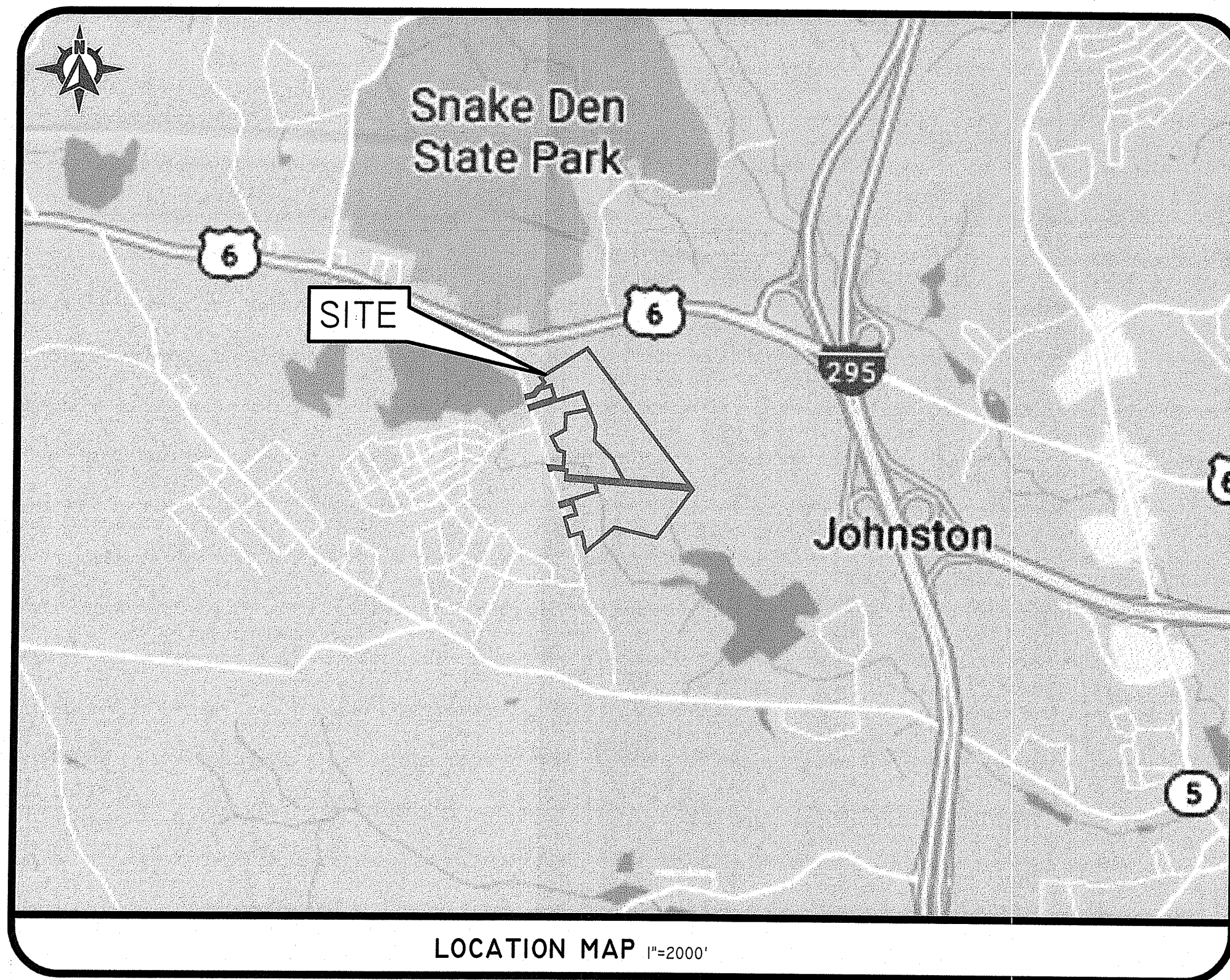


# PRELIMINARY SUBMISSION

# ALTUS POWER AMERICA SOLAR RELOCATION

LOCATED ON RESERVOIR AVENUE  
JOHNSTON, RI 02919

ASSESSOR'S PLAT 43 LOT 256 & ASSESSOR'S PLAT 54 LOTS 59, 60, 75



## SHEET LIST TABLE

- 1 COVER SHEET
- 2 AERIAL HALF MILE RADIUS & USGS MAP
- 3 NOTES AND LEGEND
- 4 EXISTING CONDITIONS PLAN
- 5 SOIL EROSION & SEDIMENT CONTROL PLAN
- 6 SITE DEVELOPMENT PLAN
- 7 POND A & B DETAILS
- 8 POND C & D DETAILS
- 9 POND E, F, G & H DETAILS
- 10 DETAIL SHEET

SESC / O&M  
THE SOIL EROSION AND SEDIMENT CONTROL PLAN (SESC) AND STORMWATER OPERATION AND MAINTENANCE PLAN (O&M) ARE REQUIRED DOCUMENTS WITH THIS PLAN SET AND MUST BE MAINTAINED BY THE CONTRACTOR AND OWNER ON SITE.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS  
AS SPECIFIED IN THE LETTER OF APPROVAL  
DATED SEP 17 2021 FILE # 21-0213  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
APPROVED PLANS MUST BE AT CONSTRUCTION SITE  
*Martin D. Wemsek*

Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.

Environmental Management  
AUG 30 2021  
Office of Water Resources

**DiPrete Engineering**  
Two Stafford Court, Cranston, RI 02920  
tel 401-943-1000 fax 401-464-6006 www.diprete-eng.com  
Boston • Providence • Newport

KEVIN DEMERS  
*[Signature]*  
REGISTERED PROFESSIONAL ENGINEER  
CIVIL

THIS PLAN SET AND ANY OTHER DOCUMENTS SUBMITTED FOR PERMITS OR APPROVALS UNLESS SPECIFICALLY ISSUED FOR CONSTRUCTION AND NOT TO BE USED BY ANY OTHER PARTY.  
DIPRETE ENGINEERING ONLY WARRANTS PLANS AS A DIPRETE ENGINEERING TITLE BLOCK, STAMPED BY REGISTERED PROFESSIONAL ENGINEERS.  
THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE MEANS, METHODS, MATERIALS, AND CONSTRUCTION OF THE PROJECT.  
CONFORMANCE IN THE IMPLEMENTATION OF THIS PLAN AND DESIGN.  
ONLY THE TITLE BLOCKS SHOWN ON THIS PLAN ARE APPROXIMATE LOCATIONS INCURRED DUE TO LOCATIONS OF EXISTING UTILITIES.  
SEE TITLE BLOCK FOR SHEET 2.

NO.	DATE	DESCRIPTION	BY:
1	05-07-2021	PRELIMINARY SUBMISSION	JAR
2	05-07-2021	PRELIMINARY SUBMISSION	JAR
3	05-07-2021	PRELIMINARY SUBMISSION	JAR
4	05-07-2021	PRELIMINARY SUBMISSION	JAR
5	05-07-2021	PRELIMINARY SUBMISSION	JAR
6	05-07-2021	PRELIMINARY SUBMISSION	JAR
7	05-07-2021	PRELIMINARY SUBMISSION	JAR
8	05-07-2021	PRELIMINARY SUBMISSION	JAR
9	05-07-2021	PRELIMINARY SUBMISSION	JAR
10	05-07-2021	PRELIMINARY SUBMISSION	JAR

**COVER SHEET**  
**ALTUS POWER AMERICA SOLAR RELOCATION**  
ASSESSOR'S PLAT 43 LOT 256 & ASSESSOR'S PLAT 54 LOT 59, 60, 75  
JOHNSTON, RHODE ISLAND  
PREPARED FOR:  
**HARTFORD SOLAR HOLDINGS, LLC**  
56 PINE STREET, 3RD FLOOR PROVIDENCE, RHODE ISLAND 02903  
TEL 401-383-9646  
RI JOB NO: 2020-004. COPYRIGHT 2021 BY DIPRETE ENGINEERING ASSOCIATES, INC.

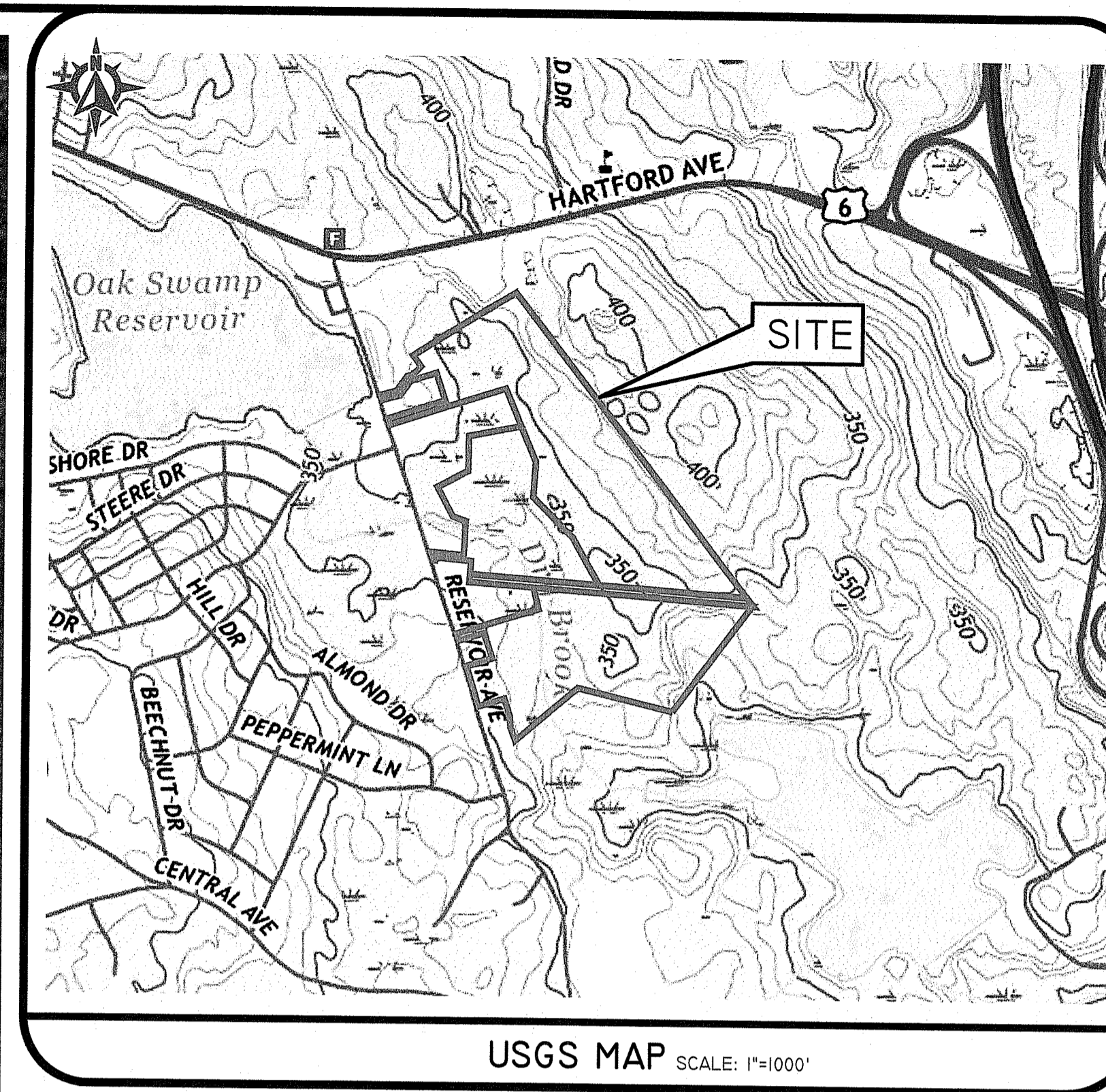


PHOTO OBTAINED FROM NEARMAP.  
DATE OF PHOTOGRAPHY 03/21/2020.  
SCALE: 1"=500'

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS  
AS SPECIFIED IN THE LETTER OF APPROVAL  
DATED SEP 02 2021 FILE # 21-0213  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.

**AERIAL HALF MILE RADIUS & USGS MAP**  
**ALTUS POWER AMERICA SOLAR RELOCATION**  
ASSESSOR'S PLAT 131 LOT 256 & ASSESSOR'S PLAT 54 LOT 59, 60, 75  
JOHANSTON, RHODE ISLAND  
PREPARED FOR:  
**HARTFORD SOLAR HOLDINGS, LLC**  
56 FINE STREET, 3RD FLOOR PROVIDENCE, RHODE ISLAND 02903  
TEL 401-383-9646

**KEVIN DEMERS**  
REGISTERED PROFESSIONAL ENGINEER  
CIVIL

**Diprete Engineering**

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Boston • Providence • Newport

THIS PLAN AND SPECIFICATIONS FOR CONSTRUCTION PURPOSES ARE THE PROPERTY OF DIPRETE ENGINEERING, INC. AND ARE TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. ANY REUSE OR REPRODUCTION OF THIS PLAN OR SPECIFICATIONS FOR ANY OTHER PROJECT OR SITE WITHOUT THE WRITTEN PERMISSION OF DIPRETE ENGINEERING, INC. IS STRICTLY PROHIBITED. THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE MEANS, METHODS, MATERIALS, AND EQUIPMENT TO BE USED IN THE CONSTRUCTION OF THE PROJECT AND FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. DIPRETE ENGINEERING, INC. IS NOT RESPONSIBLE FOR ANY DAMAGES INCURRED DUE TO LOCATIONS OF EXISTING UTILITIES. SEE UTILITIES MAP ON SHEET 3.

NO.	DATE	DESCRIPTION	DESIGN BY	DATE	BY
1	08-25-2021	RESPONSE TO PUBLIC COMMENTS	JAR		
2	08-25-2021	RESPONSE TO PUBLIC COMMENTS	JAR		
3	08-25-2021	FINAL PLAN SUBMISSION	JAR		
4	08-25-2021	FINAL PLAN SUBMISSION	JAR		
5	08-25-2021	FINAL PLAN SUBMISSION	JAR		

DESIGNED BY: JAR  
DRAWN BY: JAR

Environmental Management  
*Martin A. Seneca*  
AUG 30 2021  
Office of Water Resources

Z:\EPM\PROJECTS\2020-001 RESERVOIR AVENUE SOLAR\AUTOCAD DRAWINGS\2020-001-CAR DWG PLOTTER: 8/26/2021

GENERAL NOTES:

- 1. THE SITE IS LOCATED ON THE CITY OF JOHNSTON ASSESSOR'S PLAT 4.3 LOT 256 & ASSESSOR'S PLAT 54 LOTS 59, 60, AND 75.
2. THE SITE IS APPROXIMATELY 104.6 ACRES AND IS ZONED R40 & B3.
3. THE OWNER OF AP 43 LOT 256: JOYCE GENERALI, TRUSTEE OF THE SILVIO D. GENERALI TRUST 70 CLARKE ROAD BARRINGTON, RI 02806
THE OWNER OF AP 54 LOT 59 & 60 IS: CAROMAR REALTY LLC 1155 ATWOOD AVENUE JOHNSTON, RI 02919
THE OWNER OF AP 54 LOT 75 IS: STETSON KAREN L LE REM STETSON, KING, BEALS C/O I LEWIS DRIVE JOHNSTON, RI 02919
4. THIS SITE IS LOCATED IN FEMA FLOOD ZONE A, ZONE AE AND ZONE X (UNSHADED). REFERENCE FEMA FLOOD INSURANCE RATE MAPS 44007C0283H AND 44007C0284H, MAPS REVISED OCTOBER 2, 2015.
- ZONE A - THIS SITE IS LOCATED IN FEMA FLOOD ZONE A, ZONE A ARE AREAS OF 100-YEAR FLOOD, BASE FLOOD ELEVATIONS AND FLOOD HAZARD FACTORS NOT DETERMINED.
- ZONE AE - THIS SITE IS LOCATED IN FEMA FLOOD ZONE AE, ZONE AE ARE SPECIAL FLOOD HAZARD AREAS INUNDATED BY 100-YEAR FLOOD, BASE FLOOD ELEVATIONS HAVE BEEN DETERMINED.
- ZONE X (UNSHADED) - THIS SITE IS LOCATED IN FEMA FLOOD ZONE X, ZONE X ARE AREAS WHERE THERE IS MINIMAL FLOODING. BRIDGE CONSTRUCTION SET DEPICTS THE RESULTS OF A CLASS I BOUNDARY RETRACEMENT SURVEY AS PERFORMED BY DIPRETE ENGINEERING ASSOCIATES, INC. THIS PLAN IS NOT TO BE CONSTRUED AS A CLASS I BOUNDARY RETRACEMENT SURVEY PLAN AND IS NOT SUITABLE FOR RECORDING AS A CLASS I STANDARD SURVEY PLAN.
5. CONTOUR DATA SHOWN ON THIS PLAN CONFORMS TO A 1-3 TOPOGRAPHICAL SURVEY STANDARD AS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS, PLANIMETRIC FEATURES, CONTOUR LINES, AND SPOT ELEVATIONS WERE COMPILED BY BLUESKY GEOSPATIAL LTD., NORTH ADAMS, MA. FROM DATA THAT IS BASED ON ELEVATION INFORMATION THAT WAS COLLECTED WITH AN OPTIC GALAXY T500 SENSOR CALIBRATED BY TELEDYNE OPTTECH. AERIAL PHOTOGRAPHY ACQUIRED WITH A CO-MOUNTED MEDIUM FORMAT CALIBRATED PHASE ONE CAMERA. VERTICAL ACCURACY IS IN ACCORDANCE WITH NATIONAL STANDARD FOR LIDAR. ACCURACY IS ESTIMATED AT 6 CM RMSE FOR HARD SURFACES AND 12CM RMSE FOR SOFT SURFACES.
7. ALL WORK PERFORMED HEREIN IS TO BE GOVERNED BY CURRENT EDITIONS OF THE RHODE ISLAND STANDARD SPECIFICATIONS AND DETAILS AND SPECIFICATIONS INCLUDED AS PART OF THE DRAWINGS. IN AREAS OF CONFLICT BETWEEN THE DIFFERENT SPECIFICATIONS, THE DESIGN PLANS AND PROJECT SPECIFICATIONS WILL TAKE PRECEDENCE OVER THE GENERAL SPECIFICATIONS AND THE DESIGN ENGINEER WILL INTERPRET THE CONSTRUCTION REQUIREMENT. THE CONTRACTOR IS ADVISED TO SUBMIT A REQUEST FOR INFORMATION (RFI) FOR ANY AREAS OF CONFLICT BEFORE COMMITTING TO CONSTRUCTION.
8. THE SITE IS WITHIN A: NON-COMMUNITY WELLHEAD PROTECTION AREA
9. THE FOLLOWING DOCUMENTS ARE CONSIDERED PART OF THE PROJECT PLANS AND THE CONTRACTOR/ OWNER MUST MAINTAIN THESE DOCUMENTS AS PART OF A FULL PLAN SET:
- SOIL EROSION AND SEDIMENT CONTROL PLAN (SESC). THE SESC CONTAINS THE FOLLOWING:
+ EROSION CONTROL MEASURES
+ SHORT TERM MAINTENANCE
+ ESTABLISHMENT OF VEGETATIVE COVER
+ CONSTRUCTION POLLUTION PREVENTION
+ SEQUENCE OF CONSTRUCTION
- STORMWATER OPERATION AND MAINTENANCE PLAN (OSM). THE OSM CONTAINS:
+ LONG TERM MAINTENANCE
+ LONG TERM POLLUTION PREVENTION
10. THIS PLAN SET REFERENCES RIDOT STANDARD DETAILS (DESIGNATED AS RIDOT STD X.X.X.). RIDOT STANDARD DETAILS ARE AVAILABLE FROM RIDOT AND ONLINE AT: HTTP://WWW.DOT.RI.GOV/BUSINESS/CONTRACTORS/ANDCONSULTANTS.PHP.
11. THE SITE DOES NOT REQUIRE WATER OR SEWER SERVICE.
12. THE DRAINAGE SYSTEM IS DESIGNED TO MEET THE CITY OF JOHNSTON SUBDIVISION AND LAND DEVELOPMENT REGULATIONS WITH THE USE OF GRASS DRAINAGE SWALES AND INFILTRATION BASINS. THE STORMWATER MANAGEMENT SYSTEM MEETS THE RIDOT BEST MANAGEMENT PRACTICES.
13. WETLAND EDGE DELINEATED BY DIPRETE ENGINEERING AND NATURAL RESOURCE SERVICES. WETLANDS SURVEYED BY DIPRETE ENGINEERING USING SUBMETER GPS ON 11-25-2020. WETLAND SERIES NRS# AND FLAGS J05-J06 WERE LOCATED USING THE GROUND SURVEY. FLAGS HAVE BEEN SHOWN PER RIDOT WETLAND EDGE VERIFICATION NO 21-0005. NOTE: FLAG SERIES ASF# HAS BEEN RELABELLED TO NRS# AND ONLY A PORTION OF THE J SERIES (FLAGS J6 TO J220) WERE VERIFIED AS PART OF APPLICATION 21-0005.
14. ANY PROPRIETARY PRODUCTS REFERENCED IN THIS PLAN SET ARE REPRESENTATIVE OF THE MINIMUM DESIGN REQUIREMENTS FOR THE PURPOSE IT PROPOSES TO SERVE. ALTERNATIVES TO ANY PROPRIETARY PRODUCT MAY BE SUBMITTED TO THE ENGINEER OF RECORD FOR CONSIDERATION, WHICH MUST BE ACCOMPANIED BY APPROPRIATE SPECIFICATION SHEETS/ DESIGN CALCULATIONS THAT DEMONSTRATE THE ALTERNATIVES MEET THE MINIMUM DESIGN PARAMETERS OF THE PRODUCT SHOWN ON THE PLANS. NO ALTERNATIVES MAY BE USED WITHOUT THE WRITTEN APPROVAL OF THE ENGINEER OF RECORD.
15. THIS PLAN SET MAY REFERENCE AND/ OR INCLUDE REPRODUCTIONS OF PROPRIETARY PRODUCTS/ DETAILS BY OTHERS, AND/ OR THEIR ASSOCIATED SPECIFICATIONS, ANY REFERENCED OR REPRODUCED PROPRIETARY PRODUCT OR DETAIL BY OTHERS THAT IS SHOWN ON DIPRETE PLANS IS STRICTLY FOR INFORMATIONARY SPECIFICATION PURPOSES ONLY. DIPRETE ENGINEERING DOES NOT WARRANT ANY PROPRIETARY PRODUCTS, DETAILS BY OTHERS OR THEIR RESPECTIVE DESIGNS. IF A DIPRETE ENGINEERING PLAN INCLUDES A PROPRIETARY PRODUCT/ DETAIL BY OTHERS (EITHER EXPLICITLY OR IMPLIED) AND IS STAMPED BY A REGISTERED PROFESSIONAL ENGINEER AND/OR REGISTERED LANDSCAPE ARCHITECT OF DIPRETE ENGINEERING, SAID STAMP DOES NOT EXTEND TO ANY PORTION OF THE PROPRIETARY PRODUCT/ DETAIL BY OTHERS OR ITS DESIGN.

SOIL INFORMATION:

(REFERENCE: SOIL MAPPING OBTAINED FROM RIGIS. SOIL GEOGRAPHIC DATA DEVELOPED BY THE RHODE ISLAND SOIL SURVEY PROGRAM IN PARTNERSHIP WITH THE NATIONAL COOPERATIVE SOIL SURVEY)

Table with 2 columns: SOIL NAME DESCRIPTION, SOIL NAME DESCRIPTION. Rows include C4D, C0B\*, C2C, C0B, R0F, S1A\*, S0B, S0V.

