

**CLASS II DESIGNER NOTES**

A. THE INSTALLER IS REQUIRED TO NOTIFY THIS DESIGNER OF INTENTION TO START CONSTRUCTION OR GRADING OF THIS SITE 10 (TEN) DAYS PRIOR TO START OF SITE WORK. THE INSTALLER'S TELEPHONE NUMBER & LICENSE NUMBER SHALL BE FURNISHED TO THIS DESIGNER FOR COORDINATION OF PROPOSED WORK.  
 B. SITE LAYOUT & REQUIREMENTS TO BE MADE BY THIS DESIGNER ARE AS FOLLOWS:

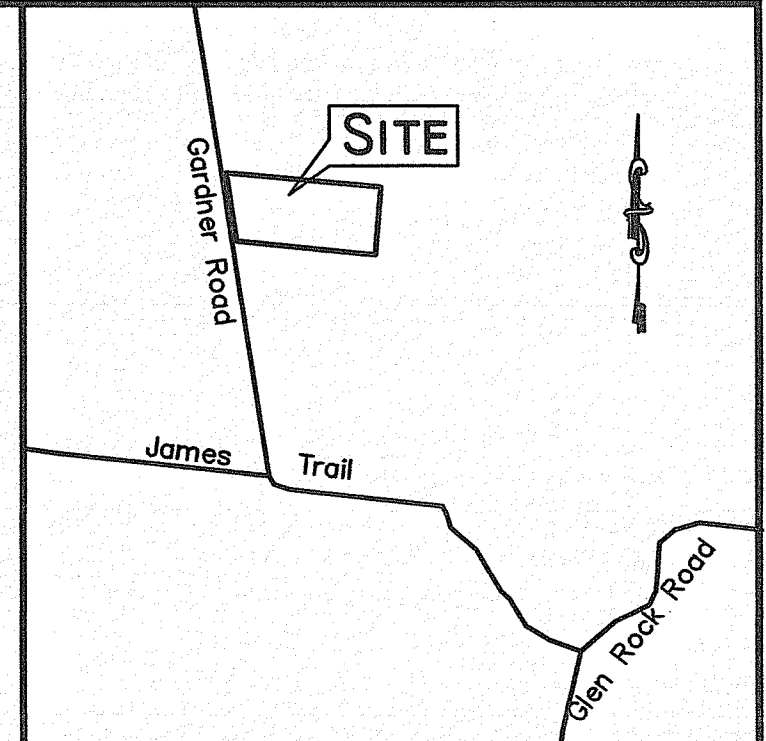
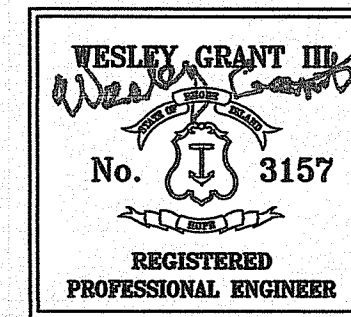
1. STAKEOUT OF LEACHING FIELD.
2. AND ALL ADDITIONAL CIRCLED TERMS OF APPROVAL AS STATED ON APPROVED OWTS APPLICATION.
- C. THE APPLICANT AND THE INSTALLER ARE RESPONSIBLE FOR ANY AND ALL CHANGES IN THE SHOWN DESIGN & INCLUDE THE FOLLOWING:
  1. NEW APPLICATIONS AS REQUIRED BY DEM GUIDELINES.
  2. AS-BUILT LOCATIONS, REQUIRED PLANS & ALL ASSOCIATED COSTS.
  3. COMMUNICATION OR COORDINATION WITH THIS DESIGNER & STAFF.
- D. THE INSTALLER IS TO PROVIDE DESIGNER W/ MATERIALS RECEIPTS FOR ALL CONSTRUCTION MATERIALS PRIOR TO DESIGNER ISSUING CERTIFICATE OF CONSTRUCTION. E. THE ABOVE ARE MINIMUM REQUIREMENTS & SHALL BE REVISED AS THIS DESIGNER DEEMS NECESSARY FOR PROPER FUNCTIONING OF THE SHOWN DESIGN.

**GENERAL NOTES**

- 1.) SITE IS LOCATED WITHIN FLOOD ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) FLOOD ZONE ACCORDING TO FLOOD INSURANCE RATE MAP FOR THE WASHINGTON COUNTY COMMUNITY PANEL NUMBER 44009C0090H. MAP EFFECTIVE DATE SEPTEMBER 19, 2010.
- 2.) SUBJECT SITE DOES NOT LIE WITHIN A NATURAL HERITAGE AREA OR A CRITICAL RESOURCE AREA.
- 3.) SITE IS WOODED WITH HARDWOODS, MAPLE & OAK.
- 4.) WETLAND EDGE FLAGGED BY WETLAND SYSTEMS ANALYSIS ON OCTOBER, 2000.
- 5.) EXISTING GRAVEL DRIVE TO BE IMPROVED (RE GRADED AND RESURFACED).

