

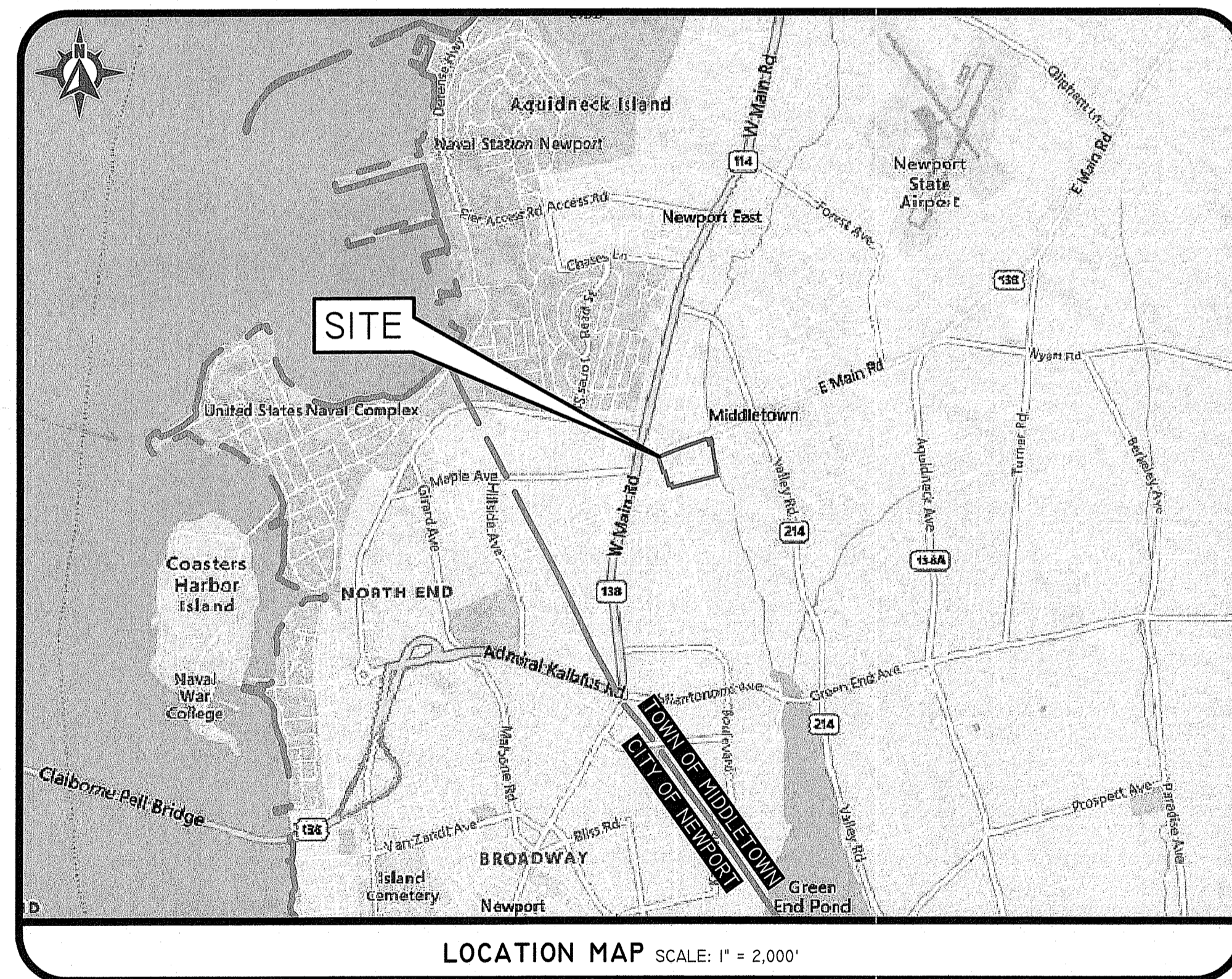
PERMITTING SUBMISSION

AQUIDNECK CENTRE

LOCATED AT 99 EAST MAIN ROAD

MIDDLETOWN, RI 02842

ASSESSOR'S PLAT 107SE LOT 106



SHEET INDEX

- 1 COVER SHEET
- 2 AERIAL HALF-MILE & USGS
- 3 NOTES & LEGEND
- 4 SOIL EROSION & SEDIMENT CONTROL PLAN
- 5 SITE LAYOUT PLAN
- 6 GRADING & UTILITIES PLAN
- 7 STONE TRENCH DETAIL SHEET
- 8 DETAIL SHEET

- 1 OF 2 ALTA/ACSM LAND TITLE SURVEY BY CROSSPOINT ASSOCIATES, INC.
- 2 OF 2 ALTA/ACSM LAND TITLE SURVEY BY CROSSPOINT ASSOCIATES, INC.

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 REVIEWED SITE PLAN APPLICATION #: 21-0253
 DATED: MAY 26 2022
 SEE LETTER OF SAME DATE
Nancy L. Freeman

DiPrete Engineering

90 Broadway Newport, RI 02840
 tel 401-659-5990 fax 401-664-6006 www.diprete-eng.com

MOLLY R. TITUS
 No. *[Signature]*
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL

CP CROSSPOINT

THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS IT IS APPROVED BY THE REGISTERED PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING. THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE HEADS, METHODS, SAFETY PRECAUTIONS AND REQUIREMENTS, AND OSHA REGULATIONS AND STANDARDS ON THE IMPLEMENTATION OF THIS PLAN AND DESIGN. EXISTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE.

| NO. | DATE | DESCRIPTION | BY: |
|-----|------------|-------------------------------|-----|
| 8 | 04-29-2022 | REVISION RESPONSE TO COMMENTS | NMP |
| 7 | 04-12-2022 | REVISION RESPONSE TO COMMENTS | NMP |
| 6 | 02-12-2022 | REVISION RESPONSE TO COMMENTS | NMP |
| 5 | 01-31-2022 | REVISION RESPONSE TO COMMENTS | NMP |
| 4 | 01-31-2022 | REVISION RESPONSE TO COMMENTS | NMP |
| 3 | 01-27-2022 | REVISION RESPONSE TO COMMENTS | NMP |
| 2 | 01-27-2022 | REVISION RESPONSE TO COMMENTS | NMP |
| 1 | 01-27-2022 | REVISION RESPONSE TO COMMENTS | NMP |
| 0 | 01-27-2022 | REVISION RESPONSE TO COMMENTS | NMP |
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RI Environmental Management
 MAY 03 2022
 Office of Water Resources

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM

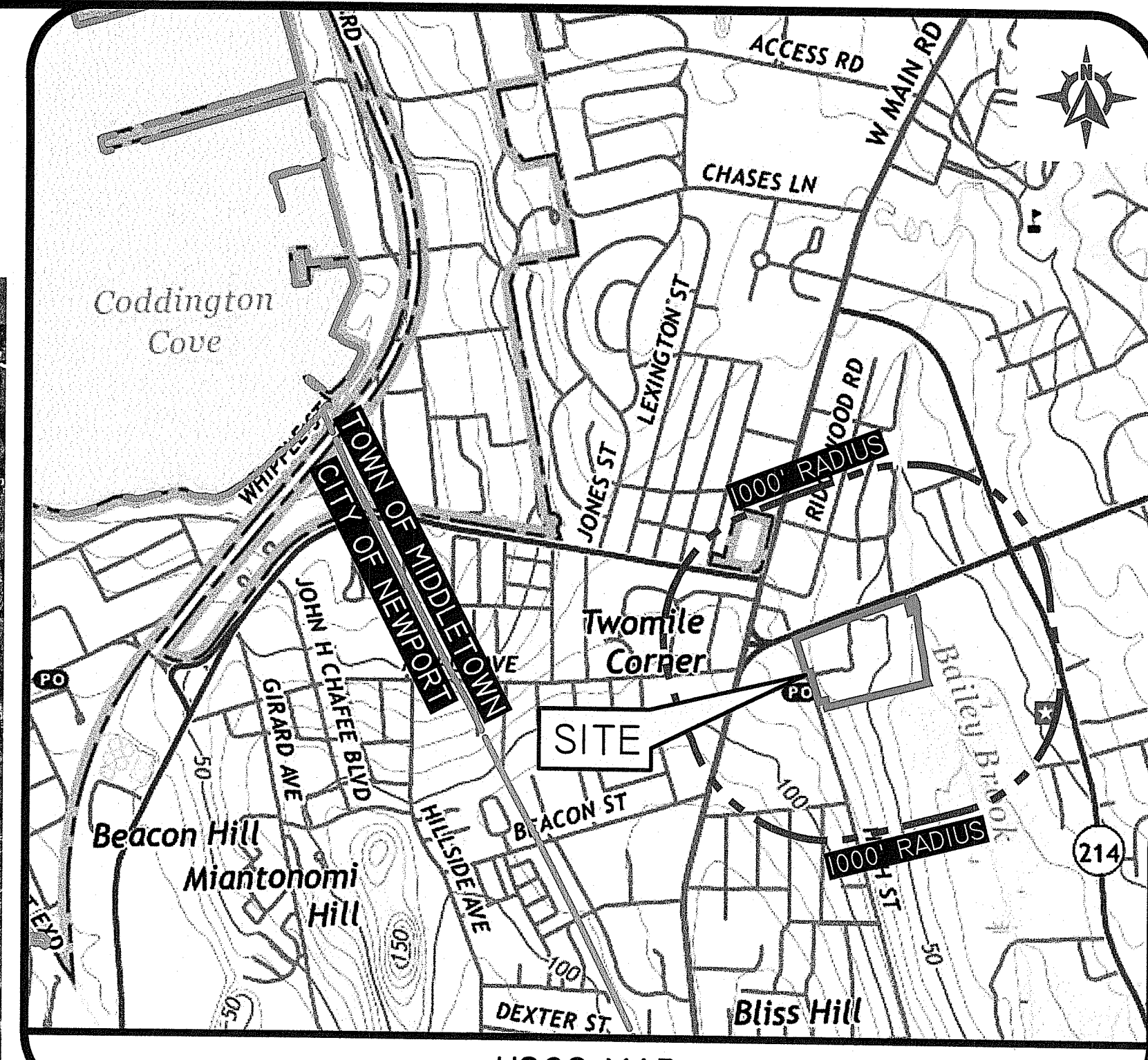
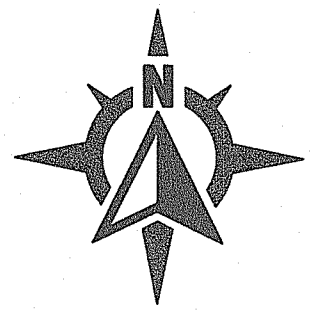
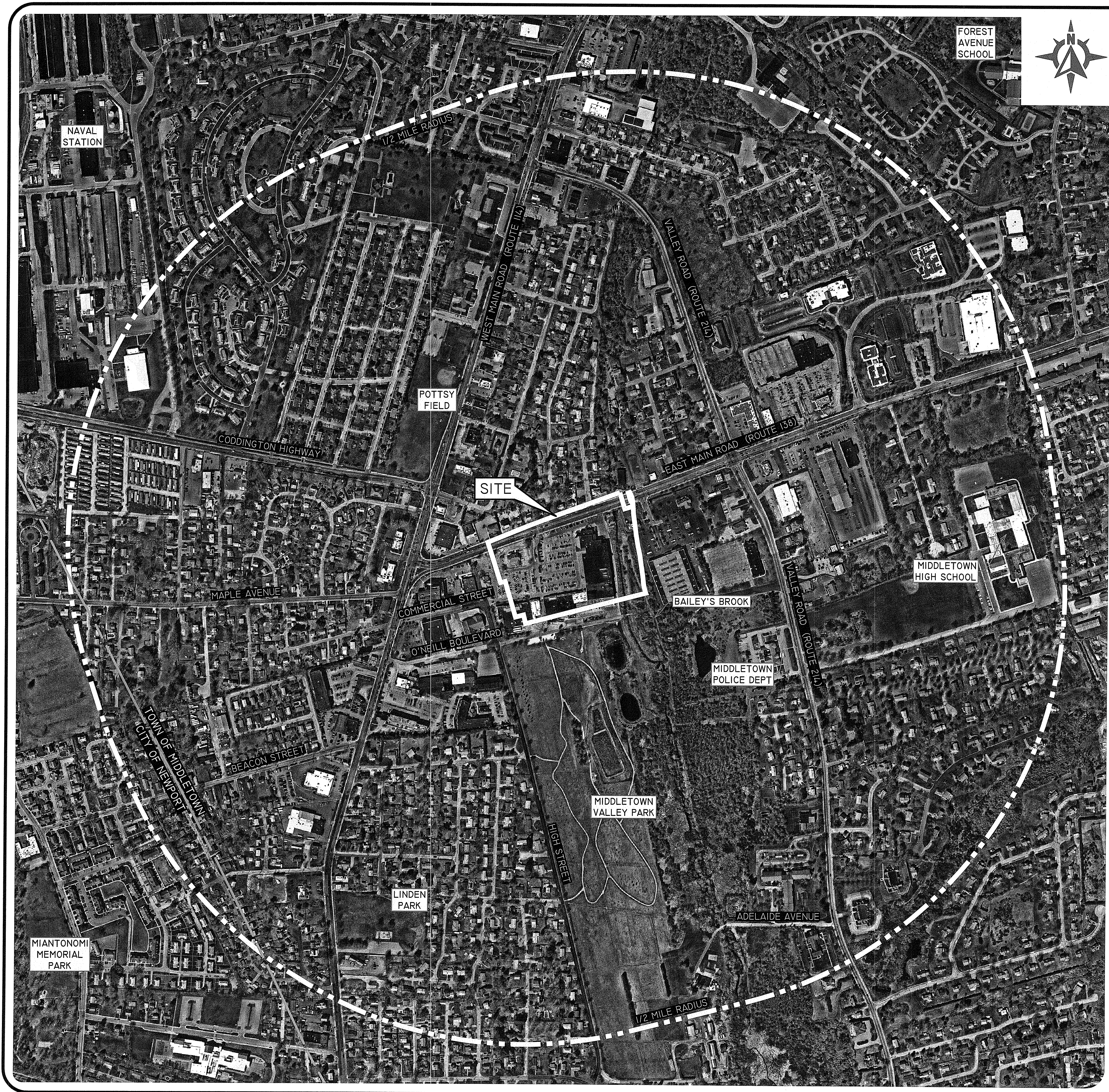
NOTE PER DEM:
 Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site

SESC / O&M
 THE SOIL EROSION AND SEDIMENT CONTROL PLAN (SESC) AND STORMWATER OPERATION AND MAINTENANCE PLAN (O&M) ARE REQUIRED DOCUMENTS WITH THIS PLAN SET AND MUST BE MAINTAINED BY THE CONTRACTOR AND OWNER ON SITE.

RIDOT
 THE PROPOSED IMPROVEMENTS WILL NOT INCREASE THE RATE OF STORMWATER RUNOFF ONTO THE STATE HIGHWAY. ALL WORK WITHIN THE STATE RIGHT OF WAY MUST CONFORM TO THE RI STANDARD SPECIFICATIONS, DETAILS, AND ADDENDUMS.

COVER SHEET
 AQUIDNECK CENTRE
 ASSESSOR'S PLAT 107SE LOT 106
 MIDDLETOWN, RHODE ISLAND
 PREPARED FOR:
 AQUIDNECK GROUP LLC C/O CROSSPOINT ASSOCIATES, INC.
 188 NEEDEHAM STREET SUITE 205 NEWTON MA 02464

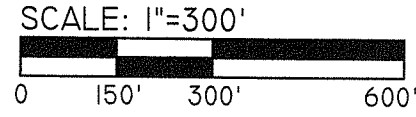
E:\DRM\PROJECTS\2102-006-AQUIDNECK CENTRE\AUTOCAD DRAWINGS\2102-006-AQUIDNECK.dwg Plotter: 4/29/2022



USGS MAP SCALE: 1"=1000'

Z:\WORK\PROJECTS\1962-004_AQUIDNECK_CENTER\AUTOCAD DRAWINGS\1962-004-CVAR-DWG-PLATTES_4/29/2022

PHOTO OBTAINED FROM NEARMAP.COM
DATE OF PHOTOGRAPHY 03-27-2021.



RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
REVIEWED SITE PLAN APPLICATION #: 21-0253
DATED: MAY 26 2022
NOVEMBER 2021

RI Environmental Management
MAY 3 2022
Office of Environmental Management

DIPRETE Engineering
903 Broadway, Newport, RI 02840
Tel: 401-846-0000
www.diprete.com

MOLLY R.
No.
REGISTERED PROFESSIONAL CIVIL ENGINEER

CP

THIS PLAN SET HAS NOT BEEN USED FOR CONSTRUCTION PURPOSES UNLESS STAMPED ISSUED FOR CONSTRUCTION AND STAMPED BY ENGINEERING PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING.
DIPRETE ENGINEERING ONLY WARRANTS PLANS ON A DIPRETE ENGINEERING PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING. DIPRETE ENGINEERING DOES NOT WARRANT PLANS BY ANY OTHER PARTY. THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE MEANS, METHOD, AND COST OF CONSTRUCTION.

| NO. | DATE | DESCRIPTION |
|-----|------------|-----------------------|
| 8 | 10-26-2022 | REVISIONS TO COMMENTS |
| 7 | 10-04-2022 | REVISIONS TO COMMENTS |
| 6 | 05-11-2022 | REVISIONS TO COMMENTS |
| 5 | 03-31-2022 | REVISIONS TO COMMENTS |
| 4 | 01-31-2022 | REVISIONS TO COMMENTS |
| 3 | 01-07-2022 | REVISIONS TO COMMENTS |
| 2 | 01-07-2022 | REVISIONS TO COMMENTS |
| 1 | 01-07-2022 | REVISIONS TO COMMENTS |

AERIAL HALF-MILE & USGS
AQUIDNECK CENTRE
ASSESSOR'S PLAT 107SE LOT 106
MIDDLETOWN, RHODE ISLAND

GENERAL NOTES:

- 1. THE SITE IS LOCATED ON THE TOWN OF MIDDLETOWN ASSESSOR'S PLAT 107SE LOT 106.
2. THE SITE IS APPROXIMATELY 12.20 ACRES AND IS ZONED GBA.
3. THE OWNER OF AP 107SE LOT 106 IS: AQUIDNECK GROUP, LLC
4. THIS SITE IS LOCATED IN FEMA FLOOD ZONES X (UNSHADED), X (SHADED), AND AE. REFERENCE FEMA FLOOD INSURANCE RATE MAP '0405020093J, MAP REVISED SEPTEMBER 4, 2013.
5. ZONE AE - THIS SITE IS LOCATED IN FEMA FLOOD ZONE AE. ZONE AE ARE SPECIAL FLOOD HAZARD AREAS INUNDATED BY 100-YEAR FLOOD.
6. THE BOUNDARY LINES AS SHOWN ON THE ENGINEERING PLAN SET DEPICTS THE RESULTS OF A CLASS I BOUNDARY RETRACEMENT SURVEY AS PERFORMED BY DIPRETE ENGINEERING ASSOCIATES, INC.
7. ALL WORK PERFORMED HEREIN IS TO BE GOVERNED BY CURRENT EDITIONS OF THE RHODE ISLAND STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION, TOWN OF MIDDLETOWN STANDARD SPECIFICATION FOR DETAILS AND SPECIFICATIONS INCLUDED AS PART OF THE DRAWINGS.
8. THE SITE IS WITHIN/PROXIMATE TO: WATER PROTECTION DISTRICTS 1 AND 2 (TOWN) FLOODPLAIN OVERLAY DISTRICT (TOWN)
9. THE FOLLOWING DOCUMENTS ARE CONSIDERED PART OF THE PROJECT PLANS AND THE CONTRACTOR/OWNER MUST MAINTAIN THESE DOCUMENTS AS PART OF A FULL PLAN SET:
10. THIS PLAN SET REFERENCES RIDOT STANDARD DETAILS (DESIGNATED AS RIDOT STD X.X.X). RIDOT STANDARD DETAILS ARE AVAILABLE FROM RIDOT AND ONLINE AT: HTTP://WWW.DOT.RI.GOV/BUSINESS/CONTRACTORSANDCONSULTANTS.PHP.
11. THE SITE IS SERVICED BY PUBLIC WATER AND PUBLIC SEWER.
12. THE DRAINAGE SYSTEM IS DESIGNED TO MEET THE TOWN OF MIDDLETOWN'S SUBDIVISION AND LAND DEVELOPMENT REGULATIONS WITH THE USE OF AN UNDERGROUND DRAINAGE FACILITY.
13. THE SITE IMPROVEMENTS ARE PROPOSED TO BE BUILT IN ONE PHASE.
14. SOIL EVALUATIONS WERE COMPLETED BY DIPRETE ENGINEERING ON JUNE 8, 2021.
15. ANY PROPRIETARY PRODUCTS REFERENCED IN THIS PLAN SET ARE REPRESENTATIVE OF THE MINIMUM DESIGN REQUIREMENTS FOR THE PURPOSE THEY PROPOSE TO SERVE.
16. THIS PLAN SET MAY REFERENCE AND/OR INCLUDE REPRODUCTIONS OF PROPRIETARY PRODUCTS/DETAILS BY OTHERS, AND/OR THEIR ASSOCIATED SPECIFICATIONS.
17. ALL WORK TO BE DONE WITHIN THE STATE HIGHWAY RIGHT OF WAY (ROW) SHALL CONFORM TO THE RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2004 EDITION (AMENDED MARCH 2018) WITH ALL REVISIONS AND ADDENDA.
18. ALL TRAFFIC CONTROL SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), 2009 EDITION, INCLUDING ALL REVISIONS.