NOTE: \*PRIME FARMLAND

SOIL EROSION AND SEDIMENTATION CONTROL NOTES:

- 1. THE CONTRACTOR IS RESPONSIBLE FOR ALL SOIL EROSION AND SEDIMENT CONTROL ON SITE WHICH MUST BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE APPLICABLE REGULATIONS AND AUTHORITY HAVING JURISDICTION. THE CONTRACTOR IS TO NOTIFY THE DESIGN ENGINEER, THE DIRECTOR OF PUBLIC WORKS, THE TOWN ENGINEER, AND RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
2. ALL EROSION CONTROL INCLUDING (BUT NOT LIMITED TO) TEMPORARY SWALES, TEMPORARY SEDIMENT TRAPS, ETC. TO BE INSTALLED PER THE LATEST EDITION OF THE RHODE ISLAND SOIL EROSION AND SEDIMENTATION CONTROL (RISECS) HANDBOOK AND THE SOIL EROSION & SEDIMENTATION CONTROL PLANS. NOTE THE SOIL EROSION AND SEDIMENT CONTROL SHOWN ON THESE PLANS ARE THE MINIMUM QUANTITY/ TYPE OF EROSION CONTROL DEVICES AND MATERIALS DEEMED REQUIRED BY DIPRETE ENGINEERING TO MEET THE OBJECTIVES OF THE RISECS HANDBOOK, BUT IS CONSIDERED A GUIDE ONLY. ADDITIONAL MEASURES/ ALTERNATE CONFIGURATIONS MAY BE REQUIRED IN ORDER TO MEET THE RISECS HANDBOOK BASED ON FACTORS INCLUDING (BUT NOT LIMITED TO) SITE PARAMETERS, WEATHER, INSPECTIONS AND UNIQUE FEATURES. THE SESC WILL CONTINUE TO EVOLVE THROUGHOUT CONSTRUCTION/PHASES. PURSUANT TO NOTE I ABOVE, SESC REMAINS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL THE SITE IS FULLY STABILIZED AND/ OR SESC RESPONSIBILITIES ARE ASSUMED BY THE OWNER IN WRITING.
3. TEMPORARY SWALES ARE TO BE USED TO CONTROL RUNOFF DURING CONSTRUCTION OF THE PROPOSED SITE WORKS. TEMPORARY SWALES TO BE VEGETATED AFTER CONSTRUCTION. EROSION CONTROL MATS ARE TO BE INSTALLED, IF NECESSARY, TO PREVENT EROSION AND SUPPORT VEGETATION. AFTER CONSTRUCTION IS COMPLETE AND TRIBUTARY AREAS TO THE SWALES HAVE BEEN STABILIZED, THE TEMPORARY SWALES ARE TO BE CLEARED AND FINAL DESIGN, INCLUDING INSTALLATION OF THE GRASS SWALE TO BE PER THE DESIGN PLANS.
4. ONCE THE SEDIMENT TRAPS ARE NO LONGER REQUIRED AND ALL TRIBUTARY AREAS HAVE BEEN STABILIZED, THE TEMPORARY SEDIMENTATION TRAPS ARE TO BE CLEANED AND BROUGHT TO FINAL DESIGN GRADES.
5. FOR SEQUENCE OF CONSTRUCTION, PROJECT PHASING AND CONSTRUCTION PHASING SEE SESC PLAN.
6. CONTRACTOR MAY MODIFY SEQUENCE OF CONSTRUCTION WITH APPROVAL FROM DESIGN ENGINEER AND OWNER.
7. IF CONCRETE TRUCKS ARE WASHED OUT ON SITE, ALL WASHOUT MUST BE COMPLETED IN THE DESIGNATED CONCRETE WASHOUT AREA.

DEMOLITION NOTES:

- 1. CONTRACTOR TO OBTAIN ALL FEDERAL, STATE, AND MUNICIPAL APPROVALS PRIOR TO THE START OF CONSTRUCTION.
2. CONTRACTOR TO PERFORM DAILY SWEEPING AT CONSTRUCTION ENTRANCE DURING DEMOLITION AND CONSTRUCTION TO MINIMIZE SEDIMENTS ON EXTERNAL STREETS.
3. ANY EXISTING BUILDING(S) AND PROPERTY PROPOSED TO REMAIN WHICH ARE DAMAGED BY THE CONTRACTOR MUST BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
4. CONTRACTOR IS RESPONSIBLE FOR REMOVING AND LEGALLY DISPOSING (R&D) ALL MATERIALS INDICATED ON THE PLANS UNLESS SPECIFIED OTHERWISE HEREIN. R&D MATERIALS MUST INCLUDE BUT ARE NOT LIMITED TO PAVEMENT, GRAVEL, CATCH BASINS, MANHOLES, GRATES/FRAMES/COVERS, AND ANY EXCESS SOIL THAT IS NOT INCORPORATED INTO THE WORK.
5. IN ADDITION TO THOSE AREAS SPECIFICALLY DESIGNATED ON THE PLANS, ALL DISTURBED AREAS INCLUDING THE CONTRACTOR'S STOCKPILE AND STAGING AREAS WITHIN THE LIMIT OF WORK MUST BE RESTORED TO MATCH THE DESIGN PLANS.
6. CONTRACTOR MUST DOCUMENT LOCATION OF ALL SUBSURFACE UTILITIES REMAINING IN PLACE AFTER DEMOLITION (ACTIVE AND INACTIVE/ABANDONED). LOCATION MUST BE DOCUMENTED BY FIELD SURVEY OR SWING TIES. COPIES OF LOCATION DOCUMENTATION MUST BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF DEMOLITION AND PRIOR TO START OF NEW CONSTRUCTION. A MARKER MUST BE INSTALLED TO FINISH GROUND AT ALL INSTALLED CAPS/PIES. THE MARKER CAN BE A POST IN CONSTRUCTION AREAS OR PAINTED ON A PERMANENT SURFACE.
7. ACTIVE UTILITY LINES AND STRUCTURES NOT SPECIFICALLY NOTED ON PLANS, BUT WHICH ARE ENCOUNTERED TO BE IN CONFLICT WITH THE PROPOSED WORK, MUST BE EXTENDED, PROTECTED, OR REWORKED BY THE CONTRACTOR AS DIRECTED OR REQUIRED BY THE UTILITY ENTITY OR OWNER UNLESS OTHERWISE NOTED.
8. CONTRACTOR MUST COORDINATE THE CUTTING AND CAPPING OF ALL UTILITIES WITH THE OWNER, THE MUNICIPALITY, AND ALL APPLICABLE UTILITY ENTITIES HAVING JURISDICTION.
9. INACTIVE SUBSURFACE UTILITIES NOT IN CONFLICT WITH THE PROPOSED WORK AREA MAY BE ABANDONED IN PLACE WITH WRITTEN PERMISSION FROM THE OWNER.

TRAFFIC NOTES:

- 1. INCOMING TRAFFIC WILL ACCESS THE SITE THE 'RETAIL DISTRIBUTION CENTER' FROM HARTFORD AVENUE, AND MUST CONFORM TO THE TRAFFIC CONTROL REQUIREMENTS OF THIS PROJECT.

SITE LAYOUT AND MATERIALS:

- 1. SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THEIR ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR MUST REFER TO THE DETAIL SHEET DIMENSIONS, MANUFACTURERS' LITERATURE, SHOP DRAWINGS AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.
2. SEE SOLAR DESIGN DRAWINGS FOR EXACT SOLAR STRUCTURE DIMENSIONS AND DETAILS.
3. PROPOSED BOUNDS AND ANY EXISTING PROPERTY LINE MONUMENTATION DISTURBED DURING CONSTRUCTION MUST BE SET OR RESET BY A PROFESSIONAL LICENSED SURVEYOR.
4. CONTRACTOR MUST NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS, AND DATA FILES THAT ARE OBTAINED FROM THE DESIGNERS. CONTRACTOR MUST VERIFY LOCATION OF PROJECT FEATURES IN ACCORDANCE WITH THE STAMPED PAPER COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.
5. NO NEW WELLS OR OWTS PROPOSED. THE SITE IS NOT PROPOSED TO BE SERVICE BY PUBLIC WATER OR SEWER.
6. ALL ELECTRICAL CONNECTION AND DISTRIBUTION LINES WITHIN THE FACILITY MUST BE UNDERGROUND. ELECTRICAL EQUIPMENT BETWEEN THE FACILITY AND THE UTILITY CONNECTION MAY BE ABOVE GROUND IF REQUIRED BY THE UTILITY.
7. NO NEW LIGHTING INSTALLATIONS ARE PROPOSED.
8. PROPOSED SIGNAGE IS LIMITED TO SECURITY SIGNS (OR SIMILAR) INSTALLED ON THE FACILITY PERIMETER FENCING.
9. 20' MINIMUM SEPARATION IS REQUIRED BETWEEN THE SOLAR ARRAY AND THE PERIMETER FENCE.
10. PERIMETER FENCE TO BE 6 FEET IN HEIGHT MINIMUM AND MAINTAIN 6" OF GROUND CLEARANCE TO ALLOW FOR WILDLIFE PASSAGE.
11. GROUND MOUNTED SOLAR INSTALLATIONS NOT TO EXCEED 12 FEET IN HEIGHT.

GRADING AND UTILITY NOTES:

- 1. CONSTRUCTION TO COMMENCE SUMMER 2021 OR UPON RECEIPT OF ALL NECESSARY APPROVALS.
2. THE CONTRACTOR MUST COORDINATE WITH ALL OF THE APPROPRIATE UTILITY COMPANIES FOR AGREEMENTS TO SERVICE THE PROPOSED SOLAR FACILITY. THIS MUST BE DONE PRIOR TO CONSTRUCTION. NO REPRESENTATIONS ARE MADE BY DIPRETE ENGINEERING THAT UTILITY SERVICE IS AVAILABLE.
3. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING FINISH GRADING AND DRAINAGE AROUND THE PANELS FOR EACH TO ENSURE SURFACE WATER AND/OR GROUNDWATER ARE DIRECTED AWAY FROM THE STRUCTURE.
4. ALL PROPOSED UNDERGROUND UTILITIES SERVING THE SITE TO BE COORDINATED WITH OWNER, SOLAR ENGINEER, AND ENGINEER PRIOR TO INSTALLATION.
5. ALL RETAINING WALLS AND STEEP SLOPES ARE SUBJECT TO FINAL STRUCTURAL DESIGN. DIPRETE ENGINEERING IS NOT PROVIDING THE STRUCTURAL DESIGN OF THESE ITEMS. ALL WALLS AND STEEP SLOPES ARE TO BE DESIGNED AND BUILT UNDER THE DIRECTION OF A RHODE ISLAND LICENSED PROFESSIONAL ENGINEER SUITABLY QUALIFIED IN GEOTECHNICAL ENGINEERING AND CERTIFIED TO THE OWNER PRIOR TO THE COMPLETION OF THE PROJECT. SHOP DRAWINGS TO BE SUBMITTED PRIOR TO CONSTRUCTION. FINAL STRUCTURAL DESIGN MUST INCORPORATE THE INTENT OF THE GRADING SHOWN ON THESE PLANS AND ALL WORK MUST BE WITHIN THE LIMIT OF DISTURBANCE SHOWN ON THE PLANS.
6. ALL CUT AND FILL AREAS ARE TO BE DONE UNDER THE DIRECTION OF A PROFESSIONAL GEOTECHNICAL ENGINEER WITH TESTING AND CERTIFICATION TO BE PROVIDED TO THE APPLICANT AT THE COMPLETION OF THE PROJECT. DIPRETE ENGINEERING IS NOT PROVIDING THE FULL SPECIFICATION, GEOTECHNICAL ENGINEERING, STRUCTURAL ENGINEERING SERVICES, OR SUPERVISION AS PART OF THESE DRAWINGS.
7. NO STOCKPILING OF MATERIAL TO BE LOCATED IN THE RIGHT OF WAY AND NO OPEN TRENCHES ARE TO BE LEFT OVERNIGHT.
8. ALL LOAM IN DISTURBED AREAS TO BE STOCKPILED FOR FUTURE USE. ALL STOCKPILED LOAM MUST BE REUSED ON SITE.
9. ALL EXCESS SOIL, TREES, ROCKS, BOULDERS, AND OTHER REFUSE, MUST BE DISCARDED OFF SITE IN AN ACCEPTABLE MANNER AT AN APPROVED LOCATION. STUMPS MUST BE GROUND ON SITE OR REMOVED.
10. NO STUMP DUMPS ARE PROPOSED ON SITE.
11. ALL DRAINAGE OUTFALLS ARE DESIGNED TO BE INSTALLED AT EXISTING GROUND ELEVATION. CONTRACTOR MUST NOTIFY THE DIPRETE ENGINEERING OF ANY DISCREPANCIES WHERE EXISTING GROUND IS HIGHER THAN OUTFALL DESIGN ELEVATION IMMEDIATELY. ANY RESOLUTION OF DISCREPANCIES BY THE CONTRACTOR, UNLESS AUTHORIZED IN WRITING IN ADVANCE BY THE OWNER AND DIPRETE ENGINEERING, IS DONE AT THE CONTRACTOR'S RISK.
12. ELECTRIC PROPOSED ELECTRIC UTILITIES ARE SHOWN SCHEMATICALLY AND ARE PROPOSED TO BE UNDERGROUND. OWNER & CONTRACTOR TO COORDINATE FINAL DESIGN WITH APPROPRIATE UTILITY COMPANIES. ALL WORK TO BE IN ACCORDANCE WITH EACH UTILITY COMPANY'S STANDARDS AND DETAILS AS WELL AS LOCAL AND FEDERAL REGULATIONS. THIS INCLUDES BUT IS NOT LIMITED TO, POLES, TRANSFORMERS, PULL BOXES, CONCRETE ENCASUREMENTS AND CONDUITS. CONNECTION POINTS FOR ELECTRIC AND TELECOM UTILITIES, AT THE EXISTING INFRASTRUCTURE ARE CURRENTLY SHOWN AS UNDERGROUND UTILITIES. THESE UTILITIES MAY BE UNDERGROUND OR OVERHEAD AND WILL BE COORDINATED WITH NATIONAL GRID PRIOR TO CONSTRUCTION.
13. SITE LIGHTING (TEMPORARY AND PERMANENT) MUST BE DIRECTED AWAY FROM AND SHIELDED FROM ENVIRONMENTALLY SENSITIVE AREAS AND ABUTTING LANDS. EXACT LOCATIONS OF LIGHT POLE TO BE COORDINATED WITH OTHER UTILITIES AND TO BE LOCATED WITHIN THE STREET RIGHTS OF WAY. FINAL LIGHTING AND CONDUIT LOCATIONS BY OTHERS.

ABBREVIATIONS LEGEND:

Table with 2 columns: Abbreviation, Description. Includes ADA, AHJ, AP, ARCH, BC, BT, BION, BIT, BORE, R&D, BS, BW, CB, CA, CLDIP, CONC, DCB, DI, DMH, DP, ELEV, EOP, ESC, EX, FES, FF, GSE, GWT, HW, HC, HOPE, ID, INV, IP, LARCH, LF, LOD, LP, (M), MEP, N/F, OHW, PE, PL, PVC, R, RADIUS, R&D, RCP, RHODE ISLAND, HIGHWAY BOUND, RL, ROW, S, SD, SED, SF, SFL, SPM, SG, SHL, SMH, SNDF, SS, STA, STATION, TC, TD, TF, TRANS, TW, TYP, UDS, UIS, UPL, WQ, etc.

EXISTING LEGEND:

(AS SHOWN ON PROPOSED PLANS) NOT ALL ITEMS SHOWN WILL APPEAR ON PLANS

Table with 2 columns: Symbol, Description. Includes Property Line, Assessors Line, Building, Fence, Retaining Wall, Stone Wall, Minor Contour Line, Major Contour Line, Water Line, Sewer Line, Gas Line, Electric Line, Overhead Wires, Drainage Line, Soils Lines, 50' Perimeter Wetland, 100' Riverbank Wetland, 200' Riverbank Wetland, FEMA Boundary, Stream, Wetland Line & Flag, State Highway Line, State Freeway Line, Groundwater Overlay, Groundwater Recharge Area, Groundwater Reservoir, Natural Heritage, Community Wellhead Protection, Non-Community Wellhead Protection, Nail Found/Set, Drill Hole Found/Set, Bound Found/Set, Sign, Bollard, Soil Evaluation, Catch Basin, Double Catch Basin, Flared End Section, Guy Pole, Electric Manhole, Utility/Power Pole, Lightpost, Sewer/Septic Manhole, Sewer Valve, Cleanout, Hydrant, Irrigation Valve, Water Valve, Well, Monitoring Well, Gas Valve, Unknown Manhole, Stream Flow Direction, 50' Perimeter Wetland Hatch to be Verified Under this Application, Wetland Hatch from Verification Number 21-0005, 50' Perimeter Wetland Hatch from Verification Number 21-0005.

PROPOSED LEGEND:

NOT ALL ITEMS SHOWN WILL APPEAR ON PLANS

Table with 2 columns: Symbol, Description. Includes Property Line, Building Setbacks, Chain Link Fence, Guardrail, Retaining Wall, Minor Contour Line, Major Contour Line, Spot Elevation, Edge of Pavement, Bituminous Berm, Concrete Curb, Solar Panel Array, Crushed Stone Access Path, Building Footprint, Building Overhang, Asphalt Pavement, Heavy Duty Asphalt Pavement, Heavy Duty Concrete, Concrete, Asphalt Sidewalk, Sawcut Line, Sign, Single Light, Double Light, Overhanging Light, Accessible Parking Space Symbols, Building Ingress/Egress, Drainage Line, Perforated Subdrain, Swale, Sewer Force Main, Gas Line, Water Line, Hydrant Assembly, Water Shut Off, Water Valve, Thrust Block, Sewer Line, Overhead Wire, Electric, Telephone, Cable Line, Limit of Disturbance/Limit of Clearing, Sedimentation Barrier, Silt Fence, Compost Sock or Approved Equal, Slopes Steeper than 3:1 (2:1 or 1:1 Slopes), Underground Infiltration Outline, Pond Access, Riprap, Sand Filter, Manhole, Flared End Section, Headwall, MANNHOLE, FLARED END SECTION, HEADWALL.

UTILITY NOTE:

ALL UNDERGROUND UTILITIES SHOWN ON THESE PLANS WERE PROVIDED BY OTHERS AND THE CONTRACTOR MUST BE DETERMINED IN THE FIELD BEFORE EXCAVATION, BLASTING, UTILITY INSTALLATION, BACKFILLING, GRADING, PAVEMENT RESTORATION, AND ALL OTHER SITE WORK. ALL UTILITY COMPANIES, PUBLIC AND PRIVATE, MUST BE CONTACTED INCLUDING THOSE IN CONTROL OF UTILITIES NOT SHOWN ON THESE DOCUMENTS. CONTACT DIG SAFE A MINIMUM OF 72 WORKING HOURS PRIOR TO ANY CONSTRUCTION AT 811. DIG SAFE IS RESPONSIBLE FOR CONTACTING MEMBER UTILITY COMPANIES. DIG SAFE MEMBER UTILITY COMPANIES ARE RESPONSIBLE TO MARK ONLY THE FACILITIES THAT THEY OWN OR MAINTAIN. NON DIG SAFE MEMBER COMPANIES ARE NOT NOTIFIED BY DIG SAFE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INVESTIGATE AND NOTIFY IF ANY PRIVATELY OWNED OR NON DIG SAFE MEMBER UTILITIES ARE IN THE AREA.
PER THE CODE OF FEDERAL REGULATIONS - TITLE 29, PART 1926 IT IS THE SITE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ACCURATE UNDERGROUND UTILITY LOCATION INFORMATION FROM THE UTILITY COMPANIES, UTILITY OWNERS AND/OR VIA UNDERGROUND UTILITY LOCATION EQUIPMENT AS NEEDED TO ESTABLISH ACCURATE LOCATIONS PRIOR TO ANY EXCAVATION. THE USE OF PROFESSIONAL UTILITY LOCATING COMPANIES PRIOR TO ANY EXCAVATION IS RECOMMENDED.
DIPRETE ENGINEERING IS NOT A PROFESSIONAL UTILITY LOCATION COMPANY, AND IS NOT RESPONSIBLE FOR UNDERGROUND UTILITIES, DEPICTED OR NOT, EITHER IN SERVICE OR ABANDONED, ANY SIZES. LOCATIONS, EXISTENCE, OR LACK OF EXISTENCE OF UTILITIES SHOWN ON THESE PLANS SHOULD BE CONSIDERED APPROXIMATE UNTIL VERIFIED BY A PROFESSIONAL UTILITY LOCATION COMPANY. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED.