**R80 ZONING DATA**

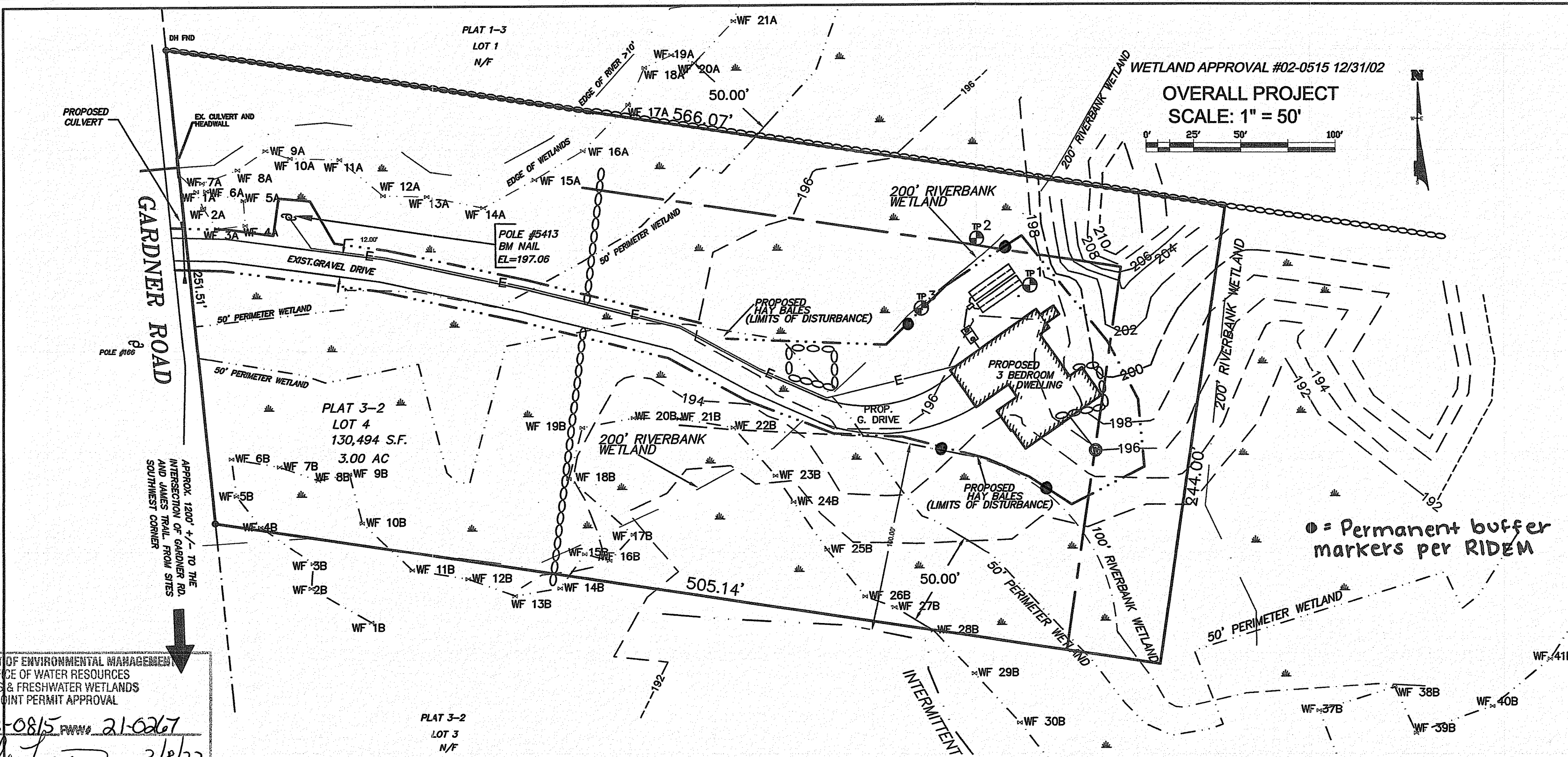
|                 | REQUIRED    | EXISTING    |
|-----------------|-------------|-------------|
| LOT AREA        | 80,000 S.F. | 130,494 SF* |
| FRONTAGE        | 200'        | 251.51'     |
| FRONT YARD      | 50'         | >50'        |
| SIDE YARD       | 40'         | >40'        |
| REAR YARD       | 50'         | >50'        |
| IMPERVIOUS AREA | 25%         |             |



**LOCUS MAP** N.T.S.

**LEGEND**

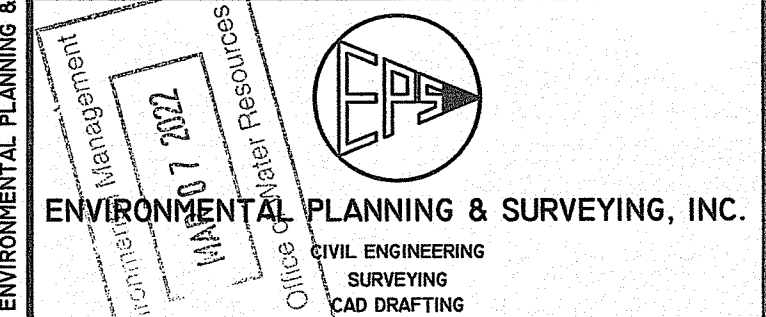
- REBAR/IRON PIN
- ⊙ WELL
- ⊙ SEPTIC TANK/CESSPOOL
- ⊙ TESTHOLE
- ⊘ EXISTING STONEWALL
- PROPERTY LINE
- 99.5 EXISTING CONTOURS
- PROPOSED CONTOURS
- 123.45 DISTANCE IN FEET
- U.P.12 UTILITY POLE



**SITE PLAN  
 PROPOSED DWELLING**  
 PREPARED FOR:  
**COREY FRANCIS**  
 151 TERRE MAR DRIVE  
 NORTH KINGSTOWN, RI 02852  
 FOR PROPERTY LOCATED ON:  
**GARDNER ROAD**  
 IN THE TOWN OF:  
**SOUTH KINGSTOWN, RHODE ISLAND**  
**PLAT 3-2, LOT 4**  
**R 80 ZONING**