SOIL INFORMATION:

(REFERENCE: SOIL MAPPING OBTAINED FROM RIGIS. SOIL GEOGRAPHIC DATA DEVELOPED BY THE RHODE ISLAND SOIL SURVEY PROGRAM IN PARTNERSHIP WITH THE NATIONAL COOPERATIVE SOIL SURVEY)
SOIL NAME DESCRIPTION
UR URBAN LAND

PERMITS AND APPROVALS:

THE CONTRACTOR MUST PERFORM ALL WORK IN COMPLIANCE WITH ALL PERMITS AND APPROVALS
THE CONTRACTOR MUST NOTIFY ALL PERMIT/APPROVAL AUTHORITIES IN ACCORDANCE WITH PERMIT REQUIREMENTS. COPIES OF ALL PERMITS AND NOTICES MUST BE KEPT ON SITE FOR THE DURATION OF CONSTRUCTION ACTIVITIES.
THE PERMITS AND APPROVALS LISTED IN THE TABLE BELOW HAVE BEEN OBTAINED. THE CONTRACTOR MUST COORDINATE WITH THE OWNER/AHJ IF ANY QUESTIONS OR ISSUES ARISE RELATING TO THESE PERMITS AND APPROVALS.
RIDOT PHYSICAL ALTERATION PERMIT NO. 21-112
RIDEM ALLOCATION NO. 21-0253
THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL OTHER PERMITS NECESSARY FOR COMPLETION OF THE CONTRACT INCLUDING, BUT NOT LIMITED TO, UTILITY PERMITS FROM THE CITY OF XXXX.
THE CONTRACTOR MUST PROVIDE THE LEVEL OF CARE NECESSARY TO ENSURE ALL IMPROVEMENTS MEET THE ADAAG. THE CONTRACTOR MUST NOTIFY THE OWNER/DIPRETE IMMEDIATELY OF ALL POTENTIAL DEVIATIONS FROM THE ADAAG IN WRITING. ANY RESOLUTION OF THE POSSIBLE DEVIATION BY THE CONTRACTOR, UNLESS AUTHORIZED IN WRITING IN ADVANCE BY THE OWNER, IS DONE AT THE CONTRACTOR'S RISK.

SOIL EROSION AND SEDIMENT CONTROL NOTES:

- 1. THE CONTRACTOR IS RESPONSIBLE FOR ALL SOIL EROSION AND SEDIMENT CONTROL ON SITE WHICH MUST BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE APPLICABLE REGULATIONS AND AUTHORITY HAVING JURISDICTION.
2. ALL EROSION CONTROLS MUST BE INSTALLED PER THE LATEST EDITION OF THE RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL (RISESC) HANDBOOK AND THE SOIL EROSION AND SEDIMENT CONTROL PLANS.
3. FOR SEQUENCE OF CONSTRUCTION, PROJECT PHASING AND CONSTRUCTION PHASING SEE SESC PLAN.
4. CONTRACTOR MAY MODIFY SEQUENCE OF CONSTRUCTION WITH APPROVAL FROM DESIGN ENGINEER AND OWNER.
5. IF CONCRETE TRUCKS ARE WASHED OUT ON SITE, ALL WASHOUT MUST BE PERFORMED IN THE DESIGNATED CONCRETE WASHOUT AREA.

DEMOLITION NOTES:

- 1. CONTRACTOR MUST OBTAIN ALL FEDERAL, STATE, AND MUNICIPAL APPROVALS PRIOR TO THE START OF CONSTRUCTION.
2. CONTRACTOR MUST PERFORM DAILY SWEEPING AT CONSTRUCTION ENTRANCES DURING DEMOLITION AND CONSTRUCTION TO MINIMIZE SEDIMENTS ON EXTERNAL STREETS.
3. ANY EXISTING BUILDING(S) AND PROPERTY POSSESIONS TO REMAIN THAT ARE DAMAGED BY THE CONTRACTOR MUST BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
4. CONTRACTOR IS RESPONSIBLE FOR REMOVING AND LEGALLY DISPOSING (R&D) ALL MATERIALS INDICATED ON THE PLANS UNLESS SPECIFIED OTHERWISE HEREIN.
5. IN ADDITION TO THOSE AREAS SPECIFICALLY DESIGNATED ON THE PLANS, ALL DISTURBED AREAS AND AREAS THAT ARE NOT RESTORED TO MATCH THE DESIGN PLANS.
6. CONTRACTOR MUST DOCUMENT LOCATION OF ALL SUBSURFACE UTILITIES REMAINING IN PLACE AFTER DEMOLITION (ACTIVE AND INACTIVE/ABANDONED).
7. ACTIVE UTILITY LINES AND STRUCTURES NOT SPECIFICALLY NOTED ON PLANS, BUT WHICH ARE ENCOUNTERED TO BE IN CONFLICT WITH THE PROPOSED WORK, MUST BE EXTENDED, PROTECTED, OR REMOVED BY THE CONTRACTOR AS DIRECTED OR REQUIRED BY THE UTILITY ENTITY OR OWNER UNLESS OTHERWISE NOTED.
8. CONTRACTOR MUST COORDINATE THE CUTTING AND CAPPING OF ALL UTILITIES WITH THE OWNER, THE MUNICIPALITY, AND ALL APPLICABLE UTILITY ENTITIES HAVING JURISDICTION.
9. INACTIVE SUBSURFACE UTILITIES NOT IN CONFLICT WITH THE PROPOSED WORK AREA MAY BE ABANDONED IN PLACE WITH WRITTEN PERMISSION FROM THE OWNER.

TRAFFIC NOTES:

- 1. ALL TRAFFIC CONTROL MUST CONFORM TO THE FEDERAL HIGHWAY ADMINISTRATION (FHWA) MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) CURRENT EDITION.
2. DURING CONSTRUCTION, TRAFFIC CONES MUST BE USED FOR SEPARATION OF ACTIVE TRAFFIC FROM WORK ZONE PER MUTCD REQUIREMENTS.
3. DURING CONSTRUCTION FLAGGERS MUST BE EMPLOYED TO ENSURE SAFETY FOR INTERACTION OF CONSTRUCTION VEHICLES AND ACTIVE TRAFFIC.
4. ALL SIGNS, FLAGGERS, TRAFFIC CONTROL DEVICES, AND TEMPORARY TRAFFIC ZONE ACTIVITIES MUST MEET THE REQUIREMENTS OF THE MUTCD LATEST EDITION AND SUBSEQUENT ADDENDA.
5. TEMPORARY CONSTRUCTION SIGNS MUST BE MOUNTED ON RIDOT APPROVED SUPPORTS AND MUST BE REMOVED OR COVERED WHEN NOT APPLICABLE.

AS-BUILT NOTES:

ALL COMPONENTS OF THE DRAINAGE, SEWER, AND WATER SYSTEMS MUST BE FIELD LOCATED PRIOR TO COVERING. NOTIFY SURVEYOR A MINIMUM OF SEVENTY (70) HOURS IN ADVANCE OF NEED FOR FIELD LOCATION OF IMPROVEMENTS. SURVEYOR MUST PROVIDE OWNER AND CONTRACTOR WITH WRITTEN NOTICE OF COMPLETION OF FIELD WORK PRIOR TO CONTRACTOR COVERING IMPROVEMENTS. OWNER/DIPRETE WILL NOT ACCEPT FIELD MEASUREMENTS FROM THE SITE CONTRACTOR.

LAYOUT AND MATERIALS:

- 1. DIMENSIONS ARE FROM THE FACE OF CURB, FACE OF BUILDING, FACE OF WALL, AND CENTER LINE OF PAVEMENT MARKINGS, UNLESS OTHERWISE NOTED.
2. CURBING MUST BE PRECAST CONCRETE OR AS SHOWN ON THE PLANS.
3. SIDEWALK MUST BE CONCRETE OR AS SHOWN ON THE PLANS.
4. SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THEIR ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS.
5. SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND DETAILS.
6. PROPOSED BOUNDS AND ANY EXISTING PROPERTY LINE MONUMENTATION DISTURBED DURING CONSTRUCTION MUST BE SET OR RESET BY A PROFESSIONAL LICENSED SURVEYOR.
7. CONTRACTOR MUST NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS AND DATA FILES THAT ARE OBTAINED FROM THE DESIGNERS.
8. INFRARED TREATMENT OF PAVEMENT IS REQUIRED AT ALL CURB CUTS, AT ANY DISTURBED PAVEMENT ON ROADWAYS, AND WHERE ANY NEW PAVEMENT MEETS EXISTING PAVEMENT.
9. ALL EXISTING PAVEMENT MARKING REMOVED AS INCIDENTAL DURING CONSTRUCTION MUST BE REPLACED IN-KIND FOLLOWING COMPLETION OF CONSTRUCTION UNLESS OTHERWISE NOTED.
10. NEW PAVEMENT MARKING MUST BE FAST DRYING TRAFFIC PAINT, MEETING THE REQUIREMENTS OF AASHTO M248 TYPE F. PAINT MUST BE APPLIED AS SPECIFIED BY THE MANUFACTURER.

REDEVELOPMENT NOTES:

- 1. ALL EXISTING MANHOLE COVERS, GRATES, VALVE BOXES, SHUT-OFFS, AND HAND HOLES WITHIN THE LIMIT OF WORK MUST BE RESET TO FINISHED GRADE.
2. THE CONTRACTOR MUST PROTECT AND MAINTAIN ALL BUILDINGS TO REMAIN AND ALL ACTIVE UTILITIES THAT SERVICE THE BUILDINGS TO REMAIN.
3. ALL UTILITY STRUCTURES INDICATED TO BE ABANDONED MUST BE CUT TO FOUR FEET BELOW FINISH GRADE ELEVATION, INLETS AND OUTLETS PLUGGED WITH MORTAR, AND SEALED WITH CONCRETE, UNLESS OTHERWISE NOTED.
4. WHEN ABANDONING INACTIVE UTILITY PIPES NEAR THE PROPERTY LINE, THE CONTRACTOR MUST CAP OR PLUG IN PLACE AT THE PROPERTY LINE.
5. CONTRACTOR MUST DOCUMENT LOCATION OF ALL SUBSURFACE UTILITIES REMAINING IN PLACE AFTER DEMOLITION (ACTIVE AND INACTIVE/ABANDONED).
6. NO GUARANTEE IS MADE THAT THE EXISTING UTILITY SERVICE CONNECTION(S) ARE SUITABLE FOR REUSE.
7. EXISTING UTILITY SERVICE CONNECTIONS WERE NOT FIELD VERIFIED FOR SIZE, MATERIAL, EXACT LOCATION, OR INSPECTED FOR SUITABILITY FOR REUSE.

GRADING AND UTILITY NOTES:

- 1. CONSTRUCTION TO COMMENCE FALL 2021 OR UPON RECEIPT OF ALL NECESSARY APPROVALS.
2. THE CONTRACTOR MUST COORDINATE WITH CROSSPOINT ASSOCIATES, INC. AND ALL OF THE APPROPRIATE UTILITY COMPANIES FOR AGREEMENTS TO SERVICE THE PROPOSED BUILDING.
3. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING FINISH GRADING AND DRAINAGE AROUND THE BUILDING TO ENSURE SURFACE WATER AND/OR GROUNDWATER IS DIRECTED AWAY FROM THE STRUCTURE.
4. PRIOR TO START OF CONSTRUCTION, CONTRACTOR MUST VERIFY EXISTING PAVEMENT ELEVATIONS AT INTERFACE WITH PROPOSED PAVEMENTS.
5. ALL PROPOSED UNDERGROUND UTILITIES SERVING THE SITE AND BUILDINGS MUST BE COORDINATED WITH OWNER, ARCHITECT, AND ENGINEER PRIOR TO INSTALLATION.
6. ALL CUT AND FILL WORK MUST BE DONE UNDER THE DIRECTION OF GEOTECHNICAL CONSULTANTS, INC.
7. TRENCHES MUST NOT BE LEFT OPEN OVERNIGHT.
8. ALL LOAM IN DISTURBED AREAS MUST BE STOCKPILED FOR FUTURE USE.
9. ALL EXCESS SOIL, TREES, ROCKS, BouldERS, AND OTHER REFUSE, MUST BE DISCARDED OFF SITE IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS.
10. THE SITE WILL HAVE 6" CONCRETE CURBING.
11. NO STUMP DUMPS ARE PROPOSED ON SITE.
12. CONSTRUCTION MUST PROVIDE SAW CUTTING AND FULL DEPTH PAVEMENT RESTORATION IN AREAS WHERE PAVEMENT AND/OR SIDEWALK IS REMOVED FOR UTILITY INSTALLATION.

DRAINAGE:

ALL DRAINAGE PIPING MUST BE HIGH-DENSITY POLYETHYLENE (HDPE) WITH WATERTIGHT JOINTS WHERE INSTALLED WITHIN THE SEASONAL HIGH GROUNDWATER TABLE.
DRAINAGE STRUCTURES MUST BE AS FOLLOWS (UNLESS OTHERWISE NOTED ON PLANS):
MANHOLES: RIDOT STD 4.2.0, 4.2.1 OR 4.2.2 AS REQUIRED
DRAINAGE MANHOLE COVERS: RIDOT STD 6.2.1
ALL DRAINAGE STRUCTURES MUST BE WATERTIGHT.

DRAINAGE CONNECTIONS FROM ALL YARD DRAINS (YD), AREA DRAINS (AD), TRENCH DRAINS (TD), FRENCH DRAINS (FD), WALL DRAINS (WD), AND DOWNSPOUTS (DS) ARE SHOWN FOR SCHEMATIC PURPOSES ONLY.
SANITARY SEWER: ALL SANITARY SEWER PIPING MUST BE SDR 35 UNLESS NOTED OTHERWISE ON THE PLANS OR IN THE SPECIFICATIONS.

WATER:

ALL WATER MAINS MUST BE CEMENT LINED DUCTILE IRON PIPE (CLDIP). ALL WATER MAIN IMPROVEMENTS MUST COMPLY WITH NEWPORT WATER REGULATIONS AND ANY APPLICABLE AUTHORITY HAVING JURISDICTION.
ELECTRIC/TELECOM/GAS: PROPOSED GAS, ELECTRIC, CABLE AND DATA UTILITIES ARE SHOWN SCHEMATICALLY AND ARE PROPOSED TO BE UNDERGROUND.

SITE LIGHTING:

SITE LIGHTING (TEMPORARY AND PERMANENT) MUST BE DIRECTED AWAY FROM AND SHIELDED FROM ABUTTING LAND AND STREETS. EXACT LOCATIONS OF LIGHT POLES MUST BE COORDINATED WITH THE APPROPRIATE UTILITIES.

AMERICANS WITH DISABILITIES ACT (ADA) NOTES:

- 1. ALL IMPROVEMENTS MUST COMPLY WITH THE 'AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES' (ADAAG) BY THE US DEPARTMENT OF JUSTICE (CURRENT EDITION).
2. MAXIMUM RUNNING SLOPE ALONG ALL ACCESSIBLE PATHS OF TRAVEL MUST BE 4.5% (0.045 FT/FT), AND MAXIMUM CROSS SLOPE ACROSS ALL ACCESSIBLE PATHS OF TRAVEL MUST BE 1.5% (0.015 FT/FT).
3. ADA PARKING SPACES AND LOADING AREAS: THE STEEPEST SLOPE OF THE SPACE, MEASURED IN ANY DIRECTION (INCLUDING DIAGONALLY), MUST BE LESS THAN OR EQUAL TO 2% (0.02 FT/FT).
4. A MINIMUM 5'x6' LANDINGS MUST BE PROVIDED IN FRONT OF ALL PUBLICLY ACCESSIBLE BUILDING ENTRANCES/EGRESSES.
5. FOR EVERY 6 (OR FRACTION OF 6) ADA PARKING SPACES, AT LEAST ONE MUST BE A VAN PARKING SPACE.
6. NOTWITHSTANDING THE NOTES LISTED ABOVE, TOWN OR STATE-SPECIFIC STANDARDS MAY BE MORE STRINGENT AND OVERRULE.
7. NOTE THAT THE GRADING/PLAN VIEWS AND DETAILS CONTAINED WITHIN THIS PLAN SET MAY NOT SHOW THE DETAIL NECESSARY TO CONSTRUCT WALKWAYS, RAMPS AND SPACES TO COMPLY WITH THE ABOVE REQUIREMENTS.

UC NOTES:

- 1. 400 FT FROM ALL PUBLIC WATER WELLS (SAND AND GRAVEL)
2. 200 FT FROM ALL PUBLIC WATER WELLS (BEDROCK)
3. 200 FT FROM ALL SURFACE DRINKING WATER SUPPLY IMPOUNDMENTS
4. 100 FT FROM ALL PRIVATE DRINKING WATER WELLS
5. 100 FT FROM ALL OTHER SURFACE WATERS
6. 25 FT FROM ALL DOWNS AND OTHER GROUNDWATER DISCHARGE SYSTEMS
7. 25 FT FROM ALL BUILDING FOUNDATIONS IF SYSTEM IS ABOVE SLAB ELEVATION.
8. 10 FT FROM ALL PROPERTY LINES
9. 10 FT FROM ALL BUILDING FOOTINGS

ABBREVIATIONS LEGEND:

Table with 3 columns: Abbreviation, Description, and Symbol. Includes ADA (Americans with Disability Act), AHJ (Authority Having Jurisdiction), ARCH (Architect), BC (Bottom of Curb), BT (Bottom of Testhole), BIT (Bituminous (Berm)), BIOR (Bioretention), BS (Basement Slab Elevation), BW (Finished Grade at Bottom of Wall), CB (Catch Basin), CA (Calculated), CL (Centerline), CHA (Chord Angle), CLDIP (Concrete Lined Ductile Iron Pipe), CO (Clean Out), CONC (Concrete), DCB (Double Catch Basin), DI (Drop Inlet), DMH (Drainage Manhole), DP (Detention Pond), ELEV (Elevation), EOP (Edge of Pavement), ESP (Erosion and Sediment Control), EX (Existing), FES (Flared End Section), FFE (Finish Floor Elevation), GS (Garage Slab Elevation), GW (Ground Water Table), HW (Headwall), HC (High Capacity Catch Basin Grate), HDPE (High Density Polyethylene), ID (In-Line Drain), INV (Invert), IP (Infiltration Pond), LARCH (Landscape Architect), LF (Linear Feet), LOD (Limit of Disturbance), LP (Light Pole), (M) (Measured), MP (Mechanical/Electrical/Plumbing Engineer), N/F (Now or Formerly), OHW (Overhead Wire), PE (Polyethylene), R (Proposed), PVC (Polyvinyl Chloride), R (Radius), R&D (Remove and Dispose), RCP (Reinforced Concrete Pipe), RHODE (Rhode Island), RHB (Rhode Island Highway Bound), RL (Roof Leader), ROW (Right-of-Way), S (Slope), SD (Subdrain), SED (Sediment Forebay), SF (Square Foot), SFL (State Freeway Line), SFM (Sewer Force Main), SG (Slab on Grade Elevation), SHL (State Highway Line), SMH (Sewer Manhole), SNDF (Sand Filter), SS (Side Slope), STA (Station), TYP (Typical), UDS (Underground), UIS (Underground), UIS (Underground), UPL (Utility Pole), WQ (Walkout Elevation), WQ (Water Quality).

