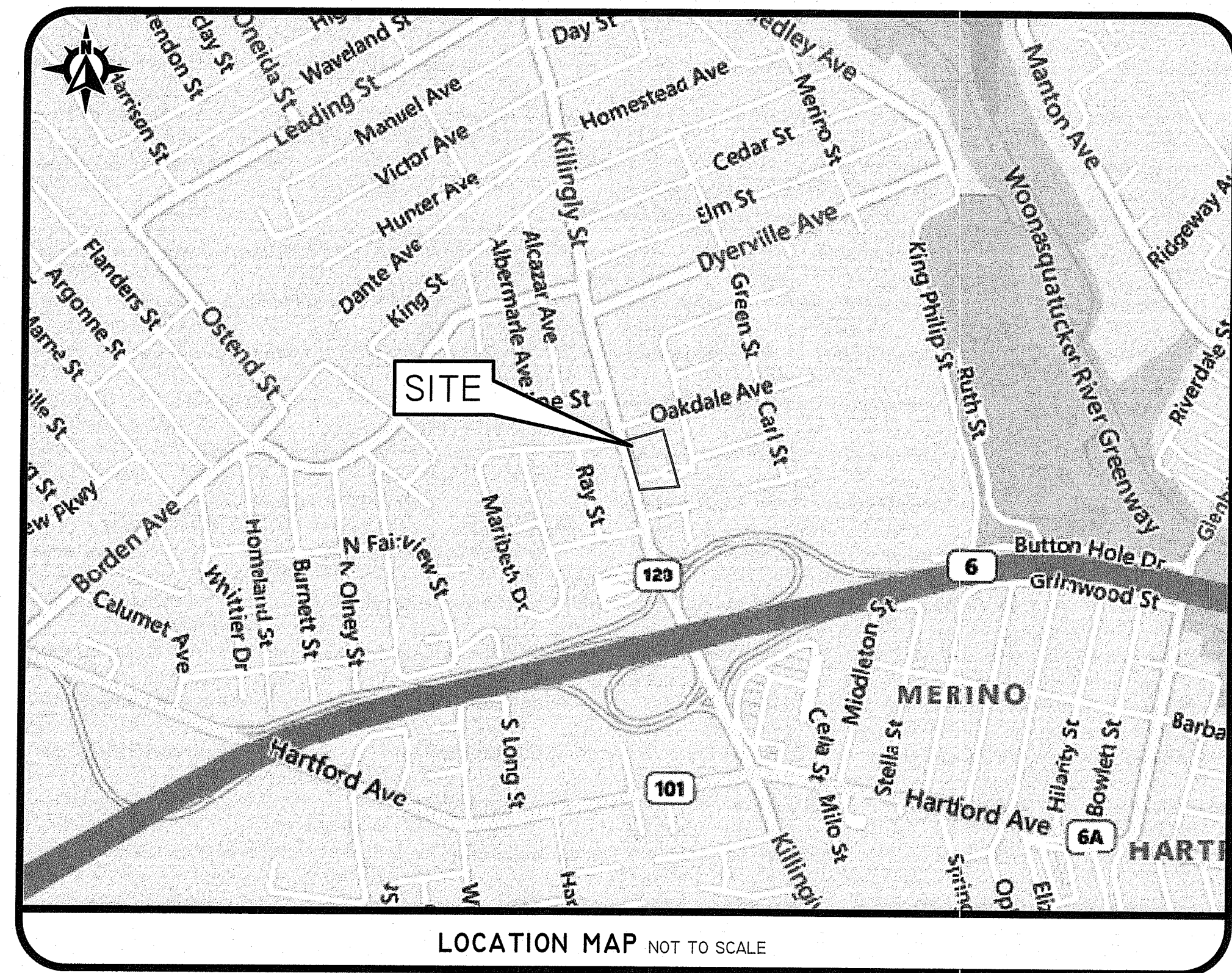


# PERMITTING SUBMISSION SET

# SEASONS CORNER MARKET

521 & 525 KILLINGLY STREET  
JOHNSTON, RHODE ISLAND 02919

ASSESSOR'S PLAT 13 LOTS 397 & 485



LOCATION MAP NOT TO SCALE

## SHEET INDEX

- 1 COVER SHEET
- 2 AERIAL & HALF MILE RADIUS
- 3 GENERAL NOTES & LEGEND
- 4 BOUNDARY & TOPOGRAPHIC SURVEY PLAN (BY OTHERS)
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- 7 GRADING & SURFACE DRAINAGE PLAN
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- 12 LANDSCAPE PLAN
- 13 LANDSCAPE NOTES & DETAILS

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS  
AS SPECIFIED IN THE LETTER OF APPROVAL  
DATED FEB 17 2022 FILE # 21-0329  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

*Dana R. Nisbet*

**SESC / O&M**  
THE SOIL EROSION AND SEDIMENT CONTROL PLAN (SESC) AND STORMWATER OPERATION AND MAINTENANCE PLAN (O&M) ARE REQUIRED DOCUMENTS WITH THIS PLAN SET AND MUST BE MAINTAINED BY THE CONTRACTOR AND OWNER ON SITE.

**RIDOT**  
THE PROPOSED IMPROVEMENTS WILL NOT INCREASE THE RATE OF STORMWATER RUNOFF ONTO THE STATE HIGHWAY. ALL WORK WITHIN THE STATE RIGHT OF WAY MUST CONFORM TO THE RI STANDARD SPECIFICATIONS, DETAILS, AND ADDENDUMS.

**DiPrete Engineering**  
Two Stafford Court Cranston, RI 02910  
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Boston • Providence • Newport

DANA R. NISBET  
No. 11876  
REGISTERED PROFESSIONAL ENGINEER  
CIVIL

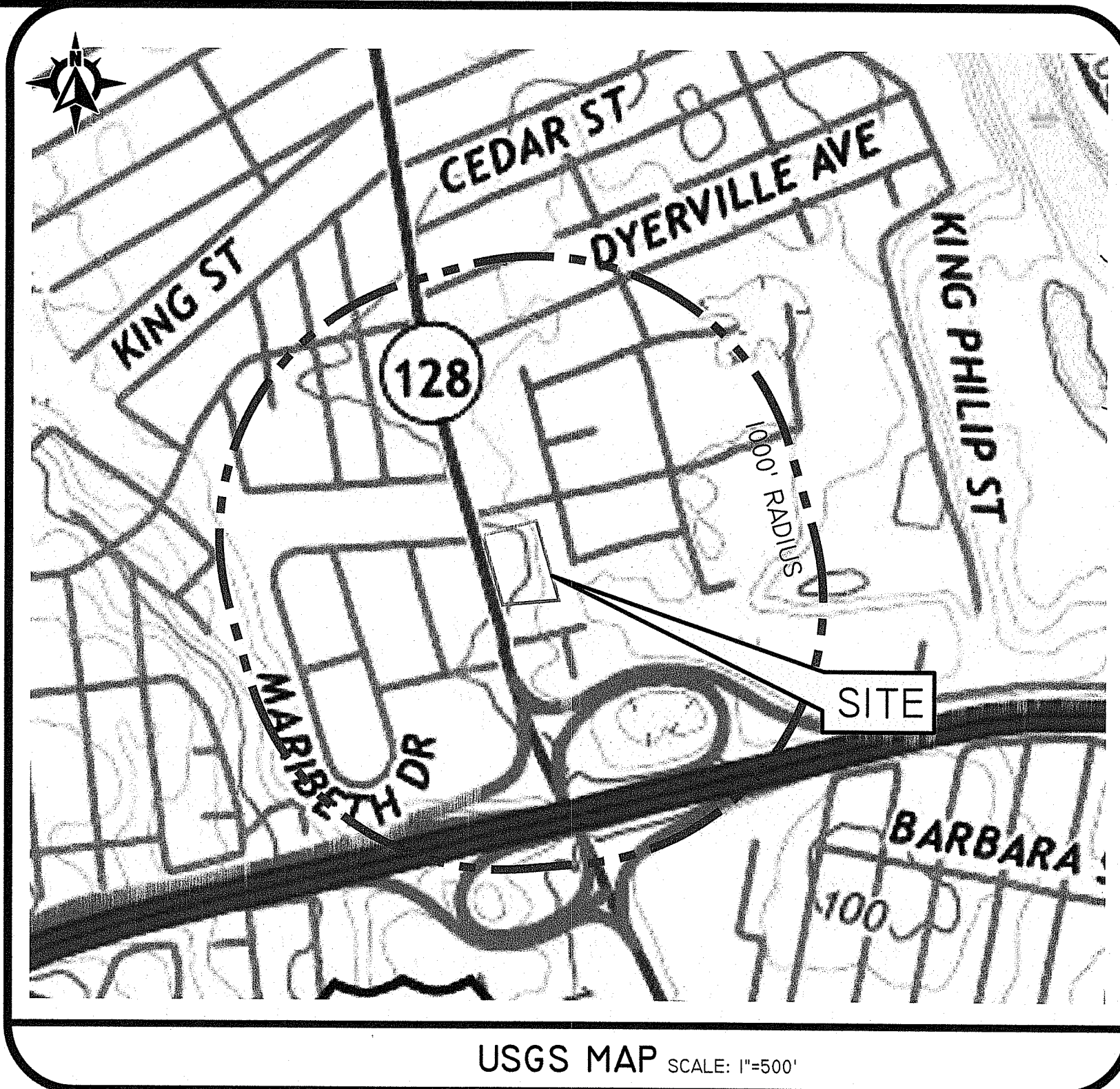
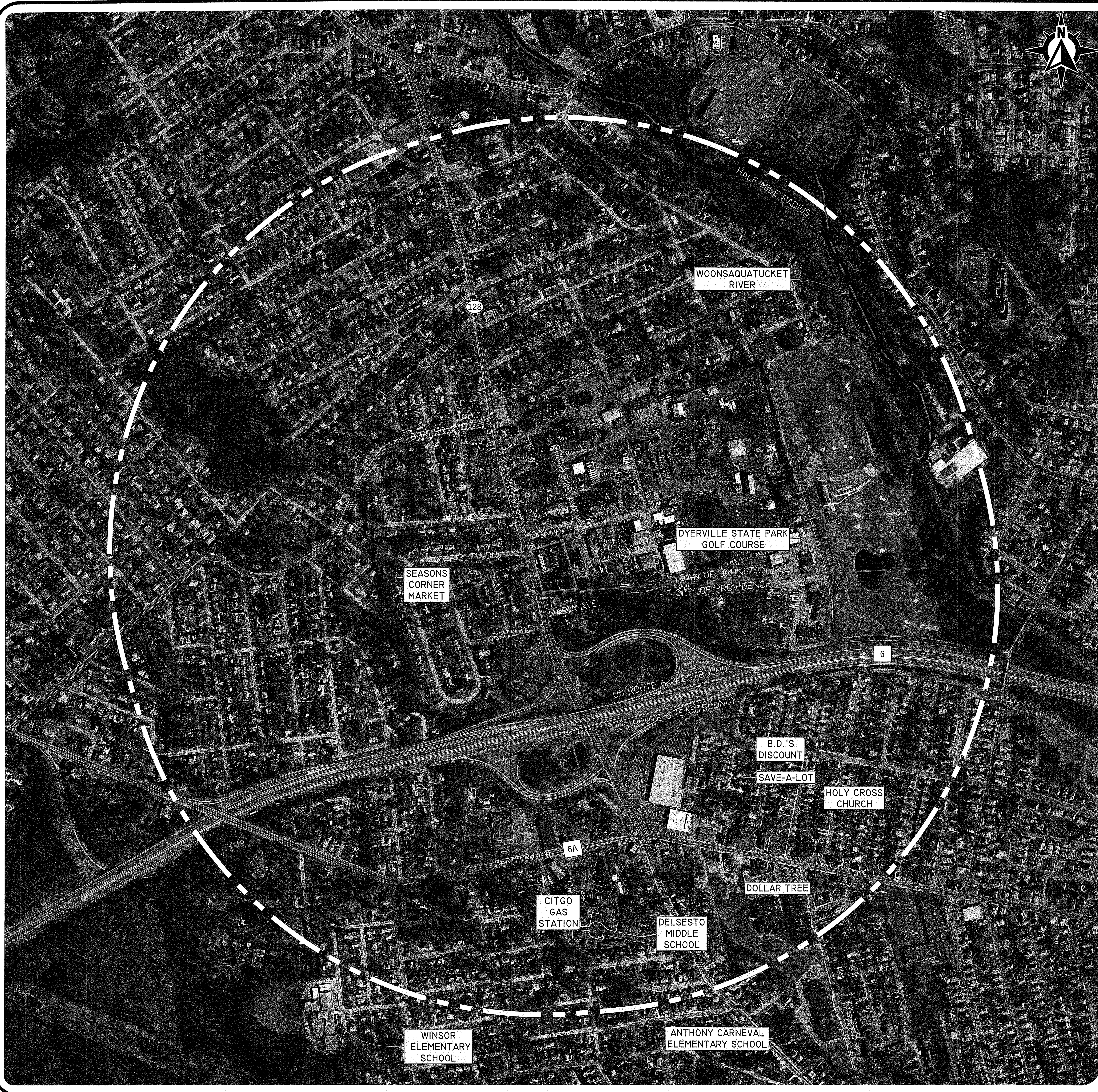
Office of Water Resources  
DEC 06 2021

THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTED AGENCIES AND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTED AGENCIES AND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTED AGENCIES AND UTILITIES.

NO.	DATE	DESCRIPTION	DESIGN BY: RSS
1	11/22/21	PERMIT SUBMISSION SET	BY: RSS
2			

**COVER SHEET**  
**SEASONS CORNER MARKET**  
ASSESSOR'S PLAT 13 LOTS 397 & 485  
JOHNSTON, RHODE ISLAND 02919  
PREPARED FOR:  
**COLBEA ENTERPRISES, LLC**  
2050 PLAINFIELD PIKE, CRANSTON, RHODE ISLAND 02921  
TEL 401-943-0005

Z:\SUBMIT\PROJECTS\2021-006 KILLINGLY STREET SEWAGE TREATMENT PLANT\DRAWINGS\2021-006-006-000000.DWG PLOTTER: 11/22/2021



USGS MAP SCALE: 1"=500'

**LEGEND**

- PROPERTY LINE
- 1000' RADIUS LINE
- HALF MILE RADIUS LINE
- APPROXIMATE CITY/TOWN LINE

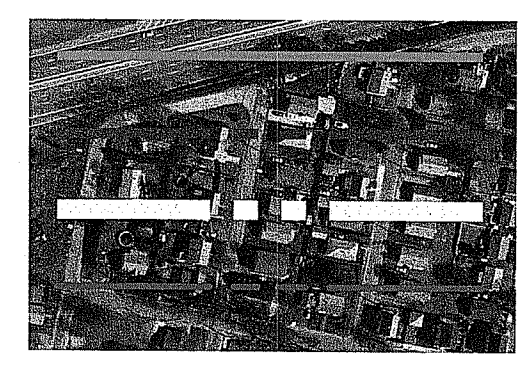
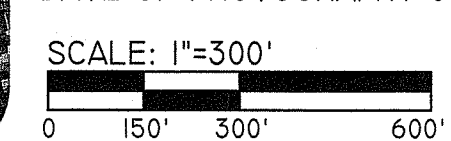


PHOTO OBTAINED FROM RIGIS.  
DATE OF PHOTOGRAPHY 08/12/2013.



DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS  
AS SPECIFIED IN THE LETTER OF APPROVAL  
DATED FEB 17 2022 FILE # 21-0329  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
APPROVED PLANS MUST BE AT CONSTRUCTION SITE  
*Donna L. Freeman*

**DiPrete Engineering**  
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tel 401-943-1000 fax 401-464-6006 www.diprete-eng.com

DANA R. NISBET  
No. 11876  
REGISTERED PROFESSIONAL ENGINEER  
CIVIL

RI Environmental Management  
DEC 06 2021  
Office of Water Resources

THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS STAMPED, ISSUED FOR CONSTRUCTION AND STAMPED BY THE REGISTERED PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING. DIPRETE ENGINEERING ONLY WARRANTS PLANS ON A DIPRETE PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING. DIPRETE ENGINEERING DOES NOT WARRANT PLANS BY ANY OTHER PARTY. METHODS, SAFETY, PRECAUTIONS AND REGULATIONS, AND OSHA COMPLIANCE IN THE IMPLEMENTATION OF THIS PLAN AND EXISTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE. ONLY DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR SEE 'UTILITY NOTE ON SHEET 5.

NO.	DATE	PERMIT SUBMISSION SET	R.S.S.
0	11-09-21	PERMIT SUBMISSION SET	BY:
DRAWN BY: RRS			DESIGN BY: RRS

**AERIAL & HALF MILE RADIUS**  
SEASONS CORNER MARKET  
JOHNSTON, RHODE ISLAND 02919  
PREPARED FOR:  
COLBEA ENTERPRISES, LLC  
2050 PLAINFIELD PIKE, CRANSTON, RHODE ISLAND 02921  
TEL 401-943-0005

GENERAL NOTES:

- 1. THE SITE IS LOCATED ON THE TOWN OF JOHNSTON, RI ASSESSOR'S PLAT 13 LOTS 397 & 485.
2. THE SITE IS APPROXIMATELY 1.44 ACRES AND IS ZONED B-2.
3. THE OWNER OF AP 13 LOTS 397 & 485 IS: COLBEA ENTERPRISES, LLC
2050 PLAINFIELD PIKE
CRANSTON, RI 02921
4. THIS SITE IS LOCATED IN FEMA FLOOD ZONE X. REFERENCE FEMA FLOOD INSURANCE RATE MAP 44007C0303H, MAP REVISED MONTH OCTOBER, 2015.
5. THE BOUNDARY LINE AS SHOWN ON THE ENGINEERING PLAN SET REFLECTS THE RESULTS OF A CLASS I COMPREHENSIVE BOUNDARY SURVEY AS PERFORMED BY WATERMAN ENGINEERING COMPANY. THIS PLAN IS NOT TO BE CONSTRUED AS A CLASS I BOUNDARY RETRACEMENT SURVEY PLAN AND IS NOT SUITABLE FOR RECORDING AS A CLASS I STANDARD SURVEY PLAN.
6. CONTOUR DATA SHOWN ON THIS PLAN CONFORMS TO A T-1 TOPOGRAPHICAL SURVEY STANDARD AS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS BY WATERMAN ENGINEERING COMPANY.
7. ALL WORK PERFORMED HEREIN IS TO BE GOVERNED BY CURRENT EDITIONS OF THE RHODE ISLAND STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION, TOWN OF JOHNSTON STANDARD SPECIFICATIONS AND DETAILS AND SPECIFICATIONS INCLUDED AS PART OF THE DRAWINGS. IN AREAS OF CONFLICT BETWEEN THE DIFFERENT SPECIFICATIONS, THE DESIGN PLANS AND PROJECT SPECIFICATIONS WILL TAKE PRECEDENCE OVER THE GENERAL SPECIFICATIONS AND THE DESIGN ENGINEER WILL INTERPRET THE CONSTRUCTION REQUIREMENT. THE CONTRACTOR IS ADVISED TO SUBMIT A REQUEST FOR INFORMATION (RFI) FOR ANY AREAS OF CONFLICT BEFORE COMMITTING TO CONSTRUCTION.
8. THE SITE IS NOT WITHIN A:
GROUNDWATER PROTECTION AREA (RIDEM)
NATURAL HERITAGE AREAS (RIHEM)
GROUNDWATER PROTECTION OVERLAY DISTRICT (JOHNSTON)
9. THE FOLLOWING DOCUMENTS ARE CONSIDERED PART OF THE PROJECT PLANS AND THE CONTRACTOR OWNER MUST MAINTAIN THESE DOCUMENTS AS PART OF A FULL PLAN SET:
• SOIL EROSION AND SEDIMENT CONTROL PLAN (SESC). THE SESC CONTAINS THE FOLLOWING:
• EROSION CONTROL MEASURES
• SHORT TERM MAINTENANCE
• ESTABLISHMENT OF VEGETATIVE COVER
• SEQUENCE OF CONSTRUCTION
• STORMWATER OPERATION AND MAINTENANCE PLAN (OBM). THE OBM CONTAINS:
• LONG TERM MAINTENANCE
• LONG TERM POLLUTION PREVENTION
10. THIS PLAN SET REFERENCES RIDOT STANDARD DETAILS (DESIGNATED AS RIDOT STD X.X.X.), RIDOT STANDARD DETAILS ARE AVAILABLE FROM RIDOT AND ONLINE AT: HTTP://WWW.DOT.RI.GOV/BUSINESS/CONTRACTORSANDCONSULTANTS.PHP.
11. THE SITE IS CURRENTLY SERVICED BY PUBLIC WATER AND PUBLIC SEWER AND IS PROPOSED TO BE SERVICED BY PUBLIC WATER AND SEWER.
12. THE DRAINAGE SYSTEM IS DESIGNED TO MEET THE TOWN OF JOHNSTON LAND DEVELOPMENT & SUBDIVISION REVIEW REGULATIONS WITH THE USE OF CATCH BASINS. THE STORMWATER MANAGEMENT SYSTEM MEETS THE RIDEM BEST MANAGEMENT PRACTICES.
13. SOIL EVALUATIONS WERE COMPLETED BY DIPRETE ENGINEERING ON 12/02/2020.
14. WETLAND EDGE DELINEATED BY NATURAL RESOURCE SERVICES, INC. AND SURVEYED BY NATURAL RESOURCE SERVICES, INC. ON DATE 9/23/2020.
15. ANY PROPRIETARY PRODUCTS REFERENCED IN THIS PLAN SET ARE REPRESENTATIVE OF THE MINIMUM DESIGN REQUIREMENTS FOR THE PURPOSE IT PROPOSES TO SERVE. ALTERNATIVES TO ANY PROPRIETARY PRODUCT MAY BE SUBMITTED TO THE ENGINEER OF RECORD FOR CONSIDERATION, WHICH MUST BE ACCOMPANIED BY APPROPRIATE SPECIFICATION SHEETS/ DESIGN CALCULATIONS THAT DEMONSTRATE THE ALTERNATIVE(S) MEET THE MINIMUM DESIGN PARAMETERS OF THE PRODUCT SHOWN ON THE PLANS. NO ALTERNATIVES MAY BE USED WITHOUT THE WRITTEN APPROVAL OF THE ENGINEER OF RECORD.
16. THIS PLAN SET MAY REFERENCE AND/OR INCLUDE REPRODUCTIONS OF PROPRIETARY PRODUCTS/ DETAILS BY OTHERS, AND/ OR THEIR ASSOCIATED SPECIFICATIONS. ANY REFERENCED OR REPRODUCED PROPRIETARY PRODUCT OR DETAIL BY OTHERS THAT IS SHOWN ON DIPRETE PLANS IS STRICTLY FOR INFORMATION/ SPECIFICATION PURPOSES ONLY. DIPRETE ENGINEERING DOES NOT WARRANT ANY PROPRIETARY PRODUCTS, DETAILS BY OTHERS OR THEIR RESPECTIVE DESIGNS. IF A DIPRETE ENGINEERING PLAN INCLUDES A PROPRIETARY PRODUCT/ DETAIL BY OTHERS (EITHER EXPLICITLY OR IMPLIED) AND IS STAMPED BY A REGISTERED PROFESSIONAL ENGINEER AND/OR REGISTERED LANDSCAPE ARCHITECT OF DIPRETE ENGINEERING, SAID STAMP DOES NOT EXTEND TO ANY PORTION OF THE PROPRIETARY PRODUCT/ DETAIL BY OTHERS OR ITS DESIGN.

CONSTRUCTION STANDARDS NOTES

- 1. ALL CONSTRUCTION MUST BE PERFORMED IN COMPLIANCE WITH THE AUTHORITY HAVING JURISDICTION AND ALL APPLICABLE FEDERAL, STATE, AND LOCAL CONSTRUCTION STANDARDS.
2. ALL REFERENCES TO CONSTRUCTION STANDARDS, SPECIFICATIONS, DETAILS, MANUALS, ETC. BY OUTSIDE AGENCIES IS UNDERSTOOD TO MEAN THE VERSION CURRENT AT THE TIME THE CONTRACT IS AWARDED, INCLUDING ALL REVISIONS, ADDENDA AND SUPPLEMENTS.
3. IF CONTRACT DOCUMENTS DO NOT INCLUDE SPECIFIC STANDARDS OR DETAILS FOR A WORK ITEM, THE CONTRACTOR MUST REFER TO THE FOLLOWING SOURCES IN THE ORDER LISTED BELOW:
• MANUFACTURERS STANDARDS, DETAILS, AND RECOMMENDATIONS
• LOCAL MUNICIPAL STANDARDS
• STATE STANDARDS, (INCLUDING BUT NOT LIMITED TO, RI SOIL EROSION AND SEDIMENT CONTROL HANDBOOK, RIDOT STANDARD DETAILS, RIDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION)
• FEDERAL STANDARDS
4. ALL TRAFFIC CONTROL IN THE ROW AND ON SITE MUST CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), UNLESS OTHERWISE NOTED. THE MUTCD IS AVAILABLE AT: HTTPS://MUTCD.FHWA.DOT.GOV/
5. THIS PLAN SET REFERENCES RIDOT STANDARD DETAILS AND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, RIDOT CONSTRUCTION DOCUMENTATION, INCLUDING STANDARD DETAILS AND SPECIFICATIONS ARE AVAILABLE FROM RIDOT AND ONLINE AT: HTTP://WWW.DOT.RI.GOV/BUSINESS/CONTRACTORSANDCONSULTANTS.PHP

SOIL EROSION AND SEDIMENTATION CONTROL NOTES:

- 1. THE CONTRACTOR IS RESPONSIBLE FOR ALL SOIL EROSION AND SEDIMENT CONTROL ON SITE WHICH MUST BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE APPLICABLE REGULATIONS AND AUTHORITY HAVING JURISDICTION. THE CONTRACTOR IS TO NOTIFY THE DESIGN ENGINEER, THE DIRECTOR OF PUBLIC WORKS, THE TOWN ENGINEER, AND RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
2. ALL EROSION CONTROL INCLUDING (BUT NOT LIMITED TO) SILT FENCE, COMPOST SOCK ETC. TO BE INSTALLED PER THE LATEST EDITION OF THE RHODE ISLAND SOIL EROSION AND SEDIMENTATION CONTROL (RESECC) HANDBOOK AND THE SOIL EROSION & SEDIMENTATION CONTROL PLANS. NOTE THE SOIL EROSION AND SEDIMENT CONTROL SHOWN ON THESE PLANS ARE THE MINIMUM QUANTITY// TYPE OF EROSION CONTROL DEVICES AND MATERIALS DEEMED REQUIRED BY DIPRETE ENGINEERING TO MEET THE OBJECTIVES OF THE RESECC HANDBOOK, BUT IS CONSIDERED A GUIDE ONLY. ADDITIONAL MEASURES/ ALTERNATE CONFIGURATIONS MAY BE REQUIRED IN ORDER TO MEET THE RESECC HANDBOOK BASED ON FACTORS INCLUDING (BUT NOT LIMITED TO) SITE PARAMETERS, WEATHER, INSPECTIONS AND UNIQUE FEATURES. THE SESC WILL CONTINUE TO EVOLVE THROUGHOUT CONSTRUCTION PHASES. PURSUANT TO NOTE 1 ABOVE, SESC REMAINS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL THE SITE IS FULLY STABILIZED AND/ OR SESC RESPONSIBILITIES ARE ASSUMED BY THE OWNER IN WRITING.
3. INLET PROTECTION IS TO BE INSTALLED ON ALL CATCH BASINS ONCE CONSTRUCTED.
4. FOR SEQUENCE OF CONSTRUCTION, PROJECT PHASING AND CONSTRUCTION PHASING SEE SESC PLAN.
5. CONTRACTOR MAY MODIFY SEQUENCE OF CONSTRUCTION WITH APPROVAL FROM DESIGN ENGINEER AND OWNER.
6. IF CONCRETE TRUCKS ARE WASHED OUT ON SITE, ALL WASHOUT MUST BE COMPLETED IN THE DESIGNATED CONCRETE WASHOUT AREA.

DEMOLITION NOTES:

- 1. CONTRACTOR TO OBTAIN ALL FEDERAL, STATE, AND MUNICIPAL APPROVALS PRIOR TO THE START OF CONSTRUCTION.
2. CONTRACTOR TO PERFORM DAILY SWEEPING AT CONSTRUCTION ENTRANCE DURING DEMOLITION AND CONSTRUCTION TO MINIMIZE SEDIMENTS ON EXTERNAL STREETS.
3. ANY EXISTING BUILDING(S) AND PROPERTY PROPOSED TO REMAIN WHICH ARE DAMAGED BY THE CONTRACTOR MUST BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
4. CONTRACTOR IS RESPONSIBLE FOR REMOVING AND LEGALLY DISPOSING (RRD) ALL MATERIALS INDICATED ON THE PLANS UNLESS SPECIFIED OTHERWISE HERE IN. RRD MATERIALS MUST INCLUDE BUT ARE NOT LIMITED TO PAVEMENT, GRAVEL, AND ANY EXCESS SOIL THAT IS NOT INCORPORATED INTO THE WORK.
5. IN ADDITION TO THOSE AREAS SPECIFICALLY DESIGNATED ON THE PLANS, ALL DISTURBED AREAS INCLUDING THE CONTRACTOR'S STOCKPILE AND STAGING AREAS WITHIN THE LIMIT OF DISTURBANCE MUST BE RESTORED TO MATCH THE DESIGN PLANS.
6. CONTRACTOR MUST DOCUMENT LOCATION OF ALL SUBSURFACE UTILITIES REMAINING IN PLACE AFTER DEMOLITION (ACTIVE AND INACTIVE/ABANDONED). LOCATION MUST BE DOCUMENTED BY FIELD SURVEY OR SWING TIES. COPIES OF LOCATION DOCUMENTATION MUST BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF DEMOLITION AND PRIOR TO START OF NEW CONSTRUCTION. A MARKER MUST BE INSTALLED TO FINISH GROUND AT ALL INSTALLED CAPS/PLUGS. THE MARKER CAN BE A POST IN CONSTRUCTION AREAS OR PAINTED ON A PERMANENT SURFACE.
7. ACTIVE UTILITY LINES AND STRUCTURES NOT SPECIFICALLY NOTED ON PLANS, BUT WHICH ARE ENCOUNTERED TO BE IN CONFLICT WITH THE PROPOSED WORK, MUST BE EXTENDED, PROTECTED, OR REWORKED BY THE CONTRACTOR AS DIRECTED OR REQUIRED BY THE UTILITY ENTITY OR OWNER UNLESS OTHERWISE NOTED.
8. INACTIVE SUBSURFACE UTILITIES NOT IN CONFLICT WITH THE PROPOSED WORK AREA MAY BE ABANDONED IN PLACE WITH WRITTEN PERMISSION FROM THE OWNER. ALL MATERIALS ON SITE, INCLUDING THOSE REMOVED FROM THE SITE, MUST BE HANDLED, STORED, USED, AND DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS.
9. ITEMS NOTED AS " REMOVE & DISPOSE " MUST BE LEGALLY REMOVED FROM THE SITE AND DISPOSED OF BY THE CONTRACTOR.
10. ITEMS NOTED AS " REMOVE & REPLACE " MUST BE REPLACED WITH THE SAME ITEM. IF AN ITEM IS DAMAGED DURING REMOVAL, OR OTHERWISE UNSUITABLE FOR REUSE, AN ALTERNATE MUST BE SUBMITTED TO THE OWNER FOR APPROVAL PRIOR TO CONSTRUCTION.
11. THE CONTRACTOR MUST NOT REMOVE ANY ITEMS WITHIN THE PUBLIC ROW OR RAILROAD ROW, INCLUDING BUT NOT LIMITED TO SIGNAGE, UTILITY POLES, UTILITIES FEEDING OTHER SITES, FENCING, ETC. WITHOUT WRITTEN APPROVAL FROM THE OWNER(S) OF THE RESPECTIVE RIGHTS-OF-WAY AND UTILITY ENTITIES HAVING JURISDICTION UNLESS OTHERWISE NOTED.
12. EXISTING SURFACE FEATURES INCLUDING PAVING, CURBING, AND SIDEWALKS NOTED AS " TO BE REMOVED " OR IDENTIFIED IN THE FIELD AND APPROVED BY THE OWNER AS CONFLICTING WITH THE PROPOSED WORK MUST BE REMOVED AND DISPOSED OF BY THE CONTRACTOR UNLESS OTHERWISE NOTED.
13. ITEMS NOTED AS " REMOVE & STOCKPILE " MUST BE STOCKPILED BY THE CONTRACTOR IN AN AREA DESIGNATED BY THE OWNER. AT THE OWNER'S REQUEST, CONTRACTOR MUST REMOVE ITEMS FROM SITE AND LEGALLY DISPOSE OF.

TRAFFIC NOTES:

- 1. ALL TRAFFIC CONTROL MUST CONFORM TO THE FEDERAL HIGHWAY ADMINISTRATION (FHWA) MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) CURRENT EDITION.
2. DURING CONSTRUCTION, TRAFFIC CONES ARE TO BE USED FOR SEPARATION OF ACTIVE TRAFFIC FROM WORK ZONE PER MUTCD REQUIREMENTS.
3. DURING CONSTRUCTION FLAGGERS MUST BE EMPLOYED TO ENSURE SAFETY FOR INTERACTION OF CONSTRUCTION VEHICLES AND ACTIVE TRAFFIC.
4. ALL SIGNS, FLAGGERS, TRAFFIC CONTROL DEVICES, AND TEMPORARY TRAFFIC ZONE ACTIVITIES MUST MEET THE REQUIREMENTS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL (MUTCD) LATEST EDITION AND SUBSEQUENT ADDENDA.
5. TEMPORARY CONSTRUCTION SIGNS MUST BE MOUNTED ON RIDOT APPROVED SUPPORTS AND MUST BE REMOVED OR COVERED WHEN NOT APPLICABLE.

AS-BUILT NOTES:

ALL COMPONENTS OF THE DRAINAGE, SEWER, AND WATER SYSTEMS MUST BE FIELD LOCATED PRIOR TO COVERING. NOTIFY SURVEYOR A MINIMUM OF SEVENTY-TWO (72) HOURS IN ADVANCE OF NEED FOR FIELD LOCATION OF IMPROVEMENTS. SURVEYOR TO PROVIDE OWNER AND CONTRACTOR WITH WRITTEN NOTICE OF COMPLETION OF FIELD WORK PRIOR TO CONTRACTOR COVERING IMPROVEMENTS. OWNER/DIPRETE WILL NOT ACCEPT FIELD MEASUREMENTS FROM THE SITE CONTRACTOR.

RIDOT NOTES:

- 1. ALL WORK TO BE DONE WITHIN THE STATE RIGHT OF WAY MUST CONFORM TO RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AMENDED MARCH 2018 WITH ALL REVISIONS AND ADDENDA. STANDARD DETAILS FOR THIS WORK ARE RHODE ISLAND STANDARD DETAILS DATED JUNE 21, 2019 WITH ALL REVISIONS.
2. CONTRACTOR MUST OBTAIN A UTILITY CONNECTION PERMIT FOR WORK WITHIN THE STATE ROW PRIOR TO CONSTRUCTION. THE PAPA IS NOT A SUBSTITUTE FOR THE UTILITY PERMIT AND THE PAPA DOES NOT CONSTITUTE AN APPROVAL OF ANY UTILITY WORK.
3. ALL TRAFFIC CONTROL MUST CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION, INCLUDING ALL REVISIONS.
4. NO LANE OR SHOULDER CLOSURES MUST BE PERFORMED WITHIN THE STATE'S RIGHT OF WAY DURING PEAK TRAFFIC HOURS.
5. THERE WILL BE NO INCREASE IN RUNOFF TO THE STATE RIGHT OF WAY FROM THE PROPOSED DEVELOPMENT.
6. WORK WITHIN THE STATE'S ROW WILL CONFORM TO PROWAG. WORK ONSITE WILL CONFORM TO ADAAG UNLESS THE WORK IS IN STATE OWNED LAND.