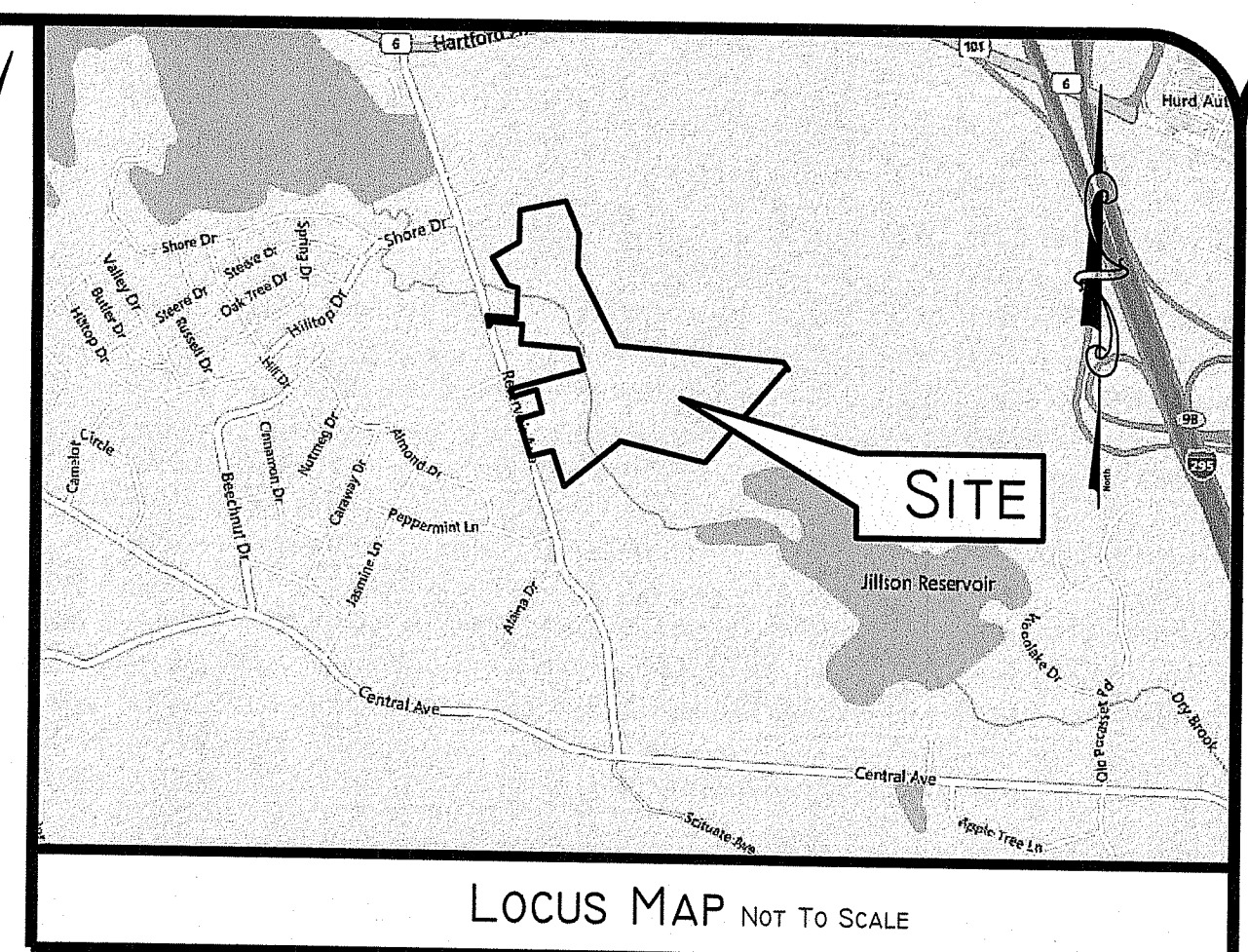
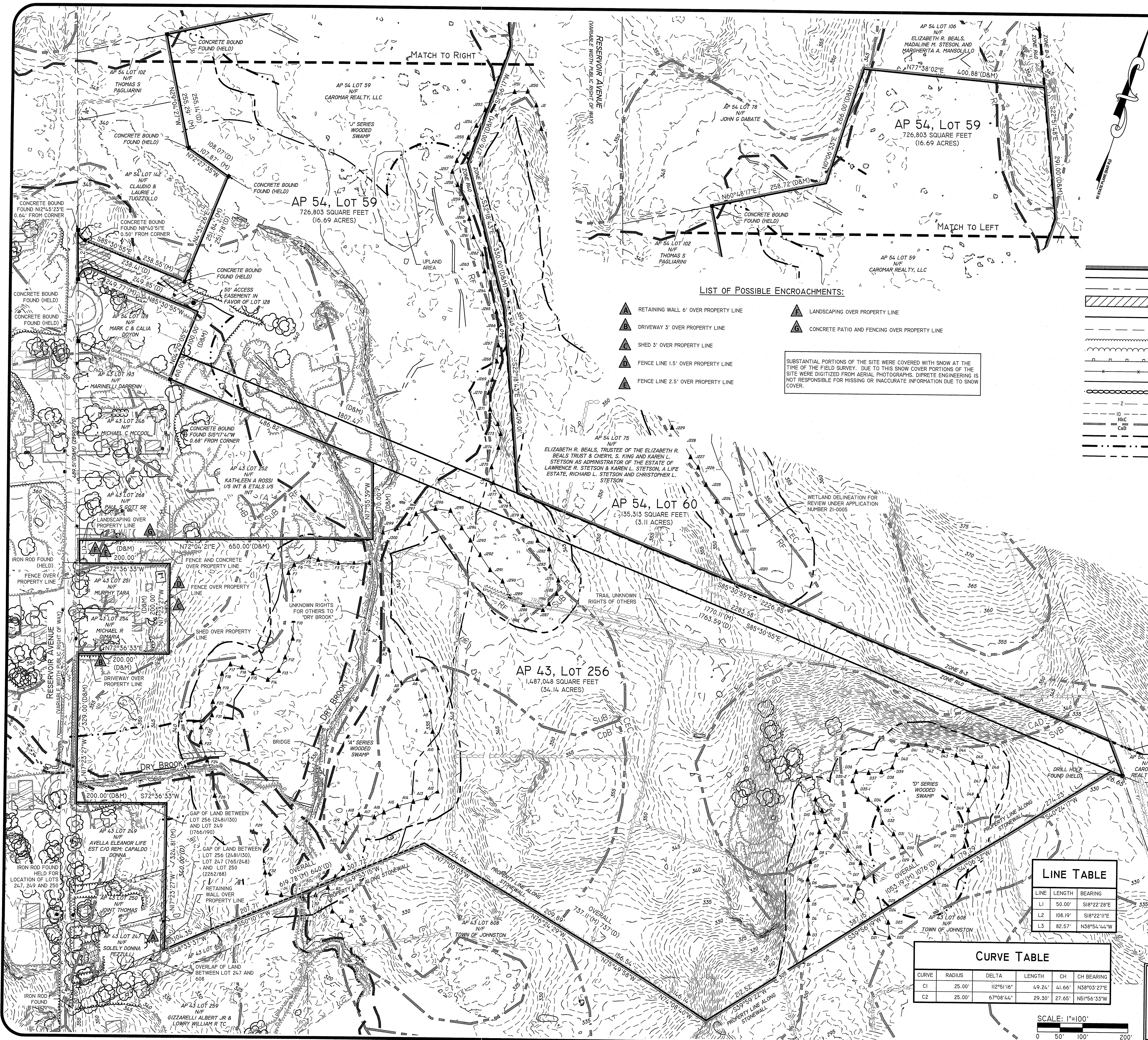
Diprete Engineering logo and contact information: Two Stafford Court, Cranston, RI 02920. Tel: 401-943-1000, Fax: 401-943-6006, www.diprete-eng.com. Boston Providence Newport.

Professional Engineer seal for Kevin Demers, Registered Professional Engineer, Civil.

THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS IT IS STAMPED BY A REGISTERED PROFESSIONAL ENGINEER AND APPROVED BY THE ENGINEER OF RECORD.
DIPRETE ENGINEERING ONLY WARRANTS PLANS ON A DIPRETE PROFESSIONAL ENGINEER'S SEAL. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED BY ANY OTHER PARTY.
NETWORK, SAFETY, PRECAUTIONS AND REQUIREMENTS AND OTHER INFORMATION IN THE IMPLEMENTATION OF THIS PLAN AND DESIGN SHALL BE THE RESPONSIBILITY OF THE USER.

Table with 4 columns: No., Date, Description, Drawn By. Includes entries for 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT OFFICE OF WATER RESOURCES FRESHWATER WETLANDS PROGRAM APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL. AUG 30 2021. Office of Water Resources. DEPARTMENT OF ENVIRONMENTAL MANAGEMENT OFFICE OF WATER RESOURCES FRESHWATER WETLANDS PROGRAM APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL. DATED SEP 14 2021 FILE NO. 21-0017. NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL APPROVED PLANS MUST BE AT CONSTRUCTION SITE.
PREPARED FOR: HARTFORD SOLAR HOLDINGS, LLC ASSESSOR'S PLAT 4.3 LOT 256 & ASSESSOR'S PLAT 54 LOT 59, 60, 75 JOHNSTON, RHODE ISLAND
66 PINE STREET, 3RD FLOOR PROVIDENCE, RHODE ISLAND 02903 TEL 401-383-9646



**EXISTING LEGEND**  
NOT ALL ITEMS SHOWN WILL APPEAR ON PLANS

PROPERTY LINE	— X — X —	FEMA BOUNDARY
INTERIOR PROPERTY LINE	— X —	STREAM
ASSESSORS LINE	— B1 — B2 —	WETLAND LINE & FLAG
BUILDING	[Hatched Box]	TREE
NON-COMMUNITY WELLHEAD PROTECTION AREA	[Circle with X]	ROCK/BOULDER
ZONE LINE	[Dashed Line]	NAIL FOUND/SET
BRUSHLINE	[Wavy Line]	DRILL HOLE FOUND/SET
TREELINE	[Dotted Line]	IRON ROD/PIPE FOUND/SET
GUARDRAIL	[Line with X's]	BOUND FOUND/SET
FENCE	[Line with X's]	UTILITY/POWER POLE
RETAINING WALL	[Line with X's]	ASSESSOR'S PLAT
STONE WALL	[Line with X's]	NOW OR FORMERLY
MINOR CONTOUR LINE	[Dashed Line]	DEED
MAJOR CONTOUR LINE	[Dashed Line]	MEASURED
SOILS LINES	[Dashed Line]	CHORD ANGLE
50' PERIMETER WETLAND	[Dashed Line]	HC
100' RIVERBANK WETLAND	[Dashed Line]	HANDICAPPED
200' RIVERBANK WETLAND	[Dashed Line]	

**LIST OF POSSIBLE ENCROACHMENTS:**

- A** RETAINING WALL 6' OVER PROPERTY LINE
- B** DRIVEWAY 3' OVER PROPERTY LINE
- C** SHED 3' OVER PROPERTY LINE
- D** FENCE LINE 1.5' OVER PROPERTY LINE
- E** FENCE LINE 2.5' OVER PROPERTY LINE
- F** LANDSCAPING OVER PROPERTY LINE
- G** CONCRETE PATIO AND FENCING OVER PROPERTY LINE

SUBSTANTIAL PORTIONS OF THE SITE WERE COVERED WITH SNOW AT THE TIME OF THE FIELD SURVEY. DUE TO THIS SNOW COVER PORTIONS OF THE SITE WERE DIGITIZED FROM AERIAL PHOTOGRAPHS. DIPRETE ENGINEERING IS NOT RESPONSIBLE FOR MISSING OR INACCURATE INFORMATION DUE TO SNOW COVER.

**GENERAL NOTES**

- THE PARCEL IS FOUND ON ASSESSOR'S PLAT 54, LOT 59 & 60 AND ASSESSOR'S PLAT 43, LOT 256 IN THE TOWN OF JOHNSTON, PROVIDENCE COUNTY, RHODE ISLAND.
- THE OWNER OF:
  - LOT 59 PER DEED BOOK 1391, PAGE 77 IS CAROMAR REALTY, LLC.
  - LOT 60 PER DEED BOOK 1391, PAGE 83 IS CAROMAR REALTY, LLC.
  - LOT 256 PER DEED BOOK 2481, PAGE 130 IS THE SILVO D. GENERALI REVOCABLE TRUST.
- BASED ON GRAPHICAL PLOTTING ONLY, THE PARCEL IS LOCATED IN ZONE X, ZONE A AND ZONE AE (ASSOCIATED WITH DRY BROOK) PER FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAPS 440070283H AND 44070284H, DATED OCTOBER 2, 2015. THIS DESIGNATION MAY CHANGE BASED UPON REVIEW BY A FLOOD ZONE SPECIALIST OR BY THE RESULTS OF A COMPREHENSIVE FLOOD STUDY.
- THE PARCEL IS ZONED R-40 BASED ON THE TOWN OF JOHNSTON ONLINE GIS. ANY OVERLAY DISTRICTS, SPECIAL PERMITS OR VARIANCES SPECIFIC TO THIS SITE ARE NOT TAKEN INTO CONSIDERATION. PLEASE CONTACT THE ZONING DEPARTMENT FOR ANY ADDITIONAL INFORMATION OR FOR A CERTIFICATE OF ZONING.
- SUBSTANTIAL PORTIONS OF THE SITE WERE COVERED WITH SNOW AT THE TIME OF THE FIELD SURVEY. DUE TO THIS SNOW COVER PORTIONS OF THE SITE WERE DIGITIZED FROM AERIAL PHOTOGRAPHS. DIPRETE ENGINEERING IS NOT RESPONSIBLE FOR MISSING OR INACCURATE INFORMATION DUE TO SNOW COVER.
- CONTOUR DATA SHOWN ON THIS PLAN CONFORMS TO A T-3 TOPOGRAPHICAL SURVEY STANDARD AS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS. PLANIMETRIC FEATURES, CONTOUR LINES, AND SPOT ELEVATIONS WERE COMPILED BY BLUESKY GEOSPATIAL LTD., NORTH ADAMS, MA. FROM DATA THAT IS BASED ON ELEVATION INFORMATION THAT WAS COLLECTED WITH AN OPTIC GALAXY 1500 SENSOR CALIBRATED BY TELEBYNE OPTIC. THE AERIAL PHOTOGRAPHY WAS ACQUIRED WITH A CO-MOUNTED MEDIUM FORMAT CALIBRATED PHASE ONE CAMERA. VERTICAL ACCURACY IS IN ACCORDANCE WITH NATIONAL STANDARD FOR LIDAR. ACCURACY IS ESTIMATED AT 6 CM RMSE FOR HARD SURFACES AND 12 CM RMSE FOR SOFT SURFACES.

**PLAN REFERENCES:**

- "FINAL ADMINISTRATIVE SUBDIVISION" RESERVOIR AVENUE - MITTLEMAN IN JOHNSTON, RHODE ISLAND, FOR RICHARD S. MITTLEMAN (RHODE ISLAND SUPERIOR COURT APPOINTED MASTER), DESIGNATED AS ASSESSOR'S PLAT 54, LOTS 59, 102, AND 142, SCALE 1"=50', DATED MARCH 29, 2004, PLAN BY HALL & MCCHESENEY INC., RECORDED IN BOOK 3, PAGE 170.
- HARTFORD AVENUE, SANDMOOR REALTY, LLC AND ZAREMBA GROUP, LLC, JOHNSTON, RHODE ISLAND, ADMINISTRATIVE SUBDIVISION FINAL PLAN, RECORD PLAN PROPERTY LINE PLAN ASSESSOR'S PLAT 43, 53, 79, & 79, SCALE 1"=50', DATED NOVEMBER 15, 2005, PLAN BY VHB INC. RECORDED IN BOOK 3, PAGE 192.
- AP 43- LOTS 9 & 267 OFF OLD POCASSEY ROAD, JOHNSTON, RHODE ISLAND, SCALE 1"=100', DATED SEPTEMBER, 2008, PLAN BY INTERNATIONAL MAPPING & SURVEYING CORP.
- PLAN OF LAND IN JOHNSTON RI BELONG TO RAYMATH REALTY CORP. PLAN BY DRURY SURVEYING, INC. DATED MAY 1989. PLAT BOOK 2, PAGE 76.
- SURVEY PLAN PREPARED FOR NICK K THOMAS AND GEORGE P GIONIS. PLAN BY KWP ASSOCIATES, DATED JULY 12, 1996. PLAT BOOK 2, PAGE 122.
- PLAN OF LAND, PLAN CARD 103.
- MAP OF THE WM SMITH ESTATE IN JOHNSTON RI. PLAN BY JA LATHAM, DATED APRIL 1897. PLAN CARD 117.
- MAP OF LAND IN JOHNSTON, RI TO BE CONVEYED TO THE TOWN OF JOHNSTON BY CRANSTON PRINT WORKS COMPANY. PLAN BY WATERMAN ENGINEERING COMPANY, DATED DECEMBER 1969. PLAN CARD 187.

**SURVEYOR'S CERTIFICATE**

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 1-2 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:

- TOPOGRAPHIC SURVEY
- COMPREHENSIVE BOUNDARY SURVEY

THE PURPOSE FOR THE CONDUCT OF THIS SURVEY OR ENVIRONMENTAL MANAGEMENT IS AS FOLLOWS: PERIMETER RETRACED SURVEY OF ENVIRONMENTAL MANAGEMENT.

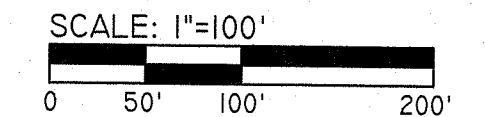
Environmental Management  
AUG 30 2021  
Office of Water Resources  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS  
AS SPECIFIED IN THE LETTER OF APPROVAL  
DATE SEP 07 2021 FILE # 21-013  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
APPROVED BY: [Signature]  
ROBERT G. BABCOCK, RIPLS #2504, COA #1.S.000A160

**LINE TABLE**

LINE	LENGTH	BEARING
L1	50.00'	S18°22'28"E
L2	108.19'	S18°22'11"E
L3	82.57'	N38°54'44"W

**CURVE TABLE**

CURVE	RADIUS	DELTA	LENGTH	CH	CH BEARING
C1	25.00'	122°51'16"	49.24'	41.66'	N38°03'27"E
C2	25.00'	67°08'44"	29.30'	27.65'	N51°56'33"W



**ROBERT G. BABCOCK**  
No. 2504  
PROFESSIONAL LAND SURVEYOR

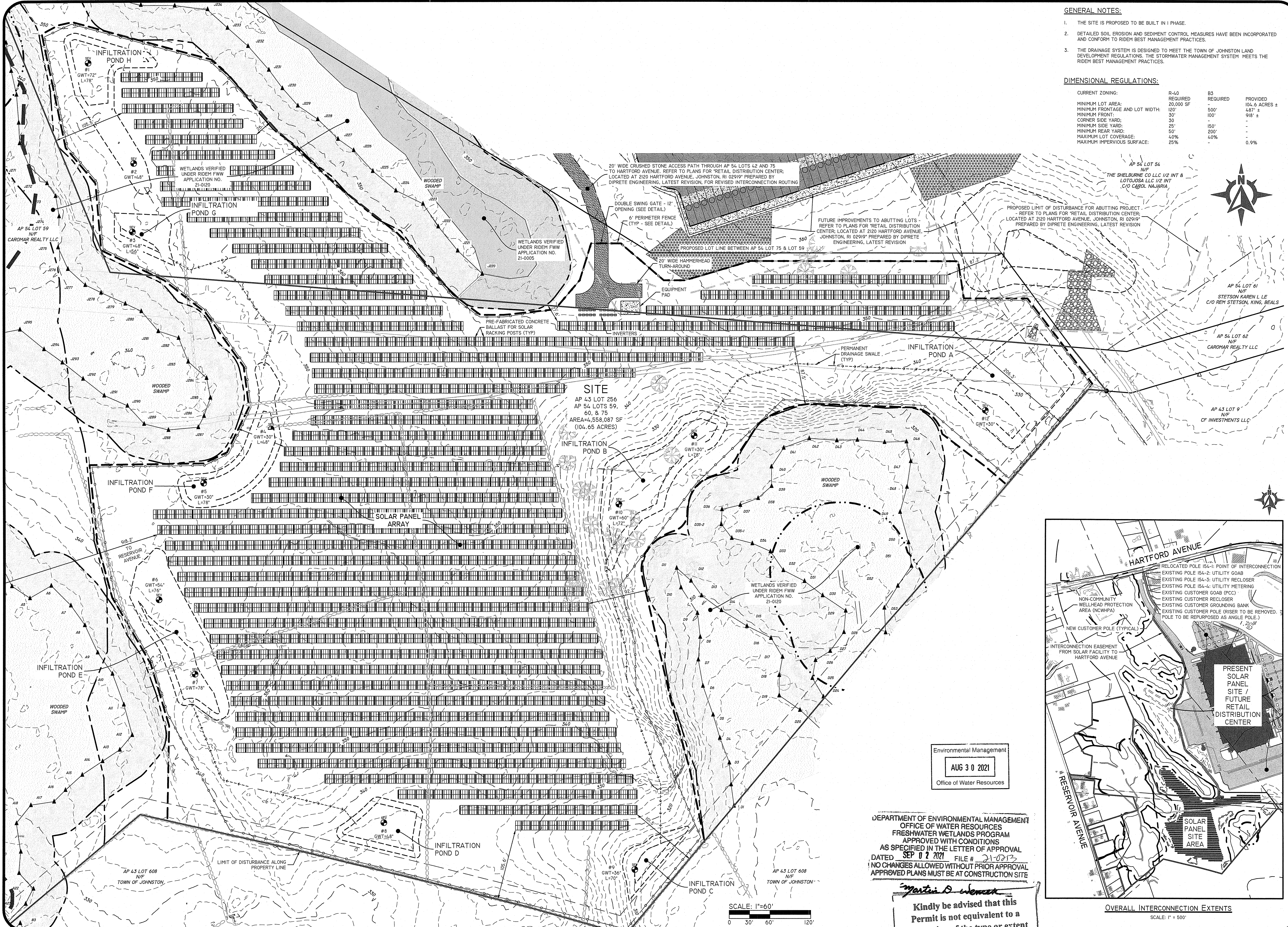
**Diprete Engineering**  
Two Stafford Court, Cranston, RI 02920  
tel: 401-943-1000 fax: 401-464-6006 www.diprete-eng.com  
Boston • Providence • Newport

**KEVIN DEMERS**  
REGISTERED PROFESSIONAL ENGINEER  
CIVIL

Many be advised that this permit is not equivalent to a permit of the type or extent of freshwater wetlands on site.

**EXISTING CONDITIONS PLAN**  
ALTUS POWER AMERICA SOLAR RELOCATION  
ASSESSOR'S MAP 43 LOT 256 & ASSESSOR'S MAP 54 LOT 60, 59, 75  
JOHNSTON, RHODE ISLAND  
PREPARED FOR:  
**HARTFORD SOLAR HOLDINGS, LLC**  
56 PINE STREET, 3RD FLOOR, PROVIDENCE, RHODE ISLAND 02903  
TEL 401-383-9646  
SHEET 4 OF 10





- GENERAL NOTES:**
- THE SITE IS PROPOSED TO BE BUILT IN 1 PHASE.
  - DETAILED SOIL EROSION AND SEDIMENT CONTROL MEASURES HAVE BEEN INCORPORATED AND CONFORM TO RIDEM BEST MANAGEMENT PRACTICES.
  - THE DRAINAGE SYSTEM IS DESIGNED TO MEET THE TOWN OF JOHNSTON LAND DEVELOPMENT REGULATIONS. THE STORMWATER MANAGEMENT SYSTEM MEETS THE RIDEM BEST MANAGEMENT PRACTICES.
- DIMENSIONAL REGULATIONS:**
- | CURRENT ZONING:                 | R-40 REQUIRED | B3 REQUIRED   | PROVIDED      |
|---------------------------------|---------------|---------------|---------------|
| MINIMUM LOT AREA:               | 20,000 SF     | 104,6 ACRES ± | 104,6 ACRES ± |
| MINIMUM FRONTAGE AND LOT WIDTH: | 120'          | 500'          | 487' ±        |
| MINIMUM FRONT:                  | 33'           | 100'          | 918' ±        |
| CORNER SIDE YARD:               | 30'           | -             | -             |
| MINIMUM SIDE YARD:              | 25'           | 150'          | -             |
| MINIMUM REAR YARD:              | 50'           | 200'          | -             |
| MAXIMUM LOT COVERAGE:           | 4.0%          | 4.0%          | -             |
| MAXIMUM IMPERVIOUS SURFACE:     | 25%           | 4.0%          | 0.9%          |

**DiPrete Engineering**  
 Two Stafford Court, Cranston, RI 02920  
 Tel: 401-943-1000, Fax: 401-464-6066, www.diprete-eng.com  
 Boston · Providence · Newport

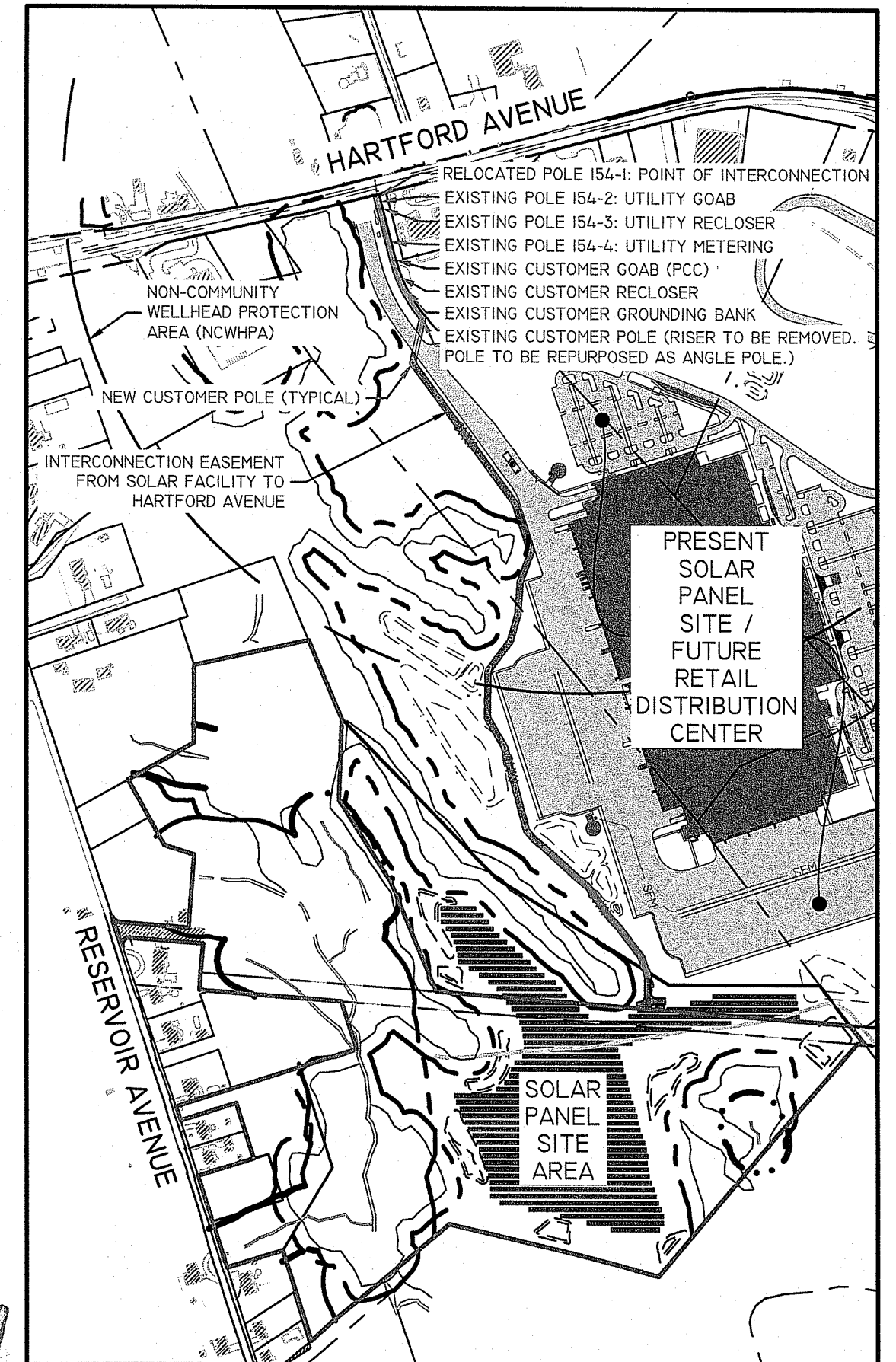
**KEVIN DEMERS**  
 REGISTERED PROFESSIONAL ENGINEER  
 CIVIL

THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS SPECIFICALLY STATED FOR CONSTRUCTION AND STAMPED BY DIPRETE ENGINEERING. UNLESS OTHERWISE SPECIFIED, ALL DIMENSIONS ARE IN FEET AND DECIMALS THEREOF.