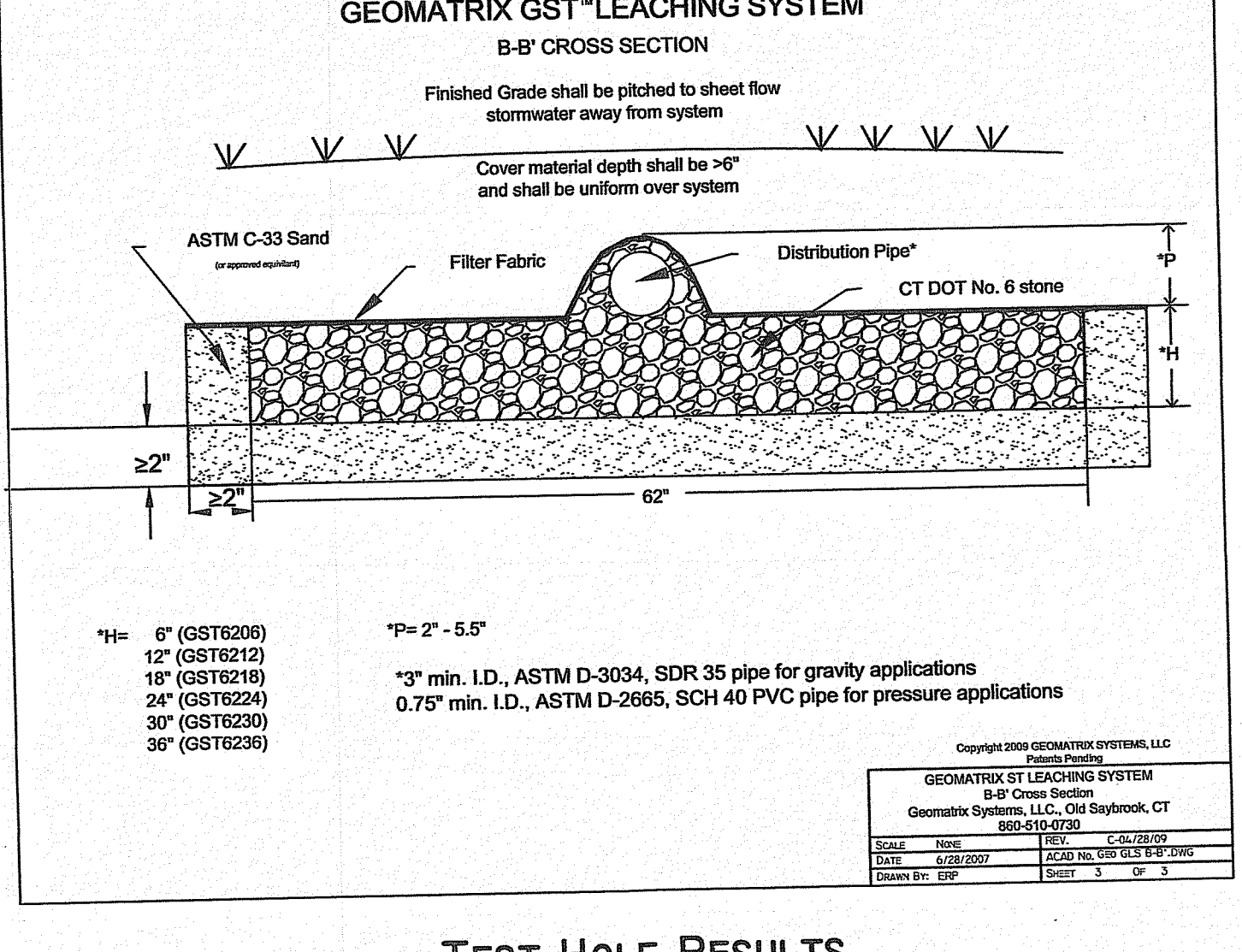
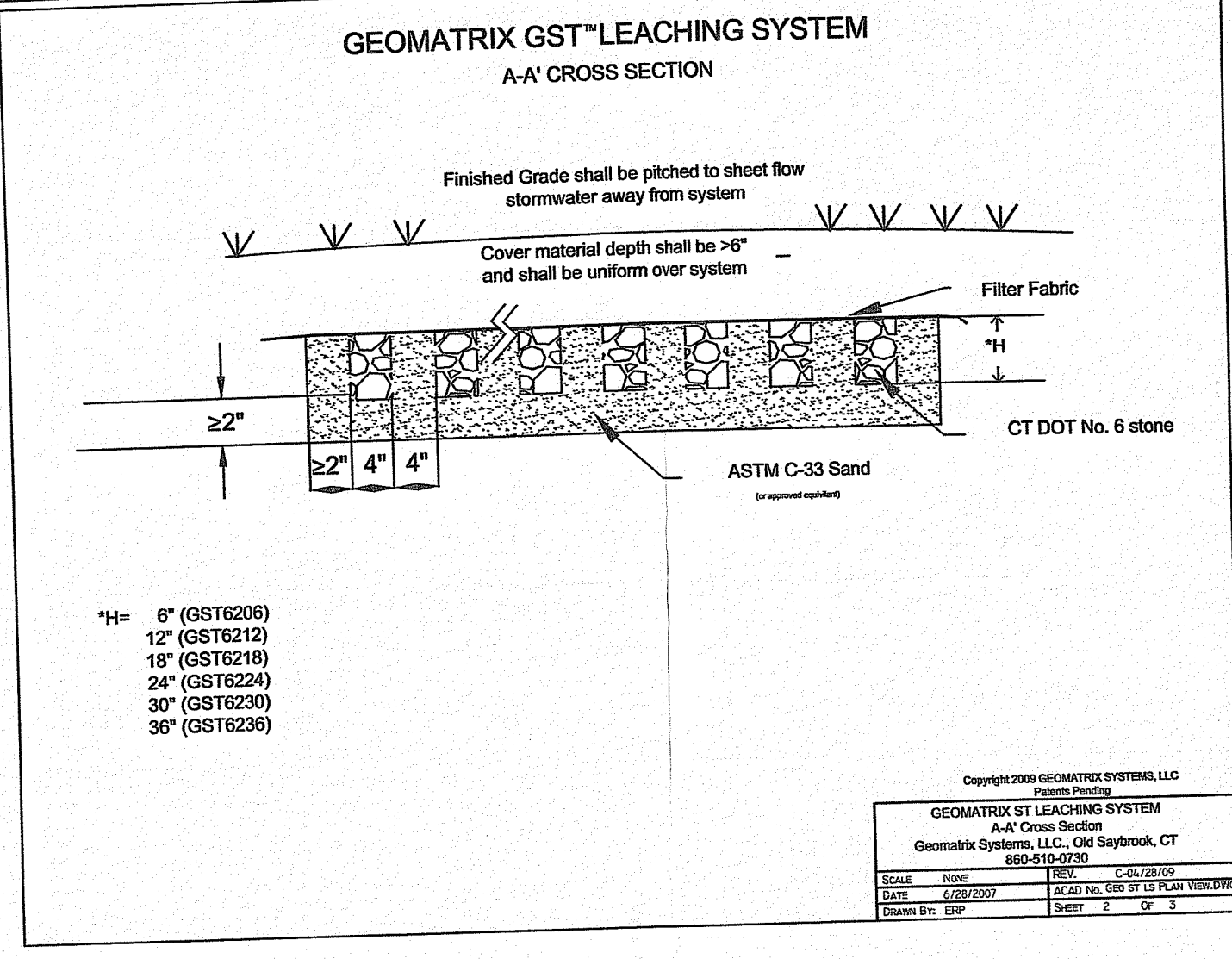
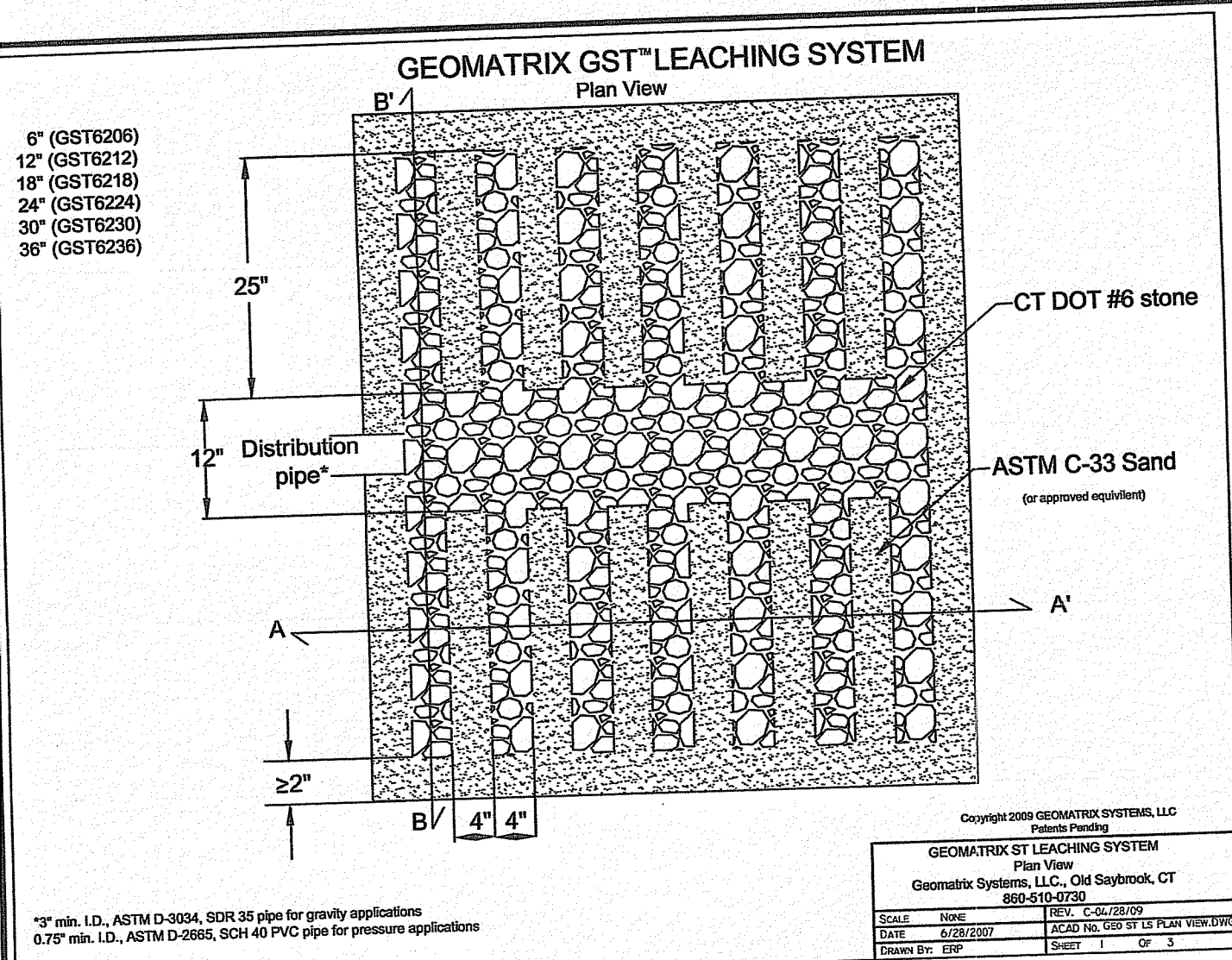
| # | DATE     | DESCRIPTION        | BY  |
|---|----------|--------------------|-----|
| 6 | 2/28/22  | REVISE OWTS        | EPS |
| 5 | 2/1/22   | REVISE OWTS        | EPS |
| 4 | 9/03/21  | REVISE OWTS        | EPS |
| 3 | 9/7/16   | ELJEN 4BDRM SYSTEM | ZMD |
| 2 | 4/20/16  | REVISE OWTS        | ZMD |
| 1 | 16/11/04 | REVISE TO 4 BDRM   | MAC |