SITE CALLOUTS LEGEND:

Table with 2 columns: Callout Symbol, Description. Includes 7.1.0 (Ridiot STD Precast Concrete Curb), 20.1.0 (Pavement Markings Arrows and Only), LW (4" Painted White Markings), 4W&S (4" White Striping 2' On Center at 45°), ISW (Stop Line (Reference MUTCD Section 3B.16)), ADAS (ADA Space Pavement Markings Must Comply with All ADA and MUTCD Regulations and Requirements), ADAR (ADA CURB RAMP MUST COMPLY WITH ALL ADA REGULATIONS AND REQUIREMENTS), ADAP (VAN ADA SPACE PAVEMENT MARKINGS MUST COMPLY WITH ALL ADA AND MUTCD REGULATIONS AND REQUIREMENTS), CWK (CROSSWALK PAVEMENT MARKINGS, SOLID 2' WHITE LINES SPACED 4' OC (REFERENCE MUTCD SECTION 3B.18)).

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
REVIEWED SITE PLAN APPLICATION #: 21-0253
DATED: MAY 26 2022
SEE LETTER OF APPROVAL
Mary L. Frenkel

EXISTING LEGEND:

Table with 3 columns: Description, Symbol, and Abbreviation. Includes PROPERTY LINE, ASSESSORS LINE, BUILDING, BRUSHLINE, TREELINE, GUARDRAIL, FENCE, RETAINING WALL, STONE WALL, MINOR CONTOUR LINE, MAJOR CONTOUR LINE, WATER LINE, SEWER LINE, SEWER FORCE MAIN, GAS LINE, ELECTRIC LINE, OVERHEAD WIRES, DRAINAGE LINE, SOILS LINES, 50' PERIMETER WETLAND, 100' RIVERBANK WETLAND, 200' RIVERBANK WETLAND, FEMA BOUNDARY, TOP OF WALL (FINISHED), GRADE AT TOP OF WALL, STREAM, WETLAND LINE & FLAG, STATE HIGHWAY LINE, STATE FREEWAY LINE, GROUNDWATER OVERLAY, GROUNDWATER RECHARGE AREA, GROUNDWATER RESERVOIR, NATURAL HERITAGE, COMMUNITY WELLHEAD PROTECTION, NON-COMMUNITY WELLHEAD PROTECTION.

PROPOSED LEGEND:

Table with 3 columns: Description, Symbol, and Abbreviation. Includes PROPERTY LINE, BUILDING SETBACKS, CHAINLINK FENCE, GUARDRAIL SEE LAYOUT AND MATERIALS NOTE 8, RETAINING WALL, MINOR CONTOUR LINE, MAJOR CONTOUR LINE, SPOT ELEVATION, EDGE OF PAVEMENT, BITUMINOUS BERM, CONCRETE CURB (RIDOT STD 7.1.0), BUILDING FOOTPRINT, BUILDING OVERHANG, ASPHALT PAVEMENT, MILL & OVERLAY PAVEMENT AREA, HEAVY DUTY CONCRETE, CONCRETE, ASPHALT SIDEWALK, SAWCUT LINE, SIGN (RIDOT STD 24.6.2 AS APPLICABLE), SINGLE LIGHT, DOUBLE LIGHT, OVERHANGING LIGHT, ACCESSIBLE PARKING SPACE SYMBOLS, BUILDING INGRESS/EGRESS, PARKING COUNT, DRAINAGE LINE, PERFORATED SUBDRAIN, SWALE, SEWER FORCE MAIN, WATER LINE, HYDRANT ASSEMBLY, WATER VALVE, THRUST BLOCK, SEWER LINE, OVERHEAD WIRE, ELECTRIC, TELEPHONE, CABLE LINE, LIMIT OF DISTURBANCE/LIMIT OF CLEARING, SEDIMENTATION BARRIER, SILT FENCE (RIDOT STD 9.2.0), COMPOST SOCK OR APPROVED EQUAL, SLOPES STEEPER THAN 3:1 (2:1 OR 1:1 SLOPES), UNDERGROUND INFILTRATION OUTLINE, POND ACCESS, RIPRAP, SAND FILTER, CATCH BASIN, DOUBLE CATCH BASIN, MANHOLE, FLARED END SECTION, HEADWALL.

UTILITY NOTE:

ALL UNDERGROUND UTILITIES SHOWN ON THESE PLANS WERE PROVIDED BY OTHERS AND ARE APPROXIMATE ONLY. LOCATIONS MUST BE DETERMINED IN THE FIELD BEFORE EXCAVATION, BLASTING, UTILITY INSTALLATION, BACKFILLING, GRADING, PAVEMENT RESTORATION, AND ALL OTHER SITE WORK.
PREPARED FOR: AQUIDNECK GROUP LLC c/o CROSSPOINT ASSOCIATES, INC.
188 NEEDHAM STREET, SUITE 255, NEWTON, MA 02464
TEL: (508) 685-0505

Diprete Engineering
90 Broadway Newport, RI 02840
tel: 401-619-5950 fax: 401-661-6006 www.diprete-eng.com
Boston • Providence • Newport

MOLLY R. TITUS
No. [Signature]
REGISTERED PROFESSIONAL ENGINEER CIVIL

CP
CROSSPOINT ASSOCIATES, INC.

Table with 3 columns: NO., DATE, DESCRIPTION. Includes 1 (01-20-2022) (SUBMIT TO COMMENTS), 2 (02-22-2022) (SUBMIT TO COMMENTS), 3 (02-22-2022) (SUBMIT TO COMMENTS), 4 (02-22-2022) (SUBMIT TO COMMENTS), 5 (02-22-2022) (SUBMIT TO COMMENTS), 6 (02-22-2022) (SUBMIT TO COMMENTS), 7 (02-22-2022) (SUBMIT TO COMMENTS), 8 (02-22-2022) (SUBMIT TO COMMENTS).

DESIGN BY: NNP
DRAWN BY: SDH

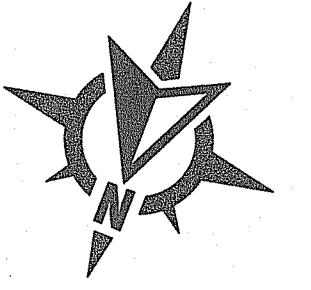
NOTES & LEGEND
AQUIDNECK CENTRE
ASSASSOR'S PLAT 107SE LOT 106
MIDDLETOWN, RHODE ISLAND
PREPARED FOR: AQUIDNECK GROUP LLC c/o CROSSPOINT ASSOCIATES, INC.
188 NEEDHAM STREET, SUITE 255, NEWTON, MA 02464
TEL: (508) 685-0505

Z:\DEMANPROJECTS\2162-004_AQUINECK CENTER\AUTOCAD DRAWINGS\2162-004-PLAN.DWG PLOTTER: 4/29/2022

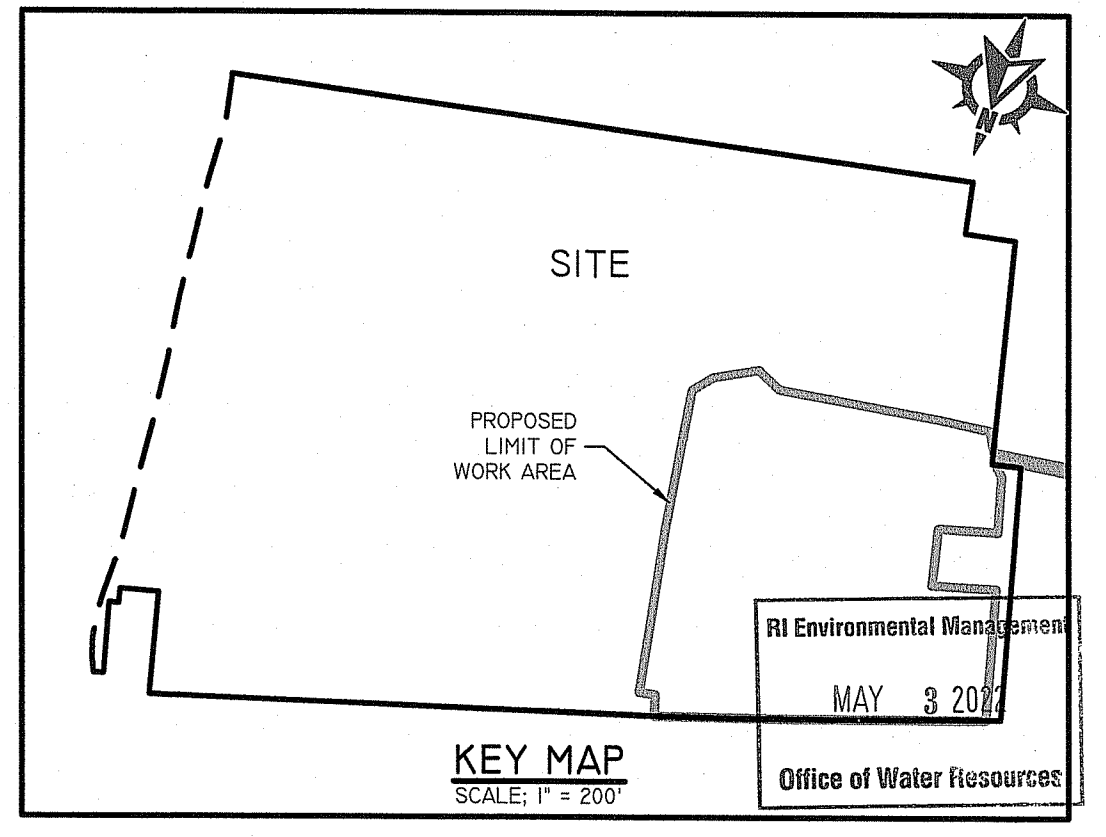


SOIL EROSION CONTROL LEGEND

- EROSION CONTROL (COMPOST SOCK OR APPROVED EQUAL)
- LIMIT OF DISTURBANCE
- LIMIT OF DISTURBANCE (WITH SEDIMENT CONTROL)
- INFILTRATING AREA (TO BE PROTECTED BY COMPOST SOCK)
- FINAL CONTOUR GRADE
- INLET SEDIMENT CONTROL



RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 REVIEWED SITE PLAN APPLICATION #: 21-0253
 DATED: MAY 26 2022
Molly R. Titus



SCALE: 1"=20'
 0 10' 20' 40'

DiPrete Engineering
 90 Broadway, Newport, RI 02840
 tel 401-699-5999 fax 401-464-6006 www.diprete-eng.com
 Boston • Providence • Newport

MOLLY R. TITUS

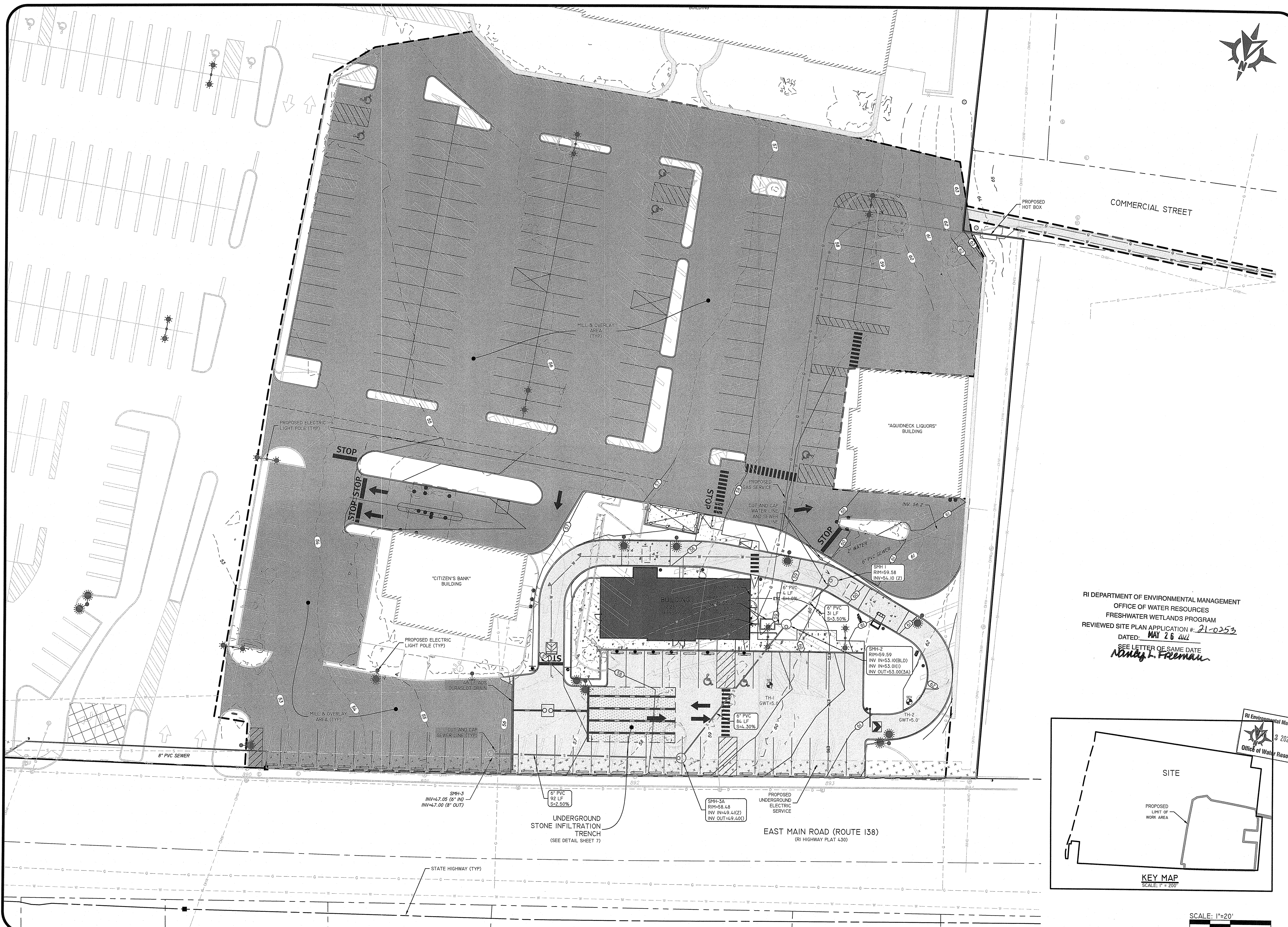
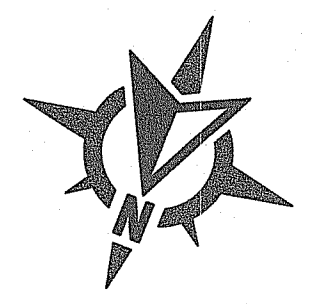
 No.
 REGISTERED PROFESSIONAL ENGINEER CIVIL

CP
 Crosspoint

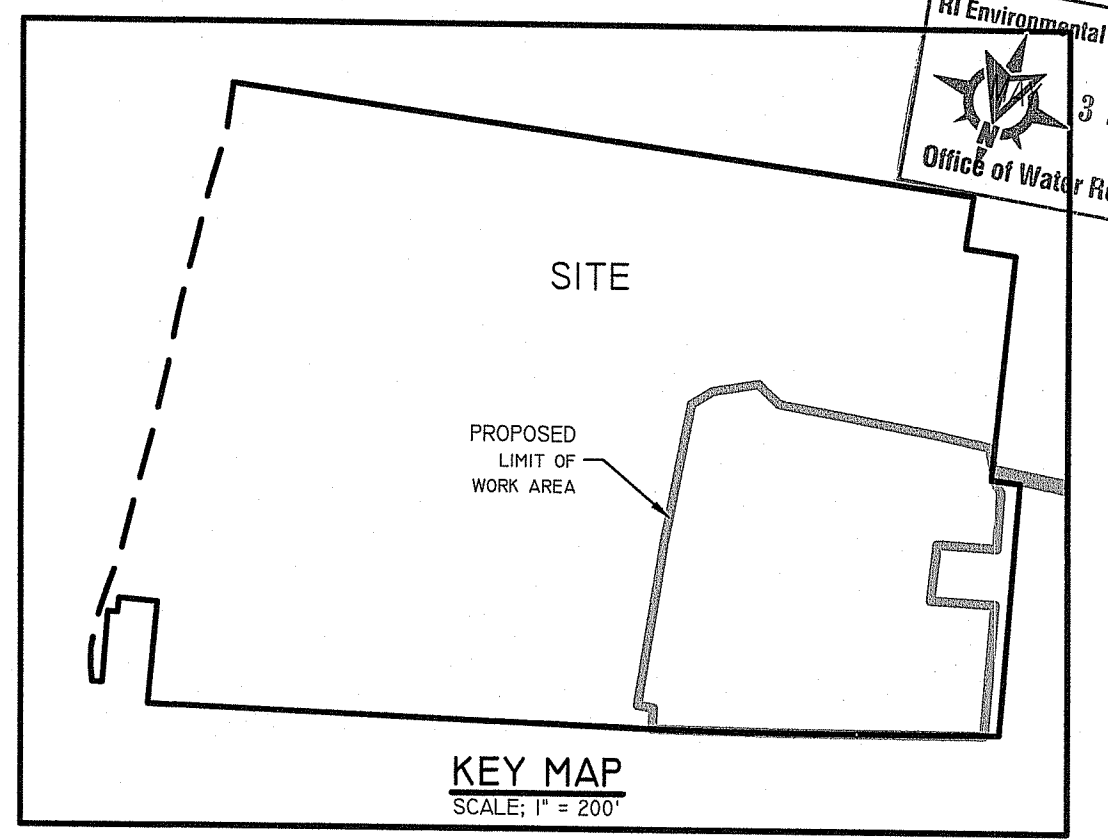
THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS STAMPED AND SIGNED FOR CONSTRUCTION AND STAMPED BY ENGINEERING.
 DIPRETE ENGINEERING ONLY WARRANTS PLANS ON A DIPRETE PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING. DIPRETE ENGINEERING DOES NOT WARRANT PLANS BY ANY OTHER PARTY.
 THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE NEARBY EXISTING UTILITIES AND FOR OBTAINING NECESSARY PERMITS FOR CONFORMANCE IN THE IMPLEMENTATION OF THIS PLAN AND EXISTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE ONLY. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITIES NOT SHOWN ON THIS PLAN. SEE UTILITY MAPS ON SHEETS.

| NO. | DATE | DESCRIPTION | BY: | DESIGN BY: SDH |
|-----|------------|-------------------------|-----|----------------|
| 1 | 05-26-2022 | 50% PROGRESS PERMIT SET | NMP | DESIGN BY: NMP |
| 2 | 05-26-2022 | REVISIONS TO COMMENTS | NMP | |
| 3 | 05-26-2022 | REVISIONS TO COMMENTS | NMP | |
| 4 | 05-26-2022 | REVISIONS TO COMMENTS | NMP | |
| 5 | 05-26-2022 | REVISIONS TO COMMENTS | NMP | |
| 6 | 05-26-2022 | REVISIONS TO COMMENTS | NMP | |
| 7 | 05-26-2022 | REVISIONS TO COMMENTS | NMP | |
| 8 | 05-26-2022 | REVISIONS TO COMMENTS | NMP | |
| 9 | 05-26-2022 | REVISIONS TO COMMENTS | NMP | |
| 10 | 05-26-2022 | REVISIONS TO COMMENTS | NMP | |

SOIL EROSION & SEDIMENT CONTROL PLAN
AQUINECK CENTRE
 ASSESSOR'S PLAT 107SE LOT 106
 MIDDLETOWN, RHODE ISLAND
 PREPARED FOR:
AQUINECK GROUP LLC c/o CROSSPOINT ASSOCIATES, INC.
 188 NEEDHAM STREET, SUITE 255, NEWTON, MA 02464
 TEL (508) 655-0505
 SHEET **4** OF 8



RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 REVIEWED SITE PLAN APPLICATION # 21-0253
 DATED: MAY 26 2021
 SEE LETTER OF SAME DATE
Nancy L. Freeman



SCALE: 1"=20'
 0 10' 20' 40'

Z:\MEHMAN\PROJECTS\1062-004-AQUIDNECK CENTER\AUTOCAD DRAWINGS\1062-004-PLAN.DWG PLOTTED: 4/29/2022

Diprete Engineering
 90 Broadway Newport, RI 02840
 tel 401-697-9390 fax 401-694-0006 www.diprete-eng.com

