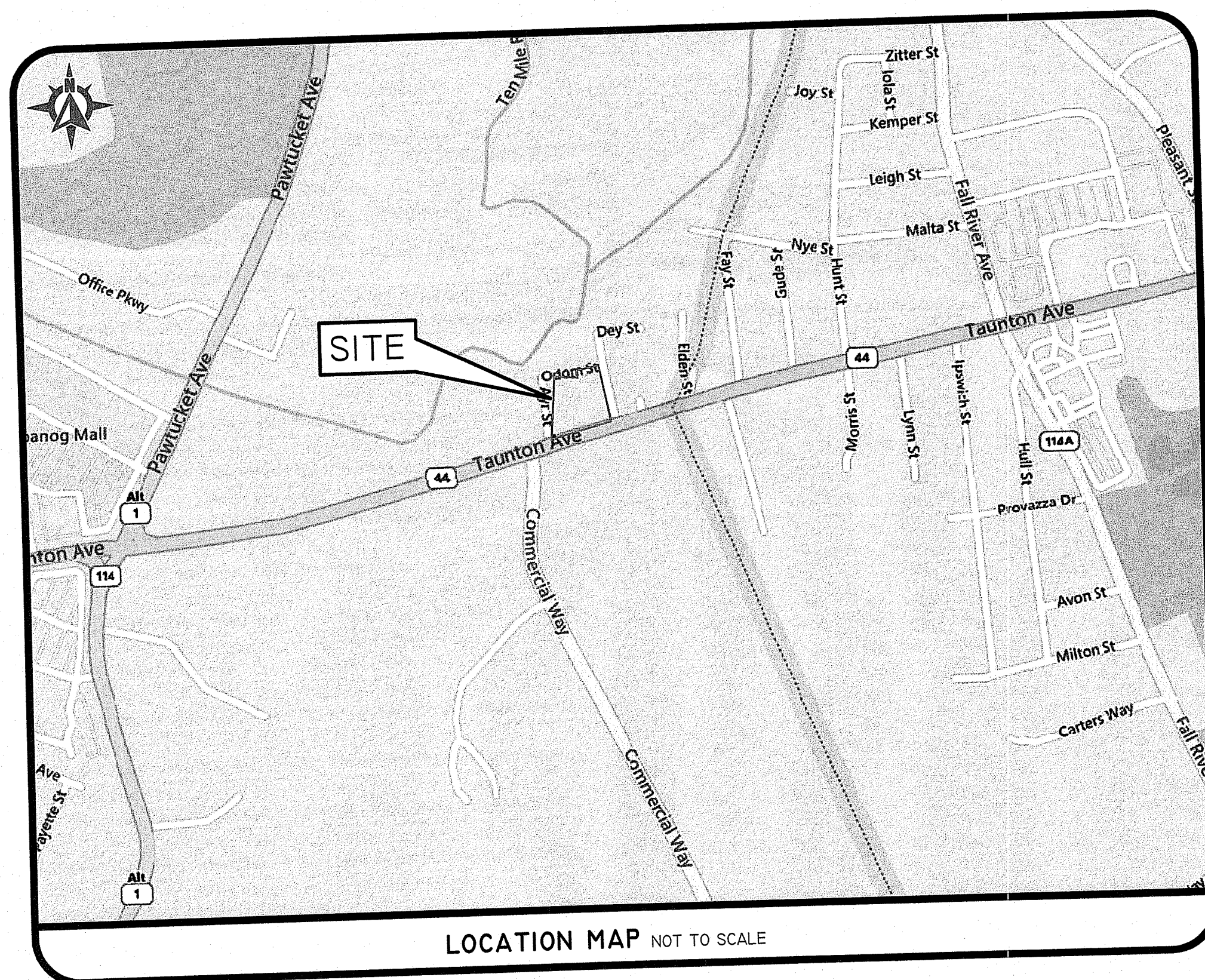


# DEVELOPMENT PLAN REVIEW SUBMISSION

# TASCA CAR WASH

854 TAUNTON AVENUE  
 EAST PROVIDENCE, RHODE ISLAND 02914  
 MAP 505 BLOCK 5 PARCELS 5, 6, 7



## SHEET INDEX

- 1 COVER SHEET
- 2 AERIAL HALF MILE RADIUS
- 3 GENERAL NOTES AND LEGEND
- 4 EXISTING CONDITIONS SURVEY
- 5 SOIL EROSION AND SEDIMENT CONTROL PLAN
- 6 SITE LAYOUT PLAN
- 7 GRADING PLAN
- 8 DRAINAGE AND UTILITY PLAN
- 9 SANITARY EXTENSION PLAN
- 10 SESC DETAIL SHEET
- 11 DETAIL SHEET - 1
- 12 DETAIL SHEET - 2
- 13 DETAIL SHEET - 3
- 14 LANDSCAPE PLAN
- 15 LANDSCAPE NOTES AND DETAILS

Environmental Management  
 DEC 07 2021  
 Office of Water Resources

LEONARDO R. BRADLEY  
 No. 6610  
 REGISTERED PROFESSIONAL ENGINEER  
 CIVIL

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
 OFFICE OF WATER RESOURCES  
 FRESHWATER WETLANDS PROGRAM  
 APPROVED WITH CONDITIONS  
 AS SPECIFIED IN THE LETTER OF APPROVAL  
 DATED JAN 27 2022 FILE # 21-0243  
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

*Donald L. Freeman*

APPROVED BY THE CITY OF EAST PROVIDENCE DPR COMMITTEE	
FIRE CHIEF	DATE
PLANNING DIRECTOR	DATE
DIRECTOR OF PUBLIC WORKS	DATE

**SESC / O&M**  
 THE SOIL EROSION AND SEDIMENT CONTROL PLAN (SESC) AND STORMWATER OPERATION AND MAINTENANCE PLAN (O&M) ARE REQUIRED DOCUMENTS WITH THIS PLAN SET AND MUST BE MAINTAINED BY THE CONTRACTOR AND OWNER ON SITE.

**RIDOT**  
 THE PROPOSED IMPROVEMENTS WILL NOT INCREASE THE RATE OF STORMWATER RUNOFF ONTO THE STATE HIGHWAY. ALL WORK WITHIN THE STATE RIGHT OF WAY MUST CONFORM TO THE RI STANDARD SPECIFICATIONS, DETAILS, AND ADDENDUMS.

THIS PLAN SET HAS BEEN REVIEWED FOR CONFORMANCE WITH THE REQUIREMENTS OF THE R.I. STATE DEPARTMENT OF ENVIRONMENTAL MANAGEMENT, OFFICE OF WATER RESOURCES, FRESHWATER WETLANDS PROGRAM. THE ENGINEER'S RESPONSIBILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE PROJECT AS SHOWN ON THESE PLANS. THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE MEANS, METHODS, SAFETY PRECAUTIONS AND REGULATIONS IN THE DESIGN AND CONSTRUCTION OF THIS PLAN AND FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES.

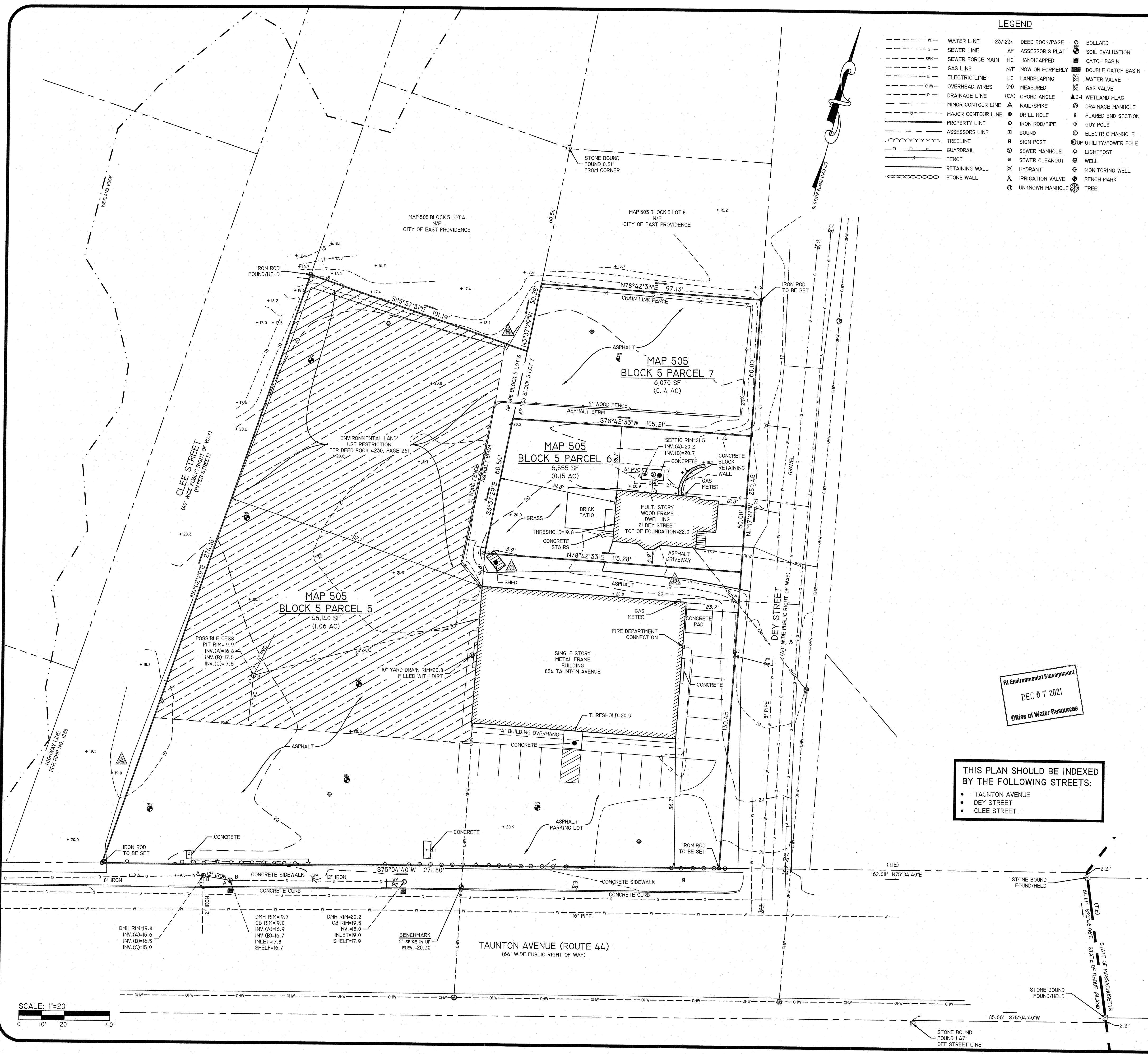
NO.	DATE	DESCRIPTION	BY	DESIGN BY
1	08-27-21	CITY & RIDOT RESUBMISSION SET		R.S.S.
2	08-27-21	PERMITTING SUBMISSION SET		R.S.S.
3	08-27-21	PERMITTING SUBMISSION SET		R.S.S.
4	08-27-21	PERMITTING SUBMISSION SET		R.S.S.
5	08-27-21	PERMITTING SUBMISSION SET		R.S.S.
6	08-27-21	PERMITTING SUBMISSION SET		R.S.S.
7	08-27-21	PERMITTING SUBMISSION SET		R.S.S.
8	08-27-21	PERMITTING SUBMISSION SET		R.S.S.
9	08-27-21	PERMITTING SUBMISSION SET		R.S.S.
10	08-27-21	PERMITTING SUBMISSION SET		R.S.S.
11	08-27-21	PERMITTING SUBMISSION SET		R.S.S.
12	08-27-21	PERMITTING SUBMISSION SET		R.S.S.
13	08-27-21	PERMITTING SUBMISSION SET		R.S.S.
14	08-27-21	PERMITTING SUBMISSION SET		R.S.S.
15	08-27-21	PERMITTING SUBMISSION SET		R.S.S.

**COVER SHEET**  
 854 TAUNTON AVENUE  
 MAP 505 BLOCK 5 PARCELS 5, 6, & 7  
 EAST PROVIDENCE, RHODE ISLAND 02914  
 PREPARED FOR:  
**G3 PROPERTIES, LLC**  
 1300 PONTIAC AVENUE, CRANSTON, RHODE ISLAND 02920

**DiPrete Engineering**  
 Two Stafford Court, Cranston, RI 02920  
 Tel: 401-942-1000 Fax: 401-941-6006 www.diprete-eng.com  
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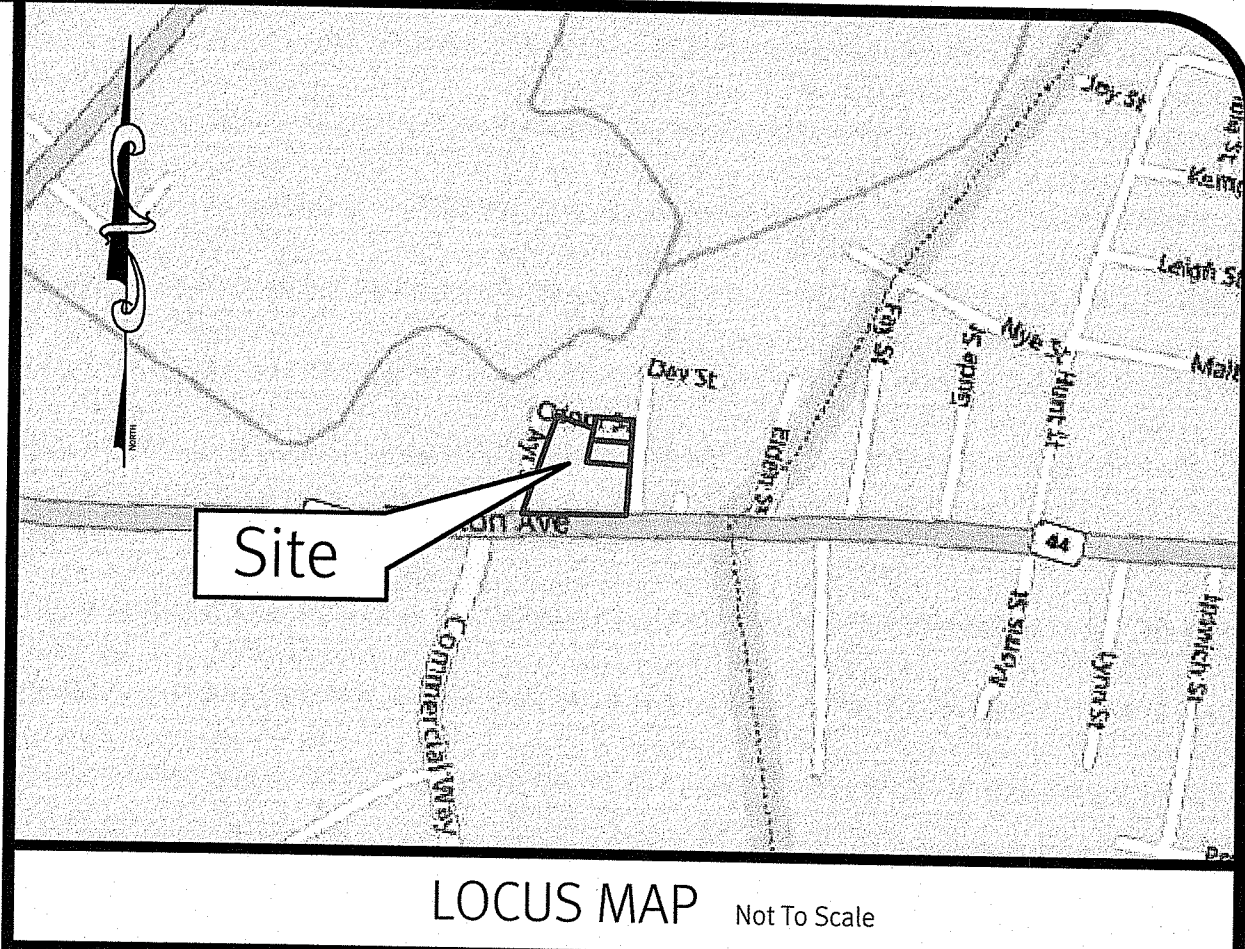






**LEGEND**

---	W	WATER LINE	123/1234	DEED BOOK/PAGE	○	BOLLARD
---	S	SEWER LINE	AP	ASSESSOR'S PLAT	⊙	SOIL EVALUATION
---	SFM	SEWER FORCE MAIN	HC	HANDICAPPED	■	CATCH BASIN
---	G	GAS LINE	N/F	NOW OR FORMERLY	□	DOUBLE CATCH BASIN
---	E	ELECTRIC LINE	LC	LANDSCAPING	⊕	WATER VALVE
---	OHM	OVERHEAD WIRES	(M)	MEASURED	⊕	GAS VALVE
---	D	DRAINAGE LINE	(CA)	CHORD ANGLE	▲	WETLAND FLAG
---	MCL	MINOR CONTOUR LINE	▲	NAIL/SPIKE	⊕	DRAINAGE MANHOLE
---	MCL	MAJOR CONTOUR LINE	○	DRILL HOLE	⊕	FLARED END SECTION
---	PL	PROPERTY LINE	○	IRON ROD/PIPE	○	GUY POLE
---	AL	ASSESSOR'S LINE	○	BOUND	○	ELECTRIC MANHOLE
---	TR	TREELINE	○	SIGN POST	⊕	UTILITY/POWER POLE
---	GR	GUARDRAIL	○	SEWER MANHOLE	⊕	LIGHTPOST
---	F	FENCE	○	SEWER CLEANOUT	⊕	WELL
---	RW	RETAINING WALL	○	HYDRANT	⊕	MONITORING WELL
---	SW	STONE WALL	○	IRRIGATION VALVE	⊕	BENCH MARK
---			○	UNKNOWN MANHOLE	⊕	TREE



- GENERAL NOTES**
- THE SITE IS FOUND ON MAP 505, BLOCK 5, PARCELS 5, 6, & 7 IN THE CITY OF EAST PROVIDENCE, PROVIDENCE COUNTY, RHODE ISLAND.
  - THE OWNER OF:
    - PARCELS 5 & 7 PER DEED BOOK 3482, PAGE 157 IS BOCADA TAUNTON AVE, LLC.
    - PARCEL 6 PER DEED BOOK 4359, PAGE 215 IS EP WIL, LLC.
  - THIS SITE IS LOCATED IN FEMA FLOOD ZONES AE AND X. REFERENCE FEMA FLOOD INSURANCE RATE MAP 44007C0326J, MAP REVISED OCTOBER 2, 2015. THIS DESIGNATION MAY CHANGE BASED UPON REVIEW BY A FLOOD ZONE SPECIALIST OR BY THE RESULTS OF A COMPREHENSIVE FLOOD STUDY.
  - THE PARCEL IS ZONED C5 BASED ON THE CITY OF EAST PROVIDENCE ASSESSOR'S DATABASE. ANY OVERLAY DISTRICTS, SPECIAL PERMITS OR VARIANCES SPECIFIC TO THIS SITE ARE NOT TAKEN INTO CONSIDERATION. PLEASE CONTACT THE ZONING DEPARTMENT FOR ANY ADDITIONAL INFORMATION OR FOR A CERTIFICATE OF ZONING.
  - THERE WERE NO CEMETERIES, GRAVE SITES AND OR BURIAL GROUNDS OBSERVED WITHIN THE LIMITS OF THE SURVEY.
  - FIELD SURVEY PERFORMED BY DIPRETE ENGINEERING ON APRIL 1-2, 2021. THIS PLAN REFLECTS ON THE GROUND CONDITIONS AS OF THAT DATE.
  - ELEVATIONS SHOWN HEREON, IN U.S. SURVEY FEET, ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88), AS DETERMINED BY DIPRETE ENGINEERING USING REAL TIME KINEMATIC G.P.S. OBSERVATIONS.
  - THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT. DIPRETE ENGINEERING IS NOT RESPONSIBLE FOR ANY UNKNOWN OR UNRECORDED EASEMENTS, DEEDS OR CLAIMS THAT A TITLE REPORT WOULD DISCLOSE.
  - WETLAND LOCATIONS SHOWN BASED ON FIELD SURVEY BY DIPRETE ENGINEERING. WETLAND EDGE WAS DELINEATED BY DIPRETE ENGINEERING.

- PLAN REFERENCES:**
- PROVIDENCE PARK, EAST PROVIDENCE, PROVIDENCE CO., RHODE ISLAND, AND SEEKONK, BRISTOL CO., MASSACHUSETTS, OWNED BY J.W. WILBURM FORMERLY OWNED BY RODOLPH BERRY, SCALE 1"=100', DATED MAY 10, 1913, PLAN BY ERNEST BRANCH, CIVIL ENGINEER, RECORDED ON PLAT CARD 155.
  - ENVIRONMENTAL LAND USE RESTRICTION PLAN IN EAST PROVIDENCE, RI, SCALE 1"=20', DATED JANUARY 28, 2020, PLAN BY HANCOCK ASSOCIATES, RECORDED IN DEED BOOK 4236, PAGE 261.
  - RHODE ISLAND STATE HIGHWAY PLAT NO. 1288.