GRADING AND UTILITY NOTES:

- 1. CONSTRUCTION TO COMMENCE SPRING 2022 OR UPON RECEIPT OF ALL NECESSARY APPROVALS.
2. THE CONTRACTOR MUST COORDINATE WITH ALL OF THE APPROPRIATE UTILITY COMPANIES FOR AGREEMENTS TO SERVICE THE PROPOSED BUILDING. THIS MUST BE DONE PRIOR TO CONSTRUCTION. NO REPRESENTATIONS ARE MADE BY DIPRETE ENGINEERING THAT UTILITY SERVICE IS AVAILABLE.
3. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING FINISH GRADING AND DRAINAGE AROUND THE BUILDING TO ENSURE SURFACE WATER AND/OR GROUNDWATER ARE DIRECTED AWAY FROM THE STRUCTURE.
4. PRIOR TO START OF CONSTRUCTION, CONTRACTOR MUST VERIFY EXISTING PAVEMENT ELEVATIONS AT INTERFACE WITH PROPOSED PAVEMENTS, AND EXISTING GROUND ELEVATIONS ADJACENT TO DRAINAGE OUTLETS TO ASSURE PROPER TRANSITIONS BETWEEN EXISTING AND PROPOSED FACILITIES. CONTRACTOR MUST NOTIFY DESIGN ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
5. ALL PROPOSED UNDERGROUND UTILITIES SERVING THE SITE AND BUILDINGS TO BE COORDINATED WITH OWNER, ARCHITECT, AND ENGINEER PRIOR TO INSTALLATION.
6. ALL RETAINING WALLS AND STEEP SLOPES ARE SUBJECT TO FINAL STRUCTURAL DESIGN. DIPRETE ENGINEERING IS NOT PROVIDING THE STRUCTURAL DESIGN OF THESE ITEMS. ALL WALLS AND STEEP SLOPES ARE TO BE DESIGNED AND BUILT UNDER THE DIRECTION OF A RHODE ISLAND LICENSED PROFESSIONAL ENGINEER SUITABLY QUALIFIED IN GEOTECHNICAL ENGINEERING AND CERTIFIED TO THE OWNER PRIOR TO THE COMPLETION OF THE PROJECT. SHOP DRAWINGS TO BE SUBMITTED PRIOR TO CONSTRUCTION. FINAL STRUCTURAL DESIGN MUST INCORPORATE THE INTENT OF THE GRADING SHOWN ON THESE PLANS AND ALL WORK MUST BE WITHIN THE LIMIT OF DISTURBANCE SHOWN ON THE PLANS.
7. ALL CUT AND FILL AREAS ARE TO BE DONE UNDER THE DIRECTION OF A PROFESSIONAL GEOTECHNICAL ENGINEER WITH TESTING AND CERTIFICATION TO BE PROVIDED TO THE APPLICANT AT THE COMPLETION OF THE PROJECT. DIPRETE ENGINEERING IS NOT PROVIDING THE FILL SPECIFICATION, GEOTECHNICAL ENGINEERING, STRUCTURAL ENGINEERING SERVICES, OR SUPERVISION AS PART OF THESE DRAWINGS.
8. NO STOCKPILING OF MATERIAL TO BE LOCATED IN THE RIGHT OF WAY AND NO OPEN TRENCHES ARE TO BE LEFT OVERNIGHT.
9. ALL LOAM IN DISTURBED AREAS TO BE STOCKPILED FOR FUTURE USE.
10. ALL EXCESS SOIL, TREES, ROCKS, Boulders, AND OTHER REFUSE, MUST BE DISCARDED OFF SITE IN AN ACCEPTABLE MANNER AT AN APPROVED LOCATION. STUMPS MUST BE GROUND ON SITE OR REMOVED.
11. THE SITE WILL HAVE 6" CONCRETE CURBING. SITE GRADING/CONTOURS SHOWN ON THE PLANS DO NOT NECESSARILY REFLECT THE APPROPRIATE CURBING REVEAL. CONTRACTOR TO INSTALL CURBING WITH APPROPRIATE REVEAL UNLESS OTHERWISE NOTED.
12. NO STUMP DUMPS ARE PROPOSED ON SITE.
13. ALL DRAINAGE OUTFALLS ARE DESIGNED TO BE INSTALLED AT EXISTING GROUND ELEVATION. CONTRACTOR MUST NOTIFY THE DIPRETE ENGINEERING OF ANY DISCREPANCIES WHERE EXISTING GROUND IS HIGHER THAN OUTFALL DESIGN ELEVATION IMMEDIATELY. ANY RESOLUTION OF DISCREPANCIES BY THE CONTRACTOR, UNLESS AUTHORIZED IN WRITING IN ADVANCE BY THE OWNER AND DIPRETE ENGINEERING, IS DONE AT THE CONTRACTOR'S RISK.
14. CONTRACTOR MUST PROVIDE SUMP CUTTING AND FULL DEPTH PAVEMENT RESTORATION IN AREAS WHERE PAVEMENT AND/OR SIDEWALK IS REMOVED FOR UTILITY INSTALLATION.

DRAINAGE

- ALL DRAINAGE PIPING TO BE HIGH-DENSITY POLYETHYLENE (HDPE) WITH WATERTIGHT JOINTS WHERE INSTALLED WITHIN THE SEASONAL HIGH GROUNDWATER, UNLESS NOTED OTHERWISE ON THE PLANS OR IN THE SPECIFICATIONS.
DRAINAGE STRUCTURES TO BE AS FOLLOWS (UNLESS OTHERWISE NOTED ON PLANS):
• CATCH BASINS NOT ALONG CURBING TO BE RIDOT STD 4.4.0, 4" DIAMETER
• CATCH BASINS TO HAVE 3' SLOPES WITHOUT WEEPHOLES.
• SINGLE FRAME CATCH BASIN GRATES TO BE RIDOT STD. 6.3.2
• MANHOLES TO BE RIDOT STD. 4.2, 0, 4.2, 1 OR 4.2, 2 AS REQUIRED
• DRAINAGE MANHOLE COVERS TO BE RIDOT STD 6.2.1

ALL DRAINAGE STRUCTURES MUST BE WATERTIGHT.

DRAINAGE CONNECTIONS FROM ALL DOWNSPOUTS (DS) ARE SHOWN FOR SCHEMATIC PURPOSES ONLY. CONTRACTOR SHALL VERIFY AND VERIFY NOT INCLUDE ALL JOINTS THAT MAY BE REQUIRED FOR CONSTRUCTION. ALL FITTINGS & PIPE SLOPES TO THE INTO MAIN TRUNK LINE TO BE FIELD FIT BY CONTRACTOR.

ACF/FERGUSON MUST BE ONSITE FOR THE INSTALLATION OF THE FOCALPOINT STORMWATER TREATMENT SYSTEM.

SITE LIGHTING

SITE LIGHTING (TEMPORARY AND PERMANENT) MUST BE DIRECTED AWAY FROM AND SHIELDED FROM EXISTING LIGHT SOURCES AND NOT INCLUDE ALL JOINTS THAT MAY BE REQUIRED FOR CONSTRUCTION. ALL FITTINGS & PIPE SLOPES TO THE INTO MAIN TRUNK LINE TO BE FIELD FIT BY CONTRACTOR.

SOIL INFORMATION:

(REFERENCE: SOIL MAPPING OBTAINED FROM RIGIS. SOIL GEOGRAPHIC DATA DEVELOPED BY THE RHODE ISLAND SOIL SURVEY PROGRAM IN PARTNERSHIP WITH THE NATIONAL COOPERATIVE SOIL SURVEY)

SOIL NAME DESCRIPTION

MU MERRIMAC-URBAN LAND COMPLEX
WA WALPOLE SANDY LOAM

AMERICANS WITH DISABILITIES ACT NOTES:

- 1. ALL IMPROVEMENTS MUST COMPLY WITH THE "AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG)" BY THE DEPARTMENT OF JUSTICE (CURRENT EDITION).
2. MAXIMUM RUNNING SLOPE ALONG ALL ACCESSIBLE PATHS OF TRAVEL MUST BE 4.5% (0.045 FT/FT), AND MAXIMUM CROSS SLOPE ACROSS ALL ACCESSIBLE PATHS OF TRAVEL MUST BE 1.5% (0.015 FT/FT).
3. ADA PARKING SPACES AND LOADING AREAS: THE STEEPEST SLOPE OF THE SPACE, MEASURED IN ANY DIRECTION (INCLUDING DIAGONAL), MUST BE LESS THAN OR EQUAL TO 2% (0.02 FT/FT). DIPRETE ENGINEERING GENERALLY RECOMMENDS A MAXIMUM OF 1.4% (0.014 FT/FT) BE USED FOR BOTH RUNNING AND CROSS SLOPES IN ORDER TO COMPLY.
4. A MINIMUM 5'X5' LANDING MUST BE PROVIDED IN FRONT OF ALL PUBLICLY ACCESSIBLE BUILDING ENTRANCES/ EGRESSES. THE STEEPEST SLOPE OF THE LANDING, MEASURED IN ANY DIRECTION (INCLUDING DIAGONAL), MUST BE LESS THAN OR EQUAL TO 2% (0.02 FT/FT). DIPRETE ENGINEERING GENERALLY RECOMMENDS A MAXIMUM OF 1.4% (0.014 FT/FT) BE USED FOR BOTH RUNNING AND CROSS SLOPES IN ORDER TO COMPLY.
5. FOR EVERY 6' (OR FRACTION OF 6') ADA PARKING SPACES, AT LEAST ONE MUST BE A VAN PARKING SPACE. FOR EXAMPLE, IF 7 ADA PARKING SPACES ARE REQUIRED, A MINIMUM OF 2 MUST BE VAN SPACES.
6. NOTWITHSTANDING THE NOTES LISTED ABOVE, TOWN OR STATE-SPECIFIC STANDARDS MAY BE MORE STRINGENT AND OVERRULE. IT IS THE RESPONSIBILITY OF THE USER OF THIS PLAN SET TO MAINTAIN COMPLIANCE WITH THE CONTROLLING STANDARD.
7. NOTE THAT THE GRADING/ PLAN VIEWS AND DETAILS CONTAINED WITHIN THIS PLAN SET MAY NOT SHOW THE DETAIL NECESSARY TO CONSTRUCT WALKWAYS, RAMPS AND SPACES TO COMPLY WITH THE ABOVE REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE THE LEVEL OF CARE NECESSARY TO BE CERTAIN THAT THE CONSTRUCTED PRODUCT MEETS ADA/ CONTROLLING STANDARDS. IN THE EVENT OF ANY NON COMPLIANCE THE CONTRACTOR MUST NOTIFY THE DESIGNER BEFORE CONSTRUCTION FOR ADVICE IN FINDING A RESOLUTION.

REDEVELOPMENT NOTES:

- 1. ALL EXISTING MANHOLE COVERS, GRATES, VALVE BOXES, SHUT-OFFS, AND HAND HOLES WITHIN THE LIMIT OF DISTURBANCE MUST BE RESET TO FINISHED GRADE.
2. THE CONTRACTOR MUST PROTECT AND MAINTAIN ALL BUILDINGS TO REMAIN AND ALL ACTIVE UTILITIES THAT SERVICE THE BUILDINGS TO REMAIN. EXISTING GAS LINE IS TO BE RELOCATED AROUND PROPOSED CANOPY EXTENSION.
3. ALL UTILITY STRUCTURES INDICATED TO BE ABANDONED MUST BE CUT TO FOUR FEET BELOW FINISH GRADE ELEVATION. INLETS AND OUTLETS PLUGGED WITH MORTAR, AND SEALED WITH CONCRETE, UNLESS OTHERWISE NOTED.
4. WHEN ABANDONING INACTIVE UTILITY PIPES NEAR THE PROPERTY LINE, THE CONTRACTOR MUST CAP OR PLUG IN PLACE AT THE PROPERTY LINE. WHEN REMOVING AND DISPOSING OF A PORTION OF EXISTING PIPE, THE CONTRACTOR MUST CAP OR PLUG BOTH ENDS REMAINING IN PLACE.
5. NO GUARANTEE IS MADE THAT THE EXISTING UTILITY SERVICE CONNECTION(S) ARE SUITABLE FOR REUSE. EXISTING UTILITY SERVICE CONNECTIONS WERE NOT FIELD VERIFIED FOR SIZE, MATERIAL, EXACT LOCATION, OR INSPECTED FOR SUITABILITY FOR REUSE. CONTRACTOR MUST EVALUATE THE SIZE, MATERIAL, LOCATION, AND SUITABILITY FOR REUSE, AND IMMEDIATELY PROVIDE WRITTEN DOCUMENTATION OF CONDITIONS TO THE OWNER/DIPRETE.

JOHNSTON, RI NOTES:

- 1. FOR ALL EASEMENTS/RIGHTS-OF-WAY AND DEED/PLAT/ RESTRICTIONS/COVENANTS, SEE NOTE 3 OF THE BOUNDARY AND TOPOGRAPHIC SURVEY PLAN, DATED 10/28/2021, PREPARED BY WATERMAN ENGINEERING COMPANY.
2. THERE ARE NO EXTRAORDINARY /UNUSUAL NATURAL FEATURES, HISTORIC AREAS, CEMETERIES, OR FOUNDATIONS, ETC. ASSOCIATED WITH THIS SITE.
3. THIS PROJECT IS INTENDED TO BE COMPLETED IN ONE PHASE SO A PHASING PLAN HAS NOT BEEN PROVIDED.

ABBREVIATIONS LEGEND

Table with 2 columns: Abbreviation and Description. Includes ADA, AHJ, AP, ARCH, BC, BT, BIO, BS, BW, CB, (C), (CA), CLDIP, CNPY, CO, CONC, (D), DCB, DI, DMH, DP, ELEV, EOP, ESC, EX, FES, FFE, GS, GWT, HW, HC, HOPE, ID, INV, IP, LARCH, LF, LOD, LP, (M), MEP, N/F, NOW OR FORMERLY, OHW, OVERHEAD WIRE, PE, POLYETHYLENE, PER, PROPERTY LINE, PR, PROPOSED, PVC, POLYVINYL CHLORIDE, R, RADIUS, RRD, REMOVE AND DISPOSE, RCP, REINFORCED CONCRETE PIPE, RHO, RHODE ISLAND, RLB, RHOOF BOUND, ROW, RIGHT-OF-WAY, S, SLOPE, SD, SUBDRAIN, SED, SEDIMENT FOREBAY, SF, SQUARE FOOT, SFL, STATE FREEWAY LINE, SPM, SEWER FORCE MAIN, SGL, SLAB ON GRADE ELEVATION, SHL, STATE HIGHWAY LINE, SMH, SEWER MANHOLE, SNDF, SAND FILTER, SS, SIDE SLOPE, ST, STATION, TC, TOP OF CURB, TD, TRENCH DRAIN, TF, TOP OF FOUNDATION, TRANS, TRANSITION, TW, TOP OF WALL (FINISHED), GRADE AT TOP OF WALL), TYP, TYPICAL, UDS, UNDERGROUND, UIS, UNDERGROUND INFILTRATION SYSTEM, UP, UTILITY POLE, W, WALKOUT ELEVATION, WQ, WATER QUALITY

LAYOUT AND MATERIALS:

- 1. DIMENSIONS ARE FROM THE FACE OF CURB, FACE OF BUILDING, FACE OF WALL, AND CENTER LINE OF PAVEMENT MARKINGS, UNLESS OTHERWISE NOTED.
2. CURBING TO BE PRECAST CONCRETE OR AS LABELED ON THE PLANS.
3. SIDEWALK TO BE CONCRETE OR AS LABELED ON THE PLANS.
4. SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THEIR ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR MUST REFER TO THE DETAIL SHEET DIMENSIONS, MANUFACTURERS' LITERATURE, SHOP DRAWINGS AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.
5. PROPOSED BOUNDS AND ANY EXISTING PROPERTY LINE, MONUMENTATION DISTURBED DURING CONSTRUCTION MUST BE SET OR RESET BY A PROFESSIONAL LICENSED SURVEYOR.
6. CONTRACTOR MUST NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS, AND DATA FILES THAT ARE OBTAINED FROM THE STAMPED PAPER COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.
7. ALL GUARDRAIL ONSITE MUST BE STEEL BACKED TIMBER GUARDRAIL WITH STEEL POSTS. IN CONFORMANCE WITH SECTION 5.4.1.7 OF THE AASHTO ROADSIDE DESIGN GUIDE, ALTERNATIVE GUARDRAILS WILL BE CONSIDERED BY THE DESIGN ENGINEER IF THEY ARE DOT APPROVED EQUAL AND ACCEPTABLE TO THE OWNER. ALTERNATIVES MUST BE APPROVED IN WRITING BY THE OWNER AND DESIGN ENGINEER PRIOR TO CONSTRUCTION.
8. INFRARED TREATMENT OF PAVEMENT IS REQUIRED AT ALL CURB CUTS, ANY DISTURBED PAVEMENT ON ROADWAYS AND WHERE ANY NEW PAVEMENT MEETS EXISTING PAVEMENT.
9. ALL EXISTING STRIPING REMOVED AS INCIDENTAL DURING CONSTRUCTION MUST BE REPLACED IN-KIND FOLLOWING COMPLETION OF CONSTRUCTION UNLESS OTHERWISE NOTED.
10. NEW PAVEMENT STRIPING MUST BE FAST DRYING TRAFFIC PAINT, MEETING THE REQUIREMENTS OF AASHTO M248 TYPE F. PAINT SHALL BE APPLIED AS SPECIFIED BY THE MANUFACTURER.

SITE CALLOUTS LEGEND

Table with 2 columns: Callout and Description. Includes 4DY, 4W, 4W65, 6W, 12W, ADAR, ADAY, 7.1.0, 7.1.3, 7.6.0, 20.1.0, 20.3.0, 34.4.0, 43.1.0, 43.4.0, 43.5.0, RI-1, RI-1, RI-5

PROPOSED LEGEND

Table with 2 columns: Symbol and Description. Includes PROPERTY LINE, BUILDING SETBACKS, CHAINLINK FENCE, GUARDRAIL, SEE LAYOUT AND MATERIALS LIST, RETAINING WALL, MINOR CONTOUR LINE, MAJOR CONTOUR LINE, SPOT ELEVATION, EDGE OF PAVEMENT, BITUMINOUS BERM, CONCRETE CURB (RIDOT STD 7.1.0), BUILDING FOOTPRINT, BUILDING OVERHANG, ASPHALT PAVEMENT, SAND FILTER, HEAVY DUTY ASPHALT PAVEMENT, HEAVY DUTY CONCRETE, CONCRETE, ASPHALT SIDEWALK, SAWCUT LINE, SIGN (RIDOT STD 24.6.2 AS APPLICABLE), SINGLE LIGHT, DOUBLE LIGHT, OVERHANGING LIGHT, ACCESSIBLE PARKING SPACE SYMBOLS, BUILDING INGRESS/EGRESS, DRAINAGE LINE, PERFORATED SUBDRAIN, SWALE, SEWER FORCE MAIN, GAS LINE, WATER LINE, HYDRANT ASSEMBLY, WATER SHUT OFF, WATER VALVE, THRUST BLOCK, SEWER LINE, OVERHEAD WIRE, ELECTRIC, TELEPHONE, CABLE, LINE, LIMIT OF DISTURBANCE/ LIMIT OF CLEARING, SEDIMENTATION BARRIER, SILT FENCE (RIDOT STD 9.2.0), COMPOST SOCK OR APPROVED EQUAL, SLOPES STEEPER THAN 3:1 (2:1 OR 1:1 SLOPES), UNDERGROUND SYSTEM OUTLINE, POND ACCESS, RIPRAP, FOCALPOINT, CATCH BASIN, DOUBLE CATCH BASIN, MANHOLE, FLARED END SECTION, SNOW STORAGE

UTILITY NOTE:

ALL UNDERGROUND UTILITIES SHOWN ON THESE PLANS WERE PROVIDED BY OTHERS AND ARE APPROXIMATE ONLY. LOCATIONS MUST BE DETERMINED IN THE FIELD BEFORE EXCAVATION, BLASTING, UTILITY INSTALLATION, BACKFILLING, GRADING, PAVEMENT RESTORATION, AND ALL OTHER SITE WORK. ALL UTILITY COMPANIES, PUBLIC AND PRIVATE, MUST BE CONTACTED INCLUDING THOSE IN CONTROL OF UTILITIES NOT SHOWN ON THESE DOCUMENTS. CONTACT DIG SAFE A MINIMUM OF 72 WORKING HOURS PRIOR TO ANY CONSTRUCTION AT 811. DIG SAFE IS RESPONSIBLE FOR CONTACTING MEMBER UTILITY COMPANIES. DIG SAFE MEMBER UTILITY COMPANIES ARE RESPONSIBLE TO MARK ONLY THE FACILITIES THAT THEY OWN OR MAINTAIN. NON DIG SAFE MEMBER COMPANIES ARE NOT NOTIFIED BY DIG SAFE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INVESTIGATE AND NOTIFY IF ANY PRIVATELY OWNED OR NON DIG SAFE MEMBER UTILITIES ARE IN THE AREA.

PER THE CODE OF FEDERAL REGULATIONS - TITLE 29, PART 1926 IT IS THE SITE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ACCURATE UNDERGROUND UTILITY LINE LOCATIONS FROM THE UTILITY COMPANIES, UTILITY OWNERS AND, OR VIA UNDERGROUND UTILITY LOCATION EQUIPMENT AS NEEEDED TO ESTABLISH ACCURATE LOCATIONS PRIOR TO EXCAVATION. THE USE OF PROFESSIONAL UTILITY LOCATING COMPANIES PRIOR TO ANY EXCAVATION IS RECOMMENDED.

DIPRETE ENGINEERING IS NOT A PROFESSIONAL UTILITY LOCATION COMPANY, AND IS NOT RESPONSIBLE FOR UNDERGROUND UTILITIES, DETECTED OR NOT, EITHER IN SERVICE OR ABANDONED. ANY SIZES, LOCATIONS, EXISTENCE, OR LACK OF EXISTENCE OF UTILITIES SHOWN ON THESE PLANS SHOULD BE CONSIDERED APPROXIMATE UNTIL VERIFIED BY A PROFESSIONAL UTILITY LOCATION COMPANY. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED.

NOTE: THIS PLAN SET MUST BE REPRODUCED IN COLOR

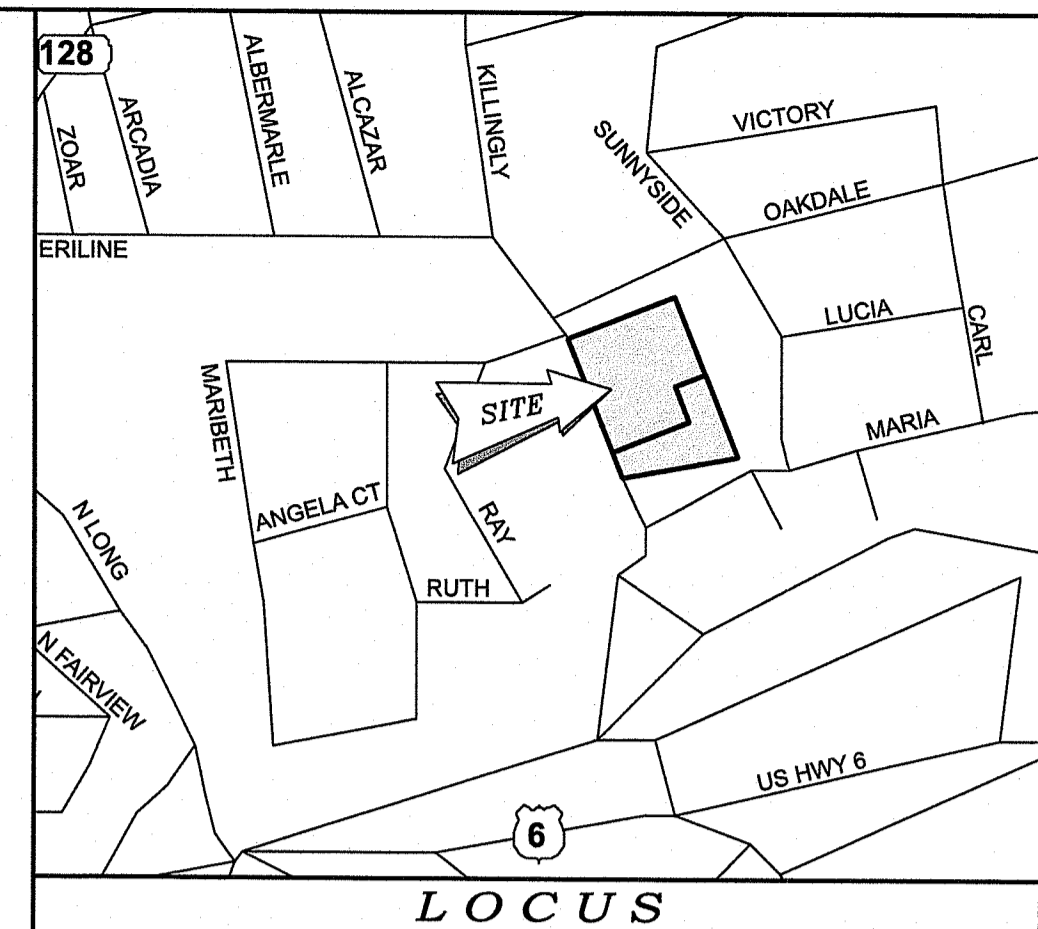
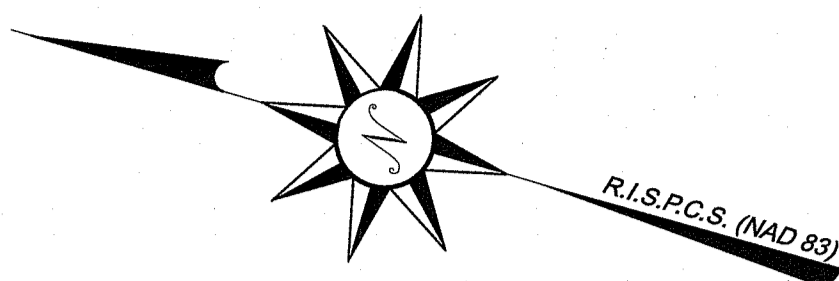
DiPrete Engineering logo and contact information: Two Stafford Court Cranston, RI 02920, tel: 401-945-1000 fax: 401-464-6006 www.diprete-eng.com

DANA R. NISBET Registered Professional Engineer Civil, No. 11876, State of RI

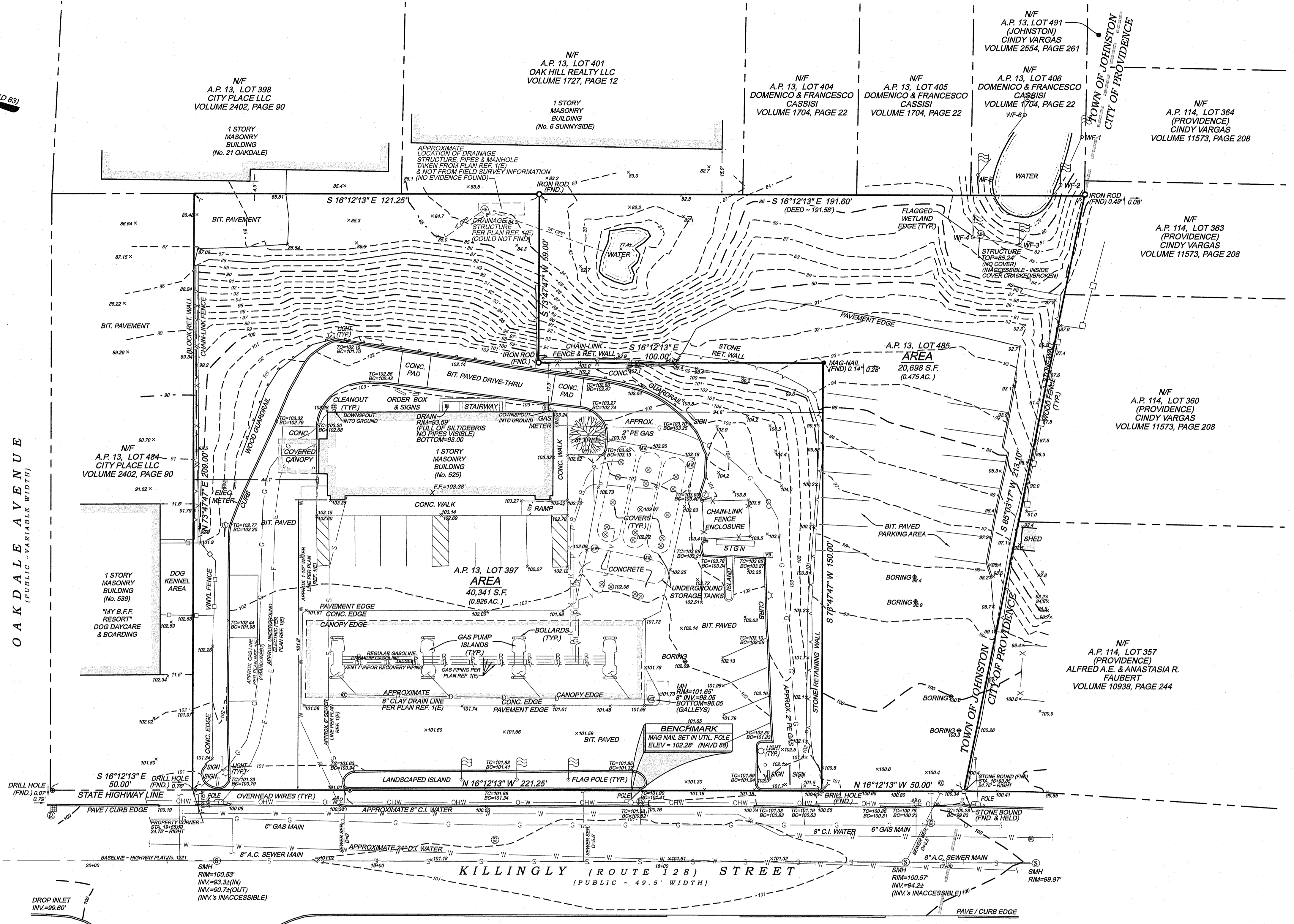
RI Environmental Management Office of Water Resources, DEC 06 2021

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT OFFICE OF WATER RESOURCES FRESHWATER WETLANDS PROGRAM APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL DATED FEB 17 2022 FILE # 21-0329 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL APPROVED PLANS MUST BE AT CONSTRUCTION SITE ONLY J. Freeman

GENERAL NOTES & LEGEND SEASONS CORNER MARKET ASSESSOR'S PLAT 13 LOTS 397 & 485 PREPARED FOR: COLBEA ENTERPRISES, LLC 2050 PLAINFIELD PIKE, CRANSTON, RHODE ISLAND 02921 TEL. 401-944-0005



OAKDALE AVENUE  
(PUBLIC - VARIABLE WIDTH)



- NOTES / REFERENCES**
- REFERENCE IS MADE TO THE FOLLOWING MAPS AND PLANS OF RECORD:
    - PLAN ENTITLED "PLAN OF SURVEY IN JOHNSTON, R.I. FOR SHELL OIL COMPANY BY STANLEY ENGINEERING, INC., SCALE 1" = 10', DECEMBER, 1970"
    - PLAN ENTITLED "OAKDALE BELONGING TO M.A. WHITE BY FRANK E. WATERMAN CO., DECEMBER, 1919, SCALE: 1" = 80'."
    - PLAN ENTITLED "ALTA / NSPS LAND TITLE SURVEY PLAN A.P. 13, LOT 485 KILLINGLY STREET JOHNSTON, RHODE ISLAND, PREPARED FOR ASHLEY, POLLOCK & SHEEHAN P.C. PREPARED BY WATERMAN ENGINEERING COMPANY, DATED: 07/17/11, SCALE: 1" = 20'."
    - R.I. HIGHWAY PLAT No. 1221
    - PLAN SET ENTITLED "COLBEA 2050 PLAINFIELD TURNPIKE, CRANSTON, RHODE ISLAND 02921, PROPOSED FOODMART, 255 KILLINGLY STREET, JOHNSTON, RHODE ISLAND, CONSULTING SITE BUILDING TO DESIGN, 58 ARBOR STREET, HARTFORD, CT 06105, STRUCTURE, CA. PRETZER ASSOCIATES, INC., 191 FRANKLIN AVENUE, CRANSTON, RI 02910, KILLINGLY ST., 92700 ISSUED FOR CONSTRUCTION"
  - REFERENCE IS MADE TO THE FOLLOWING TOWN OF JOHNSTON LAND EVIDENCE RECORDS REGARDING RECORDED TITLE TO THE PREMISES SURVEYED:
    - A.P. 13, LOT 397 - COLBEA ENTERPRISES, L.L.C. - VOLUME 845, PAGE 348
    - A.P. 13, LOT 485 - COLBEA ENTERPRISES, L.L.C. - VOLUME 2810, PAGE 75
  - THESE PREMISES MAY BE SUBJECT TO THE FOLLOWING EASEMENTS, RIGHTS OF WAY OR AGREEMENTS OF RECORD:
    - EASEMENTS / AGREEMENTS MAY EXIST REGARDING THE LOCATION OF THE EXISTING BIT PAVEMENT, STONE RETAINING WALLS & OVERHEAD WIRES AS SHOWN. (NO RECORDS FOUND)
    - EXCEPTING ALL RIGHT, TITLE AND INTEREST IN AND TO ANY OIL, GAS AND OTHER MINERALS AS DESCRIBED IN VOLUME 845, PAGE 348. (MINERAL RIGHTS RELEASED TO MOTIVA ENTERPRISES LLC FROM SHELL OIL COMPANY AS DESCRIBED IN VOLUME 848, PAGE 4.)
  - THESE PREMISES ARE SITUATED IN AN "B2 ZONE" (GENERAL BUSINESS)
 

**DIMENSIONAL REQUIREMENTS**

MIN. STRUCT. DISTANCE FROM RESIDENTIAL BOUNDARY ZONE	= 50 FT.
MIN. S/B FRONT YARD	= 40 FT.
MIN. S/B REAR YARD	= 40 FT.
MIN. S/B SIDE YARD	= 40 FT.
MAX. STRUCTURE HEIGHT	= 35 FT.
MAX. BUILDING COVERAGE	= 40%

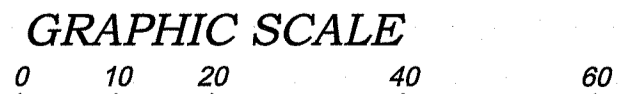
NOTE - ZONING INFORMATION IS FROM CURRENT ZONING AND MAY NOT REFLECT THE CONDITIONS AT THE TIME OF CONSTRUCTION OR ANY VARIANCES GRANTED.
  - THESE PREMISES ARE SITUATED IN A "ZONE X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS DESIGNATED ON THE "NATIONAL FLOOD INSURANCE PROGRAM, FIRM FLOOD INSURANCE RATE MAP PROVIDENCE COUNTY, RHODE ISLAND (ALL JURISDICTIONS) PANEL 303 OF 451 TOWN OF JOHNSTON MAP NUMBER 4400700300 MAP REVISED: OCTOBER 2, 2016. FEDERAL EMERGENCY MANAGEMENT AGENCY."
  - ANY UTILITIES SHOWN ON THIS PLAN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING PLANS. THE SURVEYOR DOES NOT GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH OR ABANDONED. THE SURVEYOR MAKES NO WARRANTY THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM ALL AVAILABLE INFORMATION. (PLEASE CONTACT DIG SAFE 72 HOURS PRIOR TO CONSTRUCTION AT PHONE NO. 1-888-DIG-SAFE AND/OR ALL LOCAL UTILITY COMPANIES.)
  - THE LOCATION OF THE TOWN / CITY LINE WAS REPRODUCED FROM THE EXISTING MONUMENT FOUND AND EXISTING DEEDS / PLATS OF RECORD. MORE RESEARCH / FIELD WORK MAY BE NEEDED TO DELINEATE THE EXACT LOCATION OF THE TOWN / CITY LINE. A COMPLETE SURVEY OF THE TOWN / CITY LINE WAS NOT CONDUCTED AS PART OF THIS PROJECT.
  - SNOW COVER WAS PRESENT DURING THE COURSE OF PERFORMING THE FIELD SURVEY IN 2019, THEREFORE NOT ALL FEATURES AND / OR APPURTENANCES MAY BE SHOWN.
  - THE WETLAND FLAGS SHOWN HEREON WERE DELINEATED BY NATURAL RESOURCE SERVICES, INC., P.O. BOX 311, HARRISVILLE, RI 02880 IN SEPTEMBER, 2020 AND FIELD LOCATED BY WATERMAN ENGINEERING COMPANY IN NOVEMBER, 2020.