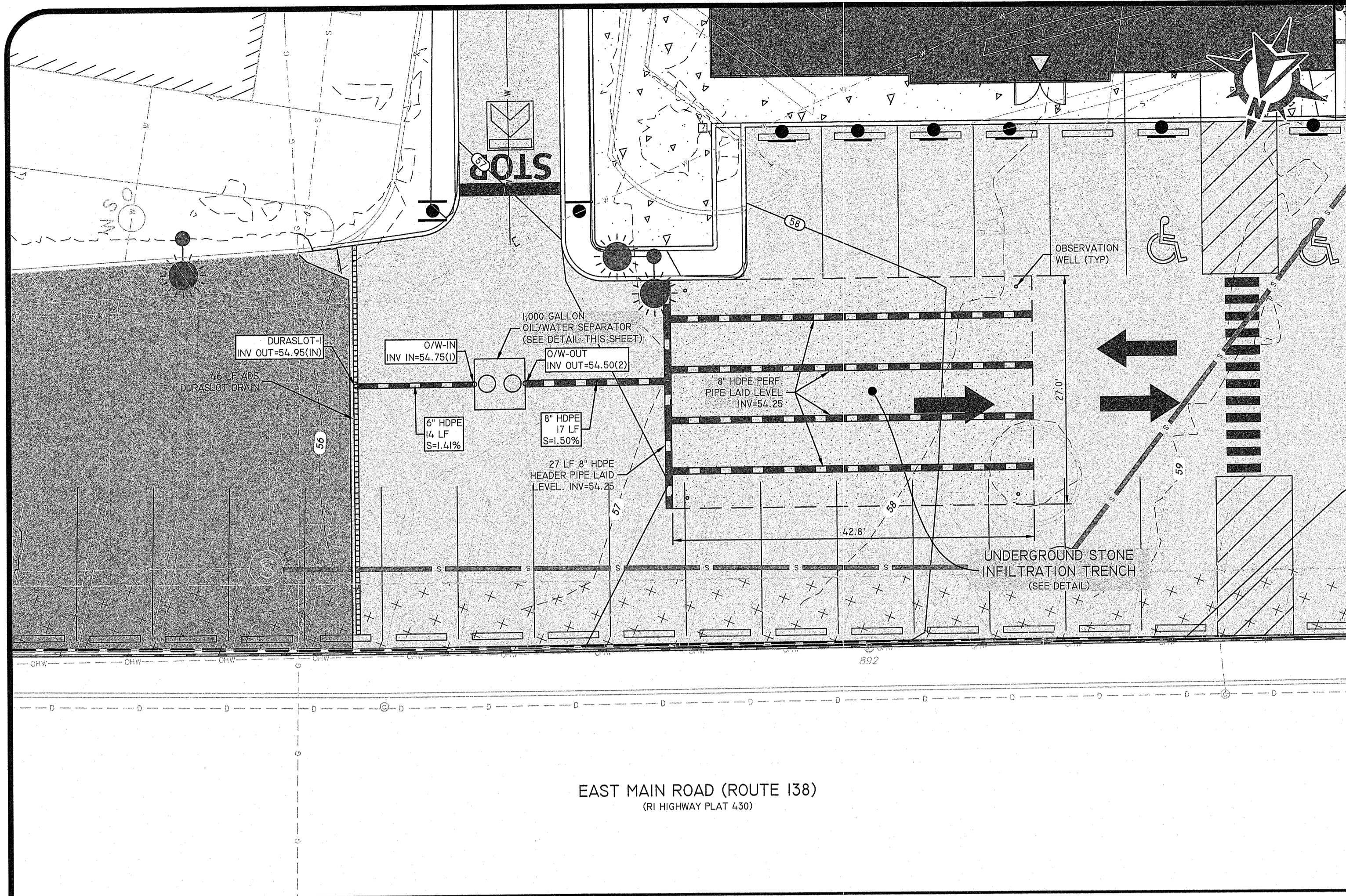
MOLLY R. TITUS
 No. *[Signature]*
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL

CP

THIS PLAN SET HAS BEEN PREPARED FOR CONSTRUCTION PURPOSES UNLESS STAMPED ISSUED FOR CONSTRUCTION AND STAMPED BY AN ENGINEERING PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING. DIPRETE ENGINEERING ONLY WARRANTS PLANS ON A DIPRETE PROFESSIONAL ENGINEER'S PLAN. DIPRETE ENGINEERING DOES NOT WARRANT PLANS BY ANY OTHER PARTY. THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE MEANS, METHODS, MATERIALS, AND WORKMANSHIP IN THE IMPLEMENTATION OF THIS PLAN AND SPECIFICATIONS.

| NO. | DATE | REVISION |
|-----|------------|---------------------------|
| 1 | 10-25-2021 | 100% RESPONSE TO COMMENTS |
| 2 | 10-25-2021 | 100% RESPONSE TO COMMENTS |
| 3 | 10-25-2021 | 100% RESPONSE TO COMMENTS |
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| 99 | 10-25-2021 | 100% RESPONSE TO COMMENTS |
| 100 | 10-25-2021 | 100% RESPONSE TO COMMENTS |

GRADING & UTILITIES PLAN
 AQUIDNECK CENTRE
 ASSESSOR'S PLAT 107SE LOT 106
 MIDDLETOWN, RHODE ISLAND
 PREPARED FOR:
 AQUIDNECK GROUP LLC c/o CROSSPOINT ASSOCIATES, INC.



EAST MAIN ROAD (ROUTE 138)
(RI HIGHWAY PLAT 430)

UNDERGROUND STONE INFILTRATION TRENCH

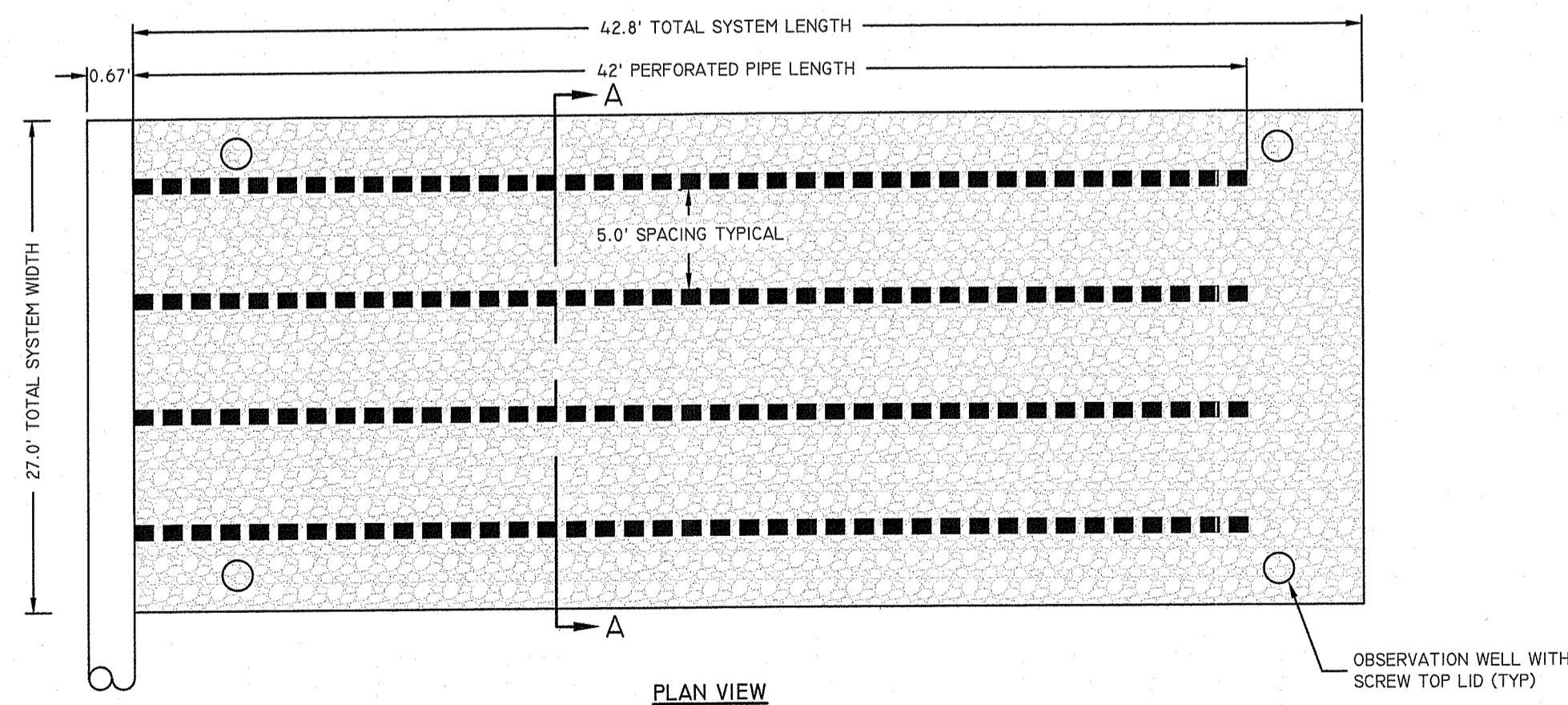
SCALE: 1"=10'
0 5' 10' 20'

NOTES:

- PIPE SHALL BE HDPE OR ALUMINIZED TYPE 2. ALL PIPE MUST BE FULLY PERFORATED. CONTRACTOR TO PROVIDE SHOP DRAWINGS TO DESIGN ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.
- HEADER PIPE CAN BE CUSTOM MANUFACTURED OR CONSTRUCTED USING PIPE FITTINGS. CONTRACTOR TO PROVIDE SHOP DRAWINGS TO DESIGN ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.

| DESCRIPTION | LIST |
|-------------------------------|-------|
| TOP OF US STONE ELEVATION | 54.00 |
| BOTTOM OF US STONE ELEVATION | 54.00 |
| WATER QUALITY STORM ELEVATION | 55.58 |
| SEASONAL HIGH GWT ELEVATION** | 48.00 |
| SOIL EVALUATION* | IF-1 |

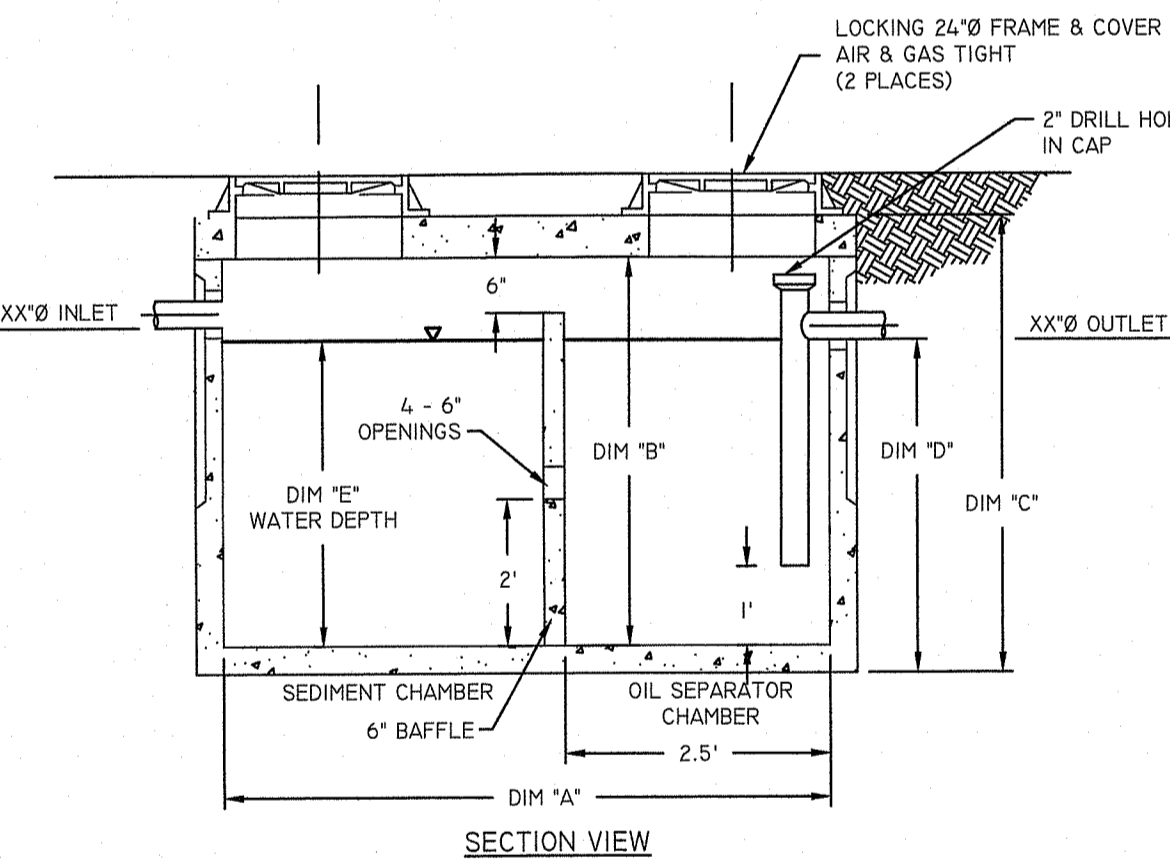
*SOIL EVALUATIONS PERFORMED BY VHB
**SEASONAL HIGH GROUNDWATER TABLE TO BE FIELD VERIFIED AT THE TIME OF CONSTRUCTION BY DESIGN ENGINEER



| GALLON CAPACITY | 1000 |
|---------------------|-----------|
| MODEL NO. | OW-1000 |
| DIM "A" | 6'-0" SQ. |
| DIM "B" | 5'-0" |
| DIM "C" | 6'-0" |
| DIM "D" | 4'-6" |
| WATER DEPTH DIM "E" | 4'-0" |

NOTE:

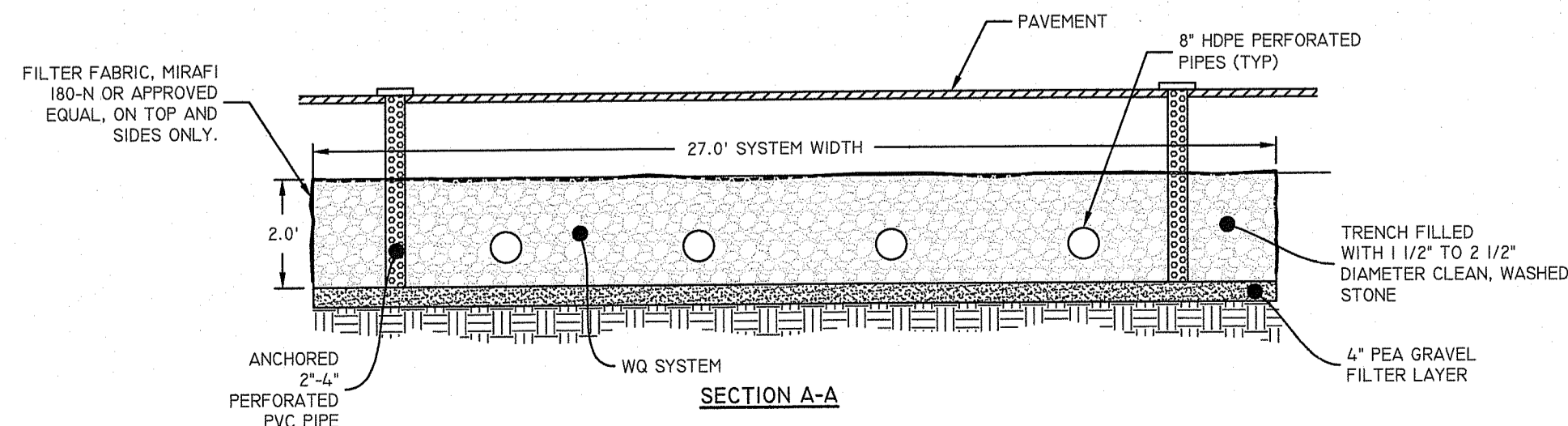
- CONCRETE: 28 DAY COMPRESSIVE STRENGTH $f'c = 5000$ PSI
- REBAR: ASTM A-615 GRADE 60
- DESIGN: ASTM C-858 AND ACI 318
- LOADS: AASHTO H-20 TRUCK WHEEL, WITH 30% IMPACT PER AASHTO
- CONTRACTOR TO SUPPLY AND INSTALL ALL PIPING AND SAMPLING TEES
- CONSTRUCTION JOINT SEALANT 1" DIA. BUTYL RUBBER OR EQUIVALENT
- INTERIOR OF TANK IS COATED WITH PETROLEUM RESISTANT EPOXY SEALANT
- BAFFLE TO BE TIGHTLY SEALED AT SIDEWALLS AND AT THE ROOF
- CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO DESIGN ENGINEER FOR APPROVAL PRIOR TO ORDERING OIL/WATER SEPARATOR (OW-1000).



1,000 GALLON OIL/WATER SEPARATOR
(OLD CASTLE PRECAST OR APPROVED EQUAL)
NOT TO SCALE

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
REVIEWED SITE PLAN APPLICATION # 21-0253
DATED MAY 26 2022

SEE LETTER OF SAME DATE
Molly R. Titus



UNDERGROUND STONE INFILTRATION TRENCH

NOT TO SCALE

THIS PLAN SET SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS STAMPED, SIGNED FOR CONSTRUCTION AND STAMPED BY THE REGISTERED PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING.
DIPRETE ENGINEERING ONLY WARRANTS PLANS ON A DIPRETE PROFESSIONAL ENGINEER'S SEAL AND SIGNATURE. DIPRETE ENGINEERING DOES NOT WARRANT PLANS BY ANY OTHER PARTY. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR OBTAINING ALL NECESSARY INFORMATION IN THE OPERATION OF THIS PLAN AND FOR OBTAINING ALL NECESSARY INFORMATION IN THE OPERATION OF THIS PLAN AND FOR OBTAINING ALL NECESSARY INFORMATION IN THE OPERATION OF THIS PLAN.
DESIGN UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE. ONLY DIPRETE ENGINEERING ASSURES NO RESPONSIBILITY FOR EXISTING UTILITIES. SEE UTILITY NOTE ON SHEET 3.

| NO. | DATE | DESCRIPTION | BY: |
|-----|------------|-------------|-----|
| 1 | 10-26-2021 | DESIGN | DMF |
| 2 | 10-26-2021 | DESIGN | DMF |
| 3 | 10-26-2021 | DESIGN | DMF |
| 4 | 10-26-2021 | DESIGN | DMF |
| 5 | 10-26-2021 | DESIGN | DMF |
| 6 | 10-26-2021 | DESIGN | DMF |
| 7 | 10-26-2021 | DESIGN | DMF |
| 8 | 10-26-2021 | DESIGN | DMF |
| 9 | 10-26-2021 | DESIGN | DMF |

Bike Rack Details

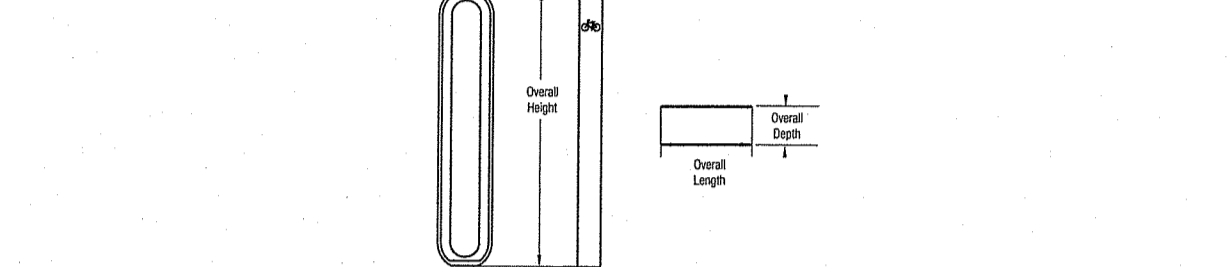


OLYMPIA™ BIKE RACK

The Olympia Bike Rack's smooth, fluid curves combined with the strength that comes with solid corrosion-resistant cast aluminum construction make this rack a perfect choice for parks, corporate campuses and more. Its stand-alone, space-saving design allows for an unlimited number of configuration options for ultimate design flexibility.

| MATERIAL & FINISHES | FINISHES | INSTALLATION & MAINTENANCE |
|--|---|--|
| <p>MAINTENANCE</p> <ul style="list-style-type: none"> • Study to make of corrosion-resistant cast aluminum with a powdercoat finish. | <ul style="list-style-type: none"> • See the Forms+Surfaces Powdercoat Chart for details. Custom RAL colors are available for an upcharge. • Due to the inherent nature of metal castings, glass powdercoats are not offered for cast components. | <p>INSTALLATION</p> <ul style="list-style-type: none"> • Main Association of Pedestrian and Bicycle Professionals (APBP) guidelines. • A locking point detail and mounting configurations that meet APBP guidelines can be found on page 2 of this document. <p>MAINTENANCE</p> <ul style="list-style-type: none"> • Metal surfaces can be cleaned as needed using a soft cloth or brush with warm water and a mild detergent. Avoid abrasive cleaners. |

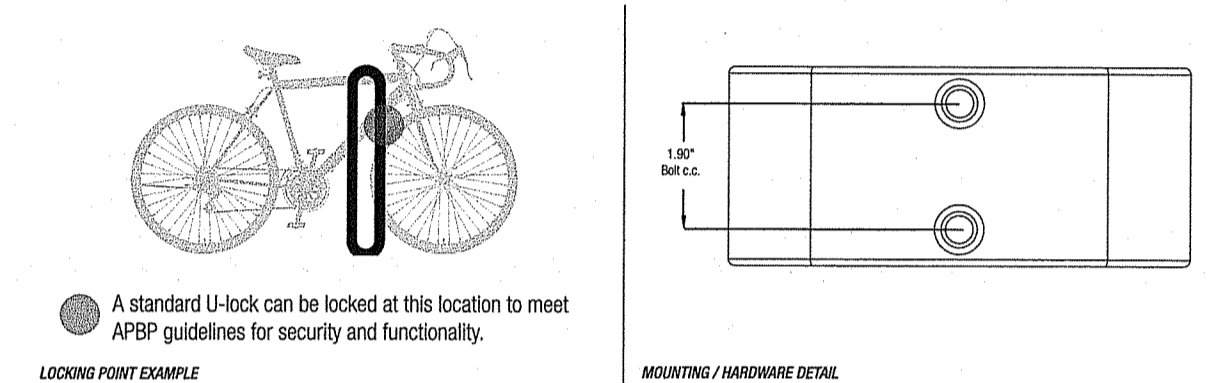
NOMINAL DIMENSIONS



| OVERALL LENGTH | OVERALL DEPTH | OVERALL HEIGHT | WEIGHT |
|----------------|---------------|----------------|--------------------|
| 7' (718 mm) | 3' (76 mm) | 35.6" (904 mm) | 22.2 lbs (10.1 kg) |

LOCKING POINT AND CONFIGURATION EXAMPLES

The Olympia Bike Rack was designed to allow for a multitude of locking point and configuration options to meet your individual needs. Please note that for optimal performance, Forms+Surfaces recommends a 36" center-to-center placement. See diagrams below and the separate installation instructions document for more details.