- UTILITY NOTES**
- ALL EXISTING UTILITIES DEPICTED ARE SHOWN ACCORDANCE WITH UTILITY QUALITY LEVEL C AS DEFINED IN C/ASCE STANDARD 38-02 (STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA), LATEST REVISION.
  - ALL EXISTING UNDERGROUND UTILITIES SHOWN WERE PROVIDED BY OTHERS AND ARE APPROXIMATE ONLY. LOCATIONS MUST BE DETERMINED IN THE FIELD BEFORE EXCAVATION, BLASTING, UTILITY INSTALLATION, BACKFILLING, GRADING, PAVEMENT RESTORATION, AND ALL OTHER SITE WORK. ALL UTILITY COMPANIES, PUBLIC AND PRIVATE, MUST BE CONTACTED INCLUDING THOSE IN CONTROL OF UTILITIES NOT SHOWN ON THESE DOCUMENTS. CONTACT DIG SAFE A MINIMUM OF 72 WORKING HOURS PRIOR TO ANY CONSTRUCTION AT ALL. DIG SAFE IS RESPONSIBLE FOR CONTACTING MEMBER UTILITY COMPANIES. DIG SAFE MEMBER UTILITY COMPANIES ARE NOT NOTIFIED BY DIG SAFE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INVESTIGATE AND NOTIFY IF ANY PRIVATELY OWNED OR NON DIG SAFE MEMBER UTILITIES ARE IN THE AREA.
  - PER THE CODE OF FEDERAL REGULATIONS - TITLE 29, PART 1926 IT IS THE SITE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ACCURATE UNDERGROUND UTILITY LINE LOCATIONS FROM THE UTILITY COMPANIES. UTILITY COMPANIES AND/OR VIA UNDERGROUND UTILITY LOCATION EQUIPMENT AS NEEDED TO ESTABLISH ACCURATE LOCATIONS PRIOR TO ANY EXCAVATION. THE USE OF PROFESSIONAL UTILITY LOCATION COMPANIES PRIOR TO ANY EXCAVATION IS RECOMMENDED.
  - DIPRETE ENGINEERING IS NOT A PROFESSIONAL UTILITY LOCATION COMPANY, AND IS NOT RESPONSIBLE FOR UNDERGROUND UTILITIES, DEPICTED OR NOT, EITHER IN SERVICE OR ABANDONED. ANY SIZES, LOCATIONS, EXISTENCE, OR LACK OF EXISTENCE OF UTILITIES SHOWN ON THESE PLANS SHOULD BE CONSIDERED APPROXIMATE UNTIL VERIFIED BY A PROFESSIONAL UTILITY LOCATION COMPANY. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED.
  - UTILITY PLAN REFERENCES
    - WATER INFORMATION OBTAINED FROM PAINT LINES LOCATED ON THE GROUND BY DIPRETE ENGINEERING (SEE GENERAL NOTES FOR DATE OF FIELD SURVEY) AND FROM THE CITY OF EAST PROVIDENCE.
    - SEWER INFORMATION OBTAINED ON THE GROUND BY DIPRETE ENGINEERING. (SEE GENERAL NOTES FOR DATE OF FIELD SURVEY)
    - GAS INFORMATION OBTAINED FROM PAINT LINES LOCATED ON THE GROUND BY DIPRETE ENGINEERING. (SEE GENERAL NOTES FOR DATE OF FIELD SURVEY)
    - DRAINAGE INFORMATION OBTAINED ON THE GROUND BY DIPRETE ENGINEERING. (SEE GENERAL NOTES FOR DATE OF FIELD SURVEY)

**THIS PLAN SHOULD BE INDEXED BY THE FOLLOWING STREETS:**

- TAUNTON AVENUE
- DEY STREET
- CLEE STREET

RI Environmental Management  
DEC 07 2021  
Office of Water Resources

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS  
AS SPECIFIED IN THE LETTER OF APPROVAL  
DATED JAN 27 2022 FILE # 21-0243  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

*Nancy L. Freeman*

**SURVEYOR'S CERTIFICATE**

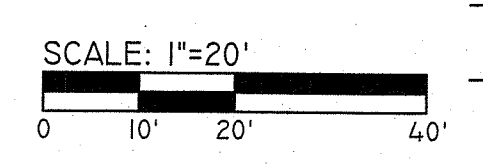
THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 26, 2015, AS FOLLOWS:

- COMPREHENSIVE BOUNDARY SURVEY CLASS 1-2
- TOPOGRAPHIC SURVEY CLASS T-2

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS: PERIMETER RETRACEMENT WITH TOPOGRAPHY FOR SITE ENGINEERING AND PERMITTING.

ROBERT G. BABCOCK  
No. 2504  
PROFESSIONAL LAND SURVEYOR

*Robert G. Babcock*  
ROBERT G. BABCOCK, RIPLS #2504, COA #LS.000A160  
10/27/21

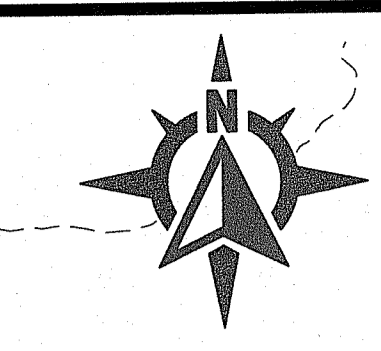
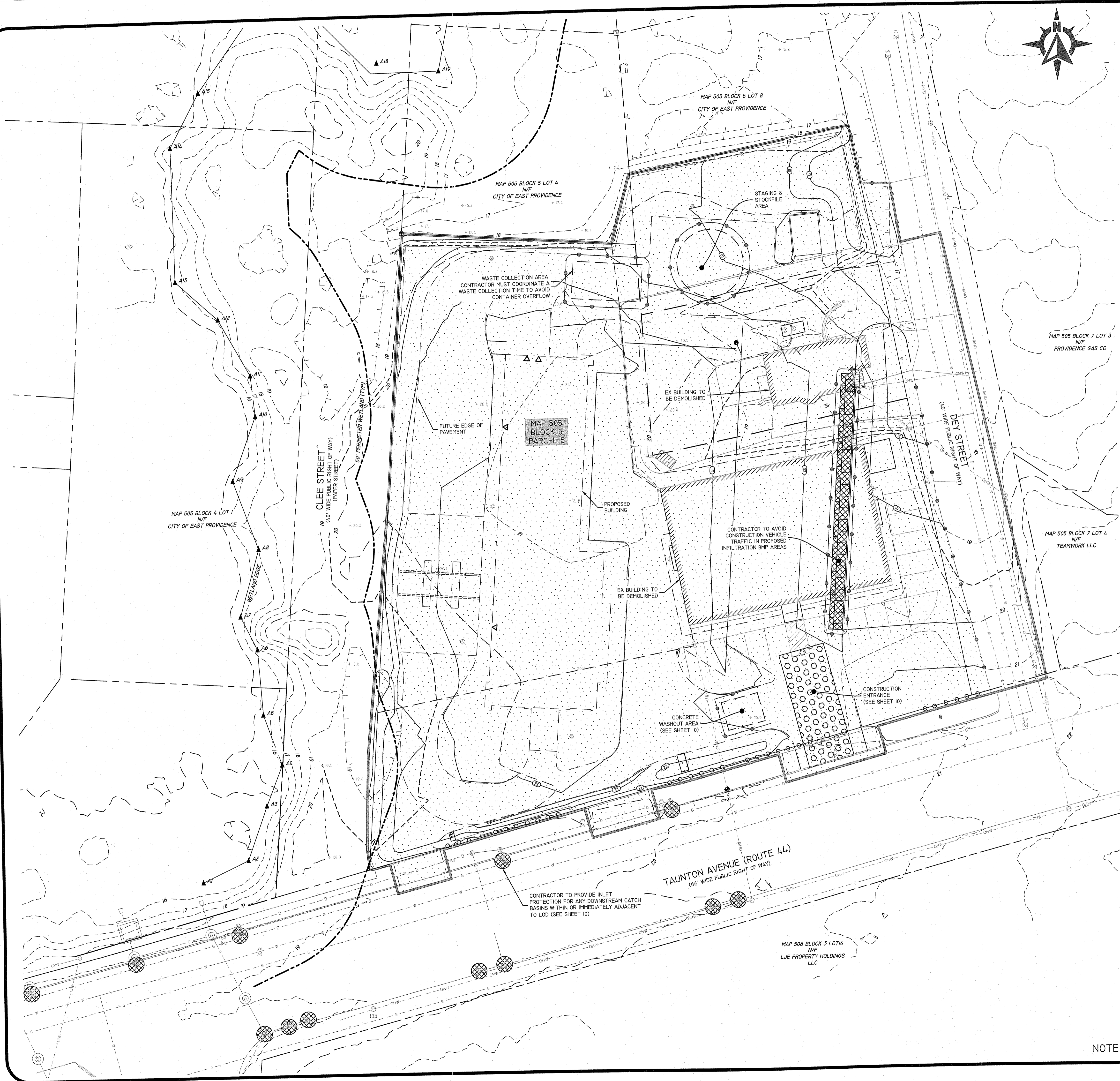


Existing Conditions Survey  
**854 Taunton Avenue**  
Map 505, Block 5, Parcels 5, 6, & 7  
East Providence, Rhode Island  
Prepared For  
**Bocada Taunton Ave, LLC**  
1300 Taunton Avenue, Cranston, Rhode Island 02920

**Diprete Engineering**  
Two Stafford Court Cranston, RI 02920  
Tel 401-955-1000 Fax 401-464-6006 www.diprete-eng.com

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**SOIL EROSION CONTROL LEGEND**

- EROSION CONTROL (COMPOST SOCK, SILT FENCE (RI STD 9.2.0, OR APPROVED EQUAL))
- CLASS C SILT FENCE
- LIMIT OF DISTURBANCE (NO SEDIMENT CONTROL)
- LIMIT OF DISTURBANCE (WITH SEDIMENT CONTROL)
- TRIBUTARY AREA TO SESC BMP
- CONSTRUCTION ENTRANCE (RIDOT STD 9.9.0)
- INFILTRATING AREA (TO BE PROTECTED BY COMPOST SOCK OR SILT FENCE)
- FINAL CONTOUR GRADE
- INLET SEDIMENT CONTROL

**SOIL EROSION CONTROL IMPLEMENTATION PHASING**

- PHASE IA - INSTALL EROSION CONTROL SILT FENCE & STONE CONSTRUCTION ENTRANCE.
  - PHASE IB - DEMOLISH AND REMOVE EXISTING BUILDINGS AND ASSOCIATED PAVEMENT. INSTALL PERMANENT INFILTRATING BMP. INSTALL ALL UTILITIES. CONSTRUCT PROPOSED BUILDING. FINISH GRADING AND STABILIZE ALL AREAS. INSTALL ASPHALT PAVING.
- NOTE - SOIL EROSION CONTROL IMPLEMENTATION PHASING SHOULD NOT BE MISCONSTRUED WITH CONSTRUCTION PHASING/ SEQUENCING. ALL MEASURES DEPICTED ON THIS PLAN ARE TO BE INSTALLED WITH THE FIRST PHASE OF CONSTRUCTION.

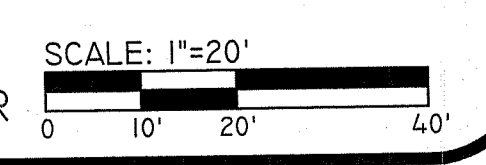
RI Environmental Management  
DEC 07 2021  
Office of Water Resources

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS  
AS SPECIFIED IN THE LETTER OF APPROVAL  
DATED JAN 27 2022 FILE # 21-0243  
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APPROVED PLANS MUST BE AT CONSTRUCTION SITE

*Donald L. Freeman*

APPROVED BY THE CITY OF EAST PROVIDENCE DPR COMMITTEE

FIRE CHIEF	DATE
PLANNING DIRECTOR	DATE
DIRECTOR OF PUBLIC WORKS	DATE



NOTE: THIS PLAN MUST BE REPRODUCED IN COLOR

**DiPrete Engineering**  
Two Stafford Court Cranston, RI 02920  
tel 401-943-1000 fax 401-464-6006 www.diprete-eng.com

Boston • Providence • Newport

LEONARD R. BRADEAU  
No. 6610  
REGISTERED PROFESSIONAL ENGINEER CIVIL

THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION UNLESS APPROVED BY THE CITY OF EAST PROVIDENCE AND SIGNED BY A REGISTERED PROFESSIONAL ENGINEER OF RHODE ISLAND.

ENGINEERING DESIGN ONLY WARRANTS PLANS ON A DIPRETE ENGINEERING TITLE BLOCK, STAMPED BY REGISTERED PROFESSIONAL ENGINEERS DOES NOT WARRANT PLANS BY ANY OTHER PARTY. CONTRACTOR IS RESPONSIBLE FOR ALL OF THE MEASUREMENTS, METHODS, SAFETY, AND THE IMPLEMENTATION OF THIS PLAN AND DESIGN.

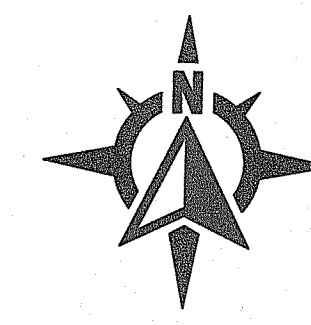
EXISTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE FOR DESIGN PURPOSES. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGES INCURRED DUE TO LOCATIONS OF EXISTING UTILITIES.

NO.	DATE	DESCRIPTION	BY:	DESIGN BY:
0	08-27-20	PRELIMINARY SET	R.S.S.	R.S.S.
1	08-27-20	DESCRIPTION	R.S.S.	R.S.S.

**SOIL EROSION AND SEDIMENT CONTROL PLAN**

854 TAUNTON AVENUE  
MAP 505 BLOCK 5 PARCELS 5 & 7  
EAST PROVIDENCE, RHODE ISLAND 02914

PREPARED FOR:  
**G3 PROPERTIES, LLC**  
1300 PONTIAC AVENUE, CRANSTON, RHODE ISLAND 02920



**DIMENSIONAL REGULATIONS:**

CURRENT ZONING:	C-5 REQUIRED	PROVIDED	COMPLIES
MINIMUM LOT AREA:	10,000 SF	58,765 SF	YES
MINIMUM FRONTAGE AND LOT WIDTH:	100'	271'	YES
MINIMUM FRONT AND CORNER SIDE YARD:	10'/10'	38.6'/129.1'	YES
MINIMUM SIDE YARD:	10'	4.6.2'	YES
MINIMUM REAR YARD:	15'	30'	YES
MAXIMUM STRUCTURE HEIGHT:	30'	10.1%	YES
MAXIMUM BUILDING COVERAGE:	50%	10.1%	YES
MAXIMUM IMPERMEABLE SURFACE COVERAGE:	70%	69.7%	YES

**PARKING REGULATIONS:**

PARKING USE:	RETAIL AND SERVICE BUSINESS
PARKING REQUIREMENT:	5 SPACES PER 1,000 SF (GFA)
PARKING USE:	OFFICE USE
PARKING REQUIREMENT:	5 SPACES PER 1,000 SF (GFA)
OFFICE SQUARE FOOTAGE (GFA):	450 SF
SERVICE BUSINESS SQUARE FOOTAGE (GFA):	5,894 SF
TOTAL SQUARE FOOTAGE (GFA):	6,344 SF
REQUIRED PARKING CALCULATIONS:	6,344 X 5/1000 = 32 SPACES
PARKING SPACES PROVIDED (9'x18'):	8 SPACES
PARKING SPACES PROVIDED (12'x18'):	24 SPACES
TOTAL PARKING SPACES PROVIDED:	32 SPACES
ADA PARKING REQUIREMENT:	2 SPACES
ADA PARKING INCLUDED IN TOTAL SPACES:	2 SPACES

RI Environmental Management

DEC 07 2021

Office of Water Resources

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS  
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*William L. Freeman*

APPROVED BY THE CITY OF EAST PROVIDENCE DPR COMMITTEE

FIRE CHIEF	DATE
PLANNING DIRECTOR	DATE
DIRECTOR OF PUBLIC WORKS	DATE

THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS IT IS APPROVED BY THE CITY OF EAST PROVIDENCE AND STAMPED BY A REGISTERED PROFESSIONAL ENGINEER OF APPLICABLE ENGINEERING.

ENGINEERING WORKING ONLY: WARRIORS PLANS OR A DIFFERENT PROFESSIONAL ENGINEER OF APPLICABLE ENGINEERING, OR THE CONTRACTOR, SHALL BE RESPONSIBLE FOR ANY OTHER PARTY'S METHOD, SAFETY, PRECAUTIONS AND REQUIREMENTS AND DESIGN. EXISTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE. CONTRACTOR SHALL VERIFY ALL UTILITIES AND ASSUME RESPONSIBILITY FOR DAMAGES TO EXISTING UTILITIES.

NO.	DATE	DESCRIPTION	DESIGN BY: R.S.S.
1	08/27/21	CITY OF EAST PROVIDENCE SET	R.S.S.
2	08/27/21	PERMITTING SUBMISSION SET	R.S.S.

**SITE LAYOUT PLAN**  
854 TAUNTON AVENUE  
MAP 505 BLOCK 5 PARCELS 5, 6, & 7  
EAST PROVIDENCE, RHODE ISLAND 02914

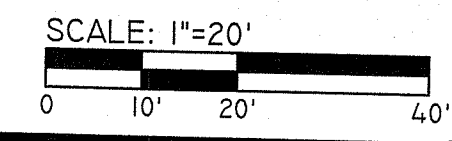
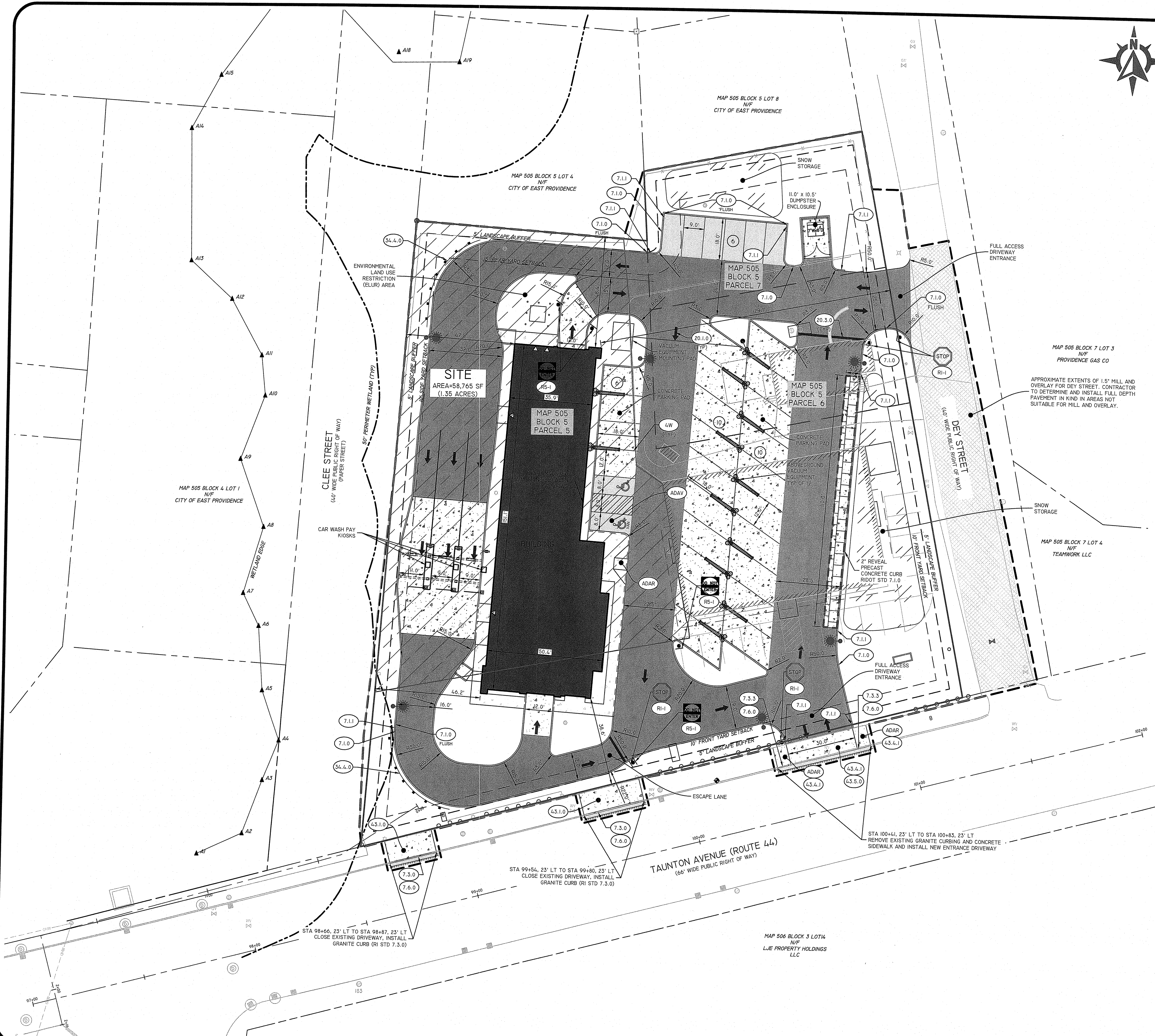
PREPARED FOR:  
G3 PROPERTIES, LLC  
1300 PONTIAC AVENUE, CRANSTON, RHODE ISLAND 02920

DE 308 REG. 2938-201. COPYRIGHT 2021 BY DIPRETE ENGINEERING ASSOCIATES, INC.

**DiPrete Engineering**  
Two Stafford Court Cranston, RI 02920  
tel 401-943-1000 fax 401-464-6006 www.diprete-eng.com

Boston • Providence • Newport

LEONARD R. BRADLEY  
No. 6610  
REGISTERED PROFESSIONAL ENGINEER CIVIL  
1/18/20



Z:\G3\PROJECTS\2021-001 TAUNTON AVENUE 854\AUTOCAD DRAWINGS\2021-001-PLANS\DWG\_PLOTTER: 11/18/2021, 4



**DiPrete Engineering**

Two Stafford Court, Cranston, RI 02920  
tel 401-943-1000 fax 401-464-6006 www.diprete-eng.com

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RI Environmental Management  
DEC 07 2021  
Office of Water Resources

LEONARD R. BRADLEY  
No. 6610  
REGISTERED PROFESSIONAL ENGINEER  
CIVIL

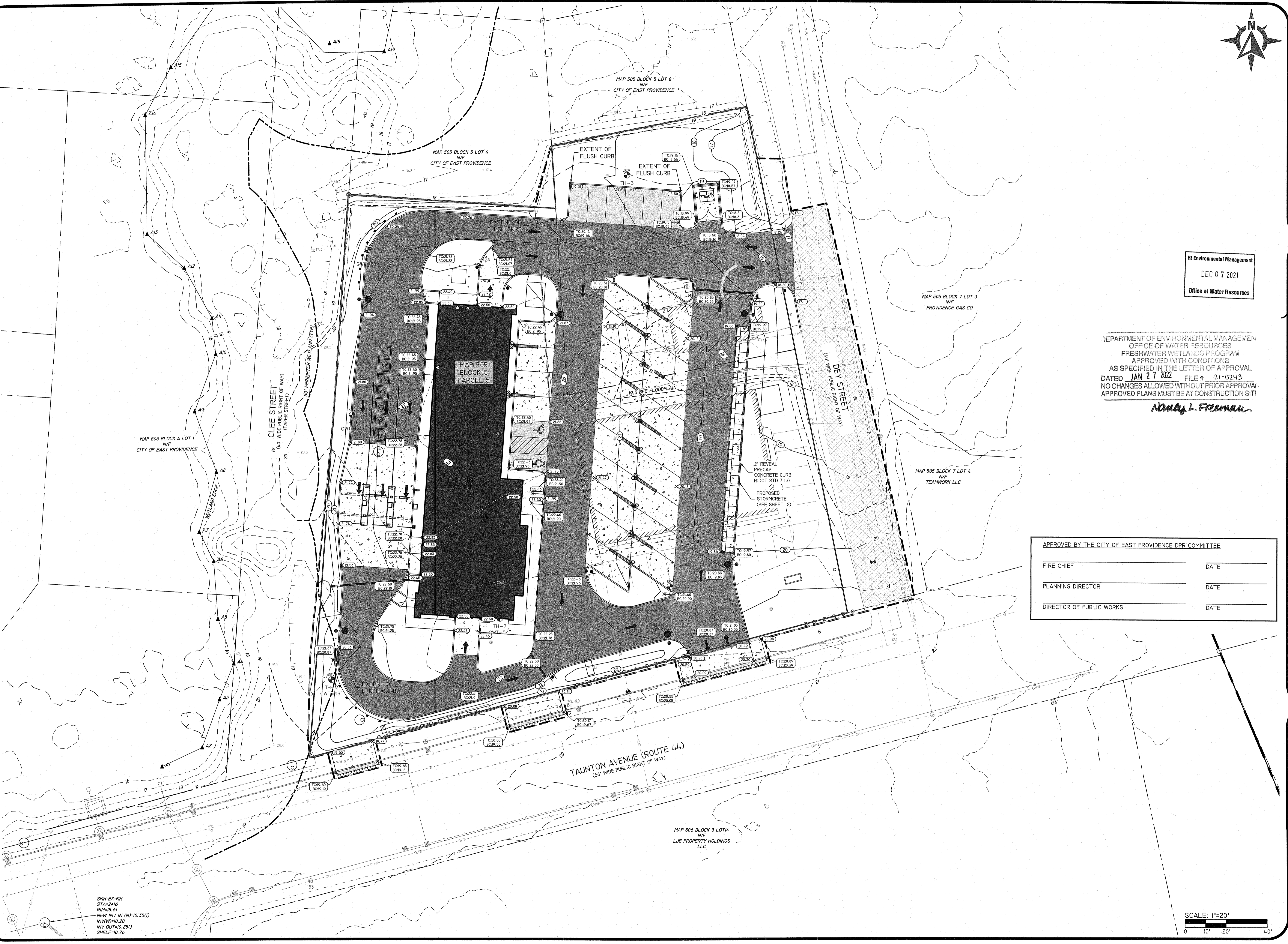
DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
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APPROVED PLANS MUST BE AT CONSTRUCTION SITE  
*Nancy L. Freeman*

APPROVED BY THE CITY OF EAST PROVIDENCE DPR COMMITTEE	
FIRE CHIEF _____	DATE _____
PLANNING DIRECTOR _____	DATE _____
DIRECTOR OF PUBLIC WORKS _____	DATE _____

THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS IT IS STAMPED BY A REGISTERED PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING.  
DIPRETE ENGINEERING ONLY WARRANTS PLANS ON A DIPRETE PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING. DIPRETE ENGINEERING DOES NOT WARRANT PLANS BY ANY OTHER PARTY. ENGINEERING, SAFETY, PRECAUTIONS AND REQUIREMENTS AND DESIGN. THE USER ASSUMES ALL LIABILITY FOR THE IMPLEMENTATION OF THIS PLAN AND DESIGN.  
EXISTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE ONLY. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED DUE TO LOCATIONS OF EXISTING UTILITIES.

