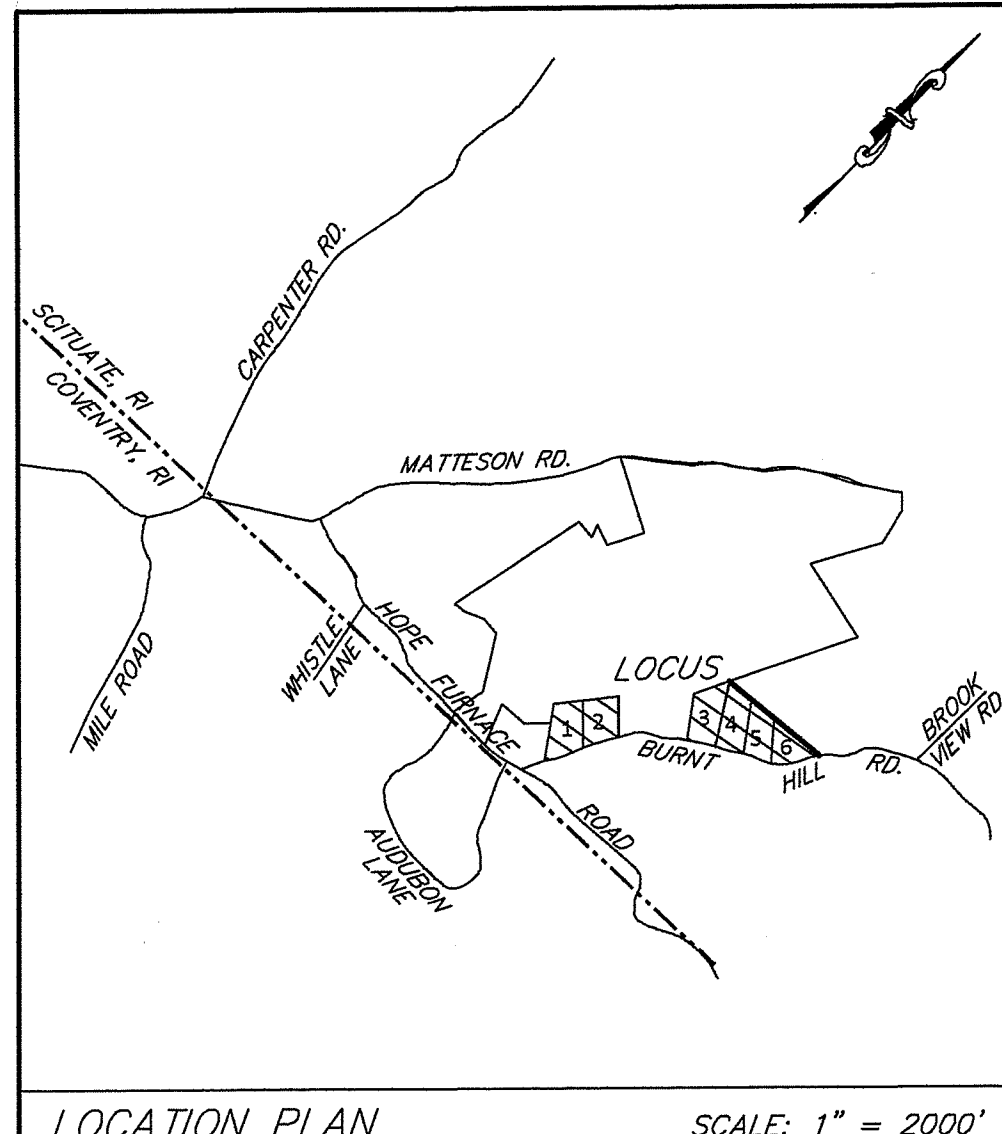


BURNT HILL ESTATES

BURNT HILL ROAD (AP 49-2, LOT 1)
SCITUATE, RHODE ISLAND

WETLANDS PERMITTING SUBMISSION
AUGUST 2021

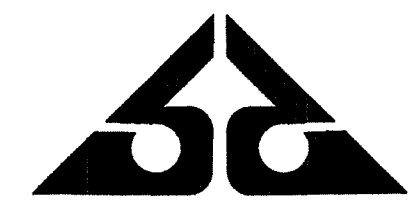


LOCATION PLAN SCALE: 1" = 2000'

OWNER / APPLICANT

FPL REALTY, LLC
685 HOPE FURNACE ROAD
HOPE, RI 02831

SURVEYOR / OWTS DESIGNER/
SOIL EVALUATOR / LAYOUT DESIGNER



SCITUATE SURVEYS, INC.

410 TIOGUE AVENUE
COVENTRY, RHODE ISLAND 02816
401-821-8101

LAND SURVEYING/MAPPING/SITE PLANNING

WETLANDS BIOLOGIST

Natural Resource Services, Inc.



PO Box 311
180 Tinkham Lane
Harrisville, RI 02830
p: (401) 568-7390

STORMWATER ENGINEER

W^EL Walker Engineering, Ltd.

31 Vale Court
West Greenwich, RI 02817
Phone / Fax (401) 397-8745
Email: wel31.pw@gmail.com

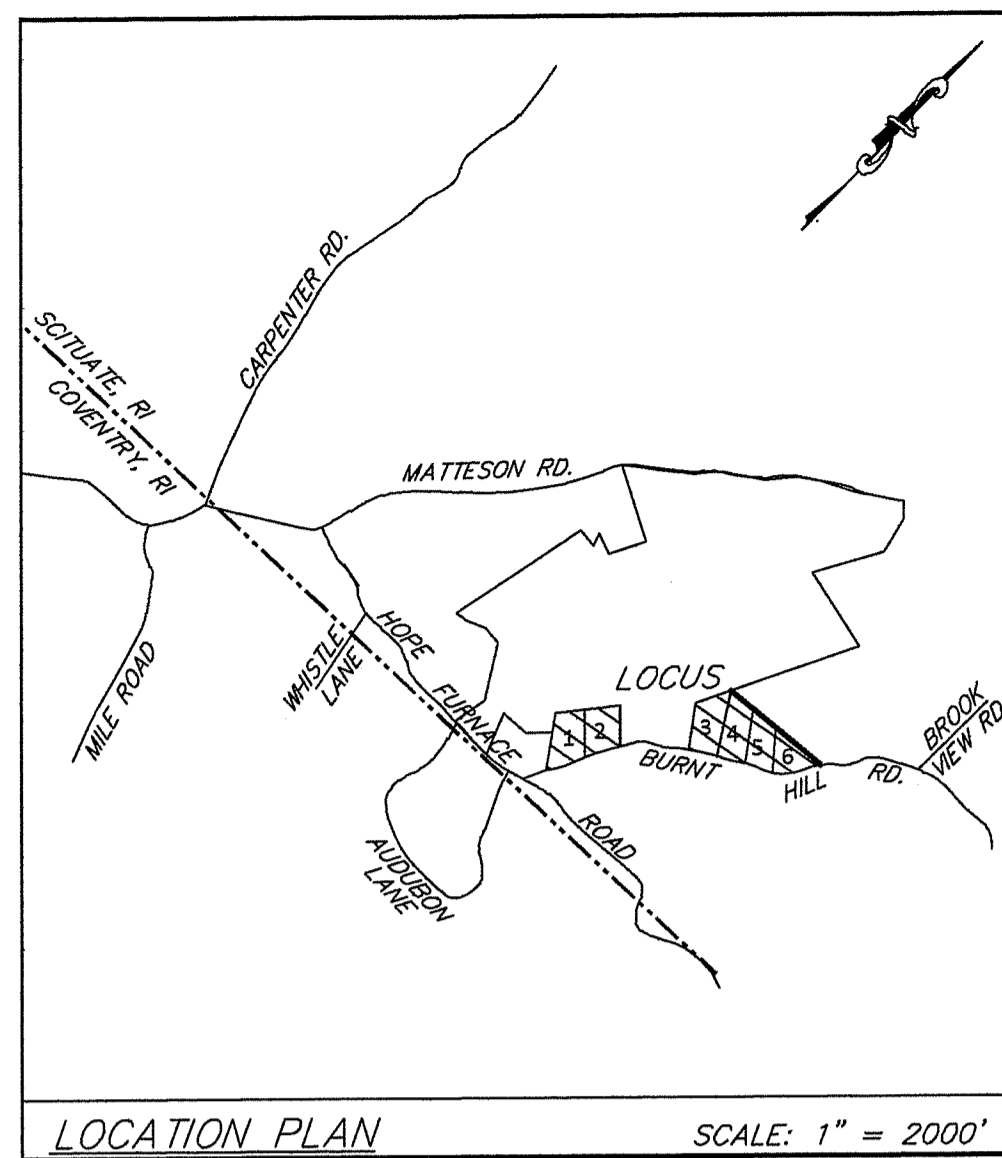
PLAN SET INDEX

SHEET	SHEET TITLE
S-1	OVERALL DRAINAGE, GRADING & EROSION CONTROL PLAN
S-2	LOT 1 - DRAINAGE, GRADING & EROSION CONTROL PLAN
S-3	LOT 2 - DRAINAGE, GRADING & EROSION CONTROL PLAN
S-4	LOT 3 - DRAINAGE, GRADING & EROSION CONTROL PLAN
S-5	LOT 4 - DRAINAGE, GRADING & EROSION CONTROL PLAN
S-6	LOT 5 - DRAINAGE, GRADING & EROSION CONTROL PLAN
S-7	LOT 6 - DRAINAGE, GRADING & EROSION CONTROL PLAN
ND-1	NOTES & DETAILS NO. 1
ND-2	NOTES & DETAILS NO. 2
ND-3	NOTES & DETAILS NO. 3

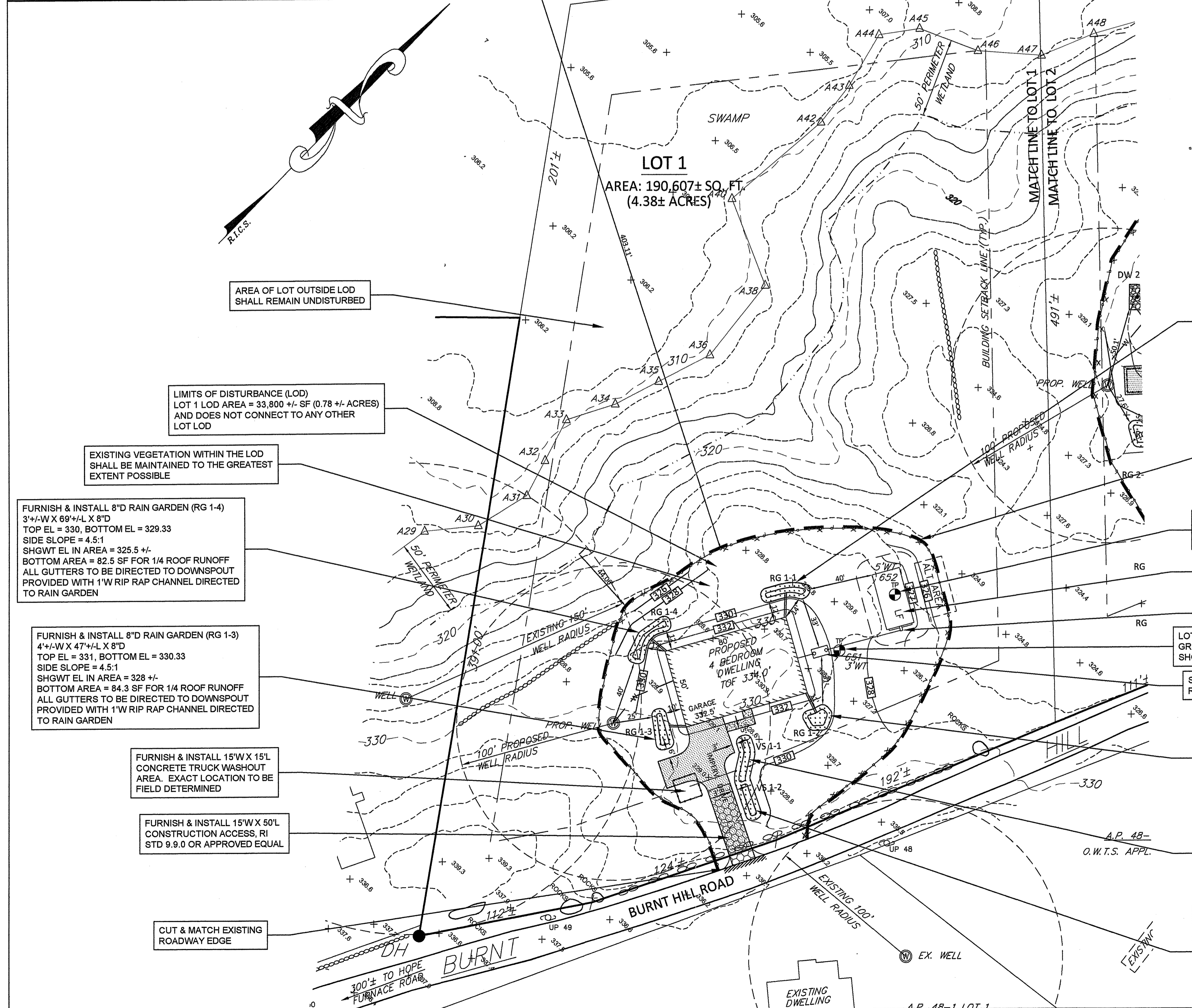
DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
REVIEWED SITE PLAN APPLICATION NO.: 21-0237
DATED OCT 21 2021
SEE LETTER OF SAME DATE.

Nancy L. Freeman

AUG 25 2021
Office of Water Resources



LOCATION PLAN SCALE: 1" = 2000'



LEGEND	EXISTING	DESCRIPTION	PROPOSED
		HOUSE	[Symbol]
		IMPERVIOUS WALK	[Symbol]
		IMPERVIOUS DRIVE	[Symbol]
		RAIN GARDEN	[Symbol] RG
		VEGETATED SWALE	[Symbol] VS
		DRY WELL	[Symbol] DW
		STONE WALL	[Symbol]
		LIMITS OF DISTURBANCE	[Symbol]
		EROSION & SEDIMENTATION CONTROL MEASURES	[Symbol]
		SOIL EVALUATION TEST HOLE	[Symbol]
		PRIVATE WELL	[Symbol]
		WATER LINE	[Symbol]
		ZONING SETBACK	[Symbol]
		FLAGGED WETLAND EDGE	[Symbol]
		STREAM	[Symbol]
		50-FOOT PERIMETER WETLAND	[Symbol]
		100- OR 200-FOOT RIVERBANK WETLAND	[Symbol]
		CUT & MATCH	[Symbol]
		CONSTRUCTION ACCESS	[Symbol]
		CONTOUR ELEVATION	[Symbol]
		UTILITY POLE	[Symbol]
		PROPERTY LINE	[Symbol]

GENERAL STORMWATER MANAGEMENT SYSTEM OPERATION & MAINTENANCE PLAN

THE STORMWATER MANAGEMENT SYSTEM OPERATION & MAINTENANCE PLAN DESCRIBED HEREIN IS FOR THE PROPOSED BURNT HILL ESTATES SUBDIVISION, ASSESSOR'S PLAT 49-2, LOT 1, SUBDIVISION LOT 1

RESPONSIBLE PARTY FOR MAINTENANCE
 • THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR ALL MAINTENANCE ASSOCIATED WITH THE STORMWATER SYSTEM UNTIL THEY ARE COMPLETELY CONSTRUCTED.

DURING CONSTRUCTION
 • PRIOR TO THE START OF ANY CONSTRUCTION, THE EROSION CONTROLS SHALL BE INSTALLED AND SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION UNTIL A STABLE GROUND COVER IS ESTABLISHED.
 • DURING CONSTRUCTION, THE SOIL EROSION AND SEDIMENTATION PROGRAMS FOUND ON THE SITE PLANS PREPARED SHALL BE FOLLOWED AND BE THE RESPONSIBILITY OF THE PROPERTY OWNER AND/OR CONTRACTOR AS APPLICABLE.
 • PREPARATION OF THE AREAS FOR THE VEGETATED SWALES AND RAIN GARDENS SHALL CONFORM TO THE PROCEDURES DESCRIBED AS PART OF THIS PLAN SET PREPARED.
 • CONSTRUCTION VEHICLES SHALL NOT BE ALLOWED TO DRIVE OVER THE RAIN GARDEN AND VEGETATED SWALE AREAS DURING CONSTRUCTION. IF THE AREA BECOMES COMPACTED, SOIL MUST BE SUITABLY AMENDED, TILLED, AND REVEGETATED ONCE CONSTRUCTION IS COMPLETE TO RESTORE INFILTRATION CAPACITY.

DESCRIPTION OF ANNUAL MAINTENANCE TASKS

YARD / LAWN AREA
 • THE YARD AREA (LAWN AREA) SHALL BE CREATED AROUND THE PROPOSED RESIDENCE AND ITS ASSOCIATED AMENITIES.
 • THE RAIN GARDENS SHALL BE MAINTAINED THROUGHOUT THE YEAR. SAID MAINTENANCE IS PROVIDED AS PART OF THE DESIGN. ALL PLANT MATERIALS SHALL BE MAINTAINED TO ENSURE PROPER GROWTH AND LIFE, SHOULD ANY OF THESE MATERIALS BECOME DISEASED OR DIE, THEY SHALL BE REPLACED IN KIND AND LOCATION. ALL MAINTENANCE PERFORMED SHALL BE DONE IN A MANNER TO MAINTAIN THE INFILTRATION CAPACITY OF THE RAIN GARDEN
 • THE VEGETATED SWALES SHALL BE MAINTAINED THROUGHOUT THE YEAR. SAID MAINTENANCE IS PROVIDED AS PART OF THE DESIGN. ALL PLANT MATERIALS SHALL BE MAINTAINED TO ENSURE PROPER GROWTH AND LIFE, SHOULD ANY OF THESE MATERIALS BECOME DISEASED OR DIE, THEY SHALL BE REPLACED IN KIND AND LOCATION. ALL MAINTENANCE PERFORMED SHALL BE DONE IN A MANNER TO MAINTAIN THE INFILTRATION CAPACITY OF THE VEGETATED SWALE
 • ANY AREA SUBJECT TO EROSION TENDENCIES SHALL BE REPLACED IN KIND TO ENSURE THAT A STABLE GROUND COVER IS MAINTAINED AT ALL TIMES.
 • MOWING AND OTHER RELATED MAINTENANCE SHALL BE PERFORMED AS SITE CONDITIONS WARRANT THROUGHOUT THE YEAR.

DESCRIPTION OF APPLICABLE EASEMENTS
 NO EASEMENTS ARE REQUIRED TO PERFORM ANNUAL MAINTENANCE.

DESCRIPTION OF FUNDING SOURCES
 THE PROPERTY OWNERS SHALL BE RESPONSIBLE FOR ALL MAINTENANCE AND OPERATION OF THE STORMWATER SYSTEMS. AS SUCH, THE PROPERTY OWNER'S FUNDS SHALL BE USED AS REQUIRED.

MINIMUM VEGETATIVE COVER REQUIREMENTS
 • THE VEGETATIVE COVER REQUIREMENTS ARE PROVIDED AS PART OF THE LANDSCAPE AND DRAINAGE DESIGN PROVIDED ON THE PLANS.
 • ALL VEGETATION PROPOSED SHALL BE MAINTAINED AT ALL TIMES AND BE REPLACED IN KIND SHOULD IT BECOME DISEASED OR DIE.

ACCESS & SAFETY ISSUES
 • THERE ARE NO SAFETY ISSUES RELATED TO THE MAINTENANCE AND OPERATION OF THE STORMWATER SYSTEM.

POLLUTION PREVENTION MEASURES
 • ANY SEDIMENTATION THAT MAY ENTER THE STORMWATER SYSTEMS SHALL BE REMOVED PROMPTLY.
 • NO PESTICIDES OR FERTILIZERS SHALL BE USED IN THE RAIN GARDENS AND VEGETATED SWALES.

FURNISH & INSTALL 8'D RAIN GARDEN (RG 1-1)
 3'W X 27'-L X 8'D
 TOP EL = 330, BOTTOM EL = 329.33
 SIDE SLOPE = 4.5:1
 SHGWT EL IN AREA = 325.8 +/-
 BOTTOM AREA = 80.3 SF FOR 1/4 ROOF RUNOFF
 ALL GUTTERS TO BE DIRECTED TO DOWNSPOUT PROVIDED WITH 1'W RIP RAP CHANNEL DIRECTED TO RAIN GARDEN

LIMITS OF DISTURBANCE (LOD)
 FURNISH & INSTALL CONTINUOUS LINE OF EROSION & SEDIMENTATION CONTROLS INSIDE LOD PRIOR TO START OF CONSTRUCTION AND MAINTAIN UNTIL STABLE GROUND SURFACE IS ESTABLISHED

LOT 1 / TP 652
 GR EL = 327+/-
 SHGWT = 5'

LEACH FIELD

H-20 D-BOX

LOT 1 / TP 651
 GR EL = 329+/-
 SHGWT = 3'

SEPTIC TANK WITH RISERS TO GRADE

FURNISH & INSTALL 8'D RAIN GARDEN (RG 1-2)
 8'-W X 11'-L X 8'D
 TOP EL = 330, BOTTOM EL = 329.33
 SIDE SLOPE = 4.5:1
 SHGWT EL IN AREA = 325 +/-
 BOTTOM AREA = 87.8 SF FOR 1/4 ROOF RUNOFF
 ALL GUTTERS TO BE DIRECTED TO DOWNSPOUT PROVIDED WITH 1'W RIP RAP CHANNEL DIRECTED TO RAIN GARDEN

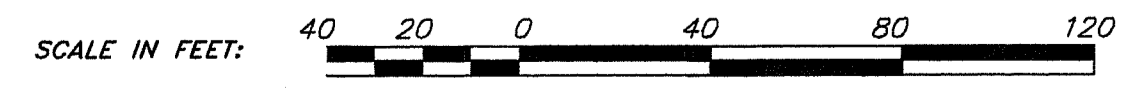
FURNISH & INSTALL VEGETATED SWALE (VS 1-1)
 4'W X 30' +/- L X 8'D
 TOP EL = 331, BOTTOM EL = 330.33
 SIDE SLOPE = 4.5:1
 SHGWT EL IN AREA = 326 +/-
 BOTTOM AREA = 106.8 +/- SF
 FOR 988 +/- SF OF DRIVE AREA
 MAX 1300 +/- SF CAN BE HANDLED

FURNISH & INSTALL VEGETATED SWALE (VS 1-2)
 4'W X 21' +/- L X 8'D
 TOP EL = 331, BOTTOM EL = 330.33
 SIDE SLOPE = 4.5:1
 SHGWT EL IN AREA = 326 +/-
 BOTTOM AREA = 81.2 +/- SF
 FOR 988 +/- SF OF DRIVE AREA
 MAX 1015 +/- SF CAN BE HANDLED

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
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 SEE LETTER OF SAME DATE.
Nancy L. Freeman

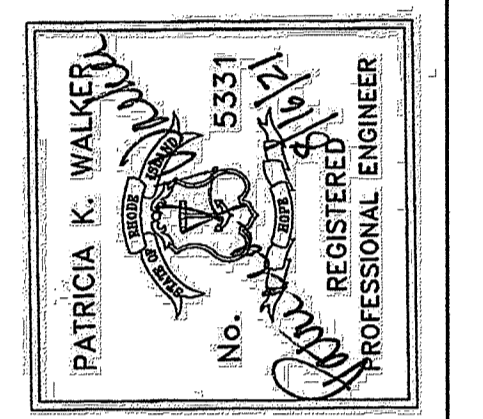
RI Environmental Management
 AUG 25 2021
 Office of Water Resources