DRAWN BY: EPS DATE: 3/21/02  
 CHECKED BY: WGIII DRAWING #: 5934001  
 JOB #: 5934002 SHEET: 1 OF 3



52 DUGWAY BRIDGE RD., WEST KINGSTON, RI 02892 (401) 789-3628

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
 OFFICE OF WATER RESOURCES  
 OWTS & FRESHWATER WETLANDS  
 JOINT PERMIT APPROVAL  
 OWTS# 0032-0815 P.W. 21-0267  
 APPROVED: [Signature] DATE: 3/8/22  
 No Changes Allowed Without RIDEM Approval  
 Approved Plans/Permit Must Be Kept at Construction Site



### DRAINFIELD DESIGN (GST 6212)

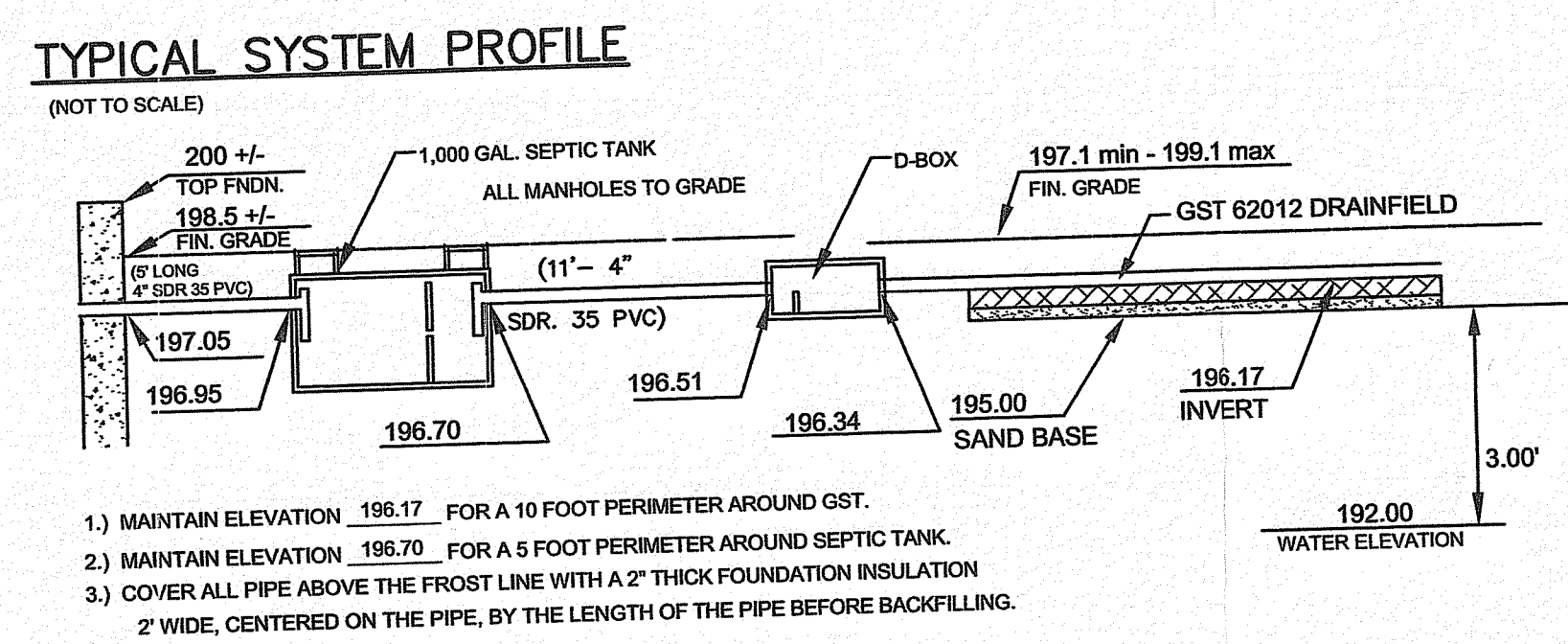
MAX. ELEV. AT DRAINFIELD: 197.00  
DEPTH OF HTM - 0.00'  
SHWT (60" - TH 1) 192.00