CITY & RIDER RESUBMISSION SET	R.S.S.	DESIGN BY:
0	02-27-21	R.S.S.
1	02-27-21	BY:
2	02-27-21	DESIGN BY: R.S.S.
3	02-27-21	BY:
4	02-27-21	DESIGN BY: R.S.S.
5	02-27-21	BY:
6	02-27-21	DESIGN BY: R.S.S.
7	02-27-21	BY:
8	02-27-21	DESIGN BY: R.S.S.
9	02-27-21	BY:

**GRADING PLAN**  
854 TAUNTON AVENUE  
MAP 505 BLOCK 5 PARCELS 5, 6, & 7  
EAST PROVIDENCE, RHODE ISLAND 02914  
PREPARED FOR:  
G3 PROPERTIES, LLC  
1300 PONTIAC AVENUE, CRANSTON, RHODE ISLAND 02920



SMH-EK-MH  
STA=2+16  
RIM=18.61  
NEW INV IN (N)=10.35(1)  
INV(W)=10.20  
INV OUT=10.25(0)  
SHELF=10.76

SCALE: 1"=20'  
0 10' 20' 40'



**PLAN REFERENCE NOTE:**

- UTILITY AND DRAINAGE INFORMATION SHOWN ON THIS PLAN IS BASED ON THE RI DOT DESIGN PLANS IMPROVEMENTS TO TAUNTON AVE (U.S. ROUTE 44), PREPARED BY GREEN INTERNATIONAL AFFILIATES, INC., DATED SEPTEMBER 9, 2019.

**UTILITY NOTES:**

- A SEQUENCE OF CONSTRUCTION SHALL BE SUBMITTED TO THE EAST PROVIDENCE WATER UTILITIES DIVISION FOR REVIEW 72 HOURS IN ADVANCE OF CONSTRUCTION (EXCLUDING WEEKENDS & HOLIDAYS)
- THE EAST PROVIDENCE WATER UTILITIES DIVISION SHALL BE NOTIFIED 48 HOURS IN ADVANCE OF ANY WATER WORK. WATER WORK NOT WITNESSED/INSPECTED BY THE EAST PROVIDENCE WATER UTILITIES DIVISION IS SUBJECT TO REINSTALLATION.
- ALL WATER SERVICE LINE PIPING SHALL BE TYPE K COPPER TUBING.
- Y-STRAINERS ARE TO BE INSTALLED JUST UPSTREAM OF THE BACKFLOW ASSEMBLY AND JUST AFTER THE WATER METER.

RI Environmental Management  
DEC 07 2021  
Office of Water Resources

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS  
AS SPECIFIED IN THE LETTER OF APPROVAL  
DATED JAN 27 2022 FILE # 21-0243  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

*Nancy L. Freeman*

APPROVED BY THE CITY OF EAST PROVIDENCE DPR COMMITTEE

FIRE CHIEF	DATE
PLANNING DIRECTOR	DATE
DIRECTOR OF PUBLIC WORKS	DATE

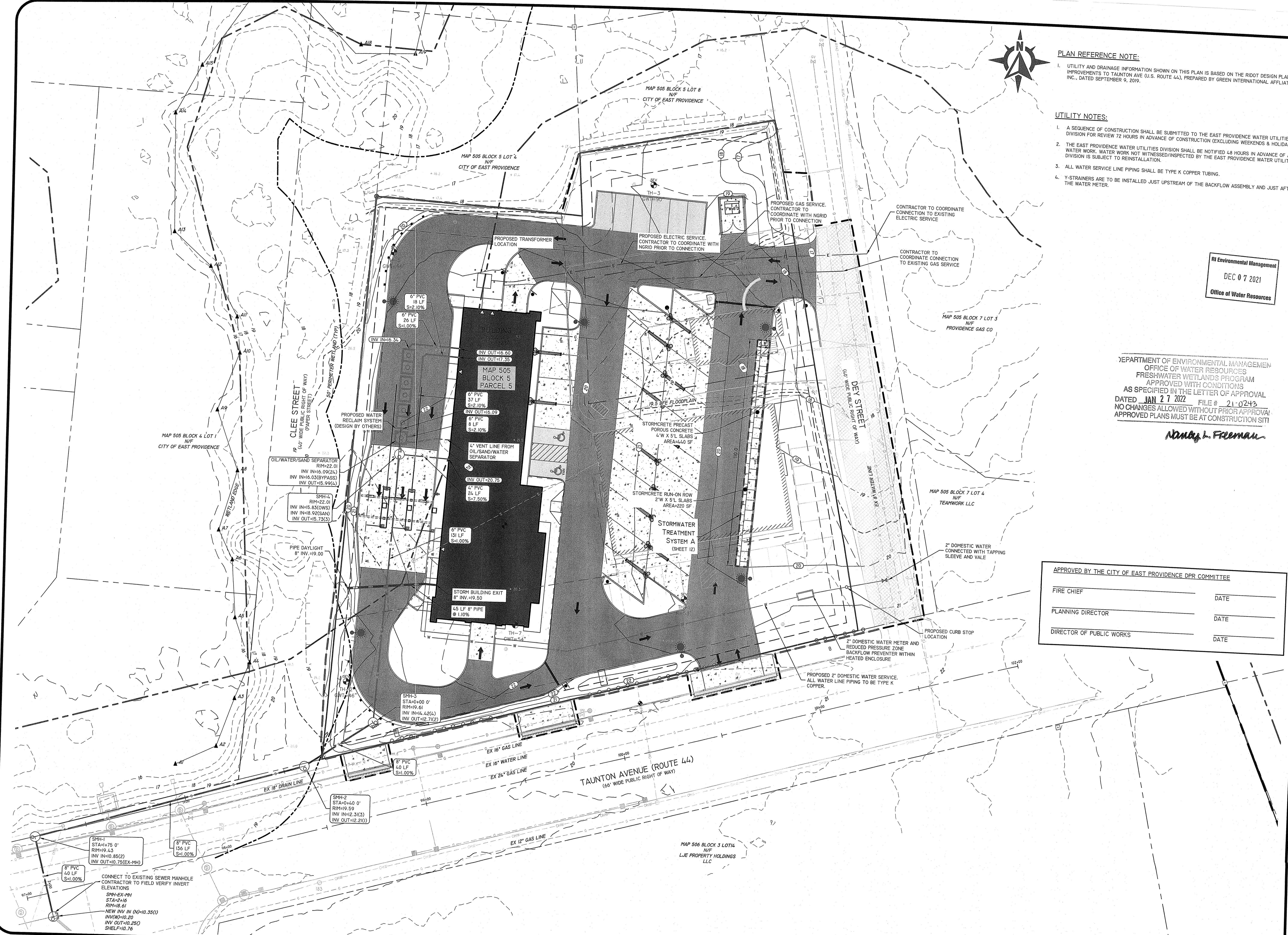
NO.	DATE	DESCRIPTION	DESIGN BY: R.S.S.
1	08-27-21	CITY & BUREAU SUBMISSION SET	
2	08-27-21	PERMITTING SUBMISSION SET	

**DRAINAGE AND UTILITY PLAN**  
854 TAUNTON AVENUE  
MAP 505 BLOCK 5 PARCELS 5, 6, 7  
EAST PROVIDENCE, RHODE ISLAND 02914  
PREPARED FOR:  
G3 PROPERTIES, LLC  
1300 PONTIAC AVENUE, CRANSTON, RHODE ISLAND 02920

**DiPrete Engineering**  
Two Stafford Court, Cranston, RI 02920  
Tel: 401-543-1000 Fax: 401-454-6006 www.diprete-eng.com

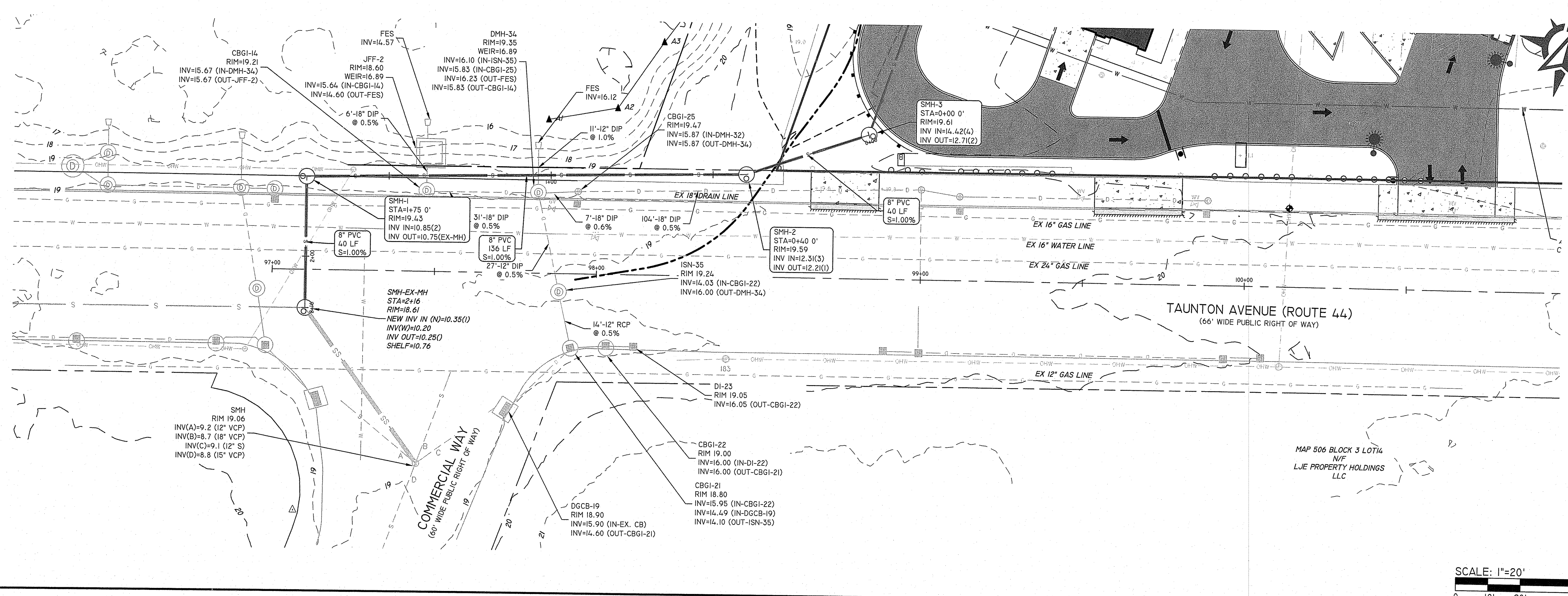
LEONARD R. BRADLEY, JR.  
No. 6610  
REGISTERED PROFESSIONAL ENGINEER  
CIVIL

THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION UNLESS IT IS APPROVED BY THE CITY OF EAST PROVIDENCE AND STAMPED BY A REGISTERED PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING.  
DIPRETE ENGINEERING ONLY WARRANTS PLANS ON A DIPRETE ENGINEERING PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL INFORMATION PROVIDED TO DIPRETE ENGINEERING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF EAST PROVIDENCE AND THE STATE OF RHODE ISLAND. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF EAST PROVIDENCE AND THE STATE OF RHODE ISLAND. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF EAST PROVIDENCE AND THE STATE OF RHODE ISLAND.

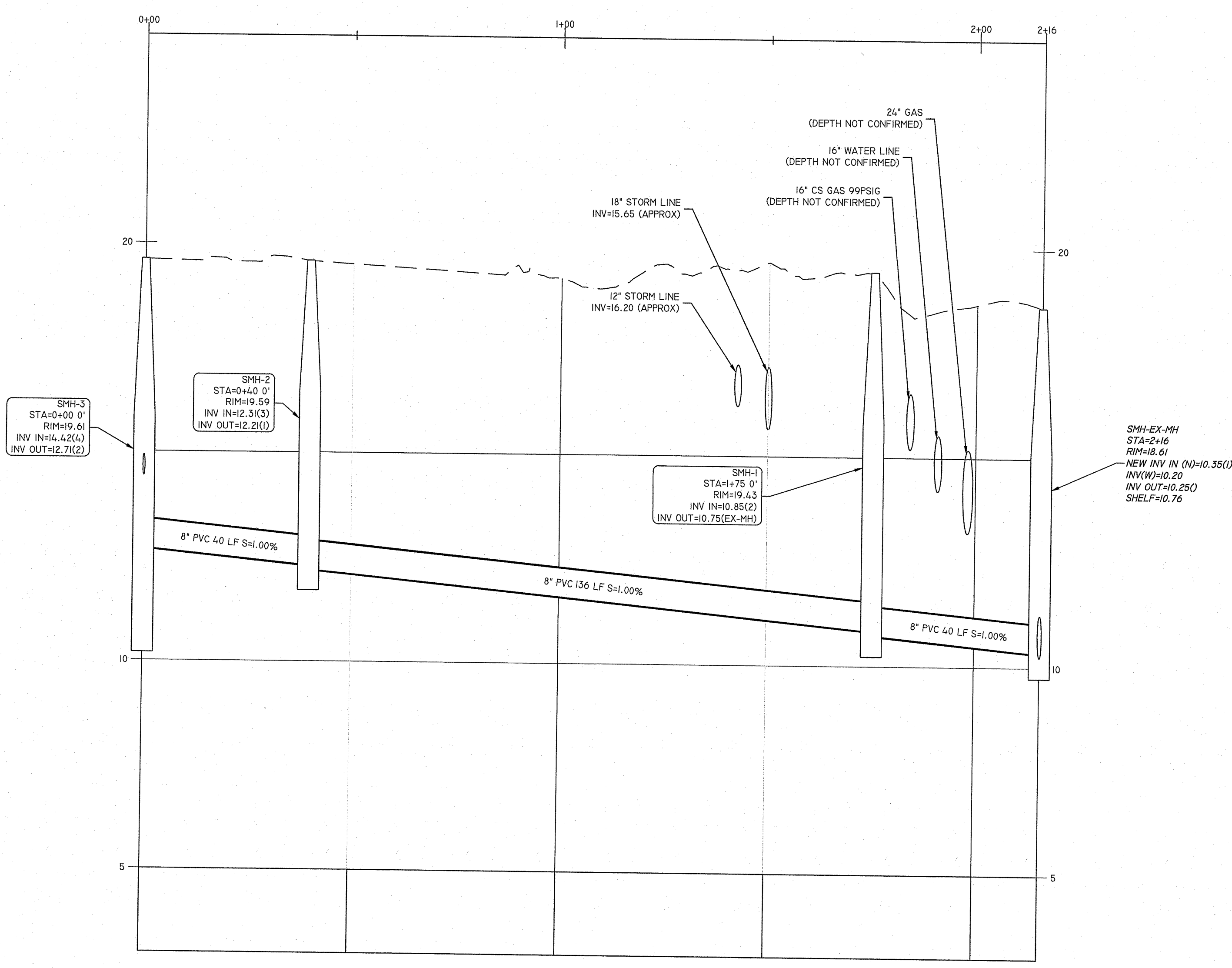


SCALE: 1"=20'

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SCALE: 1"=20'



Sta. 0+00 To 2+16

RI Environmental Management  
DEC 07 2021  
Office of Water Resources

APPROVED BY THE CITY OF EAST PROVIDENCE DPR COMMITTEE

FIRE CHIEF	DATE
PLANNING DIRECTOR	DATE
DIRECTOR OF PUBLIC WORKS	DATE

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS  
AS SPECIFIED IN THE LETTER OF APPROVAL  
DATED JAN 27 2022 FILE # 21-0243  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

*Nancy L. Freeman*

VERTICAL: 0 1' 2' 4'  
HORIZONTAL: 0 10' 20' 40'

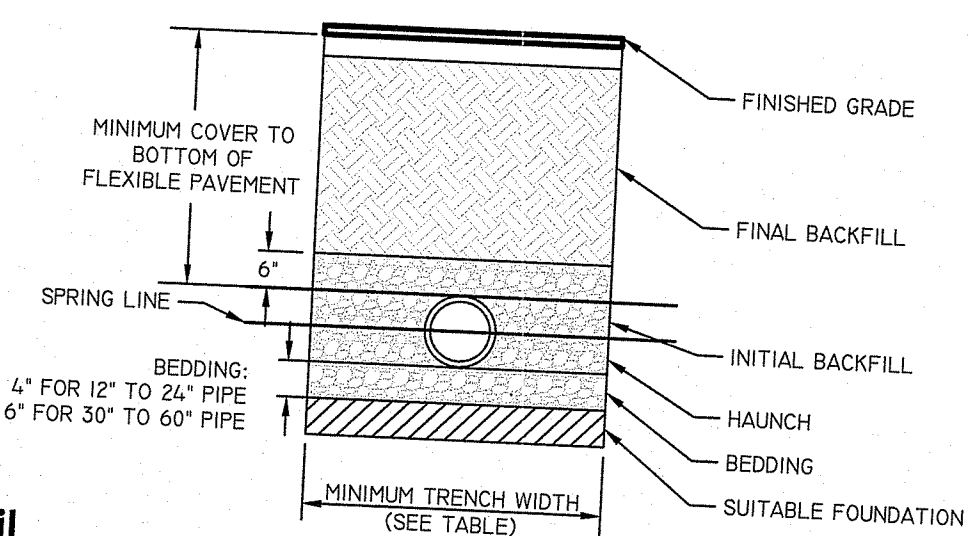
SANITARY EXTENSION PLAN  
854 TAUNTON AVENUE  
MAP 506 BLOCK 3 PARCELS 5, 6, 8, 9  
EAST PROVIDENCE, RHODE ISLAND 02914  
PREPARED FOR:  
G3 PROPERTIES, LLC  
1300 PONTIAC AVENUE, CRANSTON, RHODE ISLAND 02920

Z:\DIPRETE\PROJECTS\2020-001 TAUNTON AVENUE 854\AUTOCAD DRAWINGS\2020-001-PLAN-DWG.PLW PLOTTER: 11/19/2021 1



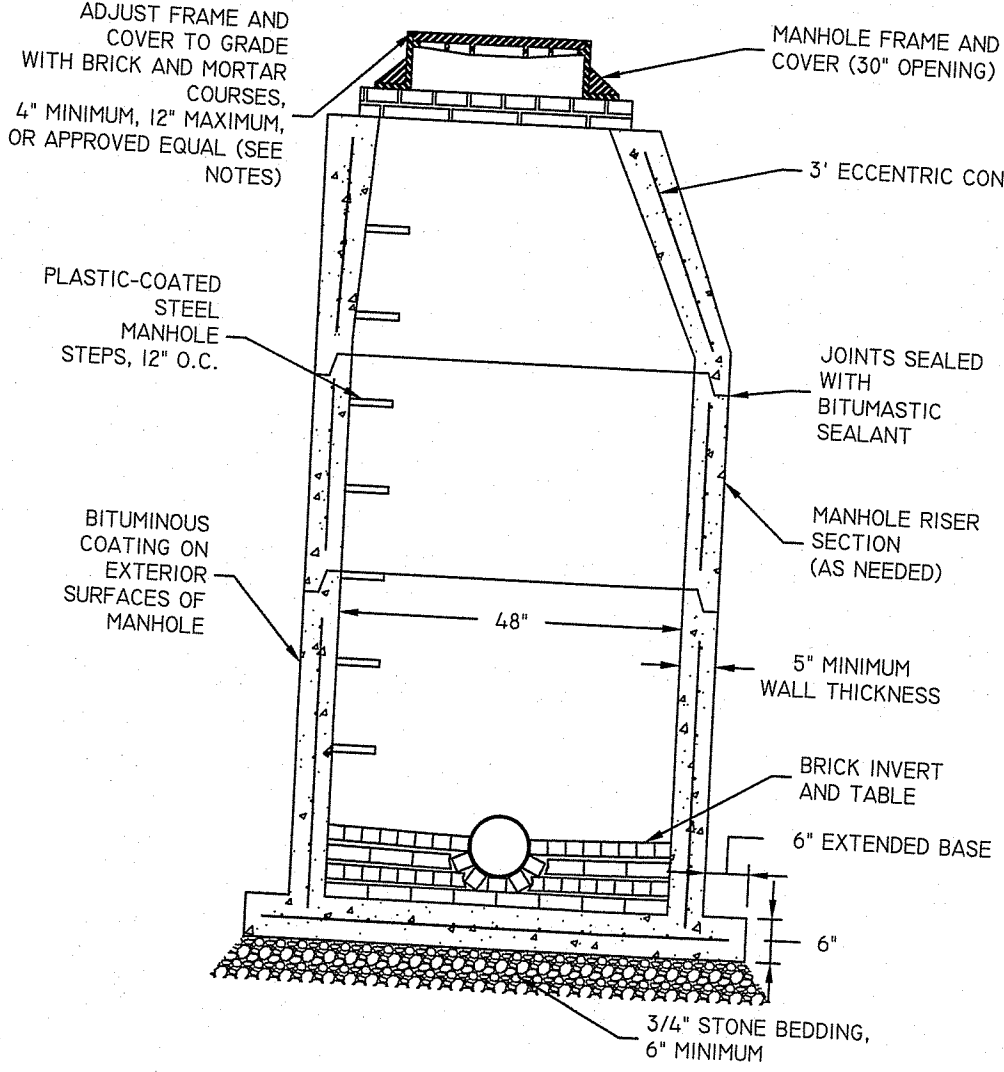
- INSTALLATION NOTES:**
- ALL PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS, LATEST EDITION.
  - MEASURES SHOULD BE TAKEN TO PREVENT MIGRATION OF NATIVE FINES INTO BACKFILL MATERIAL, WHEN REQUIRED.
  - FOUNDATION: WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE ENGINEER. AN ALTERNATIVE AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL.
  - BEDDING: SUITABLE MATERIAL SHALL BE CLASS I, II OR III. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER, UNLESS OTHERWISE NOTED BY THE ENGINEER. MINIMUM BEDDING THICKNESS SHALL BE 4" (100MM) FOR 4"-24" (100MM-600MM); 6" (150MM) FOR 30"-60" (750MM-900MM).
  - INITIAL BACKFILL: SUITABLE MATERIAL SHALL BE CLASS I, II OR III IN THE PIPE ZONE EXTENDING NOT LESS THAN 6' ABOVE CROWN OF PIPE. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. MATERIAL SHALL BE INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION.
  - MINIMUM COVER: MINIMUM COVER, H, IN NON-TRAFFIC APPLICATIONS (GRASS OR LANDSCAPE AREAS) IS 12" FROM THE TOP OF PIPE TO GROUND SURFACE. ADDITIONAL COVER MAY BE REQUIRED TO PREVENT FLOTATION. FOR TRAFFIC APPLICATIONS, MINIMUM COVER, H, IS 12" UP TO 48" PIPE AND 24" OF COVER FOR 60" PIPE, MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT.