WETLANDS PERMITTING SUBMISSION ONLY



OWNER / APPLICANT
 FPL REALTY, LLC
 685 HOPE FURNACE ROAD
 HOPE, RI 02831

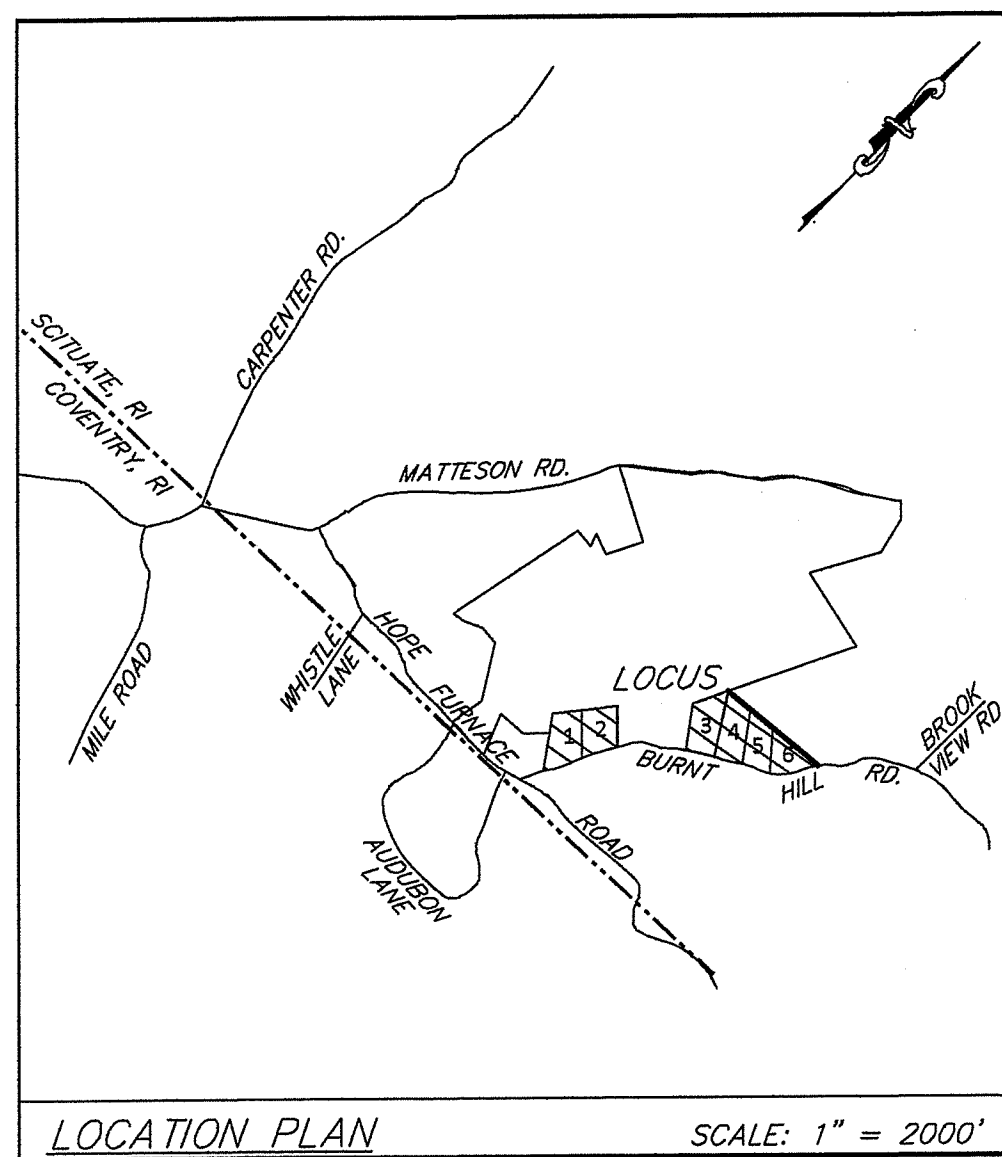
REVISIONS	DESCRIPTION	DATE



W^EL Walker Engineering, Ltd.
 31 Vale Court
 West Greenwich, RI 02817
 Phone / Fax (401) 397-8745
 Email: wsl31.pw@gmail.com

LOT 1 - DRAINAGE, GRADING & EROSION CONTROL PLAN
 BURNT HILL ESTATES
 BURNT HILL ROAD (AP 49-2, LOT 1)
 SCITUATE, RHODE ISLAND

DATE: AUGUST 2021
 SHEET: S - 2
 SHEET 2 OF 10



LOCATION PLAN SCALE: 1" = 2000'

LEGEND	DESCRIPTION	PROPOSED
[Symbol]	EXISTING HOUSE	[Symbol]
[Symbol]	EXISTING IMPERVIOUS WALK	[Symbol]
[Symbol]	EXISTING IMPERVIOUS DRIVE	[Symbol]
[Symbol]	EXISTING RAIN GARDEN	[Symbol] RG
[Symbol]	EXISTING VEGETATED SWALE	[Symbol] VS
[Symbol]	EXISTING DRY WELL	[Symbol] DW
[Symbol]	EXISTING STONE WALL	[Symbol]
[Symbol]	LIMITS OF DISTURBANCE	[Symbol]
[Symbol]	EROSION & SEDIMENTATION CONTROL MEASURES	[Symbol]
[Symbol]	SOIL EVALUATION TEST HOLE	[Symbol]
[Symbol]	PRIVATE WELL	[Symbol] (W)
[Symbol]	WATER LINE	[Symbol] W
[Symbol]	ZONING SETBACK	[Symbol]
[Symbol]	FLAGGED WETLAND EDGE	[Symbol]
[Symbol]	STREAM	[Symbol]
[Symbol]	50-FOOT PERIMETER WETLAND	[Symbol]
[Symbol]	100- OR 200-FOOT RIVERBANK WETLAND	[Symbol]
[Symbol]	CUT & MATCH	[Symbol]
[Symbol]	CONSTRUCTION ACCESS	[Symbol]
[Symbol]	CONTOUR ELEVATION	[Symbol]
[Symbol]	UTILITY POLE	[Symbol]
[Symbol]	PROPERTY LINE	[Symbol]

GENERAL STORMWATER MANAGEMENT SYSTEM OPERATION & MAINTENANCE PLAN

THE STORMWATER MANAGEMENT SYSTEM OPERATION & MAINTENANCE PLAN DESCRIBED HEREIN IS FOR THE PROPOSED BURN HILL ESTATES SUBDIVISION, ASSESSOR'S PLAT 49-2, LOT 1, SUBDIVISION LOT 2

RESPONSIBLE PARTY FOR MAINTENANCE
 • THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR ALL MAINTENANCE ASSOCIATED WITH THE STORMWATER SYSTEM UNTIL THEY ARE COMPLETELY CONSTRUCTED.

DURING CONSTRUCTION
 • PRIOR TO THE START OF ANY CONSTRUCTION, THE EROSION CONTROLS SHALL BE INSTALLED AND SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION UNTIL A STABLE GROUND COVER IS ESTABLISHED.
 • DURING CONSTRUCTION, THE SOIL EROSION AND SEDIMENTATION PROGRAMS FOUND ON THE SITE PLANS PREPARED SHALL BE FOLLOWED AND BE THE RESPONSIBILITY OF THE PROPERTY OWNER AND/OR CONTRACTOR AS APPLICABLE.
 • PREPARATION OF THE AREAS FOR THE RAIN GARDENS AND DRY WELLS SHALL CONFORM TO THE PROCEDURES DESCRIBED AS PART OF THIS PLAN SET PREPARED.
 • CONSTRUCTION VEHICLES SHALL NOT BE ALLOWED TO DRIVE OVER THE RAIN GARDEN AREAS DURING CONSTRUCTION. IF THE AREA BECOMES COMPACTED, SOIL MUST BE SUITABLY AMENDED, TILLED, AND REVEGETATED ONCE CONSTRUCTION IS COMPLETE TO RESTORE INFILTRATION CAPACITY.

DESCRIPTION OF ANNUAL MAINTENANCE TASKS

YARD / LAWN AREA
 • THE YARD AREA (LAWN AREA) SHALL BE CREATED AROUND THE PROPOSED RESIDENCE AND ITS ASSOCIATED AMENITIES.
 • THE RAIN GARDENS SHALL BE MAINTAINED THROUGHOUT THE YEAR. SAID MAINTENANCE IS PROVIDED AS PART OF THE DESIGN. ALL PLANT MATERIALS SHALL BE MAINTAINED TO ENSURE PROPER GROWTH AND LIFE, SHOULD ANY OF THESE MATERIALS BECOME DISEASED OR DIE, THEY SHALL BE REPLACED IN KIND AND LOCATION. ALL MAINTENANCE PERFORMED SHALL BE DONE IN A MANNER TO MAINTAIN THE INFILTRATION CAPACITY OF THE RAIN GARDEN.
 • THE DRY WELL SHALL BE MAINTAINED THROUGHOUT THE YEAR. SAID MAINTENANCE SHALL INCLUDE ANNUALLY INSPECTING THE DRY WELL AND REPAIR IF NECESSARY TO ENSURE PROPER DRAINAGE, AND TO REMOVE ANY ACCUMULATED SEDIMENT AND DEBRIS FROM THE SURFACE OF THE DRYWELL ANNUALLY.
 • ANY AREA SUBJECT TO EROSION TENDENCIES SHALL BE REPLACED IN KIND TO ENSURE THAT A STABLE GROUND COVER IS MAINTAINED AT ALL TIMES.
 • MOWING AND OTHER RELATED MAINTENANCE SHALL BE PERFORMED AS SITE CONDITIONS WARRANT THROUGHOUT THE YEAR.

DESCRIPTION OF APPLICABLE EASEMENTS
 NO EASEMENTS ARE REQUIRED TO PERFORM ANNUAL MAINTENANCE.

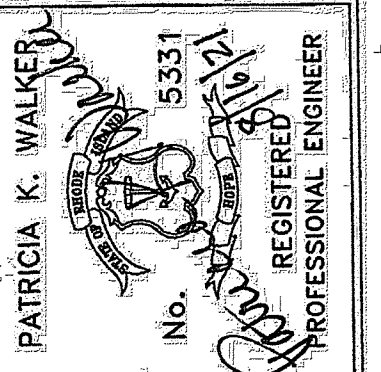
DESCRIPTION OF FUNDING SOURCES
 THE PROPERTY OWNERS SHALL BE RESPONSIBLE FOR ALL MAINTENANCE AND OPERATION OF THE STORMWATER SYSTEMS. AS SUCH, THE PROPERTY OWNER'S FUNDS SHALL BE USED AS REQUIRED.

MINIMUM VEGETATIVE COVER REQUIREMENTS
 • THE VEGETATIVE COVER REQUIREMENTS ARE PROVIDED AS PART OF THE LANDSCAPE AND DRAINAGE DESIGN PROVIDED ON THE PLANS.
 • ALL VEGETATION PROPOSED SHALL BE MAINTAINED AT ALL TIMES AND BE REPLACED IN KIND SHOULD IT BECOME DISEASED OR DIE.

ACCESS & SAFETY ISSUES
 • THERE ARE NO SAFETY ISSUES RELATED TO THE MAINTENANCE AND OPERATION OF THE STORMWATER SYSTEM.

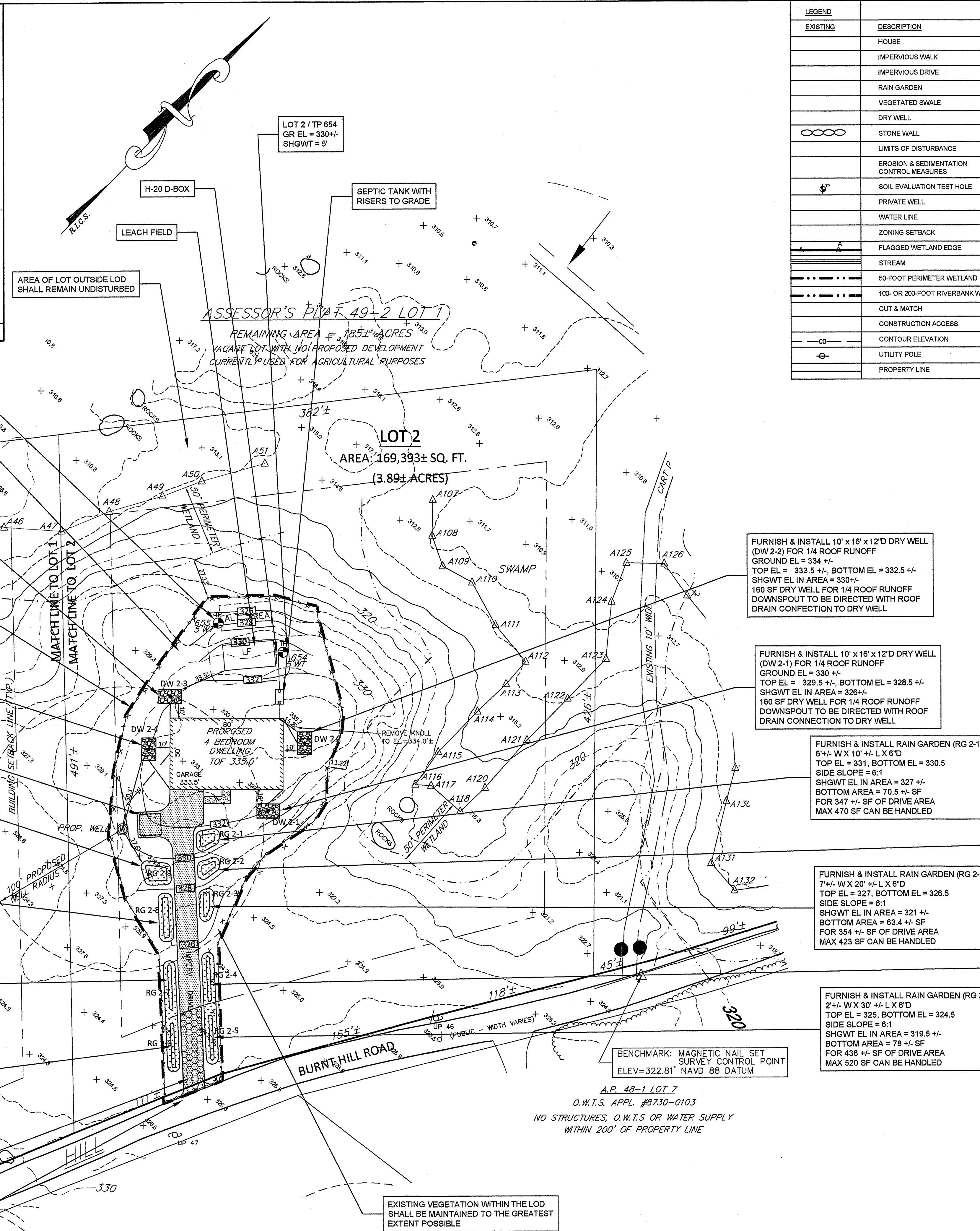
POLLUTION PREVENTION MEASURES
 • ANY SEDIMENTATION THAT MAY ENTER THE STORMWATER SYSTEMS SHALL BE REMOVED PROMPTLY.
 • NO PESTICIDES OR FERTILIZERS SHALL BE USED IN THE RAIN GARDENS.

REVISIONS	DESCRIPTION	DATE



WEL Walker Engineering, Ltd.
 31 Vale Court
 West Greenwich, RI 02817
 Phone / Fax (401) 397-8745
 Email: wvel31.pw@gmail.com

- LOT 2 / TP 654
GR EL = 330 +/-
SHGWT = 5'
- LOT 2 / TP 655
GR EL = 326.5 +/-
SHGWT = 5'
- LIMITS OF DISTURBANCE (LOD)
LOT 2 LOD AREA = 33,500 +/- SF (0.74 +/- ACRES)
AND DOES NOT CONNECT TO ANY OTHER LOT LOD
- FURNISH & INSTALL 10' x 16' x 12"D DRY WELL (DW 2-3) FOR 1/4 ROOF RUNOFF
GROUND EL = 332 +/-
TOP EL = 331.5 +/-, BOTTOM EL = 330.5 +/-
SHGWT EL IN AREA = 327 +/-
160 SF DRY WELL FOR 1/4 ROOF RUNOFF
DOWNSPOUT TO BE DIRECTED WITH ROOF DRAIN CONNECTION TO DRY WELL
- LIMITS OF DISTURBANCE (LOD)
FURNISH & INSTALL CONTINUOUS LINE OF EROSION & SEDIMENTATION CONTROLS INSIDE LOD PRIOR TO START OF CONSTRUCTION AND MAINTAIN UNTIL STABLE GROUND SURFACE IS ESTABLISHED
- FURNISH & INSTALL 10' x 16' x 12"D DRY WELL (DW 2-4) FOR 1/4 ROOF RUNOFF
GROUND EL = 331 +/-
TOP EL = 330.5 +/-, BOTTOM EL = 329.5 +/-
SHGWT EL IN AREA = 325.5 +/-
160 SF DRY WELL FOR 1/4 ROOF RUNOFF
DOWNSPOUT TO BE DIRECTED WITH ROOF DRAIN CONNECTION TO DRY WELL
- FURNISH & INSTALL 15'W X 15'L CONCRETE TRUCK WASHOUT AREA. EXACT LOCATION TO BE FIELD DETERMINED
- FURNISH & INSTALL RAIN GARDEN (RG 2-9)
10' +/- W X 14' +/- L X 6"D
TOP EL = 329, BOTTOM EL = 328.5
SIDE SLOPE = 6:1
SHGWT EL IN AREA = 324 +/-
BOTTOM AREA = 138.8 +/- SF
FOR 921 +/- SF OF DRIVE AREA
MAX 925 SF CAN BE HANDLED
- FURNISH & INSTALL RAIN GARDEN (RG 2-8)
4' +/- W X 28' +/- L X 6"D
TOP EL = 327, BOTTOM EL = 326.5
SIDE SLOPE = 6:1
SHGWT EL IN AREA = 322.5 +/-
BOTTOM AREA = 109.4 +/- SF
FOR 370 +/- SF OF DRIVE AREA
MAX 729 SF CAN BE HANDLED
- FURNISH & INSTALL RAIN GARDEN (RG 2-7)
2' +/- W X 30' +/- L X 6"D
TOP EL = 325, BOTTOM EL = 324.5
SIDE SLOPE = 6:1
SHGWT EL IN AREA = 319.5 +/-
BOTTOM AREA = 77.4 +/- SF
FOR 357 +/- SF OF DRIVE AREA
MAX 516 SF CAN BE HANDLED
- FURNISH & INSTALL RAIN GARDEN (RG 2-6)
2' +/- W X 30' +/- L X 6"D
TOP EL = 325, BOTTOM EL = 324.5
SIDE SLOPE = 6:1
SHGWT EL IN AREA = 319.5 +/-
BOTTOM AREA = 77.4 +/- SF
FOR 419 +/- SF OF DRIVE AREA
MAX 516 SF CAN BE HANDLED
- FURNISH & INSTALL 15'W X 50'L CONSTRUCTION ACCESS, RI STD 9.9.0 OR APPROVED EQUAL
- CUT & MATCH EXISTING ROADWAY EDGE



FURNISH & INSTALL 10' x 16' x 12"D DRY WELL (DW 2-2) FOR 1/4 ROOF RUNOFF
GROUND EL = 334 +/-
TOP EL = 333.5 +/-, BOTTOM EL = 332.5 +/-
SHGWT EL IN AREA = 330 +/-
160 SF DRY WELL FOR 1/4 ROOF RUNOFF
DOWNSPOUT TO BE DIRECTED WITH ROOF DRAIN CONNECTION TO DRY WELL

FURNISH & INSTALL 10' x 16' x 12"D DRY WELL (DW 2-1) FOR 1/4 ROOF RUNOFF
GROUND EL = 330 +/-
TOP EL = 329.5 +/-, BOTTOM EL = 328.5 +/-
SHGWT EL IN AREA = 326.5 +/-
160 SF DRY WELL FOR 1/4 ROOF RUNOFF
DOWNSPOUT TO BE DIRECTED WITH ROOF DRAIN CONNECTION TO DRY WELL

FURNISH & INSTALL RAIN GARDEN (RG 2-1)
6' +/- W X 10' +/- L X 6"D
TOP EL = 331, BOTTOM EL = 330.5
SIDE SLOPE = 6:1
SHGWT EL IN AREA = 327 +/-
BOTTOM AREA = 70.5 +/- SF
FOR 347 +/- SF OF DRIVE AREA
MAX 470 SF CAN BE HANDLED

FURNISH & INSTALL RAIN GARDEN (RG 2-2)
4' +/- W X 21' +/- L X 6"D
TOP EL = 329, BOTTOM EL = 328.5
SIDE SLOPE = 6:1
SHGWT EL IN AREA = 324 +/-
BOTTOM AREA = 53.1 +/- SF
FOR 180 +/- SF OF DRIVE AREA
MAX 354 SF CAN BE HANDLED

FURNISH & INSTALL RAIN GARDEN (RG 2-3)
7' +/- W X 20' +/- L X 6"D
TOP EL = 327, BOTTOM EL = 326.5
SIDE SLOPE = 6:1
SHGWT EL IN AREA = 321 +/-
BOTTOM AREA = 63.4 +/- SF
FOR 354 +/- SF OF DRIVE AREA
MAX 423 SF CAN BE HANDLED

FURNISH & INSTALL RAIN GARDEN (RG 2-4)
2' +/- W X 30' +/- L X 6"D
TOP EL = 325, BOTTOM EL = 324.5
SIDE SLOPE = 6:1
SHGWT EL IN AREA = 319.5 +/-
BOTTOM AREA = 78 +/- SF
FOR 428 +/- SF OF DRIVE AREA
MAX 520 SF CAN BE HANDLED

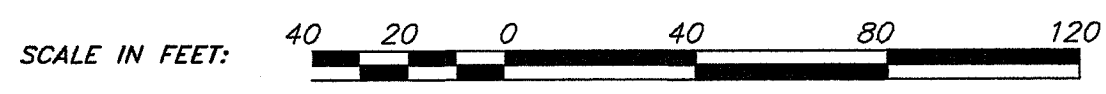
FURNISH & INSTALL RAIN GARDEN (RG 2-5)
2' +/- W X 30' +/- L X 6"D
TOP EL = 325, BOTTOM EL = 324.5
SIDE SLOPE = 6:1
SHGWT EL IN AREA = 319.5 +/-
BOTTOM AREA = 78 +/- SF
FOR 436 +/- SF OF DRIVE AREA
MAX 520 SF CAN BE HANDLED