RI Environmental Management  
DEC 06 2021  
Office of Water Resources

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS  
AS SPECIFIED IN THE LETTER OF APPROVAL  
DATED FEB 17 2022 FILE # 21-0329  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
APPROVED PLANS MUST BE AT CONSTRUCTION SITE  
*Nancy L. Freeman*

**LEGEND & ABBREVIATIONS**

- |         |                            |                          |
|---------|----------------------------|--------------------------|
| NF      | - NOW OR FORMERLY          | - PROPERTY LINE          |
| A.P.    | - ASSESSORS PLAT           | - ZONING SETBACK LINE    |
| S.F.    | - SQUARE FEET              | - EXISTING CONTOUR       |
| AC.     | - ACRES                    | - NEW CONTOUR            |
| ±       | - PLUS OR MINUS            | - STONE WALL             |
| STY     | - STORY                    | - FENCE                  |
| WF      | - WOOD FRAMED              | - SEWER LINE             |
| SNP     | - STATE HIGHWAY PLAT       | - DRAIN LINE             |
| RET.    | - RETAINING WALL           | - WATER LINE             |
| PED.    | - PEDESTRIAN               | - GAS LINE               |
| (FND.)  | - FOUND                    | - ELECTRIC LINE          |
| RHB     | - RI HIGHWAY BOUND         | - SANITARY SEWER MANHOLE |
| MK NAP  | - MASONRY NAIL             | - CATCH BASIN            |
| FE      | - FLARED END               | - STORM DRAIN MANHOLE    |
| RCP     | - REINFORCED CONCRETE PIPE | - WATER GATE             |
| CLF     | - CHAIN LINK FENCE         | - GAS VALVE              |
| INV.    | - INVERT                   | - ELECTRIC MANHOLE       |
| x 10.80 | - EXISTING SPOT GRADE      | - GRANITE BOUND          |
| x 10.80 | - NEW SPOT GRADE           | - DRILL HOLE             |
|         |                            | - IRON PIPE              |



GRAPHIC SCALE  
(in feet)  
1 INCH EQUALS 20 FEET

COPYRIGHT © THESE DRAWINGS ARE THE PROPERTY OF THE ENGINEER/SURVEYOR AND HAVE BEEN PREPARED FOR THE OWNER. FOR THIS PROJECT AT THIS SITE AND ARE NOT TO BE USED FOR ANY OTHER PURPOSE. LOCATION OR OWNER WITHOUT WRITTEN CONSENT OF THE OWNER OR ONE OF ITS DIRECTORS.  
WATERMAN ENGINEERING CO.  
CIVIL ENGINEERS & SURVEYORS  
16 SECTOR AVENUE  
BART PROVIDENCE, RI 02914-2096

\*\* SIGNATURES MUST BE IN BLUE INK TO CONSTITUTE AN ORIGINAL PLAN

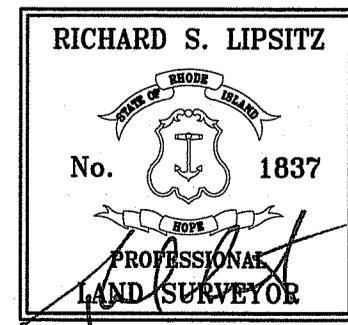
**CERTIFICATION**

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON JANUARY 1, 2018, AS FOLLOWS:

TYPE OF BOUNDARY SURVEY: MEASUREMENT / ACCURACY SPECIFICATION:  
COMPREHENSIVE BOUNDARY SURVEY 1

OTHER TYPE OF SURVEY: DATA ACCUMULATION SURVEY T-1  
TOPOGRAPHIC SURVEY T-1

THE PURPOSE FOR CONDUCTING THIS SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS:  
BOUNDARY & TOPOGRAPHIC SURVEY PLAN FOR THE FUTURE DEVELOPMENT OF THE SUBJECT PARCELS.



BY: *Richard S. Lipsitz*  
RICHARD S. LIPSITZ, P.L.S. REG. NO. 1837  
WATERMAN ENGINEERING COMPANY (COA No. LS.0004483) DATE 11/03/2021

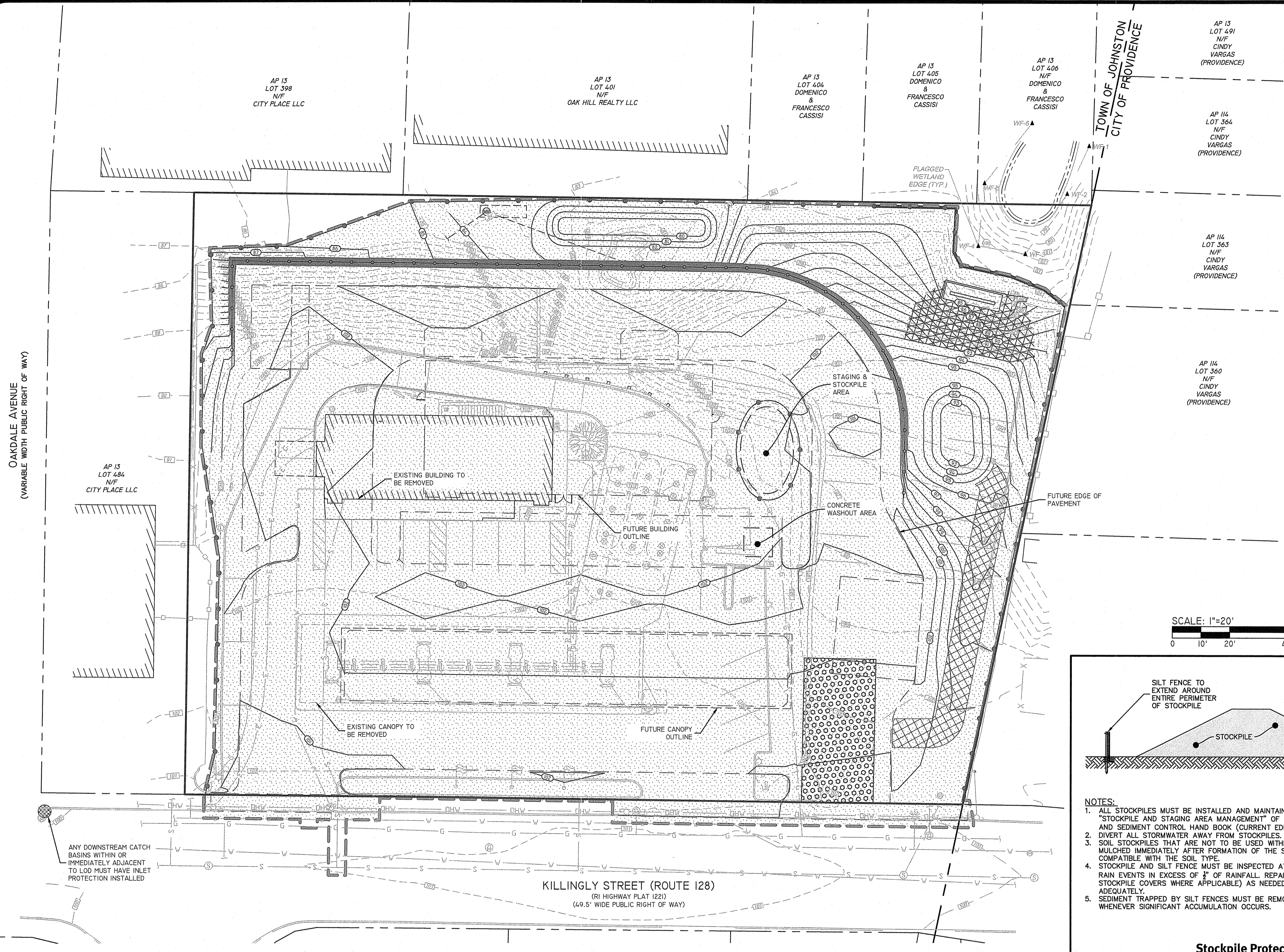
2	10/28/2021	PROVIDED ADDL TOPOGRAPHY	BJT
1	11/12/2020	ADDL TOPOGRAPHY / UTILITIES & WETLAND FLAGS	BJT
NO.	DATE	REVISION	CHECKED BY

BOUNDARY & TOPOGRAPHIC SURVEY PLAN  
A.P. 13, LOTS 397 & 485  
KILLINGLY STREET  
JOHNSTON, RHODE ISLAND

COLBEA / EAST SIDE ENTERPRISE, LLC  
STARLINE WAY  
CRANSTON, RHODE ISLAND 02921

**Waterman**  
ENGINEERING COMPANY  
Engineers & Surveyors - Est. 1894

46 Sutton Avenue  
East Providence, RI  
Phone: (401) - 432 - 5775  
Fax: (401) - 432 - 5773  
www.watermanengineering.net



### SOIL EROSION CONTROL LEGEND

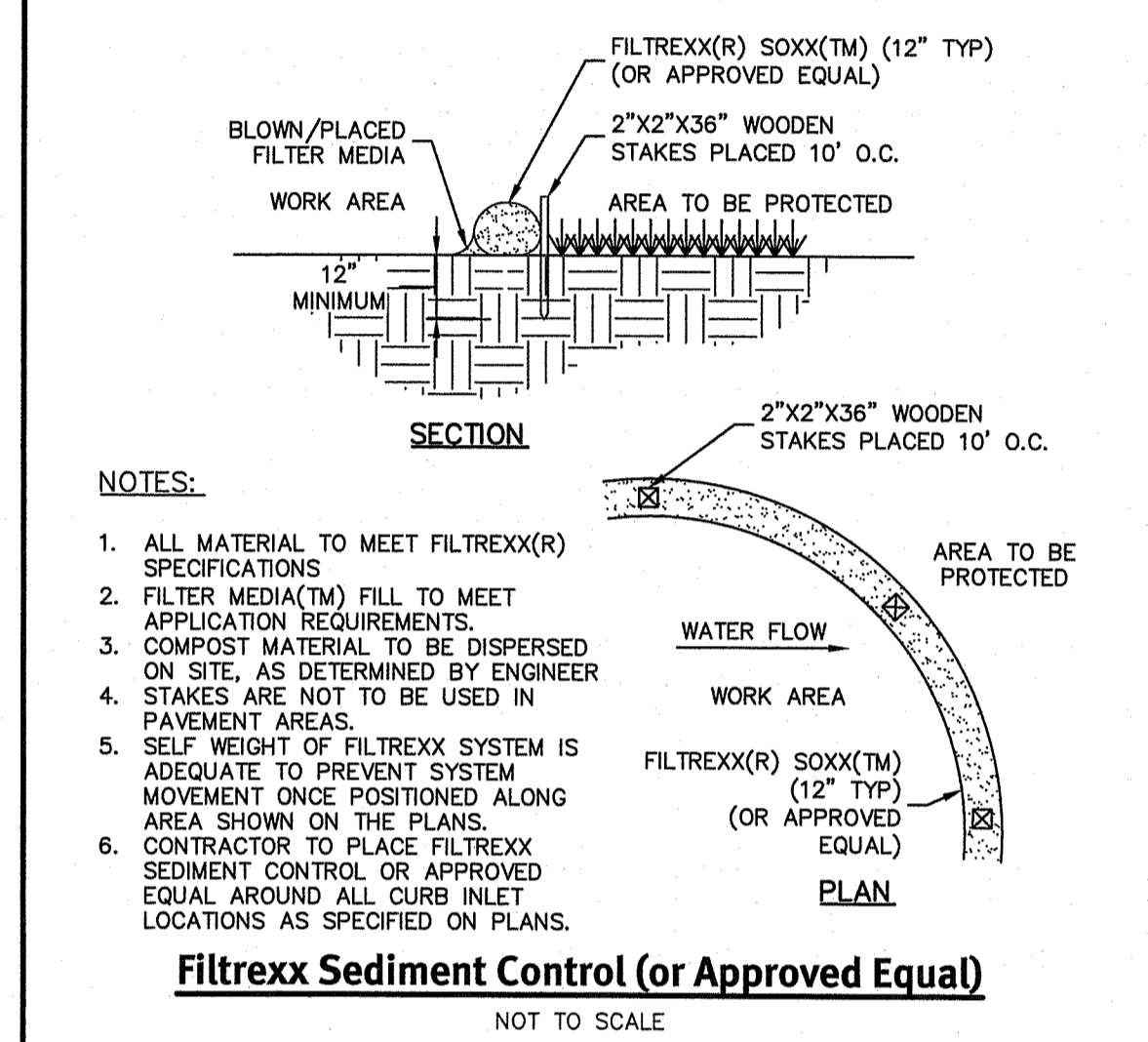
- EROSION CONTROL (COMPOST SOCK, SILT FENCE (RI STD 9.2.0, OR APPROVED EQUAL))
- LIMIT OF DISTURBANCE (NO SEDIMENT CONTROL)
- LIMIT OF DISTURBANCE (WITH SEDIMENT CONTROL)
- CONSTRUCTION ENTRANCE (RIDOT STD 9.9.0)
- FINAL CONTOUR GRADE
- INLET SEDIMENT CONTROL
- CLASS C SILT FENCE

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
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*Nancy L. Freeman*

**DiPrete Engineering**  
Two Stafford Court Cranston, RI 02920  
Tel: 401-943-1000 Fax: 401-464-6066 www.diprete-eng.com

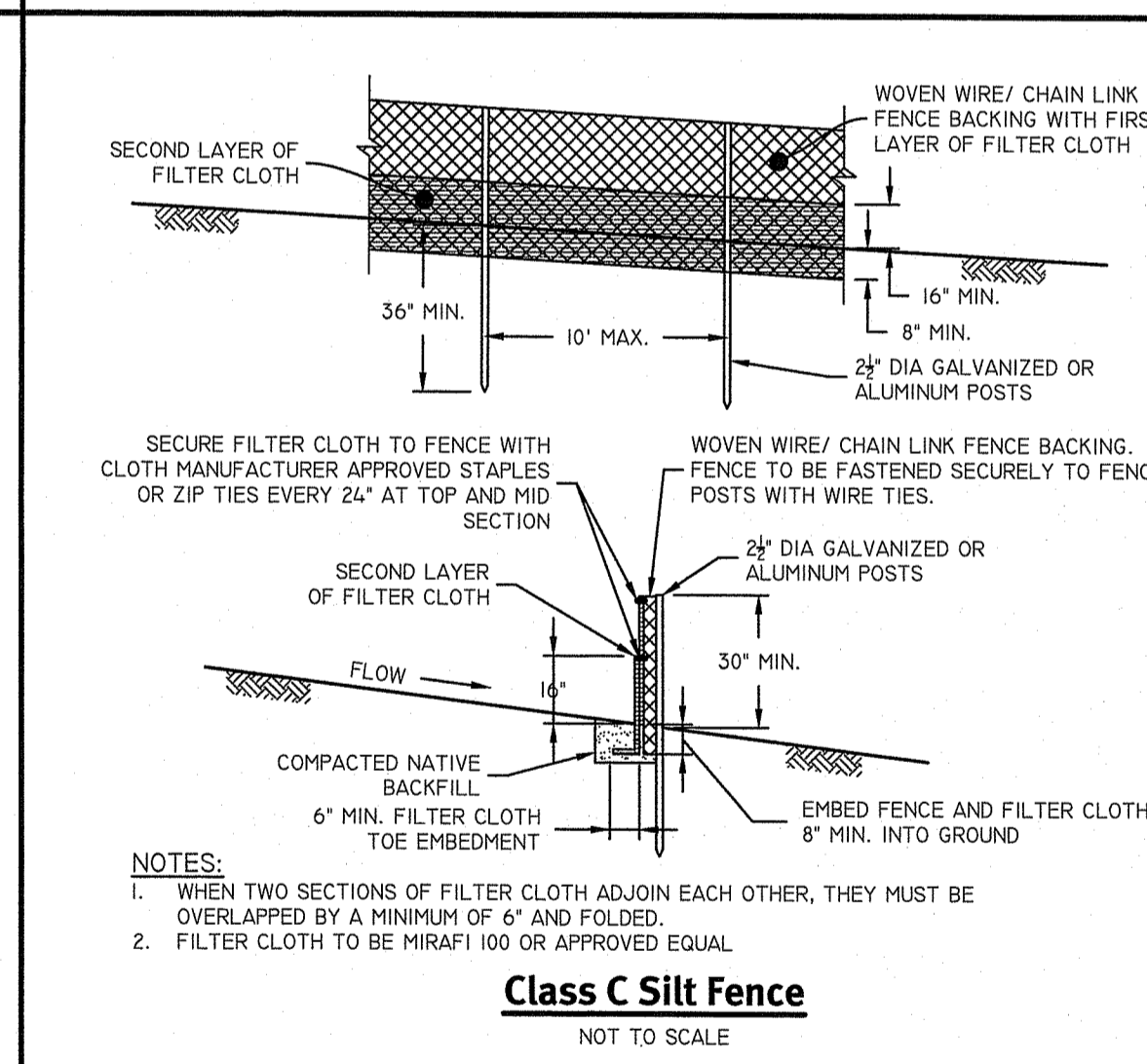
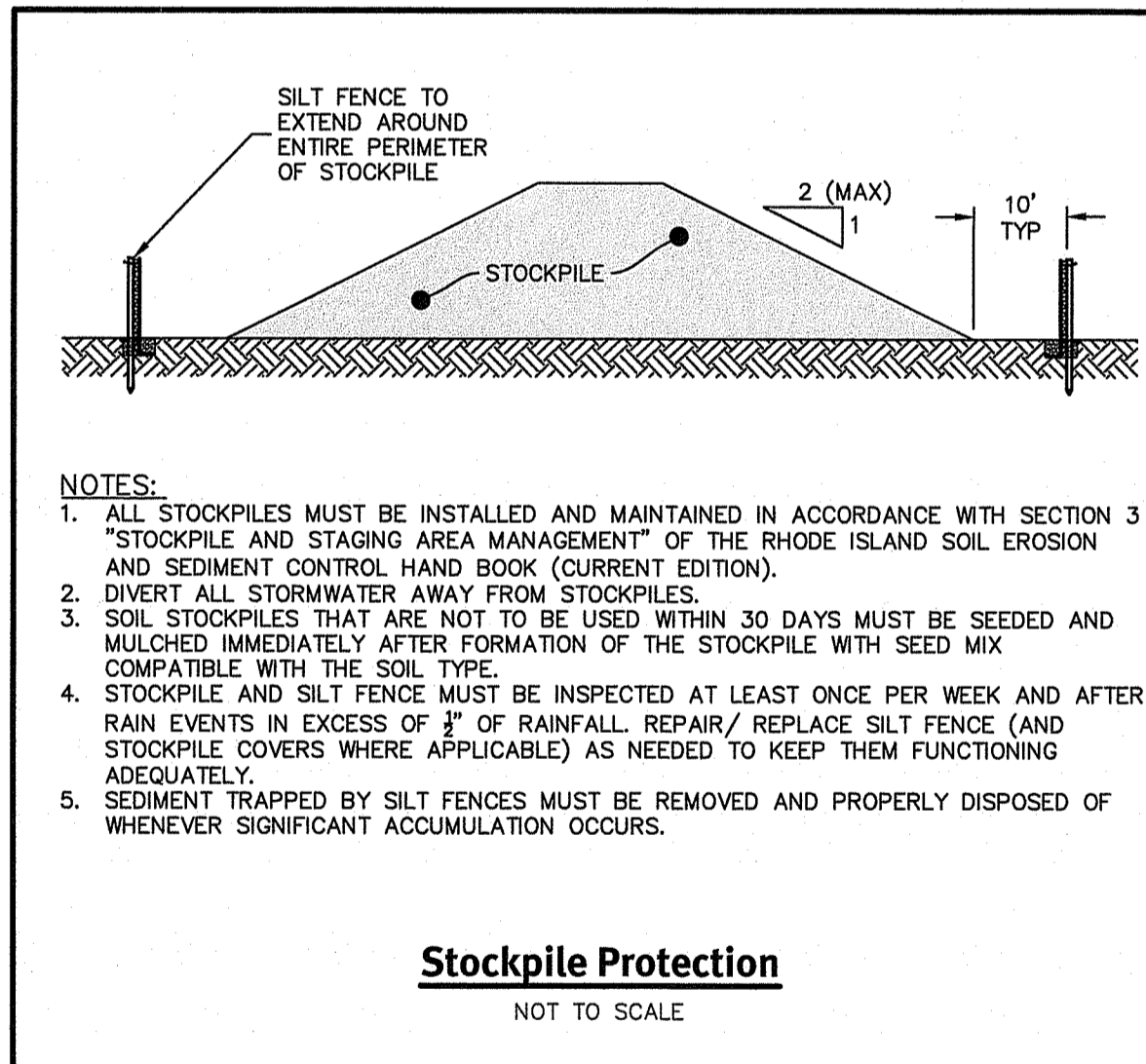
Boston Providence Newport



**DANA R. NISBET**  
No. 11876  
REGISTERED PROFESSIONAL ENGINEER CIVIL

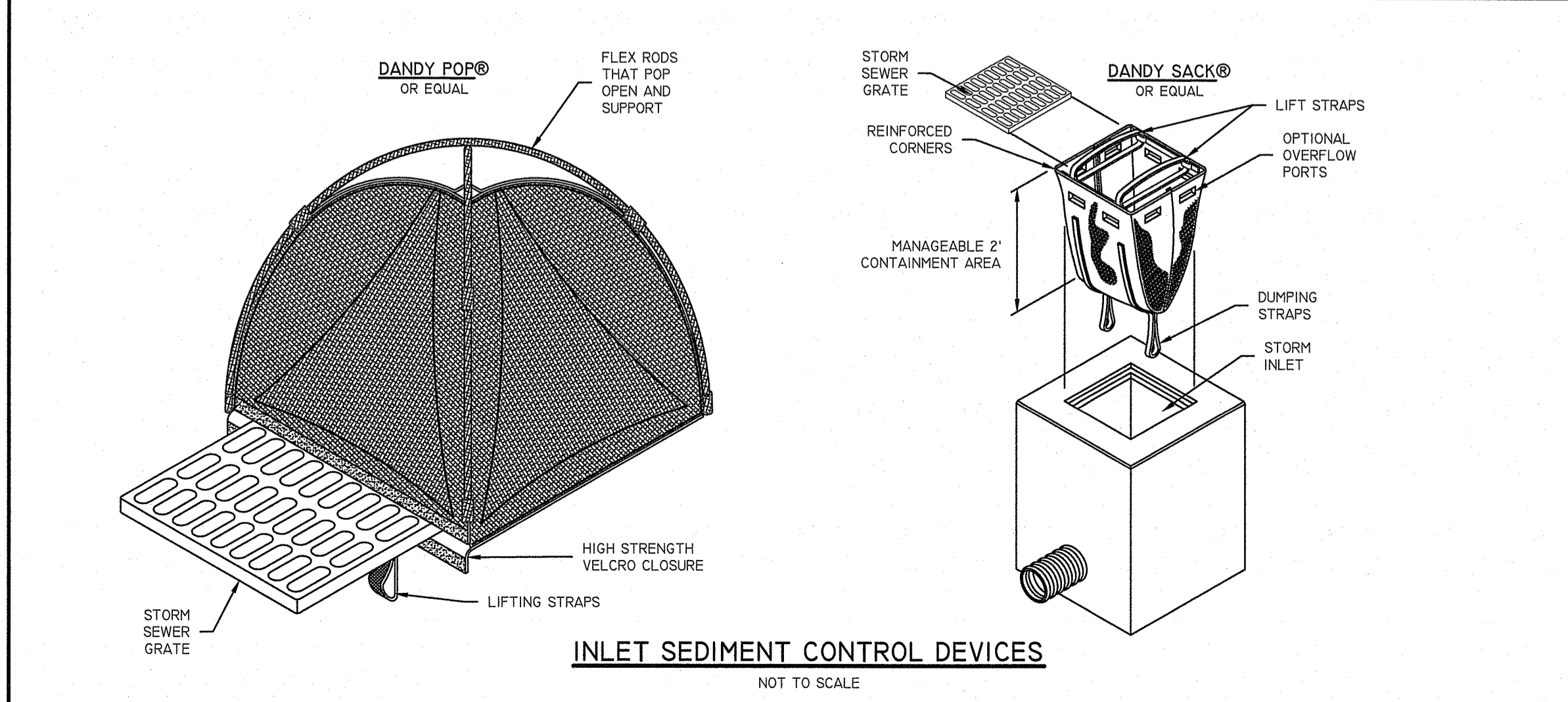
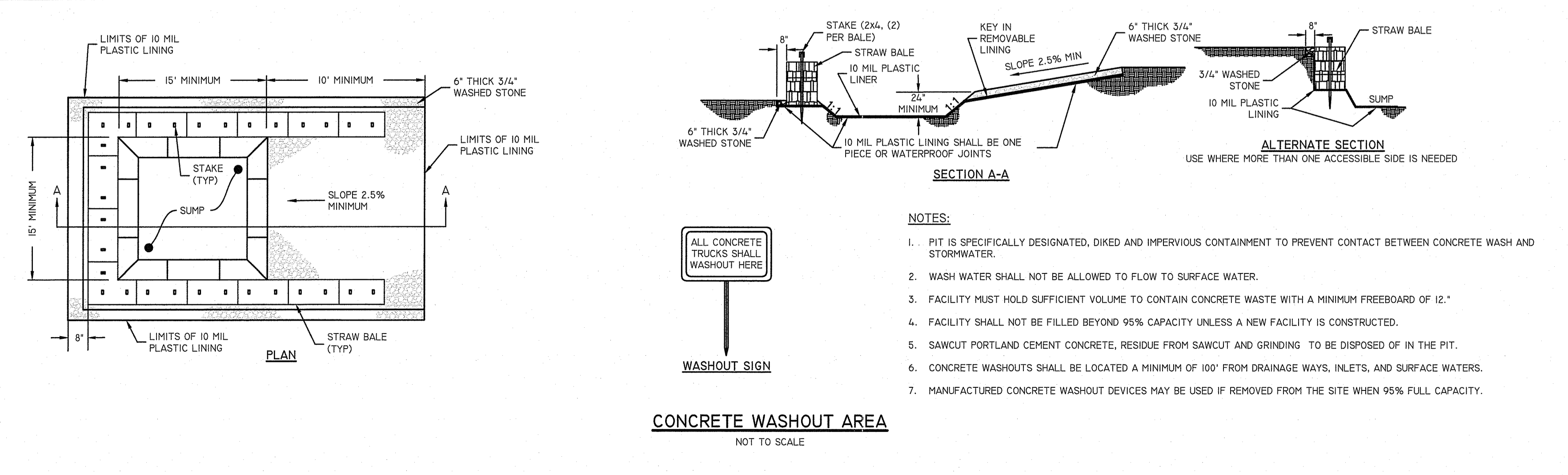
RI Environmental Management  
DEC 06 2021  
Office of Water Resources

UNLESS OTHERWISE SPECIFIED, ALL DIMENSIONS AND TOLERANCES SHALL BE IN ACCORDANCE WITH THE R.I. DIMENSIONAL PRACTICES AND TOLERANCES FOR CONSTRUCTION AND SURVEYING. REGISTERED PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING, INC. DIRECT ENGINEERING ONLY. WARRANTS PLANS ON A DIPRETE ENGINEERING TITLE BLOCK, STAMPED BY REGISTERED ENGINEER. CONTRACTOR TO PLACE FILTREXX SEDIMENT CONTROL OR APPROVED EQUAL AROUND ALL CURB INLET LOCATIONS AS SPECIFIED ON PLANS. THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE MEASUREMENTS AND CONFORMANCE IN THE IMPLEMENTATION OF THIS PLAN AND DESIGN. EXISTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE. DAMAGES INCURRED DUE TO COLLISIONS OF EXISTING UTILITIES, SEE UTILITY NOTES ON SHEET 5.



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R.S.S. BY: R.S.S.  
DESIGN BY: R.S.S.  
PERMIT SUBMISSION SET  
NO. DATE DESCRIPTION  
0 10-21 PERMIT SUBMISSION SET  
DRAWN BY: R.S.S.



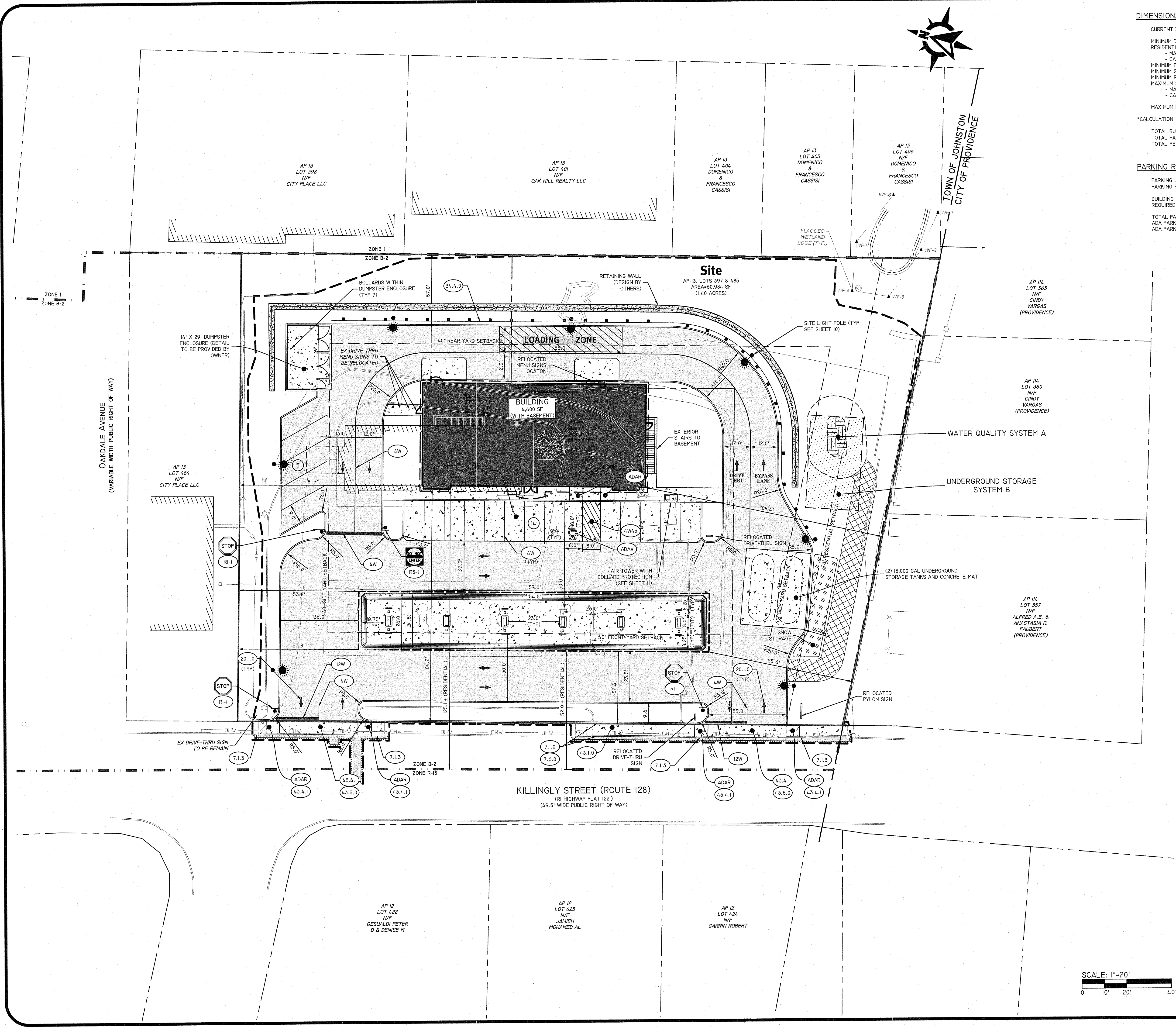
**SOIL EROSION & SEDIMENT CONTROL PLAN**

SEASONS CORNER MARKET  
ASSESSOR'S PLAT IS LOTS 597 & 485  
JOHNSTON, RHODE ISLAND 02919

PREPARED FOR:  
**COLBEA ENTERPRISES, LLC**  
2050 PLAINFIELD PIKE, CRANSTON, RHODE ISLAND 02921  
TEL. 401-943-0005

02-108-100-2008-COPYRIGHT 2002 BY DIPRETE ENGINEERING ASSOCIATES, INC.

SHEET 5 OF 13



**DIMENSIONAL REGULATIONS:**

CURRENT ZONING:	B-2 REQUIRED	PROVIDED
MINIMUM DISTANCE OF STRUCTURE FROM RESIDENTIAL ZONE BOUNDARY:	50'	125.1'
- MAIN BUILDING		52.9'
- CANOPY		104.2'
MINIMUM FRONT YARD:	4.0'	81.7'
MINIMUM SIDE YARD:	4.0'	57'
MINIMUM REAR YARD:	4.0'	57'
MAXIMUM STRUCTURE HEIGHT:	35'	<35'
- MAIN BUILDING		<35'
- CANOPY		<35'
MAXIMUM BUILDING COVERAGE:	4.0%	13.7%*

\*CALCULATION INCLUDES EXISTING BUILDING AND EXISTING AND PROPOSED CANOPY

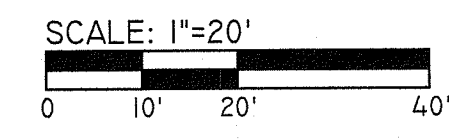
TOTAL BUILDING & CANOPY AREA:	8,372 SF (13.7%)
TOTAL PAVEMENT AREA:	29,839 SF (48.9%)
TOTAL PVIOUS AREA:	22,775 SF (37.4%)

**PARKING REGULATIONS:**

PARKING USE:	RETAIL AND SERVICE BUSINESS
PARKING REQUIREMENT:	1 SPACE PER 300 SF (GROSS LEASABLE AREA)
BUILDING SQUARE FOOTAGE (GFA):	4,600 SF
REQUIRED PARKING CALCULATIONS:	4,600 X 1/300 = 16 SPACES
TOTAL PARKING SPACES PROVIDED:	19 SPACES
ADA PARKING REQUIREMENT:	1 SPACE
ADA PARKING INCLUDED IN TOTAL SPACES:	1 SPACE

THIS PLAN TO BE INDEXED UNDER THE FOLLOWING SHEETS:  
 • KILLINGLY STREET

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
 OFFICE OF WATER RESOURCES  
 FRESHWATER WETLANDS PROGRAM  
 APPROVED WITH CONDITIONS  
 AS SPECIFIED IN THE LETTER OF APPROVAL  
 DATED FEB 17 2022 FILE # 21-032A  
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE  
*Nancy L. Freeman*



**DiPrete Engineering**  
 Two Stafford Court Cranston, RI 02920  
 Tel: 401-943-1000 Fax: 401-464-6006 www.diprete-eng.com  
 BOSTON • PROVIDENCE • NEWPORT

**DANA R. NISBET**  
 No. 11878  
 REGISTERED PROFESSIONAL ENGINEER  
 CIVIL

Environmental Management  
 DEC 06 2021  
 Office of Water Resources

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NO.	DATE	DESCRIPTION	DESIGN BY:
0	11-02-21	PERMITS SUBMISSION SET	R.S.S.
1			BY:
			DESIGN BY: RSS

**SITE LAYOUT PLAN**  
**SEASONS CORNER MARKET**  
 ASSessor'S PLAT 13 LOTS 397 & 485  
 JOHNSTON, RHODE ISLAND 02919  
 PREPARED FOR:  
**COLBEA ENTERPRISES, LLC**  
 2050 PLAINFIELD PIKE, CRANSTON, RHODE ISLAND 02921  
 TEL 401-943-0005



**Diprete Engineering**

Two Stafford Court Cranston, RI 02920  
tel 401-943-1000 fax 401-664-6006 www.diprete-eng.com

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DANA R. NISSET  
No. 11876  
REGISTERED PROFESSIONAL ENGINEER  
CIVIL

Environmental Management  
DEC 06 2021  
Office of Water Resources

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EXISTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE. THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE MEASUREMENTS, SAFETY PRECAUTIONS AND REQUIREMENTS, AND OSHA COMPLIANCE IN THE IMPLEMENTATION OF THIS PLAN AND DESIGN.  
EXISTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE. THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE MEASUREMENTS, SAFETY PRECAUTIONS AND REQUIREMENTS, AND OSHA COMPLIANCE IN THE IMPLEMENTATION OF THIS PLAN AND DESIGN.  
DAMAGE INCURRED DUE TO LOCATIONS OF EXISTING UTILITIES. SEE UTILITY NOTE ON SHEET 3.

NO.	DATE	DESCRIPTION	DESIGNED BY	BY
0	11/02/21	PERMIT SUBMISSION SET	RSS	RSS

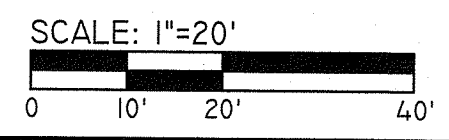
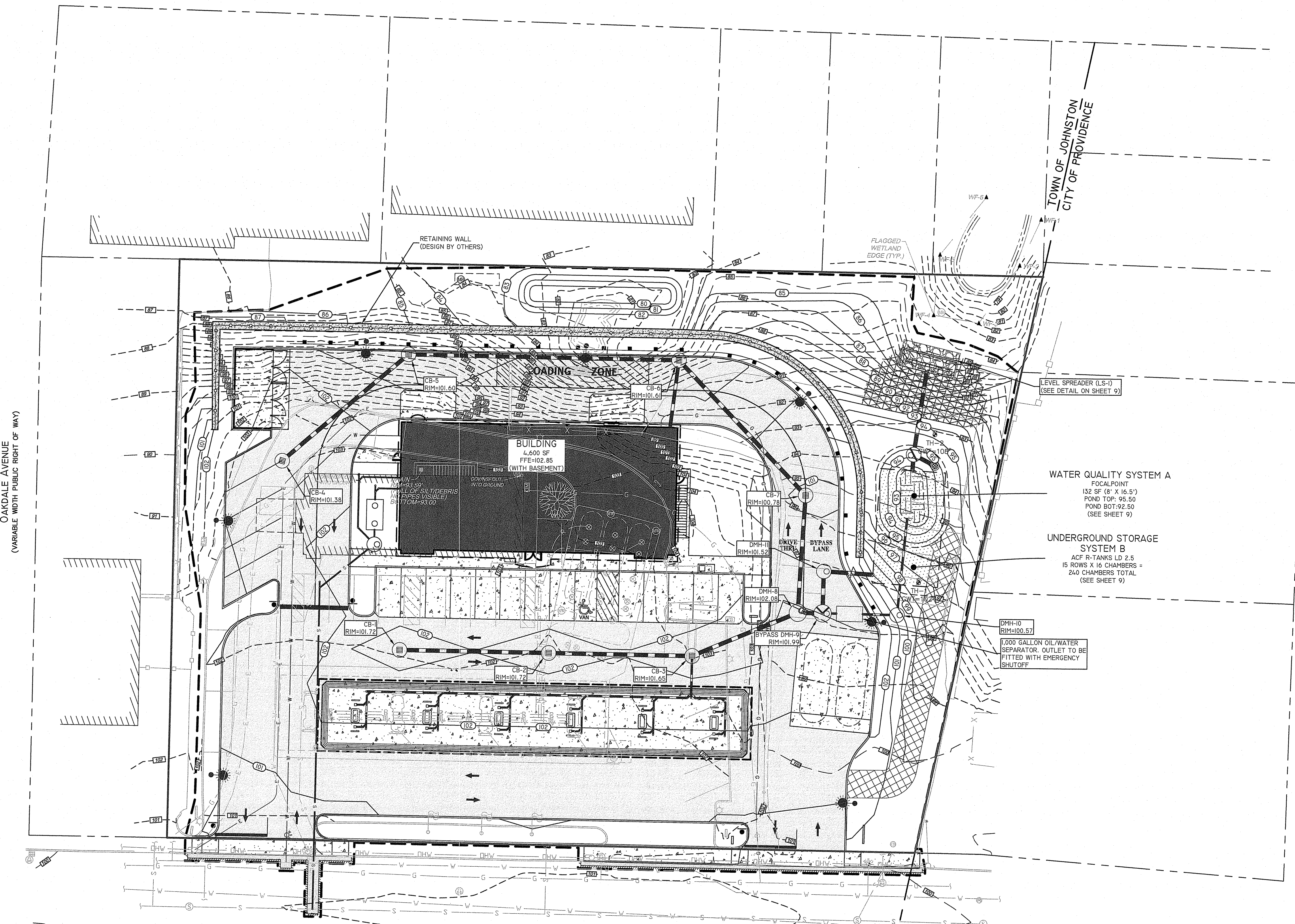
DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS  
AS SPECIFIED IN THE LETTER OF APPROVAL  
DATED FEB 17 2022 FILE # 21-0329  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
APPROVED PLANS MUST BE AT CONSTRUCTION SITE!  
*Nancy L. Freeman*

**GRADING & SURFACE DRAINAGE PLAN**

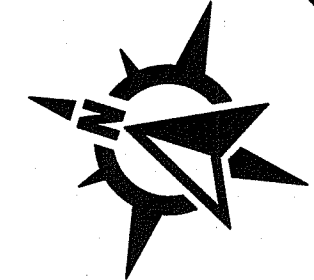
**SEASONS CORNER MARKET**

ASSESSOR'S PLAT IS LOTS 397 & 405  
JOHNSTON, RHODE ISLAND 02919  
PREPARED FOR:  
**COLBEA ENTERPRISES, LLC**  
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TEL 401-943-0005

DE 308 (R) 2506-006 COPYRIGHT 2008 BY DIPRETE ENGINEERING ASSOCIATES, INC.