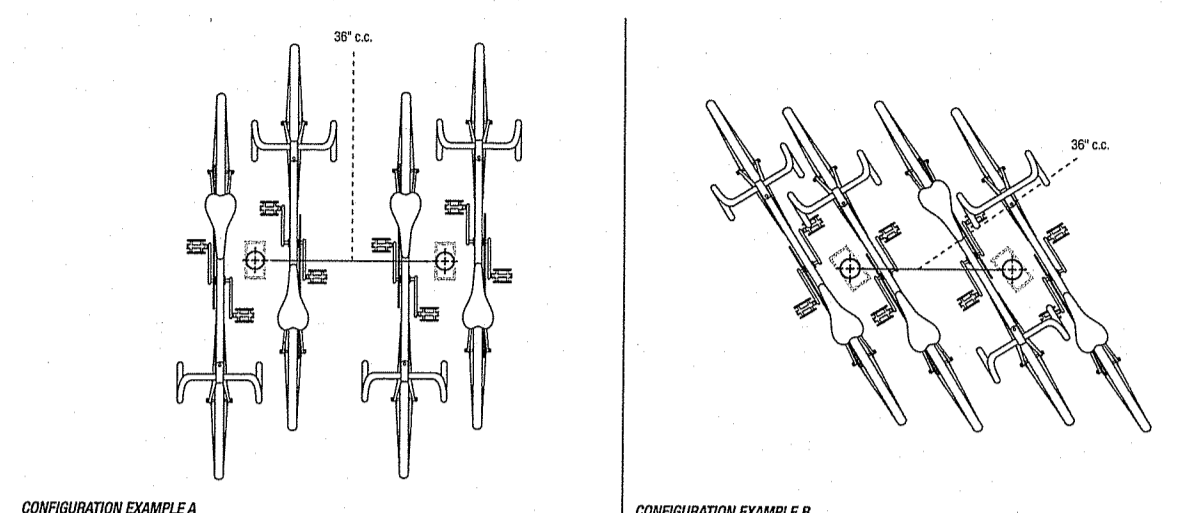
T 800.451.0410 | www.forms-surfaces.com

FORMS+SURFACES

NOTE: NOT FOR CONSTRUCTION

OLYMPIA™ BIKE RACK

LOCKING POINT AND CONFIGURATION EXAMPLES (Continued)



ENVIRONMENTAL CONSIDERATIONS

- Please refer to the Olympia Bike Rack Environmental Data Sheet for detailed environmental impact information.
- Olympia's aluminum casting has up to 95% recycled content and is fully recyclable.
- Standard powdercoat finishes are no-VOC, non-standard powdercoat finishes are no- or low-VOC, depending on color.
- Low maintenance.

MODEL NUMBER AND DESCRIPTION

| MODEL | DESCRIPTION |
|-------|-------------------|
| SK01 | Olympia Bike Rack |

PRODUCT OPTIONS

The following options are available for an upcharge

| |
|---|
| Premium Texture Colors from Forms+Surfaces Powdercoat Chart |
| Custom RAL powdercoat color |

LEAD TIME: 4 weeks. Shorter lead times may be available upon request. Please contact us to discuss your specific timing requirements.

PRICING: Please contact us at 800.451.0410 or sales@forms-surfaces.com. At Forms+Surfaces, we design, manufacture and sell our products directly to you. Our sales team is available to assist you with questions about our products, requests for quotes, and orders. Territory Managers are located worldwide to assist with the front-end specification and quoting process, and our in-house Project Sales Coordinators follow your project through from the time you place an order to shipment.

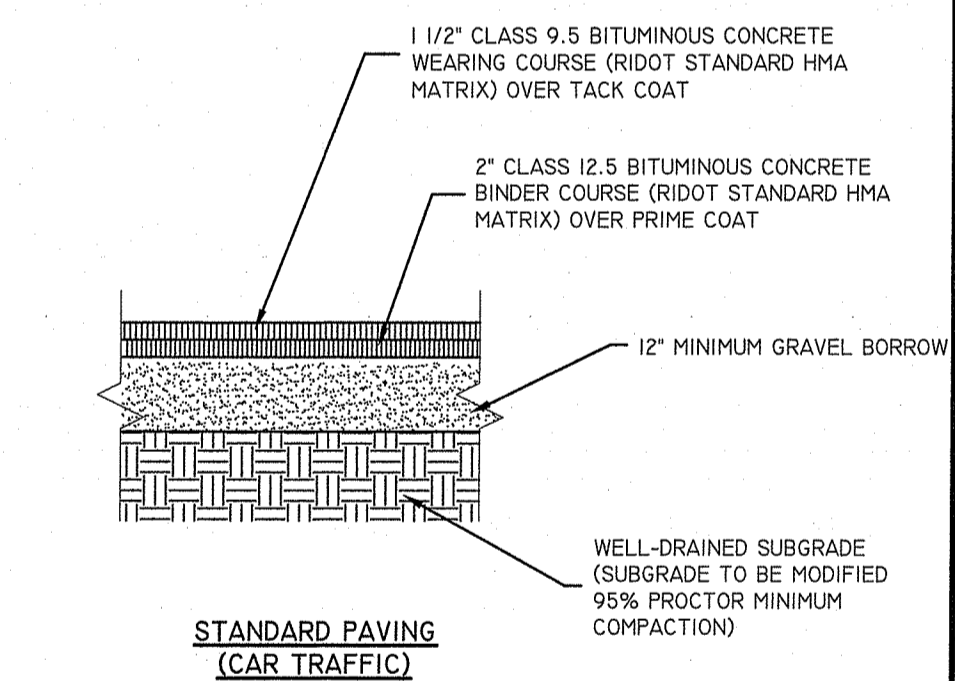
TO ORDER SPECIFY: Quantity, model, powdercoat color for body casting, Quote/Order Forms are available on our website to lead you through the specification process in a simple checklist format.