A.P. 48-1 LOT 7
O.W.T.S. APPL. #B730-0103
NO STRUCTURES, O.W.T.S OR WATER SUPPLY WITHIN 200' OF PROPERTY LINE

WETLANDS PERMITTING SUBMISSION ONLY

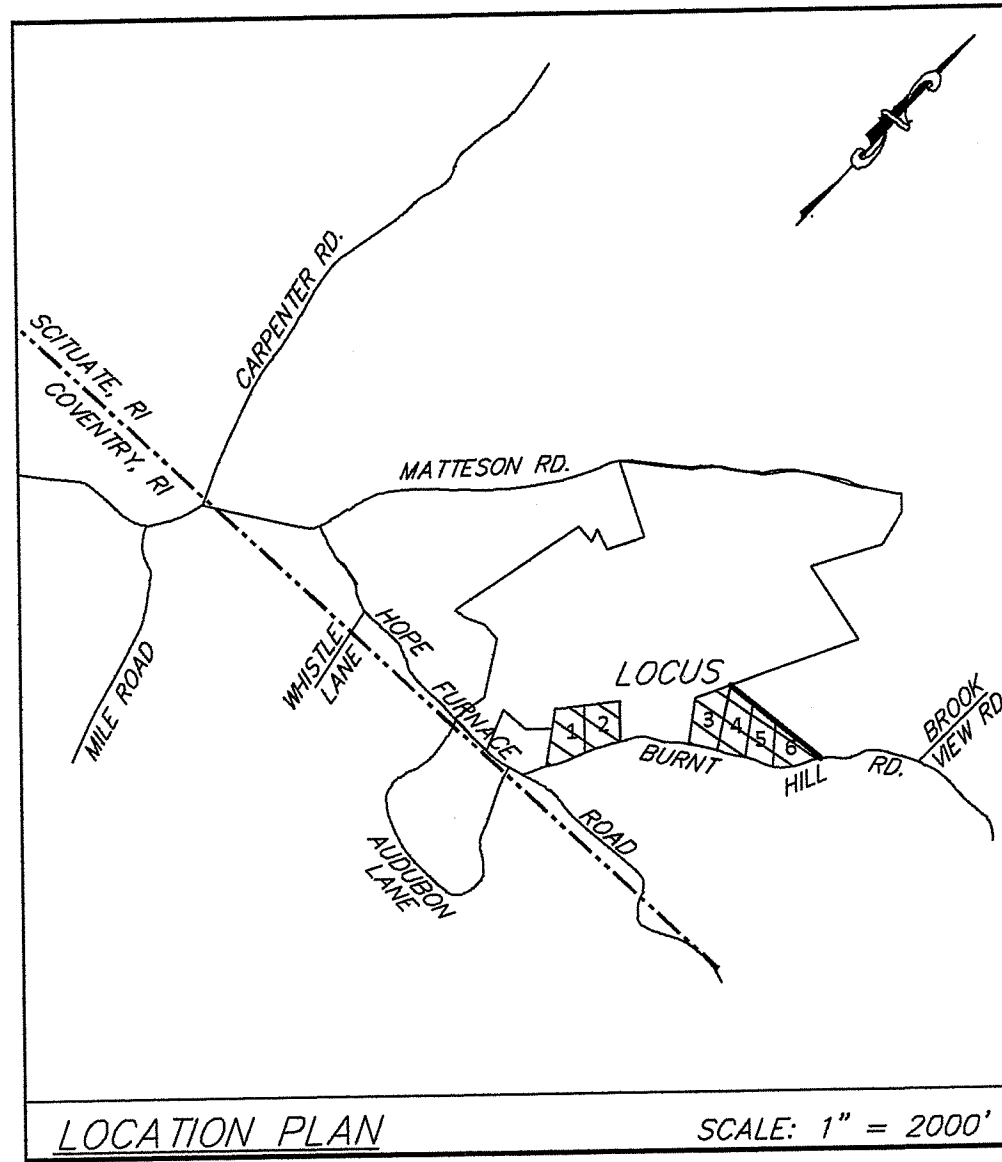
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Nancy L. Freeman

RI Environmental Management
 AUG 25 2021
 Office of Water Resources



OWNER / APPLICANT
 FPL REALTY, LLC
 685 HOPE FURNACE ROAD
 HOPE, RI 02831

DATE: AUGUST 2021
SHEET: S - 3
SHEET 3 OF 10



ASSESSOR'S PLAT 49-2 LOT 1
 REMAINING AREA = 185± ACRES
 VACANT LOT WITH NO PROPOSED DEVELOPMENT
 CURRENTLY USED FOR AGRICULTURAL PURPOSES

LEGEND	EXISTING	DESCRIPTION	PROPOSED
		HOUSE	[Symbol]
		IMPERVIOUS WALK	[Symbol]
		IMPERVIOUS DRIVE	[Symbol]
		RAIN GARDEN	[Symbol] RG
		VEGETATED SWALE	[Symbol] VS
		DRY WELL	[Symbol] DW
		STONE WALL	[Symbol]
		LIMITS OF DISTURBANCE	[Symbol]
		EROSION & SEDIMENTATION CONTROL MEASURES	[Symbol]
		SOIL EVALUATION TEST HOLE	[Symbol]
		PRIVATE WELL	[Symbol] (W)
		WATER LINE	[Symbol] W
		ZONING SETBACK	[Symbol]
		FLAGGED WETLAND EDGE	[Symbol]
		STREAM	[Symbol]
		50-FOOT PERIMETER WETLAND	[Symbol]
		100- OR 200-FOOT RIVERBANK WETLAND	[Symbol]
		CUT & MATCH	[Symbol]
		CONSTRUCTION ACCESS	[Symbol]
		CONTOUR ELEVATION	[Symbol] (00)
		UTILITY POLE	[Symbol]
		PROPERTY LINE	[Symbol]

GENERAL STORMWATER MANAGEMENT SYSTEM OPERATION & MAINTENANCE PLAN

THE STORMWATER MANAGEMENT SYSTEM OPERATION & MAINTENANCE PLAN DESCRIBED HEREIN IS FOR THE PROPOSED BURNT HILL ESTATES SUBDIVISION, ASSESSOR'S PLAT 49-2, LOT 1, SUBDIVISION LOT 3

RESPONSIBLE PARTY FOR MAINTENANCE
 • THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR ALL MAINTENANCE ASSOCIATED WITH THE STORMWATER SYSTEM UNTIL THEY ARE COMPLETELY CONSTRUCTED.

DURING CONSTRUCTION
 • PRIOR TO THE START OF ANY CONSTRUCTION, THE EROSION CONTROLS SHALL BE INSTALLED AND SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION UNTIL A STABLE GROUND COVER IS ESTABLISHED.
 • DURING CONSTRUCTION, THE SOIL EROSION AND SEDIMENTATION PROGRAMS FOUND ON THE SITE PLANS PREPARED SHALL BE FOLLOWED AND BE THE RESPONSIBILITY OF THE PROPERTY OWNER AND/OR CONTRACTOR AS APPLICABLE.
 • PREPARATION OF THE AREAS FOR THE VEGETATED SWALES AND DRY WELLS SHALL CONFORM TO THE PROCEDURES DESCRIBED AS PART OF THIS PLAN SET PREPARED.
 • CONSTRUCTION VEHICLES SHALL NOT BE ALLOWED TO DRIVE OVER THE VEGETATED SWALES AREAS DURING CONSTRUCTION. IF THE AREA BECOMES COMPACTED, SOIL MUST BE SUITABLY AMENDED, TILLED, AND REVEGETATED ONCE CONSTRUCTION IS COMPLETE TO RESTORE INFILTRATION CAPACITY.

DESCRIPTION OF ANNUAL MAINTENANCE TASKS

YARD / LAWN AREA
 • THE YARD AREA (LAWN AREA) SHALL BE CREATED AROUND THE PROPOSED RESIDENCE AND ITS ASSOCIATED AMENITIES.
 • THE VEGETATED SWALES SHALL BE MAINTAINED THROUGHOUT THE YEAR. SAID MAINTENANCE IS PROVIDED AS PART OF THE DESIGN. ALL PLANT MATERIALS SHALL BE MAINTAINED TO ENSURE PROPER GROWTH AND LIFE. SHOULD ANY OF THESE MATERIALS BECOME DISEASED OR DIE, THEY SHALL BE REPLACED IN KIND AND LOCATION. ALL MAINTENANCE PERFORMED SHALL BE DONE IN A MANNER TO MAINTAIN THE INFILTRATION CAPACITY OF THE VEGETATED SWALES.
 • THE DRY WELLS SHALL BE MAINTAINED THROUGHOUT THE YEAR. SAID MAINTENANCE SHALL INCLUDE ANNUALLY INSPECTING THE DRY WELL AND REPAIR IF NECESSARY TO ENSURE PROPER DRAINAGE, AND TO REMOVE ANY ACCUMULATED SEDIMENT AND DEBRIS FROM THE SURFACE OF THE DRYWELL ANNUALLY.
 • ANY AREA SUBJECT TO EROSION TENDENCIES SHALL BE REPLACED IN KIND TO ENSURE THAT A STABLE GROUND COVER IS MAINTAINED AT ALL TIMES.
 • MOWING AND OTHER RELATED MAINTENANCE SHALL BE PERFORMED AS SITE CONDITIONS WARRANT THROUGHOUT THE YEAR.

DESCRIPTION OF APPLICABLE EASEMENTS
 NO EASEMENTS ARE REQUIRED TO PERFORM ANNUAL MAINTENANCE.

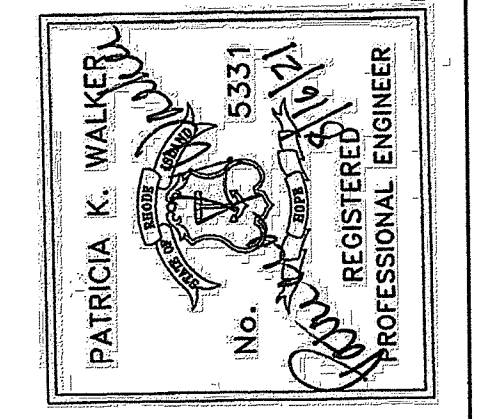
DESCRIPTION OF FUNDING SOURCES
 THE PROPERTY OWNERS SHALL BE RESPONSIBLE FOR ALL MAINTENANCE AND OPERATION OF THE STORMWATER SYSTEMS. AS SUCH, THE PROPERTY OWNER'S FUNDS SHALL BE USED AS REQUIRED.

MINIMUM VEGETATIVE COVER REQUIREMENTS
 • THE VEGETATIVE COVER REQUIREMENTS ARE PROVIDED AS PART OF THE LANDSCAPE AND DRAINAGE DESIGN PROVIDED ON THE PLANS.
 • ALL VEGETATION PROPOSED SHALL BE MAINTAINED AT ALL TIMES AND BE REPLACED IN KIND SHOULD IT BECOME DISEASED OR DIE.

ACCESS & SAFETY ISSUES
 • THERE ARE NO SAFETY ISSUES RELATED TO THE MAINTENANCE AND OPERATION OF THE STORMWATER SYSTEM.

POLLUTION PREVENTION MEASURES
 • ANY SEDIMENTATION THAT MAY ENTER THE STORMWATER SYSTEMS SHALL BE REMOVED PROMPTLY.
 • NO PESTICIDES OR FERTILIZERS SHALL BE USED IN THE VEGETATED SWALES.

REVISIONS	DESCRIPTION	DATE

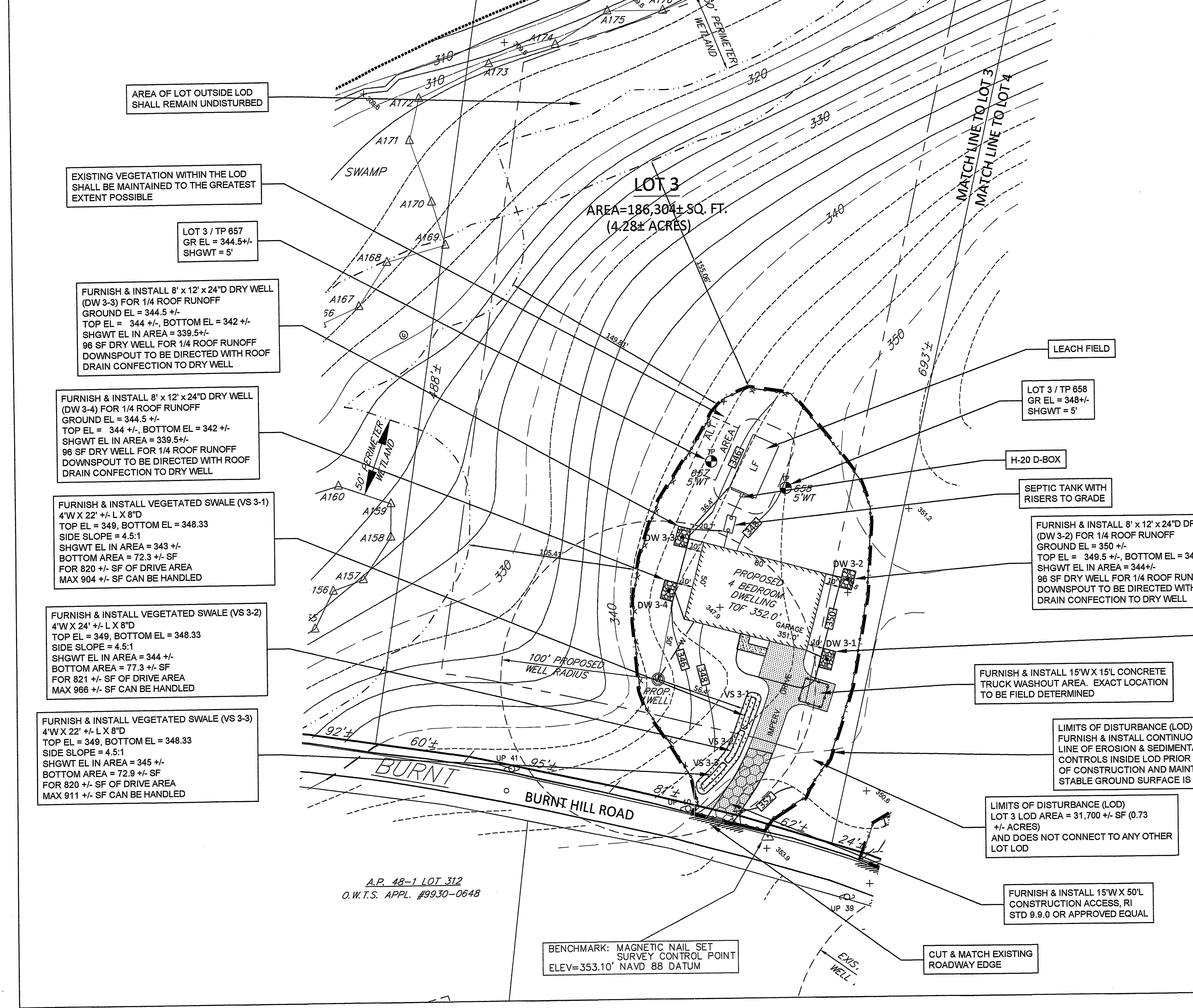


Walker Engineering, Ltd.
 31 Vale Court
 West Greenwich, RI 02817
 Phone / Fax (401) 397-8745
 Email: wel31.pw@gmail.com

LOT 3 - DRAINAGE, GRADING & EROSION CONTROL PLAN
 BURNT HILL ESTATES
 BURNT HILL ROAD (AP 49-2, LOT 1)
 SCITUATE, RHODE ISLAND

DATE: AUGUST 2021
 SHEET: S - 4
 SHEET 4 OF 10

LOCATION PLAN SCALE: 1" = 2000'



AREA OF LOT OUTSIDE LOD SHALL REMAIN UNDISTURBED

EXISTING VEGETATION WITHIN THE LOD SHALL BE MAINTAINED TO THE GREATEST EXTENT POSSIBLE

LOT 3 / TP 657
 GR EL = 344.5+/-
 SHGWT = 5'

FURNISH & INSTALL 8' x 12' x 24" DRY WELL (DW 3-3) FOR 1/4 ROOF RUNOFF
 GROUND EL = 344.5 +/-
 TOP EL = 344 +/-, BOTTOM EL = 342 +/-
 SHGWT EL IN AREA = 338.5 +/-
 96 SF DRY WELL FOR 1/4 ROOF RUNOFF
 DOWNSPOUT TO BE DIRECTED WITH ROOF DRAIN CONFECTION TO DRY WELL

FURNISH & INSTALL 8' x 12' x 24" DRY WELL (DW 3-4) FOR 1/4 ROOF RUNOFF
 GROUND EL = 344.5 +/-
 TOP EL = 344 +/-, BOTTOM EL = 342 +/-
 SHGWT EL IN AREA = 339.5 +/-
 96 SF DRY WELL FOR 1/4 ROOF RUNOFF
 DOWNSPOUT TO BE DIRECTED WITH ROOF DRAIN CONFECTION TO DRY WELL

FURNISH & INSTALL VEGETATED SWALE (VS 3-1)
 4'W X 22' +/- L X 8'D
 TOP EL = 349, BOTTOM EL = 348.33
 SIDE SLOPE = 4.5:1
 SHGWT EL IN AREA = 343 +/-
 BOTTOM AREA = 72.3 +/- SF
 FOR 820 +/- SF OF DRIVE AREA
 MAX 904 +/- SF CAN BE HANDLED

FURNISH & INSTALL VEGETATED SWALE (VS 3-2)
 4'W X 24' +/- L X 8'D
 TOP EL = 349, BOTTOM EL = 348.33
 SIDE SLOPE = 4.5:1
 SHGWT EL IN AREA = 344 +/-
 BOTTOM AREA = 77.3 +/- SF
 FOR 821 +/- SF OF DRIVE AREA
 MAX 966 +/- SF CAN BE HANDLED

FURNISH & INSTALL VEGETATED SWALE (VS 3-3)
 4'W X 22' +/- L X 8'D
 TOP EL = 349, BOTTOM EL = 348.33
 SIDE SLOPE = 4.5:1
 SHGWT EL IN AREA = 345 +/-
 BOTTOM AREA = 72.9 +/- SF
 FOR 820 +/- SF OF DRIVE AREA
 MAX 911 +/- SF CAN BE HANDLED

LEACH FIELD

LOT 3 / TP 658
 GR EL = 348 +/-
 SHGWT = 5'

H-20 D-BOX

SEPTIC TANK WITH RISERS TO GRADE

FURNISH & INSTALL 8' x 12' x 24" DRY WELL (DW 3-2) FOR 1/4 ROOF RUNOFF
 GROUND EL = 350 +/-
 TOP EL = 349.5 +/-, BOTTOM EL = 347.5 +/-
 SHGWT EL IN AREA = 344 +/-
 96 SF DRY WELL FOR 1/4 ROOF RUNOFF
 DOWNSPOUT TO BE DIRECTED WITH ROOF DRAIN CONFECTION TO DRY WELL

FURNISH & INSTALL 8' x 12' x 24" DRY WELL (DW 3-1) FOR 1/4 ROOF RUNOFF
 GROUND EL = 349 +/-
 TOP EL = 348.5 +/-, BOTTOM EL = 346.5 +/-
 SHGWT EL IN AREA = 344.5 +/-
 96 SF DRY WELL FOR 1/4 ROOF RUNOFF
 DOWNSPOUT TO BE DIRECTED WITH ROOF DRAIN CONFECTION TO DRY WELL

FURNISH & INSTALL 15'W X 15'L CONCRETE TRUCK WASHOUT AREA. EXACT LOCATION TO BE FIELD DETERMINED

LIMITS OF DISTURBANCE (LOD)
 FURNISH & INSTALL CONTINUOUS LINE OF EROSION & SEDIMENTATION CONTROLS INSIDE LOD PRIOR TO START OF CONSTRUCTION AND MAINTAIN UNTIL STABLE GROUND SURFACE IS ESTABLISHED

LIMITS OF DISTURBANCE (LOD)
 LOT 3 LOD AREA = 31,700 +/- SF (0.73 +/- ACRES)
 AND DOES NOT CONNECT TO ANY OTHER LOT LOD

FURNISH & INSTALL 15'W X 50'L CONSTRUCTION ACCESS, RI STD 9.9.0 OR APPROVED EQUAL

BENCHMARK: MAGNETIC NAIL SET SURVEY CONTROL POINT ELEV=353.10' NAVD 88 DATUM

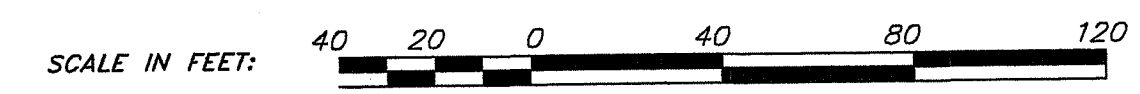
CUT & MATCH EXISTING ROADWAY EDGE

RI Environmental Management
 AUG 25 2021
 Office of Water Resources

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 REVIEWED SITE PLAN APPLICATION NO.: 21-0237
 DATED OCT 21 2021
 SEE LETTER OF SAME DATE.
Nancy J. Freeman

WETLANDS PERMITTING SUBMISSION ONLY

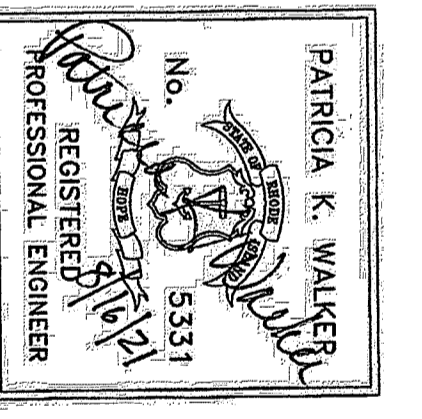
OWNER / APPLICANT
 FPL REALTY, LLC
 685 HOPE FURNACE ROAD
 HOPE, RI 02831



A.P. 48-1 LOT 312
 O.W.T.S. APPL. #9930-0648

LOT 4 - DRAINAGE, GRADING & EROSION CONTROL PLAN
 BURNT HILL ESTATES
 BURNT HILL ROAD (AP 49-2, LOT 1)
 SCITUATE, RHODE ISLAND

Walker Engineering, Ltd.
 31 Vale Court
 West Greenwich, RI 02817
 Phone / Fax (401) 397-5745
 Email: wael31pw@gmail.com



REVISIONS	DATE	DESCRIPTION

OWNER / APPLICANT
 FPL REALTY, LLC
 685 HOPE FURNACE ROAD
 HOPE, RI 02831

WETLANDS PERMITTING SUBMISSION ONLY

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 REVISED SITE PLAN APPLICATION NO.: 21-0237
 DATED: OCT 21 2021
 SEE LETTER OF SAME DATE.
Anthony J. Freeman

Office of Water Resources
 AUG 25 2021
 RI Environmental Management

GENERAL STORMWATER MANAGEMENT SYSTEM OPERATION & MAINTENANCE PLAN
 DESCRIBED HEREIN IS FOR THE PROPOSED BURNT HILL ESTATES SUBDIVISION.
 ASSESSOR'S PLAT 49-2, LOT 1, SUBDIVISION LOT 4

RESPONSIBLE PARTY FOR MAINTENANCE
 THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR ALL MAINTENANCE ASSOCIATED WITH THE STORMWATER SYSTEM UNTIL THEY ARE COMPLETELY CONSTRUCTED.

DURING CONSTRUCTION
 PRIOR TO THE START OF ANY CONSTRUCTION, THE EROSION CONTROLS SHALL BE INSTALLED AND SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION UNTIL A STABLE GROUND COVER IS ESTABLISHED.

• DURING CONSTRUCTION, THE SOIL EROSION AND SEDIMENTATION PROGRAMS RESPONSIBILITY OF THE PROPERTOR OWNER AND/OR CONTRACTOR AS APPLICABLE TO THE AREAS FROM THE DETAILING SWALES AND DRY WELLS SHALL COMPLY TO THE PROCEDURES DESCRIBED AS PART OF THIS PLAN SET PREPARED.

• CONSTRUCTION VEHICLES SHALL NOT BE ALLOWED TO DRIVE OVER THE VEGETATED SWALES AREAS DURING CONSTRUCTION. IF THE AREA BECOMES COMPACTED, SOIL MUST BE SUITABLY AMENDED, TILLED, AND REVEGETATED ONCE CONSTRUCTION IS COMPLETE TO RESTORE INFILTRATION CAPACITY.

DESCRIPTION OF ANNUAL MAINTENANCE TASKS
 THE YARD AREA (LAWN AREA) SHALL BE CREATED AROUND THE PROPOSED RESIDENCE AND ITS ASSOCIATED AMENITIES.

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• THE DRY WELLS SHALL BE MAINTAINED THROUGHOUT THE YEAR, SAID MAINTENANCE SHALL INCLUDE ANNUALLY INSPECTING THE DRY WELL AND REPAIR IF NECESSARY TO DRAINAGE, AND TO REMOVE ANY ACCUMULATED SEDIMENT AND DEBRIS FROM THE SURFACE OF THE DRYWELL ANNUALLY.