DESIGN USING 192.00 FOR SHWT ELEVATION + 3.00

MIN. BOT. SAND 195.00  
MIN. INVERT GST 6212 196.17  
DESIGN INVERT GST 6212 196.17  
TOP OF DISTRIBUTION PIPE (4") 196.57  
MINIMUM COVER (0.5') 197.07  
MAXIMUM COVER (2.5') 199.07

SOIL CATEGORY 9 WITHIN 3' OF BASE OF DRAINFIELD (DESIGN ON 0.4 GAL/S.F./DAY - SEPTIC TANK EFFLUENT)

3 BEDROOM x 115 GAL = 345 GAL/0.4 GAL/S.F./DAY = 862.5 S.F. REQUIRED  
GST 6212 (17.5 S.F. PER L.F.):  
862.5 ÷ 17.5 = 49.3 L.F. (USE 52 L.F.)  
52 L.F. X 17.5 S.F. PER L.F. = 910 S.F. PROPOSED



### TREATMENT TRAIN INVERTS

PROPOSED BUILDING SEWER = 197.05  
PROPOSED 1,000 GALLON SEPTIC TANK:  
INVERT IN = 196.95  
INVERT OUT = 196.70  
PROPOSED D-BOX:  
INVERT IN = 196.51  
INVERT OUT = 196.34  
PROPOSED INVERT GST-6212 = 196.17

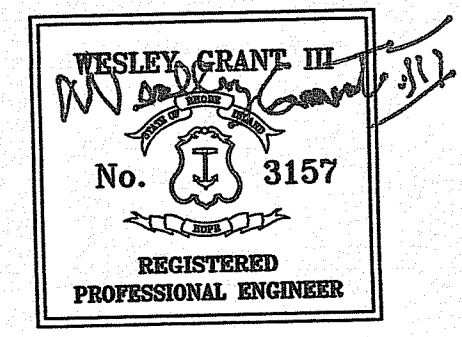
### TEST HOLE RESULTS

MOST RESTRICTIVE SOIL HORIZON:  
CATEGORY 9

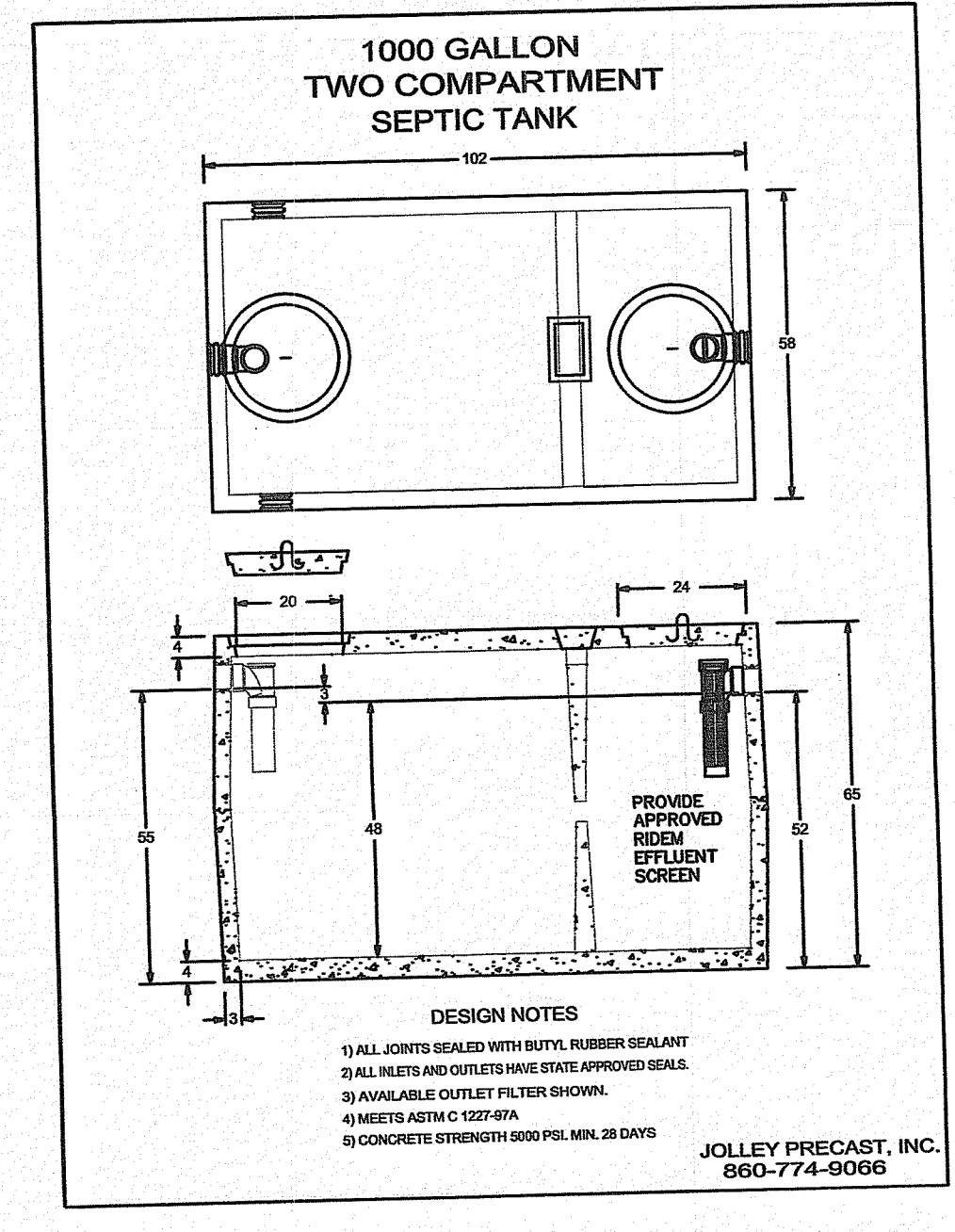
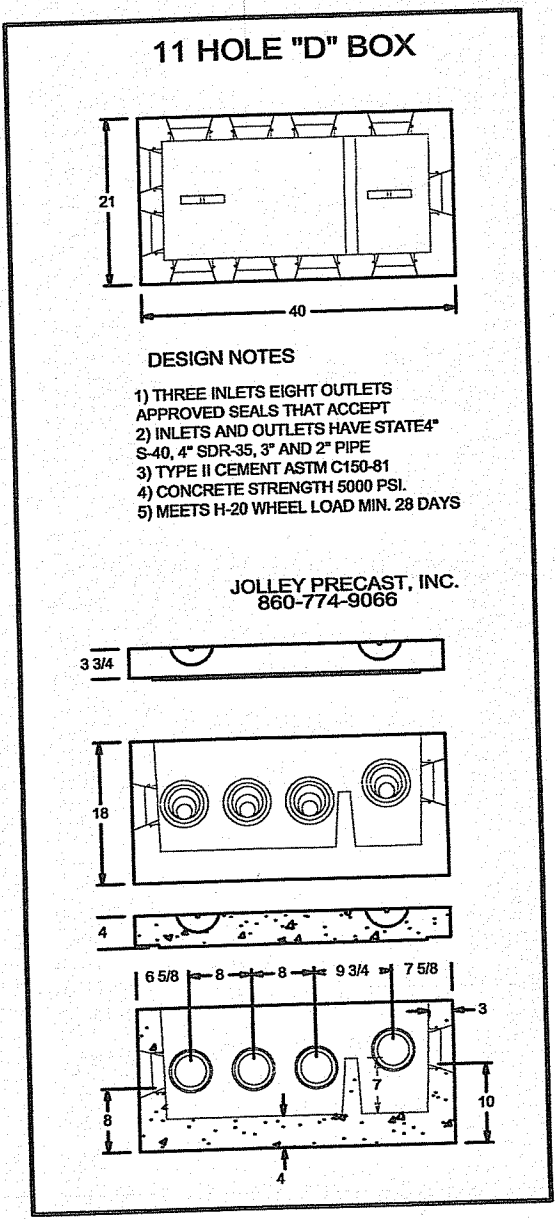
**TEST HOLE 1**  
WATER TABLE 60"  
RESTRICTIVE LAYER 92"