T 800.451.0410 | www.forms-surfaces.com

FORMS+SURFACES

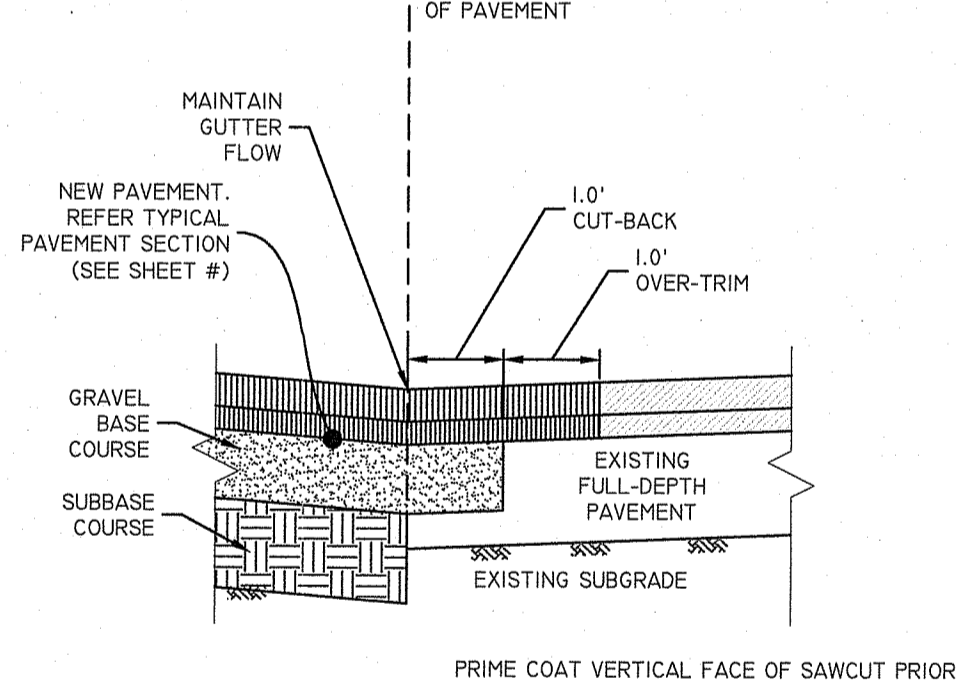
BICYCLE RACK DETAIL

NOT TO SCALE



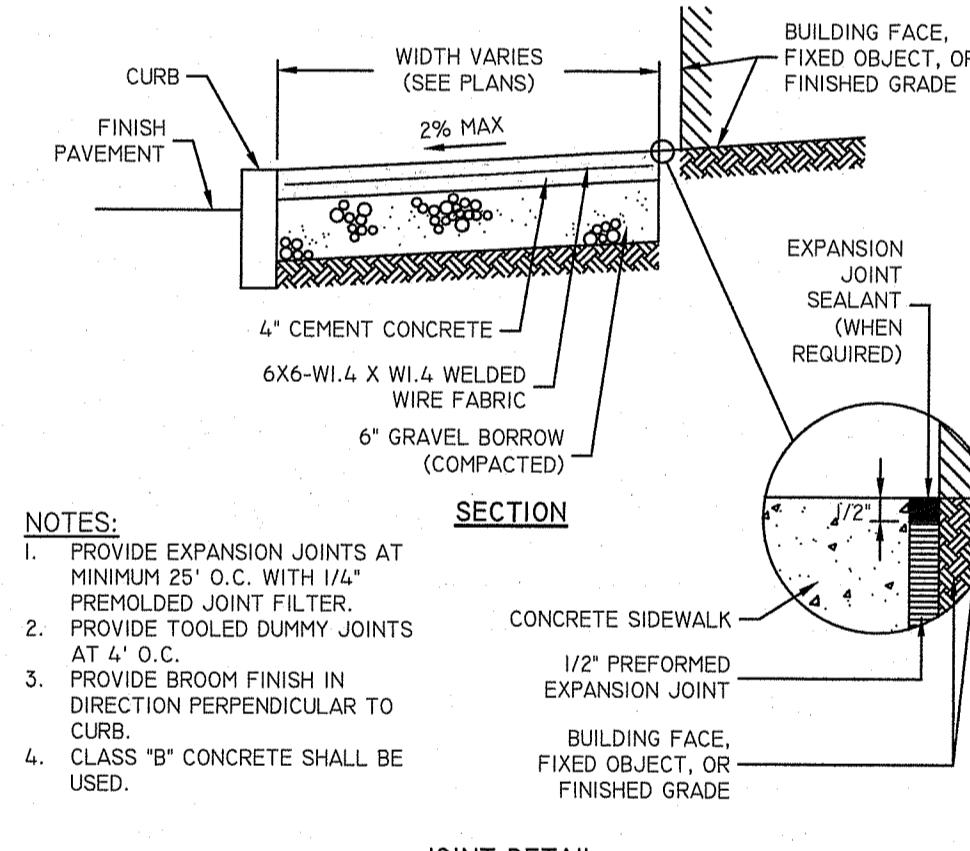
TYPICAL PAVEMENT SECTION

NOT TO SCALE



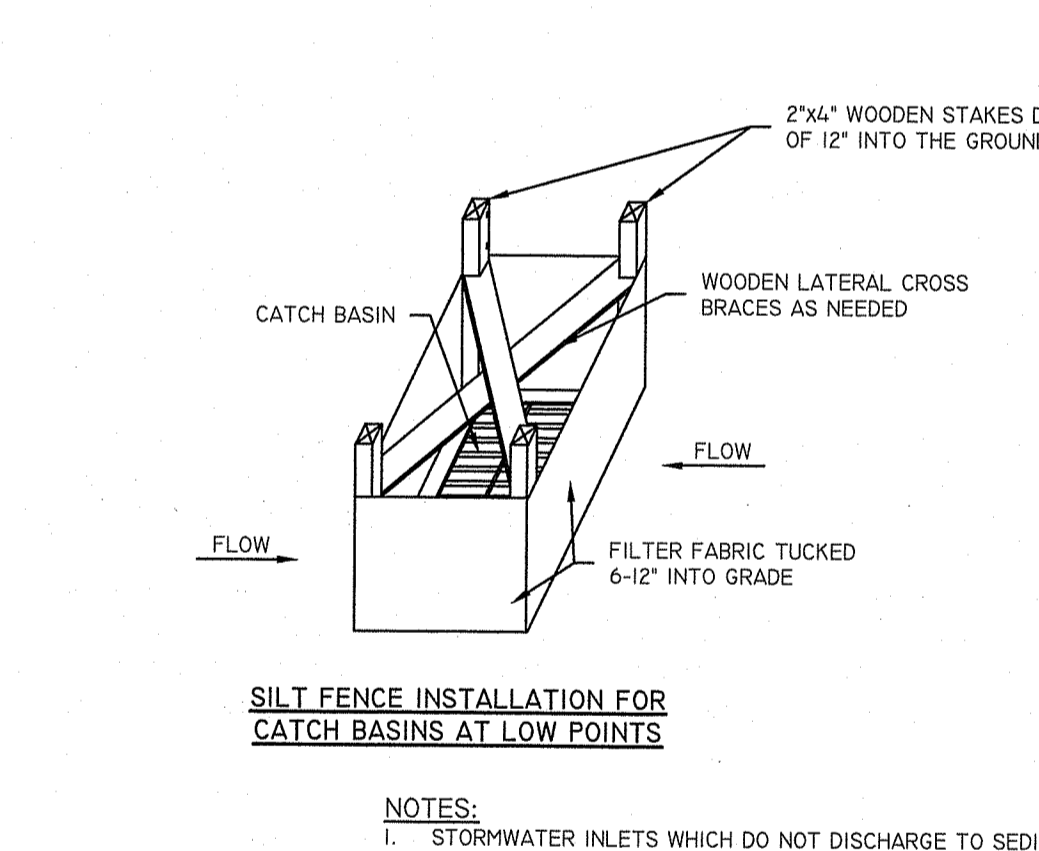
PAVEMENT TIE-IN DETAIL

NOT TO SCALE



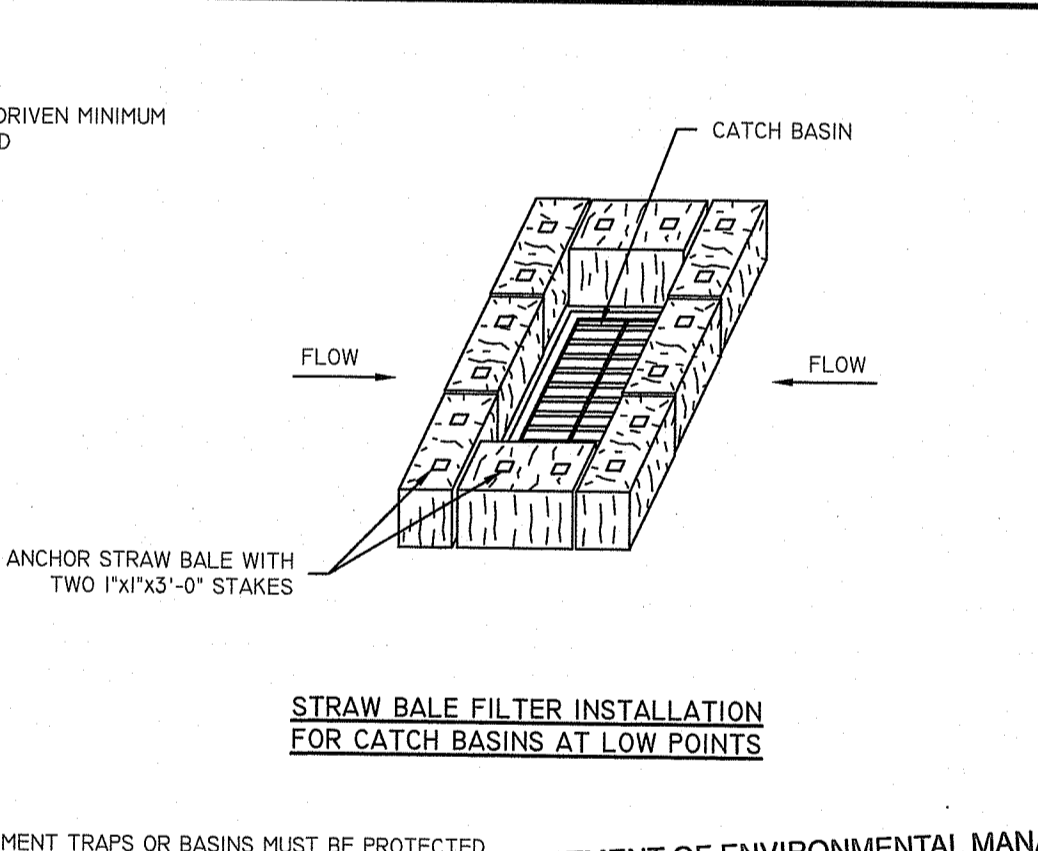
CONCRETE SIDEWALK

NOT TO SCALE



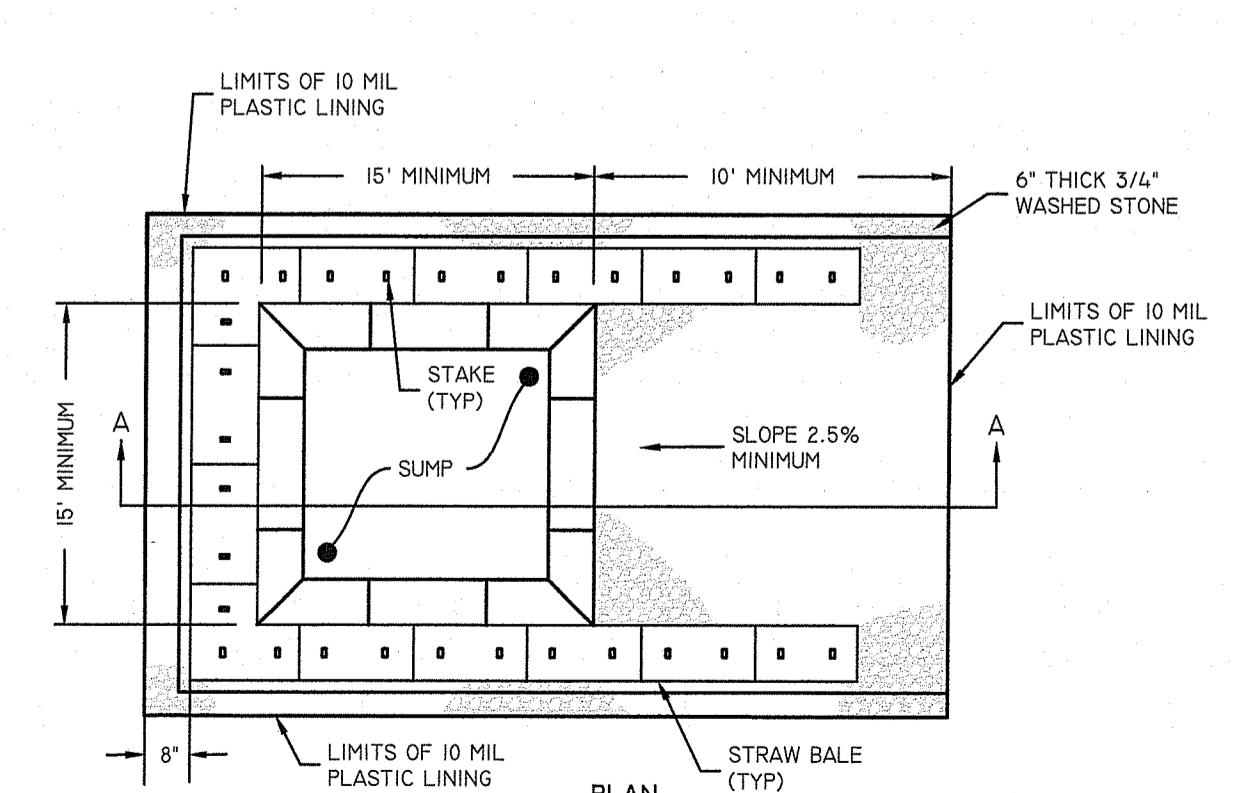
SILT FENCE INSTALLATION FOR CATCH BASINS AT LOW POINTS

NOT TO SCALE



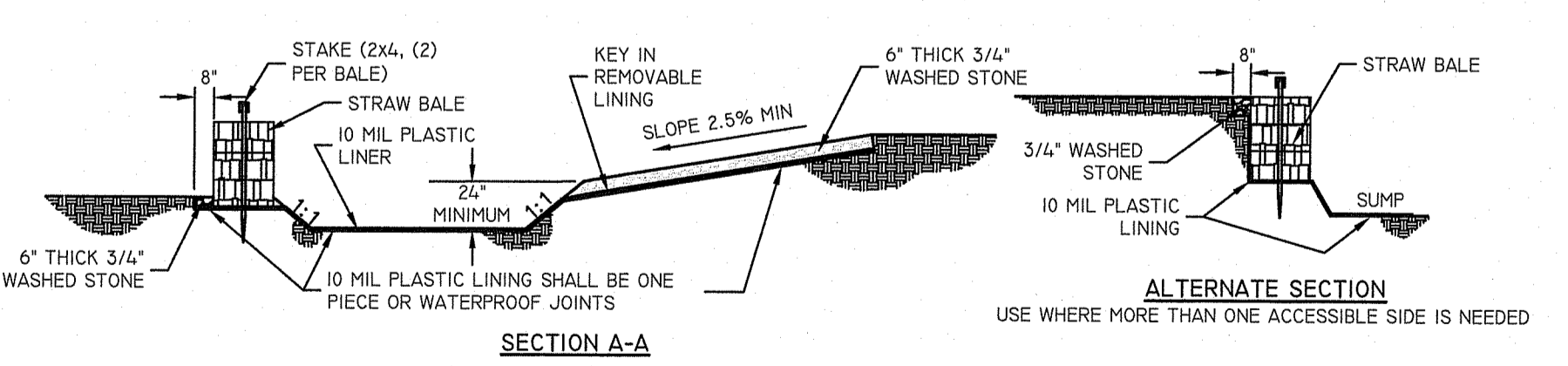
STRAW BALE FILTER INSTALLATION FOR CATCH BASINS AT LOW POINTS

NOT TO SCALE



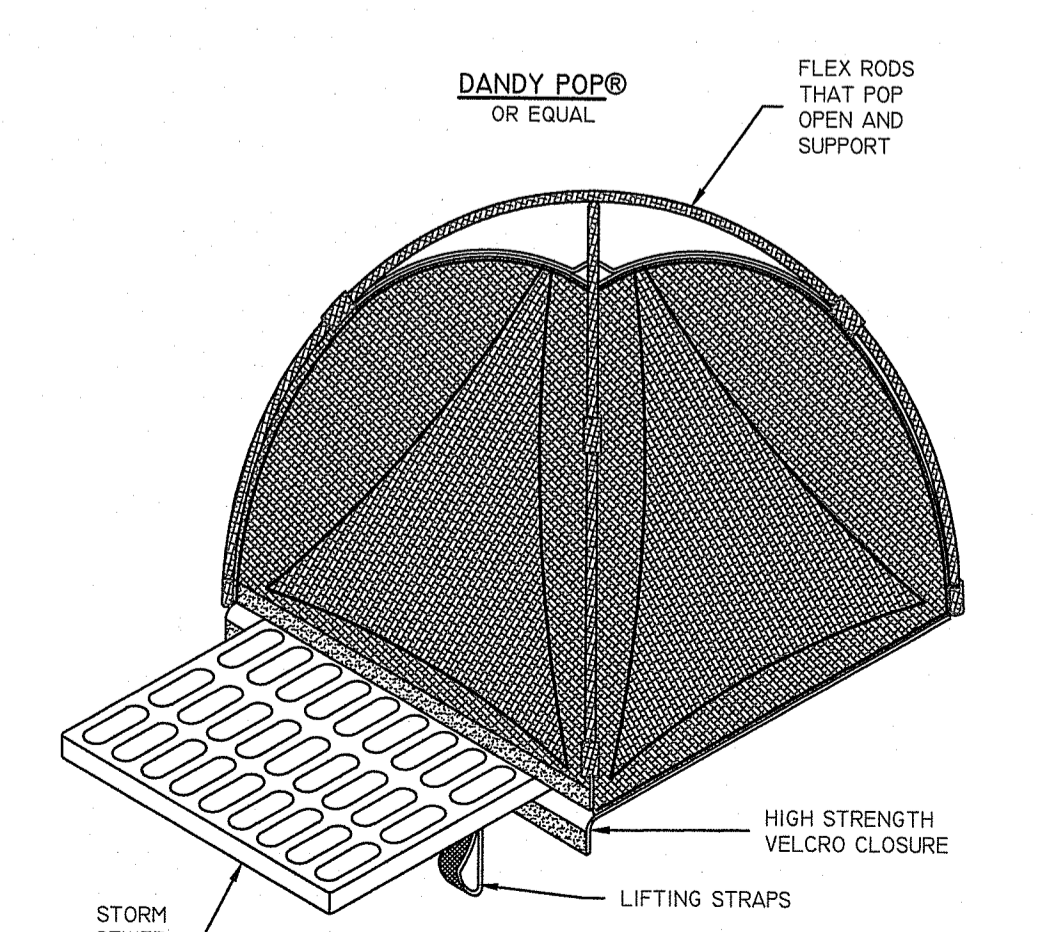
CONCRETE WASHOUT AREA

NOT TO SCALE



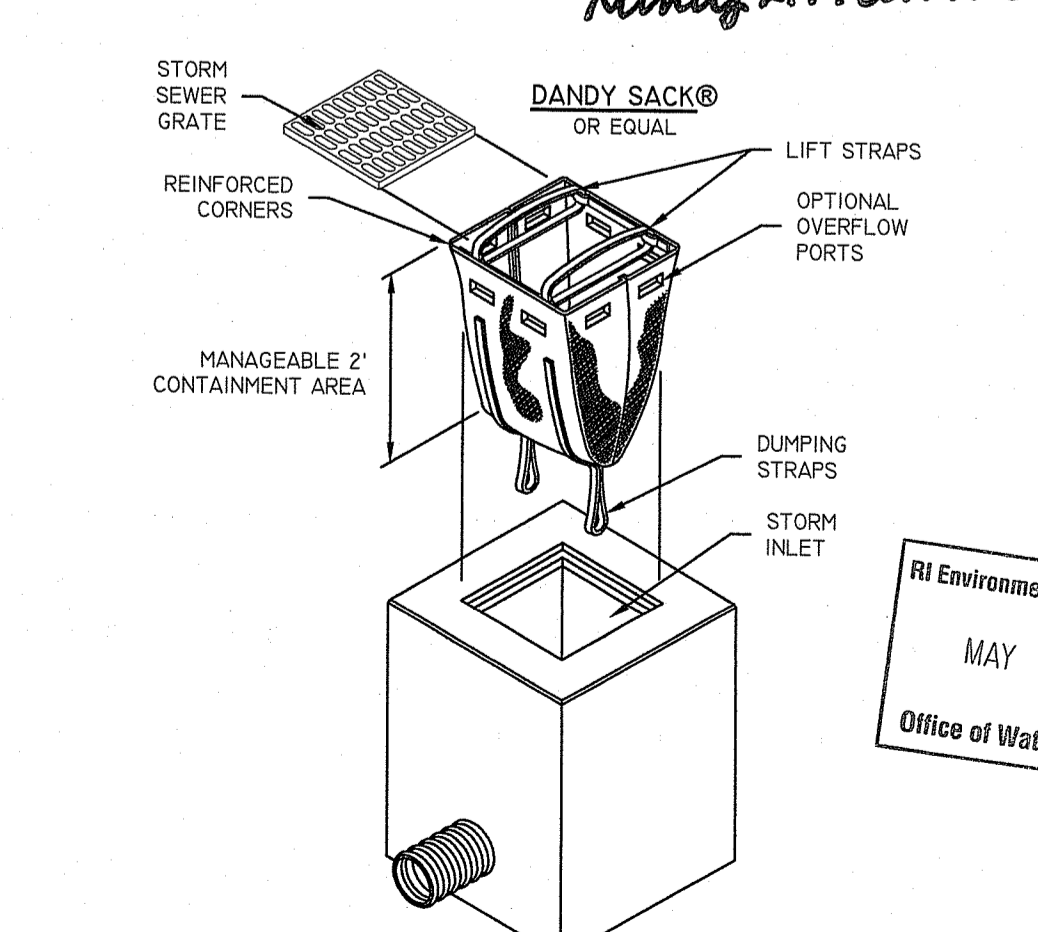
WASHOUT SIGN

- NOTES:**
1. PIT IS SPECIFICALLY DESIGNATED, DIKED AND IMPERVIOUS CONTAINMENT TO PREVENT CONTACT BETWEEN CONCRETE WASH AND STORMWATER.
 2. WASH WATER SHALL NOT BE ALLOWED TO FLOW TO SURFACE WATER.
 3. FACILITY MUST HOLD SUFFICIENT VOLUME TO CONTAIN CONCRETE WASTE WITH A MINIMUM FREEBOARD OF 12."
 4. FACILITY SHALL NOT BE FILLED BEYOND 95% CAPACITY UNLESS A NEW FACILITY IS CONSTRUCTED.
 5. SAWCUT PORTLAND CEMENT CONCRETE, RESIDUE FROM SAWCUT AND GRINDING TO BE DISPOSED OF IN THE PIT.
 6. CONCRETE WASHOUTS SHALL BE LOCATED A MINIMUM OF 100' FROM DRAINAGE WAYS, INLETS, AND SURFACE WATERS.
 7. MANUFACTURED CONCRETE WASHOUT DEVICES MAY BE USED IF REMOVED FROM THE SITE WHEN 95% FULL CAPACITY.



INLET SEDIMENT CONTROL DEVICES

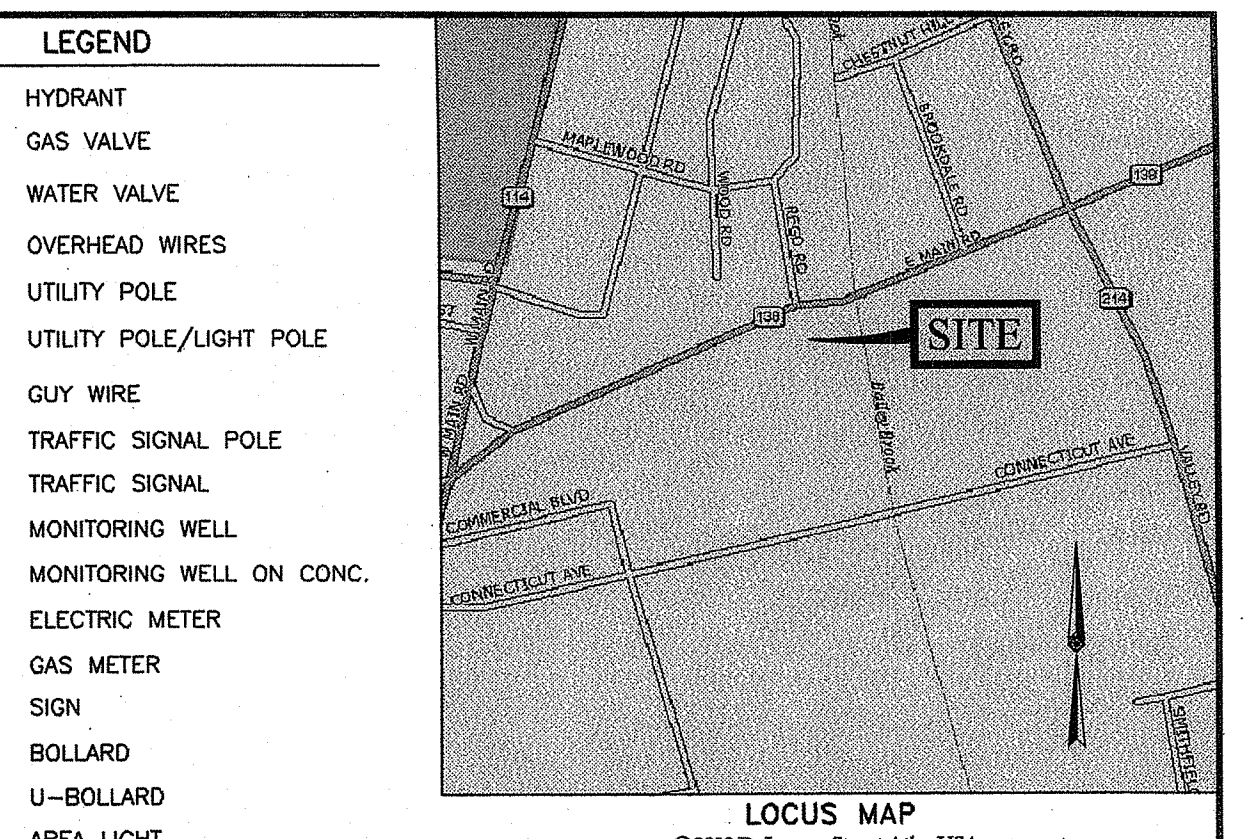
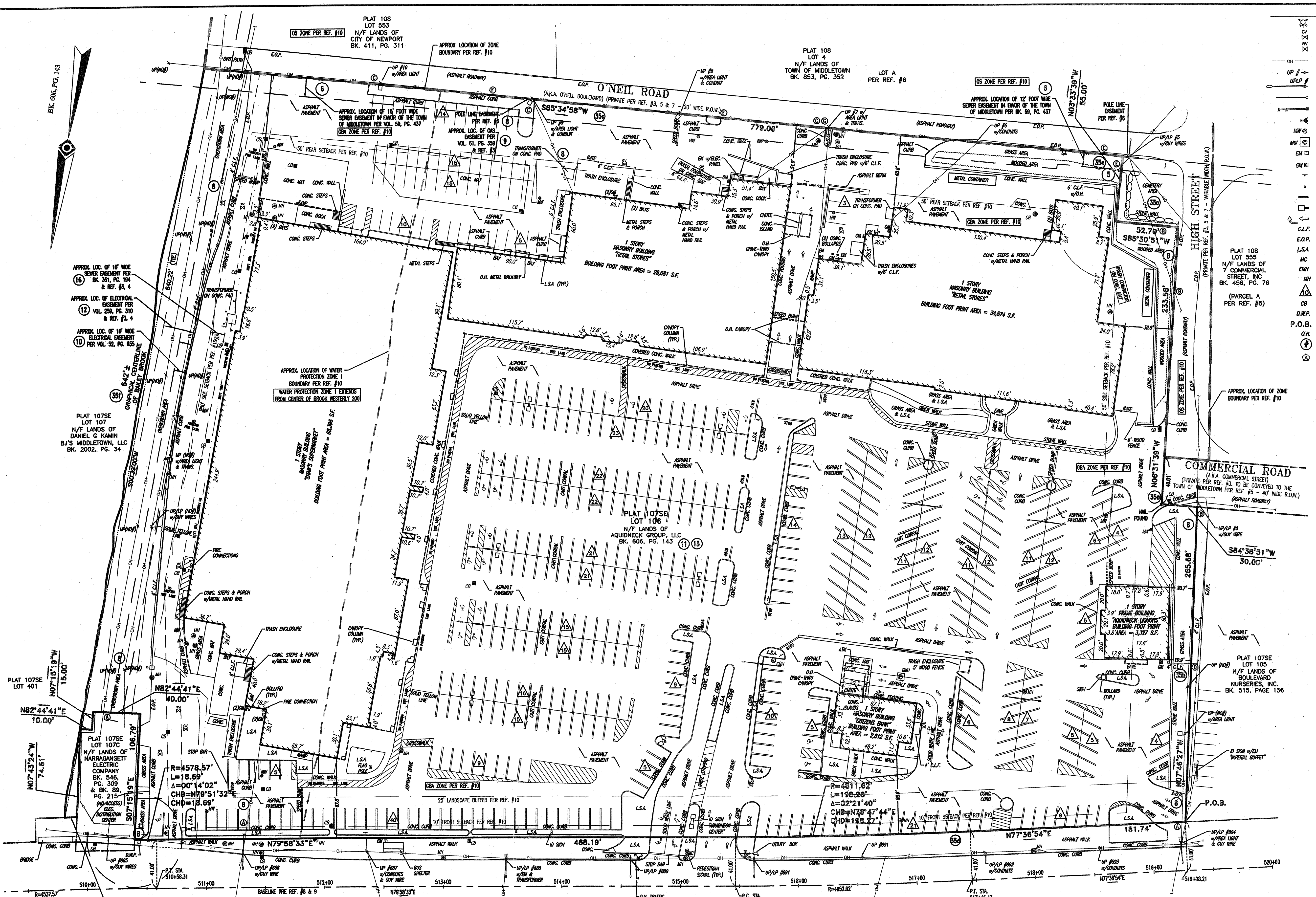
NOT TO SCALE



INLET SEDIMENT CONTROL DEVICES

NOT TO SCALE

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
REVIEWED SITE PLAN APPLICATION # 21-0253
DATED: MAY 26 2022
MAY 3 2022
Office of Water Resources



LEGEND

- HYDRANT
- GAS VALVE
- WATER VALVE
- OVERHEAD WIRES
- UTILITY POLE
- UTILITY POLE/LIGHT POLE
- GUY WIRE
- TRAFFIC SIGNAL POLE
- TRAFFIC SIGNAL
- MONITORING WELL
- MONITORING WELL ON CONC.
- ELECTRIC METER
- GAS METER
- SIGN
- BOLLARD
- U-BOLLARD
- AREA LIGHT
- PAINTED ARROWS
- CHAIN LINK FENCE
- E.O.P.
- LANDSCAPED AREA
- M.C.
- ELECTRIC MANHOLE
- UNKNOWN MANHOLE
- PARKING SPACE COUNT
- CATCH BASIN
- DETECTABLE WARNING PAD
- POINT OF BEGINNING
- OVERHEAD
- TITLE REPORT EXCEPTION
- APPARENT ENCROACHMENT (SEE LIST)

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 REVIEWED SITE PLAN APPLICATION # 21-0253
 DATED: MAY 26 2022
 SEE LETTER OF SAME DATE
Andy L. Freeman

- NOTES:**
- PROPERTY KNOWN AS LOT 106, PLAT 107SE, AS SHOWN ON THE TAX ASSESSOR'S PLAT OF THE TOWN OF MIDDLETOWN, NEWPORT COUNTY, RHODE ISLAND.
 - THE LAND AREA OF THE SUBJECT PROPERTY IS 530,614± SQUARE FEET AND 12.181± ACRES AS DESCRIBED IN THE LEGAL DESCRIPTION.
 - UNDERGROUND UTILITIES HAVE NOT BEEN SHOWN. BEFORE ANY SITE EVALUATION, PREPARATION OF DESIGN DOCUMENTS OR EXCAVATION IS TO BEGIN, THE LOCATION OF UNDERGROUND UTILITIES SHOULD BE VERIFIED BY THE PROPER UTILITY COMPANIES.
 - THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
 - THIS SURVEY IS PREPARED WITH REFERENCE TO A TITLE REPORT PREPARED BY CHICAGO TITLE INSURANCE COMPANY, COMMITMENT NO. 1161-25132, WITH AN EFFECTIVE DATE OF 07/25/2011, WHERE THE FOLLOWING SURVEY RELATED EXCEPTIONS APPEAR IN SCHEDULE B, SECTION II:
 SEE SHEET 2 OF 2 FOR LIST OF SURVEY RELATED TITLE EXCEPTIONS
 - BY GRAPHIC PLOTTING ONLY PROPERTY IS PREDOMINATELY LOCATED ON LOCATED IN FLOOD HAZARD ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN) AND PARTIALLY LOCATED IN FLOOD ZONE AE (BASE FLOOD ELEVATION DETERMINED) AND ZONE X (AREA OF 0.2% ANNUAL CHANCE FLOOD, AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD) PER REF. #2.
 - THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY.
 - ENCROACHMENTS AND VAULTS, IF ANY, BELOW SURFACE NOT SHOWN HEREON
 - THIS SURVEY DOES NOT SHOW THE EXISTENCE OF WETLANDS, IF ANY.
 - BUILDING DIMENSIONS SHOWN HEREON ARE MEASURED AT GROUND LEVEL OF BUILDING EXTERIOR.
 - THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.
 - THERE IS NO OBSERVABLE EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS WITHIN RECENT MONTHS.
 - THERE IS NO OBSERVABLE EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.
 - THERE IS NO OBSERVABLE EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.
 - CHANGES IN STREET RIGHT OF WAY LINES EITHER COMPLETED OR PROPOSED REVEALED IN THE TITLE REPORT AND REFERENCED MAPS HAVE BEEN SHOWN.
 - THERE EXIST 501 REGULAR PARKING SPACES AND 22 HANDICAPPED PARKING SPACES ON THE SUBJECT PROPERTY.
 - THE TOTAL OF ALL BUILDINGS (BASED UPON EXTERIOR FOOTPRINT OF BUILDING ON GROUND SURFACE, NOT INTERIOR USABLE FLOOR SPACE) IS APPROXIMATELY 138,940 SQUARE FEET.