• ANY AREA SUBJECT TO EROSION TENDENCIES SHALL BE REPLACED IN KIND TO ENSURE THAT A STABLE GROUND COVER IS MAINTAINED AT ALL TIMES.

• MOWING AND OTHER RELATED MAINTENANCE SHALL BE PERFORMED AS SITE CONDITIONS WARRANT THROUGHOUT THE YEAR.

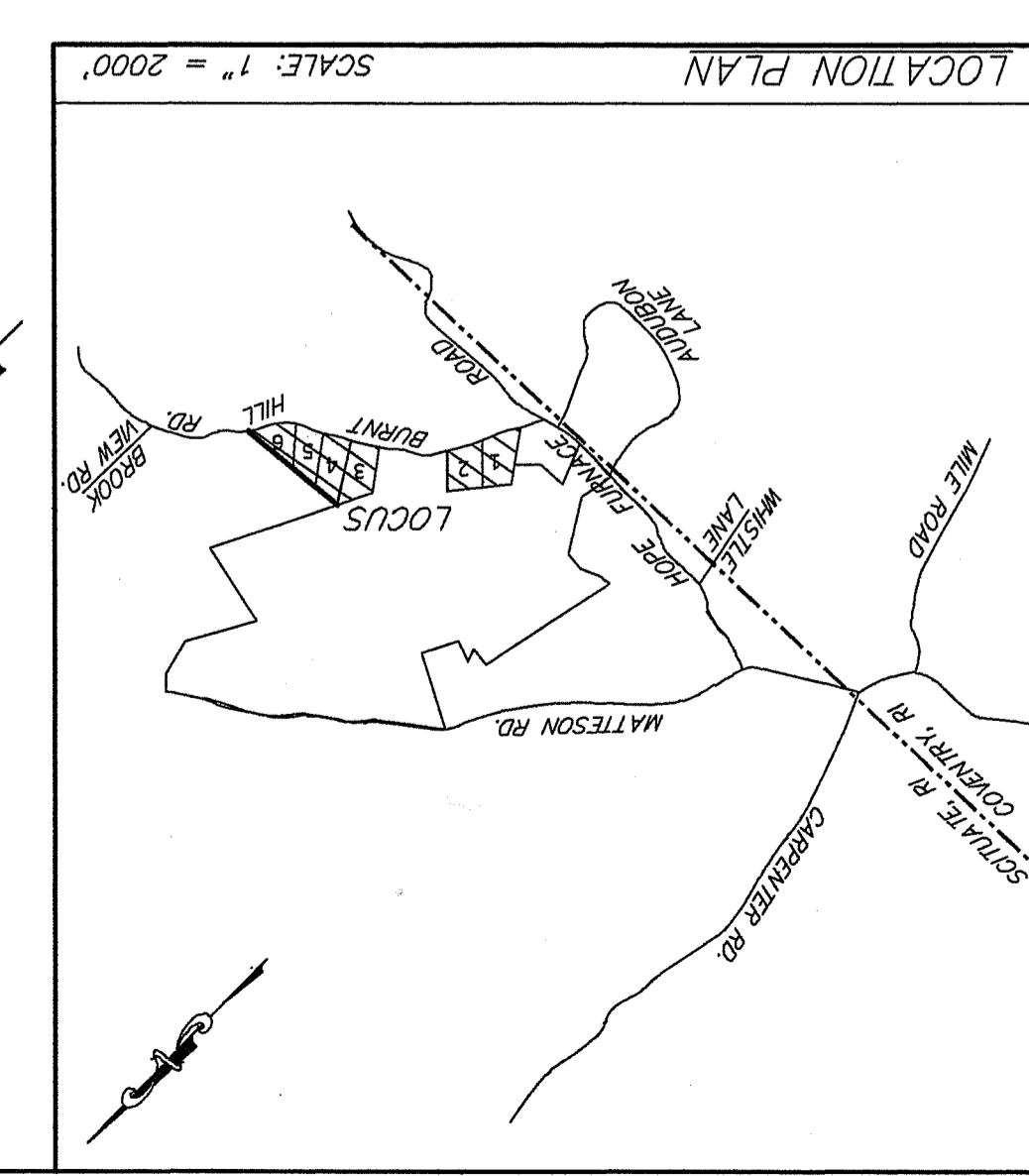
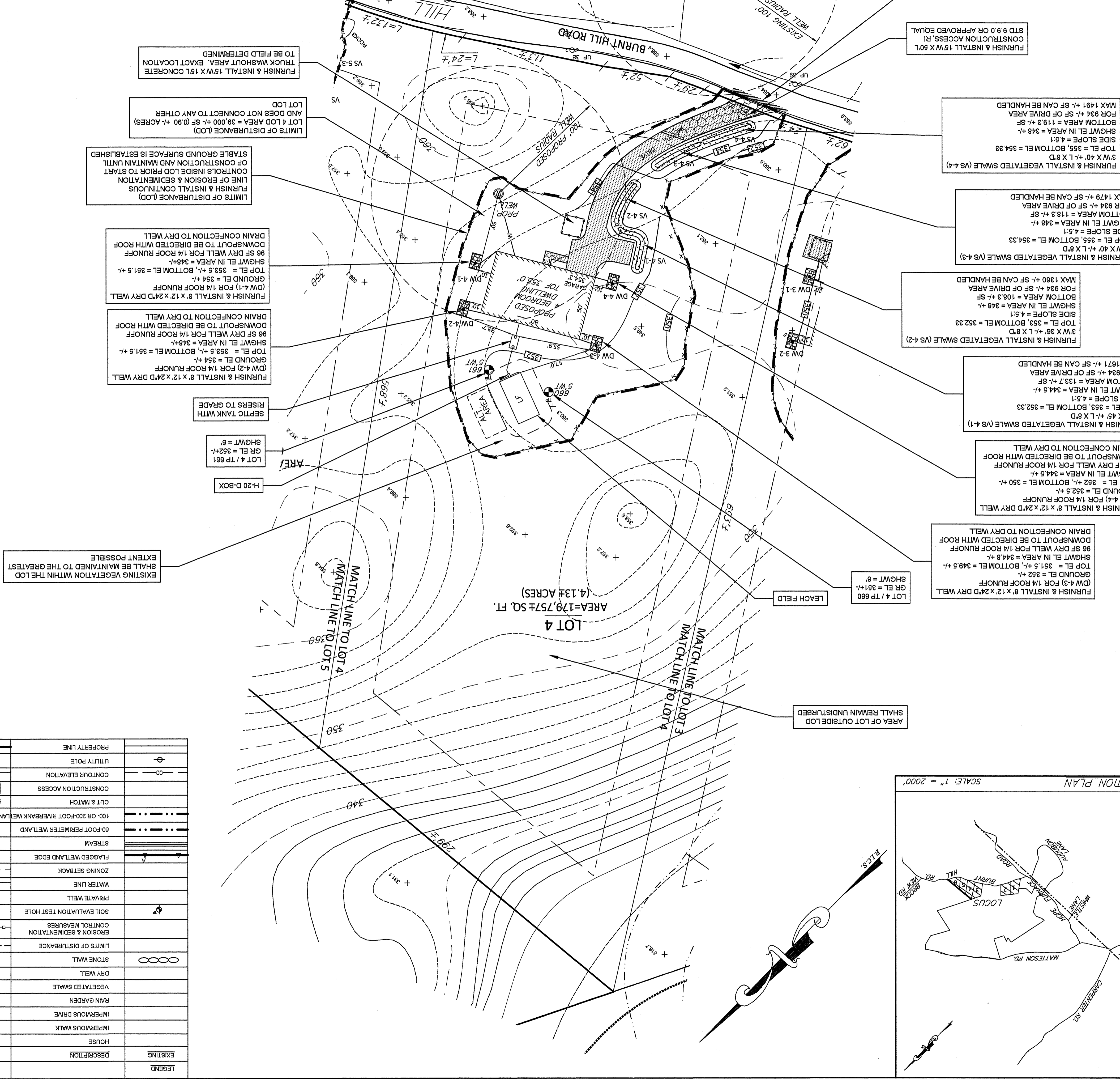
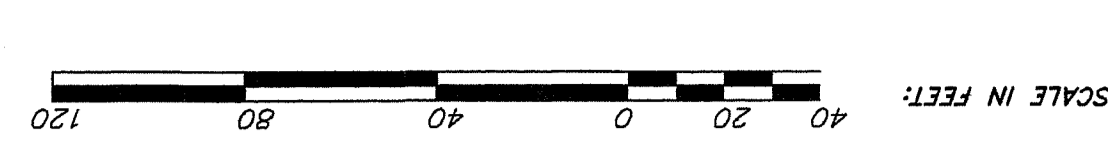
DESCRIPTION OF APPLICABLE EASEMENTS
 NO EASEMENTS ARE REQUIRED TO PERFORM ANNUAL MAINTENANCE.

DESCRIPTION OF FUNDING SOURCES
 THE PROPERTY OWNERS SHALL BE RESPONSIBLE FOR ALL MAINTENANCE AND OPERATION OF THE STORMWATER SYSTEMS. AS SUCH, THE PROPERTY OWNERS FUNDS SHALL BE USED AS REQUIRED.

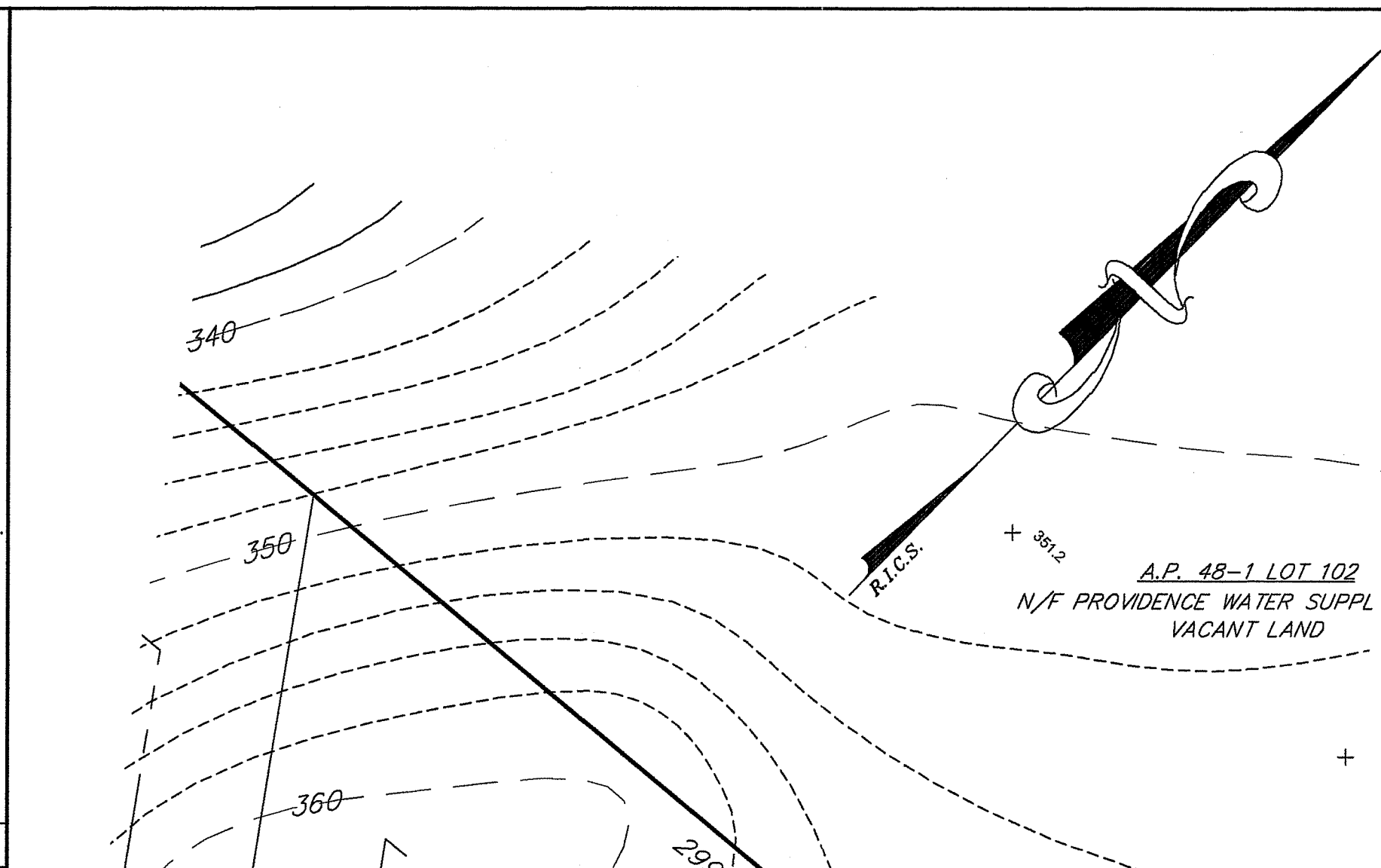
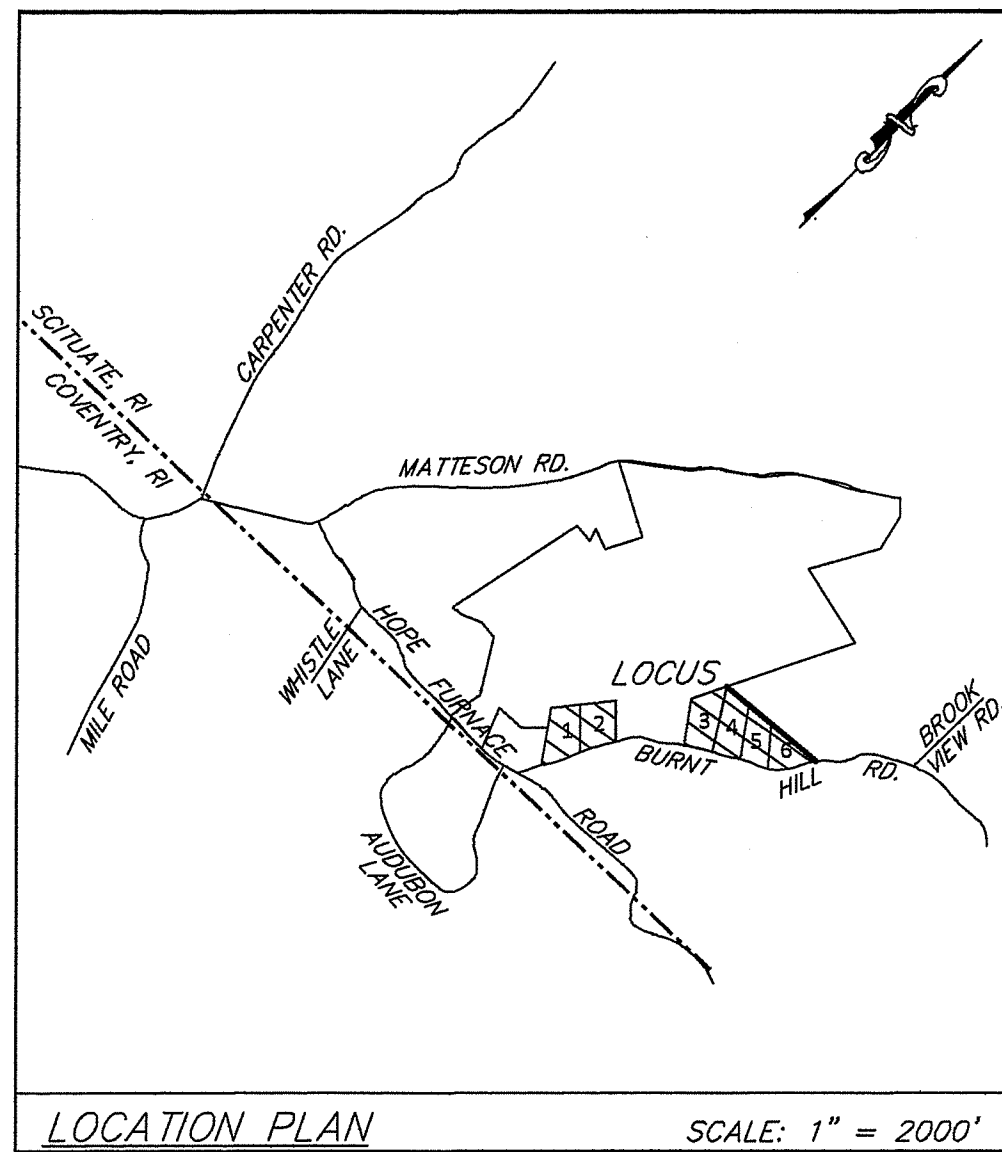
MINIMUM VEGETATIVE COVER REQUIREMENTS
 THE VEGETATIVE COVER REQUIREMENTS ARE PROVIDED AS PART OF THE PLAN. ALL VEGETATION PROPOSED SHALL BE MAINTAINED AT ALL TIMES AND BE REPLACED IN KIND SHOULD IT BECOME DISEASED OR DIE.

ACCESS & SAFETY ISSUES
 • THERE ARE NO SAFETY ISSUES RELATED TO THE MAINTENANCE AND OPERATION OF THE STORMWATER SYSTEM.

POLLUTION PREVENTION MEASURES
 • ANY SEDIMENTATION THAT MAY ENTER THE STORMWATER SYSTEMS SHALL BE REMOVED PROMPTLY.
 • NO PESTICIDES OR FERTILIZERS SHALL BE USED IN THE VEGETATED SWALES.



LEGEND	DESCRIPTION
EXISTING	HOUSE
EXISTING	IMPERVIOUS WALK
EXISTING	IMPERVIOUS DRIVE
EXISTING	RAIN GARDEN
EXISTING	VEGETATED SWALE
EXISTING	DRY WELL
EXISTING	STONE WALL
EXISTING	LIMITS OF DISTURBANCE
EXISTING	EROSION & SEDIMENTATION CONTROL MEASURES
EXISTING	SOIL EVALUATION TEST HOLE
EXISTING	PRIVATE WELL
EXISTING	WATER LINE
EXISTING	ZONING SETBACK
EXISTING	FLAGGED WETLAND EDGE
EXISTING	STREAM
EXISTING	50-FOOT PERIMETER WETLAND
EXISTING	100-OR 200-FOOT RIVERWATER WETLAND
EXISTING	CUT & MATCH
EXISTING	CONSTRUCTION ACCESS
EXISTING	CONTOUR ELEVATION
EXISTING	UTILITY POLE
EXISTING	PROPERTY LINE
PROPOSED	PROPOSED



LEGEND	EXISTING	DESCRIPTION	PROPOSED
		HOUSE	[Symbol]
		IMPERVIOUS WALK	[Symbol]
		IMPERVIOUS DRIVE	[Symbol]
		RAIN GARDEN	[Symbol] RG
		VEGETATED SWALE	[Symbol] VS
		DRY WELL	[Symbol] DW
		STONE WALL	[Symbol]
		LIMITS OF DISTURBANCE	[Symbol]
		EROSION & SEDIMENTATION CONTROL MEASURES	[Symbol]
		SOIL EVALUATION TEST HOLE	[Symbol]
		PRIVATE WELL	[Symbol] (W)
		WATER LINE	[Symbol] -W-
		ZONING SETBACK	[Symbol]
		FLAGGED WETLAND EDGE	[Symbol]
		STREAM	[Symbol]
		50-FOOT PERIMETER WETLAND	[Symbol]
		100- OR 200-FOOT RIVERBANK WETLAND	[Symbol]
		CUT & MATCH	[Symbol]
		CONSTRUCTION ACCESS	[Symbol]
		CONTOUR ELEVATION	[Symbol]
		UTILITY POLE	[Symbol]
		PROPERTY LINE	[Symbol]

GENERAL STORMWATER MANAGEMENT SYSTEM OPERATION & MAINTENANCE PLAN

THE STORMWATER MANAGEMENT SYSTEM OPERATION & MAINTENANCE PLAN DESCRIBED HEREIN IS FOR THE PROPOSED BURNT HILL ESTATES SUBDIVISION, ASSESSOR'S PLAT 49-2, LOT 1, SUBDIVISION LOT 5

RESPONSIBLE PARTY FOR MAINTENANCE

- THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR ALL MAINTENANCE ASSOCIATED WITH THE STORMWATER SYSTEM UNTIL THEY ARE COMPLETELY CONSTRUCTED.

DURING CONSTRUCTION

- PRIOR TO THE START OF ANY CONSTRUCTION, THE EROSION CONTROLS SHALL BE INSTALLED AND SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION UNTIL A STABLE GROUND COVER IS ESTABLISHED.
- DURING CONSTRUCTION, THE SOIL EROSION AND SEDIMENTATION PROGRAMS FOUND ON THE SITE PLANS PREPARED SHALL BE FOLLOWED AND BE THE RESPONSIBILITY OF THE PROPERTY OWNER AND/OR CONTRACTOR AS APPLICABLE.
- PREPARATION OF THE AREAS FOR THE VEGETATED SWALES AND DRY WELLS SHALL CONFORM TO THE PROCEDURES DESCRIBED AS PART OF THIS PLAN SET PREPARED.
- CONSTRUCTION VEHICLES SHALL NOT BE ALLOWED TO DRIVE OVER THE VEGETATED SWALES AREAS DURING CONSTRUCTION. IF THE AREA BECOMES COMPACTED, SOIL MUST BE SUITABLY AMENDED, TILLED, AND REVEGETATED ONCE CONSTRUCTION IS COMPLETE TO RESTORE INFILTRATION CAPACITY.

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YARD / LAWN AREA

- THE YARD AREA (LAWN AREA) SHALL BE CREATED AROUND THE PROPOSED RESIDENCE AND ITS ASSOCIATED AMENITIES.
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- THE DRY WELLS SHALL BE MAINTAINED THROUGHOUT THE YEAR. SAID MAINTENANCE SHALL INCLUDE ANNUALLY INSPECTING THE DRY WELL AND REPAIR IF NECESSARY TO ENSURE PROPER DRAINAGE, AND TO REMOVE ANY ACCUMULATED SEDIMENT AND DEBRIS FROM THE SURFACE OF THE DRYWELL ANNUALLY.
- ANY AREA SUBJECT TO EROSION TENDENCIES SHALL BE REPLACED IN KIND TO ENSURE THAT A STABLE GROUND COVER IS MAINTAINED AT ALL TIMES.
- MOWING AND OTHER RELATED MAINTENANCE SHALL BE PERFORMED AS SITE CONDITIONS WARRANT THROUGHOUT THE YEAR.

DESCRIPTION OF APPLICABLE EASEMENTS

NO EASEMENTS ARE REQUIRED TO PERFORM ANNUAL MAINTENANCE.

DESCRIPTION OF FUNDING SOURCES

THE PROPERTY OWNERS SHALL BE RESPONSIBLE FOR ALL MAINTENANCE AND OPERATION OF THE STORMWATER SYSTEMS. AS SUCH, THE PROPERTY OWNERS FUNDS SHALL BE USED AS REQUIRED.

MINIMUM VEGETATIVE COVER REQUIREMENTS

- THE VEGETATIVE COVER REQUIREMENTS ARE PROVIDED AS PART OF THE LANDSCAPE AND DRAINAGE DESIGN PROVIDED ON THE PLANS.
- ALL VEGETATION PROPOSED SHALL BE MAINTAINED AT ALL TIMES AND BE REPLACED IN KIND SHOULD IT BECOME DISEASED OR DIE.