DIPRETE ENGINEERING ONLY WARRANTS PLANS ON A DIPRETE PROFESSIONAL ENGINEER'S SEAL AND SIGNATURE. DIPRETE ENGINEERING DOES NOT WARRANT PLANS BY ANY OTHER PARTY. THE USER ASSUMES ALL RESPONSIBILITY FOR THE ACCURACY AND COMPLETENESS OF THE INFORMATION AND DATA PROVIDED AND FOR THE PERFORMANCE OF THE PROJECT. THE USER ASSUMES ALL RESPONSIBILITY FOR THE ACCURACY AND COMPLETENESS OF THE INFORMATION AND DATA PROVIDED AND FOR THE PERFORMANCE OF THE PROJECT. THE USER ASSUMES ALL RESPONSIBILITY FOR THE ACCURACY AND COMPLETENESS OF THE INFORMATION AND DATA PROVIDED AND FOR THE PERFORMANCE OF THE PROJECT.

NO.	DATE	DESCRIPTION
1	08-23-2021	RESPONSE TO REVISIONS
2	07-02-2021	PRELIMINARY SUBMISSION
3	05-27-2021	PRELIMINARY SUBMISSION

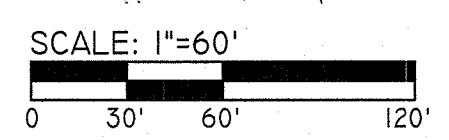
DESIGN BY: KDJ / JAR  
 DRAWN BY: JAR



Environmental Management  
**AUG 3 0 2021**  
 Office of Water Resources

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
 OFFICE OF WATER RESOURCES  
 FRESHWATER WETLANDS PROGRAM  
 APPROVED WITH CONDITIONS  
 AS SPECIFIED IN THE LETTER OF APPROVAL  
 DATED **SEP 02 2021** FILE # **21-0213**  
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

*Martin D. Wenzel*  
 Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.

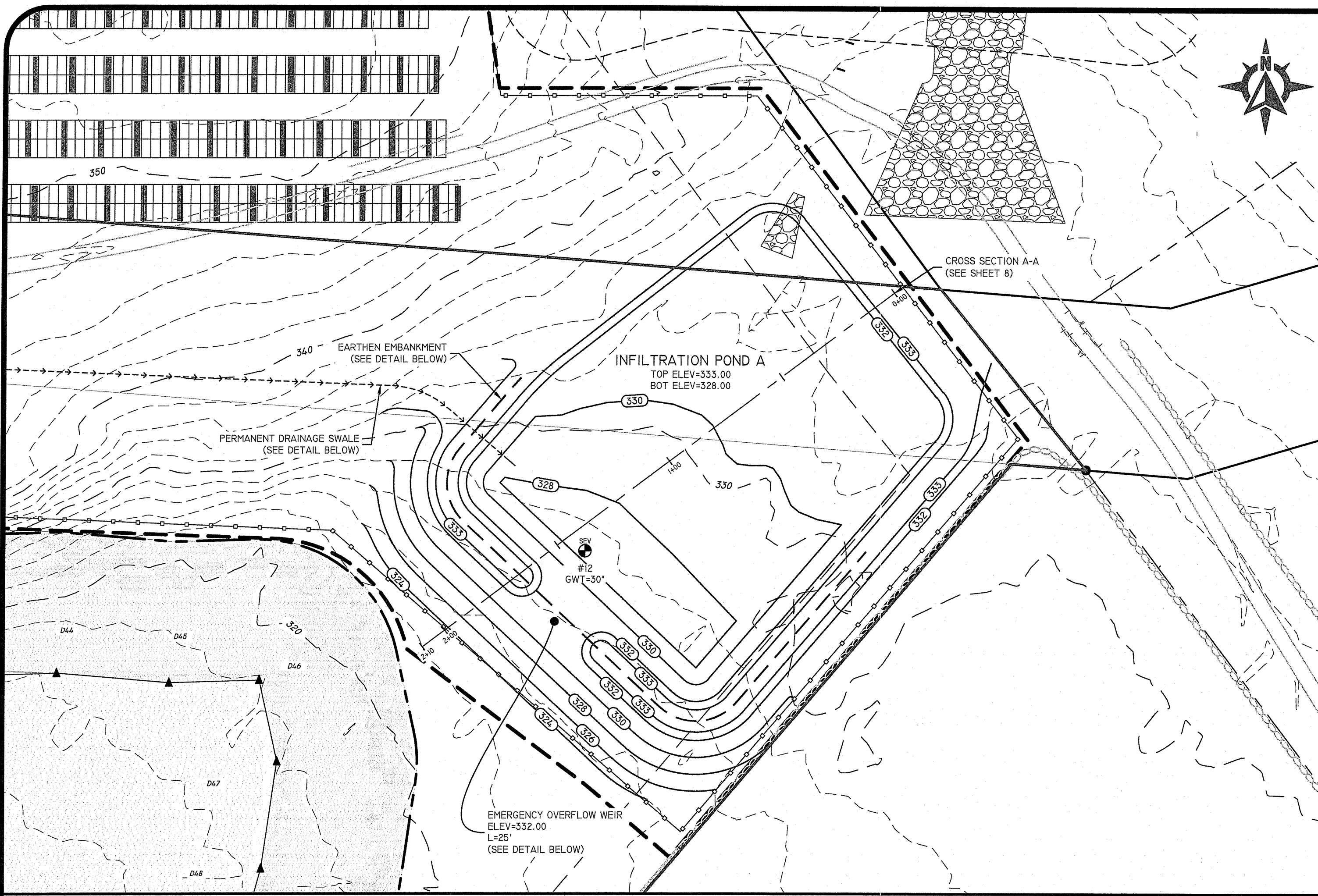


**SITE DEVELOPMENT PLAN**  
**ALTUS POWER AMERICA SOLAR RELOCATION**  
 ASSESSOR'S PLAT 43 LOT 256 & ASSESSOR'S PLAT 54 LOT 59, 60, 75  
 JOHNSTON, RHODE ISLAND

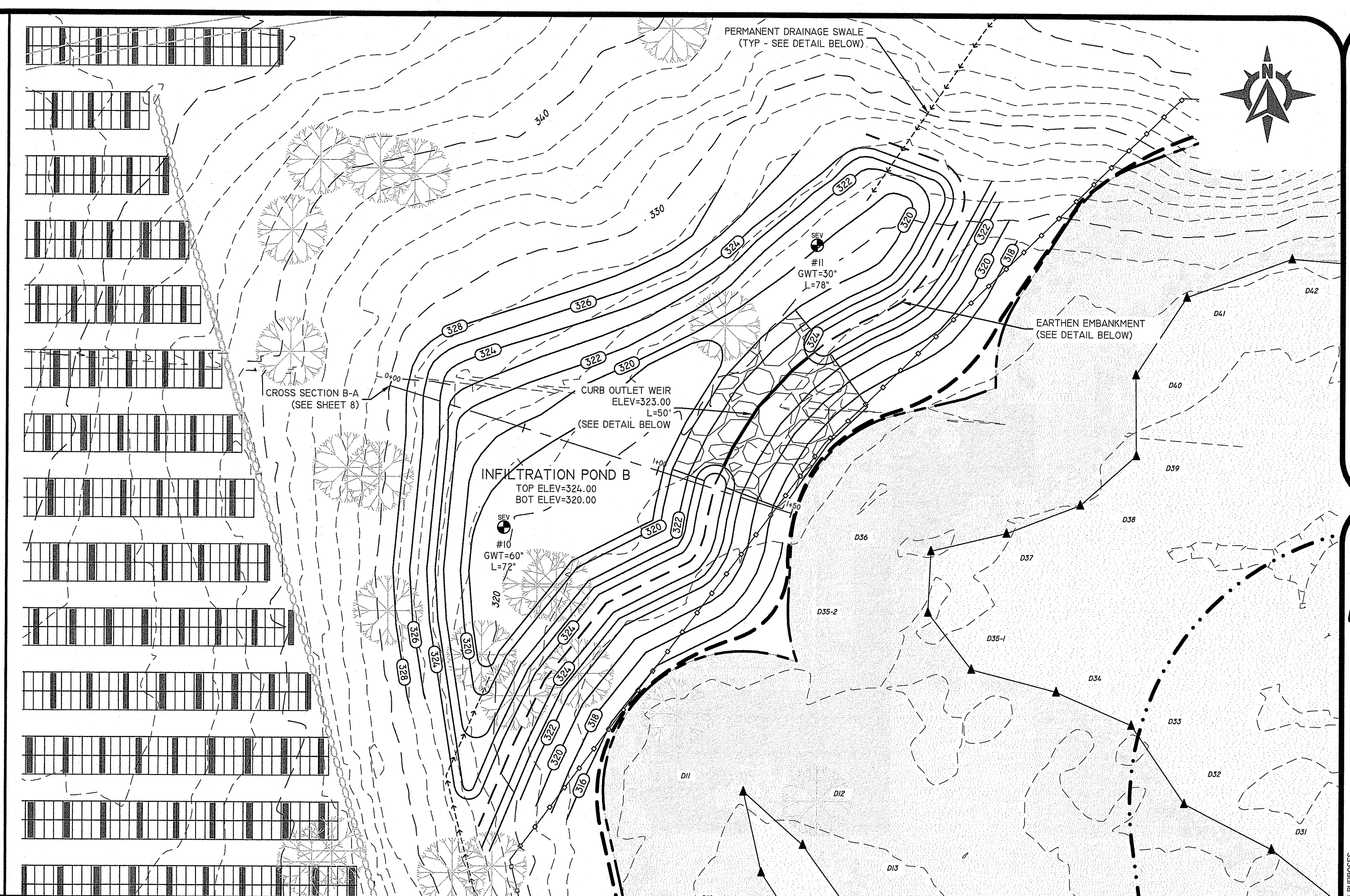
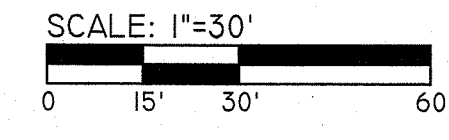
PREPARED FOR:  
**HARTFORD SOLAR HOLDINGS, LLC**  
 56 PINE STREET, 3RD FLOOR PROVIDENCE, RHODE ISLAND 02903  
 TEL 401-383-9646

SCALE: 1" = 50'

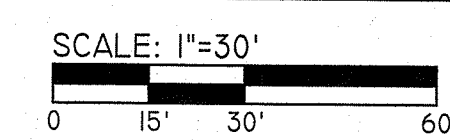
SHEET **6** OF 10



INFILTRATION POND A (301)

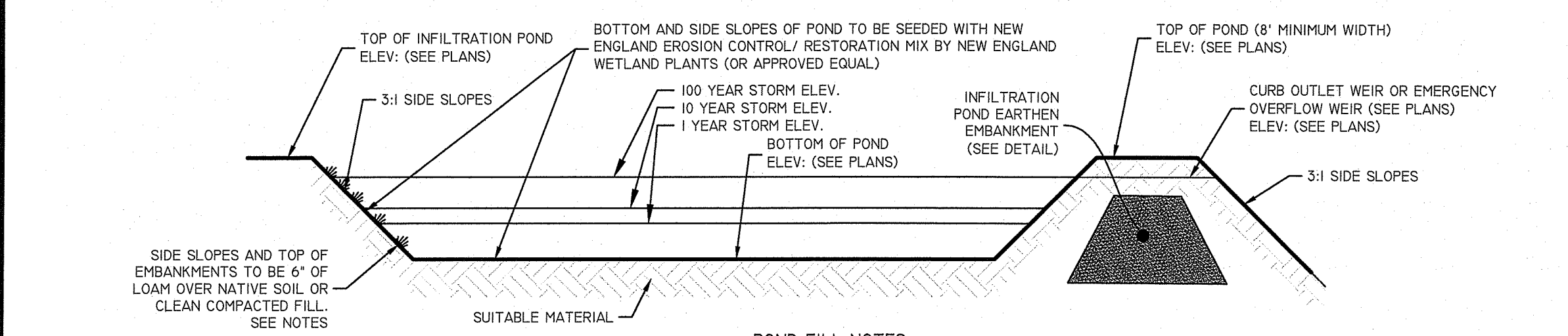


INFILTRATION POND B (303)



- NOTES:**
- LIMITS OF INFILTRATION POND MUST BE STAKED OUT AND MUST NOT BE USED AS A TEMPORARY SEDIMENT BASIN DURING CONSTRUCTION (NO CONSTRUCTION TRAFFIC ALLOWED WITHIN POND LIMITS).
  - INFILTRATION PONDS MUST NOT BE USED FOR STOCKPILING, VEHICLE PARKING OR ANY OTHER ANCILLARY STORING OF OBJECTS OR MATERIALS, TEMPORARY OR PERMANENT, AT ANY TIME.
  - INFILTRATION PONDS MUST BE ADEQUATELY PROTECTED FROM SEDIMENT LADEN RUNOFF DURING CONSTRUCTION.
  - FOLLOWING CONSTRUCTION AND STABILIZATION OF ALL UPSTREAM AREAS, IT IS THE CONTRACTOR'S RESPONSIBILITY TO REMOVE ANY AND ALL SEDIMENT FROM INFILTRATION PONDS. IF SEDIMENT REMOVAL IS REQUIRED THE CONTRACTOR MUST ALSO ROTOTILL THE ENTIRE POND BOTTOM TO A MINIMUM DEPTH OF 2' AND RE-ESTABLISH TO FINAL DESIGN GRADES AND COVER TYPES.
  - SOILS MUST BE TRACKED INTO PLACE. NO COMPACTION EQUIPMENT ALLOWED.

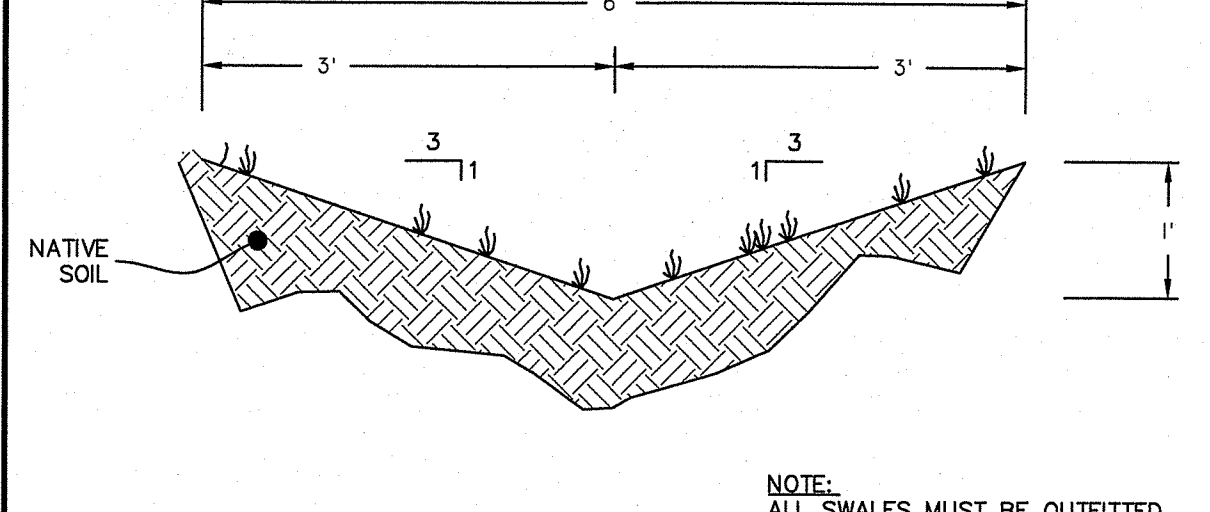
DESCRIPTION	IP-A (301)	IP-B (303)
TOP OF POND ELEVATION	333.00	324.00
100 YEAR STORM ELEVATION	331.37	323.26
10 YEAR STORM ELEVATION	329.86	322.64
1 YEAR STORM ELEVATION	328.60	320.22
BOTTOM OF POND ELEVATION	328.00	319.00



**POND BMP SYSTEM**  
NOT TO SCALE

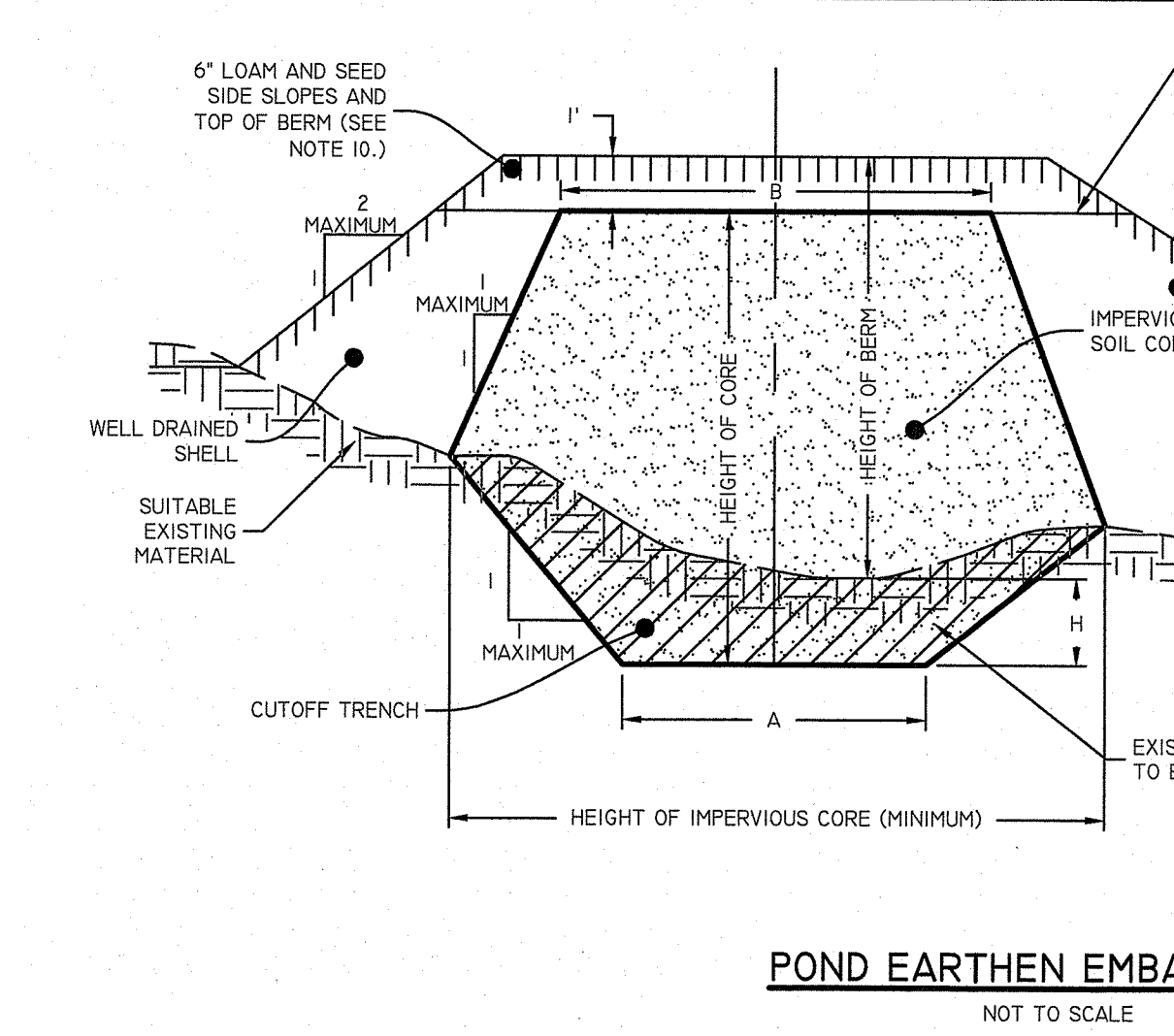
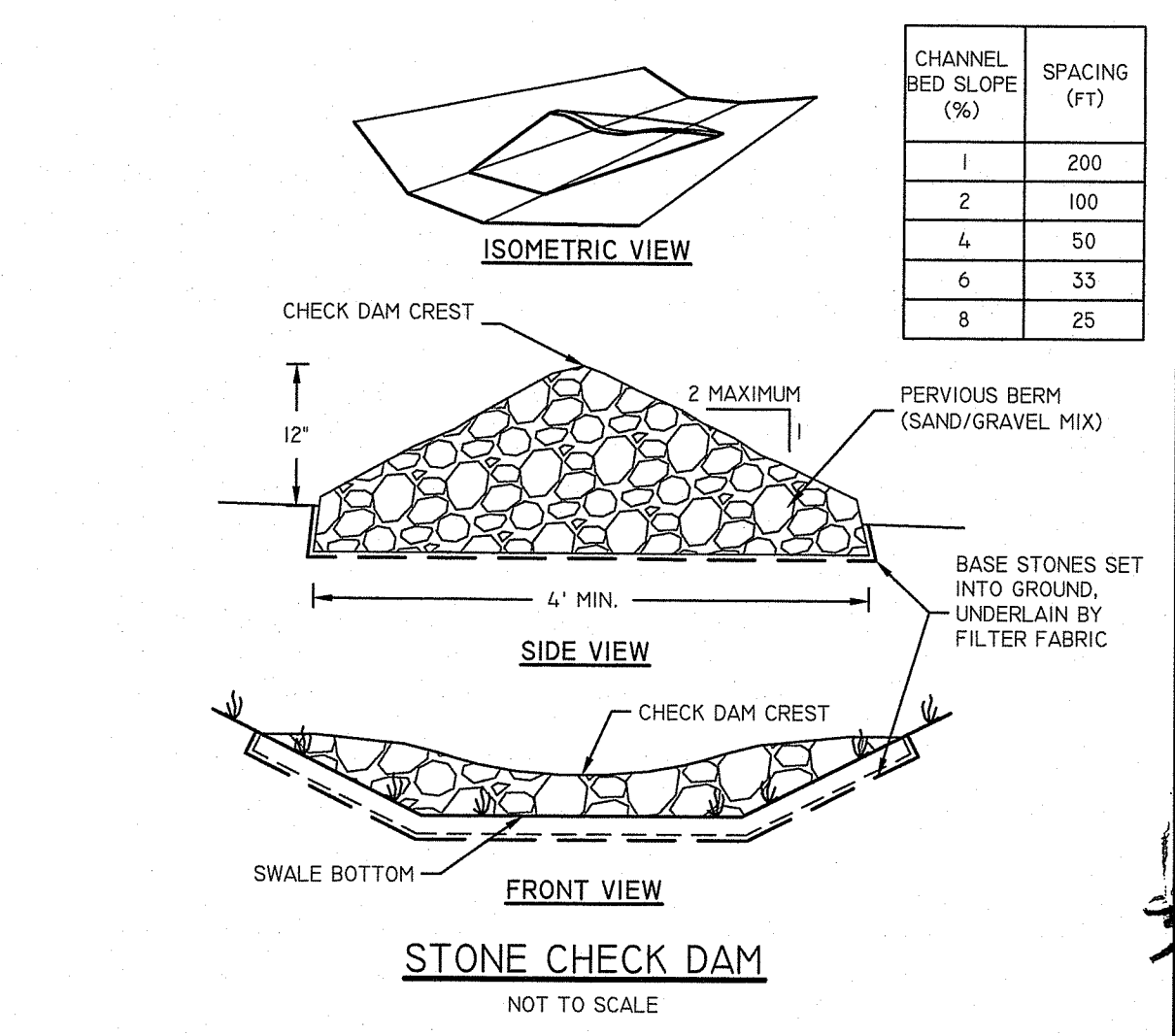
**POND FILL NOTES:**

- IF FILL IS REQUIRED WITHIN THE FOOTPRINT OF AN INFILTRATION POND, CONTRACTOR MUST REMOVE TOP AND SUBSOILS/ EXCAVATE DOWN TO THE C HORIZON AND BACKFILL WITH SUITABLE MATERIAL THAT HAS EQUAL OR GREATER INFILTRATION PARAMETERS THAN THE EXISTING SOIL HORIZONS BENEATH. ON-SITE MATERIALS MAY BE USED AT THE DIRECTION OF THE SITE ENGINEER OR GEOTECHNICAL ENGINEER. B HORIZON OR PART THEREOF MAY BE LEFT IN PLACE FOLLOWING ASSESSMENT AND DIRECTION BY THE SITE ENGINEER OR GEOTECHNICAL ENGINEER.
- FILL OPERATIONS MUST BE MONITORED BY THE SITE ENGINEER OR GEOTECHNICAL ENGINEER. CONTRACTOR MUST PROVIDE ADEQUATE NOTICE PRIOR TO FILLING.