PLAT 107SE LOT 107
 N/F LANDS OF DANIEL G KAMIN
 B.V.'S MIDDLETOWN, LLC
 BK. 2002, PG. 34

PLAT 107SE LOT 106
 N/F LANDS OF AQUINECK GROUP, LLC
 BK. 606, PG. 143

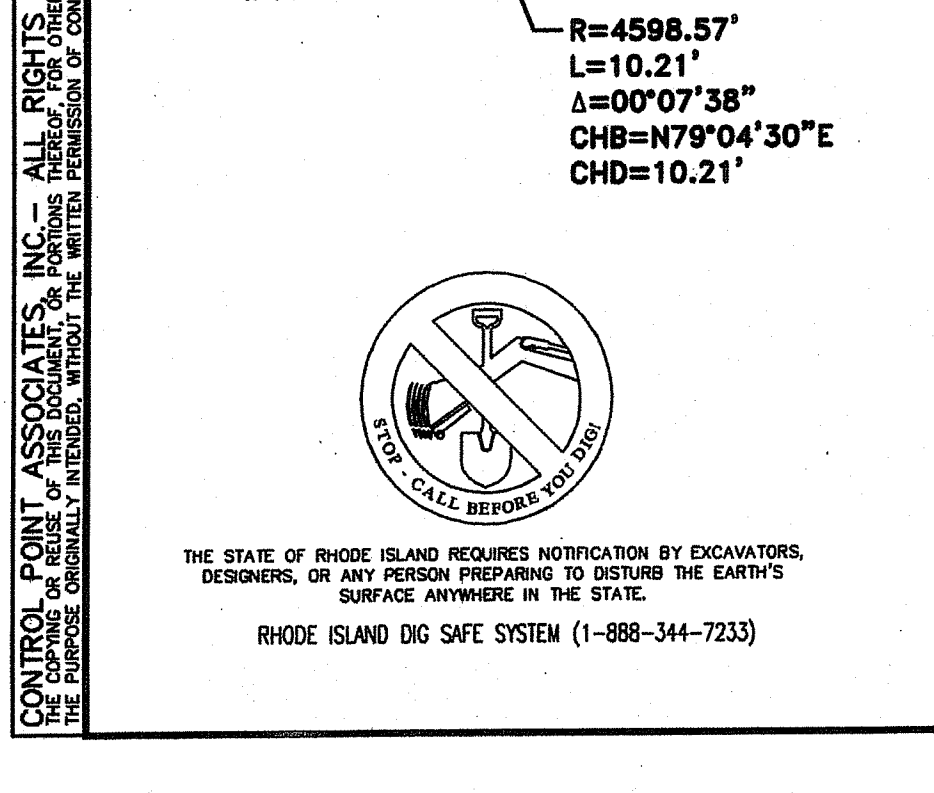
PLAT 107SE LOT 105
 N/F LANDS OF BOULEVARD NURSERIES, INC.
 BK. 515, PAGE 156

PLAT 107SE LOT 104
 N/F LANDS OF NARRAGANSETT ELECTRIC COMPANY
 BK. 546, PG. 309 & BK. 89, PG. 215 (NO ACCESS) CIVIC DISTRIBUTION CENTER

PLAT 108 LOT 553
 N/F LANDS OF CITY OF NEWPORT
 BK. 411, PG. 311

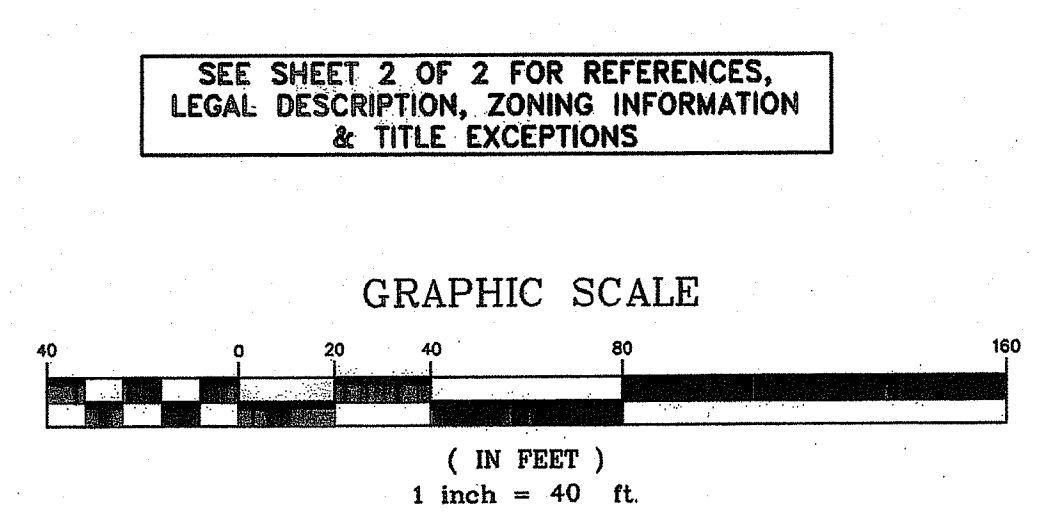
PLAT 108 LOT 4
 N/F LANDS OF TOWN OF MIDDLETOWN
 BK. 853, PG. 352

LOT A
 PER REF. #6



- LIST OF APPARENT ENCROACHMENTS**
- ⓐ OVERHEAD WIRES CROSS NORTHERLY LINE
 - ⓑ OVERHEAD WIRES CROSS WESTERLY LINE
 - ⓒ OVERHEAD WIRES CROSS SOUTHERLY LINE
 - ⓓ 4' CHAIN LINK FENCE CROSSES WESTERLY LINE
 - ⓔ GUY WIRE CROSSES WESTERLY LINE
 - ⓕ ASPHALT CURB CROSSES SOUTHERLY LINE
 - ⓖ CONCRETE CURB CROSSES SOUTHERLY LINE

EAST MAIN ROAD
 (A.K.A. RHODE ISLAND STATE HIGHWAY ROUTE 138)
 (PUBLIC)



TO: THE AQUINECK GROUP, LLC, EASTERN BANK, its successors and/or assigns as their interests may appear AND CHICAGO TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE "2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS" JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 6(b), 7(c), 7(b)(1), 8, 9, 13, 14, 16, 17, 18, 19, 20(a) & 21 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON JUNE 27, 2011.

NOT A VALID ORIGINAL DOCUMENT UNLESS ENCLOSED WITH RAISED IMPRESSION OR BLUE INK SEAL.

A. JOHN LLOYD
 No. 1976
 PROFESSIONAL LAND SURVEYOR

A. John Lloyd 8/31/11
A. JOHN LLOYD
 RHODE ISLAND PROFESSIONAL LAND SURVEYOR #1976

| | | | | |
|----------------|------------------------------|---|-----------|----------|
| 2 | REVISE CERTIFICATION PARTY | J.P. | A.J.L. | 8/31/11 |
| 1 | REVISE WITH RECEIPT OF TITLE | W.P.H. | A.J.L. | 8/29/11 |
| No. | DESCRIPTION OF REVISION | DATE | APPROVED: | DATE |
| FIELD DATE | 6-27-11 | ALTA/ACSM LAND TITLE SURVEY | | |
| FIELD BOOK NO. | 11-13 | AQUINECK SHOPPING CENTER | | |
| FIELD BOOK PG. | 25-26 | 99 EAST MAIN ROAD LOT 106, MAP 1705E TOWN OF MIDDLETOWN NEWPORT COUNTY, RHODE ISLAND | | |
| FIELD CREW | B.S.B. | CONTROL POINT ASSOCIATES, INC. | | |
| DRAWN | J.P. | 352 TURNPIKE ROAD SOUTHBOROUGH, MA 01772 WARREN, NJ 908.668.0099 508.948.3000 • 508.948.3003 FAX CHALFONTS, PA 215.712.9800 | | |
| REVIEWED | W.P.H. | DATE | SCALE | FILE NO. |
| APPROVED | A.J.L. | 7-5-11 | 1"=40' | CM11012 |
| | | | | 1 OF 2 |

SURVEY RELATED SCHEDULE B, SECTION 2 TITLE EXCEPTIONS:

4. GRANT OF EASEMENT FROM AQUIDNECK GROUP TO NEWPORT ELECTRIC CORPORATION AND NEW ENGLAND TELEPHONE AND TELEGRAPH COMPANY, DATED APRIL 30, 1987 AND RECORDED IN VOLUME 171 AT PAGE 144 OF THE MIDDLETOWN LAND EVIDENCE RECORDS AS SHOWN ON THE SURVEY ENTITLED "ALTA/ACSM LAND TITLE SURVEY LOCATED AT THE AQUIDNECK SHOPPING CENTER EAST MAIN ROAD, MIDDLETOWN, R.I. FOR AQUIDNECK GROUP, LLC, NEWPORT, R.I., PREPARED BY SURGUE & ASSOC., INC., CIVIL ENGINEERS & LAND SURVEYORS, 1038 HARTFORD PIKE, NORTH SCITUATE, R.I. DATED AUGUST 29, 2001 AND RECORDED IN THE LAND EVIDENCE RECORDS OF THE TOWN OF MIDDLETOWN ON AUGUST 31, 2001 AS DOCUMENT #03178 AND PLAN #2001-24 - CUT WIRE ON PREMISES SHOWN, AFFECTS PREMISES;
5. EASEMENT FROM KEMPENAR REAL ESTATE, INC. TO THE TOWN OF MIDDLETOWN, DATED DECEMBER 8, 1956 AND RECORDED IN VOLUME 59 AT PAGE 437 OF THE MIDDLETOWN LAND EVIDENCE RECORDS, FOR THE PURPOSE OF CONSTRUCTING AND MAINTAINING A SEWER MAIN AS SHOWN ON THE SURVEY ENTITLED "ALTA/ACSM LAND TITLE SURVEY LOCATED AT THE AQUIDNECK SHOPPING CENTER EAST MAIN ROAD, MIDDLETOWN, R.I. FOR AQUIDNECK GROUP, LLC, NEWPORT, R.I., PREPARED BY SURGUE & ASSOC., INC., CIVIL ENGINEERS & LAND SURVEYORS, 1038 HARTFORD PIKE, NORTH SCITUATE, R.I. DATED AUGUST 29, 2001 AND RECORDED IN THE LAND EVIDENCE RECORDS OF THE TOWN OF MIDDLETOWN ON AUGUST 31, 2001 AS DOCUMENT #03178 AND PLAN #2001-24 - APPROXIMATE LOCATION SHOWN, AFFECTS PREMISES;
7. EASEMENT FROM KEMPENAR REAL ESTATES, INC. TO THE TOWN OF MIDDLETOWN, DATED DECEMBER 8, 1956 AND RECORDED IN VOLUME 59 AT PAGE 439 OF THE MIDDLETOWN LAND EVIDENCE RECORDS, FOR THE PURPOSE OF CONSTRUCTING AND MAINTAINING A SEWER MAIN, AS AFFECTED BY A RELEASE OF EASEMENT FROM THE TOWN OF MIDDLETOWN TO AQUIDNECK GROUP DATED JUNE 20, 1994 AND RECORDED JUNE 27, 1994 IN VOLUME 351 AT PAGE 193 OF THE MIDDLETOWN LAND EVIDENCE RECORDS, AS SHOWN ON THE SURVEY ENTITLED "ALTA/ACSM LAND TITLE SURVEY LOCATED AT THE AQUIDNECK SHOPPING CENTER EAST MAIN ROAD, MIDDLETOWN, R.I. FOR AQUIDNECK GROUP, LLC, NEWPORT, R.I., PREPARED BY SURGUE & ASSOC., INC., CIVIL ENGINEERS & LAND SURVEYORS, 1038 HARTFORD PIKE, NORTH SCITUATE, R.I. DATED AUGUST 29, 2001 AND RECORDED IN THE LAND EVIDENCE RECORDS OF THE TOWN OF MIDDLETOWN ON AUGUST 31, 2001 AS DOCUMENT #03178 AND PLAN #2001-24 - PORTION AFFECTING PREMISES HAS BEEN RELEASED, DOES NOT AFFECT PREMISES;
8. AGREEMENT BY AND BETWEEN AQUIDNECK SHOPPING CENTER, INC. TO NEWPORT ELECTRIC CORPORATION, DATED JANUARY 29, 1958 AND RECORDED IN VOLUME 61 AT PAGE 259 OF THE MIDDLETOWN LAND EVIDENCE RECORDS, AS AMENDED BY SUPPLEMENTAL AGREEMENT DATED APRIL 14, 1958 AND RECORDED IN VOLUME 61 AT PAGE 486, WHEREIN A NEW PLAT IS SUBSTITUTED FOR THE ORIGINAL PLAT; AS AFFECTED BY A PARTIAL RELEASE OF EASEMENT FROM THE NEWPORT ELECTRIC CORPORATION TO AQUIDNECK GROUP DATED JULY 27, 1994 AND RECORDED IN BOOK 353 AT PAGE 247 OF SAID RECORDS - PLANS REFERENCED IN DEEDS NOT PROVIDED, POLES AND WIRES SHOWN, AFFECTS PREMISES;
9. EASEMENT FROM AQUIDNECK SHOPPING CENTER, INC. TO NEWPORT GAS LIGHT CO., DATED JANUARY 24, 1958 AND RECORDED IN VOLUME 61 AT PAGE 385 OF THE MIDDLETOWN LAND EVIDENCE RECORDS, FOR THE PURPOSE OF INSTALLING AND MAINTAINING GAS MAINS WITHIN SUBJECT PREMISES AS SHOWN ON THE SURVEY ENTITLED "ALTA/ACSM LAND TITLE SURVEY LOCATED AT THE AQUIDNECK SHOPPING CENTER EAST MAIN ROAD, MIDDLETOWN, R.I. FOR AQUIDNECK GROUP, LLC, NEWPORT, R.I., PREPARED BY SURGUE & ASSOC., INC., CIVIL ENGINEERS & LAND SURVEYORS, 1038 HARTFORD PIKE, NORTH SCITUATE, R.I. DATED AUGUST 29, 2001 AND RECORDED IN THE LAND EVIDENCE RECORDS OF THE TOWN OF MIDDLETOWN ON AUGUST 31, 2001 AS DOCUMENT #03178 AND PLAN #2001-24 - APPROXIMATE LOCATION SHOWN, AFFECTS PREMISES;
10. EASEMENT FROM KEMPENAR REAL ESTATE, INC. TO NEWPORT ELECTRIC CORPORATION, DATED MAY 15, 1953 AND RECORDED IN VOLUME 50 AT PAGE 655 OF THE MIDDLETOWN LAND EVIDENCE RECORDS, FOR THE PURPOSE OF CONSTRUCTING AND MAINTAINING POLES AND WIRES, ETC. AS SHOWN ON THE SURVEY ENTITLED "ALTA/ACSM LAND TITLE SURVEY LOCATED AT THE AQUIDNECK SHOPPING CENTER EAST MAIN ROAD, MIDDLETOWN, R.I. FOR AQUIDNECK GROUP, LLC, NEWPORT, R.I., PREPARED BY SURGUE & ASSOC., INC., CIVIL ENGINEERS & LAND SURVEYORS, 1038 HARTFORD PIKE, NORTH SCITUATE, R.I. DATED AUGUST 29, 2001 AND RECORDED IN THE LAND EVIDENCE RECORDS OF THE TOWN OF MIDDLETOWN ON AUGUST 31, 2001 AS DOCUMENT #03178 AND PLAN #2001-24 - APPROXIMATE LOCATION SHOWN, AFFECTS PREMISES;
11. AGREEMENT BY AND BETWEEN AQUIDNECK SHOPPING CENTER, INC. AND CITY OF NEWPORT, DATED AUGUST 22, 1957 AND RECORDED IN VOLUME 61 AT PAGE 549 OF THE MIDDLETOWN LAND EVIDENCE RECORDS, TO SUPPLY WATER TO THE SHOPPING CENTER, UPON CONDITIONS THAT AQUIDNECK SHOPPING CENTER, INC. CONSTRUCTS A WATER DISTRIBUTION SYSTEM PURSUANT TO PLANS AND SUBJECT TO THE CITY'S APPROVAL. AQUIDNECK SHOPPING CENTER, INC. TO CONVEY TITLE TO THE MAINS TO THE CITY AND GRANT A PERMANENT EASEMENT TO MAINTAIN THE SAME - BLANKET RIGHTS OF ACCESS TO THE CITY OF NEWPORT TO MAINTAIN, REPAIR, REPLACE, ETC. WATER MAINS ON THE PREMISES, AFFECTS PREMISES;
12. GRANT OF EASEMENT FROM KEMPENAR REAL ESTATE, INC. TO NEWPORT ELECTRIC CORPORATION AND NEW ENGLAND TELEPHONE AND TELEGRAPH COMPANY, DATED OCTOBER 11, 1991 AND RECORDED IN VOLUME 259 AT PAGE 310 OF THE MIDDLETOWN LAND EVIDENCE RECORDS - APPROXIMATE LOCATION SHOWN, AFFECTS PREMISES;
13. RESTRICTION AGREEMENT WITH MIDDLETOWN ASSOCIATES, LLC WITH RESPECT TO SHAW'S SUPERMARKETS, INC. AND CHRISTMAS TREE SHOPS, RECORDED WITH THE MIDDLETOWN LAND EVIDENCE RECORDS IN BOOK 452 AT PAGE 280 - BLANKET, BENEFITS PREMISES;
16. EASEMENT TO THE TOWN OF MIDDLETOWN DATED JUNE 2, 1994 AND RECORDED JUNE 27, 1994 IN BOOK 351 AT PAGE 194 WITH THE MIDDLETOWN LAND EVIDENCE RECORDS AS SHOWN ON THE SURVEY ENTITLED "ALTA/ACSM LAND TITLE SURVEY LOCATED AT THE AQUIDNECK SHOPPING CENTER EAST MAIN ROAD, MIDDLETOWN, R.I. FOR AQUIDNECK GROUP, LLC, NEWPORT, R.I., PREPARED BY SURGUE & ASSOC., INC., CIVIL ENGINEERS & LAND SURVEYORS, 1038 HARTFORD PIKE, NORTH SCITUATE, R.I. DATED AUGUST 29, 2001 AND RECORDED IN THE LAND EVIDENCE RECORDS OF THE TOWN OF MIDDLETOWN ON AUGUST 31, 2001 AS DOCUMENT #03178 AND PLAN #2001-24 - SEWER EASEMENT, AFFECTS PREMISES;
20. ACCESS AGREEMENT BETWEEN THE TOWN OF MIDDLETOWN AND AQUIDNECK GROUP, LLC DATED DECEMBER 27, 2005 AND RECORDED IN BOOK 865 AT PAGE 170 OF THE MIDDLETOWN LAND EVIDENCE RECORDS - AGREEMENT HAS EXPIRED (12/31/2006), DOES NOT AFFECT PREMISES;
25. MATTERS SHOWN ON THAT SURVEY ENTITLED "ALTA/ACSM LAND TITLE SURVEY LOCATED AT THE AQUIDNECK SHOPPING CENTER EAST MAIN ROAD, MIDDLETOWN, R.I. FOR AQUIDNECK GROUP, LLC, NEWPORT, R.I., PREPARED BY SURGUE & ASSOC., INC., CIVIL ENGINEERS & LAND SURVEYORS, 1038 HARTFORD PIKE, NORTH SCITUATE, R.I. DATED AUGUST 29, 2001 AND RECORDED IN THE LAND EVIDENCE RECORDS OF THE TOWN OF MIDDLETOWN ON AUGUST 31, 2001 AS DOCUMENT #03178 AND PLAN #2001-24, AS FOLLOWS:
 - a. POSSIBLE ENCROACHMENT OF A CATCH BASIN AT INTERSECTION OF COMMERCIAL ROAD AND HIGH STREET - SHOWN;
 - b. ENCROACHMENT OF FENCE ALONG WESTERN BOUNDARY LINE - SHOWN;
 - c. UTILITY POLES AND OVERHEAD WIRES ALONG SOUTHERLY BOUNDARY AND REFERRED TO IN NOTES ON THE SURVEY AS EAST MAIN ROAD - SHOWN;
 - d. THE PARKING AREA ALONG THE NORTHERLY PROPERTY LINE ENCROACHES UPON THE STATE RIGHT OF WAY KNOWN AS EAST MAIN ROAD - SHOWN;
 - e. UNDERGROUND DRAINAGE PIPES AS SHOWN ON PLAN - NOT FOUND DURING COURSE OF FIELD SURVEY, NOT SHOWN; AND
 - f. BAILEY BROOK ALONG EASTERLY PROPERTY LINE - SHOWN.