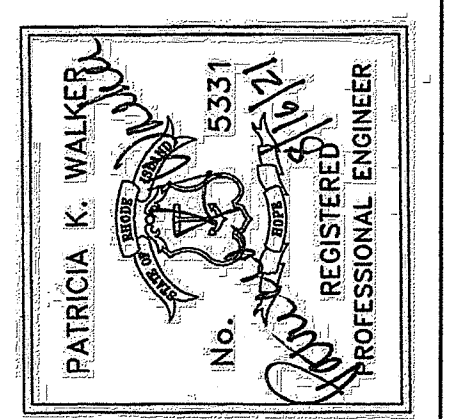
ACCESS & SAFETY ISSUES

- THERE ARE NO SAFETY ISSUES RELATED TO THE MAINTENANCE AND OPERATION OF THE STORMWATER SYSTEM.

POLLUTION PREVENTION MEASURES

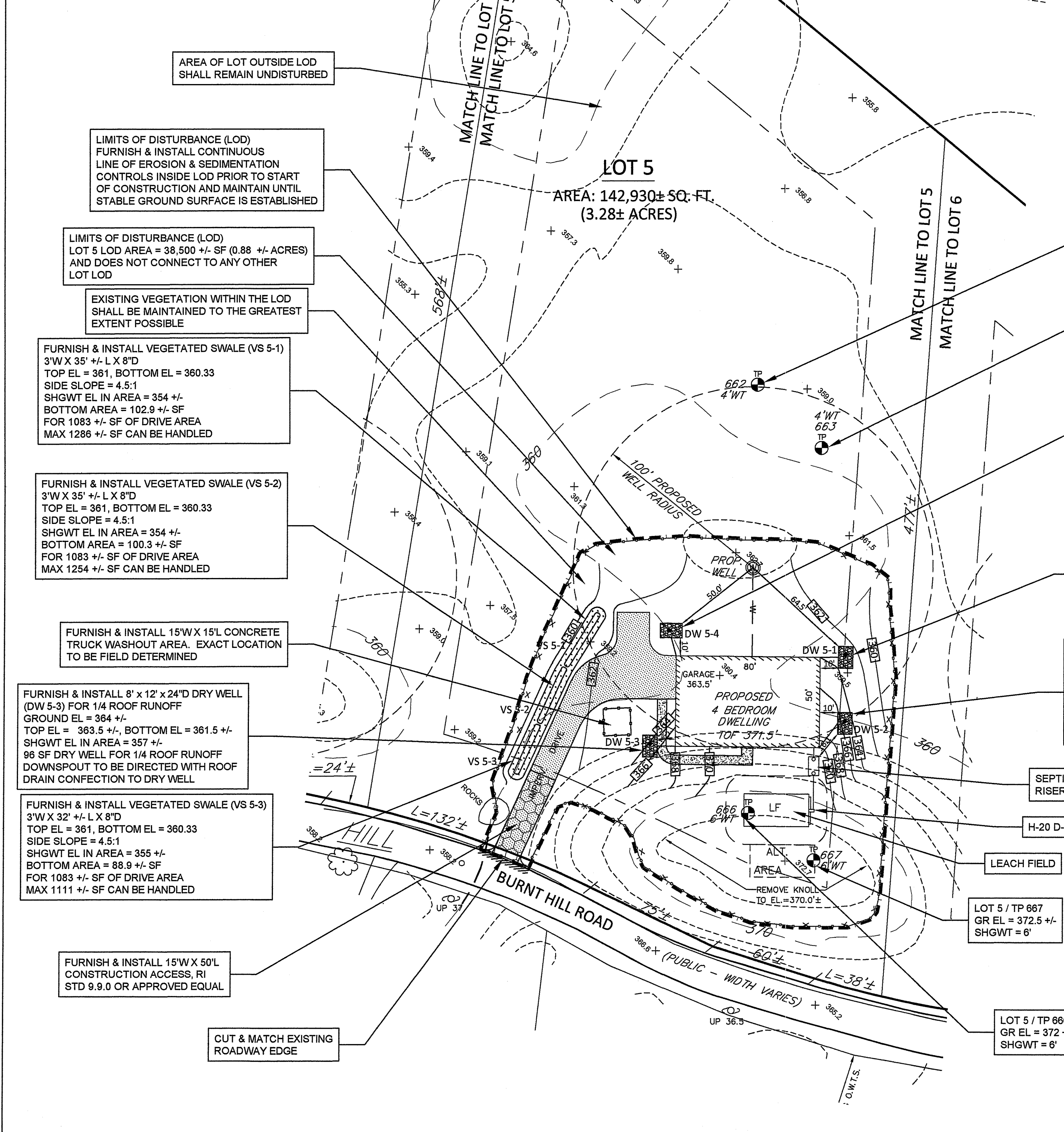
- ANY SEDIMENTATION THAT MAY ENTER THE STORMWATER SYSTEMS SHALL BE REMOVED PROMPTLY.
- NO PESTICIDES OR FERTILIZERS SHALL BE USED IN THE VEGETATED SWALES.

REVISIONS	DESCRIPTION	DATE



Walker Engineering, Ltd.
 31 Vale Court
 West Greenwich, RI 02817
 Phone / Fax: (401) 397-8745
 Email: wsl31.pw@gmail.com

LOCATION PLAN SCALE: 1" = 2000'



LOT 5
 AREA: 142,930± SQ. FT. (3.28± ACRES)

LOT 5 / TP 662
 GR EL = 359±
 SHGWT = 4'

LOT 5 / TP 663
 GR EL = 359.5±
 SHGWT = 4'

FURNISH & INSTALL 8' x 12' x 24" DRY WELL (DW 5-4) FOR 1/4 ROOF RUNOFF
 GROUND EL = 363 ±
 TOP EL = 362.5 ±, BOTTOM EL = 360.5 ±
 SHGWT EL IN AREA = 355 ±
 96 SF DRY WELL FOR 1/4 ROOF RUNOFF DOWNSPOUT TO BE DIRECTED WITH ROOF DRAIN CONNECTION TO DRY WELL

FURNISH & INSTALL 8' x 12' x 24" DRY WELL (DW 5-1) FOR 1/4 ROOF RUNOFF
 GROUND EL = 363 ±
 TOP EL = 362.5 ±, BOTTOM EL = 360.5 ±
 SHGWT EL IN AREA = 354.5 ±
 96 SF DRY WELL FOR 1/4 ROOF RUNOFF DOWNSPOUT TO BE DIRECTED WITH ROOF DRAIN CONNECTION TO DRY WELL

FURNISH & INSTALL 8' x 12' x 24" DRY WELL (DW 5-2) FOR 1/4 ROOF RUNOFF
 GROUND EL = 364 ±
 TOP EL = 363.5 ±, BOTTOM EL = 361.5 ±
 SHGWT EL IN AREA = 355 ±
 96 SF DRY WELL FOR 1/4 ROOF RUNOFF DOWNSPOUT TO BE DIRECTED WITH ROOF DRAIN CONNECTION TO DRY WELL

FURNISH & INSTALL 8' x 12' x 24" DRY WELL (DW 5-3) FOR 1/4 ROOF RUNOFF
 GROUND EL = 364 ±
 TOP EL = 363.5 ±, BOTTOM EL = 361.5 ±
 SHGWT EL IN AREA = 357 ±
 96 SF DRY WELL FOR 1/4 ROOF RUNOFF DOWNSPOUT TO BE DIRECTED WITH ROOF DRAIN CONNECTION TO DRY WELL

FURNISH & INSTALL VEGETATED SWALE (VS 5-3)
 3'W X 32' ± L X 8'D
 TOP EL = 361, BOTTOM EL = 360.33
 SIDE SLOPE = 4.5:1
 SHGWT EL IN AREA = 355 ±
 BOTTOM AREA = 68.9 ± SF
 FOR 1083 ± SF OF DRIVE AREA
 MAX 1111 ± SF CAN BE HANDLED

FURNISH & INSTALL 15'W X 50' CONSTRUCTION ACCESS, RI STD 9.0 OR APPROVED EQUAL

CUT & MATCH EXISTING ROADWAY EDGE

SEPTIC TANK WITH RISERS TO GRADE

H-20 D-BOX

LEACH FIELD

LOT 5 / TP 667
 GR EL = 372.5 ±
 SHGWT = 6'

LOT 5 / TP 666
 GR EL = 372 ±
 SHGWT = 6'

RI Environmental Management
 AUG 25 2021
 Office of Water Resources

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 REVIEWED SITE PLAN APPLICATION NO.: 21-0237
 DATED OCT 21 2021
 SEE LETTER OF SAME DATE.

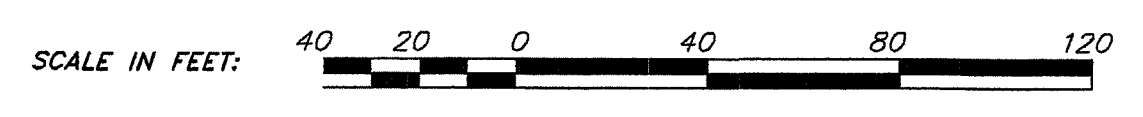
Nancy L. Freeman

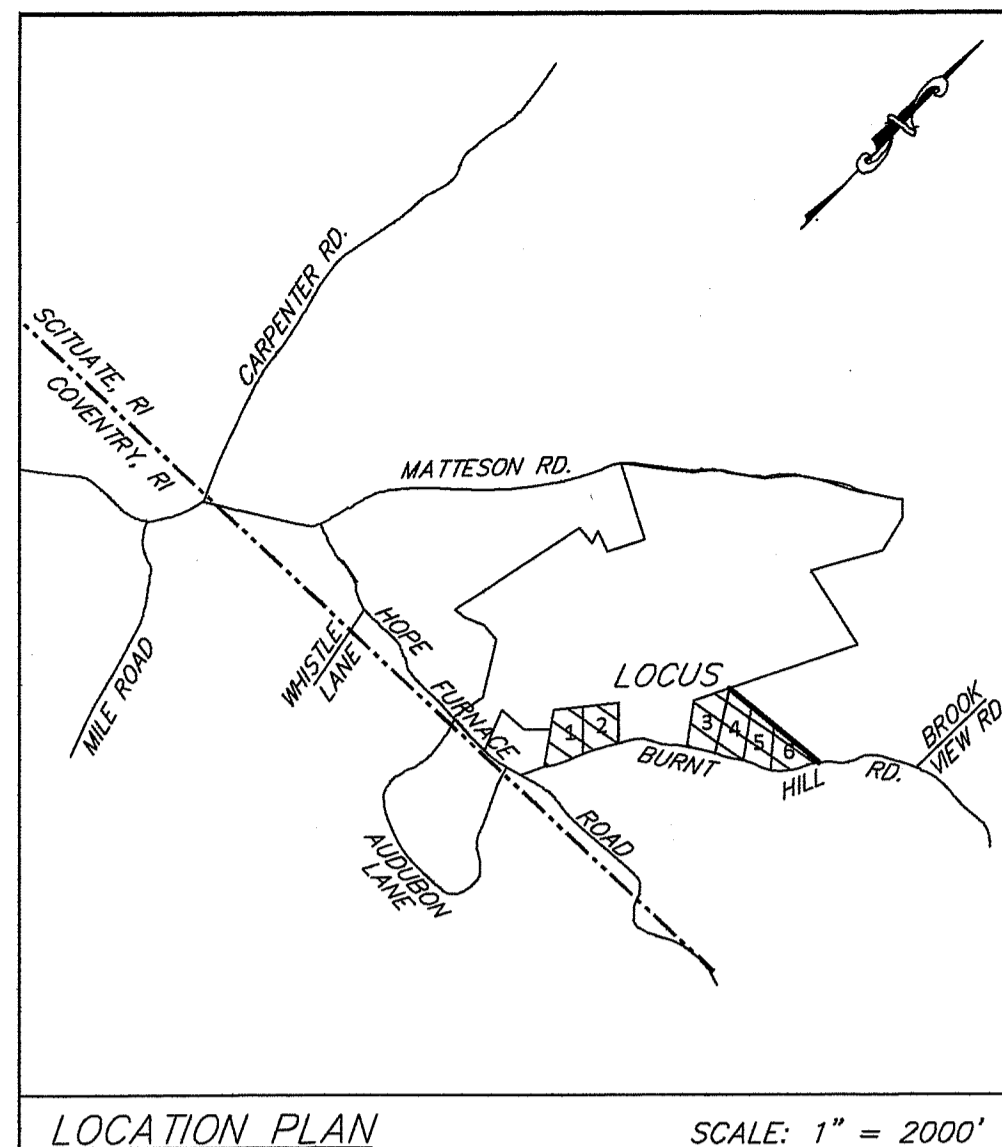
WETLANDS PERMITTING SUBMISSION ONLY

OWNER / APPLICANT
 FPL REALTY, LLC
 685 HOPE FURNACE ROAD
 HOPE, RI 02831

LOT 5 - DRAINAGE, GRADING & EROSION CONTROL PLAN
 BURNT HILL ESTATES
 BURNT HILL ROAD (AP 49-2, LOT 1)
 SCITUATE, RHODE ISLAND

DATE: AUGUST 2021
 SHEET: S - 6
 SHEET 6 OF 10





LOCATION PLAN SCALE: 1" = 2000'

LEGEND	EXISTING	DESCRIPTION	PROPOSED
		HOUSE	[Symbol]
		IMPERVIOUS WALK	[Symbol]
		IMPERVIOUS DRIVE	[Symbol]
		RAIN GARDEN	[Symbol] RG
		VEGETATED SWALE	[Symbol] VS
		DRY WELL	[Symbol] DW
		STONE WALL	[Symbol]
		LIMITS OF DISTURBANCE	[Symbol]
		EROSION & SEDIMENTATION CONTROL MEASURES	[Symbol]
		SOIL EVALUATION TEST HOLE	[Symbol]
		PRIVATE WELL	[Symbol] (W)
		WATER LINE	[Symbol] (W)
		ZONING SETBACK	[Symbol]
		FLAGGED WETLAND EDGE	[Symbol]
		STREAM	[Symbol]
		50-FOOT PERIMETER WETLAND	[Symbol]
		100- OR 200-FOOT RIVERBANK WETLAND	[Symbol]
		CUT & MATCH	[Symbol]
		CONSTRUCTION ACCESS	[Symbol]
		CONTOUR ELEVATION	[Symbol] (00)
		UTILITY POLE	[Symbol]
		PROPERTY LINE	[Symbol]

GENERAL STORMWATER MANAGEMENT SYSTEM OPERATION & MAINTENANCE PLAN

THE STORMWATER MANAGEMENT SYSTEM OPERATION & MAINTENANCE PLAN DESCRIBED HEREIN IS FOR THE PROPOSED BURNT HILL ESTATES SUBDIVISION, ASSESSOR'S PLAT 49-2, LOT 1, SUBDIVISION LOT 6

RESPONSIBLE PARTY FOR MAINTENANCE
 • THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR ALL MAINTENANCE ASSOCIATED WITH THE STORMWATER SYSTEM UNTIL THEY ARE COMPLETELY CONSTRUCTED.

DURING CONSTRUCTION
 • PRIOR TO THE START OF ANY CONSTRUCTION, THE EROSION CONTROLS SHALL BE INSTALLED AND SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION UNTIL A STABLE GROUND COVER IS ESTABLISHED.
 • DURING CONSTRUCTION, THE SOIL EROSION AND SEDIMENTATION PROGRAMS FOUND ON THE SITE PLANS PREPARED SHALL BE FOLLOWED AND BE THE RESPONSIBILITY OF THE PROPERTY OWNER AND/OR CONTRACTOR AS APPLICABLE.
 • PREPARATION OF THE AREAS FOR THE VEGETATED SWALES AND RAIN GARDENS SHALL CONFORM TO THE PROCEDURES DESCRIBED AS PART OF THIS PLAN SET PREPARED.
 • CONSTRUCTION VEHICLES SHALL NOT BE ALLOWED TO DRIVE OVER THE RAIN GARDEN AND VEGETATED SWALE AREAS DURING CONSTRUCTION. IF THE AREA BECOMES COMPACTED, SOIL MUST BE SUITABLY AMENDED, TILLED, AND REVEGETATED ONCE CONSTRUCTION IS COMPLETE TO RESTORE INFILTRATION CAPACITY.

DESCRIPTION OF ANNUAL MAINTENANCE TASKS
YARD / LAWN AREA
 • THE YARD AREA (LAWN AREA) SHALL BE CREATED AROUND THE PROPOSED RESIDENCE AND ITS ASSOCIATED AMENITIES.
 • THE RAIN GARDENS SHALL BE MAINTAINED THROUGHOUT THE YEAR. SAID MAINTENANCE IS PROVIDED AS PART OF THE DESIGN. ALL PLANT MATERIALS SHALL BE MAINTAINED TO ENSURE PROPER GROWTH AND LIFE, SHOULD ANY OF THESE MATERIALS BECOME DISEASED OR DIE, THEY SHALL BE REPLACED IN KIND AND LOCATION. ALL MAINTENANCE PERFORMED SHALL BE DONE IN A MANNER TO MAINTAIN THE INFILTRATION CAPACITY OF THE RAIN GARDEN.
 • THE VEGETATED SWALES SHALL BE MAINTAINED THROUGHOUT THE YEAR. SAID MAINTENANCE IS PROVIDED AS PART OF THE DESIGN. ALL PLANT MATERIALS SHALL BE MAINTAINED TO ENSURE PROPER GROWTH AND LIFE, SHOULD ANY OF THESE MATERIALS BECOME DISEASED OR DIE, THEY SHALL BE REPLACED IN KIND AND LOCATION. ALL MAINTENANCE PERFORMED SHALL BE DONE IN A MANNER TO MAINTAIN THE INFILTRATION CAPACITY OF THE VEGETATED SWALE.
 • ANY AREA SUBJECT TO EROSION TENDENCIES SHALL BE REPLACED IN KIND TO ENSURE THAT A STABLE GROUND COVER IS MAINTAINED AT ALL TIMES.
 • MOWING AND OTHER RELATED MAINTENANCE SHALL BE PERFORMED AS SITE CONDITIONS WARRANT THROUGHOUT THE YEAR.

DESCRIPTION OF APPLICABLE EASEMENTS
 NO EASEMENTS ARE REQUIRED TO PERFORM ANNUAL MAINTENANCE.

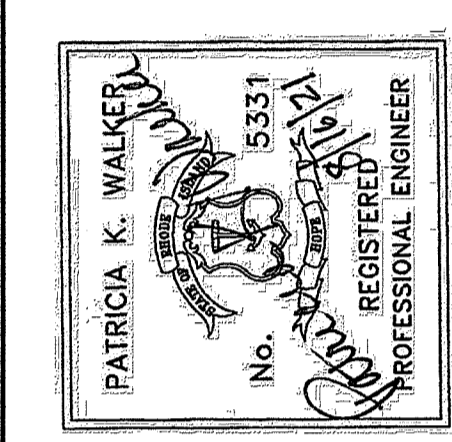
DESCRIPTION OF FUNDING SOURCES
 THE PROPERTY OWNERS SHALL BE RESPONSIBLE FOR ALL MAINTENANCE AND OPERATION OF THE STORMWATER SYSTEMS. AS SUCH, THE PROPERTY OWNER'S FUNDS SHALL BE USED AS REQUIRED.

MINIMUM VEGETATIVE COVER REQUIREMENTS
 • THE VEGETATIVE COVER REQUIREMENTS ARE PROVIDED AS PART OF THE LANDSCAPE AND DRAINAGE DESIGN PROVIDED ON THE PLANS.
 • ALL VEGETATION PROPOSED SHALL BE MAINTAINED AT ALL TIMES AND BE REPLACED IN KIND SHOULD IT BECOME DISEASED OR DIE.

ACCESS & SAFETY ISSUES
 • THERE ARE NO SAFETY ISSUES RELATED TO THE MAINTENANCE AND OPERATION OF THE STORMWATER SYSTEM.

POLLUTION PREVENTION MEASURES
 • ANY SEDIMENTATION THAT MAY ENTER THE STORMWATER SYSTEMS SHALL BE REMOVED PROMPTLY.
 • NO PESTICIDES OR FERTILIZERS SHALL BE USED IN THE RAIN GARDENS AND VEGETATED SWALES.

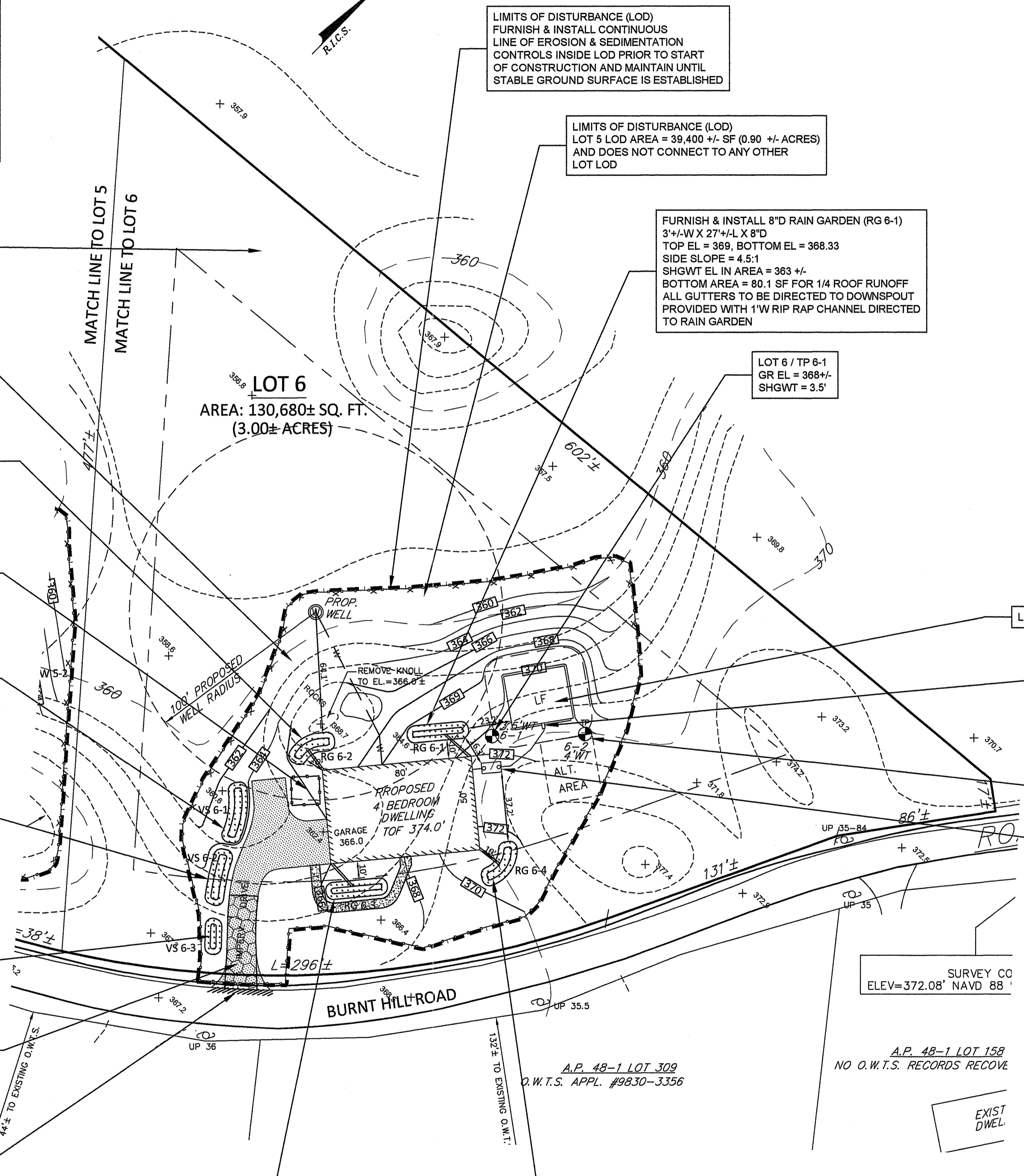
REVISIONS	DESCRIPTION	DATE



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 31 Vale Court
 West Greenwich, RI 02817
 Phone / Fax (401) 397-8745
 Email: wel31.pw@gmail.com