**PERMANENT DRAINAGE SWALE**  
NOT TO SCALE

**NOTE:** ALL SWALES MUST BE OUTFITTED WITH STONE CHECK DAMS. SEE DETAIL AT RIGHT.



**POND EARTHEN EMBANKMENT**  
NOT TO SCALE

**NOTES:**

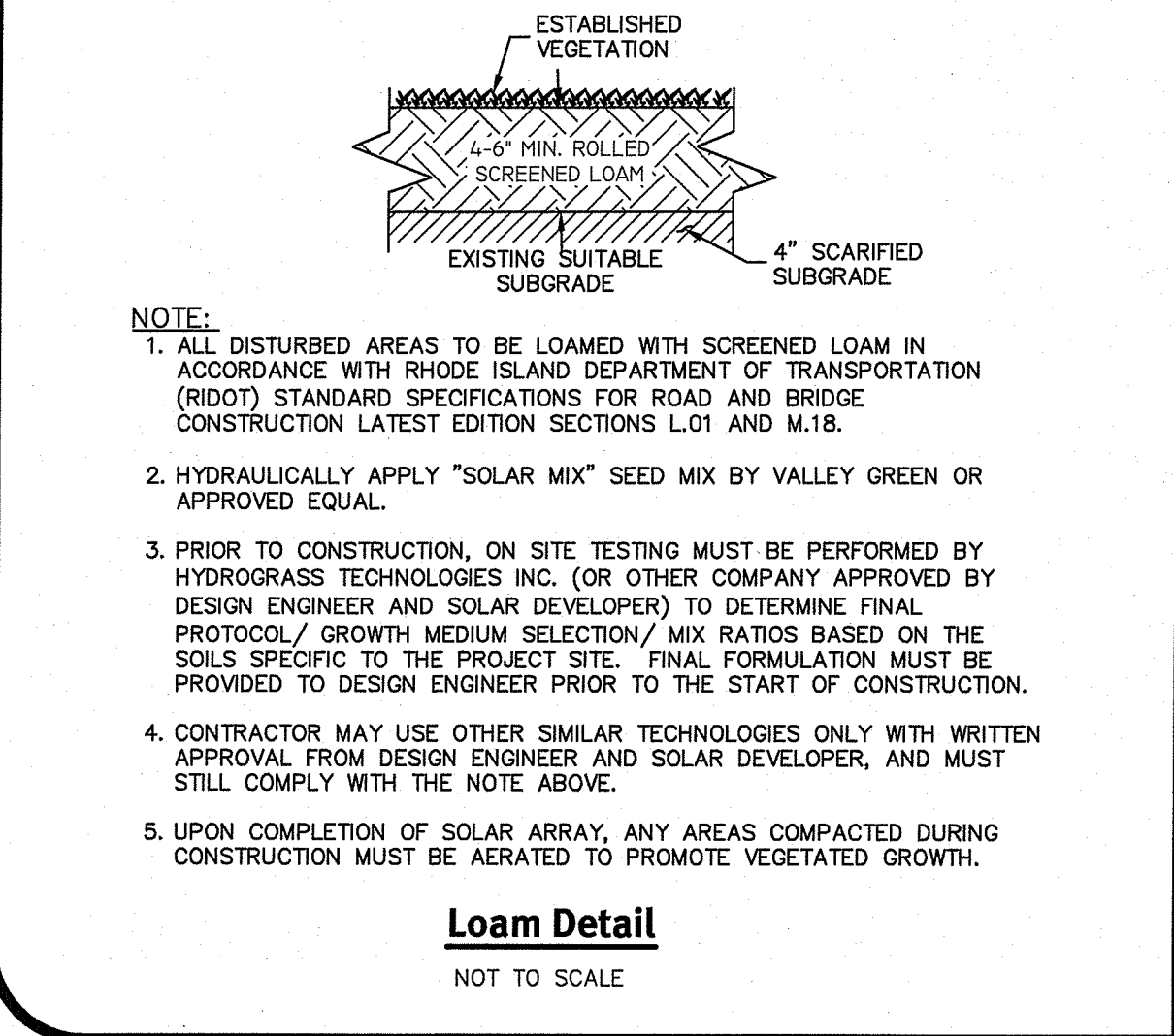
- IMPERVIOUS SOIL CORE TO BE PROVIDED FOR ALL POND EMBANKMENTS.
- IMPERVIOUS SOIL CORE TO BE CONSTRUCTED OF A MATERIAL WITH A MINIMUM OF 5% PASSING THE #200 SIEVE AND A MAXIMUM PERMEABILITY OF 0.00005 CM/S.
- WELL DRAINED SHELL TO BE CONSTRUCTED OF GRAVEL AND/OR SAND WITH LESS THAN 5% PASSING THE #200 SIEVE.
- MINIMUM DEPTH OF CUTOFF TRENCH (H) SHALL BE 3/4 OF THE TOTAL BERM HEIGHT.
- THE IMPERVIOUS CORE AT A MINIMUM SHALL EXTEND UP BOTH ABUTMENTS TO THE EMERGENCY SPILLWAY ELEVATION.
- THE MINIMUM BOTTOM WIDTH (A) SHALL BE 5'-8", AND WIDE ENOUGH TO PERMIT OPERATION OF COMPACTION EQUIPMENT.
- SIDE SLOPES OF THE TRENCH SHALL BE NO STEEPER THAN 1:1.
- IF BEDROCK IS ENCOUNTERED BELOW THE DAM THE CUTOFF TRENCH CAN BE REDUCED TO 1'X1' (GWS).
- COMPACTION REQUIREMENTS FOR THE SHELL AND IMPERVIOUS CORE TO BE 95% OF THE MODIFIED PROCTOR PER ASTM D1557. ALL FILL TO BE PLACED IN LIFTS NOT EXCEEDING 12".
- SIDE SLOPE OF POND EMBANKMENT TO BE 2:1 MAXIMUM. IF SIDE SLOPES ARE STEEPER THAN 3:1, SLOPE PROTECTION MUST BE UTILIZED ON POND EMBANKMENT. THIS INCLUDES, BUT NOT LIMITED TO, RIPRAP AND EROSION CONTROL MATS.
- THE IMPERVIOUS CORE SHALL BE KEPT FREE FROM STANDING WATER DURING THE BACKFILL OPERATION.
- ALL EMBANKMENT INSTALLATIONS TO BE SUPERVISED BY A GEOTECHNICAL ENGINEER.
- ANY PROPOSED DEVIATIONS FROM THIS DETAIL MUST BE DESIGNED BY A GEOTECHNICAL ENGINEER AND SUBMITTED TO THE SITE ENGINEER (AND AHJ WHERE REQUIRED) FOR REVIEW PRIOR TO CONSTRUCTION.

**Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.**

**DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS  
AS SPECIFIED IN THE LETTER OF APPROVAL  
DATED SEP 02 2021 FILE # 21-013  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
APPROVED PLANS MUST BE AT CONSTRUCTION SITE**

**EMERGENCY OVERFLOW WEIR**  
NOT TO SCALE

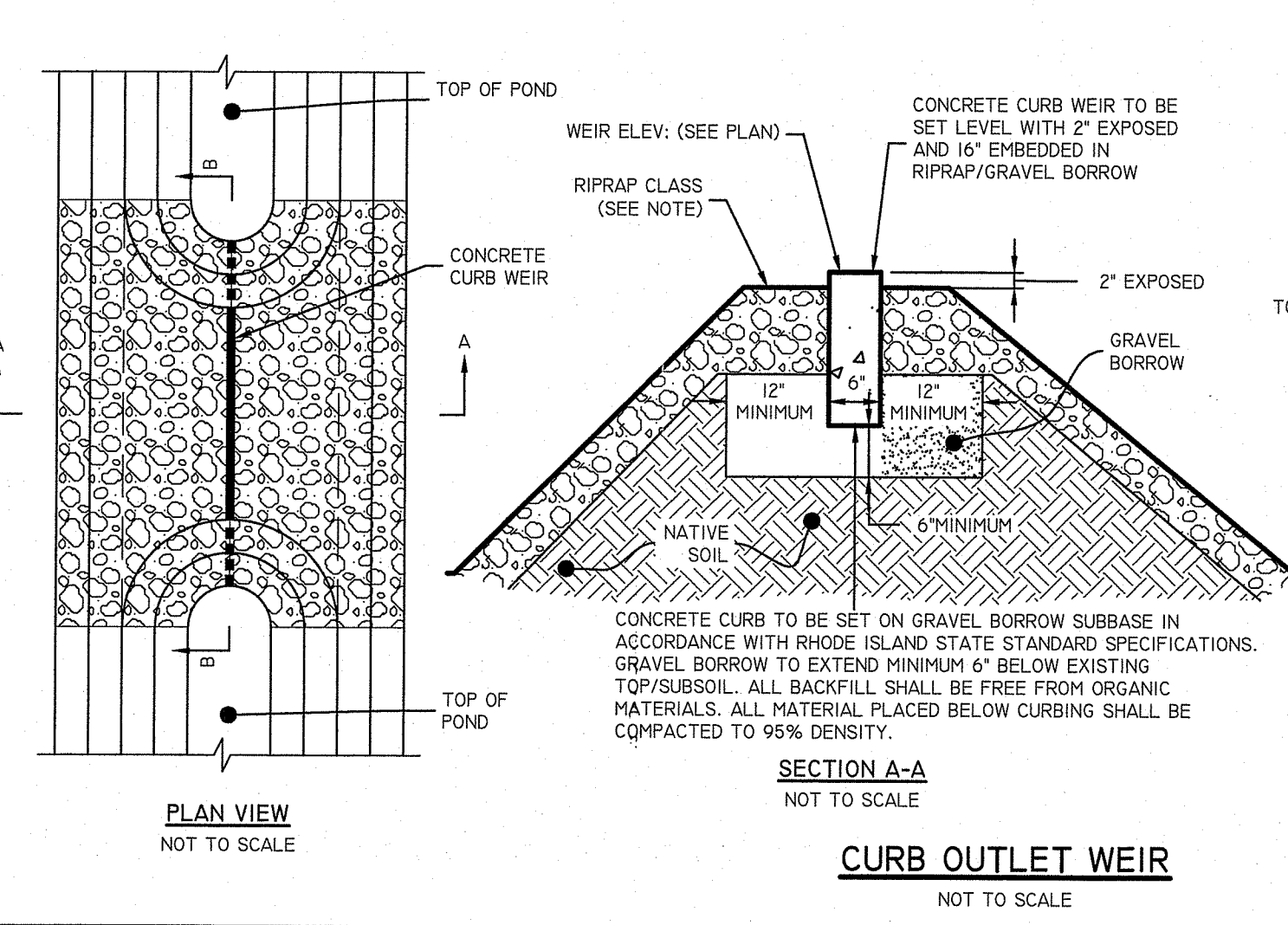
**Environmental Management**  
AUG 30 2021  
Office of Water Resources



**Loam Detail**  
NOT TO SCALE

**NOTE:**

- ALL DISTURBED AREAS TO BE LOAMED WITH SCREENED LOAM IN ACCORDANCE WITH RHODE ISLAND DEPARTMENT OF TRANSPORTATION (RIDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION LATEST EDITION SECTIONS L.01 AND M.18.
- HYDRAULICALLY APPLY "SOLAR MIX" SEED MIX BY VALLEY GREEN OR APPROVED EQUAL.
- PRIOR TO CONSTRUCTION, ON SITE TESTING MUST BE PERFORMED BY HYDROGRASS TECHNOLOGIES INC. (OR OTHER COMPANY APPROVED BY DESIGN ENGINEER AND SOLAR DEVELOPER) TO DETERMINE FINAL PROTOCOL / GROWTH MEDIUM SELECTION / MIX RATIOS BASED ON THE SOILS SPECIFIC TO THE PROJECT SITE. FINAL FORMULATION MUST BE PROVIDED TO DESIGN ENGINEER PRIOR TO THE START OF CONSTRUCTION.
- CONTRACTOR MAY USE OTHER SIMILAR TECHNOLOGIES ONLY WITH WRITTEN APPROVAL FROM DESIGN ENGINEER AND SOLAR DEVELOPER, AND MUST STILL COMPLY WITH THE NOTE ABOVE.
- UPON COMPLETION OF SOLAR ARRAY, ANY AREAS COMPACTED DURING CONSTRUCTION MUST BE AERATED TO PROMOTE VEGETATED GROWTH.



**PLAN VIEW**  
NOT TO SCALE

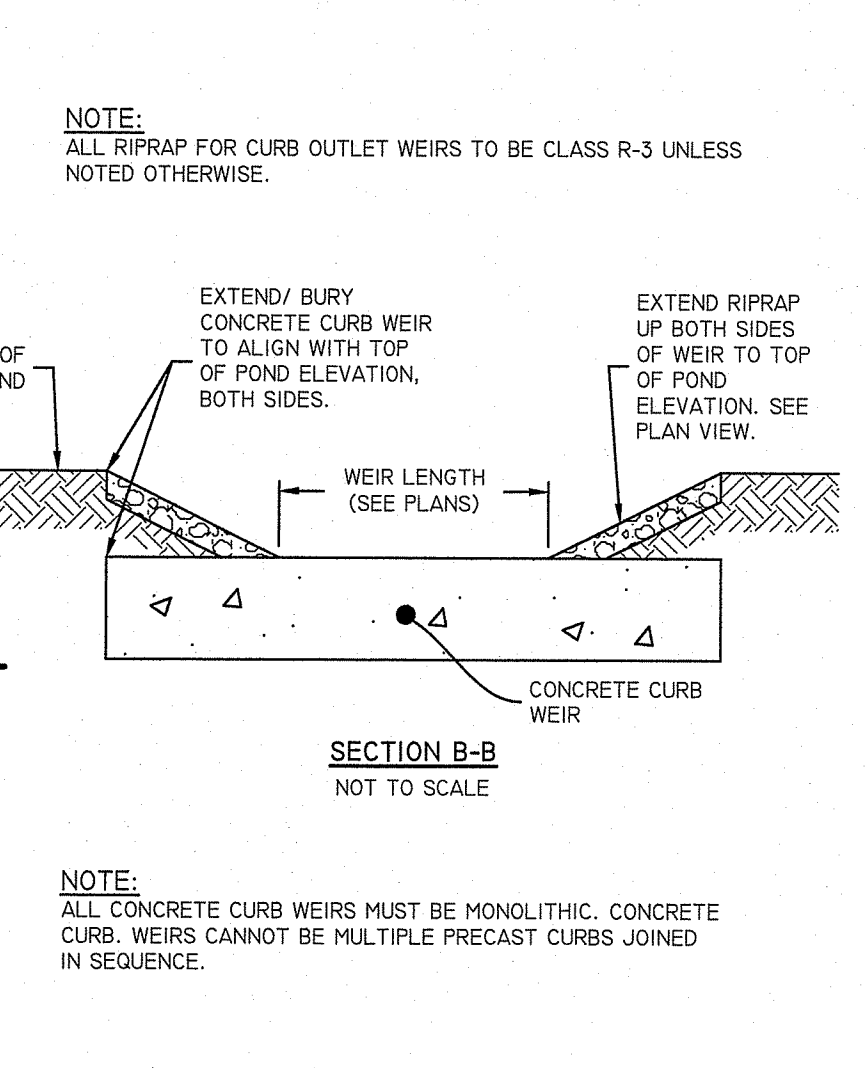
**SECTION A-A**  
NOT TO SCALE

**CURB OUTLET WEIR**  
NOT TO SCALE

**NOTE:** ALL RIPRAP FOR CURB OUTLET WEIRS TO BE CLASS R-3 UNLESS NOTED OTHERWISE.

**NOTE:** EXTEND/ BURY CONCRETE CURB WEIR TO ALIGN WITH TOP OF POND ELEVATION, BOTH SIDES.

**NOTE:** ALL CONCRETE CURB WEIRS MUST BE MONOLITHIC. CONCRETE CURB WEIRS CANNOT BE MULTIPLE PRECAST CURBS JOINED IN SEQUENCE.

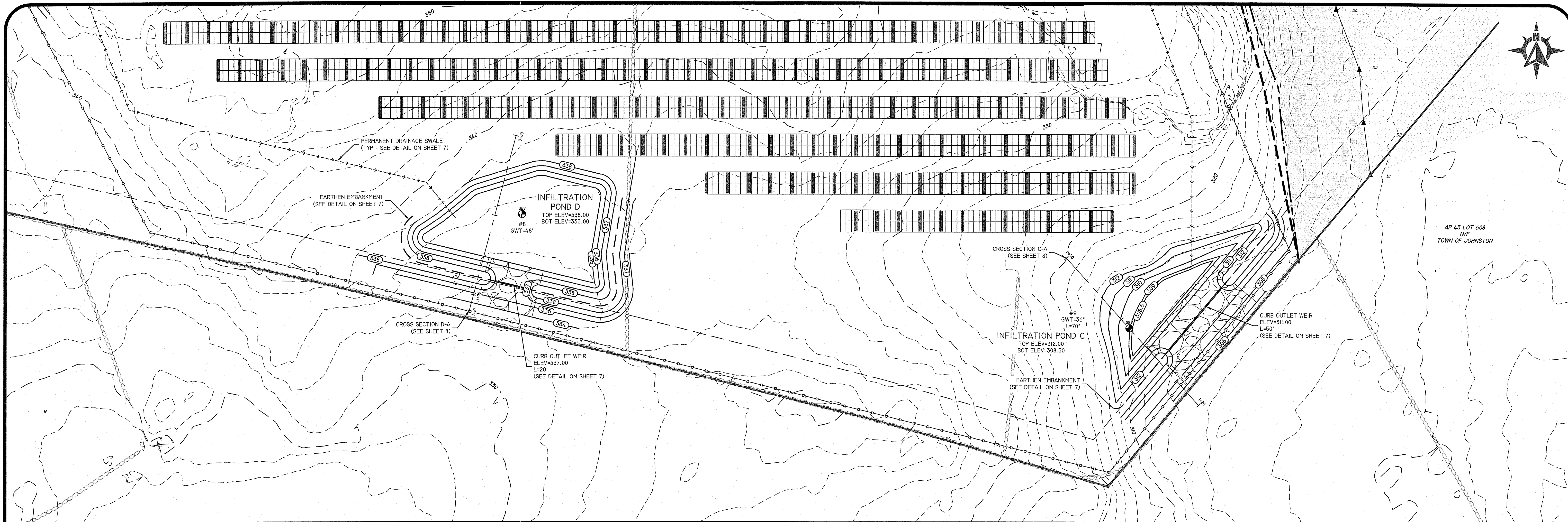


**SECTION B-B**  
NOT TO SCALE

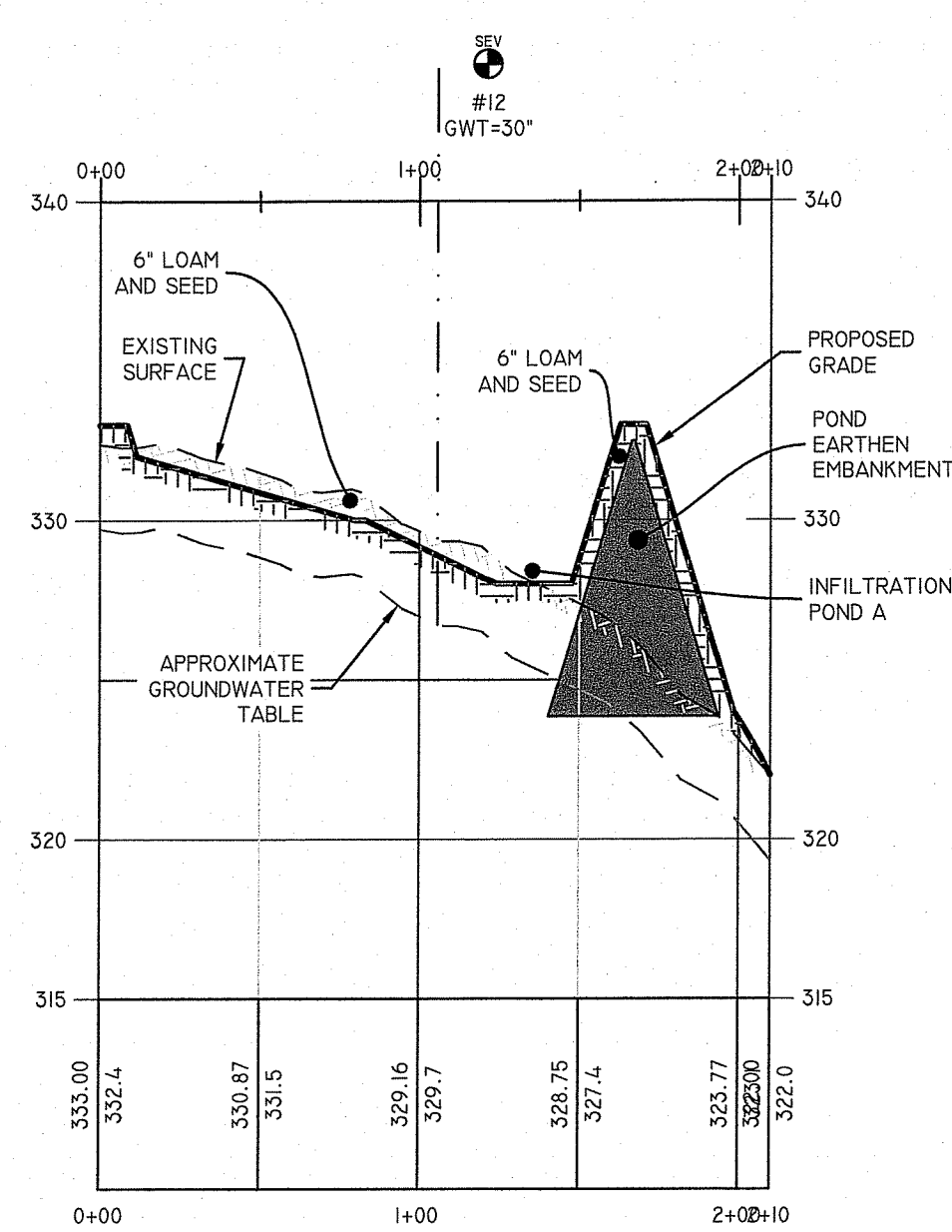
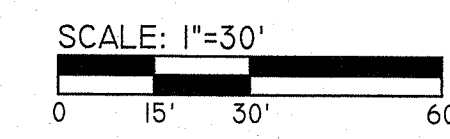
THIS PLAN SET MUST BE USED FOR CONSTRUCTION PURPOSES. A REVISIONED PROFESSIONAL ENGINEER'S SEAL AND STAMP BY AN ENGINEER IS REQUIRED FOR ANY CHANGES TO THIS PLAN SET.