REFERENCES:

1. THE TAX ASSESSOR'S PLAT OF TOWN OF MIDDLETOWN, NEWPORT COUNTY, RHODE ISLAND, PLATS #1075E & 108.
2. MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, NEWPORT COUNTY, RHODE ISLAND, (ALL JURISDICTIONS), PANEL 93 OF 226, MAP NUMBER 4400SC0093H, EFFECTIVE DATE: APRIL 5, 2010.
3. MAP ENTITLED "ALTA/ACSM LAND TITLE SURVEY LOCATED AT THE AQUIDNECK SHOPPING CENTER, EAST MAIN ROAD, MIDDLETOWN, R.I., FOR AQUIDNECK GROUP, LLC, NEWPORT, R.I., PREPARED BY SURGUE & ASSOC., INC., LAST REVISED: AUGUST 27, 2001.
4. MAP ENTITLED "PRELIMINARY LAYOUT PLAN, SHAW'S EXPANSION, THE AQUIDNECK SHOPPING CENTER, EAST MAIN RD., MIDDLETOWN, R.I., PREPARED BY KELLY ENGINEERING GROUP, DATED: NOVEMBER 26, 2001.
5. MAP ENTITLED "SUBDIVISION OF LAND, AP 108, LOTS 130 AND LOT 4, KEMPENAR REAL ESTATES, INC., PREPARED BY WARREN HALL, DATED: JULY 2, 1997 AND RECORDED IN THE TOWN OF MIDDLETOWN CLERK'S OFFICE ON SEPTEMBER 11, 1997 AS MAP NO. 1997-24.
6. MAP ENTITLED "KEMPENAR SUBDIVISION OF LAND, AP 108, LOTS 1 & 4, HIGH STREET AND ADELAIDE AVENUE, MIDDLETOWN, R.I., PREPARED BY WARREN HALL, DATED: JUNE 4, 2004 AND RECORDED IN THE TOWN OF MIDDLETOWN CLERK'S OFFICE ON JUNE 11, 2004 AS MAP NO. 2004-17.
7. MAP ENTITLED "ADMINISTRATIVE SUBDIVISION, PREPARED FOR: KEMPENAR REAL ESTATES, INC., 379 WEST MAIN ROAD, MIDDLETOWN, RHODE ISLAND 02842, PROJECT LOCATION: WEST MAIN ROAD, MIDDLETOWN TAX ASSESSOR'S PLAT 108, LOT 131 & PORTION OF LOT 4" PREPARED BY JOHN BRAGA & ASSOCIATES, DATED: DECEMBER 1, 1998 AND RECORDED IN THE TOWN OF MIDDLETOWN CLERK'S OFFICE ON DECEMBER 10, 1998 AS MAP NO. 1998-37.
8. MAP ENTITLED "PLAT SHOWING LAND IN MIDDLETOWN, TAKEN IN FEE SIMPLE FOR STATE HIGHWAY PURPOSES ON BEHALF OF THE STATE OF RHODE ISLAND & PROVIDENCE PLANTATIONS BY THE DIRECTOR OF TRANSPORTATION, PLAT 1665, STATE HIGHWAY IMPROVEMENTS, MIDDLETOWN TOPICS, EAST MAIN ROAD, MIDDLETOWN, RHODE ISLAND," FILED IN THE TOWN OF MIDDLETOWN CLERK'S OFFICE ON FEBRUARY 5, 1973 AS PLAT #1665, SHEET 1 & 2 OF 2.
9. MAP ENTITLED "PORTSMOUTH - MIDDLETOWN, EAST MAIN ROAD, FROM UNION STREET TO TWO MILE CORNER, RHODE ISLAND, STATE BOARD OF PUBLIC ROADS, HIGHWAY ENGINEERING DEPARTMENT," PLAT #430, FILE NO. 1698, SHEET 16 OF 17, FILED ON OCTOBER 5, 1933.
10. THE TOWN OF MIDDLETOWN ZONING MAP INCLUDING AMENDMENTS THROUGH OCTOBER 15, 2007 AND THE TOWN OF MIDDLETOWN ZONING ORDINANCE.

SCHEDULE A LEGAL DESCRIPTION

99 EAST MAIN ROAD
PLAT 1075E, LOT 106
MIDDLETOWN, RHODE ISLAND

A CERTAIN TRACT OR PARCEL OF LAND WITH ALL BUILDINGS AND IMPROVEMENTS THEREON SITUATED ON THE SOUTHERLY SIDE OF EAST MAIN ROAD, IN THE TOWN OF MIDDLETOWN, COUNTY OF NEWPORT, AND THE STATE OF RHODE ISLAND AND BOUNDED AND DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE SOUTHERLY SIDE OF EAST MAIN ROAD, SAID POINT BEING FORTY-ONE (41.00) FEET OPPOSITE AND SOUTHERLY FROM STATION 519+28.21 ON THE BASELINE AS ESTABLISHED BY RHODE ISLAND STATE HIGHWAY PLAT NO. 1665 FILED IN THE OFFICE OF THE TOWN CLERK IN THE TOWN OF MIDDLETOWN IN FEBRUARY, 1973;

THENCE N77°-36'-54" E ALONG A STATE HIGHWAY LINE AS ESTABLISHED BY SAID STATE HIGHWAY PLAT NO. 1665 A DISTANCE OF ONE HUNDRED EIGHTY-ONE AND SEVENTY FOUR HUNDREDTHS (181.74) FEET TO A POINT, SAID POINT BEING OPPOSITE AND FORTY-ONE (41.00) FEET SOUTHERLY FROM P.T. STATION 517+46.47 ON SAID BASELINE;

THENCE EASTERLY ALONG A STATE HIGHWAY LINE AS ESTABLISHED BY SAID STATE HIGHWAY PLAT NO. 1665, CURVING SOUTHERLY ALONG AN ARC HAVING A RADIUS OF 4811.62 FEET, SUBTENDING AN ANGLE OF 2°-21'-40", A CHORD BEARING OF N78°-47'-44" E, AND A DISTANCE OF ONE HUNDRED NINETY-EIGHT AND TWENTY EIGHT HUNDREDTHS (198.28) FEET TO A POINT, SAID POINT BEING OPPOSITE AND FOR-ON (41.00) FEET SOUTHERLY FROM P.C. STATION 515+46.50 ON SAID BASELINE;

THENCE N79°-58'-33" E, ALONG A STATE HIGHWAY LINE AS ESTABLISHED BY STATE HIGHWAY PLAT NO. 1665 A DISTANCE OF FOUR HUNDRED EIGHTY-EIGHT AND NINETEEN HUNDREDTHS (488.19) FEET TO A POINT, SAID POINT BEING OPPOSITE AND FORTY-ONE (41.00) FEET SOUTHERLY FROM P.T. STATION 510+58.31 ON SAID BASELINE;

THENCE EASTERLY ALONG A STATE HIGHWAY LINE AS ESTABLISHED BY SAID STATE HIGHWAY PLAT NO. 1665, CURVING SOUTHERLY ALONG AN ARC HAVING A RADIUS OF 4578.57 FEET, SUBTENDING AN ANGLE OF 0°-14'-02", A CHORD BEARING OF N79°-51'-32" E AND A DISTANCE OF EIGHTEEN AND SIXTY-NINE HUNDREDTHS (18.69) FEET TO A POINT;

THENCE S7°-15'-19" E, BOUNDED EASTERLY BY LAND NOW OR FORMERLY OF NEWPORT ELECTRIC CORP., A DISTANCE OF ONE HUNDRED SIX AND SEVENTY-NINE HUNDREDTHS (106.79) FEET TO A POINT;

THENCE N82°-44'-41" E, BOUNDED NORTHERLY BY SAID NEWPORT ELECTRIC CORP. LAND A DISTANCE OF FORTY AND NO HUNDREDTHS (40.00) FEET TO A POINT;

THENCE N7°-15'-19" W, BOUNDED NORTHERLY BY SAID NEWPORT ELECTRIC CORP. LAND A DISTANCE OF FIFTEEN AND NO HUNDREDTHS (15.00) FEET TO A POINT;

THENCE N82°-44'-41" E, BOUNDED NORTHERLY BY SAID NEWPORT ELECTRIC CORP. LAND A DISTANCE OF TEN AND NO HUNDREDTHS (10.00) FEET TO A POINT;

THENCE N7°-43'-24" W, BOUNDED WESTERLY BY SAID NEWPORT ELECTRIC CORP. LAND A DISTANCE OF SEVENTY-FOUR AND SIXTY-ONE HUNDREDTHS (74.61) FEET TO A POINT;

THENCE EASTERLY, CURVING SOUTHERLY ALONG AN ARC HAVING A RADIUS OF 4598.57 FEET, SUBTENDING AN ANGLE OF 0°-7'-38", A CHORD BEARING N79°-04'-30" E, ALONG A STATE HIGHWAY LINE AS ESTABLISHED BY THE FOREMENTIONED STATE HIGHWAY PLAT NO. 1665 A DISTANCE OF SIX HUNDRED FORTY AND TWENTY-TWO HUNDREDTHS (640.22) FEET;

THENCE S85°-34'-58" W, BOUNDED SOUTHERLY BY ONEIL ROAD A DISTANCE OF SEVEN HUNDRED SEVENTY-NINE AND SIX HUNDREDTHS (779.06) FEET TO A POINT;

THENCE N03°-33'-39" W, BOUNDED WESTERLY BY HIGH STREET A DISTANCE OF FIFTY-FIVE AND NO HUNDREDTHS (55.00) FEET TO A POINT;

THENCE S85°-30'-51" W, BOUNDED WESTERLY BY SAID HIGH STREET A DISTANCE OF FIFTY-TWO AND SEVENTY HUNDREDTHS (52.70) FEET TO A POINT;

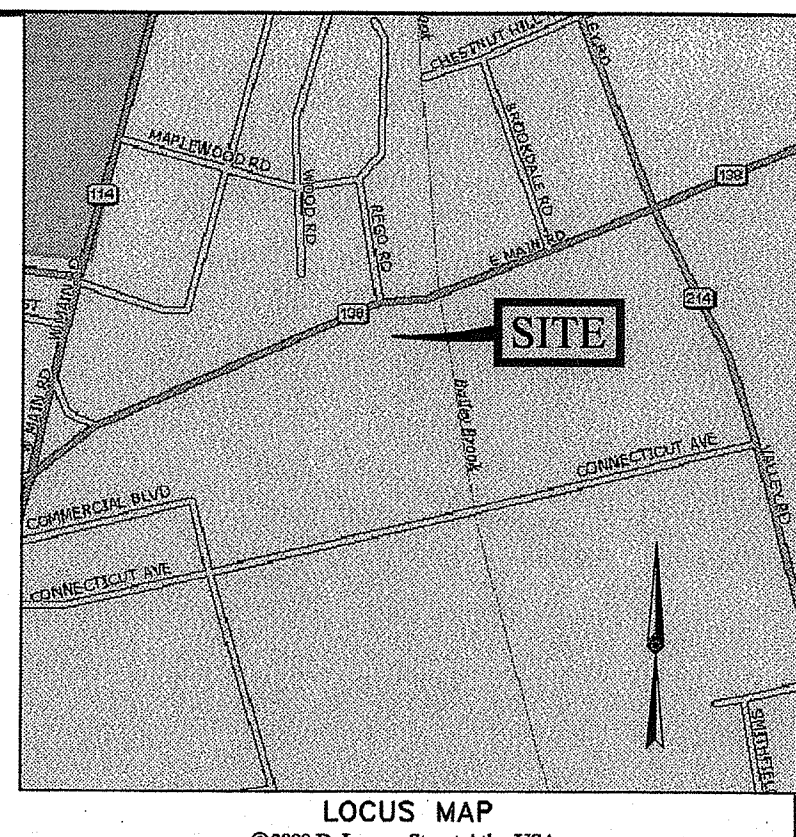
THENCE N06°-31'-39" W, BOUNDED WESTERLY BY HIGH STREET A DISTANCE OF TWO HUNDRED THIRTY-THREE AND FIFTY-EIGHT HUNDREDTHS (233.58) FEET TO A POINT, SAID POINT BEING THE INTERSECTION OF THE EASTERLY LINE OF HIGH STREET AND THE NORTHERLY LINE OF COMMERCIAL ROAD;

THENCE S84°-38'-51" W BOUNDED SOUTHERLY BY COMMERCIAL ROAD A DISTANCE OF THIRTY AND NO HUNDREDTHS (30.00) FEET TO A POINT;

THENCE N07°-46'-27" W, BOUNDED WESTERLY BY LAND NOW OR FORMERLY OF BOULEVARD NURSERIES A DISTANCE OF TWO HUNDRED SIXTY-FIVE AND SIXTY-EIGHT HUNDREDTHS (265.68) FEET TO THE POINT AND PLACE OF BEGINNING.

THE HEREIN DESCRIBED PARCEL CONTAINS 530,614 SQUARE FEET (12,181.2 ACRES), MORE OR LESS OF LAND.

SUBJECT TO AND TOGETHER WITH THE BENEFIT OF CERTAIN ACCESS AND SERVICE ROADS, INCLUDING HIGH STREET, COMMERCIAL STREET AND ONEIL ROAD, SO-CALLED, FOR PURPOSES OF INGRESS AND EGRESS TO THE DEMISED PREMISES.



RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
REVIEWED SITE PLAN APPLICATION # 21-0253
DATED: MAY 26 2022
SEE LETTER OF SAME DATE
Nancy L. Freeman

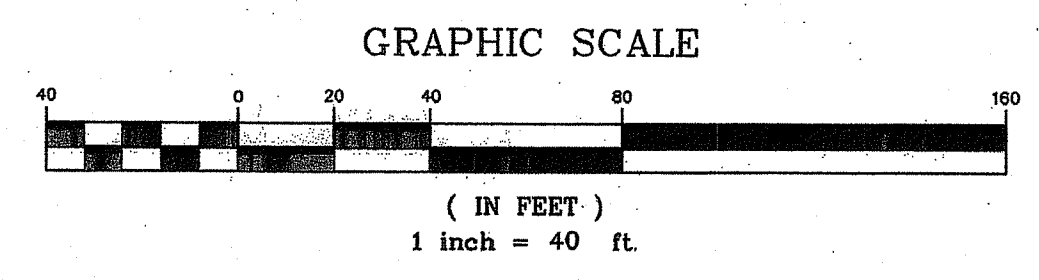
ZONING INFORMATION
GENERAL BUSINESS A (GBA) DISTRICT
WATERSHED PROTECTION ZONE 1 DISTRICT
SOURCE: TOWN OF MIDDLETOWN ZONING ORDINANCE & MAP

| ITEMS | REQUIRED |
|-----------------------------|-------------|
| MIN LOT AREA | 80,000 S.F. |
| MIN FRONTAGE | 200 FT. |
| MIN FRONT YARD | 10 FT. |
| MIN SIDE YARD | 50 FT. |
| MIN REAR YARD | 50 FT. |
| MAX BUILDING COVERAGE | 25% |
| MAX BUILDING HEIGHT | 40 FT. |
| MAX BUILDING FOOTPRINT AREA | 35,000 S.F. |

NOTE: ZONING CRITERIA AND SETBACK LINES IDENTIFIED HEREON ARE BASED UPON PRELIMINARY INVESTIGATION AND PRESENTED FOR REFERENCE ONLY. SAME MUST BE CONFIRMED WITH LOCAL ZONING OFFICIAL AND LEGAL COUNSEL TO CONFIRM VALIDITY.



THE STATE OF RHODE ISLAND REQUIRES NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE.
RHODE ISLAND DIG SAFE SYSTEM (1-888-344-7233)



TO: THE AQUIDNECK GROUP, LLC; EASTERN BANK, its successors and or assigns or their interests may appear AND CHICAGO TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE "2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND-TITLE SURVEYS", JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 6(b), 7(c), 7(b)(1), 8, 9, 13, 14, 16, 17, 18, 19, 20(a) & 21 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON JUNE 27, 2011.

NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION OR BLUE INK SEAL.

A. John Lloyd 8/31/11
A. JOHN LLOYD
RHODE ISLAND PROFESSIONAL LAND SURVEYOR #1976

A. JOHN LLOYD
No. 1976
PROFESSIONAL LAND SURVEYOR

| | | | | |
|----------------|------------------------------|--------------------------------|-----------|-----------|
| 2 | REVISE CERTIFICATION PARTY | J.P. | A.J.L. | 8/31/11 |
| 1 | REVISE WITH RECEIPT OF TITLE | W.P.H. | A.J.L. | 8/29/11 |
| No. | DESCRIPTION OF REVISION | DRAWN: | APPROVED: | DATE |
| FIELD DATE | 6-27-11 | ALTA/ACSM LAND TITLE SURVEY | | |
| FIELD BOOK NO. | 11-13 | AQUIDNECK SHOPPING CENTER | | |
| FIELD BOOK PG. | 25-26 | 99 EAST MAIN ROAD | | |
| FIELD DRAW | | LOT 106, MAP 1705E | | |
| | | TOWN OF MIDDLETOWN | | |
| | | NEWPORT COUNTY, RHODE ISLAND | | |
| FIELD DREW | | CONTROL POINT ASSOCIATES, INC. | | |
| B.S.S. | | 352 TURNPIKE ROAD | | |
| DRAWN: | J.P. | SCITTEBOROUGH, MA 01772 | | |
| | | WARREN, NJ 908.668.0099 | | |
| | | NEWPORT COUNTY, RHODE ISLAND | | |
| | | CHALFONT, PA 215.712.9800 | | |
| REVIEWED: | W.P.H. | DATE: | SCALE: | FILE NO.: |
| | | 7-5-11 | 1"=40' | CM11012 |
| | | | | 2 OF 2 |