LOT 6 - DRAINAGE, GRADING & EROSION CONTROL PLAN
 BURNT HILL ESTATES
 BURNT HILL ROAD (AP 49-2, LOT 1)
 SQTUATE, RHODE ISLAND

DATE: AUGUST 2021
 SHEET: S - 7
 SHEET 7 OF 10



LIMITS OF DISTURBANCE (LOD)
 FURNISH & INSTALL CONTINUOUS LINE OF EROSION & SEDIMENTATION CONTROLS INSIDE LOD PRIOR TO START OF CONSTRUCTION AND MAINTAIN UNTIL STABLE GROUND SURFACE IS ESTABLISHED

LIMITS OF DISTURBANCE (LOD)
 LOT 5 LOD AREA = 39,400 +/- SF (0.90 +/- ACRES) AND DOES NOT CONNECT TO ANY OTHER LOT LOD

FURNISH & INSTALL 8" D RAIN GARDEN (RG 6-1)
 3'-4" W X 27'-4" L X 8" D
 TOP EL = 369, BOTTOM EL = 368.33
 SIDE SLOPE = 4.5:1
 SHGWT EL IN AREA = 363 +/-
 BOTTOM AREA = 80.1 SF FOR 1/4 ROOF RUNOFF
 ALL GUTTERS TO BE DIRECTED TO DOWNSPOUT PROVIDED WITH 1" W RIP RAP CHANNEL DIRECTED TO RAIN GARDEN

LOT 6 / TP 6-1
 GR EL = 368 +/-
 SHGWT = 3.5'

LOT 6
 AREA: 130,680± SQ. FT.
 (3.00± ACRES)

AREA OF LOT OUTSIDE LOD SHALL REMAIN UNDISTURBED

EXISTING VEGETATION WITHIN THE LOD SHALL BE MAINTAINED TO THE GREATEST EXTENT POSSIBLE

FURNISH & INSTALL 8" D RAIN GARDEN (RG 6-2)
 4'-4" W X 23'-4" L X 8" D
 TOP EL = 366, BOTTOM EL = 365.33
 SIDE SLOPE = 4.5:1
 SHGWT EL IN AREA = 363 +/-
 BOTTOM AREA = 80.3 SF FOR 1/4 ROOF RUNOFF
 ALL GUTTERS TO BE DIRECTED TO DOWNSPOUT PROVIDED WITH 1" W RIP RAP CHANNEL DIRECTED TO RAIN GARDEN

FURNISH & INSTALL 15' W X 15' L CONCRETE TRUCK WASHOUT AREA. EXACT LOCATION TO BE FIELD DETERMINED

FURNISH & INSTALL VEGETATED SWALE (VS 6-1)
 4' W X 29' +/- L X 8" D
 TOP EL = 364, BOTTOM EL = 363.33
 SIDE SLOPE = 4.5:1
 SHGWT EL IN AREA = 359 +/-
 BOTTOM AREA = 105.7 +/- SF
 FOR 1275 +/- SF OF DRIVE AREA
 MAX 1321 +/- SF CAN BE HANDLED

FURNISH & INSTALL VEGETATED SWALE (VS 6-2)
 4' W X 27' +/- L X 8" D
 TOP EL = 365, BOTTOM EL = 364.33
 SIDE SLOPE = 4.5:1
 SHGWT EL IN AREA = 362 +/-
 BOTTOM AREA = 96.2 +/- SF
 FOR 1175 +/- SF OF DRIVE AND WALK AREA
 MAX 1203 +/- SF CAN BE HANDLED

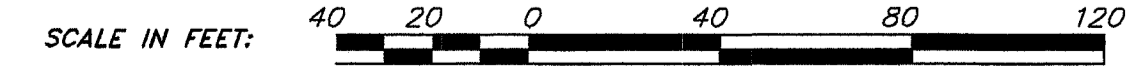
FURNISH & INSTALL VEGETATED SWALE (VS 6-3)
 3' W X 15' +/- L X 8" D
 TOP EL = 367, BOTTOM EL = 366.33
 SIDE SLOPE = 4.5:1
 SHGWT EL IN AREA = 364 +/-
 BOTTOM AREA = 38.6 +/- SF
 FOR 440 +/- SF OF DRIVE AREA
 MAX 483 +/- SF CAN BE HANDLED

FURNISH & INSTALL 15' W X 50' L CONSTRUCTION ACCESS, RI STD 9.9.0 OR APPROVED EQUAL

CUT & MATCH EXISTING ROADWAY EDGE

FURNISH & INSTALL 8" D RAIN GARDEN (RG 6-3)
 3'-4" W X 27'-4" L X 8" D
 TOP EL = 366, BOTTOM EL = 365.33
 SIDE SLOPE = 4.5:1
 SHGWT EL IN AREA = 363 +/-
 BOTTOM AREA = 80.2 SF FOR 1/4 ROOF RUNOFF
 ALL GUTTERS TO BE DIRECTED TO DOWNSPOUT PROVIDED WITH 1" W RIP RAP CHANNEL DIRECTED TO RAIN GARDEN

FURNISH & INSTALL 8" D RAIN GARDEN (RG 6-4)
 4'-4" W X 23'-4" L X 8" D
 TOP EL = 371, BOTTOM EL = 370.33
 SIDE SLOPE = 4.5:1
 SHGWT EL IN AREA = 368 +/-
 BOTTOM AREA = 82.2 SF FOR 1/4 ROOF RUNOFF
 ALL GUTTERS TO BE DIRECTED TO DOWNSPOUT PROVIDED WITH 1" W RIP RAP CHANNEL DIRECTED TO RAIN GARDEN



WETLANDS PERMITTING SUBMISSION ONLY

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 REVIEWED SITE PLAN APPLICATION NO.: 21-0237
 DATED OCT 21 2021
 SEE LETTER OF SAME DATE.

Adrian J. Freeman

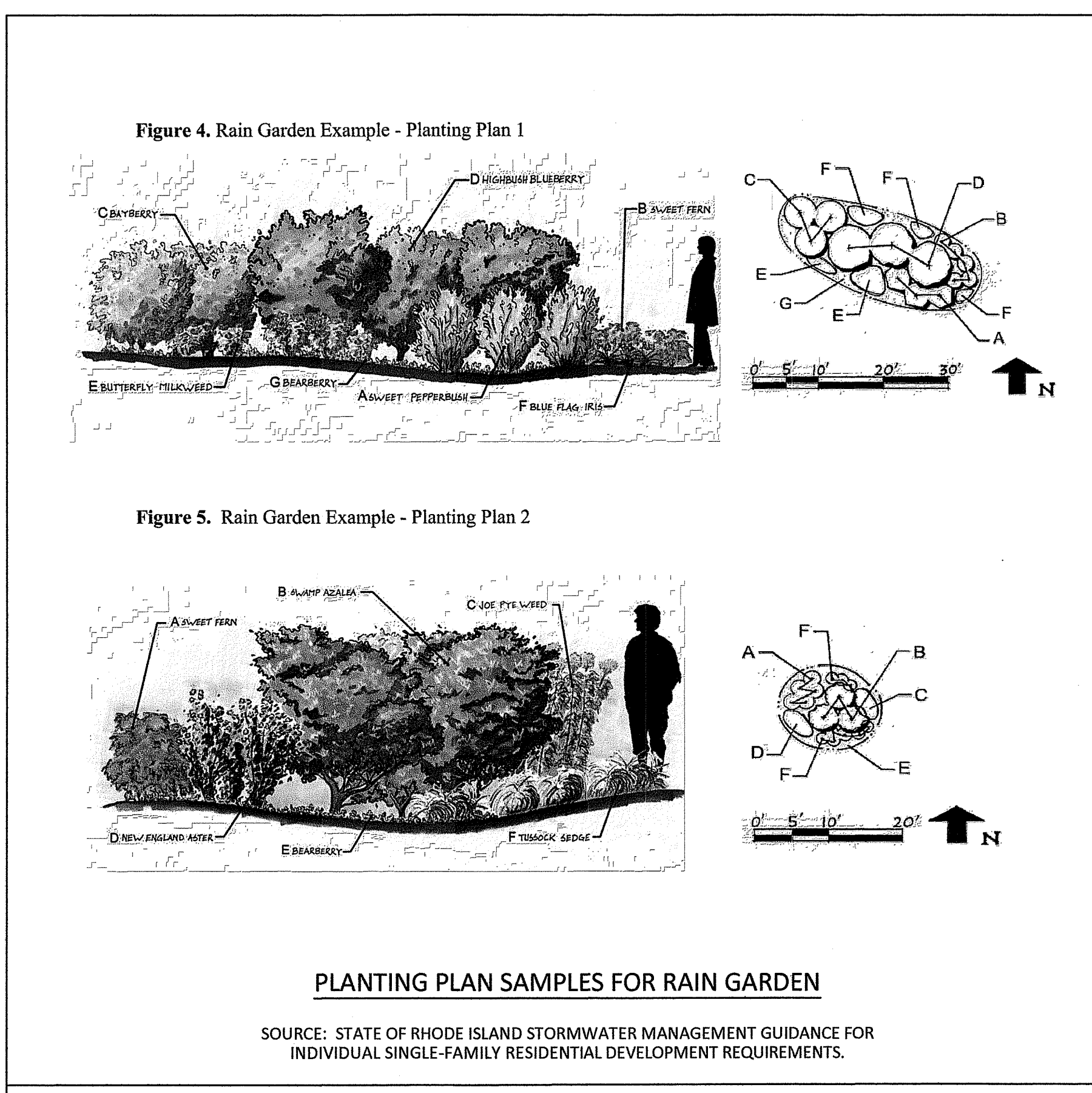
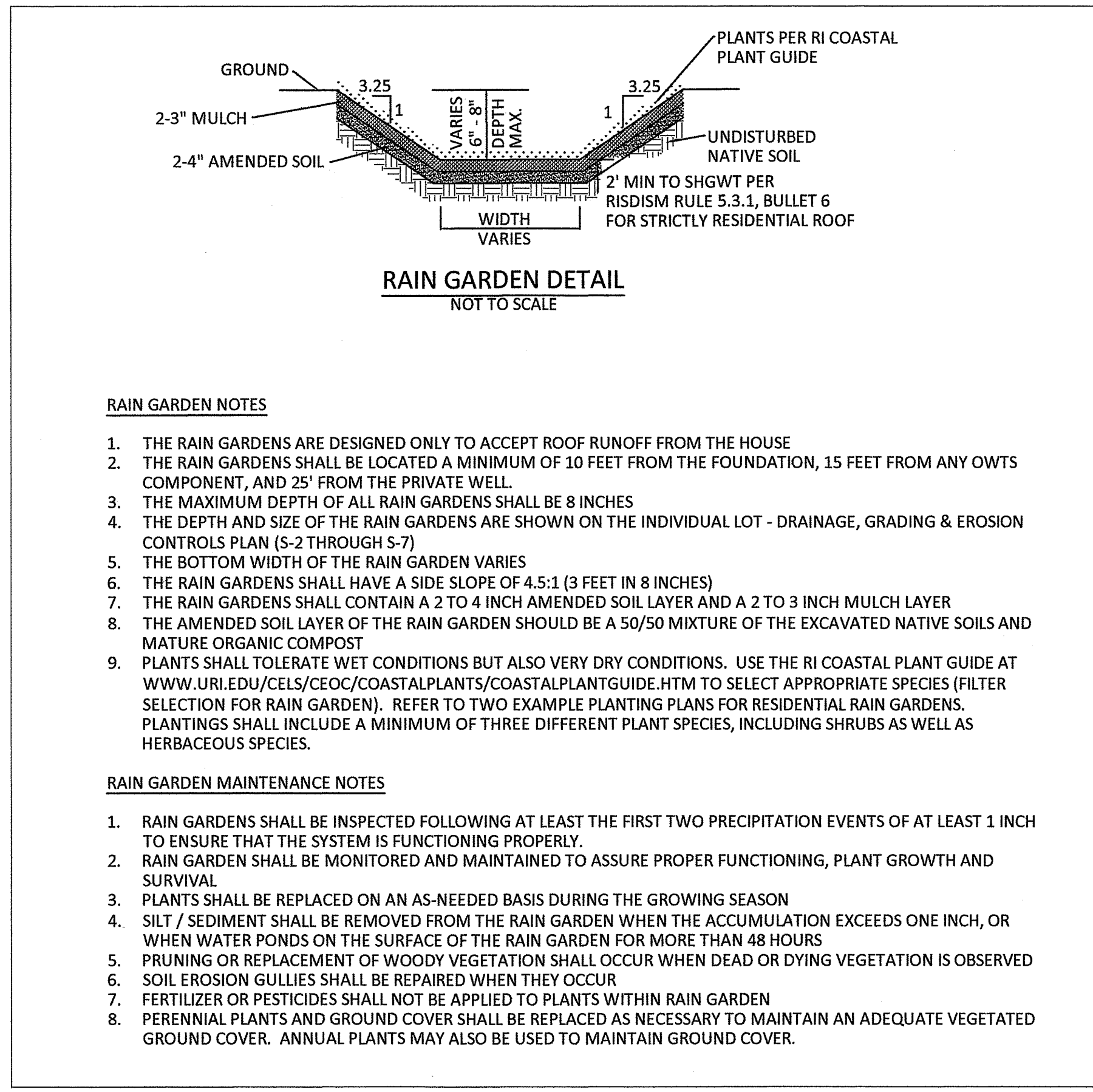
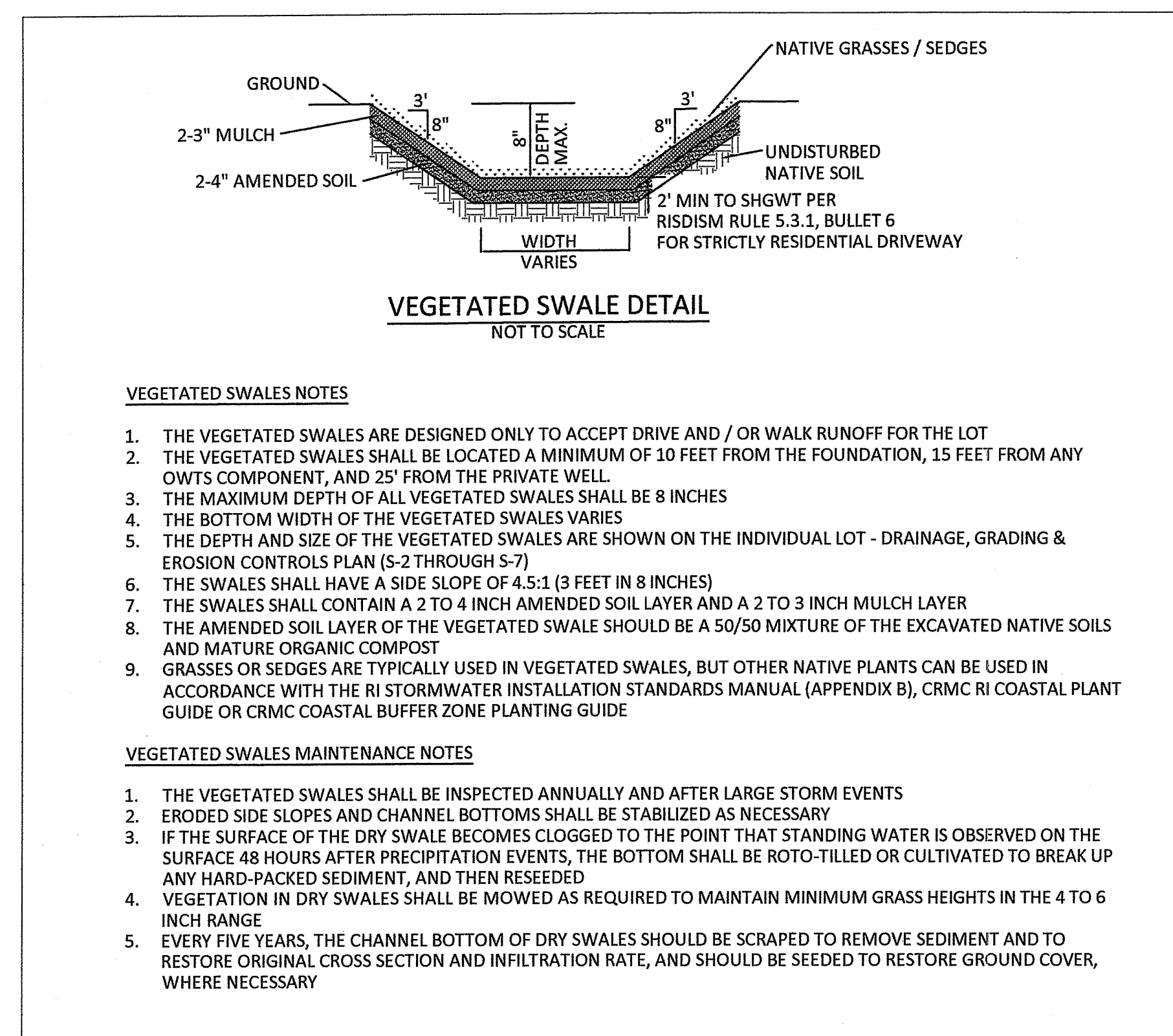
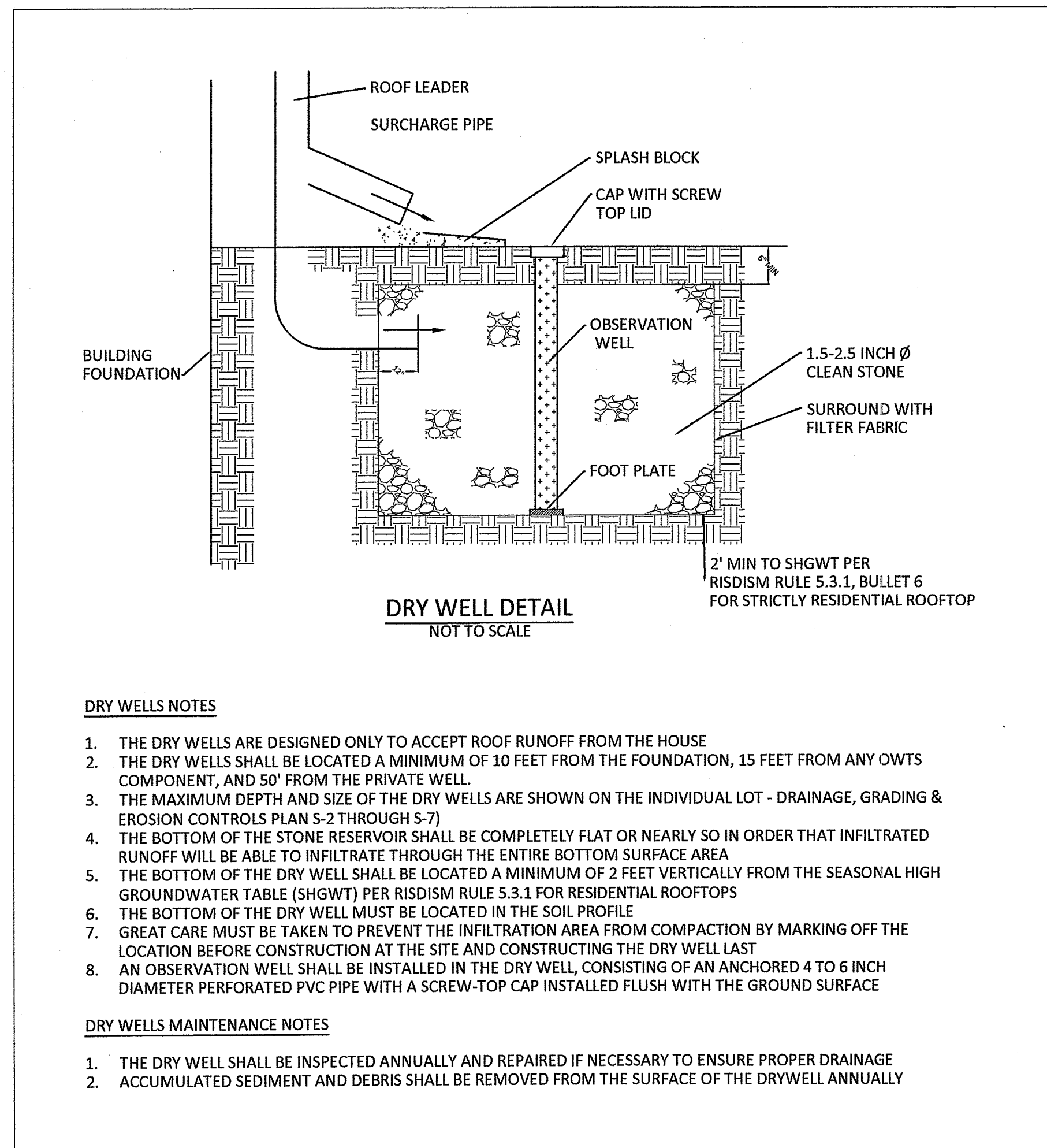
RI Environmental Management
 AUG 25 2021
 Office of Water Resources

A.P. 48-1 LOT 159
 NO O.W.T.S. RECORDS RECOVER

A.P. 48-1 LOT 309
 O.W.T.S. APPL. #9830-3356

SURVEY CO
 ELEV = 372.08' NAVD 88'

WETLANDS PERMITTING SUBMISSION ONLY



STORMWATER NOTES DURING CONSTRUCTION

1. ANY DRAINAGE STRUCTURES SHALL BE CLEANED AND FLUSHED AS REQUIRED.
2. STORMWATER MEASURES DESIGNED FOR THE CHANGED CONDITIONS OF THE PROPOSED SITE IMPROVEMENTS PER STATE OF RHODE ISLAND STORMWATER MANAGEMENT GUIDANCE FOR INDIVIDUAL SINGLE-FAMILY RESIDENTIAL DEVELOPMENT REQUIREMENTS.
3. THE CONTRACTOR AND/OR OWNER SHALL BE RESPONSIBLE FOR MAINTAINING THE DRAINAGE SYSTEMS IN ACCORDANCE WITH THE RI STORMWATER MANUAL AND TOWN OF SCITUATE REQUIREMENTS. THE DRAINAGE SYSTEMS SHALL BE PROPERLY MAINTAINED AT ALL TIMES.
4. ALL DRAINAGE SYSTEM AREAS SHALL BE KEPT CLEAR OF DEBRIS AT ALL TIMES.
5. NO FOREIGN SUBSTANCES SHALL BE DUMPED INTO THE DRAINAGE SYSTEM AT ANY TIME.
6. ANY AREAS EXPERIENCING EROSION TENDENCIES SHALL BE REPAIRED AND RESEED IMMEDIATELY.
7. NO DRAINAGE MEASURES SHALL BE LOCATED WITHIN 15 FEET OF ANY COMPONENTS OF THE PROPOSED ONSITE WASTEWATER TREATMENT SYSTEM (OWTS).
8. AS CONDITIONS WARRANT, RIPRAP SHALL BE PLACED BETWEEN THE ROADWAY AREAS AND THE DRAINAGE BASINS TO PROTECT EMBANKMENTS FROM EROSION TENDENCIES.
9. THE DRAINAGE STRUCTURES SHALL BE CLEANED ON AN ANNUAL BASIS AND AS CONDITIONS MAY WARRANT.
10. MAINTENANCE OF THE SYSTEM SHALL BE PERFORMED ON AN ANNUAL BASIS UNDER NORMAL FUNCTIONING OF THE SYSTEM AT A MINIMUM. ANY OBSERVED BLOCKAGE, OVERFLOW OF ANY DRAINAGE SYSTEM COMPONENT OR OTHER OBSERVED ISSUES IN THE FIELD SHALL WARRANT AN INSPECTION AND CLEANOUT AS MAY BE REQUIRED OF ANY PORTION OF THE SYSTEM. MAINTENANCE OF THE SYSTEM SHALL BE THE RESPONSIBILITY OF THE OWNER AND/OR CONTRACTED TO A PROFESSIONAL SERVICER AS CONDITIONS WARRANT.
11. ANY AREAS EXPERIENCING EROSION TENDENCIES SHALL BE REPAIRED AND RESEED IMMEDIATELY.