PIPE Ø	MIN. TRENCH WIDTH	PIPE Ø	MIN. TRENCH WIDTH
4"	21"	24"	48"
6"	23"	30"	56"
8"	26"	36"	64"
10"	28"	42"	72"
12"	30"	48"	80"
15"	34"	60"	96"

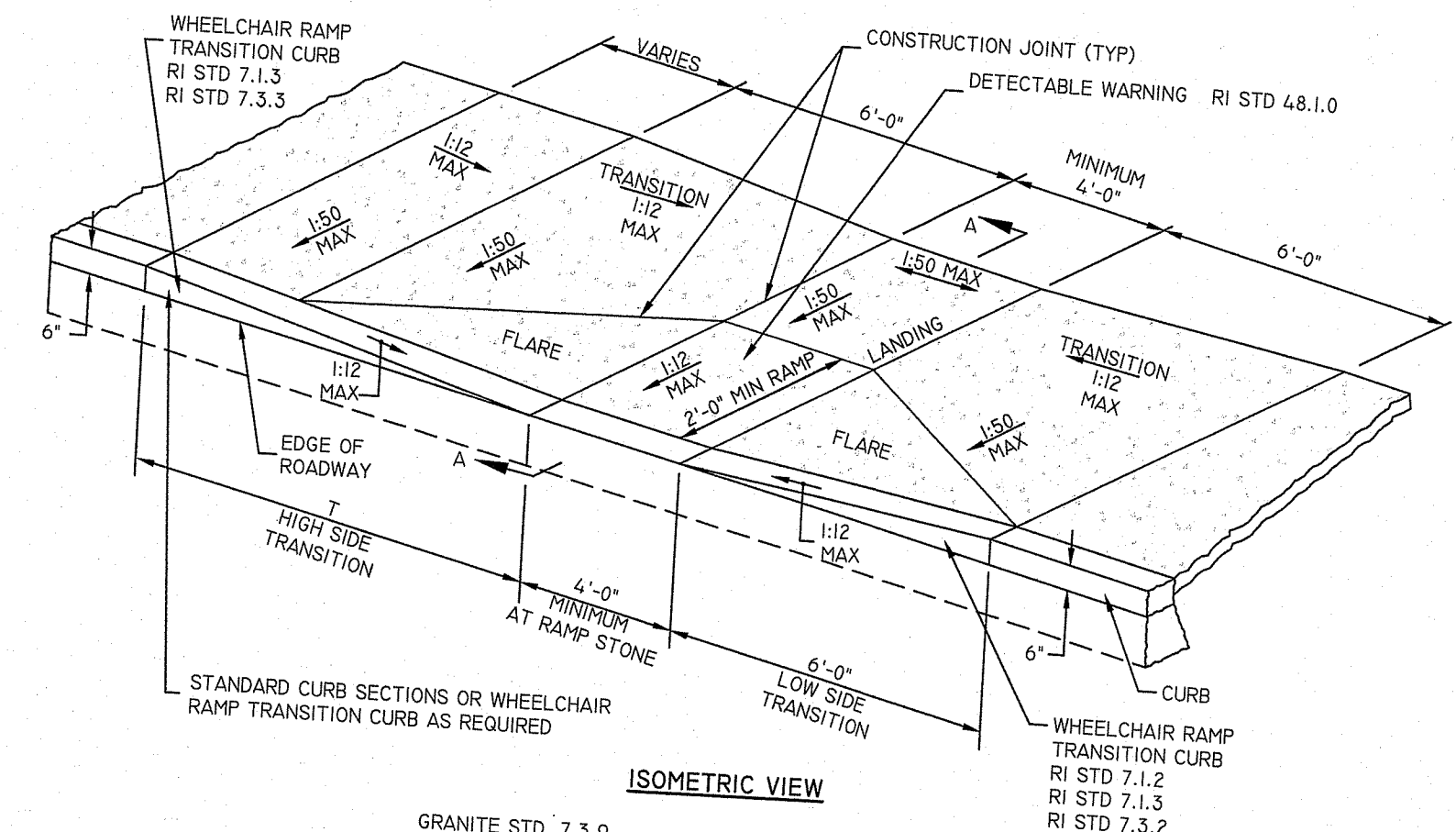


**HDPE Trench Detail**  
NOT TO SCALE

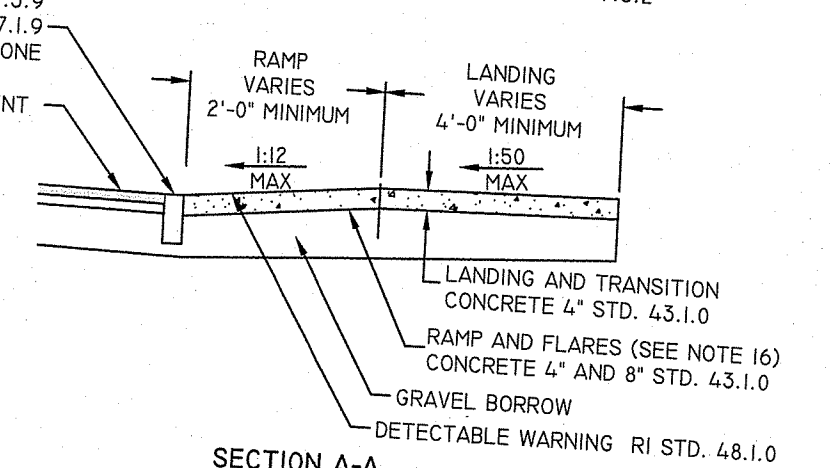
- NOTES:**
- MANHOLE SHALL BE MANUFACTURED IN ACCORDANCE WITH ASTM-C478.
  - INVERT AND TABLE SHALL CONSIST ENTIRELY OF BRICK AND MORTAR. NO SAND FILLER SHALL BE ALLOWED.
  - MANHOLES SHALL BE VACUUM TESTED PRIOR TO ACCEPTANCE, IN ACCORDANCE WITH THE SEWER AUTHORITY SANITARY RULES AND REGULATIONS. UNDER NO CIRCUMSTANCES WILL EXFILTRATION TESTING BE ACCEPTED.
  - BOLTED AND GASKETED COVERS SHALL BE USED ON MANHOLES IN OFF-ROAD AREAS.
  - TAPPING OF MANHOLES MUST BE AUTHORIZED AND INSPECTED BY THE SEWER AUTHORITY. THE ONLY APPROVED METHOD FOR TAPPING MANHOLES SHALL BE BY CORE-DRILLING THE MANHOLE AND INSTALLING A "KOR-N-SEAL" BOOT.
  - PRECAST CONCRETE GRADE RINGS, HDPE GRADE RINGS, OR OTHER RIM ADJUSTMENT PRODUCTS MAY BE USED IN LIEU OF BRICK AND MORTAR WITH THE PERMISSION OF THE SEWER AUTHORITY.



**SEWER MANHOLE**  
NOT TO SCALE



ROADWAY PROFILE GRADE	T (FT.)
0.00	7.5
0.01	9.0
0.02	11.0
0.03	13.5
0.04	19.0
0.05	30.0



**SECTION A-A**

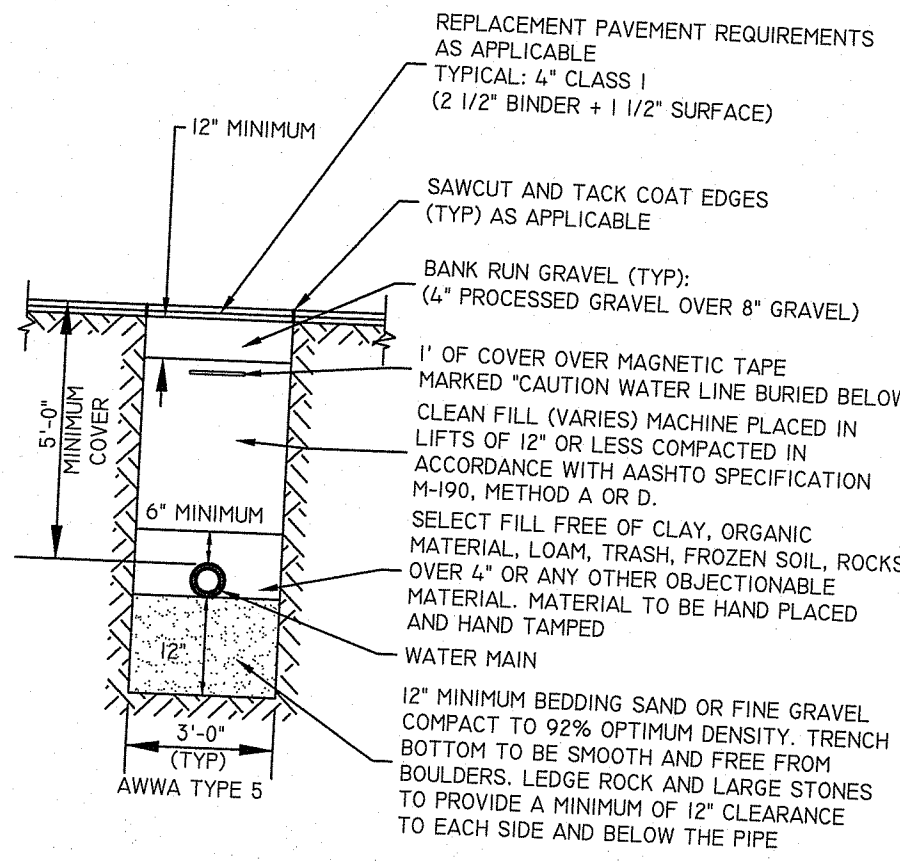
- NOTES:**
- SHALL BE IN ACCORDANCE WITH SECTION 905 OF THE R.I. STANDARD SPECIFICATIONS.
  - WHEN ANY OBSTRUCTION LOCATED IN THE SIDEWALK FALLS WITHIN A CROSSWALK AREA, THE WHEELCHAIR RAMP WILL BE PLACED SUCH THAT THE OBSTRUCTION FALLS OUTSIDE OF THE RAMP.
  - AT NO TIME IS ANY PART OF THE WHEELCHAIR RAMP TO BE LOCATED OUTSIDE OF THE CROSSWALK, AND IT IS TO BE CENTERED WHENEVER POSSIBLE.
  - DRAINAGE FACILITIES ARE TO BE LOCATED UP-GRADE OF ALL WHEELCHAIR RAMPS.
  - IN NO INSTANCE SHALL THE SIDEWALK CROSS SLOPE EXCEED 1:50 EXCEPT WITHIN THE RAMP AREA.
  - AN UNOBSTRUCTED PATH OF TRAVEL WITH A MINIMUM WIDTH OF 4'-0" SHALL BE MAINTAINED.
  - THE WHEELCHAIR RAMP SLOPE AND SIDE SLOPES (TRANSITIONS), MUST NOT EXCEED 1:12. HOWEVER, THESE SLOPES MAY BE FLATTER THAN 1/2 WHEN WARRANTED BY SURROUNDING CONDITIONS.
  - WHERE THE ROAD PROFILE EXCEEDS 5% THE HIGH SIDE TRANSITION LENGTH (T) SHALL BE EIGHTEEN FEET (18'-0").
  - IN NO CASE, WHERE A STOP LINE IS WARRANTED, SHALL A RAMP BE PLACED BEHIND THE STOP LINE.
  - THE WHEELCHAIR RAMP SHALL BE FLUSH WITH THE ROADWAY.
  - MINIMUM LENGTH OF STRAIGHT OR CURVILINEAR FILLER PIECES TO BE 3'-0" (GREATER LENGTHS PREFERRED).
  - DETECTABLE CUTTING OF CURB PIECES TO BE PAID FOR UNDER COST OF CURB.
  - 8" CONCRETE DEPTH FOR RADIIUS WHEELCHAIR RAMPS ONLY. USE 4" DEPTH FOR TANGENT (MD-BLOCK) LOCATIONS.
  - MEETS OR EXCEEDS GUIDELINES OF RIDOT STANDARD DETAIL 433.0.

**WHEELCHAIR RAMP (ADA)**  
NOT TO SCALE

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
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APPROVED PLANS MUST BE AT CONSTRUCTION SITE

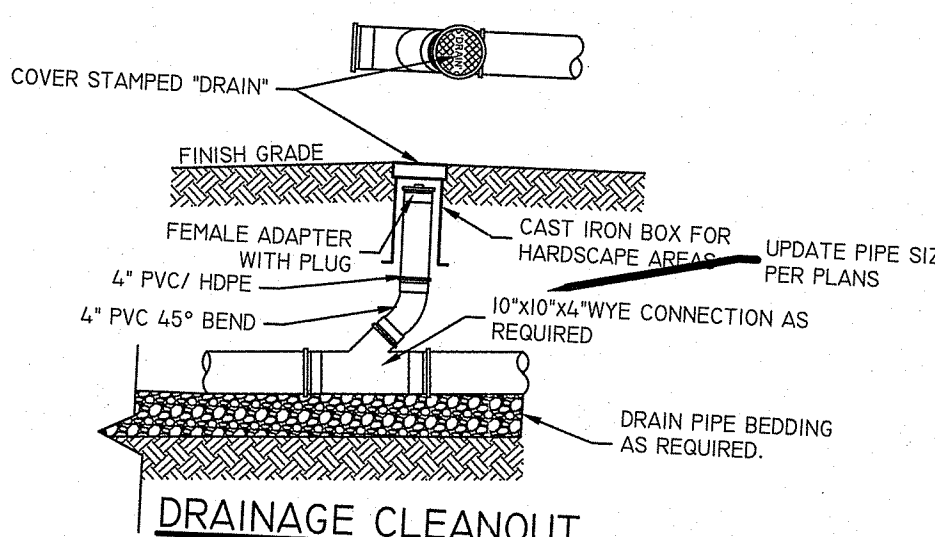
*Monica B. Freeman*

Ri Environmental Management  
DEC 07 2021  
Office of Water Resources

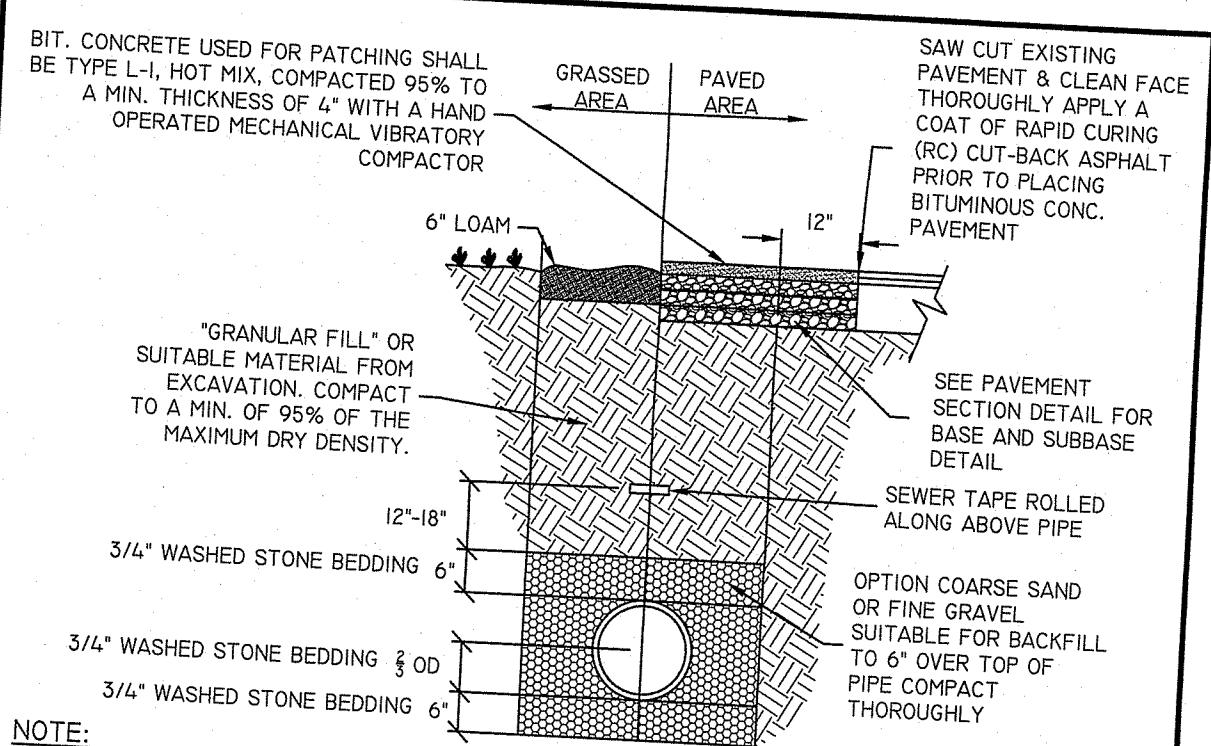


**WATER TRENCH DETAIL**  
NOT TO SCALE

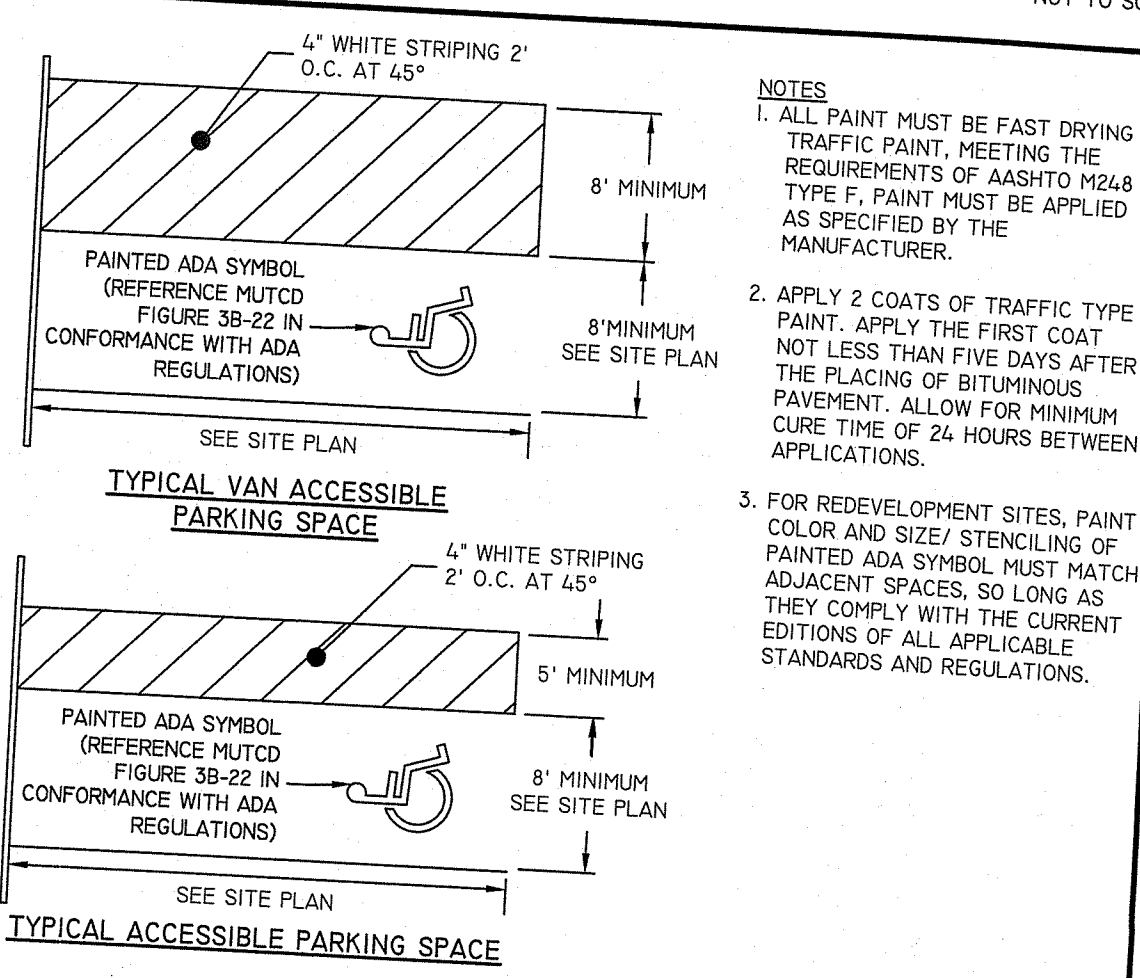
- NOTES:**
- ALL PIPE AND FITTINGS SHALL BE HDPE.
  - PIPE BEDDING AND BACKFILL FOR CLEANOUTS SHALL MEET APPLICABLE DRAINAGE SPECIFICATIONS UNLESS OTHERWISE NOTED BY ENGINEER.
  - SEE PLANS FOR DRAINAGE CLEANOUT LOCATIONS.
  - FOR PAVED/ROADWAY/HARDSCAPE AREAS, ALL CLEANOUTS SHALL BE SLEEVED WITH A CAST-IRON BOX SET FLUSH WITH THE FINAL GRADE. FOR TRAFFICABLE APPLICATIONS, THE CAST-IRON BOX MUST MEET H-20 LOADING. FOR SOFTSCAPE AREAS, CLEANOUT ACCESS COVER SHALL BE SET FLUSH WITH FINAL GRADE (CAST-IRON BOX NOT REQUIRED). ALL COVERS SHALL BE INSCRIBED WITH THE WORD "DRAIN".