DIPRETE ENGINEERING ONLY WARRANTS PLANS ON A DIPRETE PROFESSIONAL ENGINEER'S SEAL AND STAMP. DIPRETE ENGINEERING DOES NOT WARRANT PLANS BY ANY OTHER PARTY. THE USER ASSUMES ALL LIABILITY FOR THE DESIGN, CONSTRUCTION, OPERATION, MAINTENANCE, SAFETY, PRECAUTIONS AND REQUIREMENTS, AND OSHA DESIGN. EXISTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE ONLY. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR THE LOCATION OR DEPTH OF EXISTING UTILITIES. SEE UTILITIES NOTES ON SHEET 6.

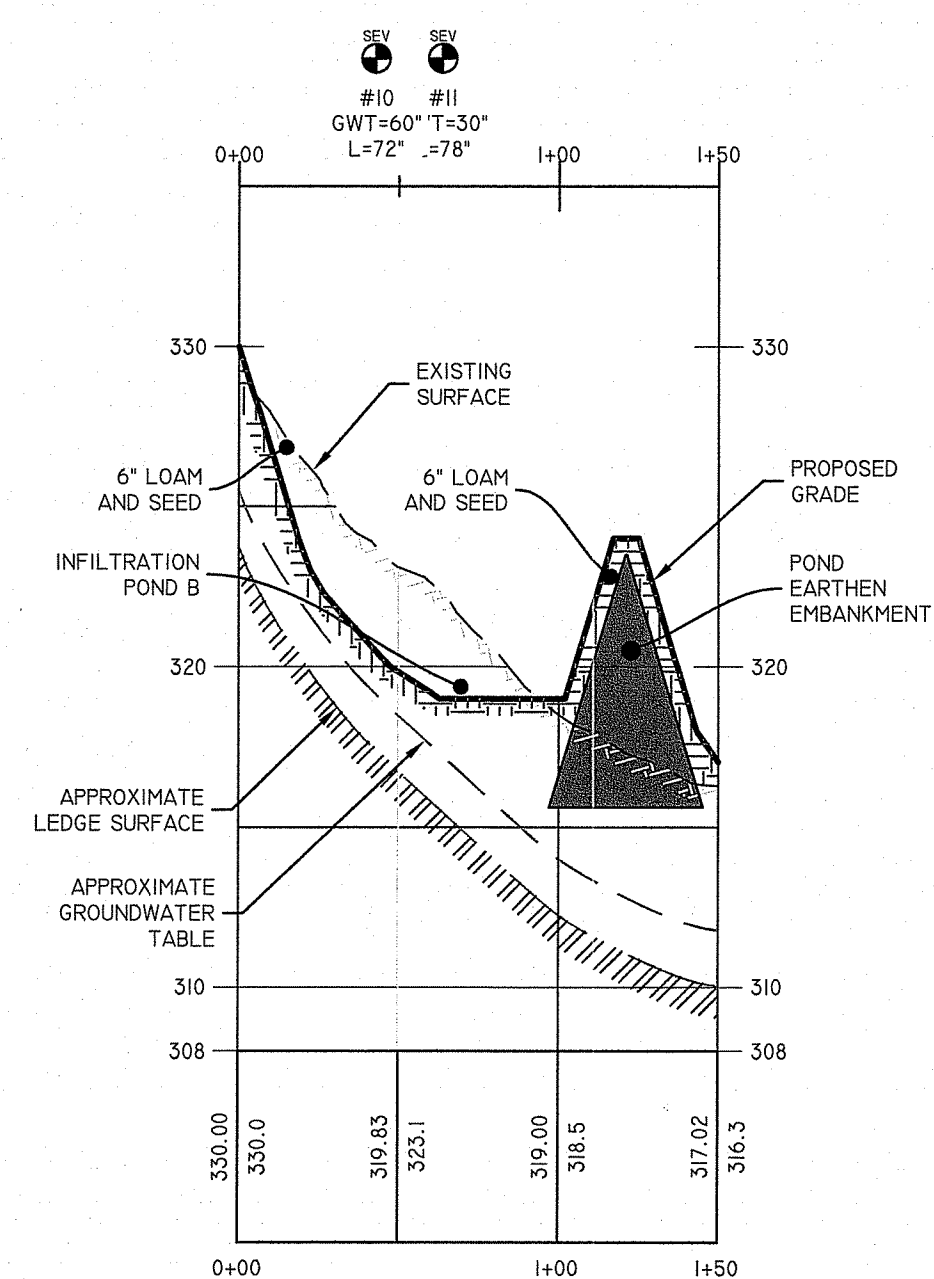
NO.	DATE	DESCRIPTION	BY	CHKD
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2	08-24-2021	REVISIONS TO PERMIT SUBMISSION	JAR	JAR
3	08-24-2021	REVISIONS TO PERMIT SUBMISSION	JAR	JAR
4	08-24-2021	REVISIONS TO PERMIT SUBMISSION	JAR	JAR
5	08-24-2021	REVISIONS TO PERMIT SUBMISSION	JAR	JAR
6	08-24-2021	REVISIONS TO PERMIT SUBMISSION	JAR	JAR
7	08-24-2021	REVISIONS TO PERMIT SUBMISSION	JAR	JAR
8	08-24-2021	REVISIONS TO PERMIT SUBMISSION	JAR	JAR
9	08-24-2021	REVISIONS TO PERMIT SUBMISSION	JAR	JAR
10	08-24-2021	REVISIONS TO PERMIT SUBMISSION	JAR	JAR
11	08-24-2021	REVISIONS TO PERMIT SUBMISSION	JAR	JAR
12	08-24-2021	REVISIONS TO PERMIT SUBMISSION	JAR	JAR
13	08-24-2021	REVISIONS TO PERMIT SUBMISSION	JAR	JAR
14	08-24-2021	REVISIONS TO PERMIT SUBMISSION	JAR	JAR
15	08-24-2021	REVISIONS TO PERMIT SUBMISSION	JAR	JAR
16	08-24-2021	REVISIONS TO PERMIT SUBMISSION	JAR	JAR
17	08-24-2021	REVISIONS TO PERMIT SUBMISSION	JAR	JAR
18	08-24-2021	REVISIONS TO PERMIT SUBMISSION	JAR	JAR
19	08-24-2021	REVISIONS TO PERMIT SUBMISSION	JAR	JAR
20	08-24-2021	REVISIONS TO PERMIT SUBMISSION	JAR	JAR
21	08-24-2021	REVISIONS TO PERMIT SUBMISSION	JAR	JAR
22	08-24-2021	REVISIONS TO PERMIT SUBMISSION	JAR	JAR
23	08-24-2021	REVISIONS TO PERMIT SUBMISSION	JAR	JAR
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25	08-24-2021	REVISIONS TO PERMIT SUBMISSION	JAR	JAR
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27	08-24-2021	REVISIONS TO PERMIT SUBMISSION	JAR	JAR
28	08-24-2021	REVISIONS TO PERMIT SUBMISSION	JAR	JAR
29	08-24-2021	REVISIONS TO PERMIT SUBMISSION	JAR	JAR
30	08-24-2021	REVISIONS TO PERMIT SUBMISSION	JAR	JAR
31	08-24-2021	REVISIONS TO PERMIT SUBMISSION	JAR	JAR
32	08-24-2021	REVISIONS TO PERMIT SUBMISSION	JAR	JAR
33	08-24-2021	REVISIONS TO PERMIT SUBMISSION	JAR	JAR
34	08-24-2021	REVISIONS TO PERMIT SUBMISSION	JAR	JAR
35	08-24-2021	REVISIONS TO PERMIT SUBMISSION	JAR	JAR
36	08-24-2021	REVISIONS TO PERMIT SUBMISSION	JAR	JAR
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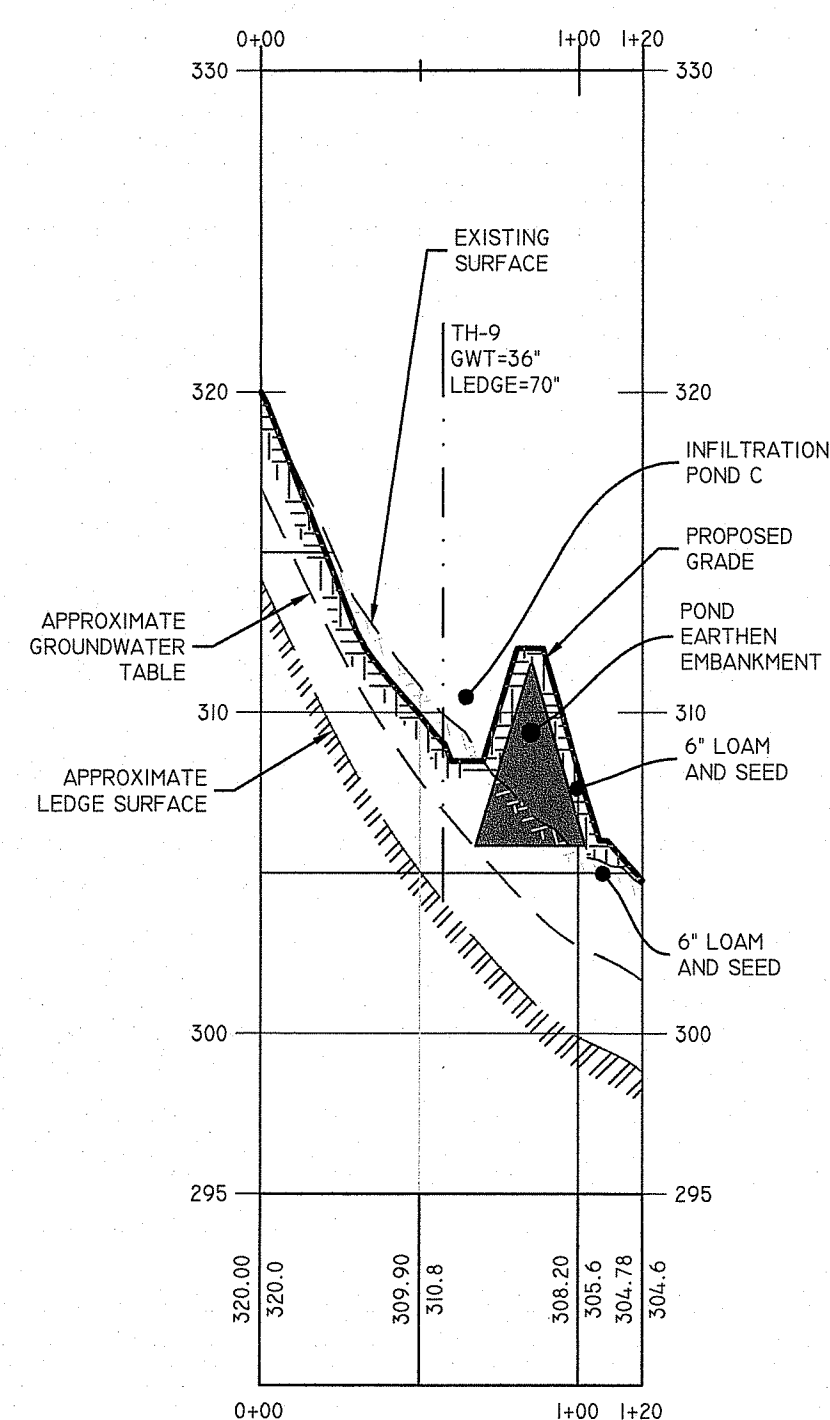
INFILTRATION PONDS C (305) AND D (201)



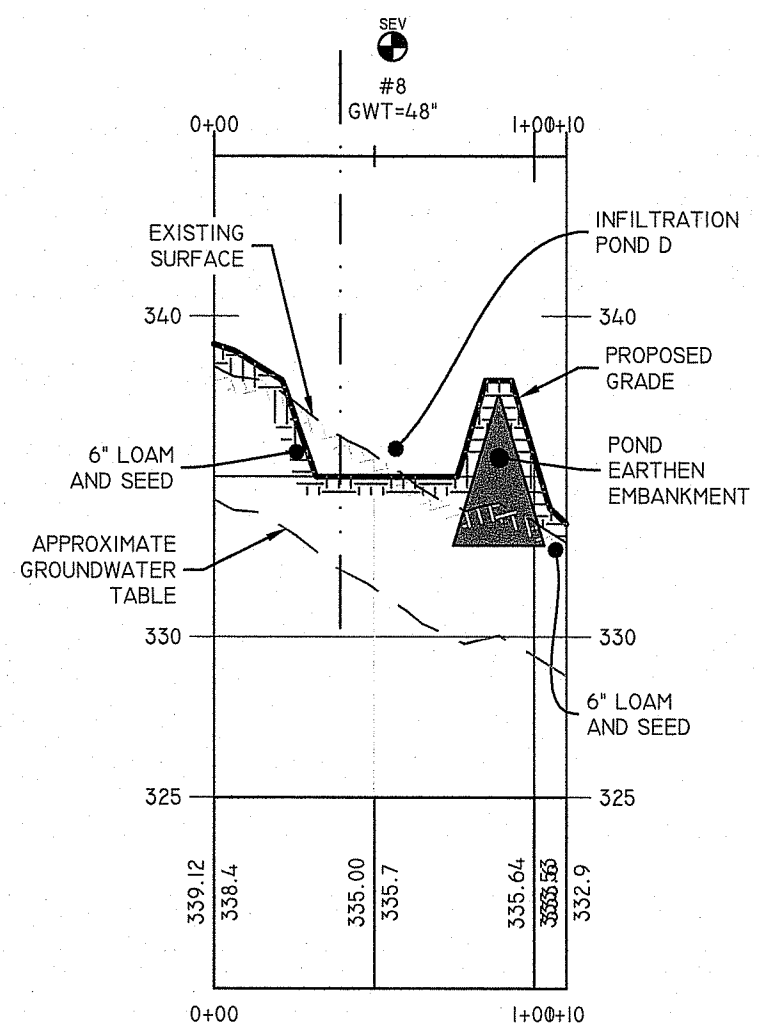
Sta. 0+00 To 2+10  
POND CROSS SECTION A-A



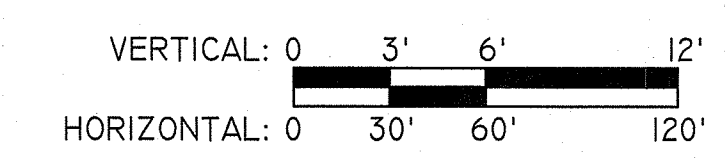
Sta. 0+00 To 1+50  
POND CROSS SECTION B-A



Sta. 0+00 To 1+20  
POND CROSS SECTION C-A



Sta. 0+00 To 1+10  
POND CROSS SECTION D-A



DESCRIPTION	IP-C (305)	IP-D (201)
TOP OF POND ELEVATION	312.00	338.00
100 YEAR STORM ELEVATION	311.20	337.11
10 YEAR STORM ELEVATION	311.09	336.18
1 YEAR STORM ELEVATION	310.41	335.23
BOTTOM OF POND ELEVATION	309.00	335.00

POND COMPLEX C AND D ELEVATION DETAILS

Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS  
AS SPECIFIED IN THE LETTER OF APPROVAL  
DATED SEP 02 2021 FILE # 21-0213  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Environmental Management  
AUG 30 2021  
Office of Water Resources

POND C & D DETAILS

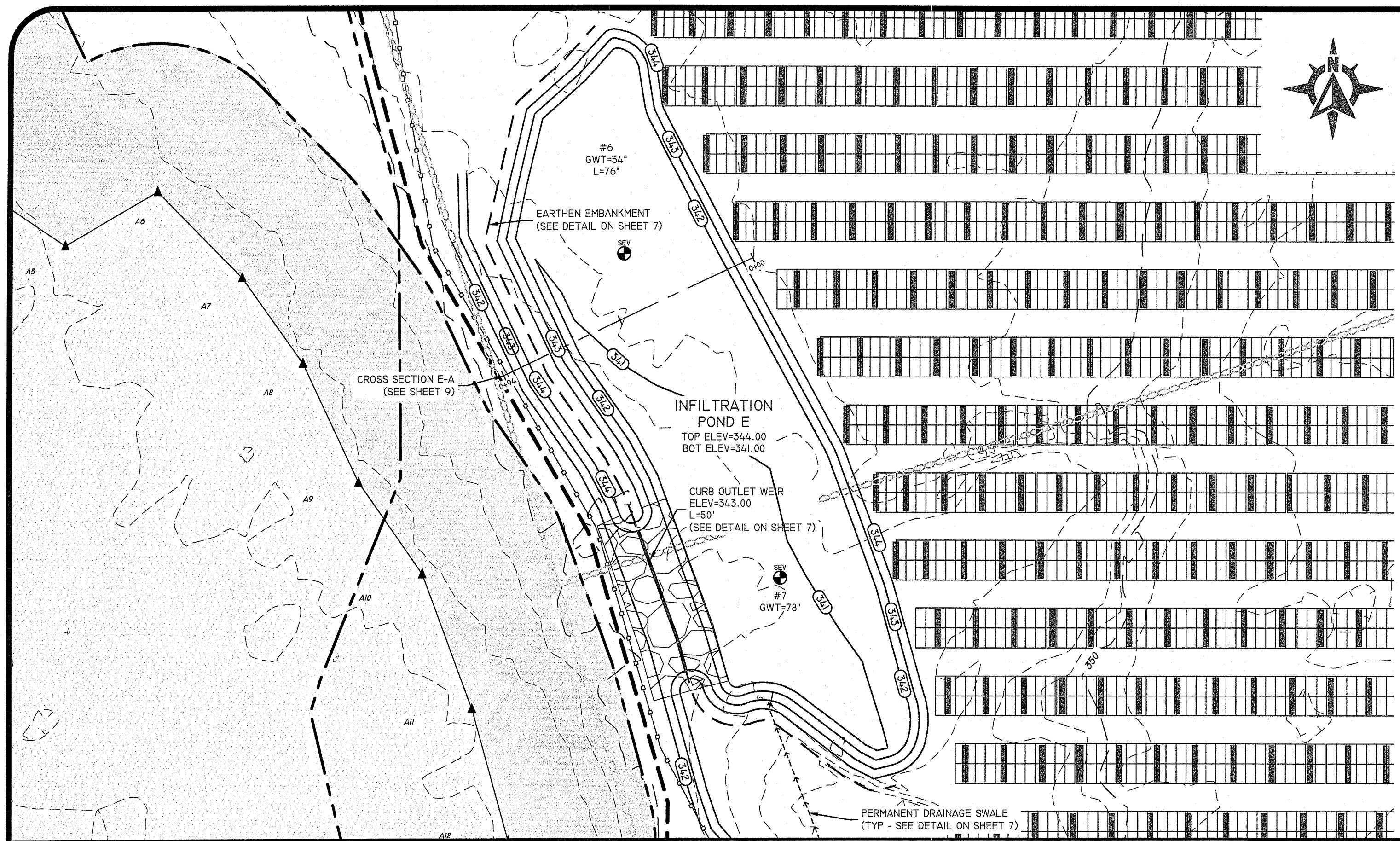
ALTUS POWER AMERICA SOLAR RELOCATION  
ASSESSOR'S PLAT 43 LOT 256 & ASSESSOR'S PLAT 54 LOT 59, 60, 75  
JOHNSTON, RHODE ISLAND  
PREPARED FOR:  
HARTFORD SOLAR HOLDINGS, LLC  
56 PINE STREET, 3RD FLOOR PROVIDENCE, RHODE ISLAND 02903  
TEL 401-383-9646

KEVIN DEMERS  
REGISTERED PROFESSIONAL ENGINEER  
CIVIL

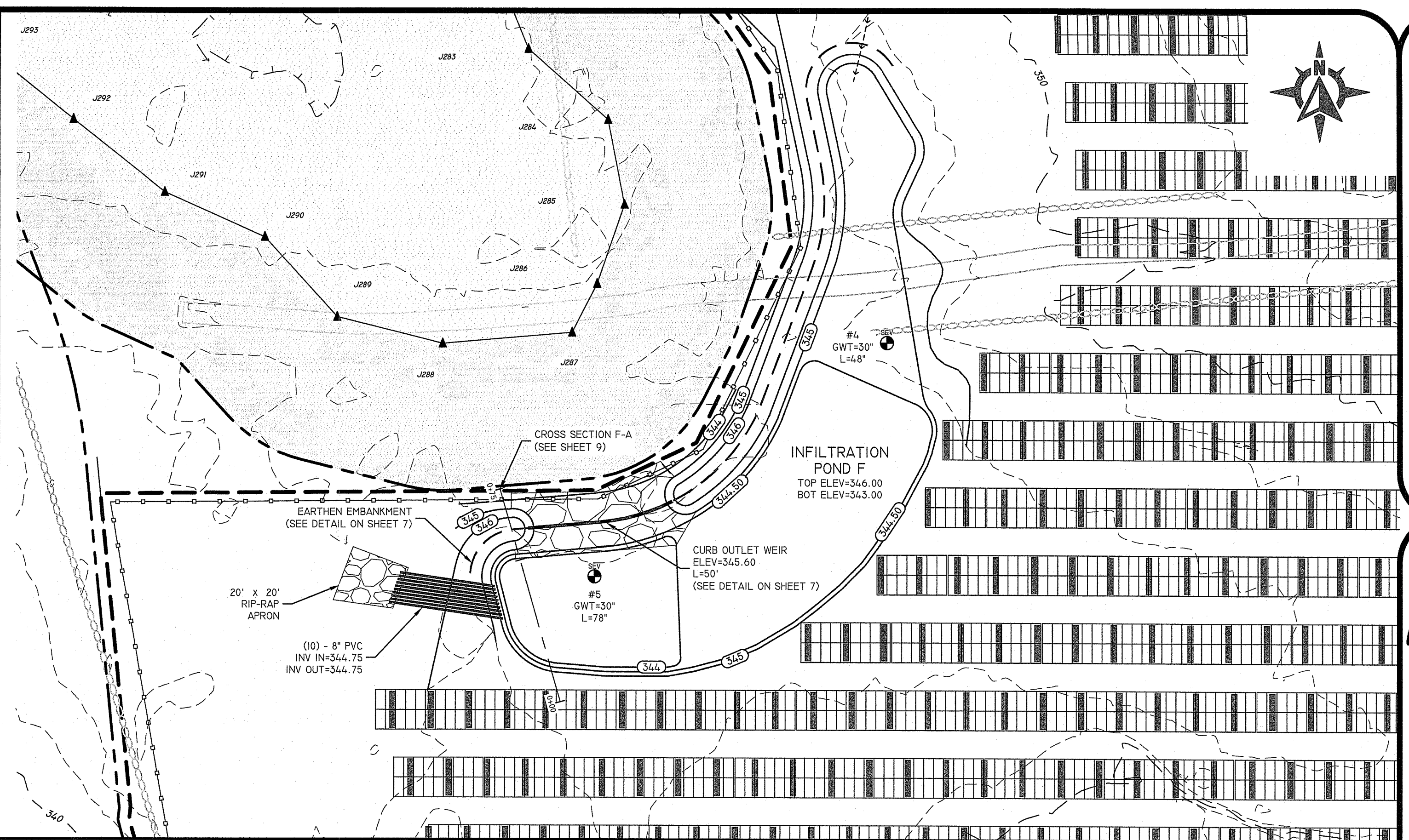
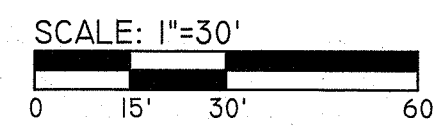
THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS IT IS APPROVED BY A REGISTERED PROFESSIONAL ENGINEER.  
DIPRETE ENGINEERING ONLY WARRANTS PLANS ON A DIPRETE ENGINEERING PROJECT. DIPRETE ENGINEERING DOES NOT WARRANT PLANS BY ANY OTHER PARTY. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR THE DESIGN OR CONSTRUCTION OF ANY UTILITIES SHOWN ON THIS PLAN AND SEE UTILITY NOTE ON SHEET 3.