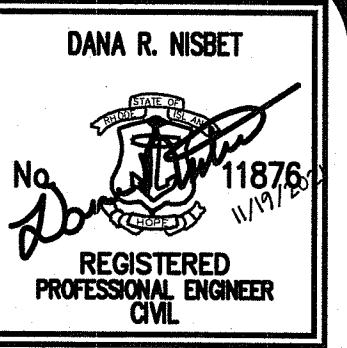
Z:\BPM\PROJECTS\2506-006 KILLINGLY STREET 325 MUT/CAD DRAWINGS\2506-006-PLAN.DWG PLOT#8: 11/22/2021



**DiPrete Engineering**

Two Stafford Court, Cranston, RI 02920  
Tel: 401-943-1000 Fax: 401-943-0066 www.diprete-eng.com

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RI Environmental Management  
DEC 06 2021  
Office of Water Resources

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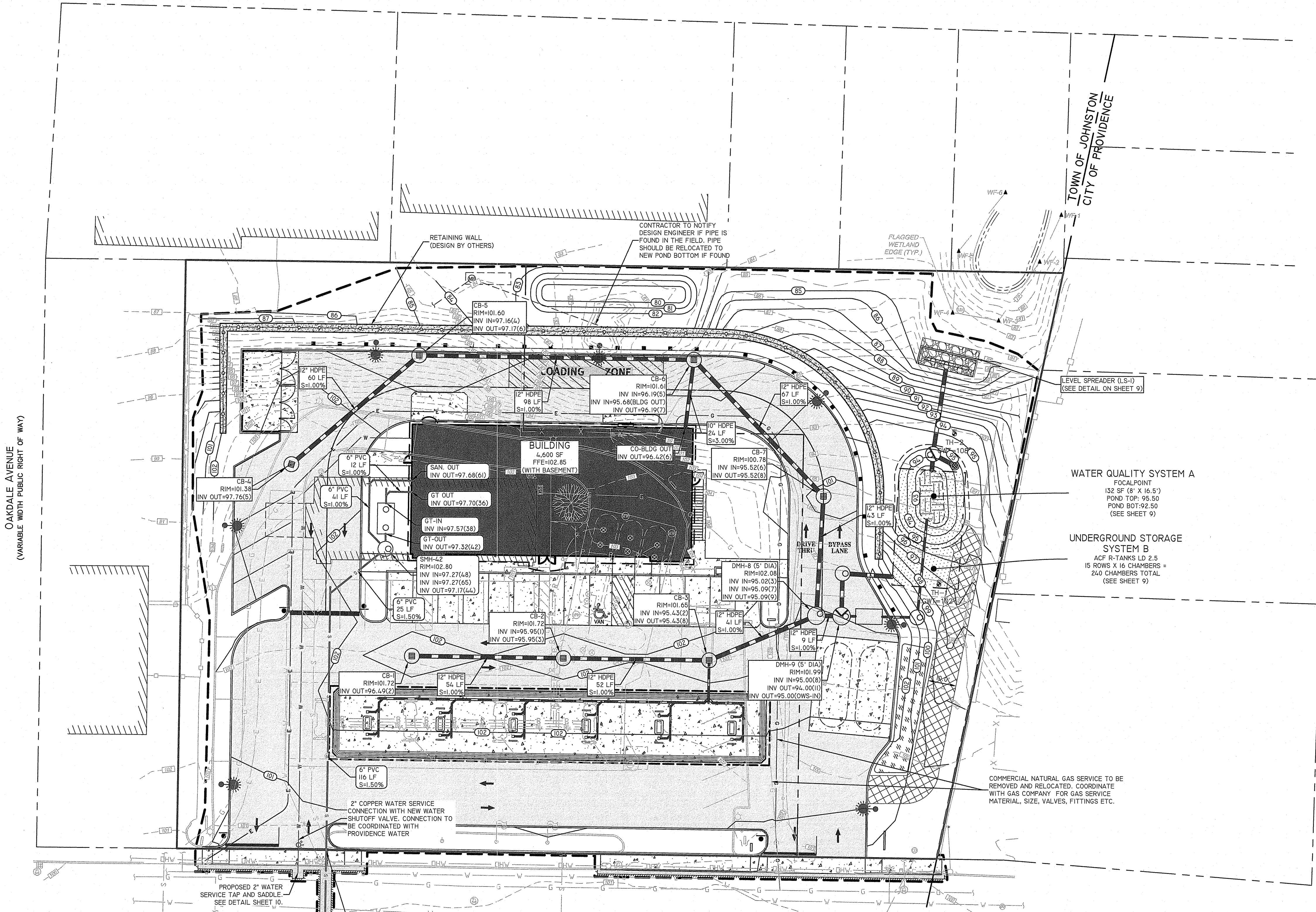
NO.	DATE	DESCRIPTION	DESIGNED BY	DRAWN BY	R.S.S.	BY
1	11-09-21	PERMIT SUBMISSION SET				
2						

**DRAINAGE AND UTILITIES PLAN**

**SEASONS CORNER MARKET**  
ASSESSOR'S PLAT IS LOTS 397 & 485  
JOHNSTON, RHODE ISLAND 02919

PREPARED FOR:  
**COLBEA ENTERPRISES, LLC**  
2050 PLAINFIELD PIKE, CRANSTON, RHODE ISLAND 02921  
TEL: 401-943-0005

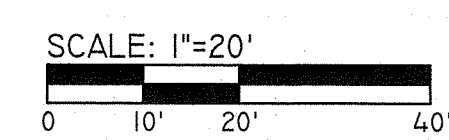
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OAKDALE AVENUE  
(VARIABLE WIDTH PUBLIC RIGHT OF WAY)

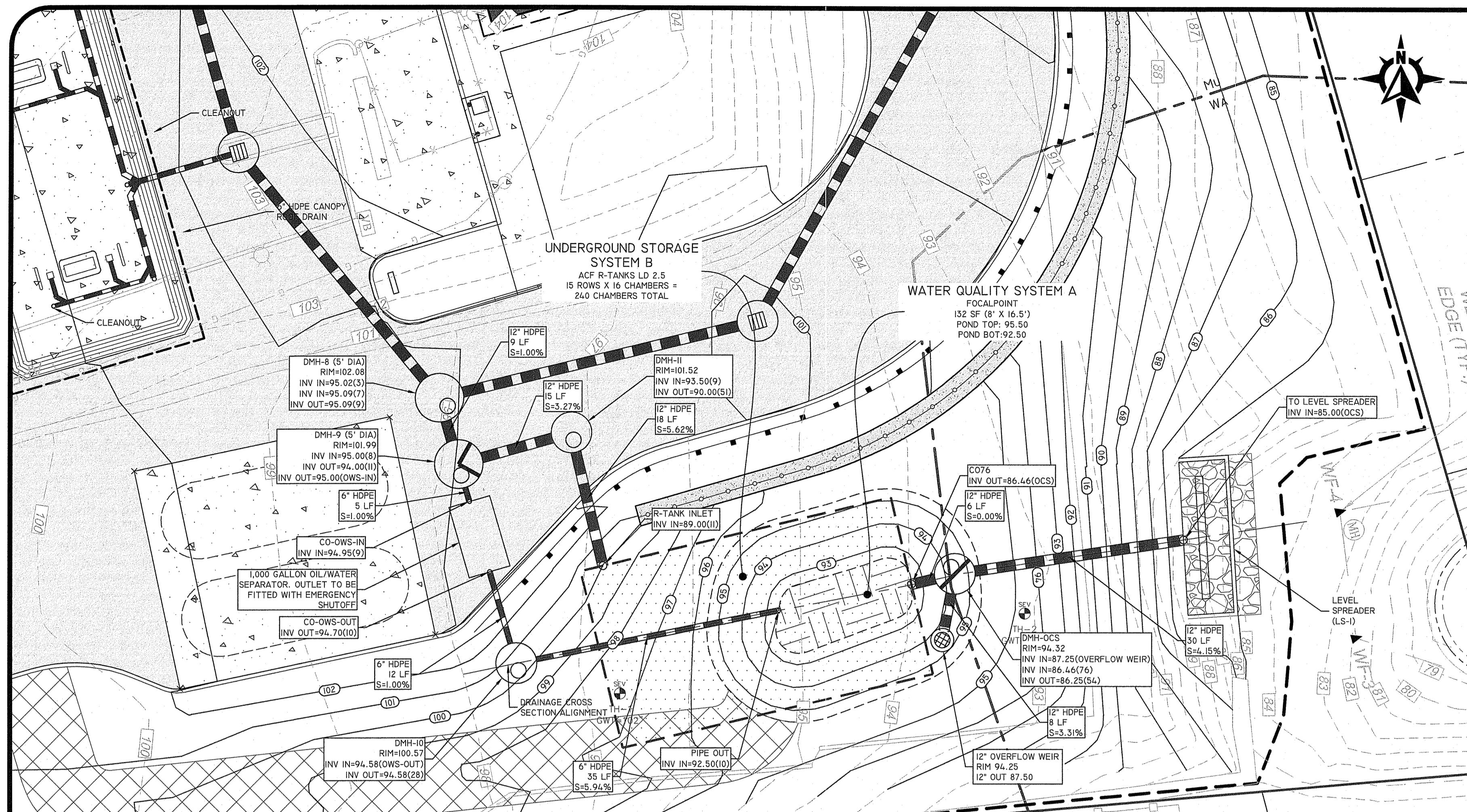
TOWN OF JOHNSTON  
CITY OF PROVIDENCE

**KILLINGLY STREET (ROUTE 128)**  
(RI HIGHWAY PLAT 122)  
(69.5' WIDE PUBLIC RIGHT OF WAY)

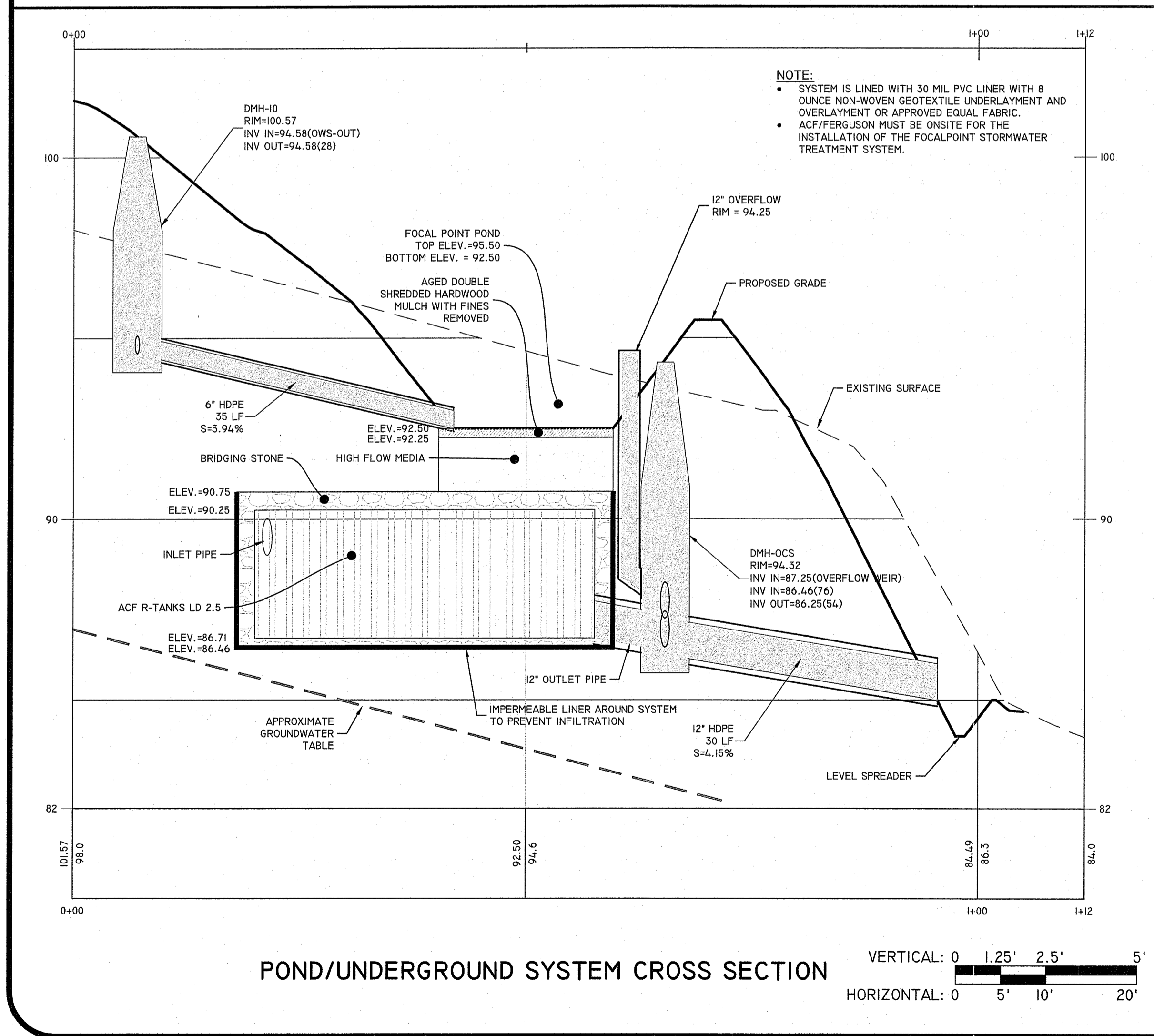


DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS  
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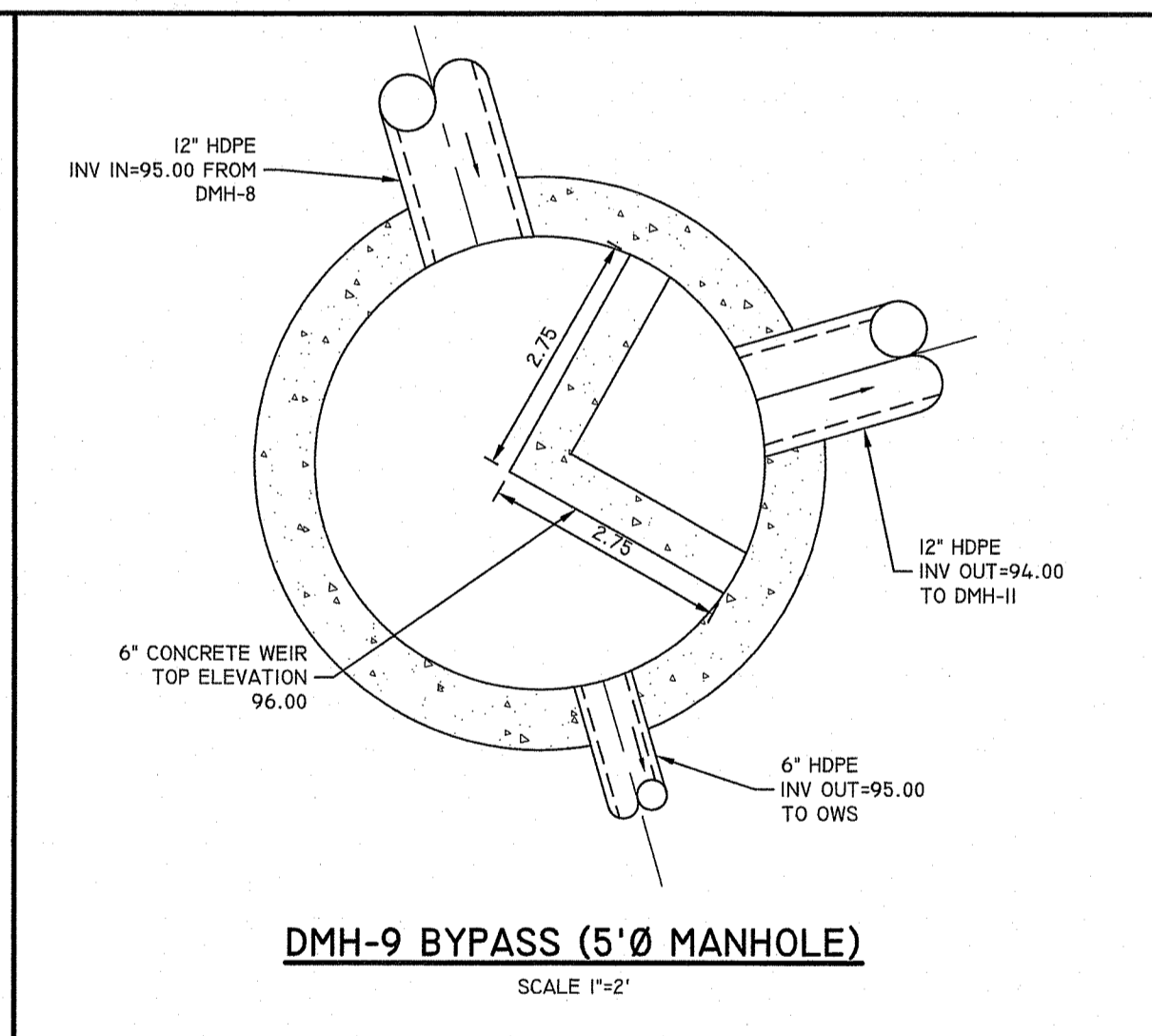
*Dana R. Nisbet*



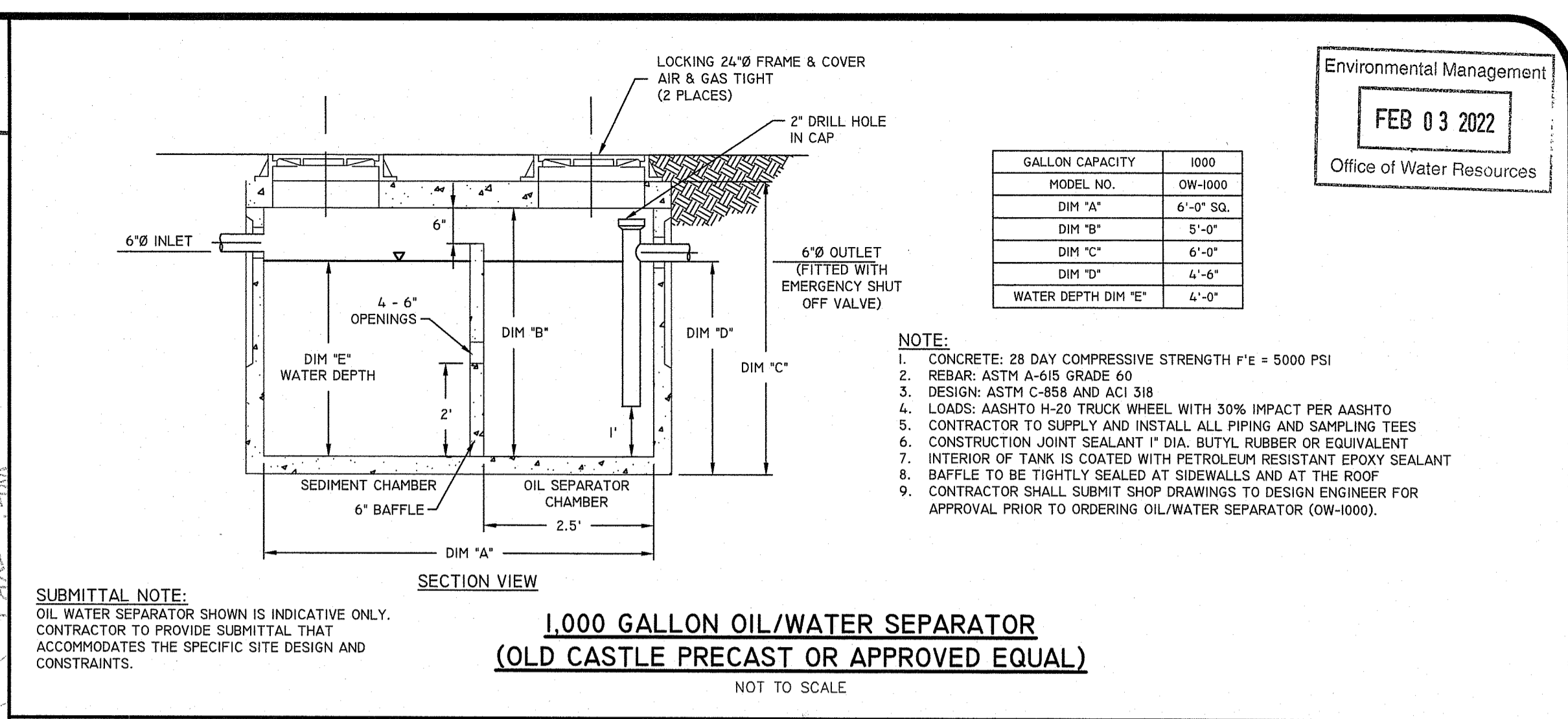
**STORMWATER TREATMENT SYSTEMS A & B**  
 SCALE: 1"=10'  
 0 5' 10' 20'



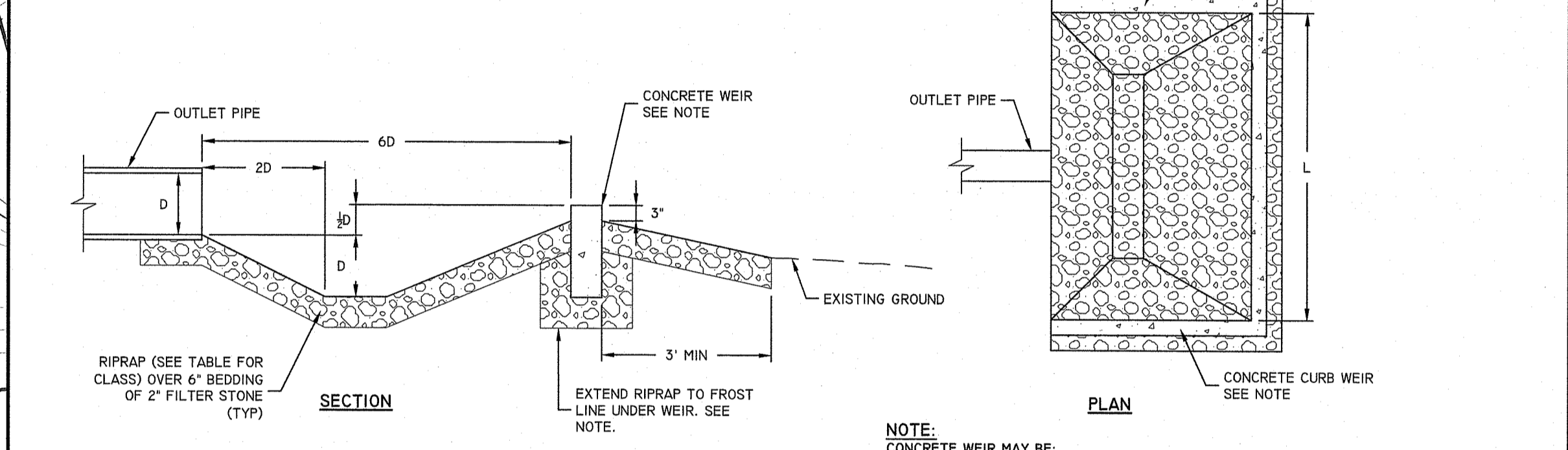
**POND/UNDERGROUND SYSTEM CROSS SECTION**  
 VERTICAL: 0 1.25' 2.5' 5'  
 HORIZONTAL: 0 5' 10' 20'



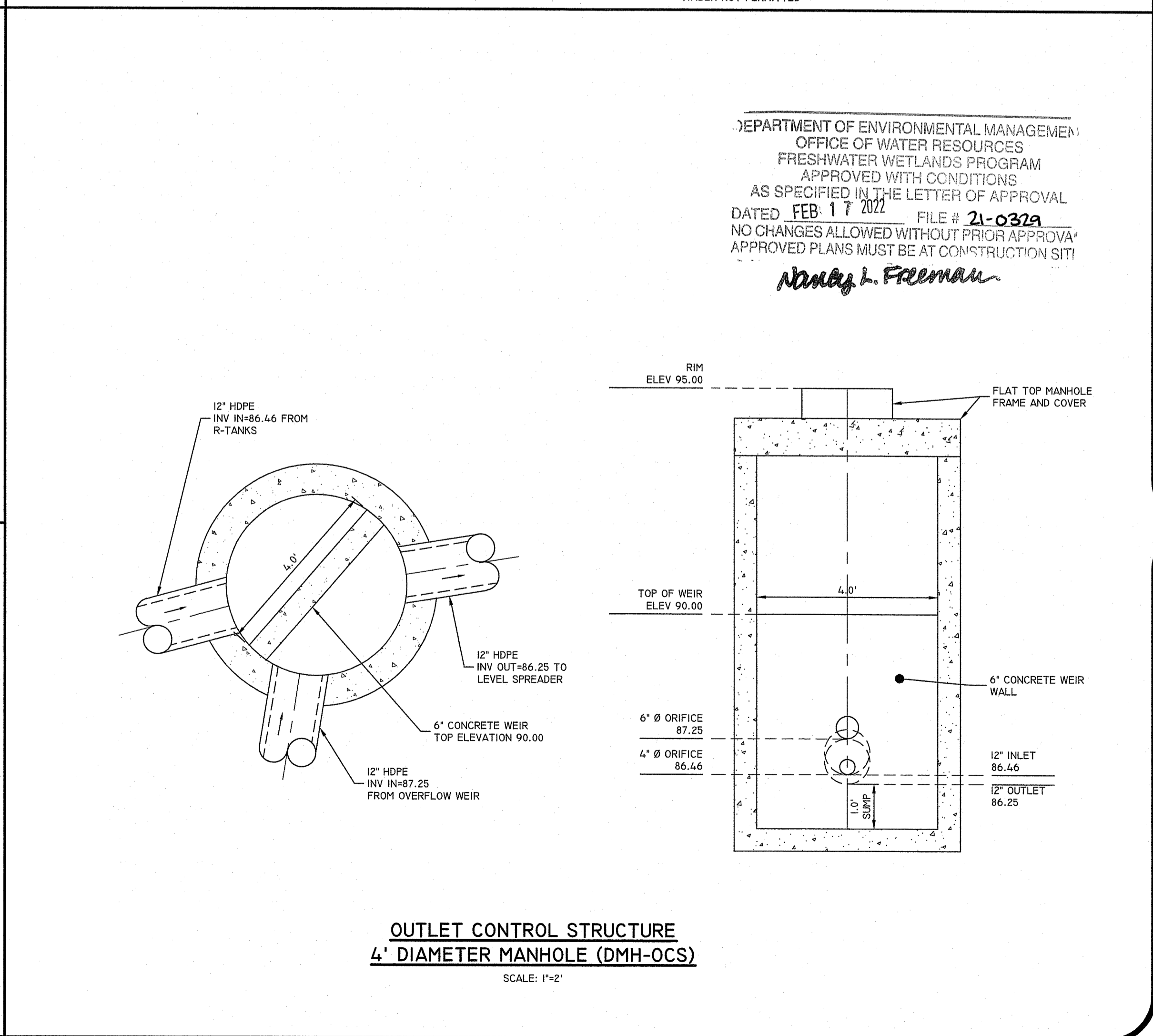
**DMH-9 BYPASS (5'0\"/>
 SCALE: 1"=2'**



LOCATION	PIPE INVERT	PIPE DIA (D)	WIDTH (60)	LENGTH (L)	CONCRETE WEIR ELEV	RIPRAP CLASS
LS-1	85.00	1.00'	6.00'	20.00'	95.50	R-3



**LEVEL SPREADER**  
 NOT TO SCALE



**OUTLET CONTROL STRUCTURE**  
**4' DIAMETER MANHOLE (DMH-OCS)**  
 SCALE: 1"=2'

Environmental Management  
**FEB 03 2022**  
 Office of Water Resources

GALLON CAPACITY	1000
MODEL NO.	OW-1000
DIM "A"	6'-0" SQ.
DIM "B"	5'-0"
DIM "C"	6'-0"
DIM "D"	4'-6"
WATER DEPTH DIM "E"	4'-0"

- NOTE:**
1. CONCRETE: 28 DAY COMPRESSIVE STRENGTH F'c = 5000 PSI
  2. REBAR: ASTM A-615 GRADE 60
  3. DESIGN: ASTM C-858 AND ACI 318
  4. LOADS: AASHTO H-20 TRUCK WHEEL WITH 30% IMPACT PER AASHTO
  5. CONTRACTOR TO SUPPLY AND INSTALL ALL PIPING AND SAMPLING TEES
  6. CONSTRUCTION JOINT SEALANT 1" DIA: BUTYL RUBBER OR EQUIVALENT
  7. INTERIOR OF TANK IS COATED WITH PETROLEUM RESISTANT EPOXY SEALANT
  8. BAFFLE TO BE TIGHTLY SEALED AT SIDEWALLS AND AT THE ROOF
  9. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO DESIGN ENGINEER FOR APPROVAL PRIOR TO ORDERING OIL/WATER SEPARATOR (OW-1000).

**SUBMITTAL NOTE:**  
 OIL WATER SEPARATOR SHOWN IS INDICATIVE ONLY.  
 CONTRACTOR TO PROVIDE SUBMITTAL THAT  
 ACCOMMODATES THE SPECIFIC SITE DESIGN AND  
 CONSTRAINTS.

**1,000 GALLON OIL/WATER SEPARATOR**  
**(OLD CASTLE PRECAST OR APPROVED EQUAL)**  
 NOT TO SCALE

**DiPrete Engineering**  
 Two Stafford Court, Cranston, RI 02920  
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**DANA R. NISSET**  
 No. 11878  
 REGISTERED PROFESSIONAL ENGINEER  
 CIVIL

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DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
 OFFICE OF WATER RESOURCES  
 FRESHWATER WETLANDS PROGRAM  
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 DATED FEB 17 2022 FILE # 21-032a  
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
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*Nancy L. Freeman*

NO.	DATE	DESCRIPTION	BY	CHKD.
1	02-02-22	PERMISSION SET	RS	RS
2	02-02-22	PERMISSION SET	RS	RS
3	02-02-22	PERMISSION SET	RS	RS

DESIGN BY: RRS

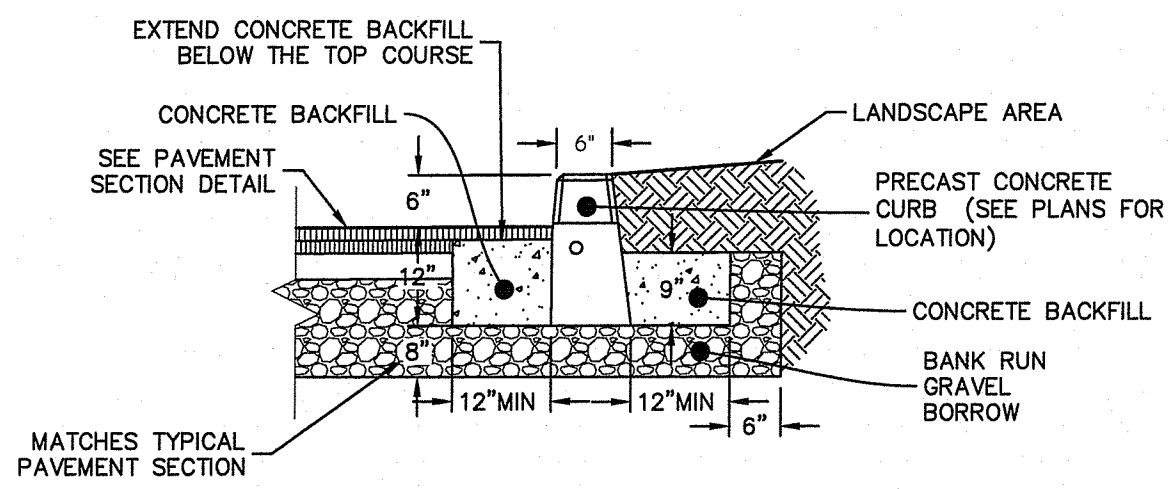
**STORMWATER TREATMENT SYSTEM**  
**SEASONS CORNER MARKET**  
 ASSESSOR'S PLAT 13 LOTS 397 & 485  
 JOHNSTON, RHODE ISLAND 02919

PREPARED FOR:  
**COLBEA ENTERPRISES, LLC**  
 150 FIELD PINE, CRANSTON, RHODE ISLAND 02921  
 TEL: 401-943-9005

DESIGN BY: RRS

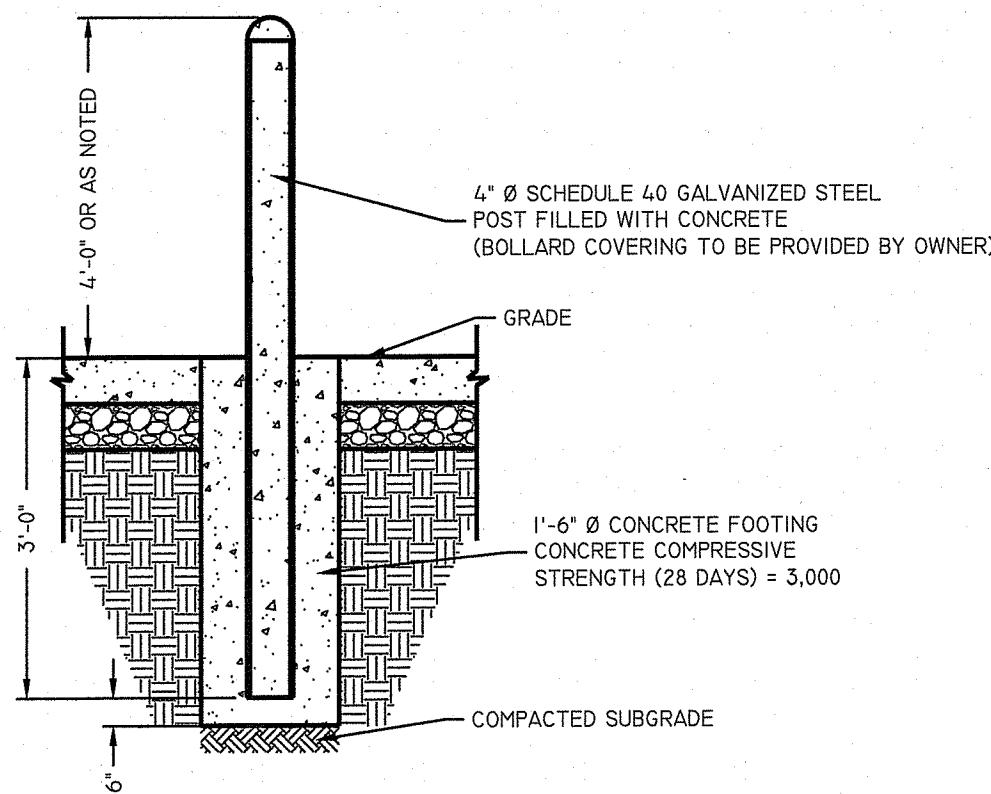
**NOTES:**

1. PRECAST CONCRETE CURBING TO BE INSTALLED AT SPECIFIED ELEVATIONS ON PLANS PRIOR TO POURING OF CONCRETE BACKFILL.
2. ALL LOCATIONS SPECIFIED IN PLAN SET AS PRECAST CURBING TO HAVE CONCRETE BACKFILL A MINIMUM WIDTH OF 12" AND DEPTH OF 9" POURED BEHIND PRECAST CURBING.
3. ALL CONCRETE BACKFILL TO BE 4,000 PSI.
4. PROVIDE EXPANSION JOINTS @ 20' O.C. MAX.