**TEST HOLE 2**  
WATER TABLE 84"  
RESTRICTIVE LAYER 132"

**TEST HOLE 3**  
WATER TABLE 84"  
RESTRICTIVE LAYER 120"



- ### OWTS NOTES
1. THERE ARE NO WELLS EXISTING OR PROPOSED WITHIN 200 FEET OF THE PROPOSED OWTS NOR ANY OTHER OWTS WITHIN 100 FEET OF PROPOSED WELLS, EXCEPT AS NOTED.
  2. BENCHMARK TO BE SET WITHIN 150 FEET OF THE PROPOSED OWTS PRIOR TO CONSTRUCTION.
  3. CLEAR ALL TREES, BRUSH AND STUMPS WITHIN 10 FEET OF THE PROPOSED SYSTEM.
  4. THERE SHALL BE NO ON-SURFACE, FOUNDATION DRAIN, OR ANY OTHER TYPE OF DRAIN WITHIN 25 FEET OF THE PROPOSED SYSTEM.
  5. ALL PIPE TO BE SDR35 OR EQUAL FOR ENTIRE SYSTEM UNLESS SUBJECT TO VEHICULAR TRAFFIC IN WHICH CASE SCHEDULE 40 PVC SHALL BE REQUIRED.
  6. LOAM AND SEED SYSTEM AREA.
  7. MAINTAIN MINIMUM INVERT ELEVATION OF 196.17 FOR 10 FEET AROUND SYSTEM PERIMETER.
  8. ALL WASTEWATER TREATMENT SYSTEMS SHALL CONFORM TO THE TERMS AND CONDITIONS SPECIFIED IN THE LATEST EDITION OF: RULES ESTABLISHING MINIMUM STANDARDS RELATING TO LOCATION, DESIGN, CONSTRUCTION AND MAINTENANCE OF ONSITE WASTEWATER TREATMENT SYSTEMS OF THE STATE OF RHODE ISLAND AND PROVIDENCE PLANTATIONS, DEPARTMENT OF ENVIRONMENTAL MANAGEMENT.
  9. COMPLY WITH ANY ADDITIONAL TERMS OF APPROVALS AS MAY BE REQUIRED BY THE RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL MANAGEMENT.
  10. NO PUBLIC SEWERS WITHIN 200' OF PROPERTY.
  11. THERE ARE NO PUBLIC WELLS EXISTING OR PROPOSED WITHIN 500 FEET OF THE PROPOSED SYSTEM, EXCEPT AS NOTED.
  12. SEPTIC TANKS, GREASE TANKS, PUMP TANKS, HOLDING TANKS, CONCRETE CHAMBERS AND CESSPOOLS THAT ARE NO LONGER IN USE SHALL BE PROPERLY ABANDONED. THE STRUCTURE SHALL BE EMPTIED OF ALL WASTES AND THEN EITHER REMOVED, FILLED WITH CLEAN SAND OR CRUSHED AND THE AREA BACKFILLED WITH CLEAN SOIL.
  13. THE LEACHFIELD AND FIVE FEET BEYOND THE LEACHFIELD SHALL BE STRIPPED OF ALL TOPSOIL (A HORIZON). IN ORDER TO AVOID COMPACTION OF THE B SOIL HORIZON, ONLY TRACKED VEHICLES SHALL BE ALLOWED WITHIN THIS AREA.



