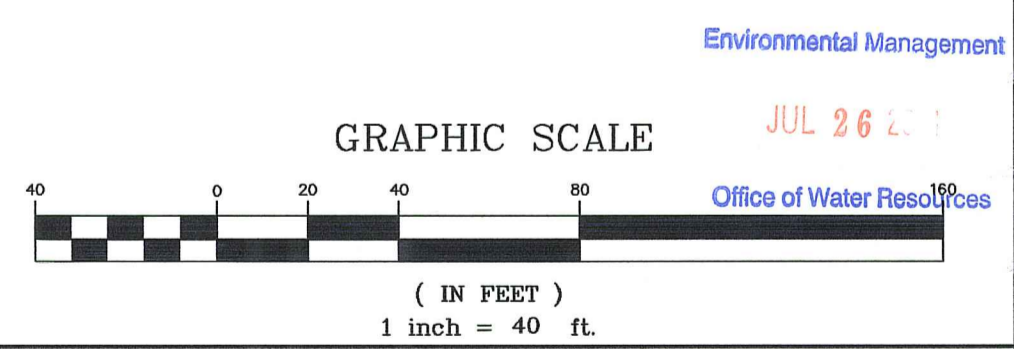


**GENERAL NOTES**

1. THIS PLAN REPRESENTS MODIFICATIONS MADE TO THE PREMISES CIRCA 2016-2018 FROM FORMER OWNERS WHO RECONSTRUCTED THE RESIDENCE UPON THE EXISTING FOOTPRINT AND INSTALLED PLANTINGS. ALSO SHOWN ARE THE CURRENTLY PROPOSED MODIFICATIONS TO THE GARAGE / BARN STRUCTURE AND ASSOCIATED UTILITIES AND LANDSCAPING.
2. THE EXISTING DWELLING MAINTAINS FOUR (4) BEDROOMS. THE PROPOSED ACCESSORY DWELLING UNIT PROPOSED ABOVE THE GARAGE SPACE WILL MAINTAIN ONE (1) BEDROOM; NO FOOTPRINT EXPANSION.
3. THIS PARCEL IS SERVICED BY PUBLIC WATER AND PRIVATE SEWER UTILITIES.
3. THIS PARCEL IS LOCATED WITHIN THE SALT POND CRITICAL RESOURCE AREA.
4. THE PARCEL IS LOCATED IN THE FOLLOWING TOWN OF NARRAGANSETT OVERLAY DISTRICTS:
  - SECTION 4.3 COASTAL & FRESHWATER WETLANDS ZONING OVERLAY DISTRICT
  - SECTION 4.5 HIGH WATERTABLE LIMITATIONS OVERLAY DISTRICT
5. ACCORDING TO FEMA FLOOD INSURANCE RATE MAP COMMUNITY PANEL NUMBER 44009C0213 J REVISED OCT. 19, 2013, THIS SITE LIES IN FLOOD ZONE X (UNSHADED) OUTSIDE THE HIGH RISK ZONE.

--- = Revised limit of disturbance to include existing footpaths. Path width should not exceed 5-feet.  
 - - - = Revised limit of disturbance to enclose all work proposed

**LOT COVERAGE**  
 EXISTING 2,500 S.F. (1.4 %)  
 PROPOSED 2,500 S.F. (1.4 %)



**DIMENSIONAL REGULATIONS**  
 NARRAGANSETT ZONING DISTRICT: R-40

	REQUIRED	PROVIDED
MINIMUM LOT AREA (S.F.)	40,000 S.F.	40,000 S.F.
MINIMUM LOT WIDTH:	150'	817'
MINIMUM YARD SETBACKS:		PRINCIPAL ACCESSORY
FRONT	40'	285' 325'
SIDE	35'	120' / 600' 45' / 690'
REAR	60'	10' 20'
MAXIMUM STRUCTURE HEIGHT:		
PRINCIPAL	35'	28'
ACCESSORY	18'	21'
MAXIMUM COVERAGE:	15%	1 %
	26,295 s.f.	2,500± sf

**LEGEND**

- - - - - EXISTING CONTOURS
- - - - - PROPOSED CONTOUR
- - - - - EXISTING SITE CONDITIONS
- - - - - PROPOSED CONDITIONS
- - - - - EXISTING PROPERTY LINE
- - - - - EXISTING WATER LINE
- - - - - BUILDING SETBACKS
- - - - - EXISTING UTILITY POLE
- - - - - TREELINE
- - - - - STONEWALL
- - - - - PERMANENT LIMIT OF DISTURBANCE (LOD)
- - - - - FOOTBRIDGE
- ▨ AREA TO BE MOWED ANNUALLY IN FALL TO MAINTAIN OLD FIELD HABITAT. NO NATIVE SHRUBS TO BE DISTURBED

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
 OFFICE OF WATER RESOURCES  
 FRESHWATER WETLANDS PROGRAM  
 APPROVED WITH CONDITIONS  
 AS SPECIFIED IN THE LETTER OF APPROVAL  
 DATED AUG 18 2021 FILE # 21-0150  
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

*Nancy L. Freeman*

Office of Water Resources  
 RI Environmental Management  
 JUL 26 2021

**STRUCTURAL AND VEGETATIVE MODIFICATIONS**  
**RETROACTIVE PDA SITE PLAN**  
 155 RODMAN STREET  
 PLAT H / LOT 37  
 NARRAGANSETT, RHODE ISLAND

PREPARED BY: JEFFREY J. CAMPOPIANO P.E.  
 16 WEST MAIN STREET  
 WICKFORD, RHODE ISLAND 02852  
 PHONE: (401) 295-3037 EMAIL: JEFF@CAMPOPIANO.ENG.COM

PREPARED FOR: PHOEBE CUTLER & DESMOND SMITH  
 155 RODMAN STREET  
 NARRAGANSETT, RHODE ISLAND 02882

OWNER / APPLICANT

JEFFREY J. CAMPOPIANO  
 REGISTERED PROFESSIONAL ENGINEER

REV.	DATE	DESCRIPTION	DATE: 1/19/21
1	3/25/21	OFF SITE WETLANDS	SCALE: 1"=40'
2	6/17/21	RIDEM COMMENTS (LOD)	