DESIGN BY: KDJ / JAR  
DRAWN BY: JAR

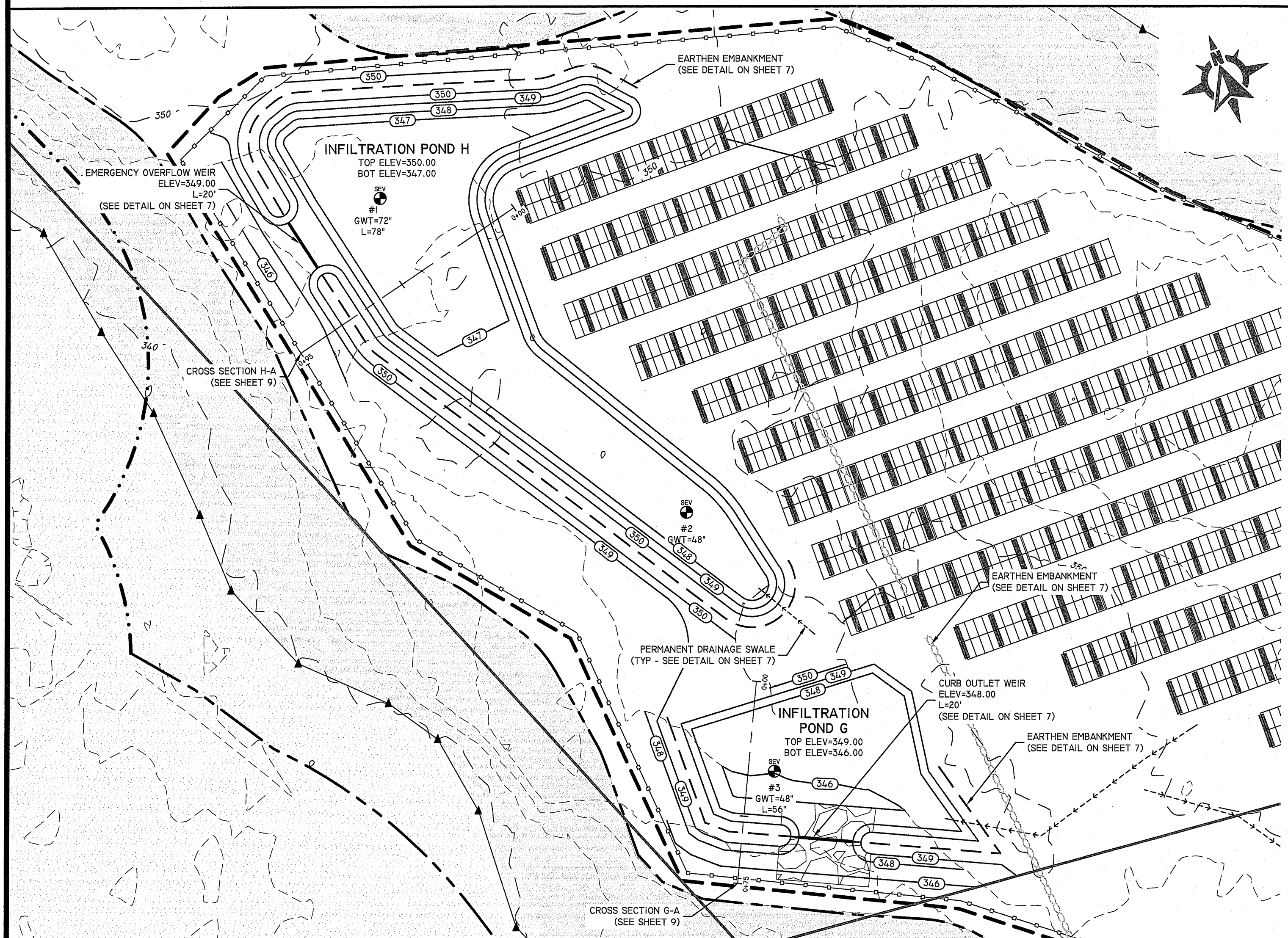
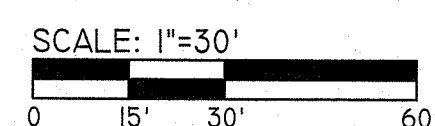
Diprete Engineering  
Two Stafford Court Cranston, RI 02920  
tel 401-913-1000 fax 401-664-6006 www.diprete-eng.com  
Boston • Providence • Newport



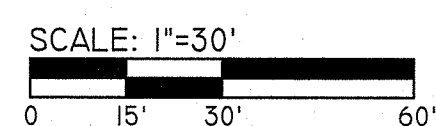
INFILTRATION POND E (101)



INFILTRATION POND F (104)



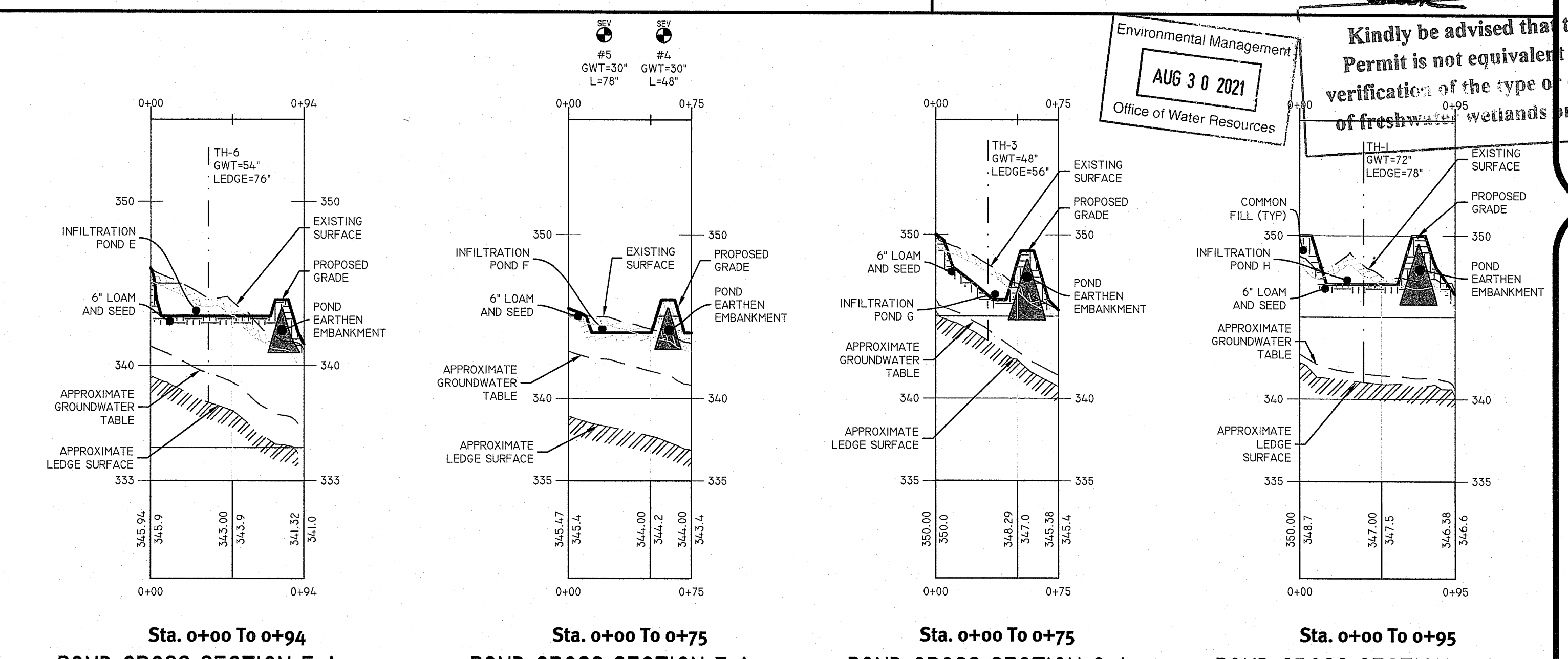
INFILTRATION PONDS G (106) & H (108)



DESCRIPTION	IP-E (101)	IP-F (104)	IP-G (106)	IP-H (108)
TOP OF POND ELEVATION	344.00	346.00	349.00	350.00
100 YEAR STORM ELEVATION	342.50	345.55	348.10	348.49
10 YEAR STORM ELEVATION	341.65	345.10	347.56	347.61
1 YEAR STORM ELEVATION	341.16	344.65	346.59	347.14
BOTTOM OF POND ELEVATION	341.00	343.00	346.00	347.00

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT:  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS  
AS SPECIFIED IN THE LETTER OF APPROVAL  
DATED SEP 12 2021 FILE # 21-0913  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

POND COMPLEX E, F, G AND H ELEVATION DETAILS

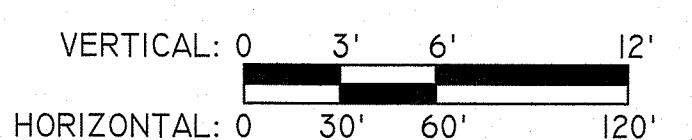


Sta. 0+00 To 0+94  
POND CROSS SECTION E-A

Sta. 0+00 To 0+75  
POND CROSS SECTION F-A

Sta. 0+00 To 0+75  
POND CROSS SECTION G-A

Sta. 0+00 To 0+95  
POND CROSS SECTION H-A



**DiPrete Engineering**  
Two Stafford Court, Cranston, RI 02920  
Tel: 401-943-1000 Fax: 401-461-6006 www.diprete-eng.com  
Boston • Providence • Newport

**KEVIN DEMERS**  
REGISTERED PROFESSIONAL ENGINEER  
CIVIL

THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS IT IS STAMPED AND SIGNED BY THE REGISTERED PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING.

DIPRETE ENGINEERING ONLY WARRANTS PLANS ON A DIPRETE PROFESSIONAL ENGINEER'S OF DIPRETE ENGINEERING. DIPRETE ENGINEERING DOES NOT WARRANT PLANS BY ANY OTHER PARTY. DIPRETE ENGINEERING IS NOT RESPONSIBLE FOR THE DESIGN, METHOD, SAFETY, PRECAUTIONS AND RECOMMENDATIONS AND OTHER DECISIONS MADE IN THE IMPLEMENTATION OF THIS PLAN AND DESIGN.

EXISTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE. ONLY DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF EXISTING UTILITIES. SEE UTILITY NOTES ON SHEET 5.

NO.	DATE	DESCRIPTION	DESIGNED BY	DRAWN BY	JAR	BY:
1	08-23-2021	RESPONSE TO AERIAL COMMENTS	JAR	JAR		
2	07-28-2021	PRELIMINARY SUBMISSION	JAR	JAR		
3	05-27-2021	PRELIMINARY SUBMISSION	JAR	JAR		

DESIGN BY: JAR

Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.

Environmental Management  
AUG 30 2021  
Office of Water Resources

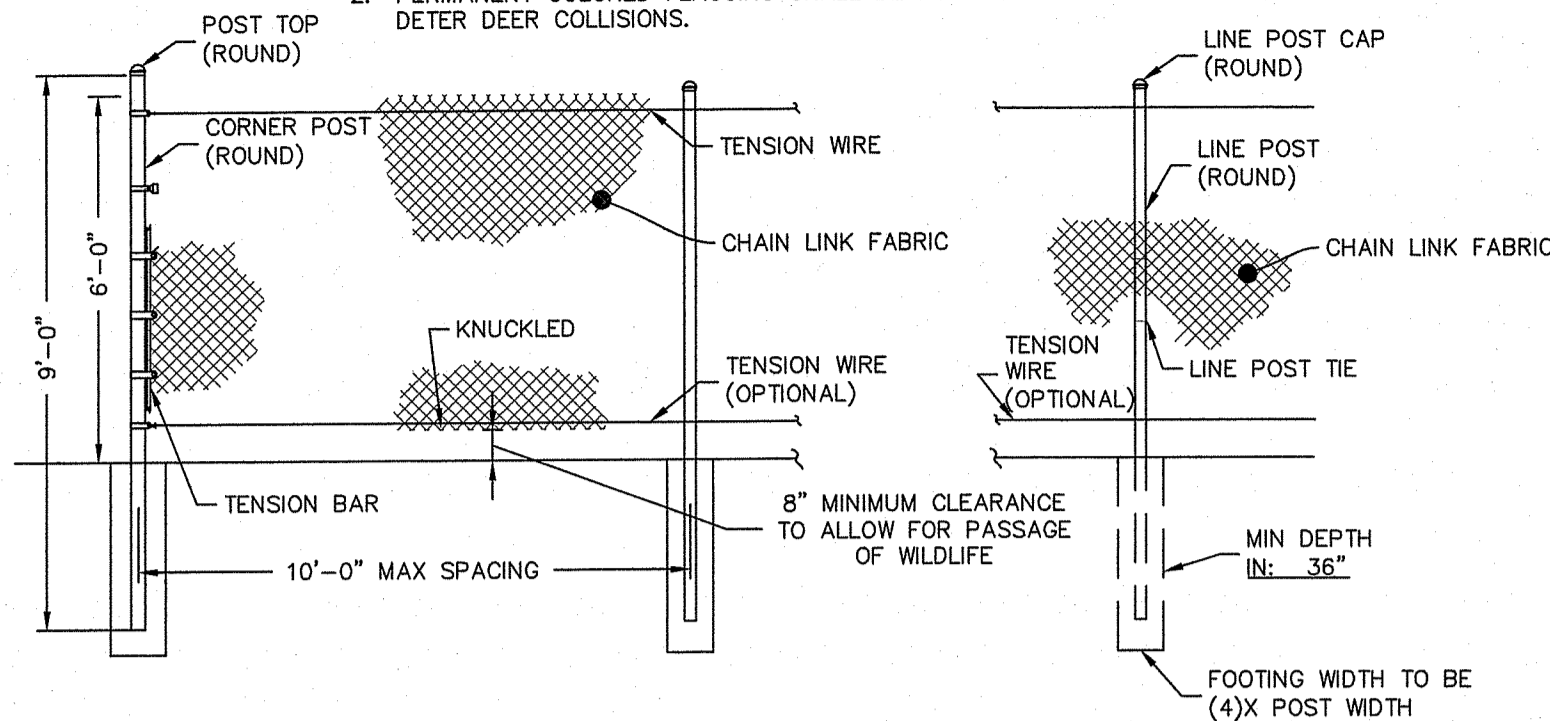
**POND E, F, G & H DETAILS**  
ALTUS POWER AMERICA SOLAR RELOCATION  
ASSESSOR'S PLAT 43 LOT 256 & ASSESSOR'S PLAT 54 LOT 59, 60, 75  
JOHNSTON, RHODE ISLAND

PREPARED FOR:  
**HARTFORD SOLAR HOLDINGS, LLC**  
50 PINE STREET, 3RD FLOOR PROVIDENCE, RHODE ISLAND 02903  
TEL: 401-585-5946

SHEET 9 OF 10

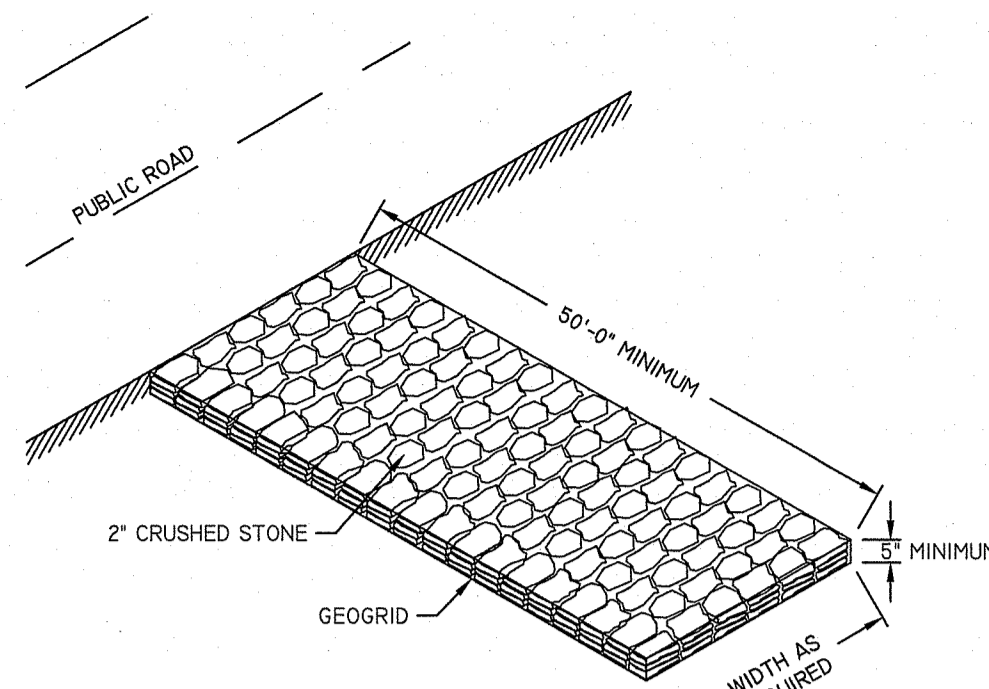
**NOTES:**

- CONTRACTOR SHALL LEAVE AN 8-INCH GAP UNDER THE FENCE TO ALLOW FOR PASSAGE OF SMALL ANIMALS.
- PERMANENT COLORED FLAGGING SHALL BE ATTACHED TO THE FENCE TO DETER DEER COLLISIONS.



**TYPICAL FENCE DETAIL**

NOT TO SCALE

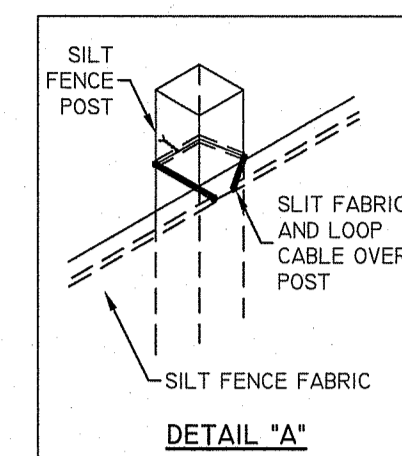


**CONSTRUCTION ACCESS**

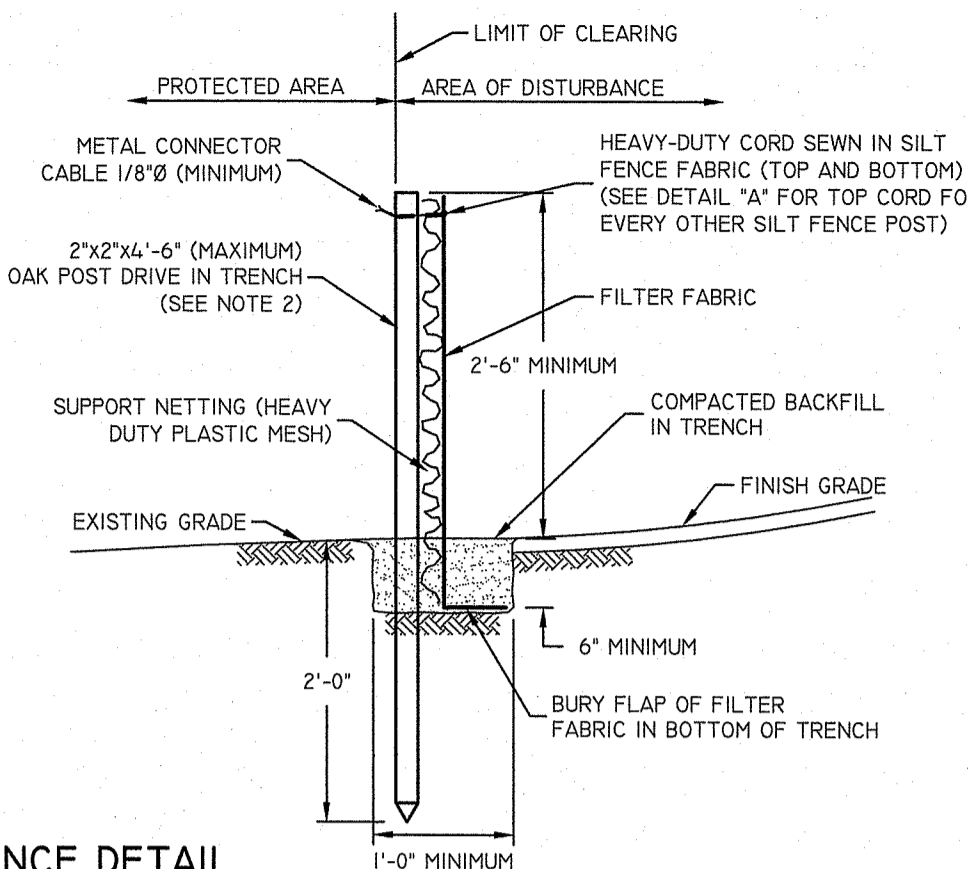
NOT TO SCALE

**NOTES:**

- SHALL BE IN ACCORDANCE WITH SECTION 206 OF THE R.I. STANDARD SPECIFICATIONS.
- 2"x2"x4'-6" (MAXIMUM) OAK POSTS FOR SILT FENCE SHALL BE LOCATED 8'-0" (MAXIMUM) O.C. IN WETLAND AREAS AND 4'-0" (MAXIMUM) O.C. IN WETLAND RAVIDE, GILLY OR DROP-OFF AREAS AS SHOWN ON PLANS.
- 1"x1"x4'-6" (MINIMUM) POSTS PERMITTED FOR PRE-FABRICATED SILT FENCE. SILT FENCE SHALL BE INSTALLED BEFORE ANY GRUBBING OR EARTH EXCAVATION TAKES PLACE.