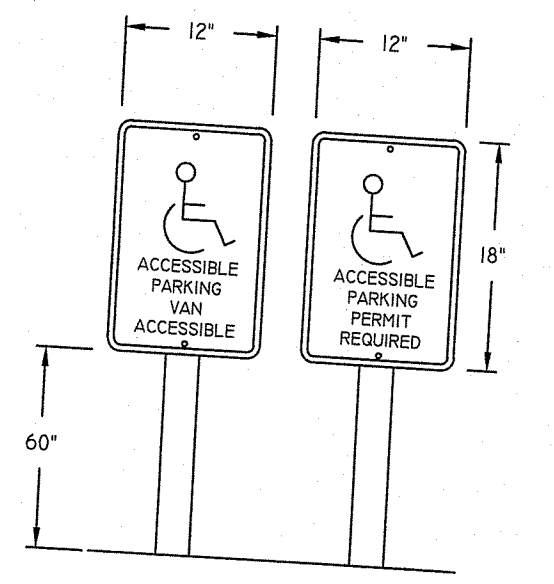
**DRAINAGE CLEANOUT**  
NOT TO SCALE



**Sewer Line Trench Detail**  
NOT TO SCALE

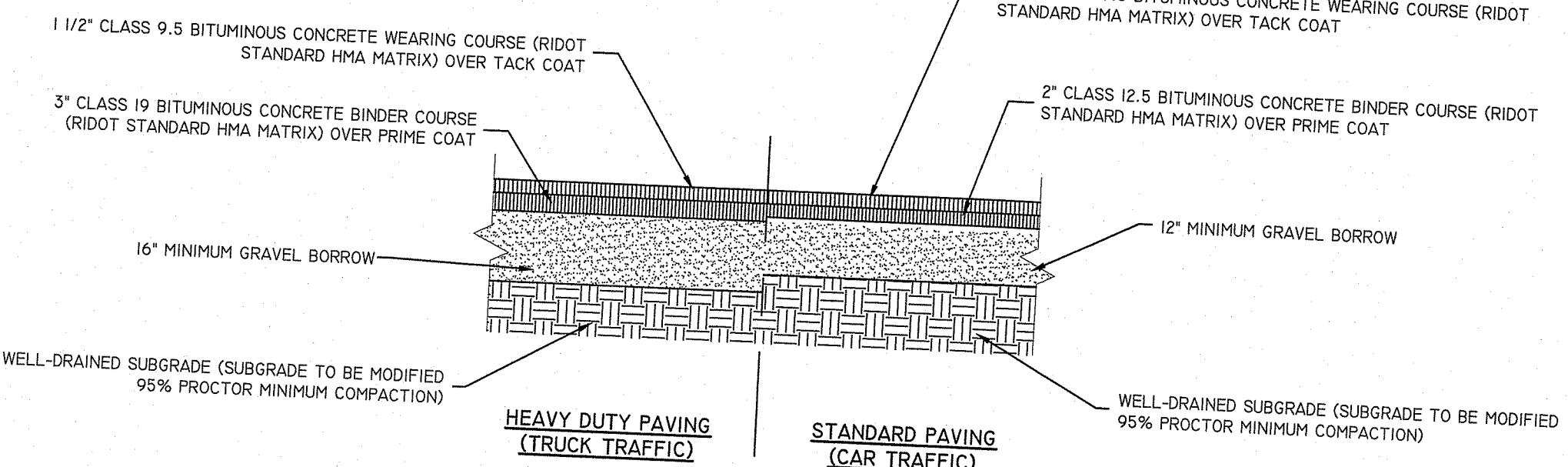


**TYPICAL ACCESSIBLE PARKING SPACES**  
NOT TO SCALE



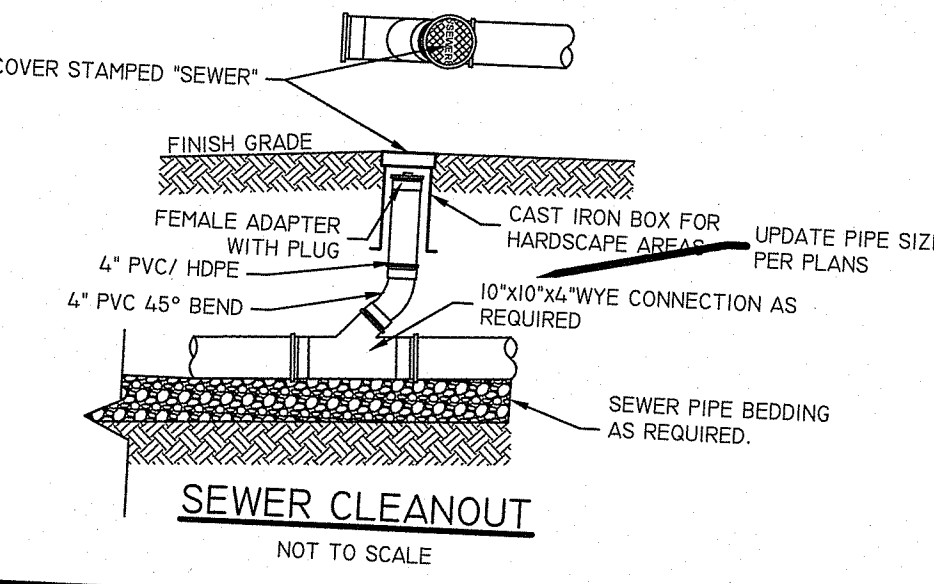
**TYPICAL ACCESSIBLE PARKING POST & SIGN**  
NOT TO SCALE

- NOTE:**  
THIS PAVEMENT SECTION DETAIL REFLECTS ASSUMED MINIMUM REQUIREMENTS WITHOUT GEOTECHNICAL EVALUATION. FINAL DESIGN TO BE BASED ON GEOTECHNICAL DATA OF SPECIFIC PROJECT AND DAILY TRAFFIC DESIGN REQUIREMENTS.



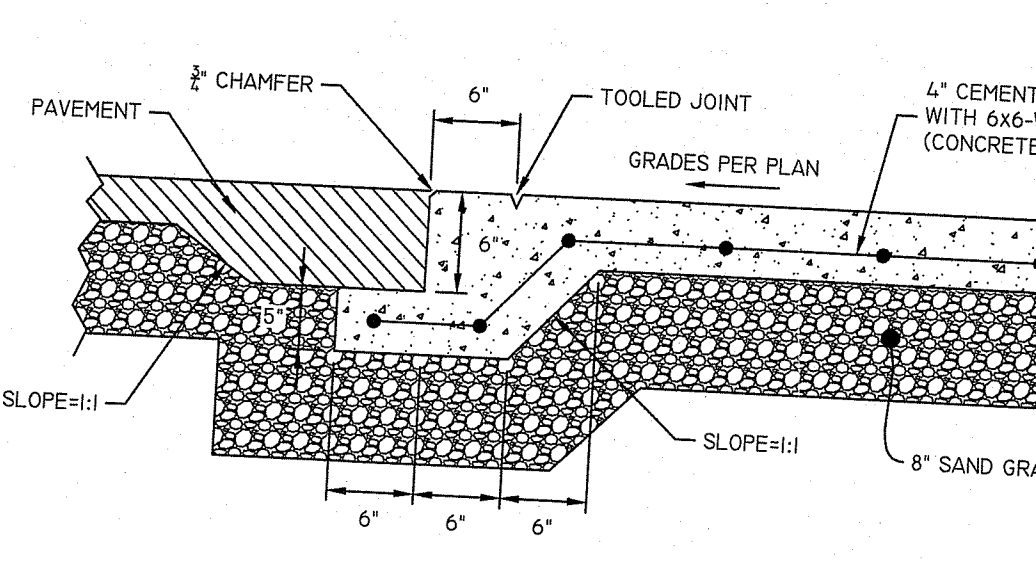
**TYPICAL PAVEMENT SECTION**  
NOT TO SCALE

- NOTES:**
- ALL PIPE AND FITTINGS SHALL BE GASKETED SDR-35.
  - PIPE BEDDING AND BACKFILL FOR CLEANOUTS SHALL MEET APPLICABLE SEWER SPECIFICATIONS UNLESS OTHERWISE NOTED BY ENGINEER.
  - FOR SEPTIC APPLICATIONS, CLEANOUTS ARE REQUIRED AT INTERVALS NOT GREATER THAN 75'. FOR ALL OTHER APPLICATIONS, A MINIMUM OF ONE CLEANOUT SHALL BE PLACED ON EACH LATERAL, 5' FROM THE STRUCTURE, AND FOR LONGER RUNS, CLEANOUTS SHALL BE LOCATED EVERY 100'.
  - FOR PAVED/ROADWAY/HARDSCAPE AREAS, ALL CLEANOUTS SHALL BE SLEEVED WITH A CAST-IRON BOX SET FLUSH WITH THE FINAL GRADE. FOR TRAFFICABLE APPLICATIONS, THE CAST-IRON BOX MUST MEET H-20 LOADING. FOR SOFTSCAPE AREAS, CLEANOUT ACCESS COVER SHALL BE SET FLUSH WITH FINAL GRADE (CAST-IRON BOX NOT REQUIRED). ALL COVERS SHALL BE INSCRIBED WITH THE WORD "SEWER".

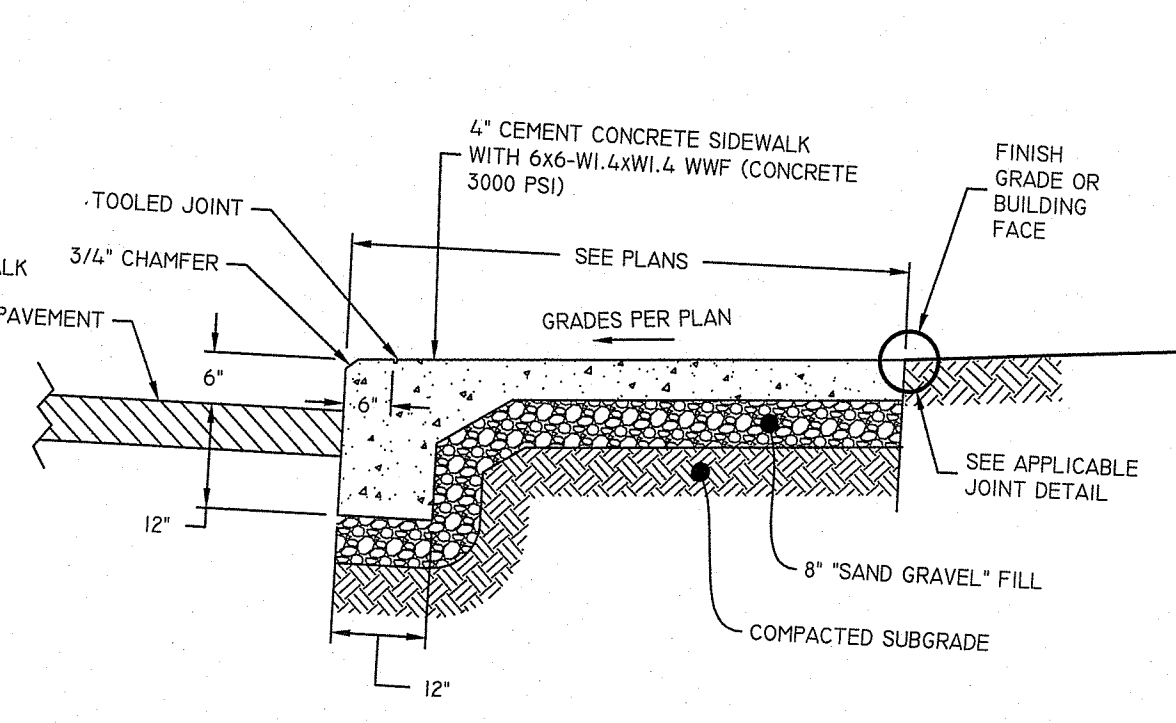


**SEWER CLEANOUT**  
NOT TO SCALE

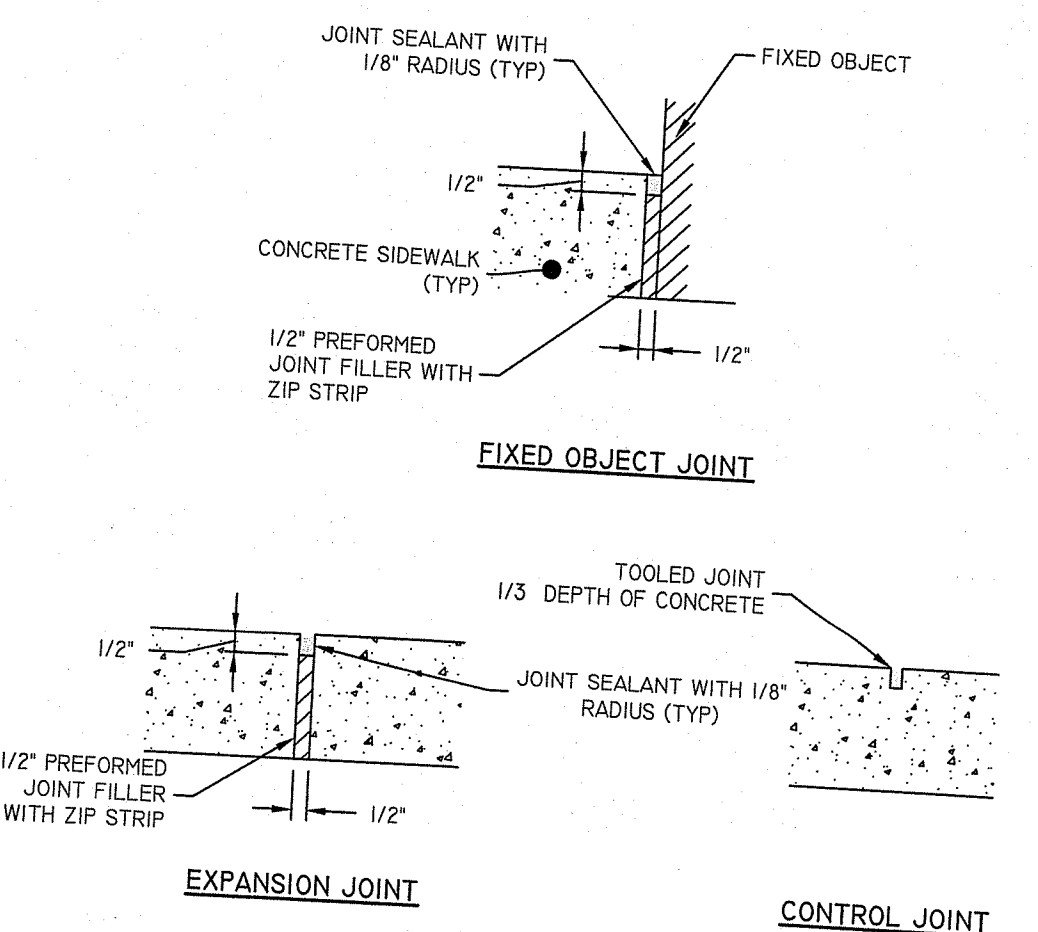
- NOTE:**
- SEE SITE PLAN FOR SIDEWALK WIDTH AND GRADES.
  - SURFACE TEXTURE SHALL BE A LIGHT BROOMING, TRANSVERSE TO THE LENGTH OF THE WALK. CARE MUST BE TAKEN TO ENSURE A UNIFORM GRADE, FREE OF SACS AND SHORT GRADE CHANGES.
  - ALL IMPROVEMENTS SHALL COMPLY WITH THE "AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG)" BY THE DEPARTMENT OF JUSTICE, CURRENT EDITION.
  - PROVIDE EXPANSION JOINTS AT MAX. 16 FT. O.C. WITH PREFORMED JOINT FILLER AND SEALANT.
  - MUST BE IN ACCORDANCE WITH THE R.I. STANDARD SPECIFICATIONS, CURRENT EDITION.



**SECTION MONOLITHIC CONCRETE SIDEWALK (FLUSH)**  
NOT TO SCALE



**SECTION MONOLITHIC CONCRETE SIDEWALK (6\"/>**



**EXPANSION JOINT**

**CONTROL JOINT**

APPROVED BY THE CITY OF EAST PROVIDENCE DPR COMMITTEE

FIRE CHIEF	DATE
PLANNING DIRECTOR	DATE
DIRECTOR OF PUBLIC WORKS	DATE

DETAIL SHEET - I

854 TAUNTON AVENUE  
MAP 505 BLOCK 5 PARCELS 3, 6, 7  
EAST PROVIDENCE, RHODE ISLAND 02914

G3 PROPERTIES, LLC  
1300 PONTIAC AVENUE, CRANSTON, RHODE ISLAND 02920

DESIGNED BY: R.S.S. DRAWN BY: R.S.S. CHECKED BY: R.S.S. DATE: 12/15/21

**Stormcrete® Modular Precast Porous Concrete Stormwater System**  
**Handling and Installation Manual**



**1. Recommended Equipment**

- In addition to the typical earthmoving, materials handling and grading equipment, the following hand tools should also be available:
- 2 or 4-way chains, cables or straps rated to lift the slabs - refer to Table 2 for the number of lifting points and the slab weights
  - Cordless impact wrench or ratchet wrench with 3/4" socket for installing and removing lifting swivel bolts
  - Lifting swivels supplied by manufacturer
  - Rakes and shovels for leveling screed stone
  - 1.25" minimum diameter screed rails
  - 2" x 4" or other material to use as a screed
  - Plastic plugs and slab spacers supplied by manufacturer.
  - Backpack blower to keep slabs surface clean during and after installation.
  - Diamond Bladed Masonry Cutoff Saw (6" cutting depth min. - typically requires a minimum 16" diameter blade - check saw specifications).

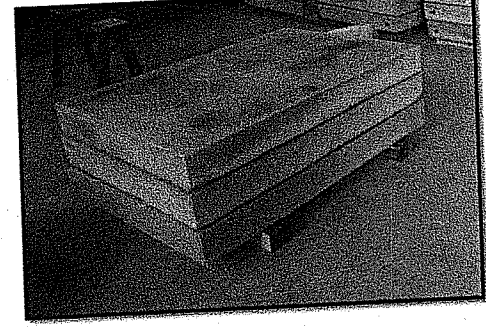
**2. Offloading and Storage**

- Prior to offloading a delivery truck the slabs on the truck shall be carefully inspected for any damage. Any observed damage shall be immediately reported to the delivery driver and the quantity and type of damage shall be noted on the delivery ticket.
- Offloading should be performed by a trained and experienced equipment operator. Due to the unique structural properties of porous concrete, extra care should be taken when handling the slabs.
- A forklift or similar equipment should be used when offloading Stormcrete® slabs. It is recommended that the equipment be fitted with forks. Chains, cables or slings should never be wrapped around slabs for offloading or installation.
- Slabs should be offloaded evenly from both sides of the truck to ensure that the trailer does not become unstable.
- Slabs delivered on pallets should be offloaded as shipped. Slabs delivered on damage must be picked from the highest level of damage. Never pick up slabs with more than one layer of damage. (Please see Table 1 for Stormcrete® slab sizes, shipping configurations and corresponding weights).

Slab Size	Number of slabs per pallet/stack	Approx. Slab Weight (lbs.)	Approx. Lift Weight (lbs.)
5' x 4' x 6"	3	645	385
5' x 2.5' x 6"	6	645	385

Table 1

- Stored slabs must be placed on a level or nearly level stable surface. In dusty environments slabs should be covered to prevent dust and debris from settling on slab surfaces.
- Allow approximately 1 s.f. of storage area for every 3 s.f. of Stormcrete® Slabs purchased.
- When stacking or restacking slabs 4" by 4" timbers should be placed parallel to one another and located directly beneath imbedded lifting points. Do not place timbers in the middle of the slabs or on the ends. Timbers should be at a minimum 1" thicker than the slab thickness. Place timbers between each double stack of slabs (see image below).
- Lower slabs evenly such that the slab comes into contact with both timbers simultaneously. To prevent edge damage, slabs should be set flat on timbers so that one edge does not contact timbers while opposite edge is supported by timber.



**3. Sub-Base Preparation**

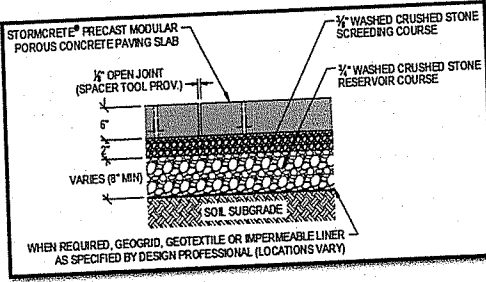
**Reservoir Layer Placement:**

Reservoir layer shall not be placed and/or compact in rain or snow, or on saturated or frozen subgrade.

In all cases reservoir stone shall be placed and compacted against rigid lateral boundaries, i.e., in situ, undisturbed native soils, fill materials compacted to 90% Standard Proctor density or concrete curb and headers. Compaction of reservoir stone against any flexible boundaries shall not be permitted.

Although the approved plans shall govern over installation details and specifications, the following instructions are provided by the manufacturer as minimum guidelines:

- Reservoir stone layer shall be constructed per approved drawings using 3/4" or AASHTO No. 57 crushed angular stone. The stone must be washed and free of fines.
- Compact reservoir storage layer in maximum 12" lifts, with a minimum of two complete coverages, one pass each in mutually perpendicular directions, with a 3 to 5 ton smooth, single or double drum roller operated in vibratory mode. Following vibratory compaction, repeat two complete coverage's, one pass each in mutually perpendicular directions, with the roller operated in static mode. Continue static rolling until there is no visible movement, weaving or deflection in the surface of the storage reservoir layer.
- For small areas inaccessible by large rollers follow the above directions using a walk-behind plate compactor. Repeat two complete coverages in each direction.
- The surface tolerance of the compacted storage reservoir layer shall be +/- 3/4" in. under a 10 ft. straightedge.
- Where specified on the design plans, place geotextile on prepared subgrade side slopes and extend a maximum of 1 foot under the bottom of the storage reservoir. Do not place geotextile under other areas of infiltrating system unless specified on the approved plans. Secure in place to prevent disturbance from vehicles and/or worker foot traffic.