### SITE PLAN

#### PROPOSED DWELLING

PREPARED FOR:  
**COREY FRANCIS**  
151 TERRE MAR DRIVE  
NORTH KINGSTOWN, RI 02852

FOR PROPERTY LOCATED ON:  
**GARDNER ROAD**

IN THE TOWN OF:  
**SOUTH KINGSTOWN, RHODE ISLAND**  
PLAT 3-2, LOT 4  
R 80 ZONING

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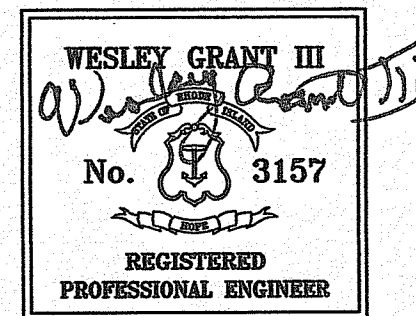
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CHECKED BY: WCIII DRAWING #: 5934001  
JOB #: 5934002 SHEET: 2 OF 3

ENVIRONMENTAL PLANNING & SURVEYING, INC.  
CIVIL ENGINEERING  
SURVEYING  
CAD DRAFTING

52 DUGWAY BRIDGE RD., WEST KINGSTOWN, RI 02892 (401) 789-3628

**EROSION CONTROL, SOIL STABILIZATION AND SEDIMENT CONTROL PLAN**

1. PRIOR TO THE COMMENCEMENT OF ANY CLEARING, GRUBBING, DEMOLITION OR EARTHWORK ACTIVITY, TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES AS INDICATED ON THE PLANS ARE TO BE INSTALLED BY THE CONTRACTOR.
2. CONSTRUCTION ACCESS STABILIZATION ENTRANCE PADS ARE TO BE INSTALLED PRIOR TO THE COMMENCEMENT OF SITE GRUBBING OR EARTHWORK ACTIVITY.
3. EXISTING CATCH BASINS ARE TO BE PROTECTED WITH HAY BALES AND/OR SILT SACS PRIOR TO THE START OF SITE GRUBBING, EARTHWORK OR UNDERGROUND UTILITY AND DRAINAGE INFRASTRUCTURE INSTALLATION TO SERVE THE DEVELOPMENT SITE.
4. THE PROJECT CONSTRUCTION SEQUENCE, TO THE EXTENT PRACTICAL, SHOULD REQUIRE THE INSTALLATION OF DOWN GRADE AND OFF SITE STORM DRAINAGE SYSTEM IMPROVEMENTS BEFORE THE START OF SITE GRUBBING AND EARTHWORK ACTIVITY.
5. TEMPORARY SITE SLOPE TREATMENTS FOR SOIL STABILIZATION SHALL CONSIST OF HAY, STRAW, FIBER MULCH, RIP RAP OR PROTECTIVE COVERS SUCH AS MAT OR FIBER LINING (BURLAP, JUTE, FIBERGLASS NETTING, AND EXCELSIOR OR EQUAL PRODUCTS). THESE AND OTHER ACCEPTABLE MEASURES SHALL BE INCORPORATED INTO THE SITE WORK AS WARRANTED OR AS ORDERED BY THE ENGINEER.
6. CONSTRUCTION SITES ARE DYNAMIC, THE CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION AND OR MOVEMENT AND MAINTENANCE OF EROSION CONTROLS, SOIL STABILIZATION AND SEDIMENT CONTROL MEASURES AS NEEDED TO MAXIMIZE THE INTENT OF THE PLAN FOR ALL SITE CONDITIONS THROUGHOUT THE CONSTRUCTION PERIOD.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PERIODIC INSPECTION, MAINTENANCE, REPAIR, AND REPLACEMENT OF EROSION CONTROLS, SOIL STABILIZATION AND SEDIMENT CONTROL DEVICES UNTIL AN ACCEPTABLE PERMANENT VEGETATIVE GROWTH IS ESTABLISHED. THE CONTRACTOR SHALL MAINTAIN A DETAIL LOG OF ALL EROSION CONTROL INSPECTIONS, COMPLAINTS RELATED TO EROSION OR SEDIMENT, AND CORRECTIVE REMEDIAL MEASURES TAKEN THROUGHOUT THE COURSE OF THE PROJECT CONSTRUCTION.
8. SOIL EROSION AND SEDIMENT CONTROL IS NOT LIMITED TO DAMAGES CAUSED BY WATER BUT ALSO INCLUDES EROSION AND SEDIMENT RESULTING FROM WINDS. MEASURES, SUCH AS TEMPORARY GROUND COVERS, WATER AND CALCIUM APPLICATIONS ARE TO BE UNDERTAKEN AS NEEDED TO MINIMIZE WIND RELATED SOIL AND DUST CONTROL.
9. STOCK PILES OF EARTH MATERIALS SHALL NOT BE LOCATED NEAR WATERWAYS OR WETLANDS. STOCK PILES SHALL HAVE SIDE SLOPES NO GREATER THAN THIRTY PERCENT (30%). STOCK PILES SHALL BE SURROUNDED ON THE DOWN GRADIENT OF THE EXISTING GROUND SURFACE BY HAY BALES OR SILT FENCE. THE STOCK PILES SHALL ALSO BE SEEDED OR STABILIZED IN SOME MANNER TO PREVENT SOIL EROSION.
10. THE SMALLEST POSSIBLE SITE AREAS SHALL BE DISTURBED OR EXPOSED AT ONE TIME AND DENUDED SLOPES OR WORK AREAS SHALL NOT BE LEFT EXPOSED FOR EXCESSIVE PERIODS OF TIME, SUCH AS INACTIVE PERIODS OR SITE WORK SHUT DOWNS.
11. TO THE EXTENT POSSIBLE, ALL DISTURBED AREAS MUST BE SEEDED OR STABILIZED WITHIN THE CONSTRUCTION SEASON. STABILIZATION OF ONE FORM OR ANOTHER SHALL BE ACHIEVED WITHIN FIFTEEN (15) DAYS OF FINAL GRADING.
12. EXPOSED STEEP OR LONG SLOPES SHOULD BE TREATED WITH "CRIMPING" OR "TRACKING" TO REDUCE EROSION AND SEDIMENT AND TO TACK DOWN SEEDING OR MULCH APPLICATIONS.
13. IF CONCRETE IS TO BE USED ON SITE, THE CONTRACTOR MUST ESTABLISH AND MAINTAIN SPECIFIC WASHOUT AREAS FOR THE CONCRETE TRUCKS WITH APPROPRIATE PROTECTION CONTROLS.
14. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND MAINTAINING COLLECTION AND STORAGE LOCATIONS ON-SITE FOR ALL CONSTRUCTION DEBRIS AND TRASH SO THAT THIS MATERIAL DOES NOT BECOME A NEIGHBORHOOD NUISANCE.
15. EXISTING TREES AND VEGETATION WILL BE RETAINED WHENEVER FEASIBLE.
16. SITE SOIL EROSION AND SOIL STABILIZATION AND SEDIMENT CONTROLS MUST CONFORM TO ALL REQUIREMENTS OF THE APPLICABLE LOCAL COMMUNITY ORDINANCES AND STATE REGULATIONS.