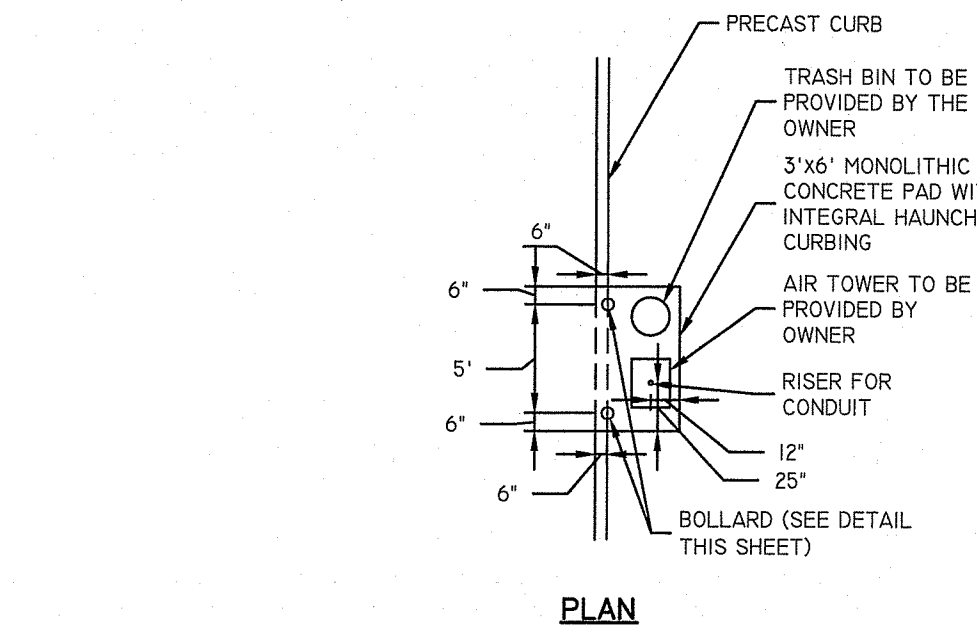
**On-Site Precast Curb Setting Detail**

NOT TO SCALE



**Bollard Detail**

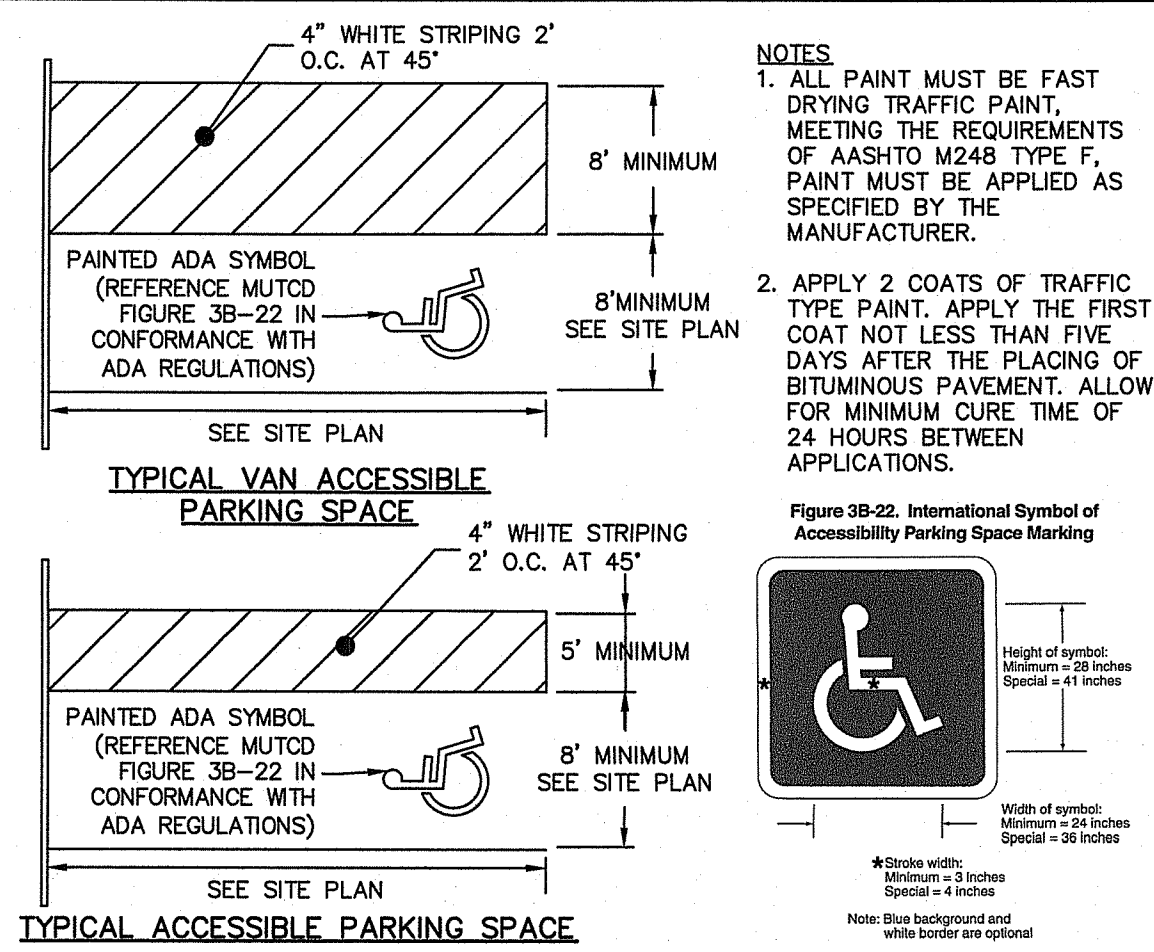
NOT TO SCALE



**Air Tower Foundation Detail**

NOT TO SCALE

- NOTES:**
1. AIR TOWER AND SIGN TO BE PROVIDED BY OWNER.
  2. BOLLARD COVERINGS TO BE PROVIDED BY OWNER.

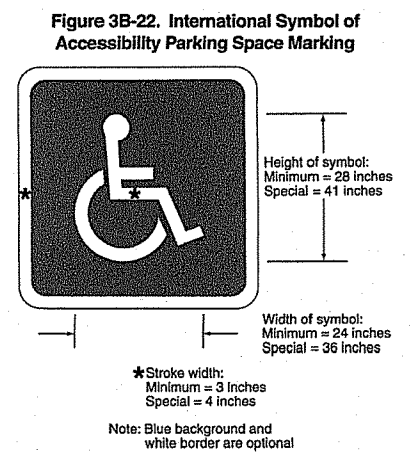


**Typical Accessible Parking Spaces**

NOT TO SCALE

**NOTES:**

1. ALL PAINT MUST BE FAST DRYING TRAFFIC PAINT, MEETING THE REQUIREMENTS OF AASHTO M248 TYPE F. PAINT MUST BE APPLIED AS SPECIFIED BY THE MANUFACTURER.
2. APPLY 2 COATS OF TRAFFIC TYPE PAINT. APPLY THE FIRST COAT NOT LESS THAN FIVE DAYS AFTER THE PLACING OF BITUMINOUS PAVEMENT, ALLOW FOR MINIMUM CURE TIME OF 24 HOURS BETWEEN APPLICATIONS.

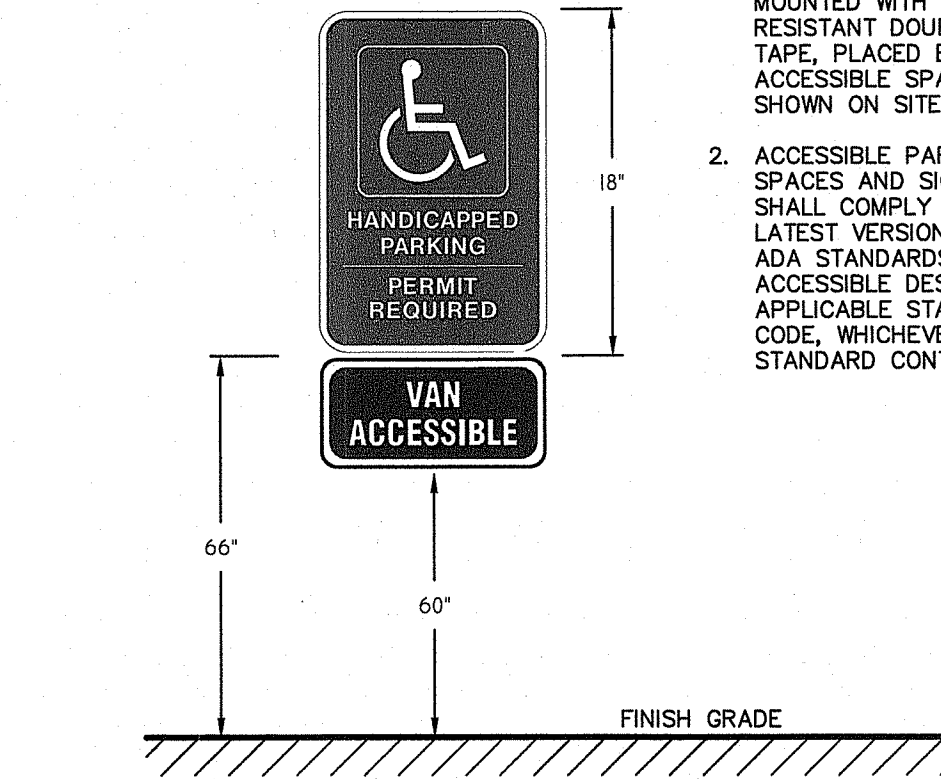


**ADA Sign Detail**

NOT TO SCALE

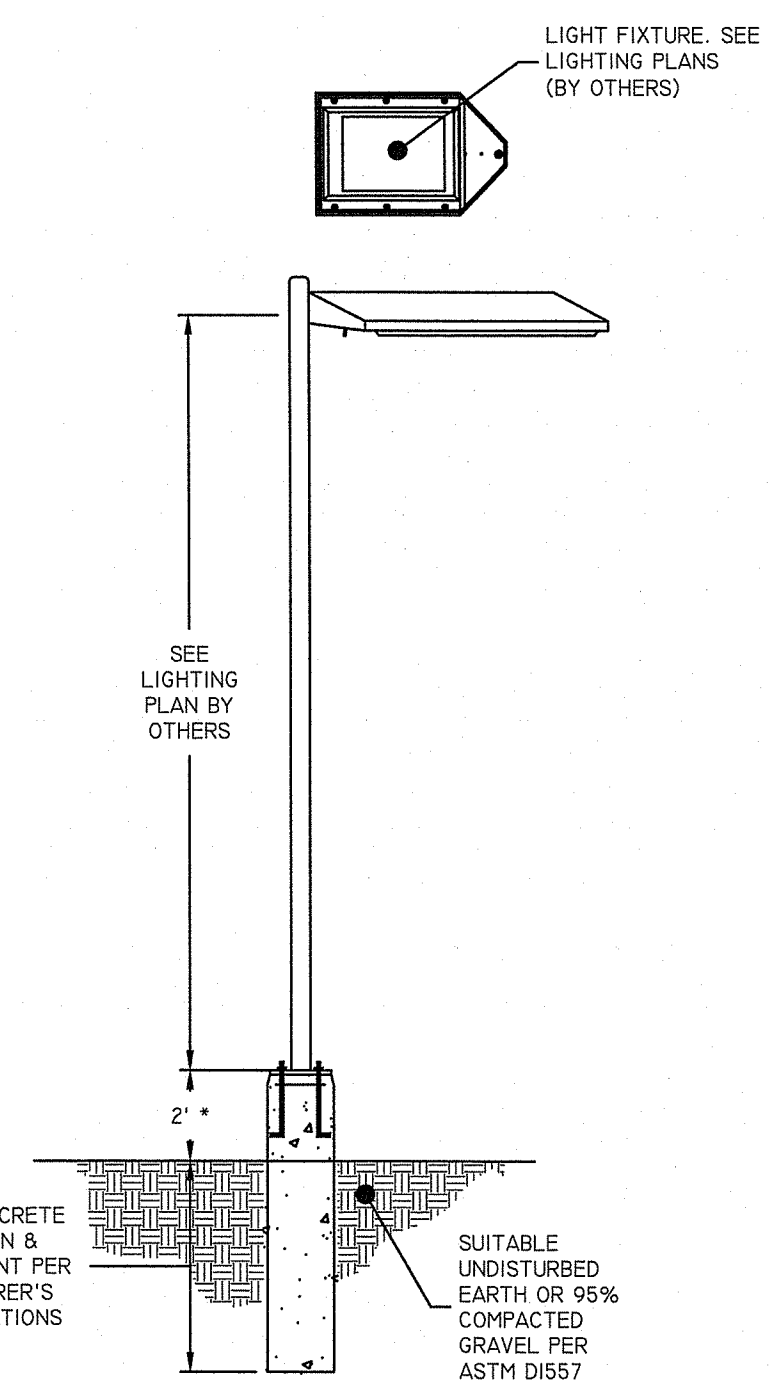
**NOTES:**

1. SIGNS TO BE WALL MOUNTED WITH WEATHER RESISTANT DOUBLE SIDED TAPE, PLACED BEHIND ACCESSIBLE SPACES AS SHOWN ON SITE PLAN.
2. ACCESSIBLE PARKING SPACES AND SIGNAGE SHALL COMPLY WITH LATEST VERSION OF THE ADA STANDARDS FOR ACCESSIBLE DESIGN OR THE APPLICABLE STATE BUILDING CODE, WHICHEVER STANDARD CONTROLS.

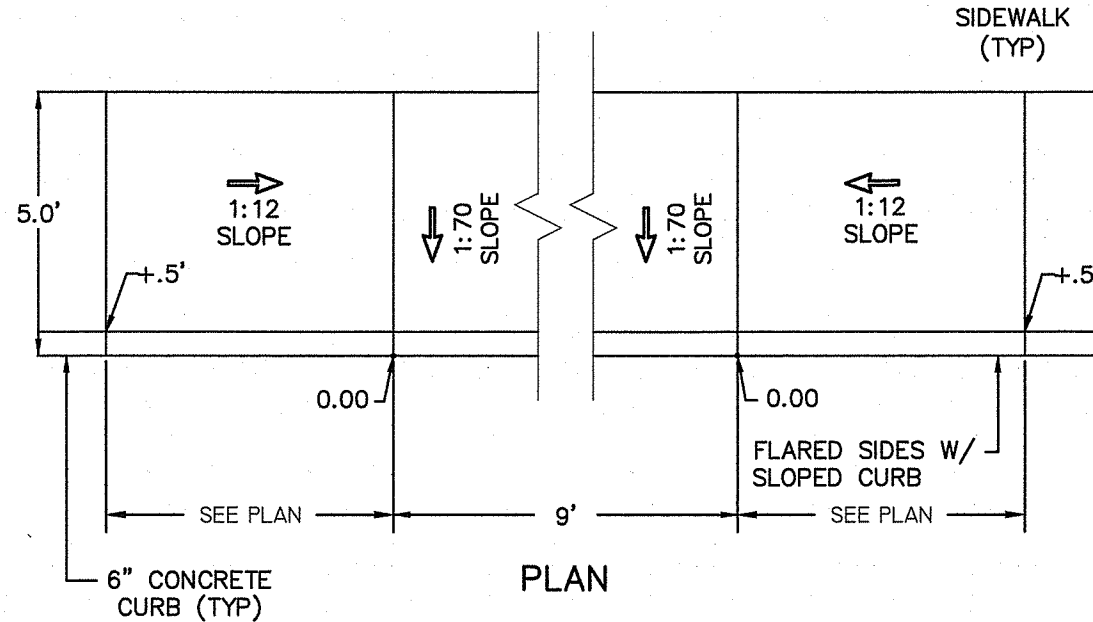


**SITE LIGHT**

NOT TO SCALE

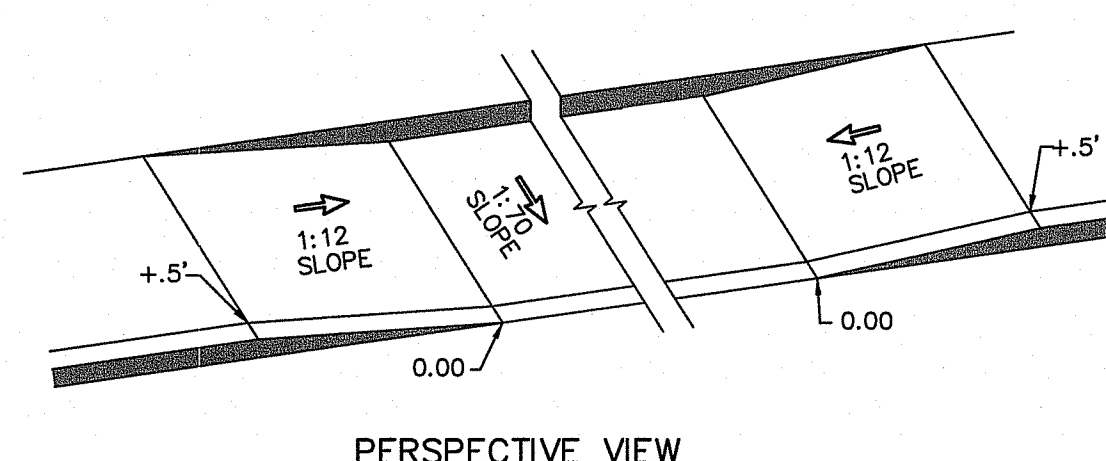


- \*TO BE CONFIRMED PRIOR TO CONSTRUCTION**  
**\*\*TOTAL FOUNDATION HEIGHT IS BASED ON LOCATION, SOIL CONDITIONS AND REVEAL. FINAL PARAMETERS TO BE CONFIRMED PRIOR TO CONSTRUCTION.**

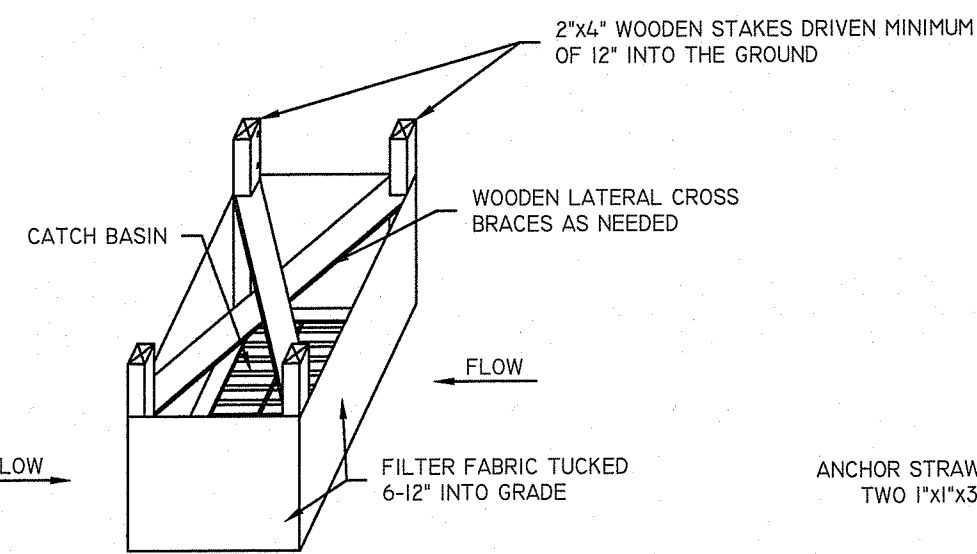


**Typical Accessible Curb Ramp**

NOT TO SCALE



**PERSPECTIVE VIEW**

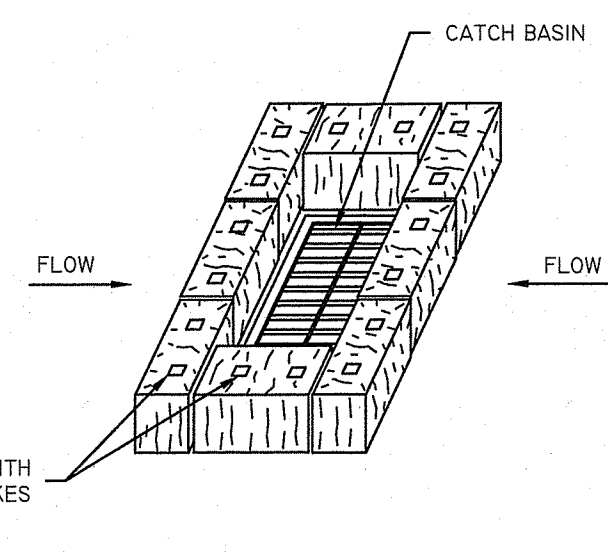


**SILT FENCE INSTALLATION FOR CATCH BASINS AT LOW POINTS**

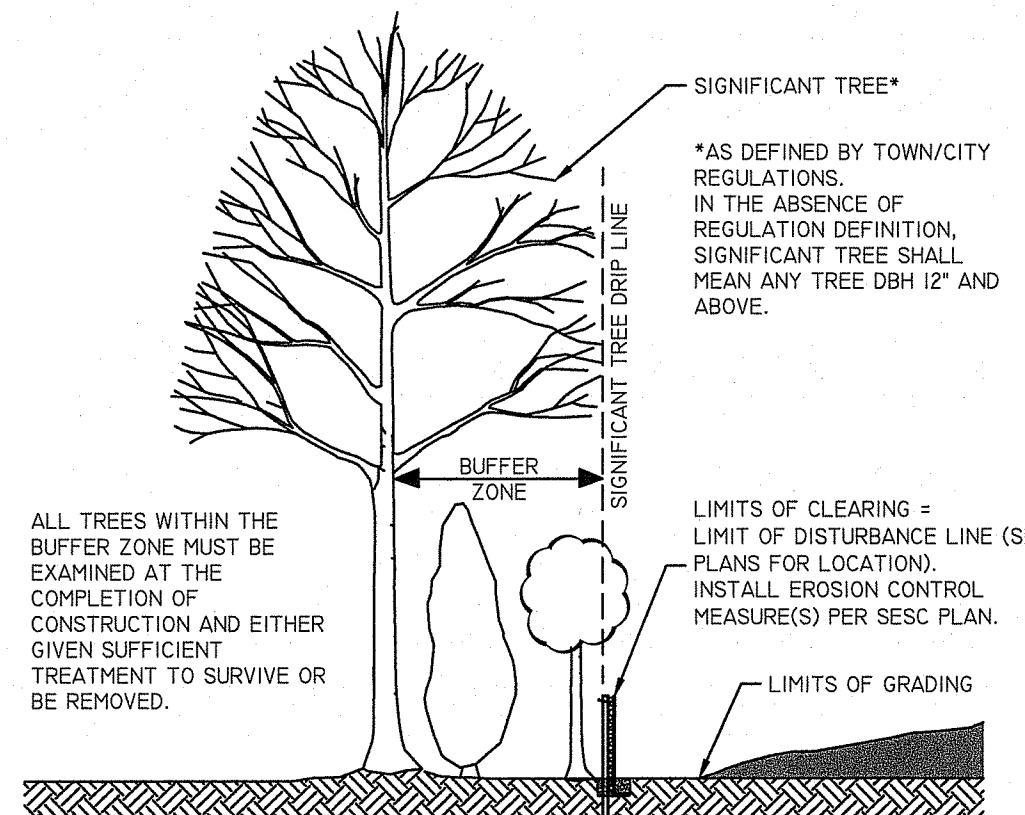
- NOTES:**
1. STORMWATER INLETS WHICH DO NOT DISCHARGE TO SEDIMENT TRAPS OR BASINS MUST BE PROTECTED UNTIL THE TRIBUTARY AREAS ARE STABILIZED.
  2. SEDIMENT MUST BE REMOVED FROM INLET PROTECTION AFTER EACH STORM.
  3. REFER TO LONG TERM/SHORT TERM MAINTENANCE NOTES AND OPERATION & MAINTENANCE PLAN FOR TIMING OF PLACEMENT AND REMOVAL OF EROSION CONTROL ELEMENTS.

**CATCH BASIN EROSION CONTROL**

NOT TO SCALE



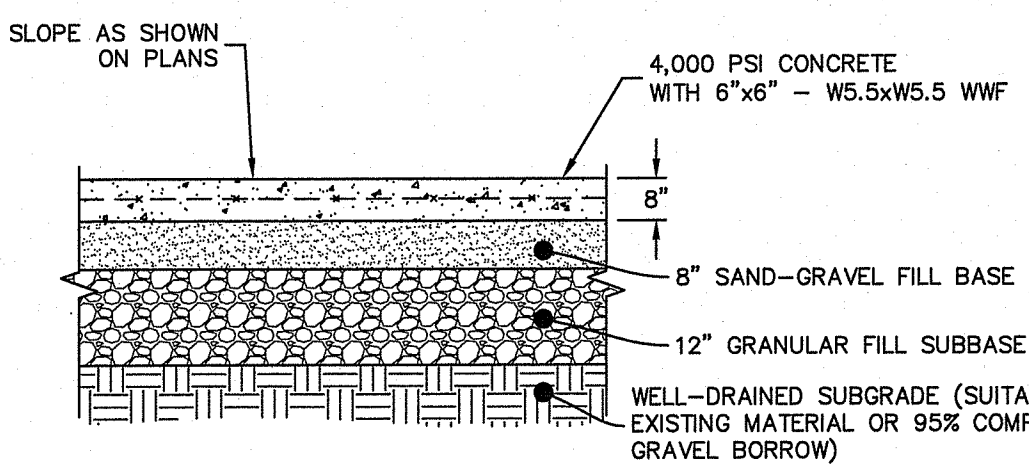
**STRAW BALE FILTER INSTALLATION FOR CATCH BASINS AT LOW POINTS**



**LIMIT OF DISTURBANCE AT VEGETATION**

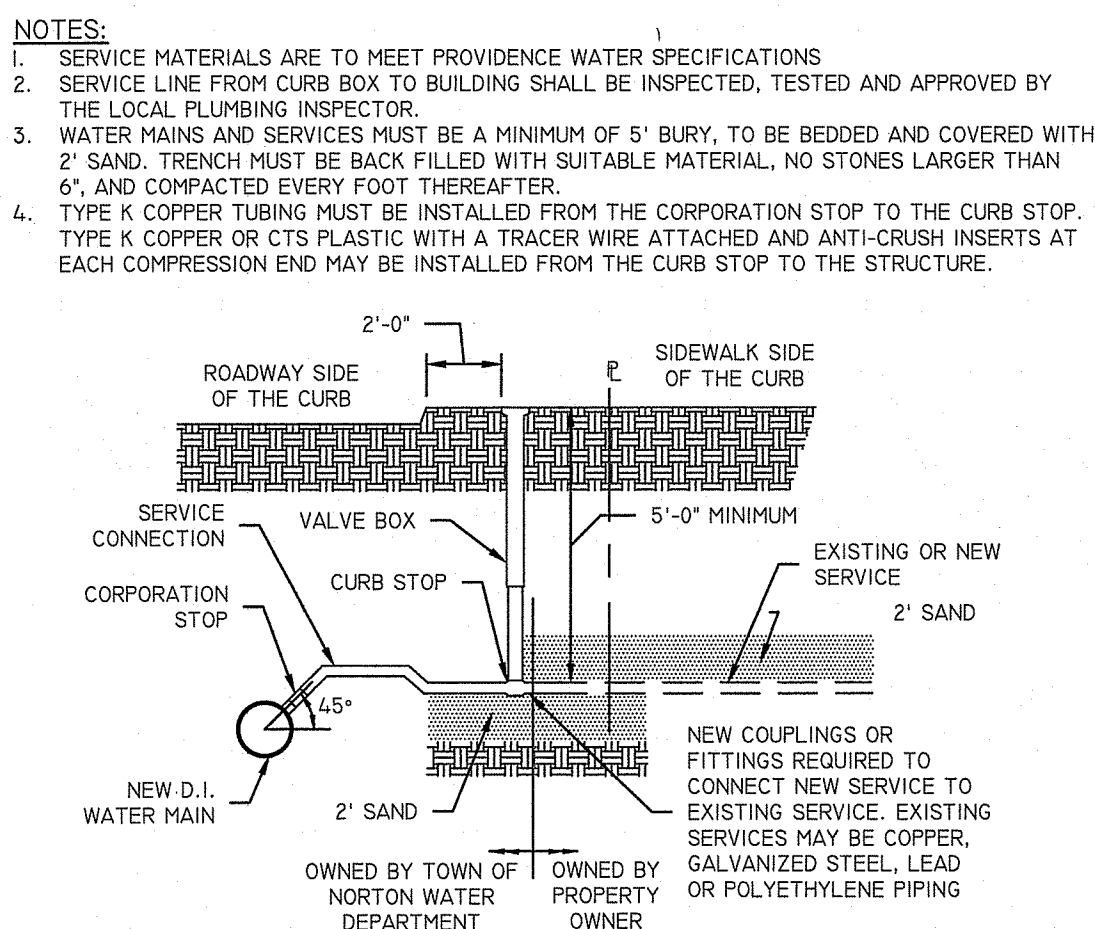
NOT TO SCALE

- NOTE: LIMIT OF DISTURBANCE (LOD) MUST BE STAKED OUT PRIOR TO CONSTRUCTION. IF ANY SIGNIFICANT TREE DRIP LINE IS ENROACHING PAST THE LOD, CONTRACTOR MUST CONTACT SITE ENGINEER PRIOR TO CONSTRUCTION.**



**Dumpster Pad Detail**

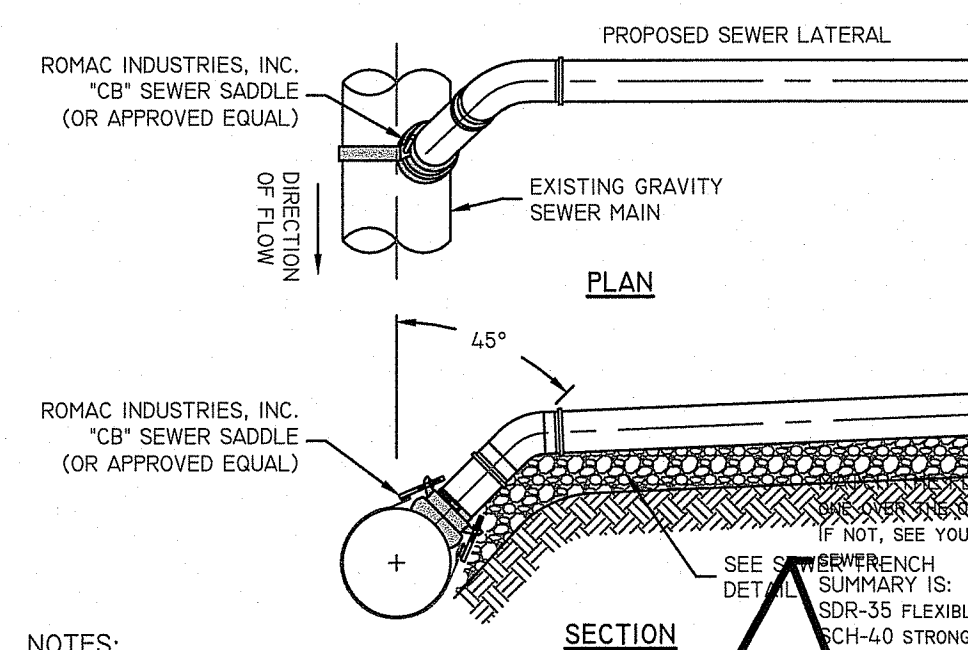
NOT TO SCALE



**WATER SERVICE CONNECTION**

NOT TO SCALE

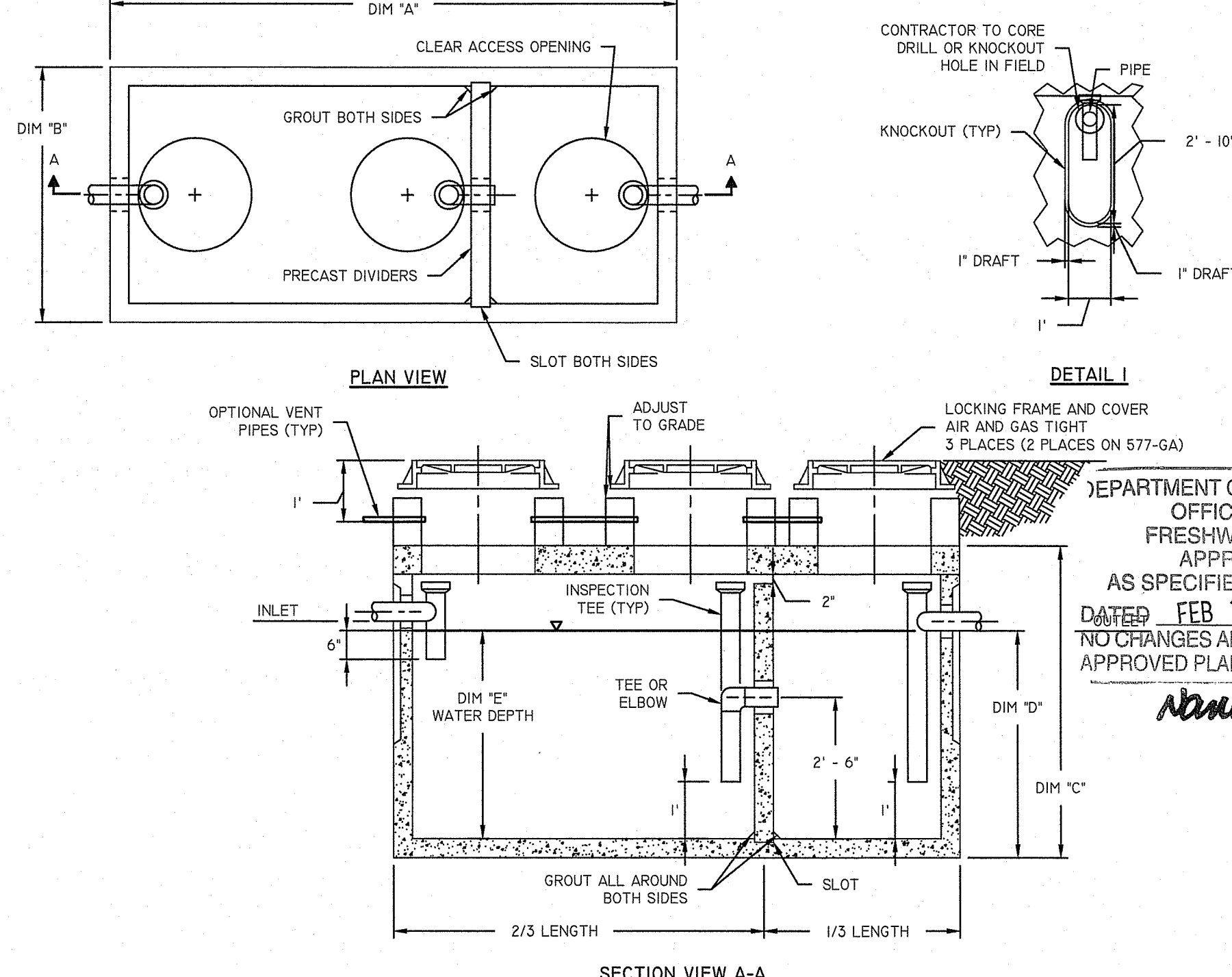
- NOTES:**
1. SERVICE MATERIALS ARE TO MEET PROVIDENCE WATER SPECIFICATIONS
  2. SERVICE LINE FROM CURB BOX TO BUILDING SHALL BE INSPECTED, TESTED AND APPROVED BY THE LOCAL PLUMBING INSPECTOR
  3. WATER MAINS AND SERVICES MUST BE A MINIMUM OF 5' BURY. TO BE BEDDED AND COVERED WITH 2' SAND. TRENCH MUST BE BACK FILLED WITH SUITABLE MATERIAL, NO STONES LARGER THAN 6", AND COMPACTED EVERY FOOT THEREAFTER.
  4. TYPE K COPPER TUBING MUST BE INSTALLED FROM THE CORPORATION STOP TO THE CURB STOP. TYPE K COPPER OR CTS PLASTIC WITH A TRACER WIRE ATTACHED AND ANTI-CRUSH INSERTS AT EACH COMPRESSION END MAY BE INSTALLED FROM THE CURB STOP TO THE STRUCTURE.



**SEWER SADDLE CONNECTION DETAIL**

NOT TO SCALE

- NOTES:**
1. SADDLE MUST BE INSTALLED IN ACCORDANCE WITH ALL MANUFACTURER'S SPECIFICATIONS AND INSTRUCTIONS.
  2. ALL PIPE AND FITTINGS MUST BE GASKETED SDR-35 PVC (OR) SCH-40 PVC.
  3. SEWER SERVICE AND CONNECTION INTO EXISTING SEWER MAIN MUST BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE WATER AUTHORITY RULES AND REGULATIONS.
  4. CONTRACTOR TO ENSURE EXISTING SEWER MAIN IS NOT DAMAGED DURING CONSTRUCTION/ INSTALLATION OF SERVICE.