**Screeding Layer Placement**

It is critical that the crushed stone leveling course surface be **SCREEDED flat** so that the slabs are fully supported with no bridging or mounding beneath. Crushed stone base shall not be placed and/or screeded in rain or snow, or on saturated or frozen subbase.

- Screeding layer shall be placed per approved drawings using 3/8" crushed angular stone or No. 8 Stone. The stone must be washed and free of fines.
- Place and spread the stone evenly over the reservoir course to a thickness of +/- 2". Level the surface of crushed stone (screeding is strongly recommended).

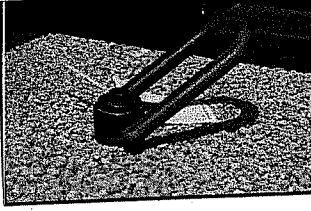


- Screed using a minimum 1.25" diameter rigid screed rail placed adjacent or below the slab location with the top of the rails set at the screeding level.

- Do not compact or disturb leveled screeding layer (if screed rails are placed in panel locations, carefully remove them to prevent disturbance to the leveling base layer).
- The uniformity of the leveling (base) layer determines the differential settlement between precast porous concrete paving slabs.
- The slab installation contractor should not correct deficiencies in the leveling layer by skimming with additional stone rather the slabs should be lifted out and the entire area should be re-leveled.

**4. Setting Stormcrete® Porous Concrete Slabs**

- Recommended Lifting Hardware**
- Slabs shall only be lifted and placed using supplied hoist ring swivels, 2 or 4-way chains, wire rope or nylon straps rated for the lift weight shall be used per the manufacturer's recommendations to lift slabs - do not exceed minimum recommended angle for lifting chains.



- Swivels shall be securely bolted snug to the slab. Check to ensure that the bolt extends the full depth of the lifting socket. To avoid damage to the surface do not over-tighten bolts. (An electric impact wrench with a 3/4" socket is the most efficient way to attach and remove the swivels).



Individual slabs should only be lifted by equipment that is rated for the slab weights shown in the adjacent table:

Slab Dimension (ft)	Max Slab Weight (lbs.)	Lifting Points
5' x 4' x 6"	1290	4
5' x 2.5' x 6"	645	2

Chains, cables or slings should never be wrapped around slabs for placement under any circumstances.

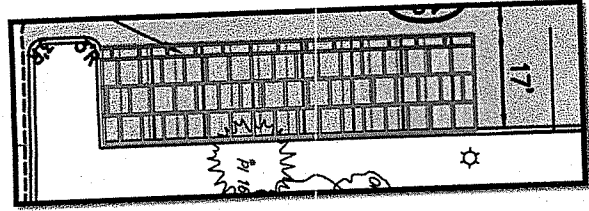
**Placing Slabs**

Precast porous concrete slabs shall not be placed in heavy rain or snow, or on saturated or frozen base.

Because the units are precast in a controlled environment, they are delivered to the site pre-cured which allows them to be parked or driven on immediately after placement. They may also be placed year-round, in almost any type of weather or temperature conditions.

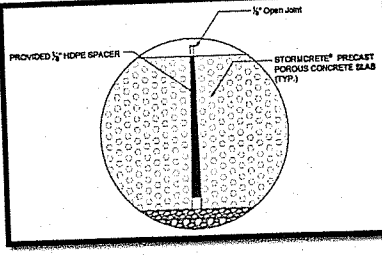
WARNING: ENSURE THAT PLASTIC SPACER THAT ARE USED TO SEPARATE SLABS IN A STACK ARE REMOVED FROM THE BOTTOM OF ALL SLABS BEFORE SLAB PLACEMENT.

- Whenever possible place slabs in a staggered pattern(s) as shown below or as depicted on approved drawings.



- On gutter applications a string line shall be used to ensure that the curbing is straight enough to allow for proper placement of the slabs. If the existing curbing does not follow a straight alignment then the slabs should follow the alignment of a string line placed mostly parallel to the curb and 1/2" away from the point that is furthest toward the roadway to allow for a minimum 1/2" joint.
- Guide units into place by hand, being careful not to pinch fingers. Horizontal adjustments can be made with wood wedges, levers, and rubber mallets as needed (If pry bars are used they should never come into direct contact with the top corner of the slab).

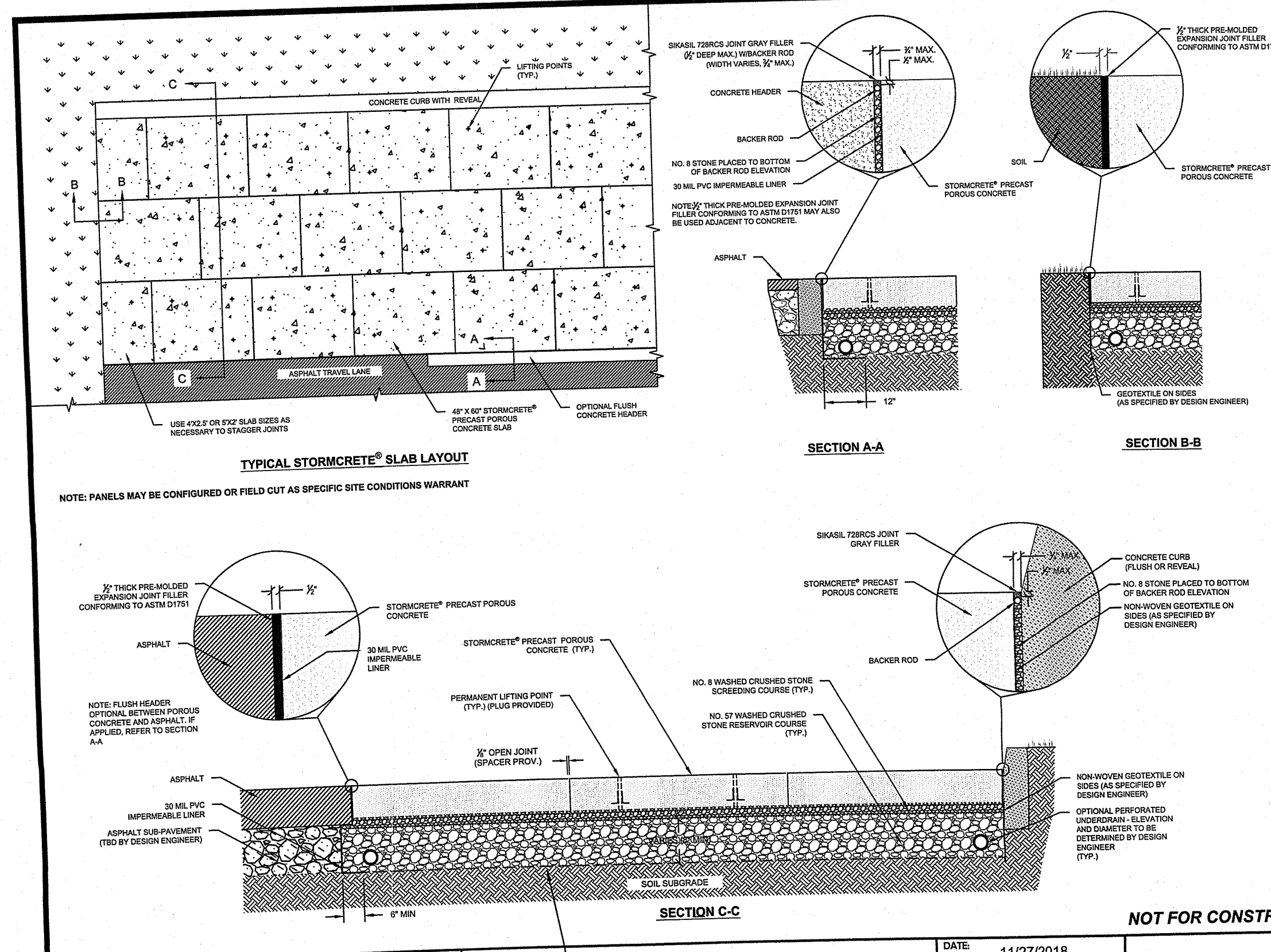
- Adjacent slabs shall be separated from each other by the placement of (3) 3/8" tapered spacers (thick end down) (Part No. 18SP) supplied by the manufacturer. Spacer shall be trimmed to the right height to fit and adhered to previously placed slab with a construction adhesive such as Liquid Nails Heavy Duty Construction Adhesive or approved equal.



- Care should be taken to place adjacent slabs at same elevation (i.e. level to each other). Slab surfaces shall not deviate by more than 1/8" vertically and horizontally from one to the next.
- Placed Slabs should maintain consistent 1/8" joint widths and horizontal and vertical alignments should be continuously straightened as necessary as paving proceeds.
- Joints between adjacent rows of panels shall be staggered when possible.
- Keep slabs covered until all adjacent areas are stabilized to prevent dust and debris from reducing porosity of slabs. A backpack blower should be employed throughout the installation process to keep slab surfaces clean. Place erosion and sediment control barriers to prevent eroding areas from draining onto slabs.
- Whenever possible set slabs with equipment positioned next to slab area and not on previously installed slabs. When it is necessary to position equipment on slabs during setting use only light machines equipped with either rubber tires or rubber tracks.

	TREATMENT SYSTEM A
TOP OF STORMCRETE	19.80
TOP OF LEVELING COURSE	19.30
TOP OF STONE	19.10
BOTTOM OF STONE	18.00
BOTTOM OF SAND	15.00
WG STORM ELEVATION	19.16
SEASONAL HIGH GWT ELEVATION	15.00
SOIL EVALUATION	TH-3

NOTE: THE 3' EXISTING SECTION OF FILL BELOW THE STONE LAYER (EL. 15.00 - 18.00) MUST BE REPLACED WITH WELL DRAINING ASTM C33 SAND OR EQUIVALENT.



**STORMCRETE**  
When It Rains...It's Porous™

888.357.1161  
www.stormcrete.com  
Porous Technologies, LLC  
140 Thadous Street  
South Portland, ME 04106

**GENERAL DETAIL**

THE 3' EXISTING SECTION OF FILL BELOW THE STONE LAYER (EL. 15.00 - 18.00) MUST BE REPLACED WITH WELL DRAINING ASTM C33 SAND OR EQUIVALENT.

DATE:	11/27/2018
DRAWN BY:	TJC
CHECKED BY:	KJM
SCALE:	NTS

**DETAILS AND NOTES**

DWG NO. **D1**

NOT FOR CONSTRUCTION - FOR INFORMATIONAL PURPOSES ONLY

Sikasil 728 RCS Limestone joint filler or approved equal. In all cases the use of a preformed expansion joint material conforming to ASTM D1751 Standard Specification for Preformed Expansion Joint Filler for Concrete Paving and Structural Construction is preferred.

**5. SLAB PROTECTION & FINAL INSPECTION**

- After work in the section is complete, the contractor shall be responsible for protecting the precast porous paving slab system from damage and/or contamination from mud, dirt, grass cuttings and accumulation of foliage and debris through the duration of construction. This should include a regular vacuum sweeping schedule. It is important that you do not attempt to wash the slabstone.
- Any slabs cracked or damaged during installation shall be replaced with new ones at the installers cost.
- Reset slabs not in conformance with specified installation tolerances.
- Check for and remove any accumulation of sediment or debris observed. This can be done by manually sweeping, vacuum sweepers, and in some cases, back pack blowers.
- Check final surface elevations of set slabs for conformance to design drawings. Slab surfaces shall not deviate by more than 1/8" vertically from one to the next and to adjacent surfaces.
- The surface elevation of set slabs shall be flush with manholes or the top of utility structures.



**6. STORMCRETE® PRECAST POROUS CONCRETE INSTALLATION TRAINING PROGRAM**

- Installation contractors are strongly encouraged to participate in the Stormcrete® Precast Porous Concrete Installation Training Program. This program ensures that installers are properly trained in the installation of Stormcrete® products. Installers successfully completing the Training Program shall receive a certificate valid for 2 years and shall be responsible for reviewing the Handling and Installation Manual and Training Program Test Questions (with correct answers) with Laborers under their employ.

**Grade Breaks**

- Stormcrete® slabs should be placed on a level sub-base. If grade breaks are present, ensure that they occur at an open joint.
- If a grade break does not occur at an open joint cut the slab to create an open joint at the break. If cutting is required reference the cutting section above.

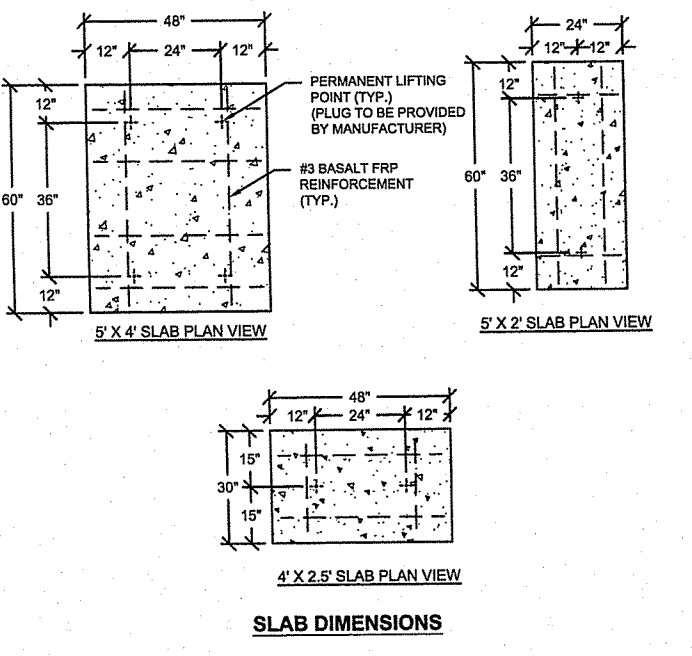
**Edge Restraints**

- NEVER place fluid material (asphalt, concrete, soil, etc.) directly up against the Stormcrete® slabs. Fluid materials shall be separated from Stormcrete® slabs by the use of a 1/2" preformed expansion joint material conforming to ASTM D1751 Standard Specification for Preformed Expansion Joint Filler for Concrete Paving and Structural Construction

- Install edge restraints per approved drawings and manufacturer's recommendations at the indicated locations and elevations.
- Anchor edge restraints directly to finished leveling layer in accordance with the manufacturer's requirements.
- The use of loose stone as a filler material adjacent to slabs should be avoided in favor of expansion joint material conforming to ASTM D1751 Standard Specification for Concrete Paving and Structural Construction (preferred).

- When placing Stormcrete® Precast Porous Concrete slabs against existing concrete structures where it is not possible to pre-install 1/2" expansion joint material joints may be filled with No. 8 clean washed gravel beneath closed cell foam backer rod and a maximum depth of 1/2" of elastomeric sealant such as

- NOTES:
- PRECAST POROUS CONCRETE SHALL BE THE STORMCRETE® SYSTEM AS MANUFACTURED BY POROUS TECHNOLOGIES, LLC WWW.STORMCRETE.COM (888) 357-1161
  - STORMCRETE® PRECAST POROUS CONCRETE SHALL HAVE A CONCRETE AVERAGE UNIT WEIGHT OF 134 LBS/CF (1-4%) AND A VOID RATIO OF 16-22% WHEN TESTED IN CONFORMANCE WITH ASTM D7547/7547.2 STANDARD TEST METHOD FOR DENSITY AND VOID CONTENT OF HARDENED PERVIOUS CONCRETE
  - WASHED CRUSHED STONE RESERVOIR AND SCREEDING COURSE GRADATIONS AND THICKNESS TO BE BASED ON SURFACE CONDITIONS, DEPTH OF FREEZING, TRAFFIC LOADINGS, AND STORM WATER DETENTION/RETENTION REQUIREMENTS AS SPECIFIED BY DESIGN PROFESSIONAL
  - ADJACENT MATERIAL SHALL NOT BE ALLOWED TO COME INTO DIRECT CONTACT WITH SIDES OF SLAB. PLACE 1/2" MOLDED BITUMINOUS EXPANSION JOINT MATERIAL IN CONFORMANCE WITH ASTM D751, STANDARD SPECIFICATION FOR PREFORMED EXPANSION JOINT FILLER FOR CONCRETE PAVING AND STRUCTURAL CONSTRUCTION (NONEXTRUDING AND RESILIENT BITUMINOUS TYPES)
  - PRECAST POROUS CONCRETE SLABS SHALL BE REINFORCED WITH #3 FIBER REINFORCED PLASTIC (FRP) REINFORCING BARS OR ULTRA-THIN MONOFILAMENT HOMO POLYMER POLYPROPYLENE FIBERS EQUIVALENT TO MANUFACTURER'S RECOMMENDATIONS
  - GRAVEL CURB (VERIFIED LIFTING HEIGHT) SHALL BE MANUFACTURED BY A.L.P. SUPPLY PART NUMBER C631214P, OR EQUAL
  - SLABS SHALL BE CUT WITH A DIAMOND BLADE MASONRY SAW. CUT UNITS SHALL BE NO NARROWER THAN 18" AND CUTTING SHALL OCCUR SO THAT A MINIMUM OF 8" IS MAINTAINED BETWEEN LIFTERS EMBEDDED IN SLABS AND CUT EDGES
  - SLAB LAYOUTS SHALL BE PLANNED SO AS TO MINIMIZE OR ELIMINATE LOCATIONS WHERE UTILITY STRUCTURES INTERSECT WITH SLAB JOINTS. WHOLE AND HALF SLABS SHALL BE USED IN COMBINATION WITH CAST IN PLACE COLLARS TO SURROUND UTILITIES
  - STORMCRETE® PRECAST POROUS CONCRETE SLABS SHALL HAVE A MINIMUM INFILTRATION RATE OF 100 IN/HR. WHEN TESTED IN ACCORDANCE WITH ASTM C1771 - INFILTRATION RATE OF IN PLACE PERVIOUS CONCRETE
  - REFER TO MANUFACTURER'S HANDLING AND INSTALLATION INSTRUCTIONS FOR ADDITIONAL PRODUCT SPECIFIC INFORMATION.



Office of Water Resources  
DEC 07 2021

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS  
AS SPECIFIED IN THE LETTER OF APPROVAL  
DATED JAN 27 2022 FILE # 21-0243  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

*Nancy L. Freeman*

APPROVED BY THE CITY OF EAST PROVIDENCE DPR COMMITTEE

FIRE CHIEF	DATE
PLANNING DIRECTOR	DATE
DIRECTOR OF PUBLIC WORKS	DATE

**DiPrete Engineering**  
Two Stafford Court, Cranston, RI 02909  
Tel: 401-943-0000 Fax: 401-464-6666 www.diprete-eng.com

**LEONARD R. BRADLEY, JR.**  
No. 6610  
REGISTERED PROFESSIONAL ENGINEER  
CIVIL

THIS PLAN IS NOT VALID FOR CONSTRUCTION PURPOSES UNLESS IT IS USED IN ACCORDANCE WITH THE TERMS AND CONDITIONS OF A REGISTERED PROFESSIONAL ENGINEER OF DIPRETE

DIPRETE ENGINEERING ONLY WARRANTS PLANS ON A DIPRETE ENGINEERING TITLE BLOCK STAMPED BY REGISTERED ENGINEERING PROFESSIONALS. DIPRETE ENGINEERING DOES NOT WARRANT PLANS BY ANY OTHER PARTY. THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE NEARBY UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES AND FOR THE PROTECTION OF EXISTING UTILITIES. EXISTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE. EXISTING UTILITIES NOT SHOWN ON THIS PLAN ARE APPROXIMATE. DAMAGES INCURRED DUE TO LOCATIONS OF EXISTING UTILITIES.