**ROOF STORMWATER RUNOFF MITIGATION**

DRY WELLS, 30" STONE DEPTH UNDER PIPE, USING TABLE 11 (SIZING FOR DRYWELLS IN SILTY SOILS)

HOUSE ROOF (TOTAL AREA = 2,913 S.F.):

AREA A= 933 S.F.

AREA B= 990S.F.

AREA C= 990 S.F. (USING 990 S.F. FOR ALL AREAS)

DRAINAGE AREA: 1000 S.F. = 92 S.F. (INFILTRATION AREA)

DRAINAGE AREA: 900 S.F. = 83 S.F. (INFILTRATION AREA)

DIFFERENCE: 100 S.F. = 9 S.F.

DIFFERENCE PER 1 S.F. OF DRAINAGE AREA:

9 S.F. / 100 S.F. = 0.09 S.F. / S.F.

FOR 990 S.F. OF DRAINAGE AREA:

92 S.F. - (10 S.F. X 0.09 S.F. / S.F.)

= 91.1 S.F. (REQUIRED INFILTRATION AREA)

DESIGN DRAINAGE AREAS = 10' x 9.5' = 95 S.F.

**DRY WELL STONE REQUIREMENTS:**

CRUSHED CLEAN STONE, 1.5 TO 2.5 INCH DIAMETER. NO FINES, ORGANIC MATERIAL OR SOFT STONE.

**DRY WELL MAINTENANCE:**

- 1) INSPECT ANNUALLY AND AFTER LARGE STORM EVENTS.
- 2) ACCUMULATED SEDIMENT AND DEBRIS SHALL BE REMOVED FROM THE SURFACE OF THE INFILTRATION PRACTICE ANNUALLY.

**VEGETATIVE COVER AND PLANTING**

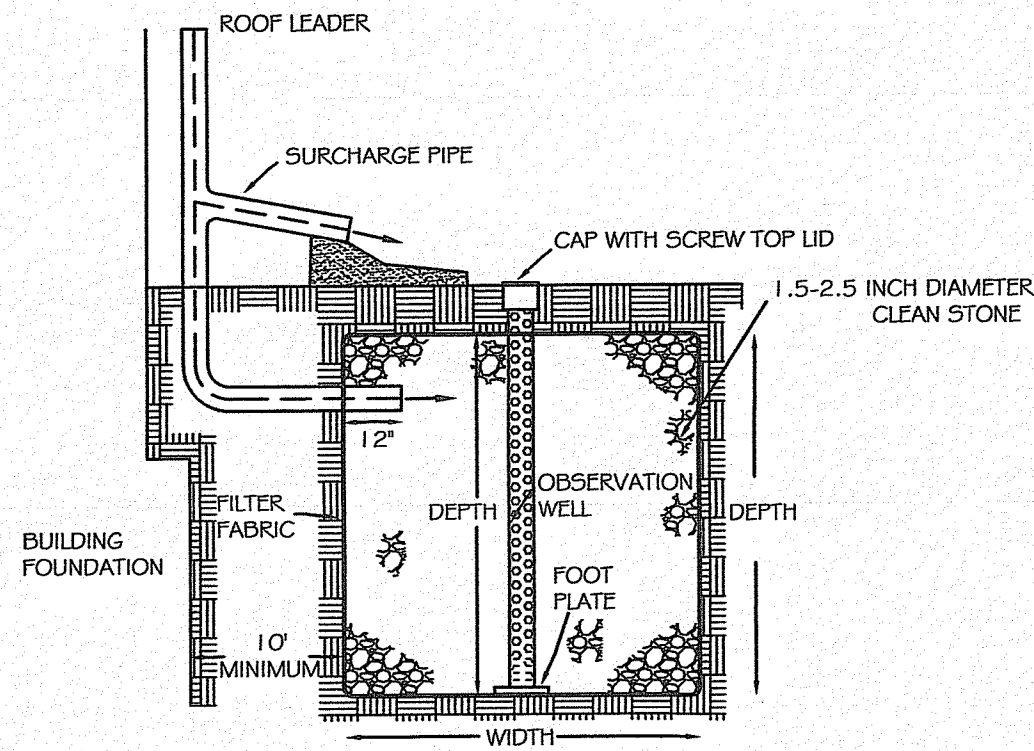
1. THE NORMAL ACCEPTABLE SEASONABLE SEEDING DATES ARE APRIL 1ST THROUGH OCTOBER 15TH.
2. TOP SOIL FOR PERMANENT OR LONG TERM TEMPORARY SEEDING SHOULD HAVE A SANDY LOAM TEXTURE, RELATIVELY FREE OF SUBSOIL MATERIAL, STONES, ROOTS, LUMPS OF SOIL, TREE LIMBS, TRASH OR CONSTRUCTION DEBRIS. TOP SOIL SHALL CONFORM WITH RHODE ISLAND SPECIFICATIONS M18.01.
3. THE DESIGN SEED MIX UTILIZED IN ALL DISTURBED AREAS TO BE SEEDED SHALL BE COMPRISED OF THE FOLLOWING:

| TYPE                | % BY WEIGHT | SEEDING DATE      |
|---------------------|-------------|-------------------|
| CREeping RED FESCUE | 70          | APRIL 1 - JUNE 15 |
| ASTORIA BENTGRASS   | 5           | APRIL 1 - JUNE 15 |
| BIRDFOOT TREFOIL    | 15          | AUG. 15 - OCT. 15 |
| PERENNIAL RYE GRASS | 10          | AUG. 15 - OCT. 15 |

APPLICATION RATE - 100 LBS PER ACRE

SEED MIX SHALL BE INOCULATED WITHIN 24 - HOURS BEFORE MIXING AND PLANTING, WITH APPROPRIATE INOCULATION FOR EACH SEED VARIETY. ALTERNATE SEED TYPES DUE TO SITE SPECIFIC CONDITIONS AND SOILS ARE ACCEPTABLE WITH THE ENGINEER'S APPROVAL.

4. IN TOPSOIL SEEDING AREAS, THE CONTRACTOR WILL LIME AND FERTILIZE AS REQUIRED TO COMPLIMENT OR UPGRADE SOIL CONDITIONS.
5. THE CONTRACTOR MUST REPAIR AND/OR RESEED ANY PERMANENT VEGETATIVE COVER AREAS THAT DO NOT DEVELOP OR WHICH ERODE WITHIN A ONE (1) YEAR



**DRY WELL DETAIL (ROOF)**

SCALE: NONE

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