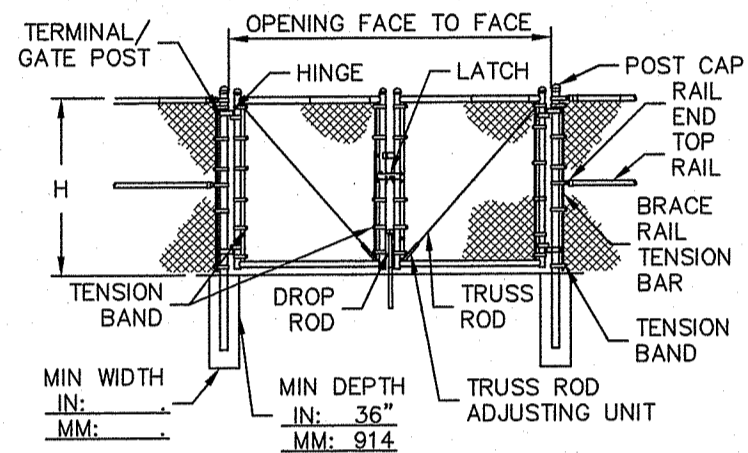


**DETAIL "A"**



**SILT FENCE DETAIL**

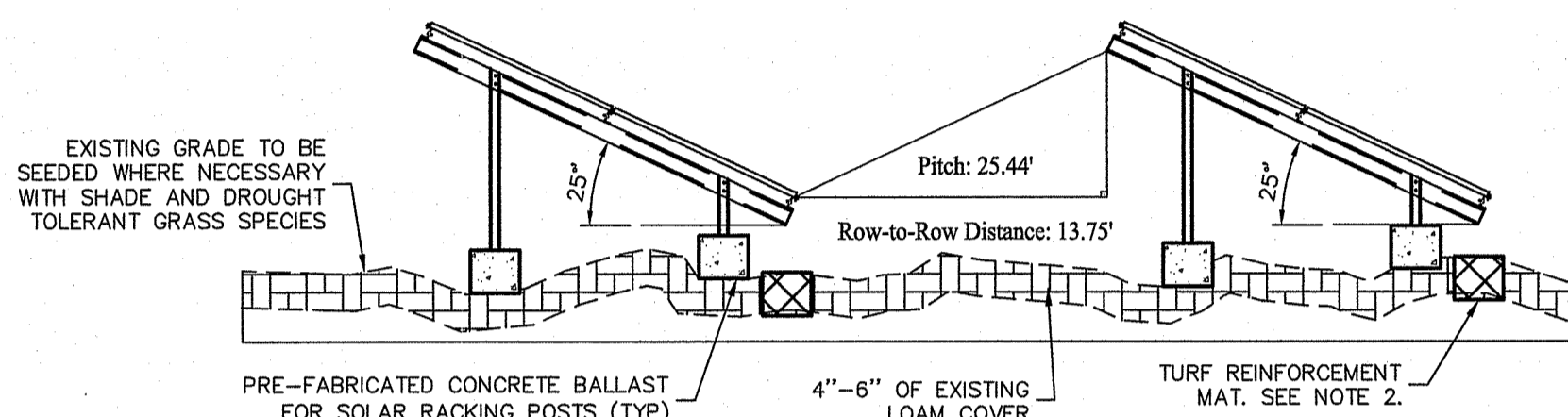
NOT TO SCALE



**DOUBLE SWING GATE 12' OPENING**

NOT TO SCALE

- NOTE:**
- METRIC DIMENSIONS ARE NOMINAL EQUIVALENTS TO U.S. DIMENSIONS.
  - SPECIFICATIONS SHOWN CAN BE CHANGED BY THE MANUFACTURER ONLY.
  - FOOTING WIDTH TO BE (4)X POST WIDTH.

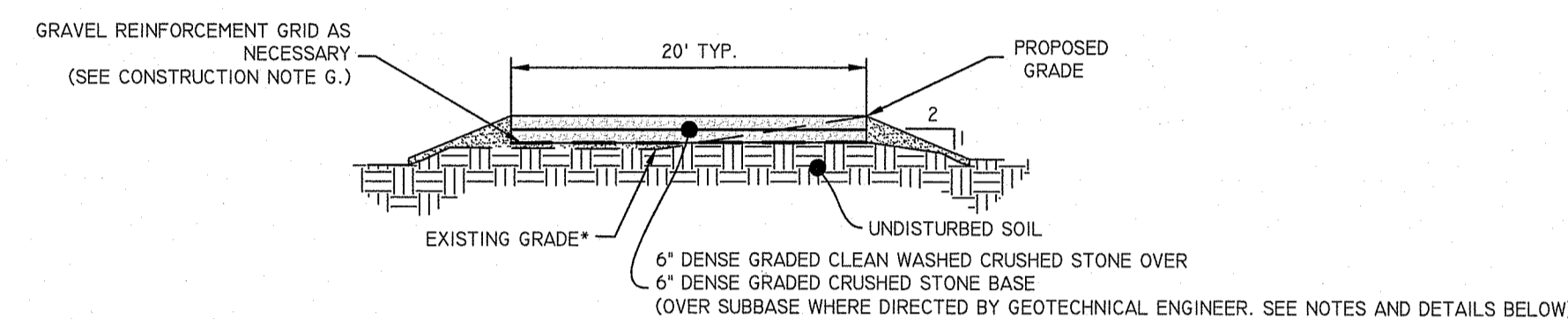


**ONSITE GRADING MATERIAL AND PV ARRAY DISTANCE SCHEME - TILT, ANGLE, AND SHADING DETAIL**

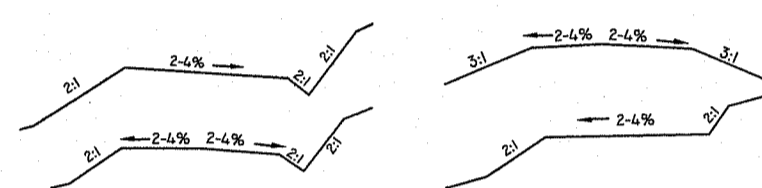
NOT TO SCALE

**NOTE:**

- TOPSOIL ON SITE SHALL BE PRESERVED. TOPSOIL SHALL NOT BE EXPORTED FROM THE SITE.
- PERMANENT TURF MATS TO BE INSTALLED IF EROSION ISSUES PERSIST AFTER PERMANENT STABILIZATION AND/OR TO SUPPORT PERMANENT STABILIZATION.



**SURFACING TYPICAL**



**PROFILE TYPICAL**

- NOTE:**
- WHERE ROAD BASE IS AT OR ABOVE EXISTING GRADE, ORGANICS MUST BE REMOVED PRIOR TO INSTALLATION OF ROAD BASE.

**CLEAN CRUSHED STONE SPECIFICATIONS**

SIeve DESIGNATION	PERCENTAGE BY MASS (WEIGHT) PASSING SQUARE MESH SIEVES
90mm (3.5in)	100
75mm (3in)	90-100
50mm (2in)	75-100
25mm (1in)	50-80
12.5mm (0.5in)	30-60
4.75mm (No. 4)	0-40
7.5mm (No. 20)	0

**DENSE GRADED CLEAN CRUSHED STONE:**

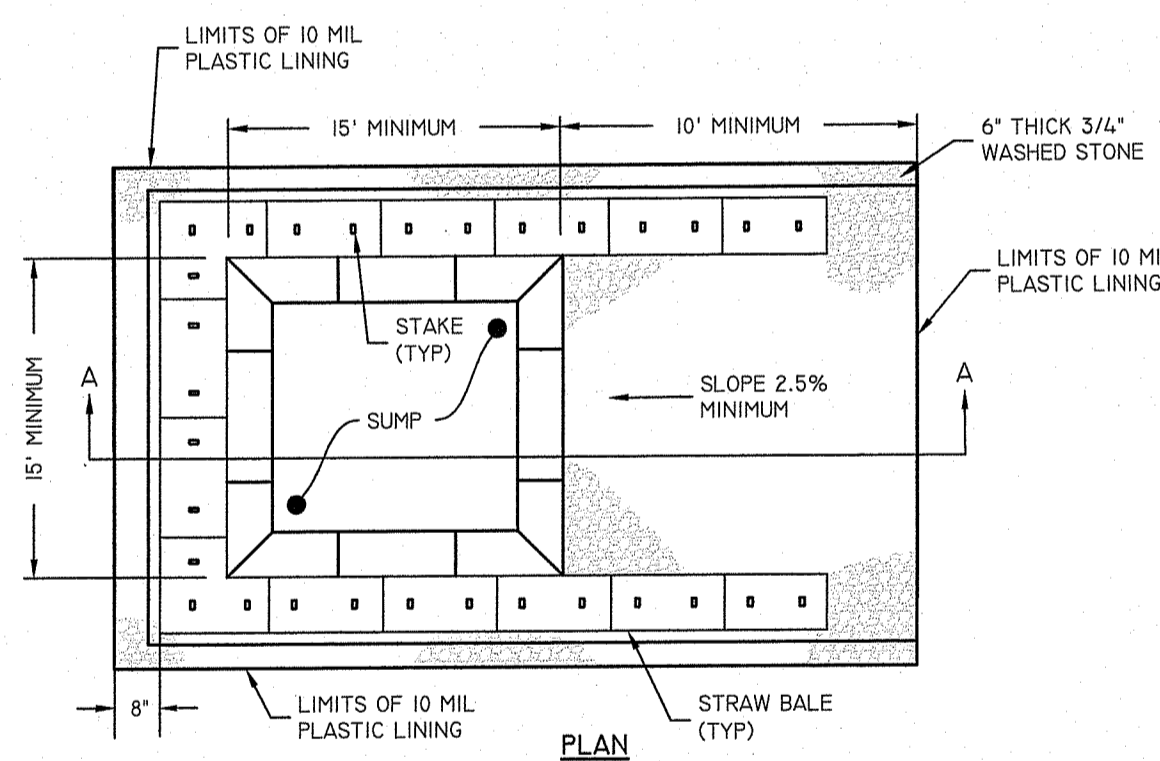
- DENSE GRADED CLEAN WASHED CRUSHED STONE MUST CONSIST OF CLEAN, WASHED, HARD, UNIFORMLY GRADED, CRUSHED STONE. IT MUST BE SUFFICIENTLY FREE FROM DIRT, DELETERIOUS MATERIAL, AND PIECES THAT ARE STRUCTURALLY WEAK AND MUST MEET THE FOLLOWING REQUIREMENTS:
- SOURCE OF MATERIAL MUST BE OBTAINED FROM AREAS STRIPPED AND CLEANED OF SOIL AND DEBRIS BEFORE BLASTING
- MATERIAL COARSER THAN THE 4.75MM (NO. 4) SIEVE MUST NOT BE MORE THAN 30 PERCENT, BY MASS (WEIGHT), OF THIN AND/OR ELONGATED PIECES.

**BASE SPECIFICATIONS**

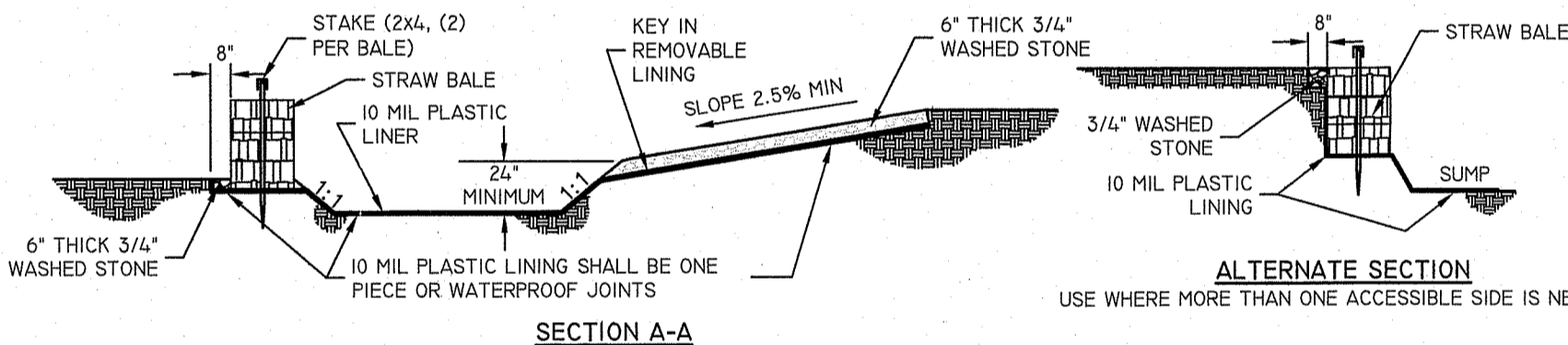
SIieve DESIGNATION	PERCENTAGE BY MASS (WEIGHT) PASSING SQUARE MESH SIEVES
90mm (3.5in)	100
75mm (3in)	90-100
50mm (2in)	75-100
25mm (1in)	50-80
12.5mm (0.5in)	30-60
4.75mm (No. 4)	15-40
7.5mm (No. 20)	0-6

**DENSE GRADED CRUSHED STONE FOR BASE:**

- DENSE GRADED CRUSHED STONE FOR BASE MUST CONSIST OF CLEAN, HARD, UNIFORMLY GRADED, CRUSHED STONE. IT MUST BE SUFFICIENTLY FREE FROM DIRT, DELETERIOUS MATERIAL, AND PIECES THAT ARE STRUCTURALLY WEAK AND MUST MEET THE FOLLOWING REQUIREMENTS:
- SOURCE OF MATERIAL MUST BE OBTAINED FROM AREAS STRIPPED AND CLEANED OF SOIL AND DEBRIS BEFORE BLASTING
- MATERIAL COARSER THAN THE 4.75MM (NO. 4) SIEVE MUST NOT BE MORE THAN 30 PERCENT, BY MASS (WEIGHT), OF THIN AND/OR ELONGATED PIECES.



**PLAN**



**ALTERNATE SECTION**

USE WHERE MORE THAN ONE ACCESSIBLE SIDE IS NEEDED

**NOTES:**

- PIT IS SPECIFICALLY DESIGNATED, DIKED AND IMPERVIOUS CONTAINMENT TO PREVENT CONTACT BETWEEN CONCRETE WASH AND STORMWATER.
- WASH WATER SHALL NOT BE ALLOWED TO FLOW TO SURFACE WATER.
- FACILITY MUST HOLD SUFFICIENT VOLUME TO CONTAIN CONCRETE WASTE WITH A MINIMUM FREEBOARD OF 12."
- FACILITY SHALL NOT BE FILLED BEYOND 95% CAPACITY UNLESS A NEW FACILITY IS CONSTRUCTED.
- SAWCUT PORTLAND CEMENT CONCRETE, RESIDUE FROM SAWCUT AND GRINDING TO BE DISPOSED OF IN THE PIT.
- CONCRETE WASHOUTS SHALL BE LOCATED A MINIMUM OF 100' FROM DRAINAGE WAYS, INLETS, AND SURFACE WATERS.
- MANUFACTURED CONCRETE WASHOUT DEVICES MAY BE USED IF REMOVED FROM THE SITE WHEN 95% FULL CAPACITY.

**CONCRETE WASHOUT AREA**

NOT TO SCALE

**SUBBASE SPECIFICATIONS (WHERE DIRECTED)**

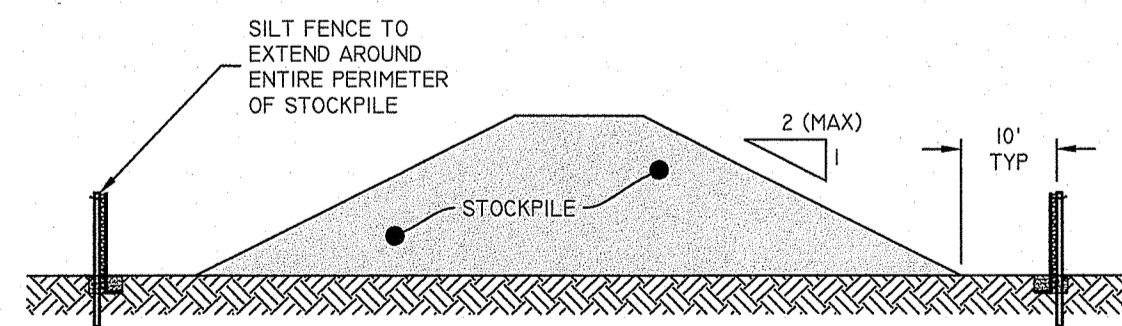
CONDITIONS:	ROAD THICKNESS	STONE SIZE	FINES
SUBBASE LAYER WITH GEOTEXTILE FABRIC (NOT EXCESSIVELY WET)	4" MIN.	3-3 1/2	0-6%
SUBBASE LAYER WITH GEOTEXTILE FABRIC (WET CONDITIONS)	6" MIN.	3-3 1/2	0-6%

**CONSTRUCTION NOTE:**

- CONSTRUCTION OPERATIONS MUST BE CARRIED OUT IN SUCH A MANNER TO MINIMIZE POTENTIAL EROSION AND WATER QUALITY DEGRADATION.
- FIXED EROSION CONTROLS AND SITE STABILIZATION MUST BE CONDUCTED IN ACCORDANCE WITH APPROVED BMP'S OR PURSUANT TO PROJECT SPECIFIC PERMITS.
- TREES, STUMPS, ROOTS, BRUSH AND WEEDS MUST BE REMOVED FROM THE WORK AREA IF DETERMINED NECESSARY TO SAFELY CONSTRUCT ROADWAY.
- ON WEAK BEARING SOIL, SUCH AS LOOSE ALLUVIAL, OR WETLAND SOILS, SURFACE TREATMENTS SHOULD BE UNDERLAIN WITH WOVEN GEOTEXTILES.
- AT MINIMUM, ROADSIDE DITCHES MUST BE IFT BELOW ROAD SURFACE.
- DISCHARGE POINTS, FOR DITCHES MUST NOT BE NEAR WETLANDS OR STREAMS, AND OR BE LOCATED AT THE DIRECTION OF THE DESIGN ENGINEER.
- CONTRACTOR TO INSTALL GRAVEL REINFORCEMENT GRID AS NECESSARY TO PREVENT EROSION AND/OR VEHICULAR DAMAGE TO THE ACCESS ROAD.

**CRUSHED STONE ACCESS PATH DETAIL (SOLAR UTILITY EASEMENT)**

NOT TO SCALE

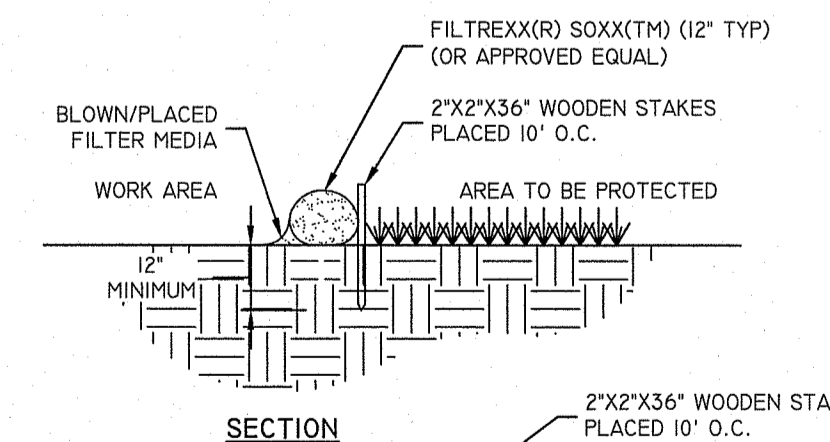


**STOCKPILE PROTECTION**

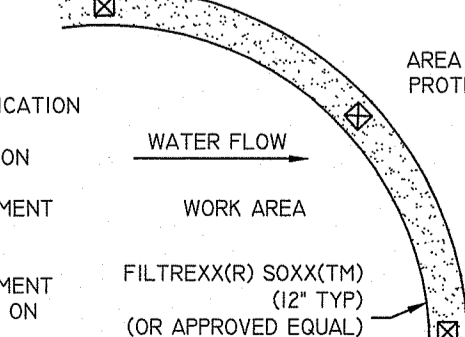
NOT TO SCALE

**NOTES:**

- ALL STOCKPILES MUST BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH SECTION 3 'STOCKPILE AND STAGING AREA MANAGEMENT' OF THE RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK (CURRENT EDITION).
- DIVERT ALL STORMWATER AWAY FROM STOCKPILES.
- SOIL STOCKPILES THAT ARE NOT TO BE USED WITHIN 30 DAYS MUST BE SEEDED AND MULCHED IMMEDIATELY AFTER FORMATION OF THE STOCKPILE WITH SEED MIX COMPATIBLE WITH THE SOIL TYPE.
- STOCKPILE AND SILT FENCE MUST BE INSPECTED AT LEAST ONCE PER WEEK AND AFTER RAIN EVENTS IN EXCESS OF 1" OF RAINFALL. REPAIR/ REPLACE SILT FENCE AND STOCKPILE COVERS WHERE APPLICABLE AS NEEDED TO KEEP THEM FUNCTIONING ADEQUATELY.
- SEDIMENT TRAPPED BY SILT FENCES MUST BE REMOVED AND PROPERLY DISPOSED OF WHENEVER SIGNIFICANT ACCUMULATION OCCURS.



**SECTION**



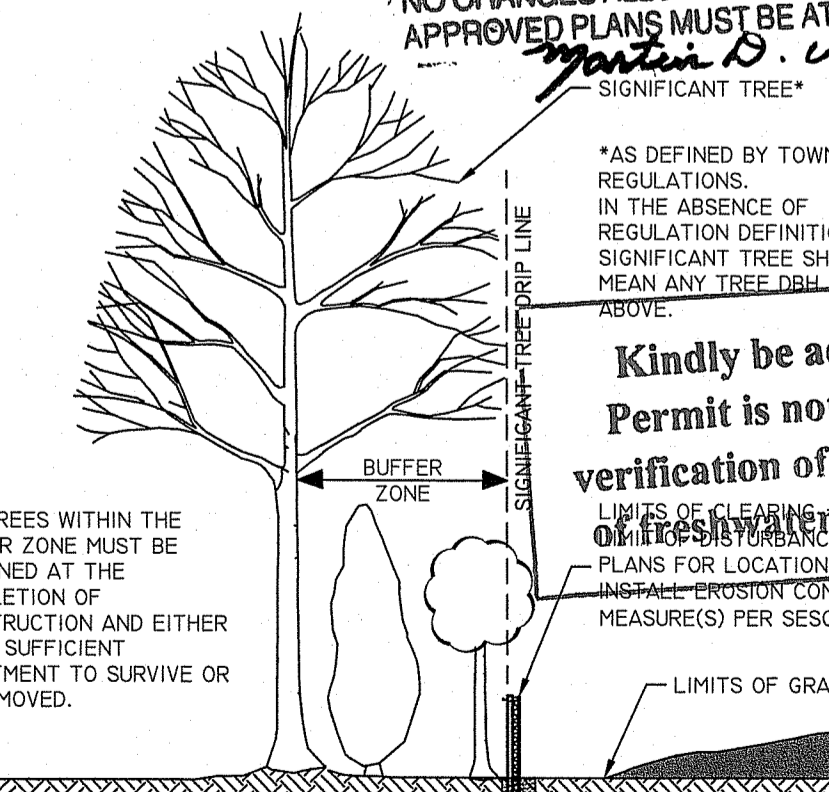
**PLAN**

**NOTES:**

- ALL MATERIAL TO MEET FILTERREXX(R) SPECIFICATIONS
- FILTER MEDIA(TM) FILL TO MEET APPLICATION REQUIREMENTS
- COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER
- STAKES ARE NOT TO BE USED IN PAVEMENT AREAS.
- SELF WEIGHT OF FILTERREXX SYSTEM IS ADEQUATE TO PREVENT SYSTEM MOVEMENT ONCE POSITIONED ALONG AREA SHOWN ON PLANS.
- CONTRACTOR TO PLACE FILTERREXX SEDIMENT CONTROL OR APPROVED EQUAL AROUND ALL CURB INLET LOCATIONS AS SPECIFIED ON PLANS.

**FILTERREXX SEDIMENT CONTROL (OR APPROVED EQUAL)**

NOT TO SCALE



**LIMIT OF DISTURBANCE AT VEGETATION**

NOT TO SCALE

DATED: SEP 02 2021 FILE # 21-0071

NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL

APPROVED PLANS MUST BE AT CONSTRUCTION SITE

AS SPECIFIED IN THE LETTER OF APPROVAL

SIGNATURE: Martin D. Wenzel

DESIGNER: Martin D. Wenzel

DATE: 08-23-2021

PROJECT: ALTUS POWER AMERICA SOLAR RELOCATION

ASSessor's PLAT 43 LOT 24 6 & ASSessor's PLAT 54 LOT 59, 60, 75

JOHNSTON, RHODE ISLAND

DESIGNED BY: JAR

DRAWN BY: JAR

CHECKED BY: JAR

DATE: 08-23-2021

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