DESIGNED BY:	R.S.S.
DRAWN BY:	R.S.S.
CHECKED BY:	R.S.S.
DATE:	08-27-21
DESIGNATION:	DESIGNATION
CITY & STATE:	PROVIDENCE, RI
PROJECT NO.:	21-0243
DATE:	11-27-21

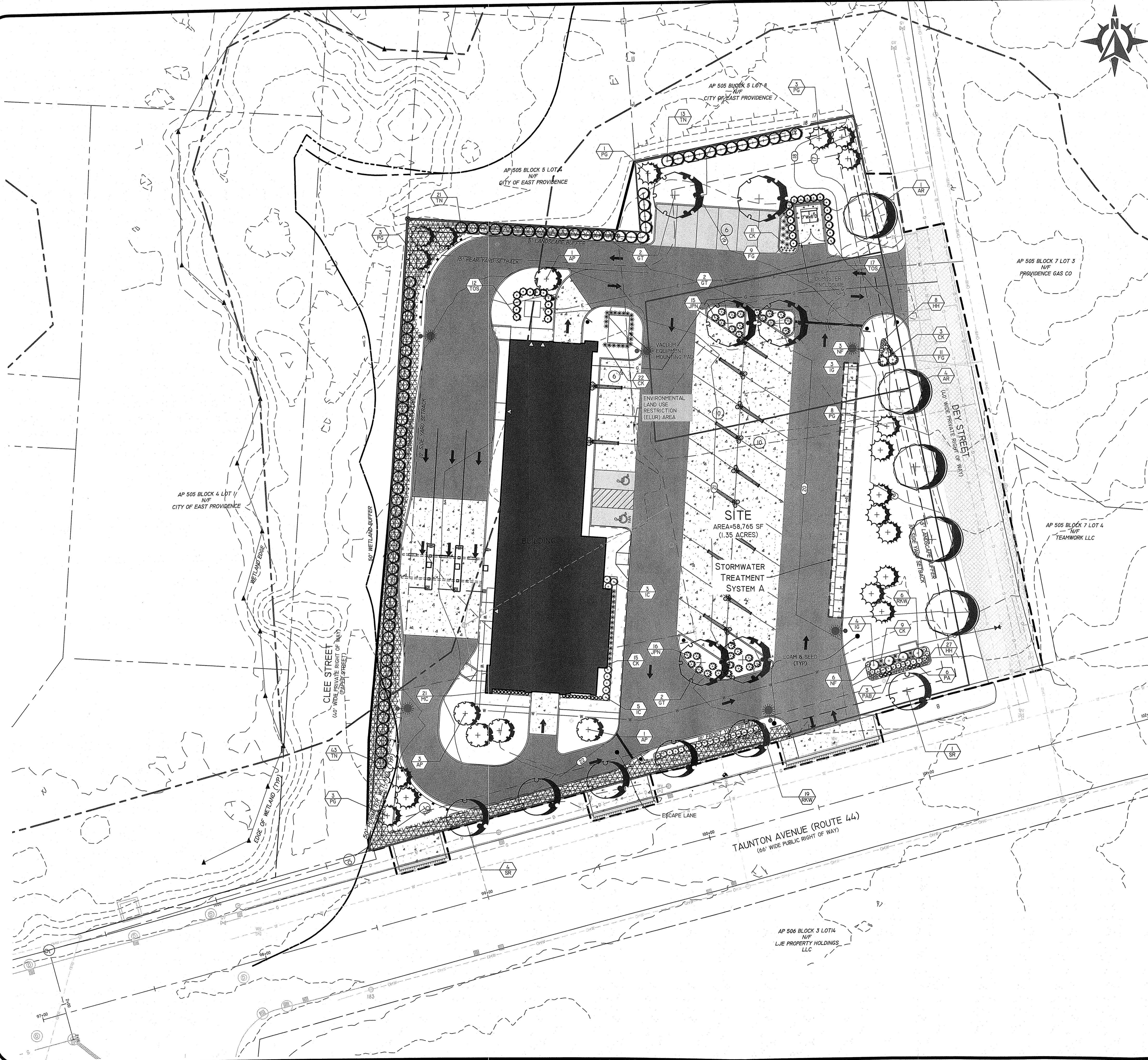
**DETAIL SHEET - 2**

**854 TAUNTON AVENUE**  
MAP 508 BLOCK 5 PARCELS 5, 6, & 7  
EAST PROVIDENCE, RHODE ISLAND 02914

PREPARED FOR:  
**G3 PROPERTIES, LLC**  
1300 PONTIAC AVENUE, CRANSTON, RHODE ISLAND 02920

SHEET **12** OF 15





- LANDSCAPE NOTES:**
- SITE INFORMATION TAKEN FROM PLANS PREPARED BY DIPRETE ENGINEERING. SEE ENGINEERING PLANS FOR MORE DETAIL.
  - CONTRACTOR TO VERIFY ALL UTILITY LOCATIONS BY NOTIFYING DIG-SAFE (811) AT LEAST 72 HOURS PRIOR TO ANY CONSTRUCTION OR SITE PREPARATION AND ANY/OR ALL LOCAL UTILITY COMPANIES AS REQUIRED.
  - CONTRACTOR TO PROVIDE A ONE (1) YEAR GUARANTEE FOR ALL MATERIALS. CONTRACTOR GUARANTEES THAT PLANTS WILL REMAIN HEALTHY FOR ONE (1) GROWING SEASON. CONTRACTOR TO MAINTAIN ALL PLANTING AND LAWS UNTIL FINAL PROJECT ACCEPTANCE. GUARANTEE PERIOD TO COMMENCE AT FINAL ACCEPTANCE. ANY REPLACEMENT PLANTS SHALL BE OF THE SAME SIZE AND SPECIES AS SPECIFIED WITH NEW GUARANTEE COMMENCING ON THE DATE OF REPLACEMENT.
  - ALL PLANT MATERIAL SHALL CONFORM, IN ALL RESPECTS, TO THE GUIDELINES OF "THE AMERICAN STANDARD FOR NURSERY STOCK," LATEST EDITION, PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION, INC. ALL PLANTS SHALL BE NURSERY GROWN AND SHALL HAVE BEEN GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST TWO (2) YEARS.
  - PLANT SUBSTITUTION SELECTION MUST BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
  - ALL PLANTS TO BE PLANTED SO THAT AFTER SETTLEMENT THEY BEAR THE SAME RELATION TO THE SURROUNDING GROUND AS TO THEIR ORIGINAL GRADE BEFORE DIGGING.
  - CREATE SAUCER AROUND INDIVIDUAL PLANTS CAPABLE OF HOLDING WATER. ALL PLANTS TO BE FLOODED WITH CLEAN WATER TWICE WITHIN THE FIRST 24 HOURS OF PLANTING. ADDITIONAL WATERING SHALL BE MADE AS REQUIRED TO KEEP PLANTS FROM WILTING AND DRYING OUT UNTIL FINAL ACCEPTANCE.
  - ALL PLANTS TO RECEIVE A MINIMUM OF TWO (2) INCHES OF MULCH AND SHALL COVER PLANTING BEDS AS SHOWN ON DRAWINGS.
  - TRIM BROKEN AND DEAD BRANCHES FROM TREES AND SHRUBS AFTER PLANTING. NEVER CUT A LEADER.
  - CONTRACTOR TO LOAM AND SEED ALL DISTURBED AREAS USING THE ENDOPHYTE ENHANCED GRASS SEED MIX AT A RATE OF 5-7 LBS. PER 1,000 SF (AVAILABLE AT ALLENS SEED IN EXETER, RI) OR AS DIRECTED BY TOWN. ANY SOO (TURF) UTILIZED SHALL BE DROUGHT TOLERANT ENDOPHYTES OR PREDOMINANTLY FESCUE IN CHARACTER.
  - RECOMMENDED DATES FOR PLANTING ARE MARCH 15 TO JUNE 15 AND SEPTEMBER 15 TO NOVEMBER 15.
  - ALL LANDSCAPED AREAS SHALL BE KEPT FREE OF WEEDS AND DEBRIS. ALL VEGETATION WITHIN SAID AREAS SHALL BE MAINTAINED FREE OF PHYSICAL DAMAGE CAUSED BY CHEMICALS, INSECTS, DISEASES, LACK OF WATER OR OTHER CAUSES. DAMAGED PLANTS SHALL BE REPLACED WITH THE SAME OR SIMILAR VEGETATION ON AN ANNUAL BASIS.
  - LOAM MOVED ON SITE TO BE STOCKPILED AND RETAINED AND TO BE USED AS REQUIRED FOR THE LANDSCAPE DESIGN. LOAM SHALL NOT BE MIXED WITH ANY UNSUITABLE MATERIALS OR SUBSOIL. EXCESS LOAM TO REMAIN ON THE OWNER'S PROPERTY AND ONLY REMOVED WITH THE OWNER'S PERMISSION. NEW LOAM SHALL BE FRIABLE, FERTILE, MEDIUM TEXTURED SANDY LOAM THAT IS FREE OF TOXIC MATERIALS FOR HEALTHY PLANT GROWTH AND SURVIVAL. LOAM SHALL BE FREE OF MATTER 1" OR GREATER IN DIAMETER AND WHEN TESTED SHALL HAVE A PH BETWEEN 5.5 AND 7.5. CONTRACTOR TO PROVIDE 8 INCHES OF GOOD QUALITY, LOAM AND/OR REUSE EXISTING LOAM TO PROVIDE A MINIMUM 6 INCH DEPTH.
  - ANY DISTURBED AREA DURING CONSTRUCTION SHALL BE RESTORED TO THEIR ORIGINAL STATE BY THE CONTRACTOR BEFORE COMPLETION OF THE PROJECT.
  - ALL PLANTING AREAS MAY BE COVERED BY AN UNDERGROUND IRRIGATION SYSTEM BY OTHERS.
  - LIGHTING PHOTOMETRICS/DESIGN BY OTHERS.
  - THIS PLAN IS FOR LANDSCAPE PLANTING ONLY.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
 OFFICE OF WATER RESOURCES  
 FRESHWATER WETLANDS PROGRAM  
 APPROVED WITH CONDITIONS  
 AS SPECIFIED IN THE LETTER OF APPROVAL  
 DATED JAN 27 2022 FILE # 21-0243  
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE  
*Nancy L. Freeman*

APPROVED BY THE CITY OF EAST PROVIDENCE DPR COMMITTEE

FIRE CHIEF	DATE
PLANNING DIRECTOR	DATE
DIRECTOR OF PUBLIC WORKS	DATE

RI Environmental Management  
 DEC 07 2021  
 Office of Water Resources

SCALE: 1"=20'  
 0 10' 20' 40'

**DiPrete Engineering**  
 Two Stafford Court Cranston, RI 02920  
 tel 401-943-1000 fax 401-943-6006 www.diprete-eng.com

**LEONARD R. BRADLEY**  
 No. 6610  
 REGISTERED PROFESSIONAL ENGINEER  
 CIVIL

THE PLAN SET MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS IT IS APPROVED BY A REGISTERED PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING.  
 DIPRETE ENGINEERING ONLY WARRANTS PLANS ON A DIPRETE ENGINEERING PROJECT. DIPRETE ENGINEERING DOES NOT WARRANT PLANS BY ANY OTHER PARTY.  
 THE USER ASSUMES ALL LIABILITY FOR THE DESIGN AND CONFORMANCE IN THE IMPLEMENTATION OF THIS PLAN AND ANY OTHER UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE ONLY. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED DUE TO LOCATIONS OF EXISTING UTILITIES.

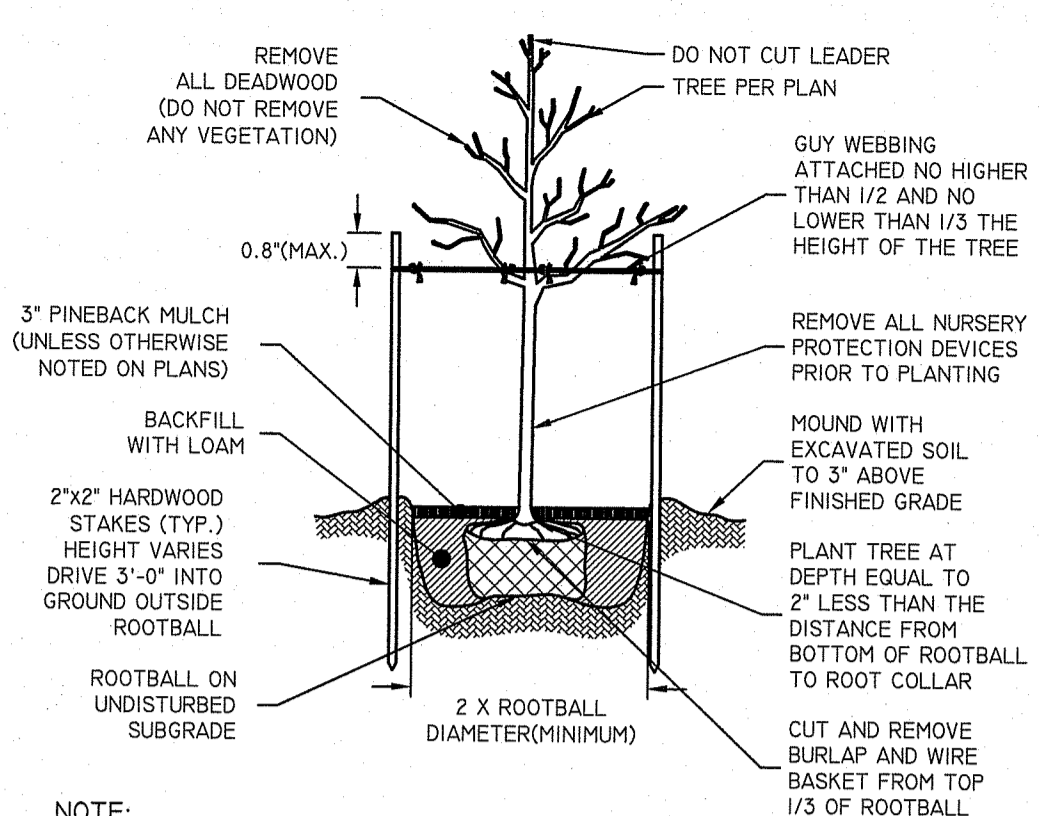
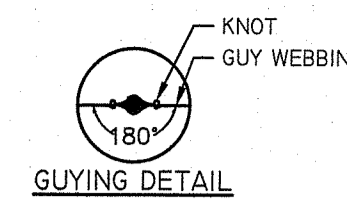
**LANDSCAPE PLAN**  
 854 TAUNTON AVENUE  
 MAP 505 BLOCK 5 PARCELS 5, 6, 8, 7  
 EAST PROVIDENCE, RHODE ISLAND 02914  
 PREPARED FOR:  
 G3 PROPERTIES, LLC  
 1300 PONTIAC AVENUE, CRANSTON, RHODE ISLAND 02920

DESIGN BY: R.S.S.  
 DRAWN BY: R.S.S.

SHEET 14 OF 15

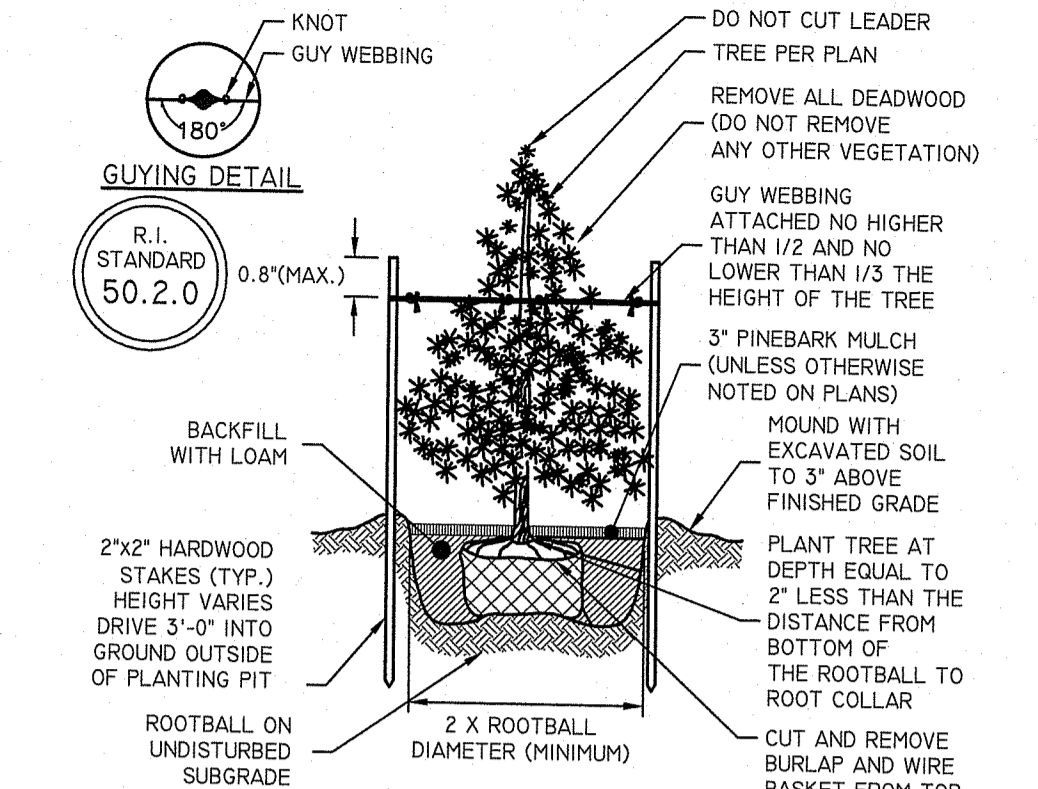
**PLANT SCHEDULE**

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL
	AP	5	Acer palmatum 'Crimson Queen'	Japanese Maple	4/5' HT	
	AR	5	Acer rubrum 'Franksred' TM	Red Sunset Red Maple	B & B	2.5" CAL MIN
	GT	6	Gleditsia triacanthos 'Skyline'	Skyline Honey Locust	B & B	2.5" CAL MIN
	SR	6	Syringa reticulata 'Ivory Silk'	Ivory Silk Japanese Tree Lilac	B & B	2.5" CAL MIN
EVERGREENS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL
	PG	18	Picea glauca	White Spruce	7/8' HT	
	TN	77	Thuja occidentalis 'Nigra'	Black Arborvitae	7/8' HT	
	TOS	29	Thuja occidentalis 'Smaragd'	Emerald Green Arborvitae	6/7' HT	
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	FIELD2
	IC	8	Ilex crenata 'Helleri'	Heller Japanese Holly	18-24" HT	
	IG	7	Ilex glabra 'Shamrock'	Shamrock Inkberry Holly	3' HT MIN	
	JPN	31	Juniperus procumbens 'Nana'	Shore Juniper	2 gal	
	RKW	25	Rosa x 'Radwhite' TM	White Knock Out Rose	18-24" HT	
GRASSES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	FIELD2
	CK	60	Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	2 gal	
	FG	20	Festuca glauca 'Elijah Blue'	Elijah Blue Fescue	1 gal	
	MC	21	Muhlenbergia capillaris	Pink Muhly Grass	1 gal	
	PA	6	Pennisetum alopecuroides 'Hameln'	Hameln Fountain Grass	2 gal	
PERENNIALS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	FIELD2
	HH	35	Hemerocallis x 'Happy Returns'	Happy Returns Daylily	1 gal	
	NF	9	Nepeta x faassenii 'Blue Wonder'	Blue Wonder Catmint	1 gal	
	PAB	3	Perovskia atriplicifolia 'Blue Jean Baby'	Blue Jean Baby Russian Sage	2 gal	

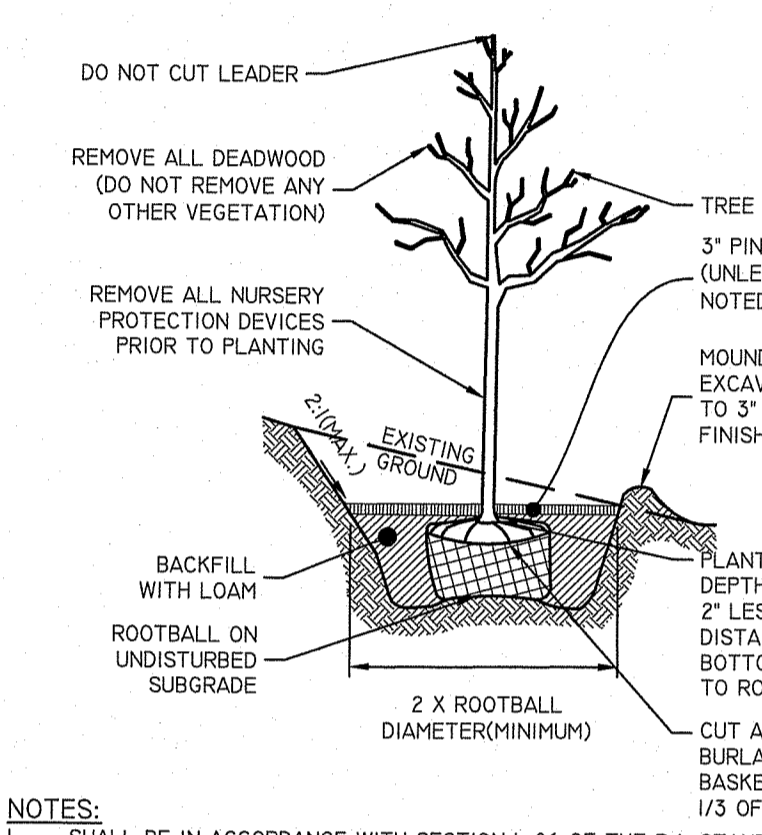


R.I. STANDARD 50.1.0

RI Environmental Management  
DEC 07 2021  
Office of Water Resources

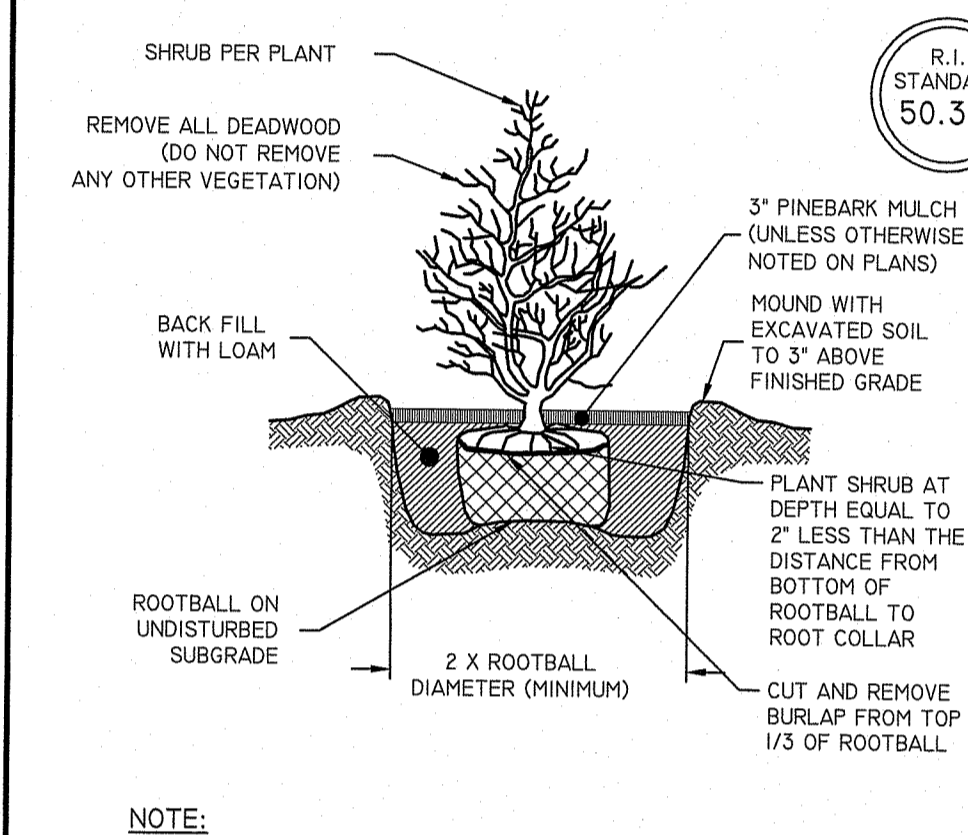


R.I. STANDARD 50.2.0



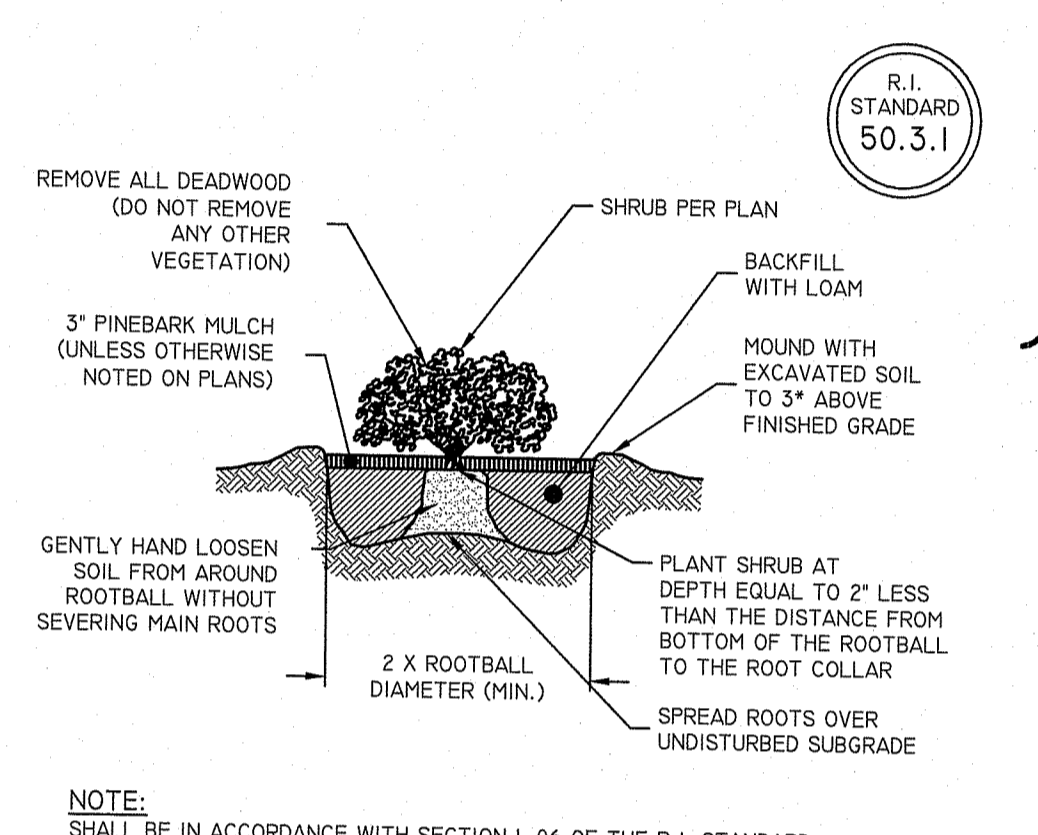
R.I. STANDARD 50.1.1

NOTES:  
1. SHALL BE IN ACCORDANCE WITH SECTION L.06 OF THE R.I. STANDARD SPECIFICATIONS.  
2. FOR STAKING DETAIL SEE STD. 50.1.0