LAYOUT NOTES

1. LAYOUT FOR THE BURNT HILL ESTATES PROJECT IS BASED ON INFORMATION AND PRELIMINARY LAYOUT DESIGN PROVIDED BY SCITUATE SURVEYS, INC.
2. PROPOSED OWTS TO BE DESIGNED BY SCITUATE SURVEYS, INC. LAYOUTS SHOWN ARE PRELIMINARY AND SHALL BE FINALIZED DURING FINAL OWTS DESIGN.
3. GRADING AROUND THE OWTS WILL BE REVISED AS REQUIRED DURING FINAL DESIGN.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
REVIEWED SITE PLAN APPLICATION NO.: 21-0237
DATED OCT 21 2021
SEE LETTER OF SAME DATE.

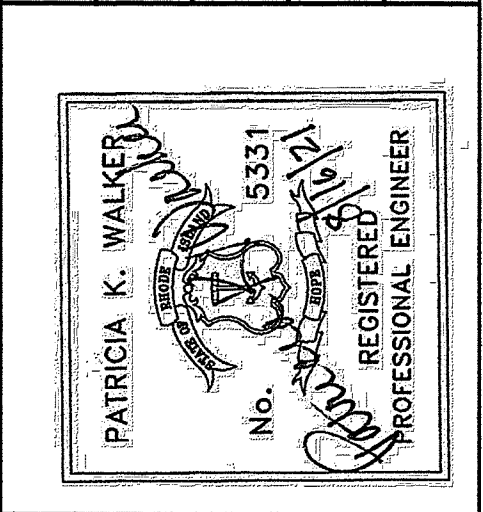
GENERAL NOTES

1. IT SHALL BE THE CONTRACTOR'S AND/OR OWNER'S SOLE RESPONSIBILITY TO OBTAIN ANY AND ALL PERMITS REQUIRED BY THE STATE OF RHODE ISLAND AND TOWN OF SCITUATE PRIOR TO COMMENCING ANY WORK.
2. THE CONTRACTOR SHALL COORDINATE ALL WORK WITH THE TOWN PUBLIC WORKS AND ENGINEERING DEPARTMENTS.
3. IN ALL EXCAVATION AND PLACEMENT OF FILL, THE CONTRACTOR SHALL PERFORM THE WORK IN FULL COMPLIANCE WITH THE RI STANDARD SPECIFICATIONS.
4. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ANY AND ALL UNDERGROUND UTILITIES BEFORE EXCAVATION BEGINS BY CONTACTING "DIG SAFE" AND THE INDIVIDUAL UTILITY COMPANIES. EXCAVATION SHALL BE IN ACCORDANCE WITH ALL STATUTES, ORDINANCES, RULES AND REGULATIONS OF ANY TOWN, STATE, OR FEDERAL AGENCY THAT MAY BE APPLICABLE. ANY DAMAGE TO EXISTING UTILITIES SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
5. THE CONTRACTOR SHALL COORDINATE ALL UTILITY CONNECTIONS WITH THE APPROPRIATE UTILITY COMPANIES. ALL WORK, MATERIALS, AND CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE UTILITY COMPANY.
6. ALL WORK, MATERIALS, ETC. WILL BE IN ACCORDANCE WITH THE STATE OF RHODE ISLAND AND TOWN OF SCITUATE RULES, REGULATIONS, SPECIFICATIONS AND DETAILS.
7. ALL DISTURBED AREAS ARE TO BE PROTECTED AGAINST EROSION AND/OR SEDIMENTATION.
8. DRIVEWAY SHALL BE AN IMPERVIOUS SURFACE IN ACCORDANCE WITH STATE OF RHODE ISLAND AND TOWN OF SCITUATE REQUIREMENTS, AS APPLICABLE.
9. PERIMETER CONDITIONS AND DRAINAGE PATTERNS SHALL REMAIN UNCHANGED.
10. EMBANKMENT SLOPES ARE NOT TO EXCEED 3:1 AND SHALL BE FULLY COMPACTED TO PROVIDE A STABLE PRODUCT.
11. ALL EARTH FILL USED FOR EMBANKMENT CONSTRUCTION SHALL BE FREE OF DETRIMENTAL AMOUNTS OF SODS, ROOTS, FROZEN SOILS, STONES, AND OTHER QUESTIONABLE MATERIAL.
12. EROSION AND SEDIMENTATION CONTROLS SHALL BE PLACED ALONG THE LIMITS OF DISTURBANCE AND WHERE SHOWN AND AS REQUIRED.
13. NO BOULDERS OR STUMPS SHALL BE BURIED ON SITE.
14. EXISTING BOULDERS MAY BE USED FOR LANDSCAPING PURPOSES AS SITE CONDITIONS WARRANT. NO BOULDER RETAINING WALL SHALL EXCEED A 3-FOOT MAXIMUM HEIGHT.

Nancy L. Freeman

RI Environmental Management
AUG 25 2021
Office of Water Resources

REVISIONS	DESCRIPTION

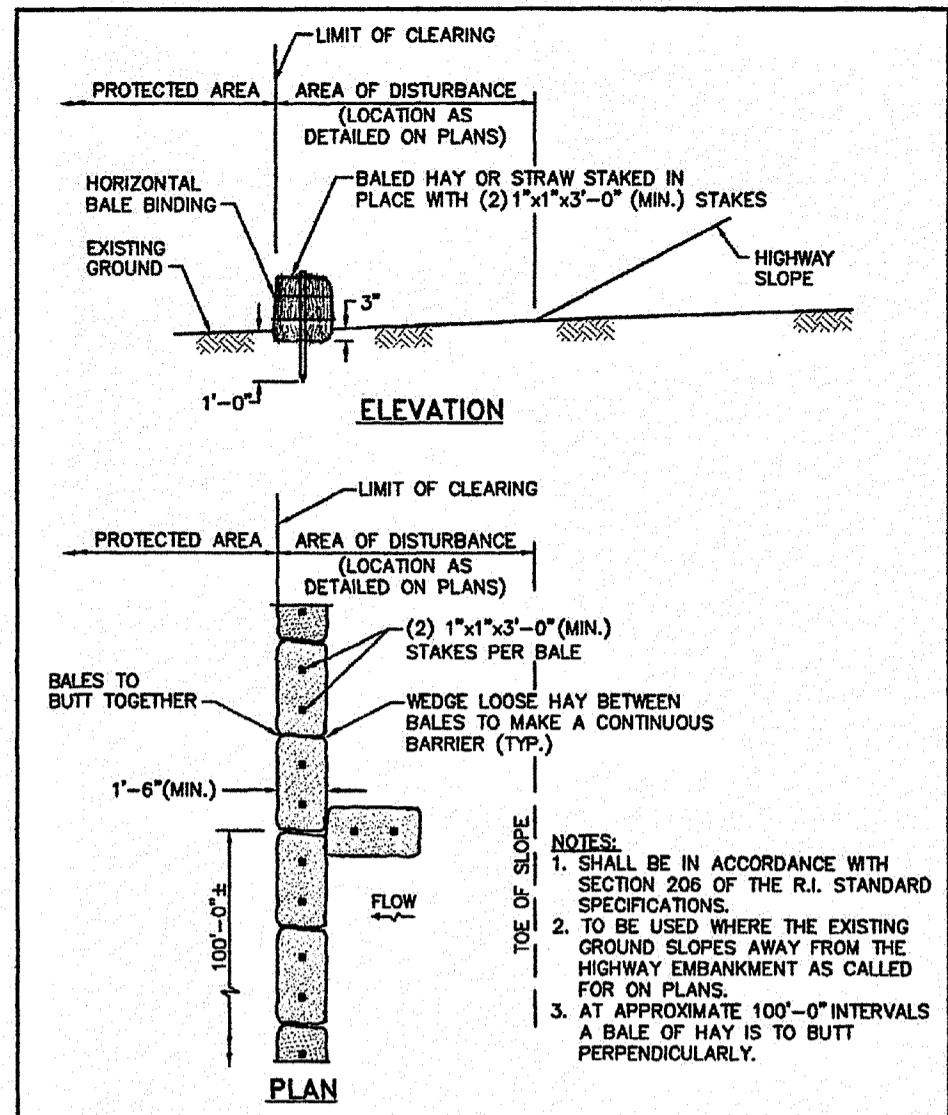


Walker Engineering, Ltd.

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West Greenwich, RI 02817

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Email: wel31.pw@gmail.com

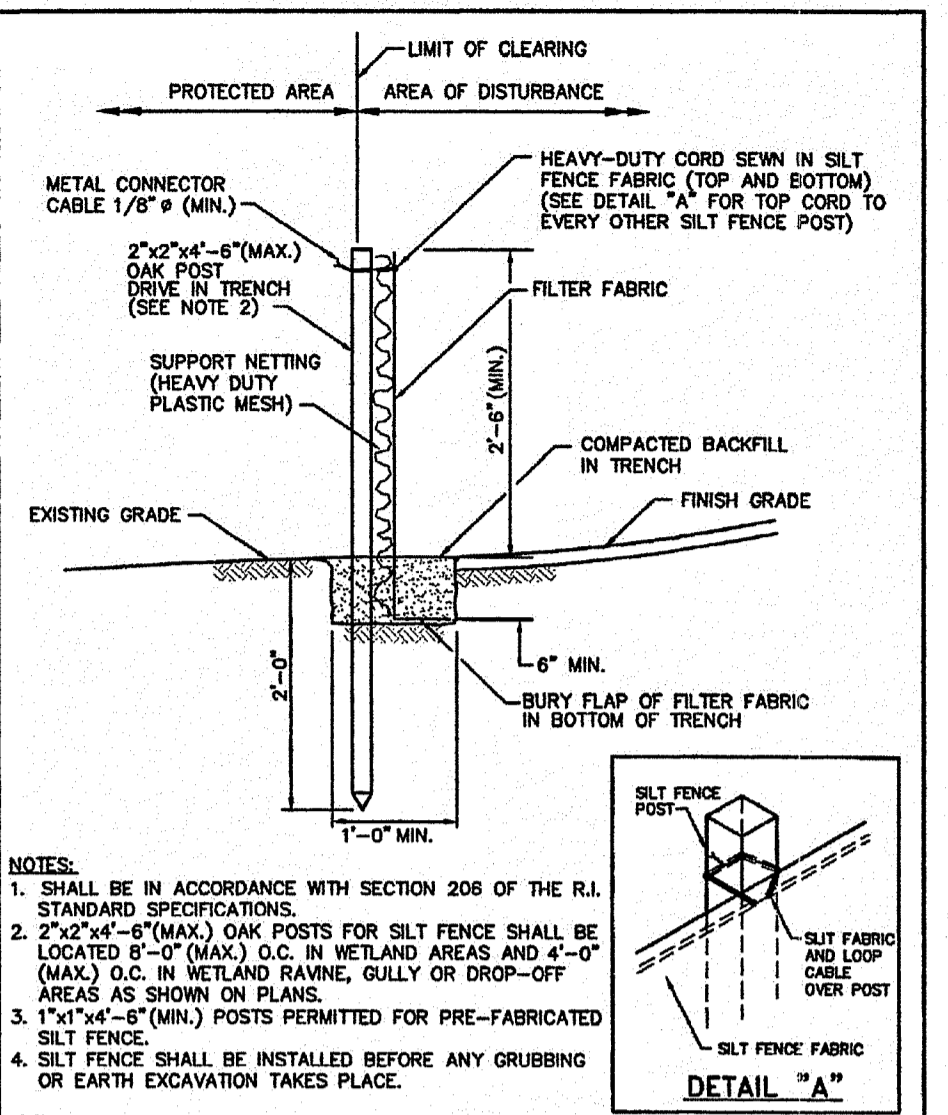
NOTES & DETAILS NO. 2
BURNT HILL ESTATES
BURNT HILL ROAD (AP 49-2, LOT 1)
SCITUATE, RHODE ISLAND



RHODE ISLAND DEPARTMENT OF TRANSPORTATION
BALED HAY EROSION CHECK

NO.	BY	DATE
1	J. G. G. G.	JUNE 15, 1998

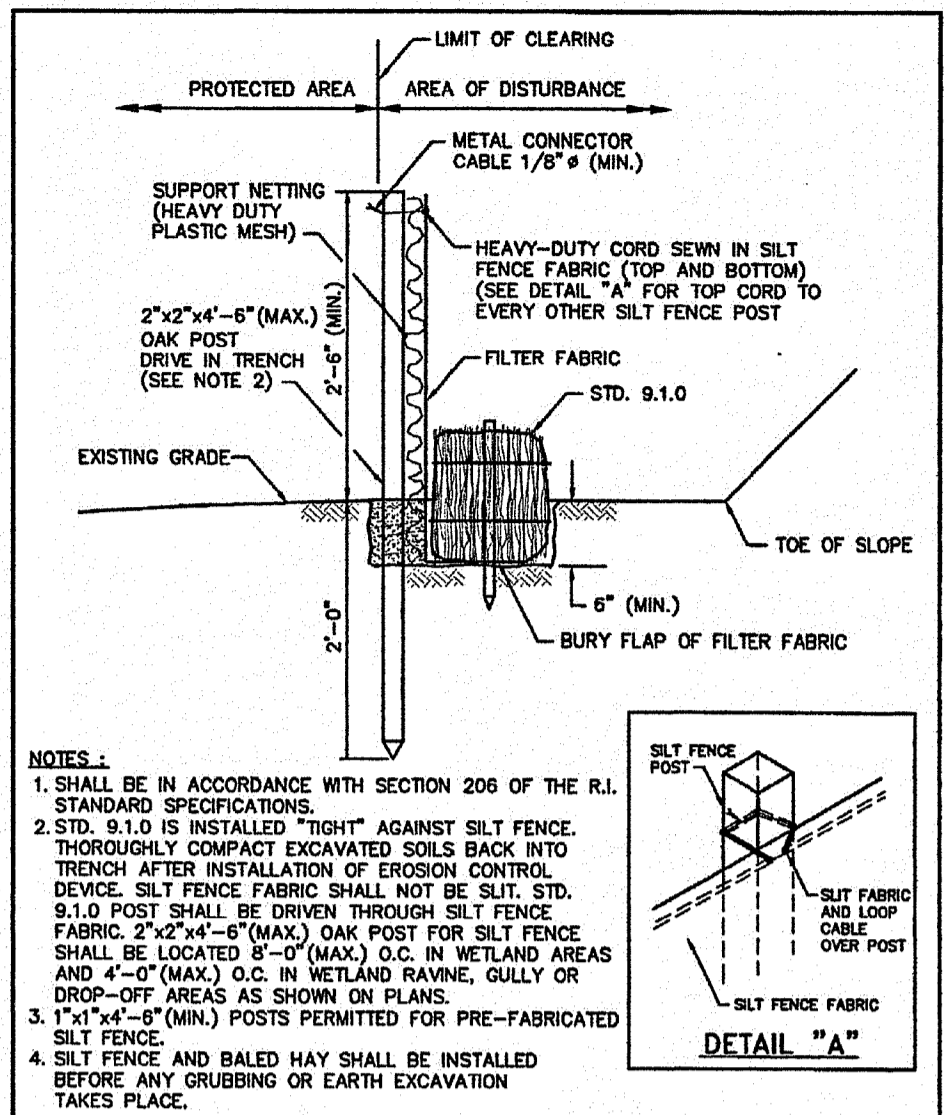
R.I. STANDARD 9.1.0



RHODE ISLAND DEPARTMENT OF TRANSPORTATION
SILT FENCE DETAIL

NO.	BY	DATE
1	J. G. G. G.	JUNE 15, 1998

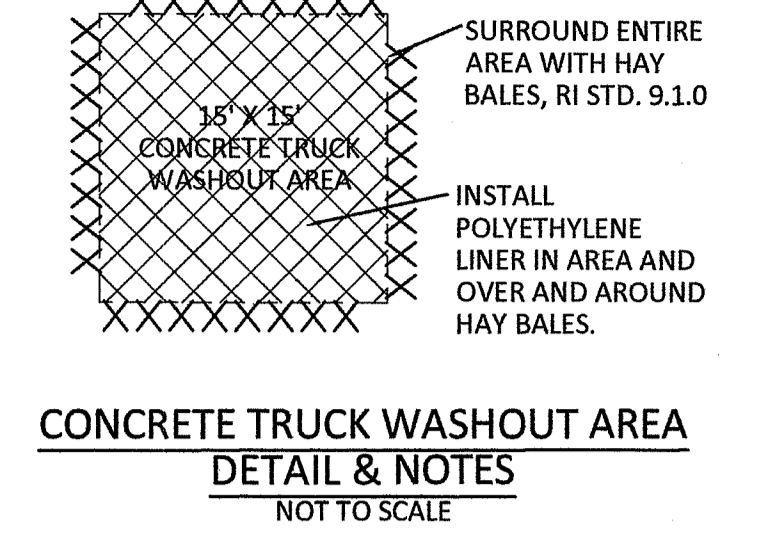
R.I. STANDARD 9.2.0



RHODE ISLAND DEPARTMENT OF TRANSPORTATION
BALED HAY EROSION CHECK AND SILT FENCE COMBINED

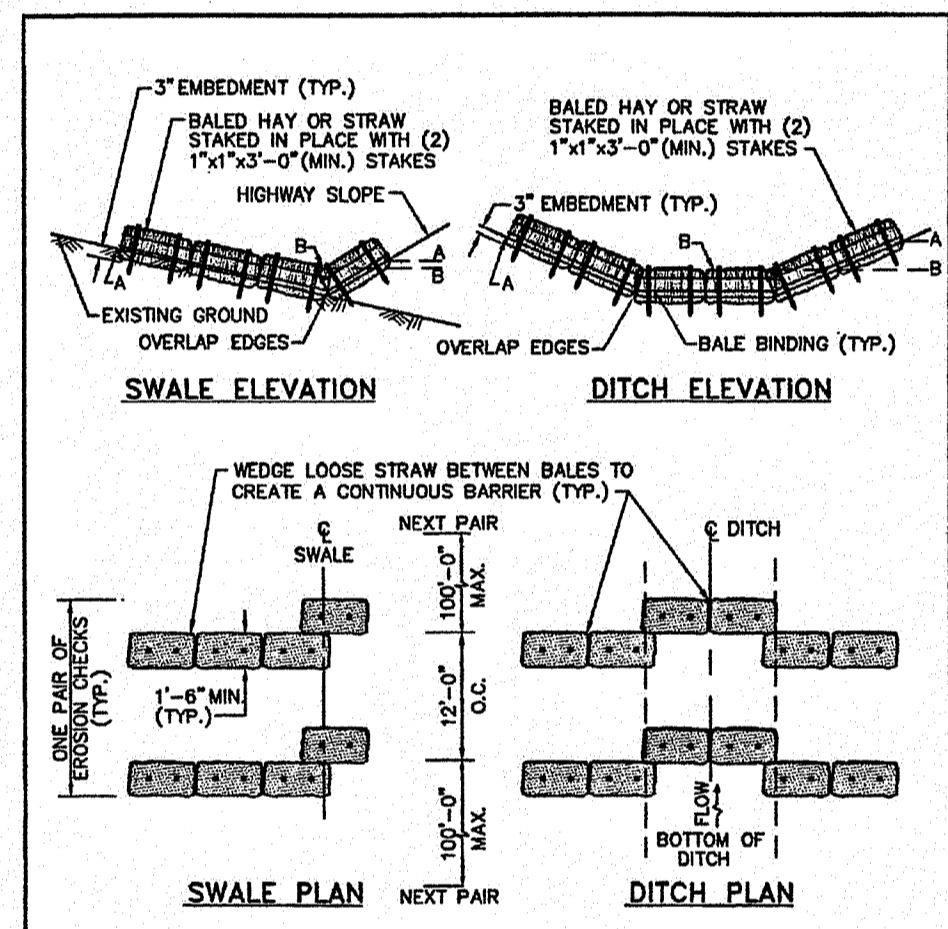
NO.	BY	DATE
1	J. G. G. G.	JUNE 15, 1998

R.I. STANDARD 9.3.0



CONCRETE TRUCK WASHOUT AREA
DETAIL & NOTES
NOT TO SCALE

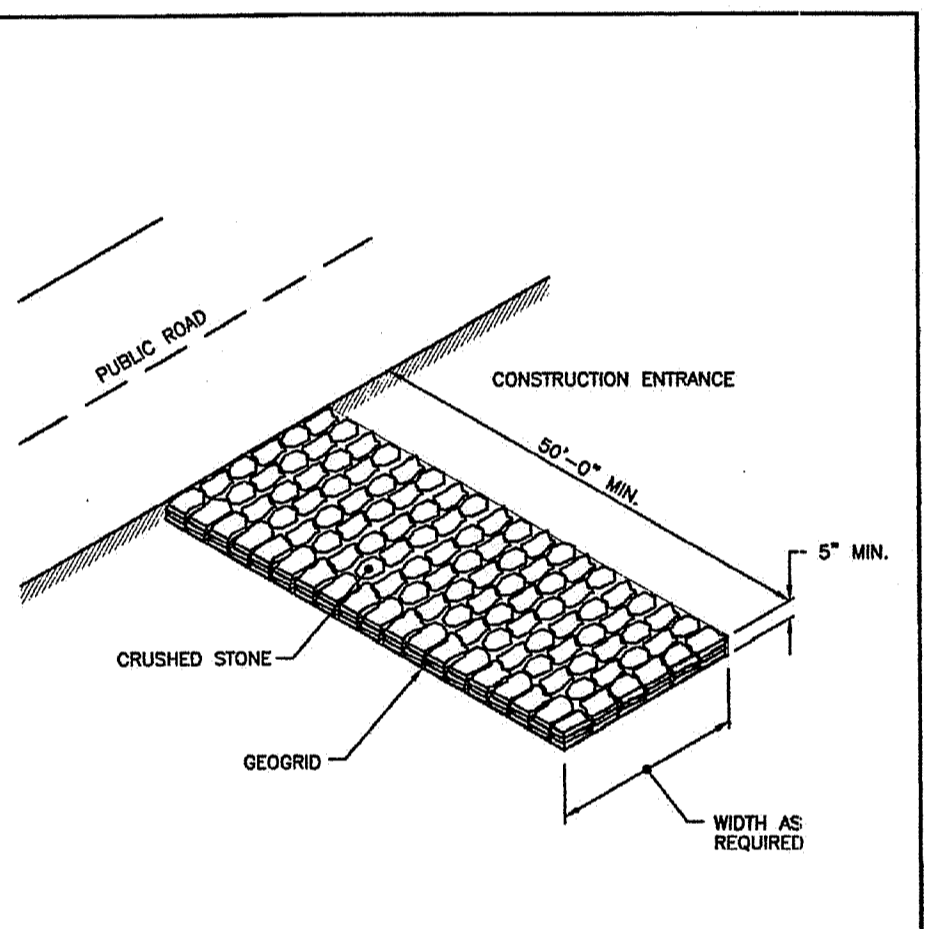
- CONCRETE TRUCK WASHOUT AREA NOTES:
- LOCATIONS OF CONCRETE TRUCK WASHOUT AREAS SHALL BE INSTALLED ON SITE AS CONSTRUCTION PROGRESS WARRANTS
 - PREPARE GROUND AREA AND REMOVE ANY DEBRIS OR MATERIALS. GROUND SHOULD BE CLEARED AND LEVELED.
 - INSTALL HAY BALES, RI STD. 9.1.0 AROUND ENTIRE WASHOUT AREA
 - INSTALL THICK POLYETHYLENE LINER (MIN GML THICKNESS) ON GROUND AND OVER AND AROUND HAY BALES.
 - STAKE LINER IN PLACE TO ENSURE ITS PLACEMENT AND STABILITY
 - LINER TO BE INSPECTED TO ENSURE ITS INTEGRITY
 - LINER TO BE REPLACED AS CONDITIONS WARRANT THROUGHOUT CONCRETE POURING OPERATIONS ON SITE.
 - LINER TO BE REMOVED AND DISPOSED OF OFF-SITE IN AN APPROPRIATE LOCATION AND MANNER
 - UPON COMPLETION, THE WASHOUT AREA SHALL BE INSPECTED AND ANY OVERSPILL SHALL BE REMOVED OF OFF-SITE