**GREASE INTERCEPTOR**

NOT TO SCALE

**NOTE:**

1. CONCRETE: 28 DAY COMPRESSIVE STRENGTH F'C = 4500 PSI
2. REBAR: ASTM A-615 GRADE 60
3. MESH: ASTM A-85 GRADE 65
4. DESIGN: ACI-318-02 BUILDING CODE, ASTM C-857 "MINIMUM STRUCTURAL DESIGN LOADING FOR UNDERGROUND PRECAST CONCRETE UTILITY STRUCTURES"
5. LOADS: H-20 TRUCK WHEEL WITH 30% IMPACT PER AASHTO
6. FILL WITH CLEAN WATER PRIOR TO START-UP OF SYSTEM
7. CONTRACTOR TO SUPPLY AND INSTALL ALL PIPING AND SAMPLING TEES
8. GRAY WATER ONLY, BLACK WATER SHALL BE CARRIED BY SEPARATE SIDE SEWER
9. FOR MASSACHUSETTS PROJECTS THE PIPES FROM BUILDING TO GREASE TRAP AND FROM GREASE TRAP TO NEXT DOWNSTREAM STRUCTURE MUST BE CAST IRON AND IN ACCORDANCE WITH 284-CHTR.

GALLON CAPACITY	600	800	1000	1500	2000	2500	3000	4000	5000	6000	7000
UV MODEL NO.	577-GA	577-GA	448A-GA	5106-GA	612-GA	612-GA	712-GA	712-GA	814-GA	818-GA	818-GA
DIM 'A'	7'-0"	7'-0"	9'-0"	11'-2"	12'-8"	12'-8"	13'-1"	13'-1"	15'-7"	19'-11"	19'-11"
DIM 'B'	4'-8"	4'-8"	5'-0"	5'-8"	6'-8"	6'-8"	8'-0"	8'-0"	9'-7"	9'-11"	9'-11"
DIM 'C'	7'-0"	7'-0"	7'-2"	7'-2"	8'-0"	8'-0"	8'-7"	8'-7"	10'-0 1/2"	10'-5"	10'-5"
DIM 'D'	3'-7"	4'-8"	4'-2"	4'-3"	4'-7"	5'-6 1/2"	5'-1"	6'-8"	7'-4"	7'-1"	8'-0"
WATER DEPTH DIM 'E'	3'-3"	4'-4"	3'-10"	3'-11"	3'-9 1/2"	4'-9"	4'-8"	6'-3"	6'-1"	5'-8"	6'-7"

**Diprete Engineering**

Two Stafford Court, Cranston, RI 02920  
 Tel: 401-943-0000 Fax: 401-943-0000 www.diprete-eng.com

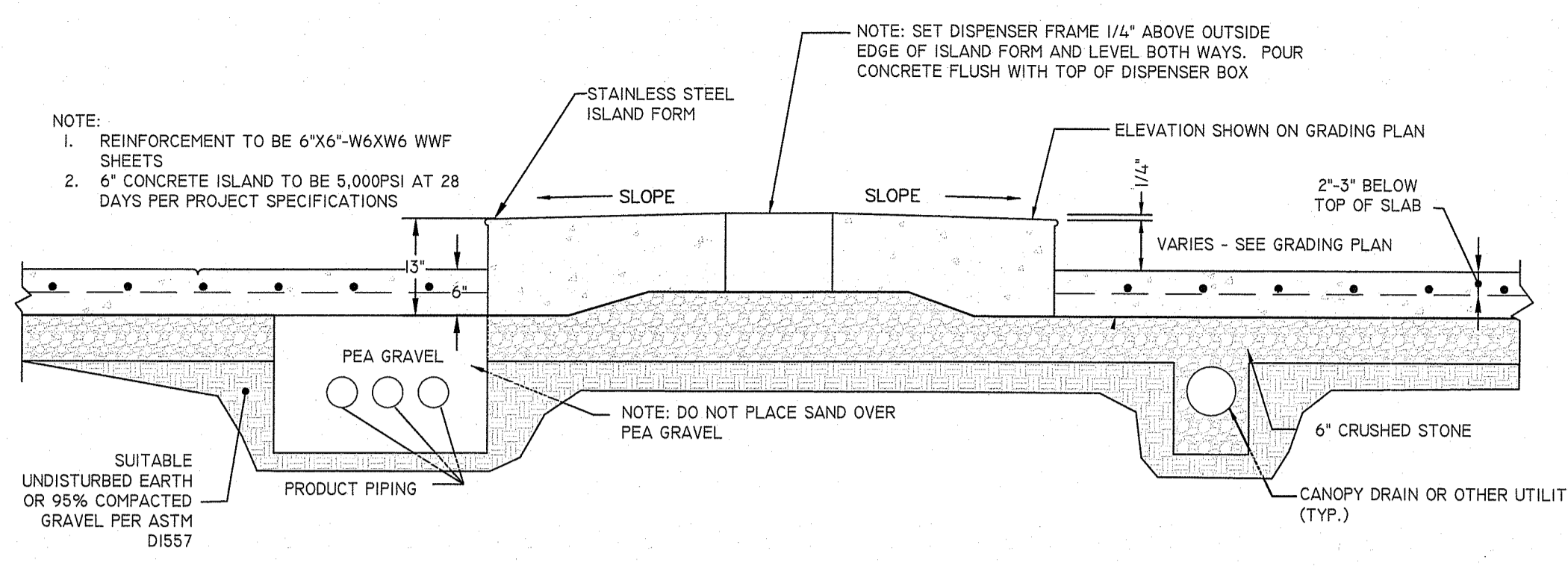
**DANA R. NISBET**  
 No. 11878  
 REGISTERED PROFESSIONAL ENGINEER  
 CIVIL

Environmental Management  
 DEC 06 2021  
 Office of Water Resources

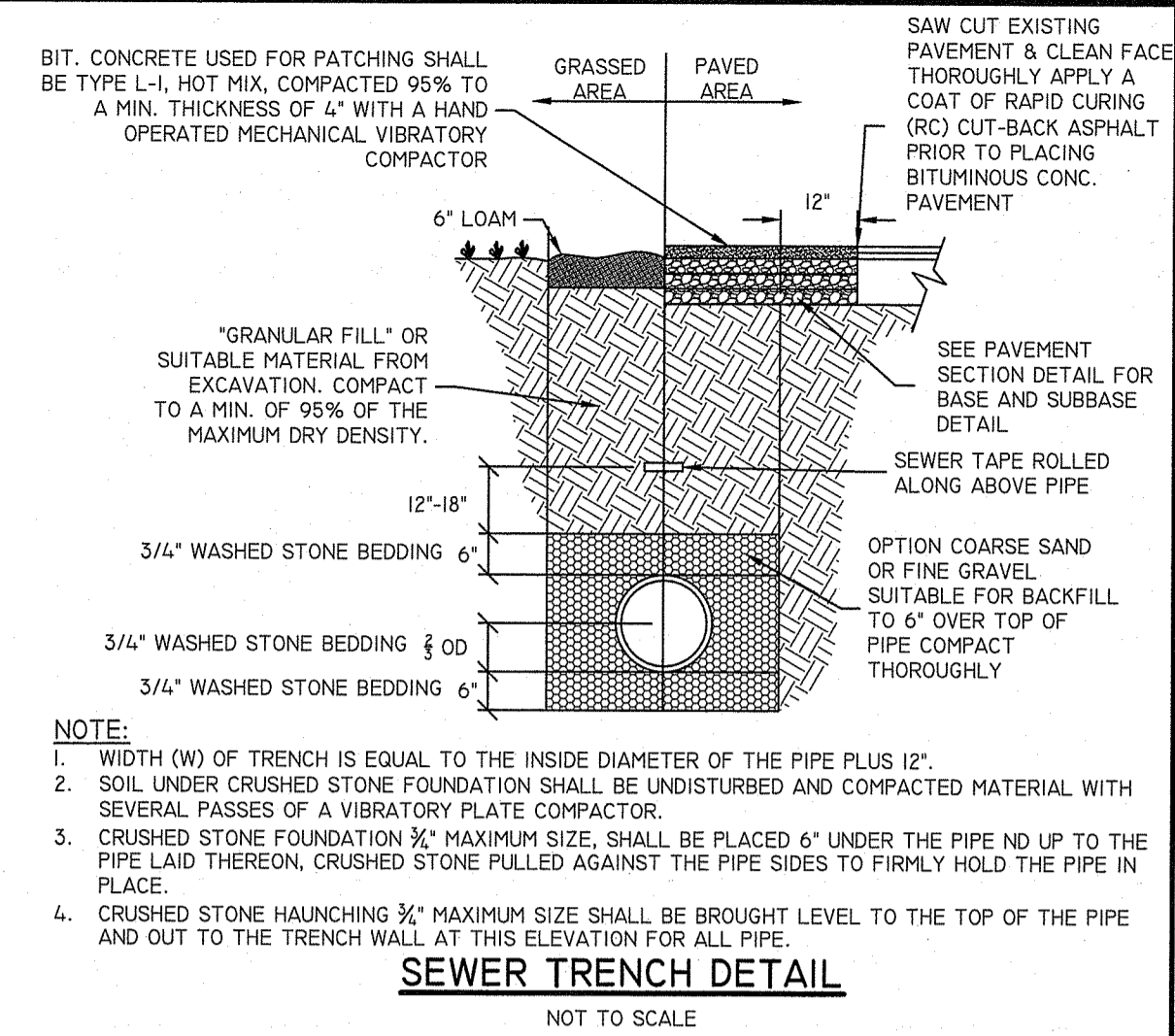
UNLESS OTHERWISE SPECIFIED, ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL PLUMBING CODE (IPC).  
 DIPRETE ENGINEERING ONLY WARRANTS PLANS OR A DIPRETE ENGINEERING TITLE BLOCK, STAMPED BY REGISTERED PROFESSIONAL ENGINEERS DOES NOT WARRANT PLANS BY ANY OTHER PARTY. THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE MEANS, METHODS, MATERIALS, AND SEQUENCES OF CONSTRUCTION.  
 EXISTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE. DAMAGES INCURRED DUE TO LOCATIONS OF EXISTING UTILITIES, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.  
 DESIGN BY: R.S.S.  
 PERMITS SUBMISSION SET  
 NO. DATE DATE BY:  
 10 11/2/21 11/2/21 R.S.S.  
 DRAWN BY: R.S.S.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
 OFFICE OF WATER RESOURCES  
 FRESHWATER WETLANDS PROGRAM  
 APPROVED WITH CONDITIONS  
 AS SPECIFIED IN THE LETTER OF APPROVAL  
 DATED FEB 17 2022 FILE # 21-0321a  
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE  
 Nancy L. Freeman

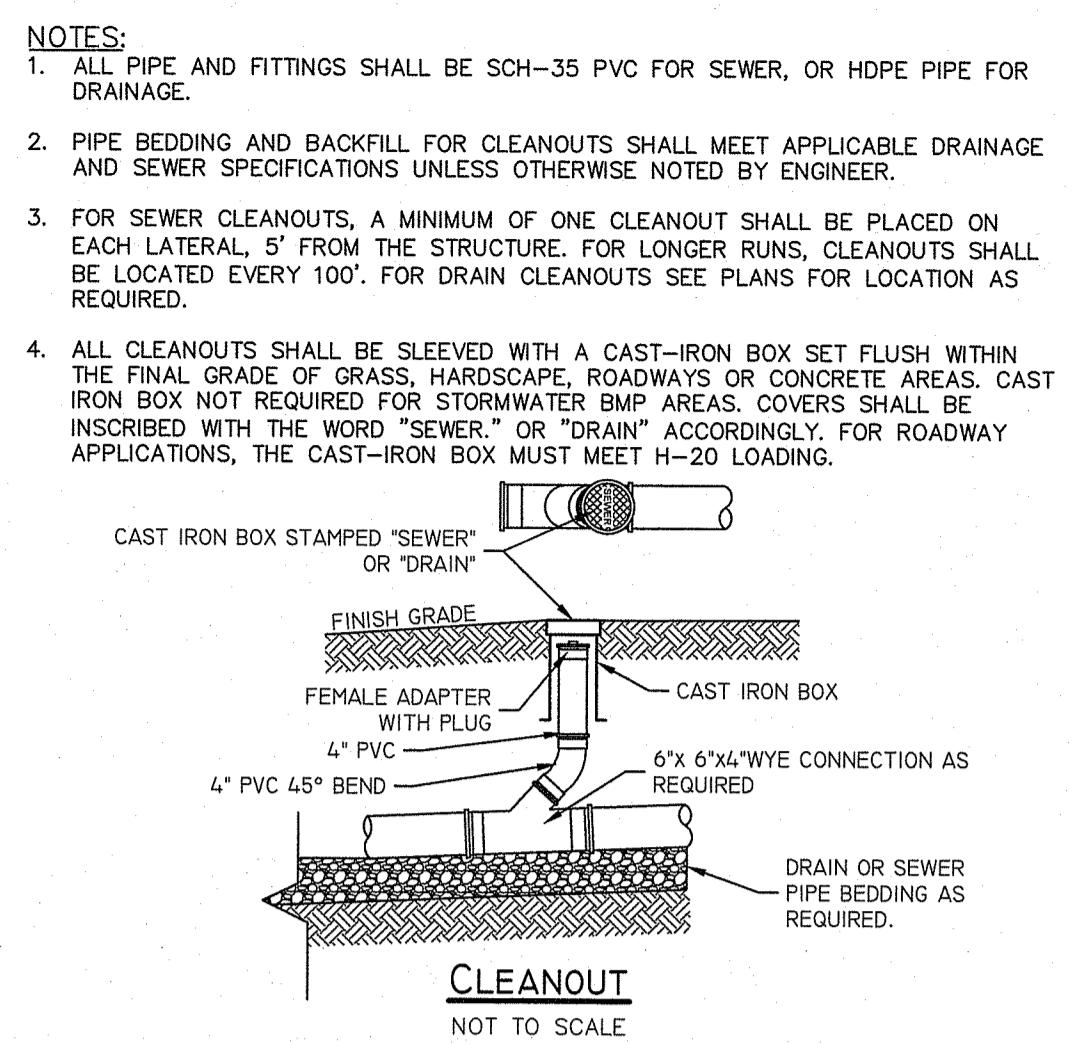
**DETAIL SHEET - 1**  
**SEASONS CORNER MARKET**  
 ASSESSOR'S PLAT 13 LOTS 397 & 485  
 2050 PLAINFIELD PINE, CRANSTON, RHODE ISLAND 02919  
 PREPARED FOR:  
**COLBEA ENTERPRISES, LLC**  
 2050 PLAINFIELD PINE, CRANSTON, RHODE ISLAND 02919  
 TEL: 401-943-0005



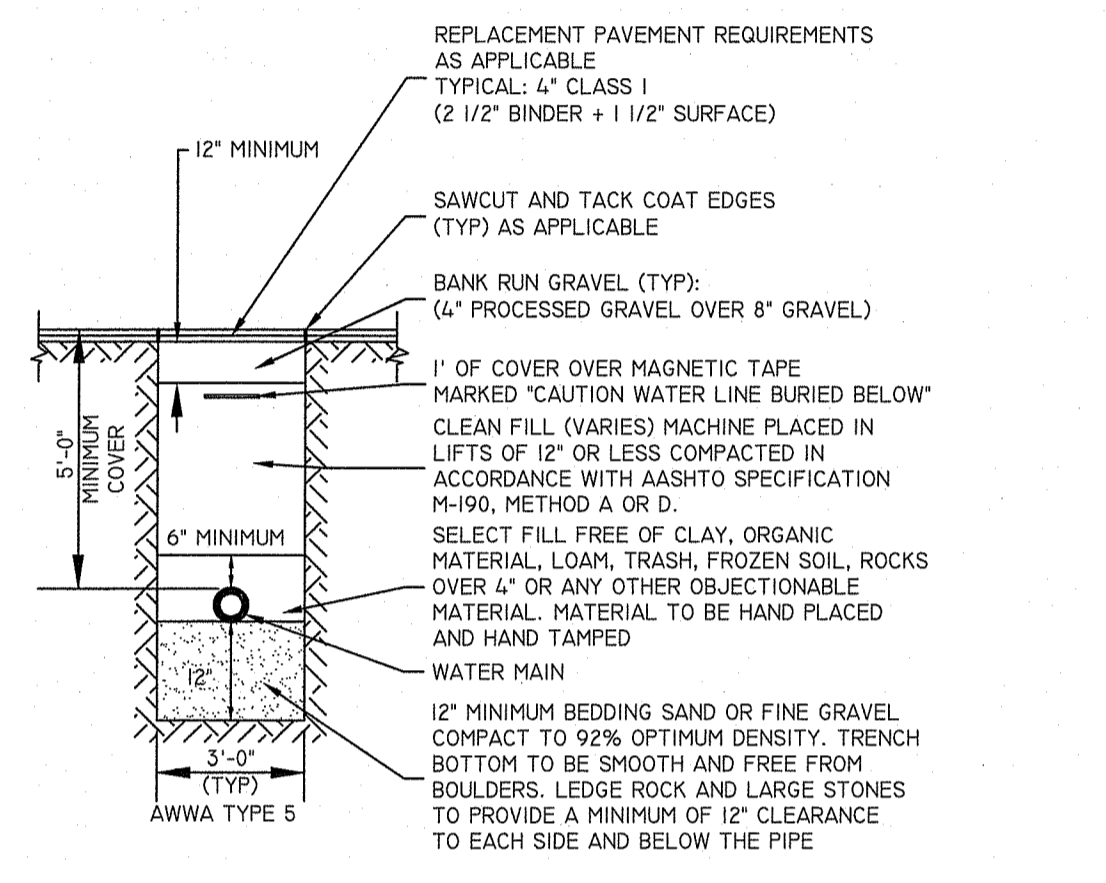
SECTION THRU PUMP ISLAND



SEWER TRENCH DETAIL



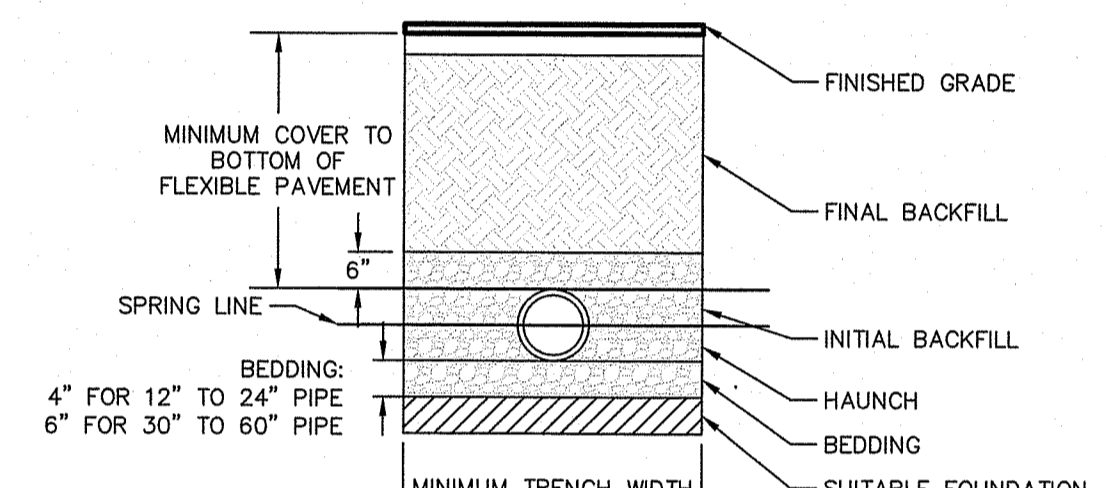
CLEANOUT



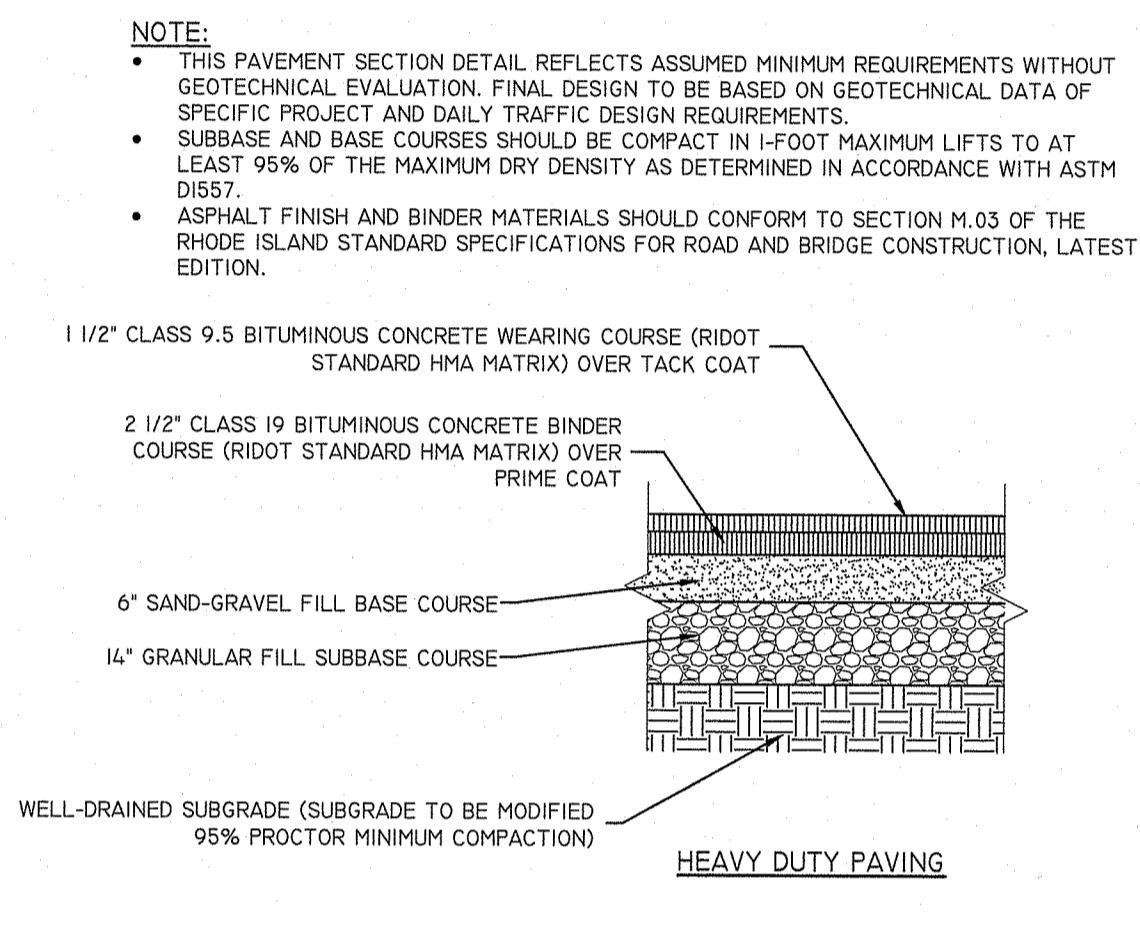
WATER TRENCH DETAIL

- INSTALLATION NOTES:**
1. ALL PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321. STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS, LATEST EDITION.
  2. MEASURES SHOULD BE TAKEN TO PREVENT MIGRATION OF NATIVE FINES INTO BACKFILL MATERIAL, WHEN REQUIRED.
  3. FOUNDATION: WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE ENGINEER. AS AN ALTERNATIVE AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL.
  4. BEDDING: SUITABLE MATERIAL SHALL BE CLASS I, II OR III. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER, UNLESS OTHERWISE NOTED BY THE ENGINEER. MINIMUM BEDDING THICKNESS SHALL BE 4" (100MM) FOR 4"-24" (100MM-600MM); 6" (150MM) FOR 30"-60" (750MM-900MM).
  5. INITIAL BACKFILL: SUITABLE MATERIAL SHALL BE CLASS I, II OR III IN THE PIPE ZONE EXTENDING NOT LESS THAN 6" ABOVE CROWN OF PIPE. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. MATERIAL SHALL BE INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION.
  6. MINIMUM COVER: MINIMUM COVER, H, IN NON-TRAFFIC APPLICATIONS (GRASS OR LANDSCAPE AREAS) IS 12" FROM THE TOP OF PIPE TO GROUND SURFACE. ADDITIONAL COVER MAY BE REQUIRED TO PREVENT FLOATION. FOR TRAFFIC APPLICATIONS, MINIMUM COVER, H, IS 12" UP TO 48" Ø PIPE AND 24" OF COVER FOR 60" Ø PIPE. MINIMUM COVER FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT.

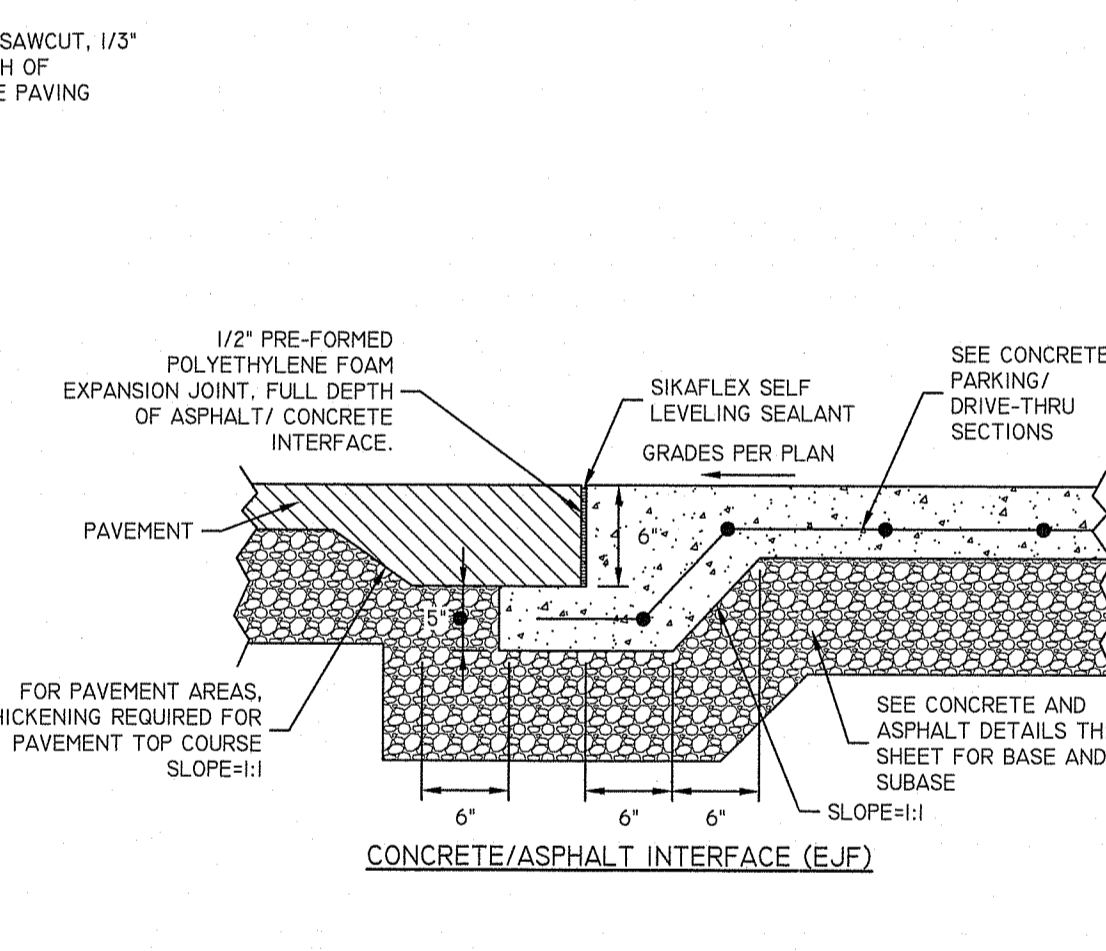
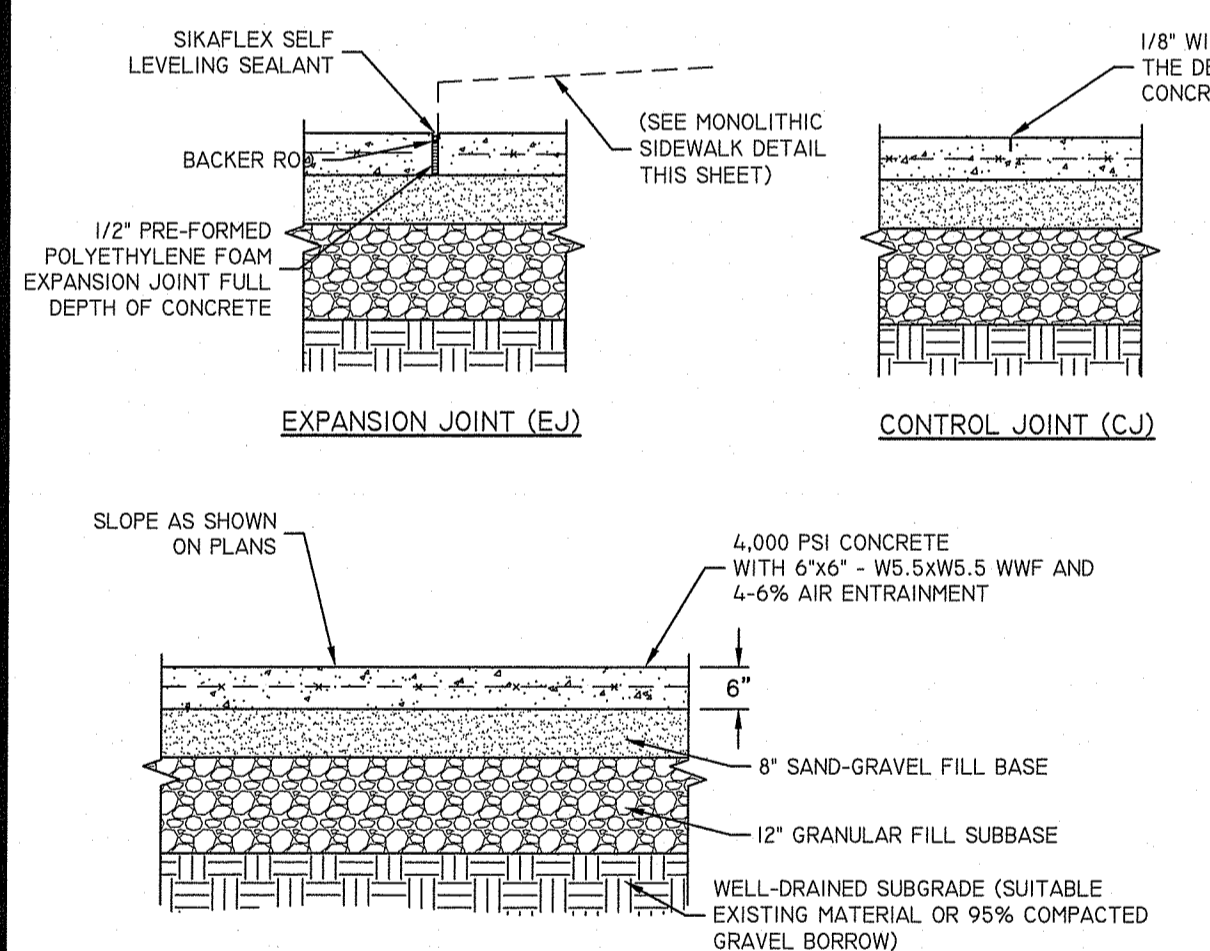
PIPE Ø	MIN. TRENCH WIDTH	PIPE Ø	MIN. TRENCH WIDTH
4"	21"	24"	48"
6"	23"	30"	56"
8"	26"	36"	64"
10"	28"	42"	72"
12"	30"	48"	80"
15"	34"	60"	96"
18"	39"		



HDPE Trench Detail

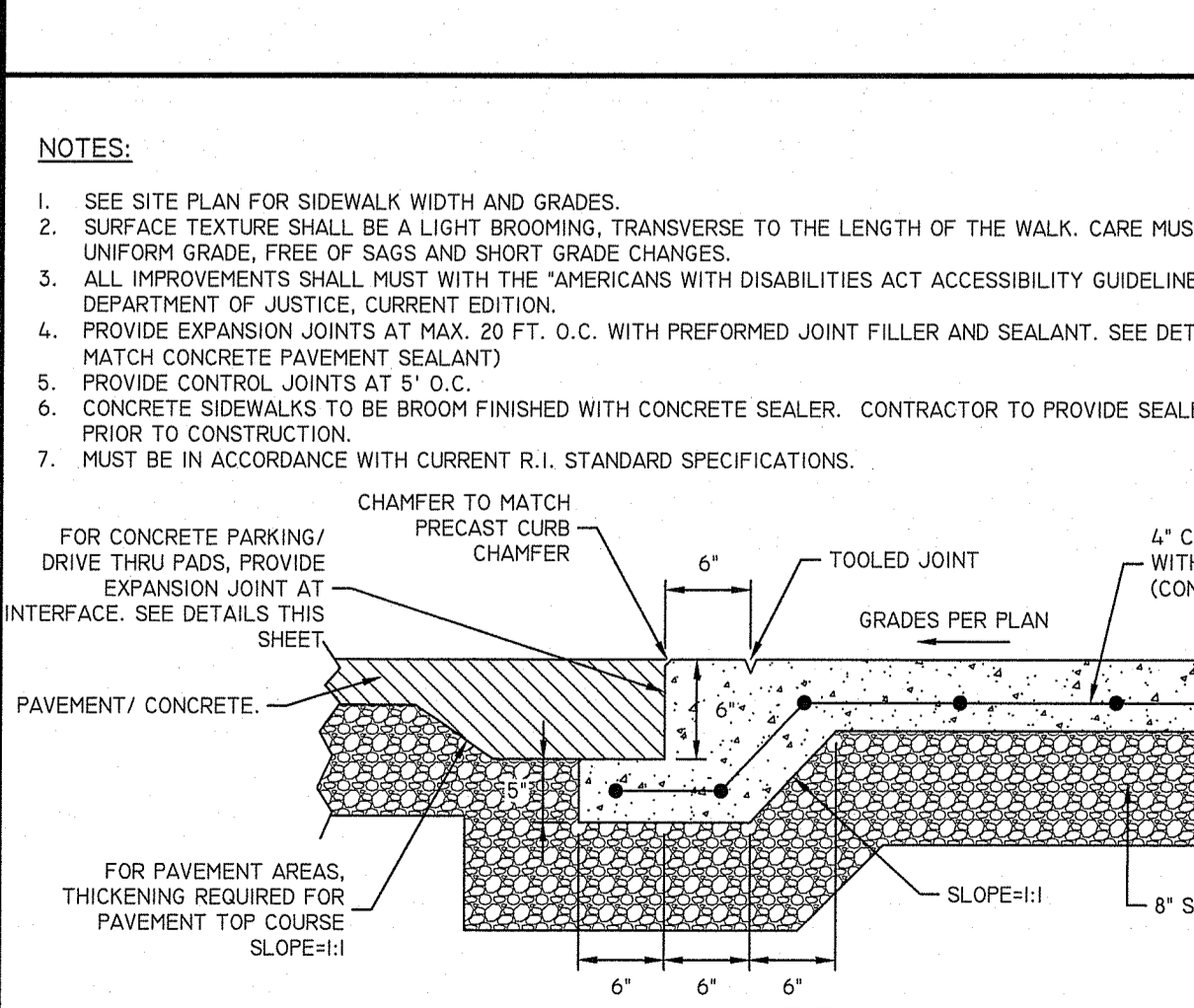


TYPICAL PAVEMENT SECTION

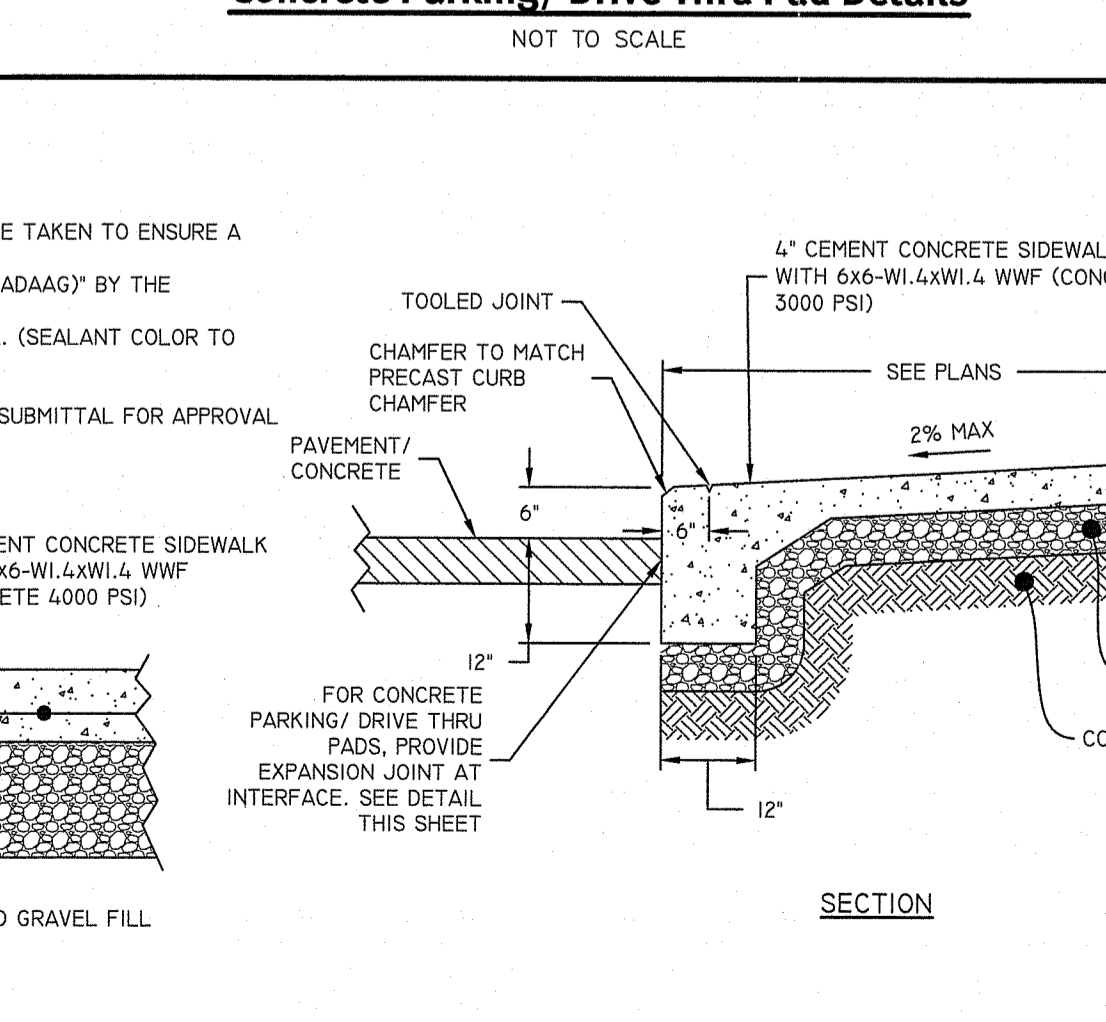


Concrete/Asphalt Interface (EJF)