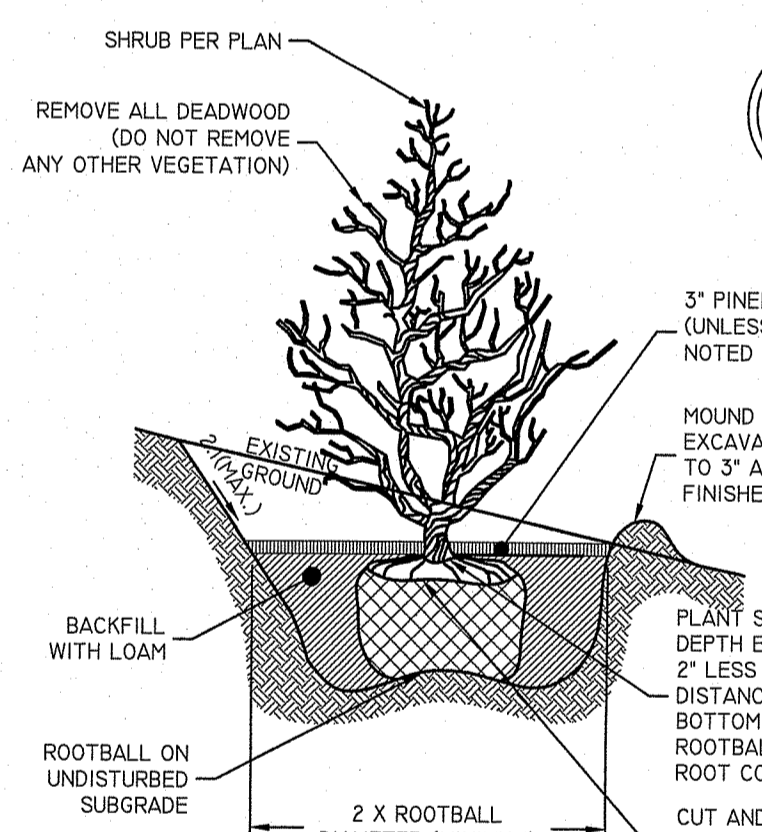
R.I. STANDARD 50.3.0

NOTES:  
SHALL BE IN ACCORDANCE WITH SECTION L.06 OF THE R.I. STANDARD SPECIFICATIONS.



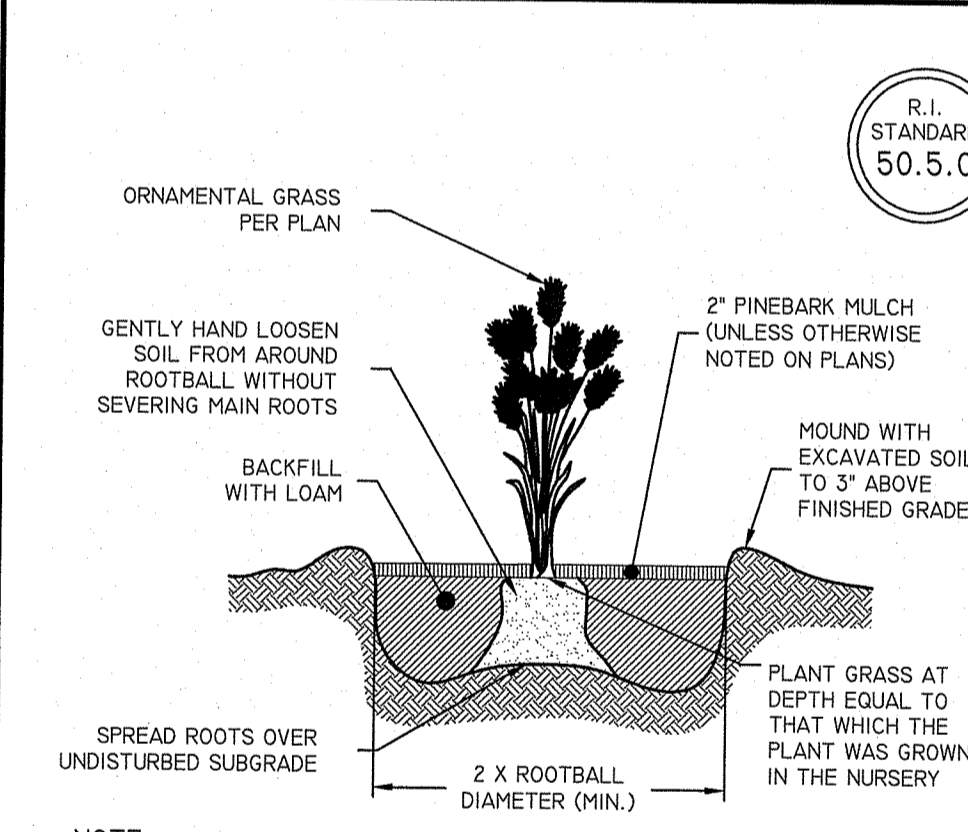
R.I. STANDARD 50.3.1

NOTES:  
SHALL BE IN ACCORDANCE WITH SECTION L.06 OF THE R.I. STANDARD SPECIFICATIONS.



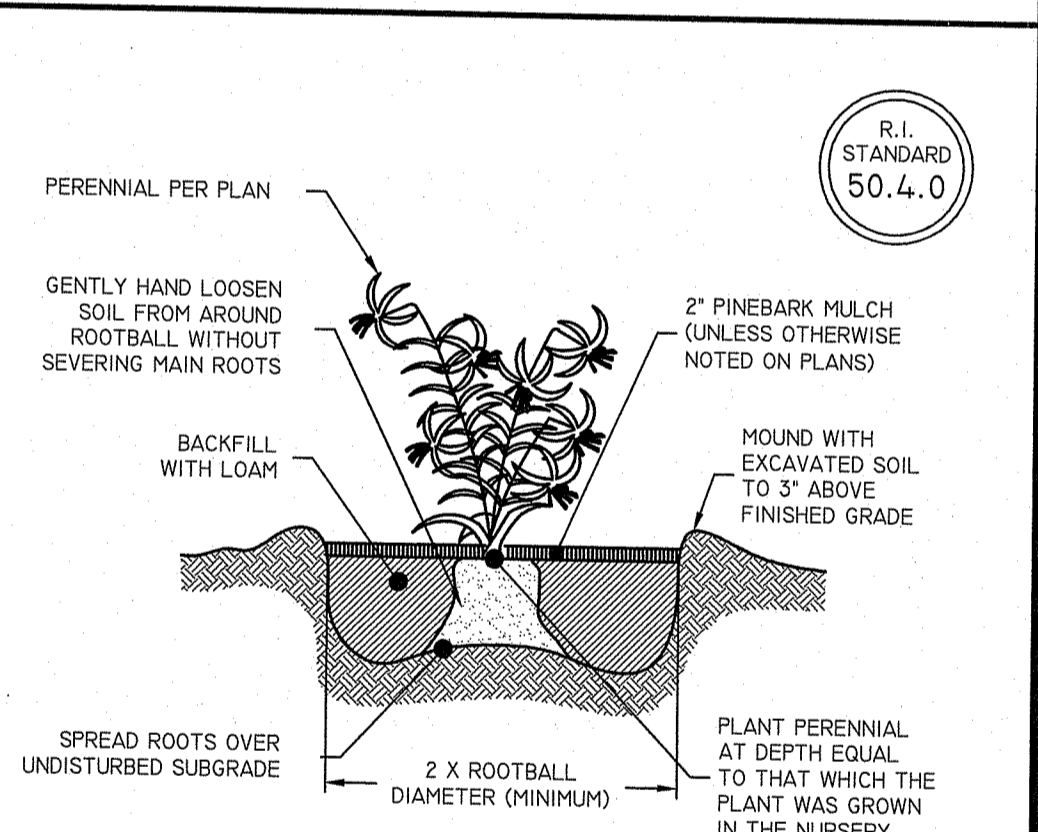
R.I. STANDARD 50.3.2

NOTES:  
SHALL BE IN ACCORDANCE WITH SECTION L.06 OF THE R.I. STANDARD SPECIFICATIONS.



R.I. STANDARD 50.5.0

NOTES:  
SHALL BE IN ACCORDANCE WITH SECTION L.06 OF THE R.I. STANDARD SPECIFICATIONS.



R.I. STANDARD 50.4.0

NOTES:  
SHALL BE IN ACCORDANCE WITH SECTION L.06 OF THE R.I. STANDARD SPECIFICATIONS.

**CITY OF EAST PROVIDENCE CHAPTER 19 ZONING**

Sec. 19-45A. DEVELOPMENT AND LANDSCAPING DESIGN STANDARDS.  
(C) LANDSCAPING STANDARDS.  
(3) SHADE TREES.  
A. LOCATION. SHADE TREES SHALL BE EITHER PLANTED OR MAINTAINED AT INTERVALS OF NO MORE THAN 35 FEET ALONG BOTH SIDES OF ALL NEW OR EXISTING STREETS ABUTTING A DEVELOPMENT SITE IN ACCORDANCE WITH THE APPROVED LANDSCAPE PLAN. THE DPR COMMITTEE MAY PERMIT SPACING OF TREES AT GREATER INTERVALS WHERE THE APPLICANT DEMONSTRATES TO THE SATISFACTION OF THE DPR COMMITTEE THAT SUCH A SPACING IS NECESSARY FOR THE PRESERVATION OF LARGE EXISTING TREES OR OTHER PLANTING OF LARGE TREE SPECIES.  
SHADE TREES ARE PROPOSED TO BE PLANTED AT INTERVALS OF NO MORE THAN 35 FEET ALONG BOTH SIDES OF ALL STREETS WHERE FEASIBLE.  
SHADE TREE CALCULATION:  
REQUIRED SHADE TREES: 1 TREE/ 35 LF  
PROPOSED SHADE TREES:  
TAUNTON AVENUE: 271.80 LF / 35 LF = (7.76) 8 TREES REQUIRED  
6 TREES PROPOSED  
DEY STREET: 250.45 LF / 35 LF = (7.15) 8 TREES REQUIRED  
5 TREES PROPOSED  
B. TREE TYPE. TREE TYPE MAY VARY DEPENDING ON OVERALL EFFECT DESIRED, BUT AS A GENERAL RULE, ALL TREES ON A STREET SHALL BE THE SAME KIND EXCEPT TO ACHIEVE SPECIAL EFFECTS. IN SELECTION OF TREE TYPES REFERENCE SHOULD BE MADE TO TREE TYPES RECOMMENDED IN THE LAND DEVELOPMENT AND SUBDIVISION REVIEW REGULATIONS OR OF A VARIETY APPROVED BY THE SUPERINTENDENT OF PARKS.  
C. PLANTING SPECIFICATIONS. STREET TREES SHALL HAVE A MINIMUM CALIPER OF 2 1/2 INCHES AT TIME OF PLANTING, AND BE NURSERY GROWN, OF SUBSTANTIALLY UNIFORM SIZE AND SHAPE AND HAVE STRAIGHT TRUNKS. STREET TREES WITH THE EXCEPTION OF ORNAMENTAL TREES, SHALL HAVE OR WILL HAVE, WHEN FULLY MATURE, A MINIMUM CALIPER OF 12 INCHES. TREES SHALL BE PROPERLY PLANTED AND STAKED AND PROVISION MADE BY THE DEVELOPER FOR REGULAR WATERING AND MAINTENANCE UNTIL THEY ARE ESTABLISHED. DEAD AND DISEASED TREES SHALL BE REMOVED AND REPLACED BY THE OWNER ON AT LEAST AN ANNUAL BASIS. FAILURE TO PROPERLY MAINTAIN STREET TREES SHALL RESULT IN SUCH

WORK BEING PERFORMED BY THE CITY AT THE OWNER'S EXPENSE.  
STREET TREES PROPOSED SHALL HAVE A MINIMUM CALIPER OF 2 1/2 INCHES AT TIME OF PLANTING, AND BE NURSERY GROWN, OF SUBSTANTIALLY UNIFORM SIZE AND SHAPE AND HAVE STRAIGHT TRUNKS AND WHEN FULLY MATURE, A MINIMUM CALIPER OF 12 INCHES.  
(4) BUFFERING.  
C. MINIMUM AMOUNT REQUIRED.  
1. A FIVE-FOOT BUFFER STRIP OF GRASS OR OTHER VEGETATION IS REQUIRED AROUND THE ENTIRE PERIMETER OF THE SITE, EXCEPT FOR ANY CURB CUTS.  
A FIVE-FOOT OR GREATER BUFFER STRIP OF EXISTING OR PROPOSED VEGETATION IS PROPOSED AROUND THE ENTIRE PERIMETER OF THE SITE.  
(5) PARKING AREA LANDSCAPING REQUIREMENTS.  
A. TREES SHALL BE PLANTED WITHIN THE PLANTING STRIP OR IN SIDEWALK AREAS AS MAY BE APPROPRIATE, AT INTERVALS OF NO MORE THAN 35 FEET, AND SHALL HAVE A MINIMUM CALIPER AT TIME OF PLANTING OF 2 1/2 INCHES. THE DPR COMMITTEE MAY PERMIT SPACING OF TREES AT GREATER INTERVALS WHERE THE APPLICANT DEMONSTRATES TO THE SATISFACTION OF THE DPR COMMITTEE THAT SUCH A SPACING IS NECESSARY FOR THE PRESERVATION OF LARGE EXISTING TREES OR THE PLANTING OF LARGE TREE SPECIES.  
PROPOSED TREES ARE PROPOSED TO BE PLANTED WITHIN THE PLANTING STRIP OR IN SIDEWALK AREAS WHERE FEASIBLE, AT INTERVALS OF NO MORE THAN 35 FEET, AND SHALL HAVE A MINIMUM CALIPER AT TIME OF PLANTING OF 2 1/2 INCHES.  
B. THE INTERIOR OF PARKING AREAS SHALL BE SUITABLY LANDSCAPED WITH TREES, SHRUBS, PLANTS OR OTHER LIVE VEGETATION. IN ADDITION TO THE REQUIRED BUFFER STRIP A MINIMUM OF TEN SQUARE FEET OF LANDSCAPING FOR EACH PARKING SPACE SHALL BE PROVIDED WITHIN THE INTERIOR OF ANY OFF-STREET PARKING AREA. EACH ROW OF PARKING SPACES SHALL BE TERMINATED BY LANDSCAPED ISLANDS WHICH MEASURE NOT LESS THAN FIVE FEET IN WIDTH AND NOT LESS THAN 18 FEET IN LENGTH. THE INTERIOR OF THE PARKING AREA SHALL INCORPORATE LANDSCAPED AREAS IN APPROPRIATE LOCATIONS IN ORDER TO PREVENT LONG, UNINTERRUPTED ROWS OF PARKING SPACES. SUCH LANDSCAPED ISLANDS SHALL BE SURROUNDED BY CONTINUOUS RAISED CURBING. INTERIOR ISLANDS AND DIVIDER MEDIANS SHALL BE PROTECTED FROM ENCRoACHMENT OF MOTOR VEHICLES IN A MANNER APPROVED BY THE DPR COMMITTEE. PEDESTRIAN PATHS MAY BE INCORPORATED WITHIN THE LANDSCAPED AREA. PROVIDED A MINIMUM DIMENSION OF FOUR FEET, EXCLUSIVE OF PAVED AREAS, IS MAINTAINED FOR ALL LANDSCAPED AREAS.

INTERIOR PARKING AREAS ARE PROPOSED TO BE SUITABLY LANDSCAPED WITH TREES, SHRUBS, PLANTS OR OTHER LIVE VEGETATION WHERE FEASIBLE.  
REQUIRED INTERIOR LANDSCAPING FOR PARKING: 10 SF/ PARKING SPACE  
PROPOSED PARKING SPACES: 32  
PROPOSED INTERIOR LANDSCAPING FOR PARKING: 32 x 10 = 320 SF  
INTERIOR ISLANDS = 650 SF 320 SF  
C. THE INTERIOR OF PARKING AREAS SHALL BE SHADED BY DECIDUOUS TREES (EITHER RETAINED OR PLANTED BY THE DEVELOPER) THAT HAVE OR WILL HAVE WHEN FULLY MATURE A TRUNK AT LEAST 12 INCHES IN DIAMETER. THE MINIMUM CALIPER OF NEW TREES AT TIME OF PLANTING SHALL BE AT LEAST 2 1/2 INCHES. AT MATURITY, EACH TREE SHALL BE PRESUMED TO SHADE A CIRCULAR AREA HAVING A RADIUS OF 15 FEET WITH THE TRUNK AS THE CENTER, AND THERE MUST BE SUFFICIENT TREES SO THAT, USING THIS STANDARD, 20 PERCENT OF THE PARKING AREA WILL BE SHADED. TREES SHALL BE LOCATED SO THAT THEY ARE SURROUNDED BY AT LEAST 180 SQUARE FEET OF UNPAVED AREA, WHICH MAY BE COUNTED TOWARDS CALCULATING THE REQUIRED LANDSCAPED AREA. PARKING AREAS SHALL BE LAID OUT AND DETAILED TO PREVENT VEHICLES FROM STRIKING TREES AND TO PROVIDE FOR THE HEALTHY GROWTH OF THE SELECTED TREE SPECIES. VEHICLES WILL BE PRESUMED TO HAVE A BODY OVERHANG OF THREE FEET SIX INCHES.  
INTERIOR PARKING AREAS ARE PROPOSED TO BE SHADED BY DECIDUOUS TREES HAVING A RADIUS OF 15 FEET, WITH SUFFICIENT TREES SO THAT 20 PERCENT OF THE PARKING AREA WILL BE SHADED AND TREES ARE PROPOSED TO BE LOCATED SO THAT THEY ARE SURROUNDED BY AT LEAST 180 SQUARE FEET OF UNPAVED AREA WHERE FEASIBLE.  
SHADE COVERAGE CALCULATION:  
TOTAL PARKING AREA = 15,336 SF  
REQUIRED SHADE COVERAGE = 15,336 x 0.20 = 3,067.2 SF  
SHADE COVERAGE PROPOSED:  
TYPICAL SHADE TREE CANOPY = 706.5 SF  
TOTAL SHADE COVERAGE PROPOSED = 706.5 x 6 TREES = 4,239 SF 3,067.2 SF  
D. THE OWNER SHALL BE RESPONSIBLE FOR MAINTAINING THE LANDSCAPING OF A PARKING AREA IN A NEAT AND ATTRACTIVE MANNER. ONLY NURSERY-GROWN PLANT MATERIALS SHALL BE ACCEPTABLE, AND ALL PLANTINGS SHALL BE INSTALLED ACCORDING TO ACCEPTED HORTICULTURAL STANDARDS. THE OWNER SHALL BE RESPONSIBLE FOR WATERING PLANTINGS REGULARLY AND SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL DEAD OR DISEASED PLANTINGS ON AT LEAST AN ANNUAL BASIS. FAILURE TO ADEQUATELY MAINTAIN PLANTINGS MAY RESULT IN THE CITY PERFORMING REQUIRED MAINTENANCE AT THE EXPENSE OF THE LANDOWNER.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS  
AS SPECIFIED IN THE LETTER OF APPROVAL  
DATED JAN 27 2022 FILE # 21-0243  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
APPROVED PLANS MUST BE AT CONSTRUCTION SITE  
Nancy L. Freeman

APPROVED BY THE CITY OF EAST PROVIDENCE DPR COMMITTEE	
FIRE CHIEF	DATE
PLANNING DIRECTOR	DATE
DIRECTOR OF PUBLIC WORKS	DATE

**Diprete Engineering**  
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Boston Providence Newport

LEONARD R. BRADLEY  
No. 6610  
REGISTERED PROFESSIONAL ENGINEER  
CIVIL

THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS IT IS STAMPED BY THE REGISTERED PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING.

NO PART OF THIS PLAN SET SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF DIPRETE ENGINEERING. THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE MEANS, METHODS, SAFETY, PRECAUTIONS AND REQUIREMENTS AND OSHA COMPLIANCE IN THE IMPLEMENTATION OF THIS PLAN AND DESIGN. EXISTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE AND SHOULD BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. DAMAGES INCURRED DUE TO LOCATIONS OF EXISTING UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

NO.	DATE	DESCRIPTION	DESIGN BY: R.S.S.
0	05-27-20	PERMITTING SUBMISSION SET	R.S.S.
1	08-27-20	PERMITTING SUBMISSION SET	R.S.S.

DRAWN BY: R.S.S.

**LANDSCAPE NOTES AND DETAILS**  
854 TAUNTON AVENUE  
PARC 505 BLOCK 5 PARCELS 3, 6 & 7  
EAST PROVIDENCE, RHODE ISLAND 02914  
PREPARED FOR:  
G3 PROPERTIES, LLC  
1300 PONTIAC AVENUE, CRANSTON, RHODE ISLAND 02920  
SHEET 15 OF 15

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