RHODE ISLAND DEPARTMENT OF TRANSPORTATION
BALED HAY DITCH AND SWALE EROSION CHECK

NO.	BY	DATE
1	J. G. G. G.	JUNE 15, 1998

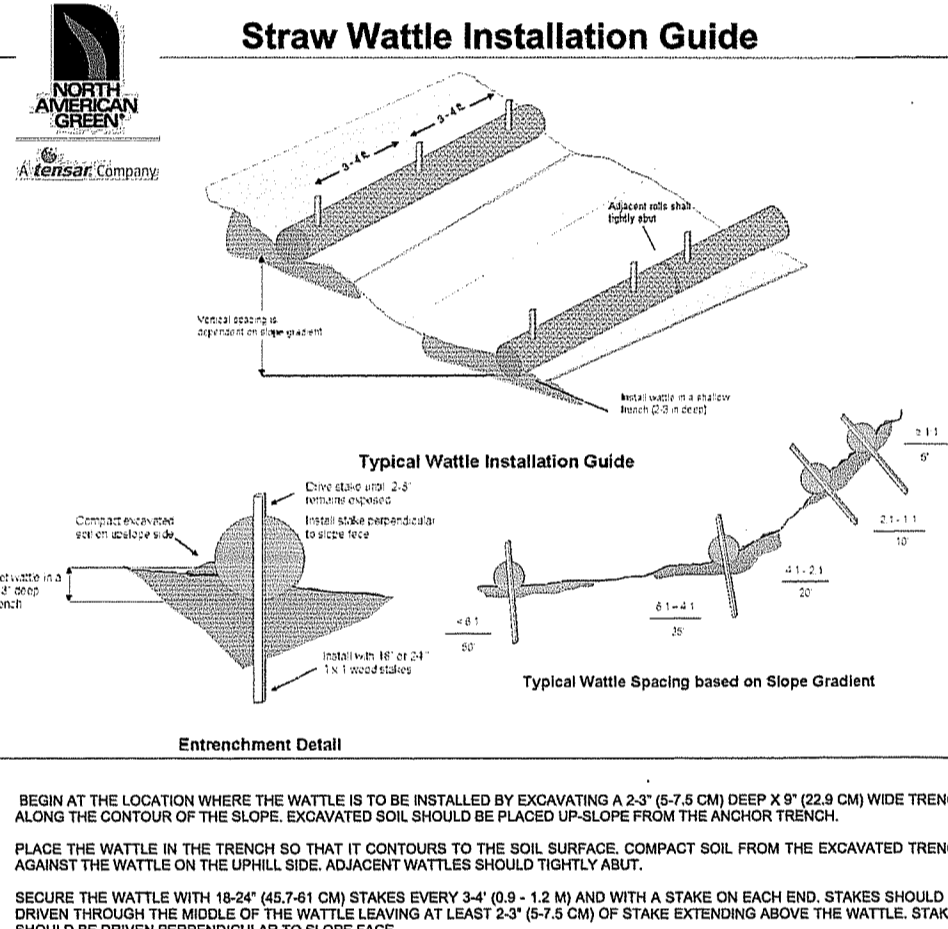
R.I. STANDARD 9.4.0



RHODE ISLAND DEPARTMENT OF TRANSPORTATION
CONSTRUCTION ACCESS

NO.	BY	DATE
1	J. G. G. G.	JUNE 15, 1998

R.I. STANDARD 9.9.0



- Straw Wattle Installation Guide
- BEGIN AT THE LOCATION WHERE THE WATTLE IS TO BE INSTALLED BY EXCAVATING A 2'-2" (57.4 CM) DEEP X 9" (22.9 CM) WIDE TRENCH ALONG THE CONTOUR OF THE SLOPE. EXCAVATED SOIL SHOULD BE PLACED ON SLOPE ABOVE THE ANCHOR TRENCH.
 - PLACE THE WATTLE IN THE TRENCH SO THAT IT CONTACTS TO THE SOIL SURFACE. COMPACT SOIL FROM THE EXCAVATED TRENCH AGAINST THE WATTLE ON THE UPHILL SIDE. ADJACENT WATTLES SHOULD TIGHTLY ABUT.
 - SECURE THE WATTLE WITH 18-GA (#2.4) GALV. STEEL STAPLES EVERY 3'-0" (91.4 CM) AND WITH A STAKE ON EACH END. STAPLES SHOULD BE DRIVEN THROUGH THE MIDDLE OF THE WATTLE LEAVING AT LEAST 3/8" (9.5 CM) OF STAKE EXTENDING ABOVE THE WATTLE. STAPLES SHOULD BE DRIVEN PERPENDICULAR TO SLOPE FACE.

- EROSION CONTROL PLAN**
- ALL WORK PROPOSED SHALL COMPLY WITH THE CONDITIONS SET FORTH IN THE "GENERAL PERMIT - RHODE ISLAND POLLUTANT DISCHARGE ELIMINATION SYSTEM STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITY, EFFECTIVE DATE: SEPTEMBER 26, 2013 AND SHALL BE IN ACCORDANCE WITH THE "RI STORMWATER DESIGN AND INSTALLATION STANDARDS MANUAL, AMENDED MARCH 2015.
 - EROSION AND SEDIMENT CONTROL METHODS FOR THE SITE INCLUDE STRUCTURAL AND STABILIZATION PRACTICES. STABILIZATION PRACTICES WILL BE IMPLEMENTED TO COVER EXPOSED SOIL SO THAT DISCHARGE OF SEDIMENT INTO WETLAND AREAS IS MINIMIZED. STABILIZATION PRACTICES REDUCE THE TIME SOIL IS EXPOSED TO THE ELEMENTS THEREFORE REDUCING THE POSSIBILITY OF EROSION. AN ADEQUATE STOCKPILE OF EROSION CONTROL MATERIALS WILL BE MAINTAINED AT THE CONSTRUCTION SITE IN THE EVENT OF EMERGENCY OR ROUTINE REPAIRS.
 - STRUCTURAL PRACTICES INVOLVE THE CONSTRUCTION OF DEVICES TO DIVERT AND LIMIT RUNOFF. THESE PRACTICES LIMIT THE AMOUNT OF STORMWATER ENTERING A DISTURBED AREA OR TRAP SEDIMENT PRIOR TO STORMWATER LEAVING A SITE. THE FOLLOWING ARE THE PROCEDURES TO BE FOLLOWED:
 - THE SITE CONSTRUCTION FOREMAN SHALL BE DESIGNATED AS THE ON-SITE INDIVIDUAL WHO WILL BE RESPONSIBLE FOR THE DAILY MAINTENANCE OF ALL SEDIMENT AND EROSION CONTROLS, AND SHALL IMPLEMENT ALL MEASURES NECESSARY TO CONTROL EROSION AND TO PREVENT SEDIMENT FROM LEAVING THE SITE.
 - PRIOR TO ANY SITE GRADING OR SITE WORK, THE CONTRACTOR SHALL INSTALL ALL SPECIFIED SEDIMENT AND EROSION CONTROLS JUST INSIDE THE LIMITS OF DISTURBANCE. THE SEDIMENT CONTROLS WILL BE A CONTINUOUS LINE OF HAYBALES AND SILT FENCE OR STRAW WATTLES.
 - A 50-FOOT LONG CONSTRUCTION ACCESS, RI STD 9.9.0 SHALL BE INSTALLED TO SHED DIRT FROM CONSTRUCTION VEHICLE TIRES PRIOR TO ENTERING THE ROADWAY. THE CRUSHED STONE PAD WILL BE REPLACED/CLEANED AS NEEDED TO MAINTAIN ITS EFFECTIVENESS.
 - INFILTRATION BASIN(S) AND SEDIMENT FOREBAY(S) IF NECESSARY, SHALL BE USED AS TEMPORARY SEDIMENT BASINS DURING CONSTRUCTION. SEDIMENT SHALL BE REMOVED FROM THE BASINS ON AN AS NEEDED BASIS OR WHEN THE SEDIMENT REACHES A DEPTH OF MORE THAN 3".
 - CONSTRUCTION DEBRIS AND SEDIMENT SHALL BE KEPT ON SITE AND SHALL NOT BE PERMITTED TO MIGRATE BEYOND THE PROJECT BOUNDARIES OR TO ANY WETLAND AREA.
 - ONCE THE SITE HAS BEEN LOAMED AND SEEDED AND THE SITE IS STABLE, THE SEDIMENT AND EROSION CONTROLS MAY BE REMOVED.

- OTHER CONTROLS**
- THE FOLLOWING ADDITIONAL CONTROLS SHALL BE IMPLEMENTED DURING CONSTRUCTION IN ORDER TO MINIMIZE EROSION AND RUNOFF FROM THE PROJECT LOCATION:
- NO CHEMICALS (CEMENT, MORTAR, ETC.) SHALL BE MIXED OR Poured WITHIN ANY WETLANDS.
 - SOLID WASTE WILL BE COLLECTED AND STORED IN A SECURE DUMPSTER. THE DUMPSTER SHALL MEET ALL LOCAL AND STATE SOLID WASTE MANAGEMENT REGULATIONS.
 - CONSTRUCTION DEBRIS WILL INCLUDE ALL WOOD, STONE AND OTHER DEBRIS AND SITE MATERIALS REQUIRING REMOVAL. THESE MATERIALS WILL BE DISPOSED OF ACCORDING TO STATE AND FEDERAL LAW AND WILL NOT BE DISPOSED OF ON-SITE.
 - THE LIMITS OF ALL GRADING AND DISTURBANCE SHALL BE KEPT TO A MINIMUM WITHIN THE PROPOSED AREA OF CONSTRUCTION. ALL AREAS OUTSIDE THE LIMITS OF DISTURBANCE SHALL REMAIN UNDISTURBED.
 - CONTINUOUS LINES OF EROSION CONTROLS SHALL BE INSTALLED PRIOR TO START OF CONSTRUCTION AND SHALL BE MAINTAINED UNTIL WORK IS COMPLETE AND A STABLE GROUND SURFACE IS ESTABLISHED.
 - ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED OR REPLACED AS REQUIRED TO ASSURE PROPER FUNCTION.
 - ALL BREACHES OR FAILURES IN SEDIMENT CONTROLS SHALL BE IMMEDIATELY REPAIRED OR REPLACED.
 - DEBRIS AND LITTER, WHICH ACCUMULATES ALONG THE CONSTRUCTION AREA, SHALL BE REMOVED DAILY AND DISPOSED OF OFF-SITE.
 - SEDIMENT BUILD-UP BEHIND ANY SILT FENCES OR EROSION CONTROL BARRIERS WILL BE MONITORED AND REMOVED WHENEVER SEDIMENT HAS ACCUMULATED TO 6-INCHES IN DEPTH.

ORDER OF PROCEDURE

- PRIOR TO ANY CONSTRUCTION OR EXCAVATION, EROSION & SEDIMENTATION (E&S) CONTROL MEASURES (HAYBALES AND SILT FENCE, STRAW WATTLES OR OTHER APPROVED MEASURES) SHALL BE INSTALLED AT THE PROPERTY LINE OR LIMIT OF DISTURBANCE. E&S CONTROL MEASURES SHALL BE INSTALLED AT THE LIMIT OF WORK ACTIVITY IF CONSTRUCTION IS TO BE DONE IN PHASES.
- PRIOR TO COMMENCING OPERATIONS, E&S CONTROL MEASURES SHALL BE PLACED SO AS TO PREVENT SEDIMENT FROM ENTERING EXISTING AND PROPOSED DRAINAGE SYSTEMS OR WETLANDS.
- ALL E&S CONTROL STRUCTURES SHALL BE PERIODICALLY MAINTAINED AS PER THE RESPECTIVE PROGRAMS DURING THE CONSTRUCTION.
- IF WORK PROGRESS IS TO BE INTERRUPTED AT ANY TIME, REFERENCE EROSION AND SEDIMENTATION PROGRAMS FOR TEMPORARY CONTROLS.
- TEMPORARY HAYBALES AND SANDBAGS ALONG AND AT THE ENDS OF THE ROADWAY MAY ALSO BE REMOVED AFTER FINAL SOIL STABILIZATION HAS BEEN ACHIEVED AND APPROVED.
- E&S CONTROL MEASURES AT THE DRAINAGE STRUCTURES MUST REMAIN UNTIL SUCH TIME THAT A DESIRABLE STAND OF GRASS OR GROUND COVER HAS BEEN ESTABLISHED AND THE PROJECT RECEIVES A FAVORABLE APPROVAL FOR FINAL ACCEPTANCE FROM THE ENGINEER.

SEDIMENTATION CONTROL PROGRAM

- EXTREME CARE SHALL BE EXERCISED SO AS TO PREVENT ANY UNSUITABLE MATERIAL FROM ENTERING THE DRAINAGE SYSTEMS, STATE HIGHWAY, TOWN ROADWAY, WETLANDS OR ADJOINING PROPERTIES.
- ALL DISTURBED AREAS SUBJECT TO EROSION TENDENCIES WHETHER THEY BE NEWLY FILLED OR EXCAVATED SHALL RECEIVE SLOPE PROTECTION.
- BANKS OR SLOPES OVER 5 PERCENT SHALL BE SEEDED AS SOON AS POSSIBLE AND SHALL BE PROTECTED WITH A HAY, STRAW OR FIBER MULCH.
- DURING CONSTRUCTION, THE CONTRACTOR AND/OR OWNER SHALL BE RESPONSIBLE FOR MAINTAINING DRAINAGE AND RUNOFF FLOW DURING STORMS AND PERIODS OF RAINFALL.
- SEDIMENTATION CONTROL DEVICES SHALL BE INSPECTED CLOSELY AND MAINTAINED PROMPTLY AFTER EACH RAINFALL.
- CARE SHALL BE TAKEN SO AS NOT TO PLACE "REMOVED SEDIMENTS" WITHIN THE PATH OF EXISTING, NEWLY CREATED (BOTH TEMPORARY AND PERMANENT) OR PROPOSED WATER COURSES OR WETLANDS OR THOSE AREAS SUBJECT TO STORM WATER FLOW.
- ADDITIONAL HAY BALES OR SANDBAGS SHALL BE LOCATED AS CONDITIONS WARRANT OR AS DIRECTED BY THE ENGINEER.
- ALL SEDIMENTS SHALL BE REMOVED FROM THE DRAINAGE FACILITIES WHEN DIRECTED BY THE ENGINEER OR THE LOCAL DEPARTMENT OF PUBLIC WORKS.
- REFERENCE THE "RI EROSION AND SEDIMENT CONTROL HANDBOOK" PREPARED BY RIDE AND THE US DEPARTMENT OF AGRICULTURE, SOIL CONSERVATION SERVICE, AND THE TOWN OF CHARLESTOWN SOILS AND EROSION CONTROL ORDINANCES AS GUIDES.
- ALL EARTH FILL USED FOR EMBANKMENT CONSTRUCTION SHALL BE FREE OF DETRIMENTAL AMOUNTS OF SODS, ROOTS, FROZEN SOILS, STONES, AND OTHER QUESTIONABLE MATERIAL.
- A CONTINUOUS LINE OF STAKED HAY BALES AND SILT FENCES, RI STANDARDS TOWN APPROVED EQUALS, OR STRAW WATTLES SHALL BE PLACED ALONG AND INSIDE THE LIMITS OF DISTURBANCE AND WHERE SHOWN AND AS REQUIRED.

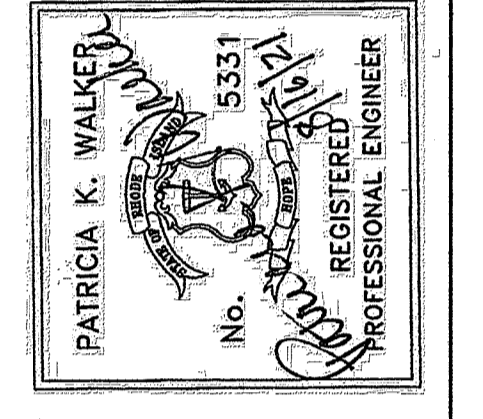
EROSION CONTROL AND SOIL STABILIZATION PROGRAM

- DENUDED SLOPES SHALL NOT BE UNATTENDED OR EXPOSED FOR EXCESSIVE PERIODS OF TIME.
- STAKED HAY BALES AND SILT FENCES OR STRAW WATTLES SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, MAINTAINED ON A REGULAR BASIS, AND SHALL BE PLACED TO PREVENT SEDIMENTATION ONTO ADJACENT PROPERTY OR INTO DRAINAGE SYSTEMS OR WETLANDS.
- DURING CONSTRUCTION, THE CONTRACTOR AND/OR OWNER SHALL BE RESPONSIBLE FOR ALL EROSION CONTROLS MAINTENANCE AND SHALL INSPECT AND/OR REPLACE AS NEEDED.
- DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING DRAINAGE AND RUNOFF FLOW.
- ADDITIONAL HAY BALES AND SILT FENCES OR STRAW WATTLES WILL BE INSTALLED AS CONDITIONS WARRANT OR AS DIRECTED BY THE ENGINEER.
- ALL EROSION CONTROL MEASURES (HAY BALES AND SILT FENCE OR STRAW WATTLES) WILL REMAIN IN PLACE UNTIL AN ACCEPTABLE GROUND COVER DEVELOPS AND POTENTIAL SEDIMENTATION SOURCES ARE REMOVED.
- NORMAL ACCEPTABLE SEASONAL SEEDING DATES ARE APRIL 1 TO OCTOBER 15. REFER TO LANDSCAPE PLANTING PLAN, DETAILS AND NOTES FOR ADDITIONAL INFORMATION.
- ALL SEDIMENTS SHALL BE REMOVED FROM THE DRAINAGE FACILITIES WHEN DIRECTED BY THE ENGINEER, LOCAL DEPARTMENT OF PUBLIC WORKS, RIDOT OR RIDEM.
- ALL AREAS SUBJECT TO EROSION FORCES SHALL RECEIVE PROTECTION.
- HAY, STRAW, OR LINING APPLICATIONS SHALL BE USED AS REQUIRED ON EXPOSED SURFACES TO PREVENT EROSION. ALL METHODS SHALL BE APPROVED BY THE ENGINEER.
- ALL VEGETATION WHICH DOES NOT SURVIVE AND DEVELOP WITHIN THE PERIOD OF ONE (1) YEAR SHALL BE REPLACED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE.
- STABILIZATION OF ONE FORM OR ANOTHER AS DESCRIBED ABOVE SHALL BE ACHIEVED WITHIN 15 DAYS OF FINAL GRADING.
- THE DRAINAGE SYSTEM SHALL BE CLEANED PRIOR TO ACCEPTANCE OF THE OVERALL PROJECT BY THE OWNER. SEDIMENTS SHALL BE DISPOSED OF IN A PROPER MANNER.
- AS REQUIRED AND WARRANTED, SEDIMENTATION TRAPS WILL BE PROVIDED AT ALL DRAINAGE OUTLET STRUCTURES UNTIL PERMANENT STABILIZATION HAS OCCURRED.
- NO SLOPES TO EXCEED 3:1.
- STOCKPILES EXPOSED FOR EXCESSIVE PERIODS SHALL RECEIVE TEMPORARY TREATMENT CONSISTING OF HAY, STRAW, OR FIBER MATTING.
- STOCKPILES SHALL NOT BE LOCATED NEAR WATERWAYS AND SHALL HAVE NO SLOPE STEEPER THAN 3:1 AND SHALL BE SURROUNDED BY STAKED HAY BALES AND SEEDED AND/OR STABILIZED.
- FINAL TREATMENT FOR DISTURBED AREAS SHALL BE 4" PLANTABLE SOIL AND EROSION CONTROL SEED MIX, UNLESS OTHERWISE SHOWN ON LANDSCAPING PLANS.
- LANDSCAPING SHALL BE LOCATED AT LOCATIONS AS SHOWN ON THE PLANS AND/OR SHALL BE LOCATED AT THE DISCRETION AND PREFERENCE OF THE OWNER.
- THE TOPSOIL SHALL HAVE A SANDY LOAM TEXTURE RELATIVELY FREE OF SUBSOIL MATERIAL, STONES, ROOTS, LUMPS OF SOIL, TREE LIMBS, TRASH OR CONSTRUCTION DEBRIS AND SHALL CONFORM WITH RI STANDARD SPECIFICATIONS.
- THE SEED MIX SHALL BE INOCULATED 24 HOURS BEFORE MIXING AND PLANTING WITH APPROPRIATE INOCULUM FOR EACH VARIETY.
- HAY OR STRAW APPLICATIONS SHOULD BE IN THE AMOUNT OF 3000 TO 4000 LBS PER ACRE.
- ON BOTH STEEP AND LONG SLOPES CONSIDERATION SHOULD BE GIVEN TO "CRIMPING" OR "TRACKING" TO TACK DOWN MULCH APPLICATIONS.
- ALL DISTURBED SLOPES, EITHER NEWLY CREATED OR EXPOSED PRIOR TO OCTOBER 15 SHALL BE SEEDED AND PROTECTED BY THAT DATE FOR ANY WORK COMPLETED DURING EACH CONSTRUCTION YEAR.
- REFER TO THE LANDSCAPE DESIGN FOR PERMANENT SEEDING TREATMENT AND MIXTURES
- TEMPORARY TREATMENTS SHALL CONSIST OF A HAY, STRAW OR FIBER MULCH OR PROTECTIVE COVERS SUCH AS A MAT OR FIBER LINING (BURLAP, JUTE, FIBERGLASS NETTING, EXCELSIOR BLANKETS) AND SHALL BE INCORPORATED INTO THE WORK AS WARRANTED OR AS ORDERED BY THE ENGINEER OR LANDSCAPE ARCHITECT.
- ALL HAYBALES OR TEMPORARY PROTECTION SHALL REMAIN IN PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED. IF NEEDED, TEMPORARY SEEDING CAN HELP TO MINIMIZE EROSION. A TEMPORARY SEEDING GUIDE MUST BE INCLUDED AS A REFERENCE. THE FOLLOWING SPECIES ARE RECOMMENDED.

SPECIES	DATES	LBS/1000 SF	LBS/ACRE	SEEDING
ANNUAL RYEGRASS	1.0 - 1.5	40 - 60	MARCH 1 - JUNE 1	
PERENNIAL RYEGRASS	1.0 - 1.5	40 - 60	MARCH 1 - JUNE 1	
SUDAN GRASS	0.7 - 1.0	30 - 40	MAY 15 - AUGUST 15	
MILLET	0.7 - 1.0	30 - 40	MAY 15 - JUNE 15	
WINTER RYE	3.0	120	APRIL 15 - JUNE 15	

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
REVIEWED SITE PLAN APPLICATION NO. 21-0237
DATED OCT 21 2021
SEE LETTER OF SAME DATE.
WETLANDS PERMITTING
SUBMISSION ONLY

REVISIONS	DESCRIPTION
DATE	



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NOTES & DETAILS NO. 13
BURNT HILL ESTATES
BURNT HILL ROAD (AP 49-2, LOT 1)
SCITUATE, RHODE ISLAND

DATE: AUGUST 2021
SHEET: ND - 3
SHEET 10 OF 10