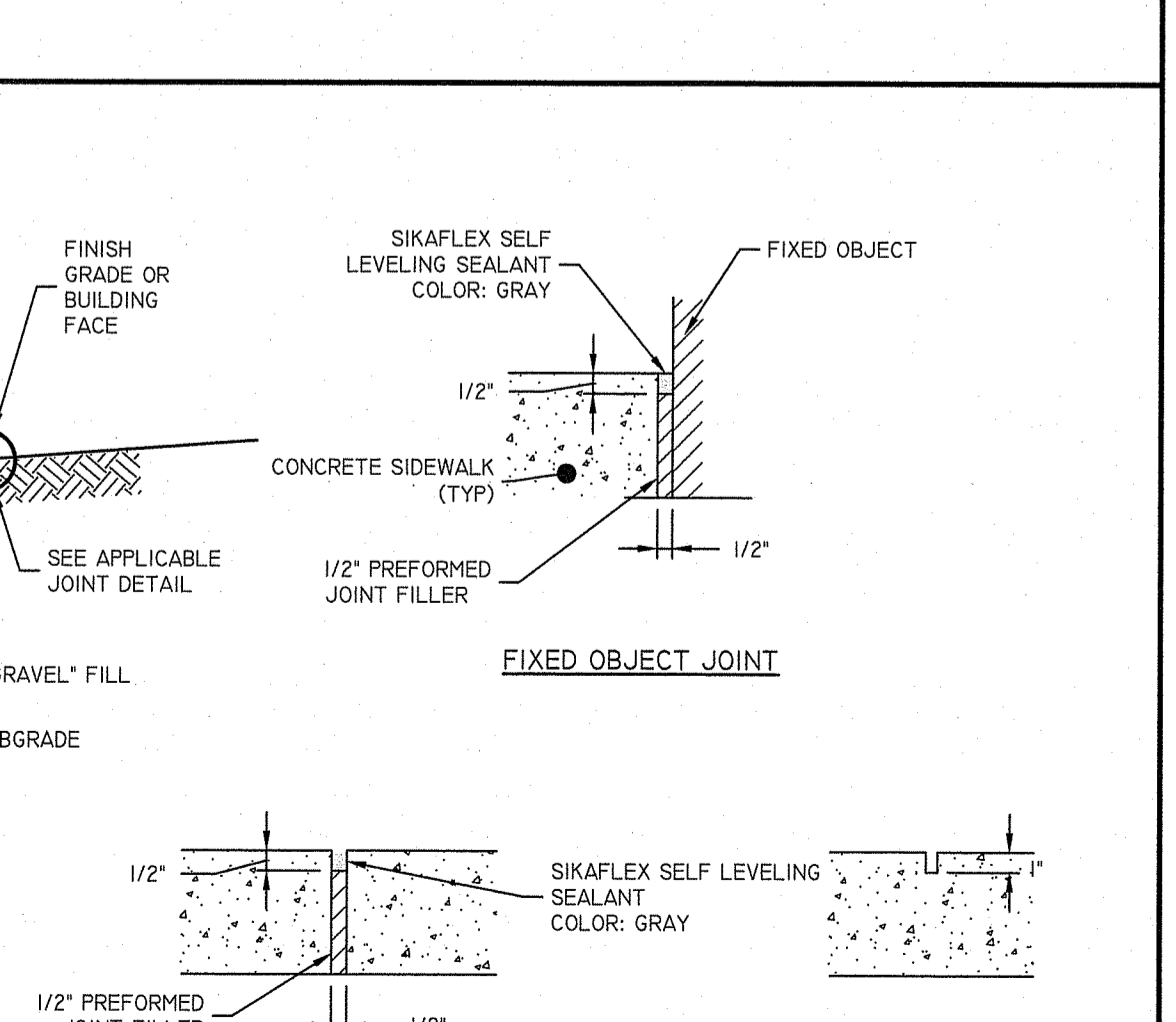
- NOTES:**
1. THIS PAVEMENT SECTION DETAIL REFLECTS ASSUMED MINIMUM REQUIREMENTS WITHOUT GEOTECHNICAL EVALUATION. FINAL DESIGN TO BE BASED ON GEOTECHNICAL DATA OF SPECIFIC PROJECT AND DAILY TRAFFIC DESIGN REQUIREMENTS.
  2. IN CONCRETE PARKING PAD AREAS, JOINTING TO ALIGN WITH PARKING STRIPING, SUBJECT TO THE MAXIMUM LIMITS LISTED BELOW.
  3. SAWCUT CONTR. JOINTS TO BE MAX SPACING OF 15' O.C.
  4. EXPANSION JOINTS TO BE MAX SPACING OF 90' O.C. WITH A JOINT FILLER THICKNESS BASED ON THERMAL EXPANSION.
  5. EXPANSION JOINTS TO BE INSTALLED FULL DEPTH OF PAVEMENT AND SEALED WITH AN AASTHO APPROVED ELASTOMERIC JOINT SEALER.
  6. SLABS SEPARATED BY AN EXPANSION JOINT SHOULD BE TIED TOGETHER WITH DOWELS THAT ARE 2"-6" LONG AT A SPACING OF 18". DOWELS MUST BE SLEEVED ON ONE SIDE OF THE JOINT TO ALLOW FOR MOVEMENT WITHOUT CRACKING.
  7. EXPANSION JOINTS TO BE INSTALLED AT INTERFACE WITH ALL WALLS, CURBS, COLUMNS, STEPS, CHANGES IN PAVEMENT AND BUILDINGS.
  8. THOROUGHLY WASH AND CLEAN ALL SURFACES AND REMOVE ALL DEBRIS AFTER SAWCUTTING.
  9. BACKER ROD SHALL BE A CLOSED CELL POLYURETHANE FOAM ROD WITH A DIAMETER 25% LARGER THAN THE WIDTH OF PREFORMED JOINT.
  10. ALL PAVEMENT LAYERS MUST COMPLY WITH TOWN & RIDOT SPECIFICATIONS.
  11. SIKAFLEX SELF LEVELING SEALANT COLOR TO BE GRAY.



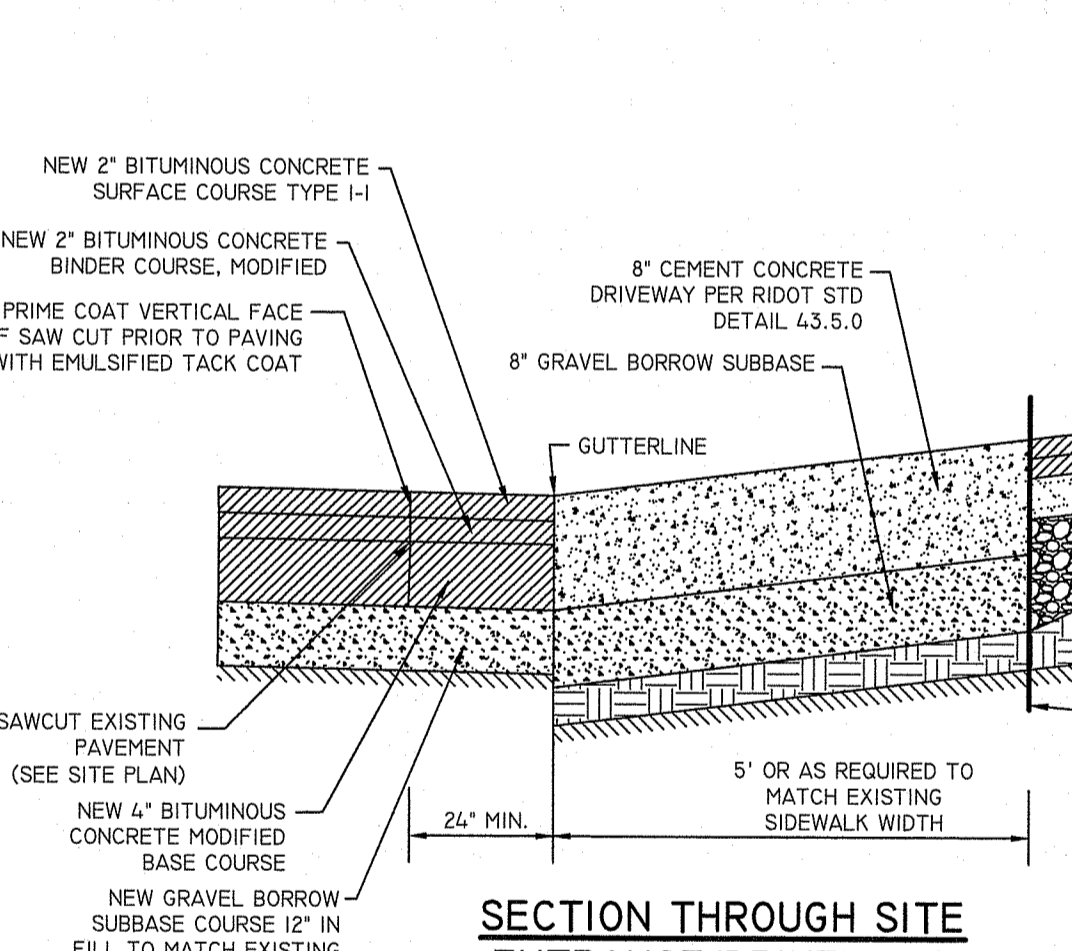
Monolithic Concrete Sidewalk (Flush)



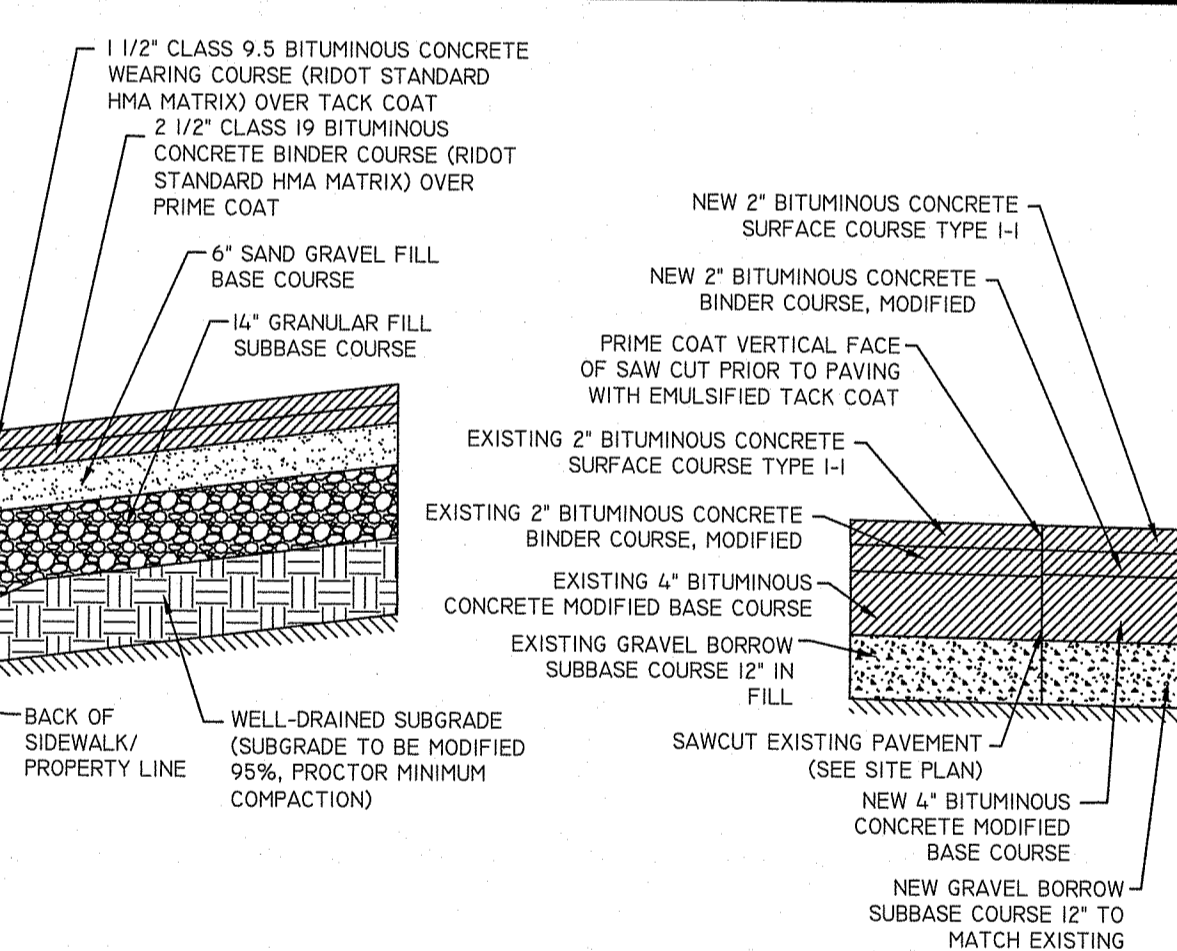
Monolithic Concrete Sidewalk (6" Reveal)



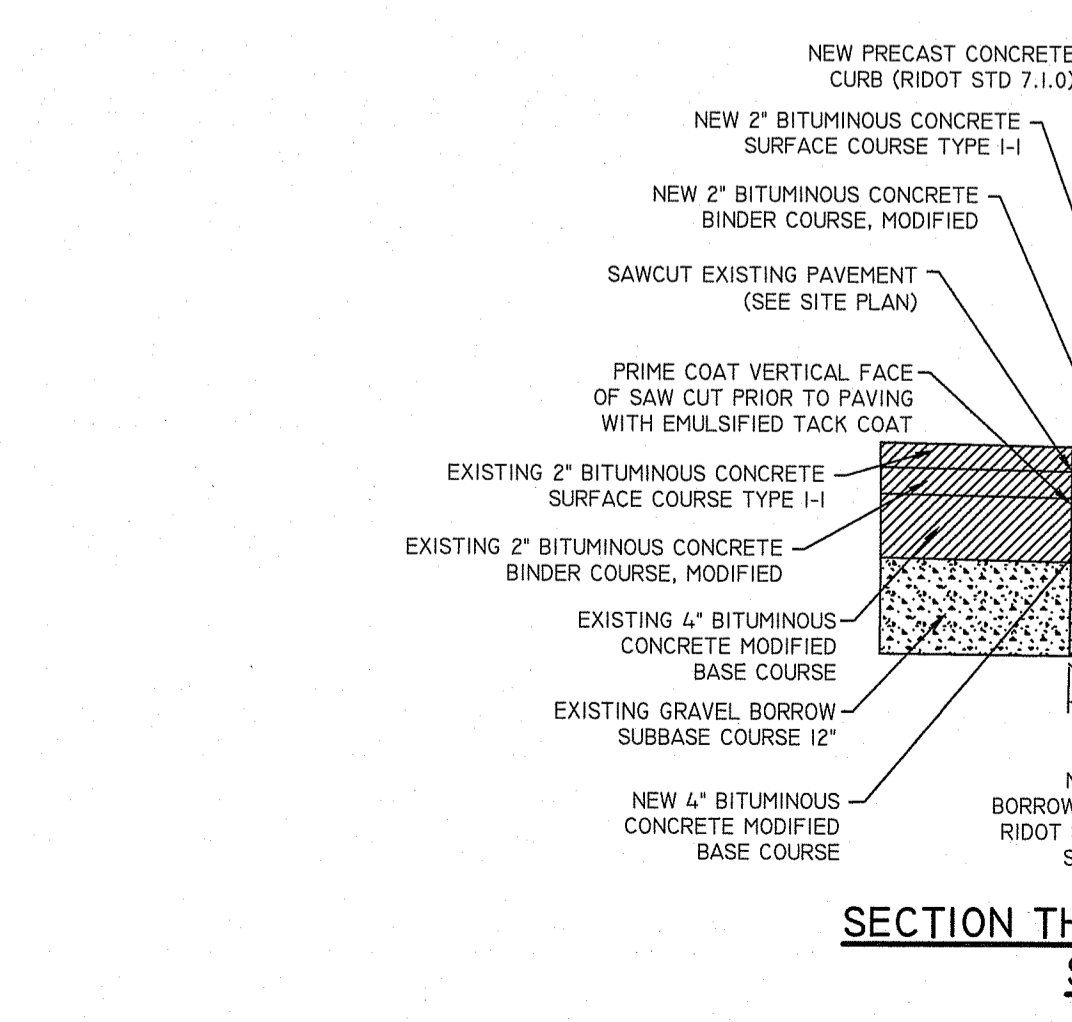
EXPANSION JOINT CONTROL JOINT



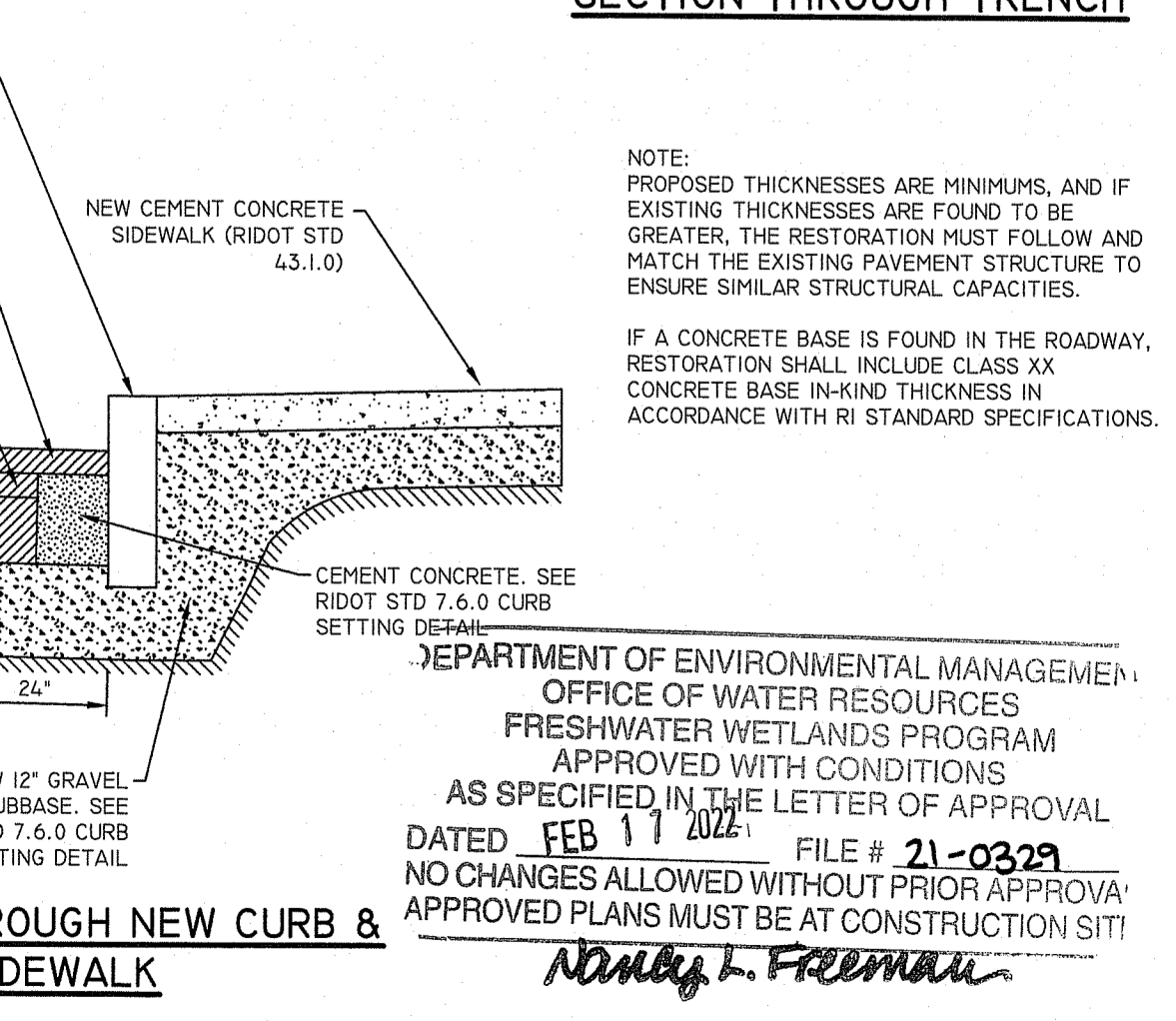
SECTION THROUGH SITE ENTRANCE/DRIVEWAYS



SECTION THROUGH TRENCH



SECTION THROUGH NEW CURB & SIDEWALK



SAW CUT AND MATCH DETAIL CROSS SECTIONS - RIDOT

**SEWER LINE/WATER MAIN SEPARATION POLICY FOR DESIGN OF SANITARY SEWERS**

- A. LATERAL PLACEMENT OF SEWERS AND WATER MAINS**
- SEWERS SHALL BE LAID AT LEAST 10' HORIZONTAL FROM ANY EXISTING OR PROPOSED WATER MAIN. THE DISTANCE SHALL BE MEASURED OUTSIDE EDGE-TO-OUTSIDE EDGE. THERE IS NO MINIMUM VERTICAL SEPARATION REQUIRED PROVIDED THE 10' HORIZONTAL SEPARATION IS MAINTAINED.
- IN CASES WHERE IT IS NOT POSSIBLE TO MAINTAIN A 10' HORIZONTAL SEPARATION, THE DIVISION MAY ALLOW DEVIATION ON A CASE BY CASE BASIS, IF SUPPORTED BY DATA FROM THE DESIGN ENGINEER. SUCH DEVIATION MAY ALLOW INSTALLATION OF THE SEWER CLOSER TO A WATER MAIN, PROVIDED THAT:
1. THE SEWER AND WATER MAIN ARE LAID IN SEPARATE TRENCHES, OR
  2. THE SEWER AND WATER MAIN MAY BE INSTALLED IN THE SAME TRENCH WITH THE WATER MAIN PLACED ON A BENCH OF UNDISTURBED EARTH, AND
  3. IN EITHER CASE, THE CROWN OF THE SEWER SHALL BE AT LEAST 18" BELOW THE INVERT OF THE WATER MAIN.
- IN SITUATIONS WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER HORIZONTAL AND VERTICAL SEPARATION AS STIPULATED ABOVE, THE FOLLOWING PROTECTION SHALL BE PROVIDED:
4. ENCASEMENT OF THE SEWER PIPE IN CONCRETE (MINIMUM 6" THICKNESS) OR A CARRIER PIPE FOR AT LEAST 10' EITHER SIDE OF THE AREA NOT COMPLYING WITH THE MINIMUM HORIZONTAL AND VERTICAL SEPARATION, OR
  5. DESIGN AND CONSTRUCTION OF THE SEWER EQUAL TO WATER MAIN PIPE (CEMENT-LINED DUCTILE IRON OR OTHER AWWA-APPROVED MATERIAL FOR POTABLE WATER CONVEYANCE), AND PRESSURE TESTED IN ACCORDANCE WITH AWWA SPECIFICATIONS.
- B. SEWERS CROSSING WATER MAINS**
- SEWERS CROSSING OVER WATER MAINS SHOULD BE AVOIDED, BUT IF CONDITIONS WARRANT THIS SITUATION, THEN ADEQUATE STRUCTURAL SUPPORT SHALL BE PROVIDED FOR THE SEWER TO MAINTAIN LINE AND GRADE. SEWERS CROSSING UNDER WATER MAINS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL SEPARATION OF 18" BETWEEN THE INVERT OF THE WATER MAIN AND THE CROWN OF THE SEWER. THE CROSSING SHALL BE ARRANGED SO THAT SEWER JOINTS WILL BE EQUIDISTANT AND AS FAR AS POSSIBLE FROM THE WATER MAIN JOINTS. WHERE CONDITIONS PREVENT AN 18" VERTICAL SEPARATION FROM BEING MAINTAINED, THE FOLLOWING METHODS SHALL BE SPECIFIED:
- A. THE SEWER SHALL BE DESIGNED AND CONSTRUCTED EQUAL TO WATER MAIN PIPE (CEMENT-LINED DUCTILE IRON PIPE, PVC OR OTHER AWWA APPROVED MATERIAL FOR POTABLE WATER CONVEYANCE) FOR A DISTANCE OF 12' ON EACH SIDE OF THE CROSSING, MEASURED PERPENDICULAR TO THE WATER MAIN. THE CARRIER PIPE SHALL BE DESIGNED AND CONSTRUCTED OF MATERIALS WHICH ARE SATISFACTORY TO THE DIVISION, OR
  - B. EITHER THE WATER MAIN OR THE SEWER MAY BE ENCASED IN CONCRETE (MINIMUM 6" THICKNESS) OR A CARRIER PIPE FOR A DISTANCE OF 12' ON EACH SIDE OF THE CROSSING, MEASURED PERPENDICULAR TO THE WATER MAIN. THE CARRIER PIPE SHALL BE DESIGNED AND CONSTRUCTED OF MATERIALS WHICH ARE SATISFACTORY TO THE DIVISION, OR
  - C. ANY OTHER METHODS, IF SUPPORTED BY DATA FROM THE DESIGN ENGINEER, WHICH ENSURE ADEQUATE WATER TIGHTNESS AND ARE SATISFACTORY TO THE DIVISION.

**DiPrete Engineering**  
 Two Stafford Court Cranston, RI 02920  
 Tel: 401-943-1000 Fax: 401-464-6006 www.diprete-eng.com

**Boston Providence Newport**

**DANA R. NISBET**  
 No. 11878  
 REGISTERED PROFESSIONAL ENGINEER  
 CIVIL

**RI Environmental Management**  
 DEC 0 6 2021  
 Office of Water Resources

THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION PURPOSES. THE ENGINEER'S RESPONSIBILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE PROJECT AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

DESIGN BY: RSS  
 DRAWN BY: RSS  
 CHECKED BY: B.S.S.  
 DATE: 11/22/2021  
 DESCRIPTION: SEWER LINE/WATER MAIN SEPARATION POLICY FOR DESIGN OF SANITARY SEWERS

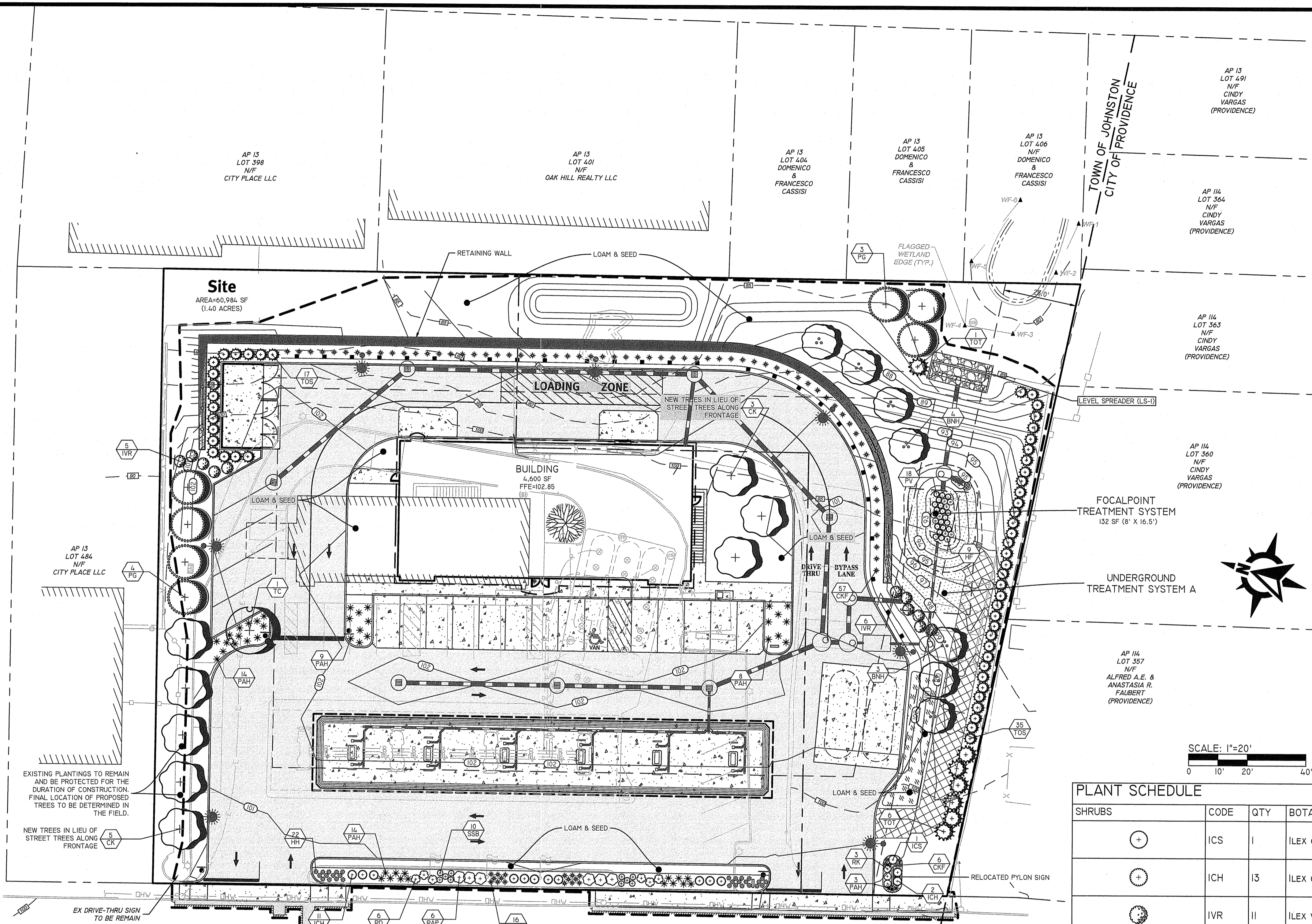
**SEASONS CORNER MARKET**  
 ASSESSOR'S PLAT 13 LOTS 397 & 485  
 JOHNSTON, RHODE ISLAND 02919

**COLBEA ENTERPRISES, LLC**  
 2050 PLAINFIELD PINE, CRANSTON, RHODE ISLAND 02921  
 TEL: 401-943-0005

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
 OFFICE OF WATER RESOURCES  
 FRESHWATER WETLANDS PROGRAM  
 APPROVED WITH CONDITIONS  
 AS SPECIFIED IN THE LETTER OF APPROVAL  
 DATED FEB 11 2021 FILE # 21-0329  
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE!

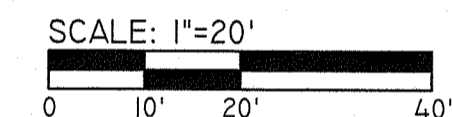
*Nancy L. Freeman*

OAKDALE AVENUE  
(VARIABLE WIDTH PUBLIC RIGHT OF WAY)



**PLANTING NOTES:**

- CONTRACTOR TO VERIFY ALL UTILITY LOCATIONS BY NOTIFYING DIG-SAFE (811) AT LEAST 72 HOURS PRIOR TO ANY CONSTRUCTION OR SITE PREPARATION AND ANY/OR ALL LOCAL UTILITY COMPANIES AS REQUIRED.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS BY THE CONTRACTOR. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR THIS PROJECT.
- CONTRACTOR TO PROVIDE A ONE (1) YEAR GUARANTEE FOR ALL MATERIALS. CONTRACTOR GUARANTEES THAT PLANTS WILL REMAIN HEALTHY FOR ONE (1) GROWING SEASON. CONTRACTOR TO MAINTAIN ALL PLANTING AND LAWNS UNTIL FINAL PROJECT ACCEPTANCE. GUARANTEE PERIOD TO COMMENCE AT FINAL ACCEPTANCE. ANY REPLACEMENT PLANTS SHALL BE OF THE SAME SIZE AND SPECIES AS SPECIFIED WITH NEW GUARANTEE COMMENCING ON THE DATE OF REPLACEMENT.
- ALL PLANT MATERIAL SHALL CONFORM, IN ALL RESPECTS, TO THE GUIDELINES OF "THE AMERICAN STANDARD FOR NURSERY STOCK," LATEST EDITION, PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION, INC. ALL PLANTS SHALL BE NURSERY GROWN AND SHALL HAVE BEEN GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST TWO (2) YEARS.
- PLANT SUBSTITUTION SELECTION MUST BE APPROVED BY LANDSCAPE ARCHITECT AND/OR OWNER PRIOR TO INSTALLATION.
- ALL PLANTS TO BE PLANTED SO THAT AFTER SETTLEMENT THEY BEAR THE SAME RELATION TO THE SURROUNDING GROUND AS TO THEIR ORIGINAL GRADE BEFORE DIGGING.
- CREATE SAUCER AROUND INDIVIDUAL PLANTS CAPABLE OF HOLDING WATER. ALL PLANTS TO BE FLOODED WITH CLEAN WATER TWICE WITHIN THE FIRST 24 HOURS OF PLANTING. ADDITIONAL WATERING SHALL BE MADE AS REQUIRED TO KEEP PLANTS FROM WILTING AND DRYING OUT UNTIL FINAL ACCEPTANCE.
- ALL PLANTS TO RECEIVE A MINIMUM OF TWO (2) INCHES OF UNDYED, SHREDED PINE BARK MULCH AND SHALL COVER PLANTING BEDS AS SHOWN ON DRAWINGS UNLESS OTHERWISE NOTED.
- TRIM BROKEN AND DEAD BRANCHES FROM TREES AND SHRUBS AFTER PLANTING. NEVER CUT A LEADER.
- CONTRACTOR TO LOAM AND SEED ALL DISTURBED LANDSCAPE AREAS OUTSIDE OF THE PLANTING BEDS USING AN ENDOPHYTE ENHANCED MIX AT A RATE OF 5-7 LBS. PER 1000 SF (AVAILABLE AT ALLENS SEED IN EXETER, RI) OR AS DIRECTED BY TOWN/OWNER UNLESS OTHERWISE NOTED. ANY SOD (TURF) UTILIZED SHALL BE DROUGHT TOLERANT ENDOPHYTES OR PREDOMINANTLY FESCUE IN CHARACTER.
- RECOMMENDED DATES FOR PLANTING ARE APRIL 15 TO JUNE 15 AND SEPTEMBER 15 TO NOVEMBER 15.
- ALL LANDSCAPED AREAS SHALL BE KEPT FREE OF WEEDS AND DEBRIS. ALL VEGETATION WITHIN SAID AREAS SHALL BE MAINTAINED FREE OF PHYSICAL DAMAGE CAUSED BY CHEMICALS, INSECTS, DISEASES, LACK OF WATER OR OTHER CAUSES. DAMAGED PLANTS SHALL BE REPLACED WITH THE SAME OR SIMILAR VEGETATION ON AN ANNUAL BASIS.
- LOAM MOVED ON SITE TO BE STOCKPILED AND RETAINED AND TO BE USED AS REQUIRED FOR THE LANDSCAPE DESIGN. LOAM SHALL NOT BE MIXED WITH ANY UNSUITABLE MATERIALS OR SUBSOIL. EXCESS LOAM TO REMAIN ON THE OWNER'S PROPERTY AND ONLY REMOVED WITH THE OWNER'S PERMISSION. NEW LOAM SHALL BE FRIABLE, FERTILE, MEDIUM TEXTURED SANDY LOAM THAT IS FREE OF TOXIC MATERIALS FOR HEALTHY PLANT GROWTH AND SURVIVAL. LOAM SHALL BE FREE OF MATTER 1" OR GREATER IN DIAMETER AND WHEN TESTED SHALL HAVE A PH BETWEEN 5.5 AND 7.5. CONTRACTOR TO PROVIDE 8 INCHES OF GOOD QUALITY, LOAM AND/OR REUSE EXISTING LOAM TO PROVIDE A MINIMUM 6" INCH DEPTH.
- IRRIGATION AND LIGHTING BY OTHERS.
- THIS PLAN IS FOR LANDSCAPE PLANTING ONLY.



DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS  
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DATED FEB 17 2022 FILE # 21-0229  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
APPROVED PLANS MUST BE AT CONSTRUCTION  
*Nancy L. Freeman*

**PLANT SCHEDULE**

SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE
+	ICS	1	ILEX CRENATA 'SKY PENCIL'	SKY PENCIL JAPANESE HOLLY	7 GAL
+	ICH	13	ILEX CRENATA 'HELERII'	HELER JAPANESE HOLLY	3 GAL
+	IVR	11	ILEX VERTICILLATA 'RED SPRITE'	RED SPRITE WINTERBERRY	30" HT MIN
+	RAP	6	RHODODENDRON AZALEA 'PJM'	AZALEA	3 GAL
+	RD	6	RHODODENDRON X 'DELAWARE VALLEY WHITE'	DELAWARE VALLEY WHITE AZALEA	3 GAL
+	RK	3	ROSA X 'KNOCKOUT' TM	ROSE	3 GAL
FOCAL POINT PLANTING	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE
o	HF	9	HEMEROCALLIS FULVA	ORANGE DAYLILY	1 GAL @ 24" OC
o	PV	18	PANICUM VIRGATUM 'SHENANDOAH'	SHENANDOAH SWITCH GRASS	2 GAL @ 24" OC
GRASSES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE
*	CKF	71	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	2 GAL
*	PAH	48	PENNISETUM ALOPECUROIDES 'HAMELN'	HAMELN DWARF FOUNTAIN GRASS	2 GAL
PERENNIALS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE
+	HH	29	HEMEROCALLIS X 'HAPPY RETURNS'	HAPPY RETURNS DAYLILY	2 GAL
+	SSB	10	SEDUM SPECTABILE 'BRILLIANT'	BRILLIANT STONECROP	2 GAL

**KILLINGLY STREET (ROUTE 128)**  
(RI HIGHWAY PLAT 122)  
(49.5' WIDE PUBLIC RIGHT OF WAY)

**PLANT SCHEDULE**

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT
+	BNH	7	BETULA NIGRA 'HERITAGE'	HERITAGE RIVER BIRCH	2/2.5" CAL B&B
+	CK	8	CORNUS KOUSA	KOUSA DOGWOOD	2/2.5" CAL B&B
+	TC	1	TILIA CORDATA	LITTLELEAF LINDEN	2/2.5" CAL B&B
EVERGREEN TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT
+	PG	7	PICEA GLAUCA	WHITE SPRUCE	6" HT MIN
+	TOS	52	THUJA OCCIDENTALIS 'SMARAGD'	EMERALD GREEN ARBORVITAE	6" HT MIN
+	TOT	7	THUJA OCCIDENTALIS 'TECHNY'	TECHNY ARBORVITAE	6" HT MIN

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RI Environmental Management  
DEC 06 2021  
Office of Water Resources  
REGISTERED PROFESSIONAL ENGINEER OF DIPRETE  
ALEXANDRA C. MERRILL  
NO. 431

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS  
AS SPECIFIED IN THE LETTER OF APPROVAL  
DATED FEB 17 2022 FILE # 21-0229  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
APPROVED PLANS MUST BE AT CONSTRUCTION  
*Nancy L. Freeman*

**LANDSCAPE PLAN**  
SEASONS CORNER MARKET  
ASSESSOR'S PLAT 13 LOTS 397 & 485  
JOHNSTON, RHODE ISLAND 02919  
PREPARED FOR:  
**COLBEA ENTERPRISES, LLC**  
2050 PLAINFIELD PIKE, CRANSTON, RHODE ISLAND 02921  
TEL: 401-943-0005

**TOWN OF JOHNSTON, RHODE ISLAND**  
**ARTICLE V, SUPPLEMENTARY REGULATIONS**

**§34.0-27.2 LANDSCAPE DESIGN STANDARDS**  
**B. LANDSCAPING STANDARDS**

(1) GENERAL REQUIREMENTS.  
 (A) LANDSCAPING SHALL BE PROVIDED AS PART OF SITE PLAN DESIGN FOR ALL INDUSTRIAL, COMMERCIAL, BUSINESS, PLANNED DEVELOPMENT, AND MULTIFAMILY ZONES AND USES. IT SHALL BE CONCEIVED IN A TOTAL PATTERN THROUGHOUT THE SITE, INTEGRATING VARIOUS ELEMENTS OF SITE DESIGN, PRESERVING AND ENHANCING THE PARTICULAR IDENTITY OF THE SITE WHERE APPROPRIATE. LANDSCAPING SHALL CONSTITUTE A MINIMUM OF 15% OF THE ENTIRE SITE.

PROPOSED LANDSCAPING COMPRISES >15% OF THE ENTIRE SITE.  
 SITE AREA = 1.04± ACRES  
 IMPERVIOUS AREA = 0.877± ACRES  
 PERVIOUS AREA = 0.523± ACRES  
 0.523/1.04 = (0.3725) 37.25% > 15% PROPOSED

(F) SOIL EROSION PLAN. A SOIL EROSION PLAN FOR CONSTRUCTION AND INSTALLATION OF TEMPORARY AND PERMANENT SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE PREPARED BY AN APPROPRIATE CERTIFIED PROFESSIONAL, SUBMITTED TO THE BUILDING DEPARTMENT FOR DETERMINATION OF APPLICABILITY, AND REVIEWED/APPROVED BY THE BUILDING OFFICIAL, BEFORE ANY LAND DISTURBANCE OCCURS. SAID PLAN SHALL BE IN CONFORMANCE WITH ANY AND ALL LANDSCAPE PLANS APPROVED PURSUANT TO THE PROVISIONS OF THIS SECTION.

SEE CIVIL PLANS FOR SOIL EROSION CONTROL MEASURES AND DETAILS.

(2) SITE PROTECTION AND GENERAL PLANTING REQUIREMENTS  
 (D) PROTECTION OF EXISTING PLANTINGS. MAXIMUM EFFORT SHOULD BE MADE TO SAVE TREE OR OTHER PLANT SPECIMENS WHICH ARE LARGE FOR THEIR SPECIES, RARE TO THE AREA, OR OF SPECIAL HORTICULTURAL OR LANDSCAPE VALUE. IN THE EVENT THAT ANY SUCH TREE OR PLANT SPECIMENS ARE TO BE REMOVED, THEY ARE TO BE REPLACED ELSEWHERE ON THE PROJECT SITE WITH SPECIMENS OF A COMPARABLE SIZE AND TYPE. SUCH REQUIREMENT MAY BE WAIVED BY THE PLANNING BOARD OR THE LANDSCAPE REVIEW COMMITTEE, AT THE PLANNING BOARD'S DIRECTION, WHERE THE APPLICANT DEMONSTRATES TO THE SATISFACTION OF THE BOARD OR COMMITTEE THAT SPECIAL SITE AND DESIGN CONDITIONS SO WARRANT. NO MATERIAL OR TEMPORARY SOIL DEPOSITS SHALL BE PLACED WITHIN THE DRIP LINE SHRUBS OR TREES DESIGNATED ON THE LANDSCAPE PLAN TO BE RETAINED. PROTECTIVE BARRIERS ARE TO BE INSTALLED AROUND EACH PLANT AND/OR GROUP OF PLANTS THAT ARE TO REMAIN ON THE SITE. BARRIERS SHALL NOT BE SUPPORTED BY THE PLANTS THEY ARE PROTECTING, BUT SHALL BE SELF-SUPPORTING. THEY SHALL BE A MINIMUM OF FOUR FEET HIGH AND CONSTRUCTED OF DURABLE MATERIAL THAT WILL LAST UNTIL CONSTRUCTION IS COMPLETED. SNOW FENCES AND SILT FENCES ARE EXAMPLES OF ACCEPTABLE BARRIERS.

PROTECTION OF EXISTING PLANTING IS PROPOSED WHERE FEASIBLE.

(3) SLOPE PLANTINGS. LANDSCAPING OF ALL CUTS AND FILLS AND/OR TERRACES SHALL BE SUFFICIENT TO PREVENT

EROSION, AND ALL ROADWAY SLOPES STEEPER THAN ONE FOOT VERTICALLY TO THREE FEET HORIZONTALLY SHALL BE PLANTED WITH VEGETATIVE GROUND COVER APPROPRIATE TO THE PURPOSE AND FOR SOIL CONDITIONS AND ENVIRONMENT.

MAXIMUM SLOPES PROPOSED ARE LESS THAN 3:1 WHERE FEASIBLE.

(4) ADDITIONAL LANDSCAPING. ALL AREAS OF THE SITE NOT OCCUPIED BY BUILDINGS AND REQUIRED IMPROVEMENTS SHALL BE LANDSCAPED BY THE PLANTING OF GRASS OR OTHER VEGETATIVE GROUND COVER, SHRUBS, AND TREES AS PART OF THE APPROVED LANDSCAPE PLAN, UNLESS THE EXISTING NATURAL LANDSCAPING AND TERRAIN ARE TO BE MAINTAINED AND OTHERWISE APPROVED BY THE PLANNING BOARD OR THE LANDSCAPE REVIEW COMMITTEE, AS APPLICABLE.

(5) PLANTING SPECIFICATIONS. DECIDUOUS TREES SHALL HAVE AT LEAST A 2 1/2 INCH CALIPER AT THE TIME OF PLANTING. SUCH REQUIREMENT MAY BE MODIFIED BY THE PLANNING BOARD AND/OR LANDSCAPE REVIEW COMMITTEE, AS APPLICABLE, WHERE THE APPLICANT DEMONSTRATES SATISFACTORILY THAT THE TYPE AND GROUPINGS OF THE TREES REQUIRE A SMALLER CALIPER AT THE TIME OF PLANTING. SIZE OF EVERGREENS AND SHRUBS SHALL BE ALLOWED TO VARY DEPENDING ON SETTING AND TYPE OF SHRUB. ONLY NURSERY-GROWN PLANT MATERIALS SHALL BE ACCEPTABLE, AND ALL TREES, SHRUBS AND GROUND COVERS SHALL BE PLANTED ACCORDING TO ACCEPTABLE HORTICULTURAL STANDARDS. DEAD AND DISEASED PLANTS AND TREES SHALL BE REMOVED AND REPLACED BY THE OWNER ON AT LEAST AN ANNUAL BASIS. FAILURE TO PROPERLY MAINTAIN TREES SHALL RESULT IN SUCH WORK BEING PERFORMED BY THE TOWN AT THE OWNER'S EXPENSE.

(6) PLANT SPECIES. THE PLANT SPECIES SELECTED SHALL BE CLASSIFIED AS HARDY FOR THE PARTICULAR CLIMATE ZONE IN WHICH THE DEVELOPMENT IS LOCATED AND APPROPRIATE IN TERMS OF FUNCTION AND SIZE. THE APPLICANT IS ENCOURAGED TO SELECT PLANT SPECIES WHICH HAVE MINIMAL REQUIREMENTS FOR WATERING AND FERTILIZATION, IN SELECTION OF TREE TYPES A REFERENCE SHOULD BE MADE TO TREE TYPES RECOMMENDED IN THE LAND DEVELOPMENT AND SUBDIVISION REVIEW REGULATIONS OR OF A VARIETY APPROVED BY THE LANDSCAPE REVIEW COMMITTEE.

(7) SHADE TREES.

(A) LOCATION. SHADE TREES SHALL BE EITHER PLANTED OR MAINTAINED AT INTERVALS OF NO MORE THAN 35 FEET ALONG BOTH SIDES OF ALL NEW OR EXISTING STREETS ABUTTING A DEVELOPMENT SITE IN ACCORDANCE WITH THE APPROVED LANDSCAPE PLAN. THE LANDSCAPE REVIEW COMMITTEE MAY PERMIT SPACING OF TREES AT GREATER INTERVALS WHERE THE APPLICANT SATISFACTORILY DEMONSTRATES TO THE COMMITTEE THAT SUCH SPACING IS NECESSARY FOR THE PRESERVATION OF LARGE EXISTING TREES OR OTHER PLANTING OF LARGE TREE SPECIMENS.

KILLINGLY STREET FRONTAGE = 271 LF ±  
 REQUIRED SHADE TREES = 271/ 35 = 8 (7.74)

A TOTAL OF EIGHT NEW TREES ARE PROPOSED ON THE SITE IN LIEU OF NEW STREET TREES ALONG THE FRONTAGE, FIVE TREES ARE PROPOSED ALONG THE NORTHWESTERN PROPERTY LINE TO ENHANCE THE EXISTING PLANTINGS AND 3 TREES ARE PROPOSED AT THE RIGHT OF THE BUILDING. THE ISLAND ALONG KILLINGLY STREET HAS BEEN EXPANDED AS WELL.

(C) PLANTING SPECIFICATIONS. STREET TREES SHALL HAVE A MINIMUM CALIPER OF 2 1/2 INCHES AT TIME OF PLANTING, AND MUST BE NURSERY-GROWN, OF SUBSTANTIALLY UNIFORM SIZE AND SHAPE AND HAVE STRAIGHT TRUNKS. STREET TREES, WITH THE EXCEPTION OF ORNAMENTAL TREES, SHALL HAVE OR WILL HAVE, WHEN FULLY MATURE, A MINIMUM CALIPER OF 12 INCHES. TREES SHALL BE PROPERLY PLANTED AND STAKED AND PROVISION MADE BY THE DEVELOPER FOR REGULAR WATERING AND MAINTENANCE UNTIL THEY ARE ESTABLISHED. DEAD AND DISEASED TREES SHALL BE REMOVED AND REPLACED BY THE OWNER ON AT LEAST AN ANNUAL BASIS. FAILURE TO PROPERLY MAINTAIN STREET TREES SHALL RESULT IN SUCH WORK BEING PERFORMED BY THE TOWN AT THE OWNER'S EXPENSE.

(B) BUFFERING.

(2) BUFFER REQUIRED.

[2] MINIMUM BUFFER SIZE REQUIRED:

[A] A FIVE-FOOT-WIDE BUFFER STRIP OF GRASS OR OTHER VEGETATION IS REQUIRED AROUND THE ENTIRE PERIMETER OF THE SITE, EXCEPT FOR ANY CURB CUTS.

A BUFFER > OR = TO 5 FEET CONSISTING OF PROPOSED GRASS AND VEGETATION IS PROVIDED AROUND THE PERIMETER OF THE PROPERTY WHERE APPLICABLE.

[B] WHERE MORE-INTENSIVE LAND USES ADJACENT TO LESS-INTENSIVE USES, A BUFFER STRIP (25 FEET) IN WIDTH SHALL BE REQUIRED BETWEEN SUCH USES.

THE EXISTING RESIDENTIAL BUFFER RANGES FROM 0 FEET AT KILLINGLY STREET, 10.5 FEET TO EXISTING PAVING AND >25 FEET AT THE REAR OF THE LOT. THE PROPOSED BUFFER HAS BEEN INCREASED TO 11.2 FEET AT KILLINGLY STREET, 16.5 FEET TO PROPOSED PAVING AND >25' AT THE REAR OF THE LOT. EVERGREEN SCREENING IS ALSO PROPOSED ALONG THE PROPERTY LINE.

NEW SITE LAYOUT DESIGN CURRENTLY MEETS THE 25 FT BUFFER REQUIREMENT.

[C] PARKING LOTS, GARBAGE COLLECTION AND UTILITY AREAS, AND LOADING AND UNLOADING AREAS SHOULD BE SCREENED AROUND THEIR PERIMETERS BY A BUFFER STRIP A MINIMUM OF FIVE FEET WIDE.

SCREENING COMPRISED OF EXISTING AND PROPOSED PLANTINGS IS PROVIDED AROUND THE PERIMETER WHERE FEASIBLE.

[(1) PLANTING SPECIFICATIONS. PLANT MATERIALS SHALL BE SUFFICIENTLY LARGE AND PLANTED IN SUCH A FASHION THAT A YEAR-ROUND EFFECTIVE BUFFER HEIGHT OF AT LEAST EIGHT FEET IN HEIGHT SHALL BE PRODUCED WITHIN THREE GROWING SEASONS. ALL PLANTINGS SHALL BE INSTALLED ACCORDING TO ACCEPTED HORTICULTURAL STANDARDS.

(9) PARKING AREA LANDSCAPING REQUIREMENTS.

(A) TREES SHALL BE PLANTED WITHIN THE PLANTING STRIP OR IN SIDEWALK AREAS AS MAY BE APPROPRIATE, AT INTERVALS OF NO MORE THAN 35 FEET, AND SHALL HAVE A MINIMUM CALIPER AT TIME OF PLANTING OF 2 1/2 INCHES. THE PLANNING BOARD OR LANDSCAPE REVIEW COMMITTEE, AS APPLICABLE, MAY PERMIT SPACING OF TREES AT GREATER INTERVALS WHERE THE APPLICANT DEMONSTRATES TO THE SATISFACTION OF THE PLANNING BOARD OR LANDSCAPE REVIEW COMMITTEE, AS APPLICABLE, THAT SUCH A SPACING IS NECESSARY FOR THE PRESERVATION OF LARGE EXISTING TREES OR THE PLANTING OF LARGE TREE SPECIMENS.

TREES ARE TO BE PLANTED IN PARKING AREA AND SHALL BE 2-1/2 TO 3 INCH CALIPER AT TIME OF PLANTING.

(B) THE INTERIOR OF PARKING AREAS SHALL BE SUITABLY LANDSCAPED WITH TREES, SHRUBS, PLANTS OR OTHER LIVE VEGETATION. IN ADDITION TO THE REQUIRED BUFFER STRIP, A MINIMUM OF 10 SQUARE FEET OF LANDSCAPING FOR EACH PARKING SPACE SHALL BE PROVIDED WITHIN ANY OFF-STREET PARKING AREA. EACH ROW OF PARKING SPACES SHALL BE TERMINATED BY LANDSCAPED ISLANDS WHICH MEASURE NOT LESS THAN FIVE FEET IN WIDTH AND NOT LESS THAN 18 FEET IN LENGTH. THE INTERIOR OF THE PARKING AREA SHALL INCORPORATE LANDSCAPED AREAS IN APPROPRIATE LOCATIONS IN ORDER TO PREVENT LONG, UNINTERRUPTED ROWS OF PARKING SPACES. SUCH LANDSCAPED ISLANDS MAY BE INCLUDED IN CALCULATING THE REQUIRED LANDSCAPED AREA. MANDATORY TERMINAL ISLANDS SHALL BE SURROUNDED WITH CONTINUOUS RAISED CURBING. INTERIOR ISLANDS AND DIVIDER MEDIANS SHALL BE PROTECTED FROM ENCRoACHMENT OF MOTOR VEHICLES IN A MANNER APPROVED BY THE PLANNING BOARD OR LANDSCAPE REVIEW COMMITTEE, AS APPLICABLE. PEDESTRIAN PATHS MAY BE INCORPORATED WITHIN THE LANDSCAPED AREA, PROVIDED A MINIMUM DIMENSION OF FOUR FEET, EXCLUSIVE OF PAVED AREAS, IS MAINTAINED FOR ALL LANDSCAPED AREAS.

REQUIRED LANDSCAPING PER PARKING SPACE = 10 SF  
 PROPOSED TOTAL PARKING SPACES = 19  
 LANDSCAPE AREA REQUIRED = 10 SF X 19 = 190 SF  
 LANDSCAPE AREA PROPOSED = 2,305 SF >190 SF

(C) THE INTERIOR OF PARKING AREAS SHALL BE SHADED BY DECIDUOUS TREES (EITHER RETAINED OR PLANTED BY THE DEVELOPER) THAT HAVE OR WILL HAVE WHEN FULLY MATURE A TRUNK OF AT LEAST 12 INCHES IN DIAMETER. THE MINIMUM CALIPER OF NEW TREES AT TIME OF PLANTING SHALL BE AT LEAST 2 1/2 INCHES. AT MATURITY, EACH TREE SHALL BE PRESUMED TO SHADE A CIRCULAR AREA HAVING A RADIUS OF 15 FEET WITH A TRUNK AS THE CENTER, AND THERE MUST BE SUFFICIENT TREES SO THAT, USING THIS STANDARD, 20% OF THE PARKING AREA WILL BE SHADED. TREES SHALL BE LOCATED SO THAT THEY ARE SURROUNDED BY AT LEAST 100 SQUARE FEET OF UNPAVED AREA, WHICH MAY BE COUNTED TOWARDS CALCULATING THE REQUIRED LANDSCAPED AREA. PARKING AREAS SHALL BE LAID OUT AND DETAILED TO PREVENT VEHICLES FROM STRIKING TREES AND TO PROVIDE FOR THE HEALTHY GROWTH OF THE SELECTED TREE SPECIES. VEHICLES WILL BE PRESUMED TO HAVE A BODY OVERHANG OF THREE FEET, SIX INCHES.

DECIDUOUS TREES THAT SHALL HAVE A VARIED TRUNK DIAMETER AND A VARIED CANOPY WITH RADII RANGING FROM APPROXIMATELY 10 TO 20 FEET WHEN MATURE ARE PROPOSED AND LOCATED SO THAT THEY ARE SURROUNDED BY AT LEAST 100 SQUARE FEET OF UNPAVED AREA.

PROPOSED INTERIOR PARKING AREA = 3,207 SF ±  
 MINIMUM REQUIRED CANOPY = 0.20 X 3,207 SF ± = 641.4 SF ±  
 TYPICAL TREE CANOPY AREA = 706.5 SF  
 MINIMUM REQUIRED TREES = 641.4 SF / 706.5 SF = 1 (0.907)

PROPOSED TREE CANOPY AREA = 706.5 X 1 TREE = 706.5 SF ±

PROPOSED INTERIOR PARKING AREA = 3,207 SF ±  
 PROPOSED CANOPY COVERAGE = 706.5 SF / 3,207 SF = 22.0% (0.220) >20% REQUIRED

(D) THE OWNER SHALL BE RESPONSIBLE FOR MAINTAINING THE LANDSCAPING OF A PARKING AREA IN A NEAT AND ATTRACTIVE MANNER. ONLY NURSERY-GROWN PLANT MATERIAL SHALL BE ACCEPTABLE, AND ALL PLANTINGS SHALL BE INSTALLED ACCORDING TO ACCEPTED HORTICULTURAL STANDARDS. THE OWNER SHALL BE RESPONSIBLE FOR WATERING PLANTINGS REGULARLY AND SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL DEAD OR DISEASED PLANTINGS ON AT LEAST AN ANNUAL BASIS. FAILURE TO ADEQUATELY MAINTAIN REQUIRED PLANTINGS MAY RESULT IN THE TOWN PERFORMING REQUIRED MAINTENANCE AT THE EXPENSE OF THE LANDOWNER.

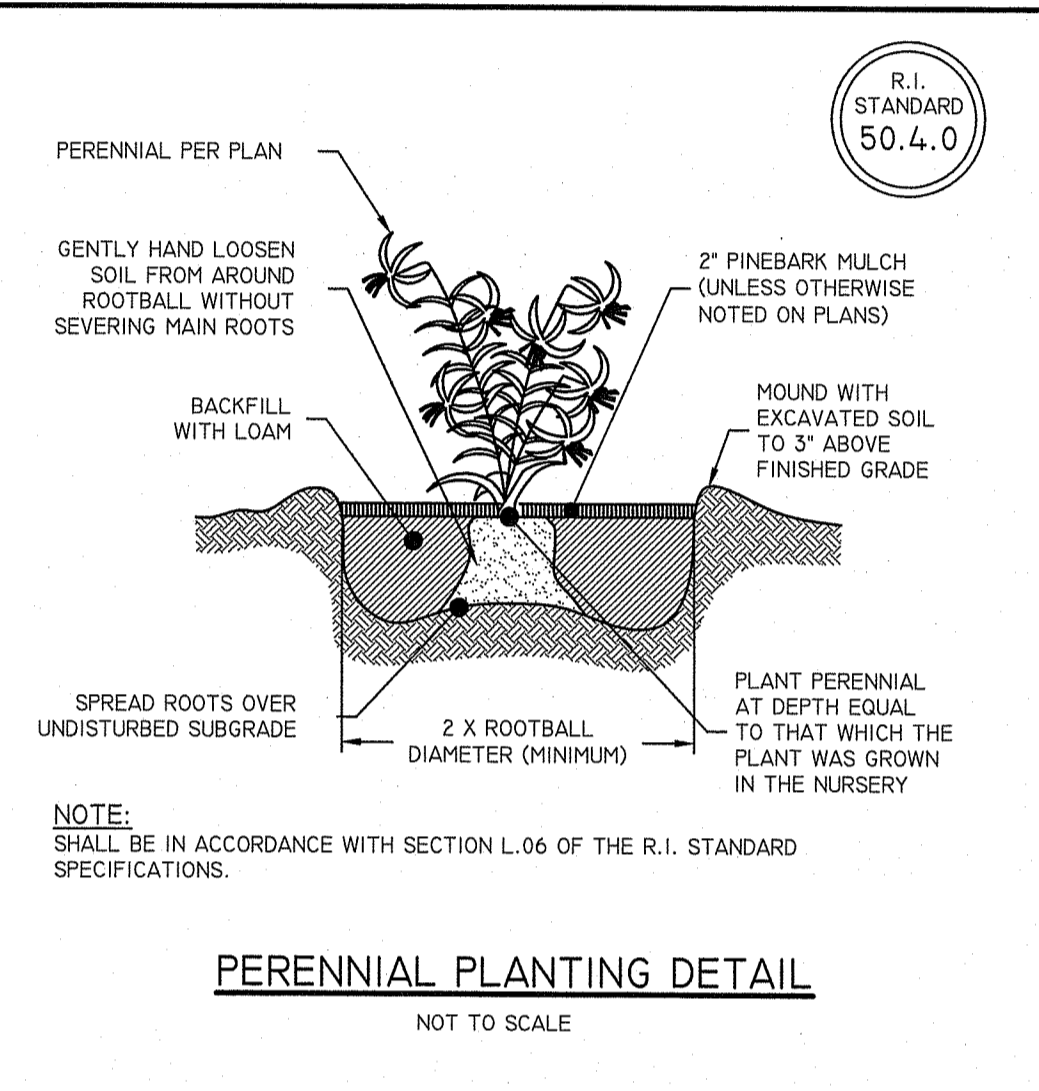
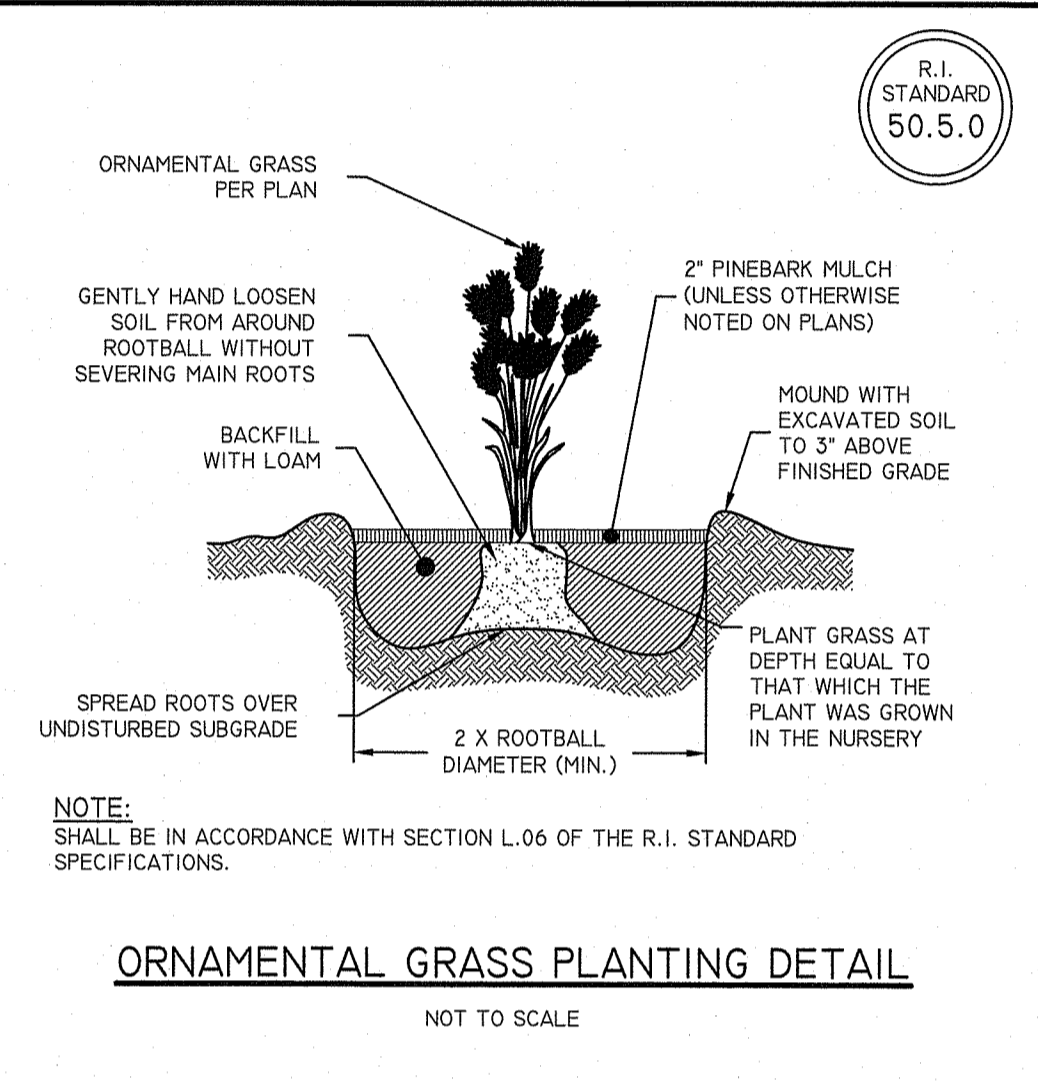
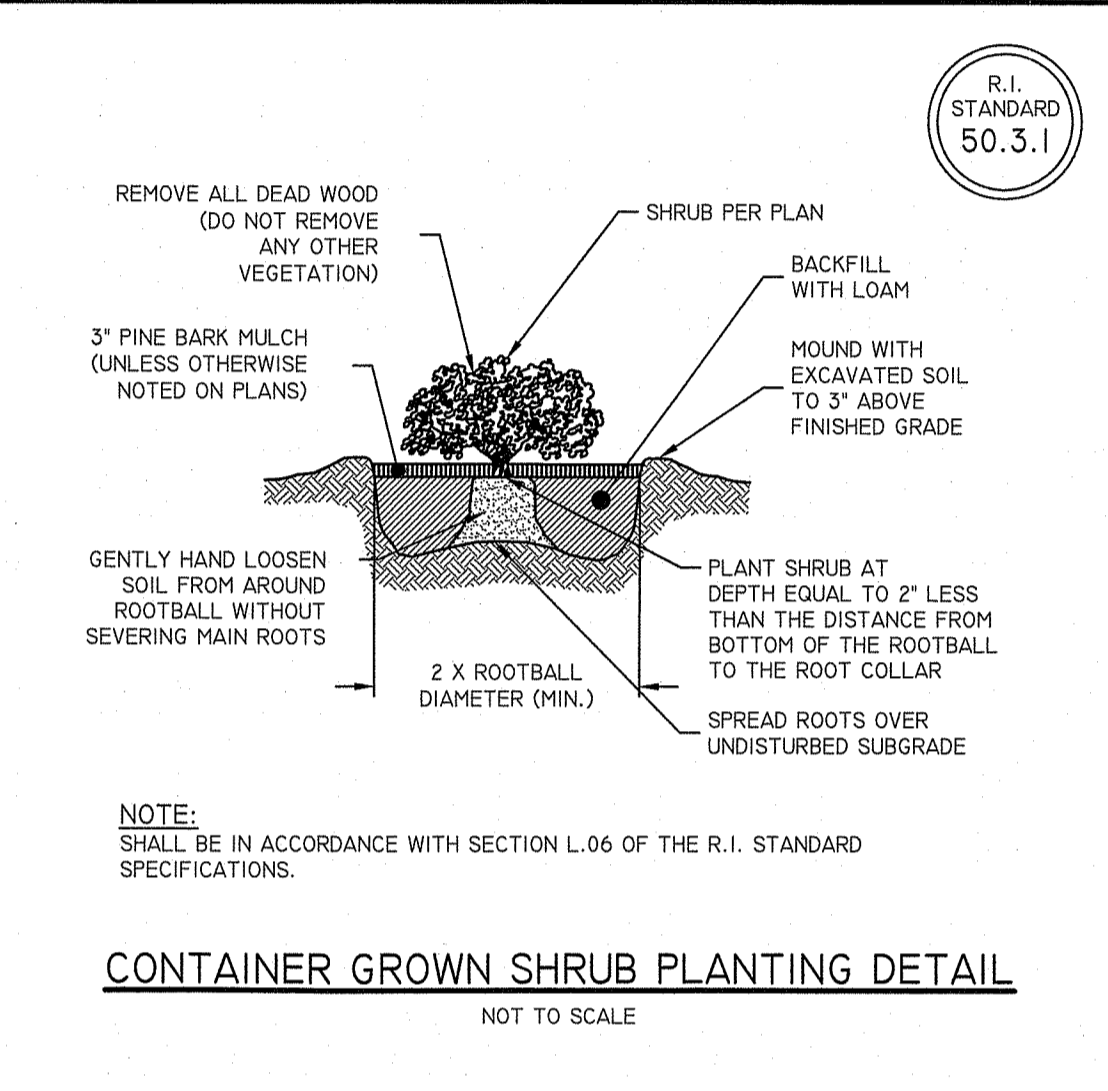
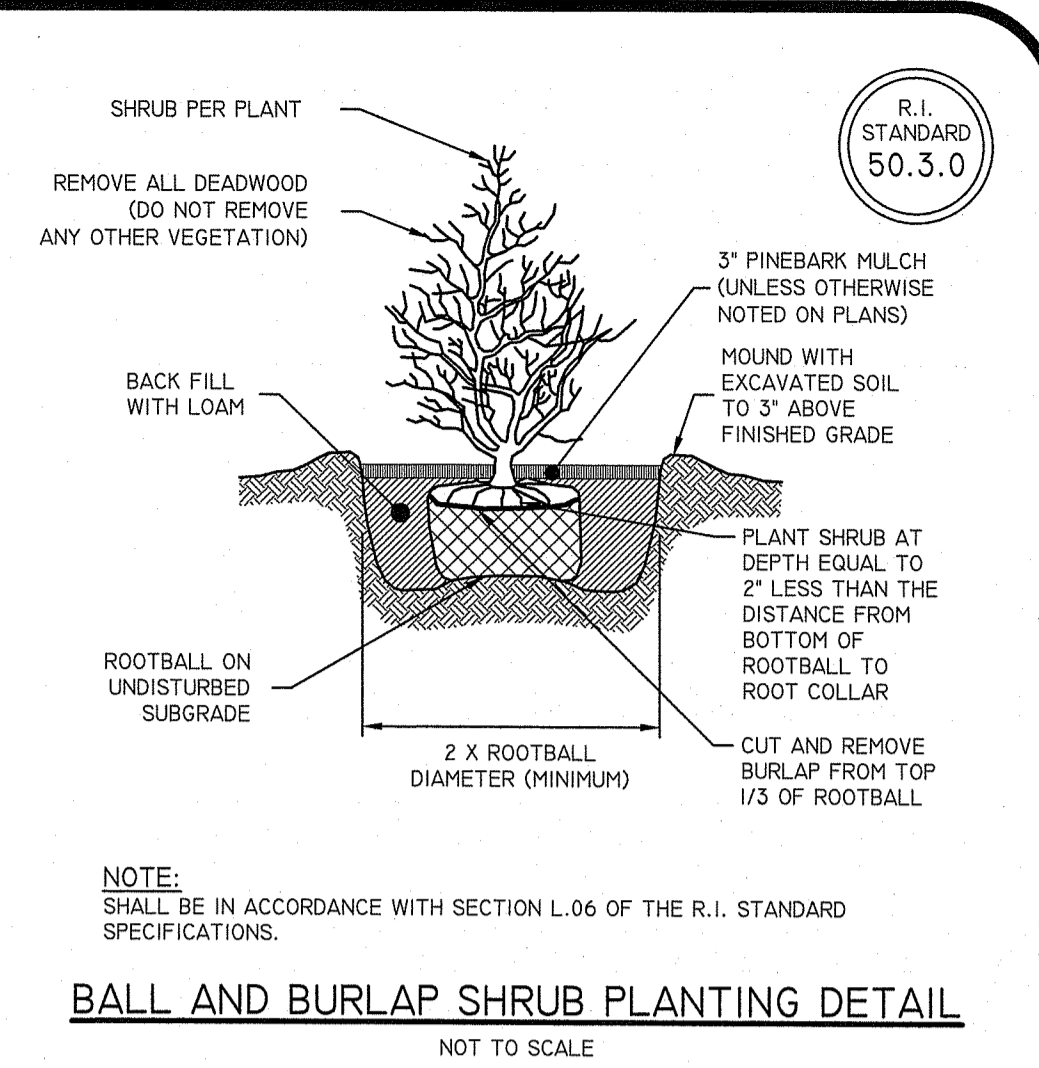
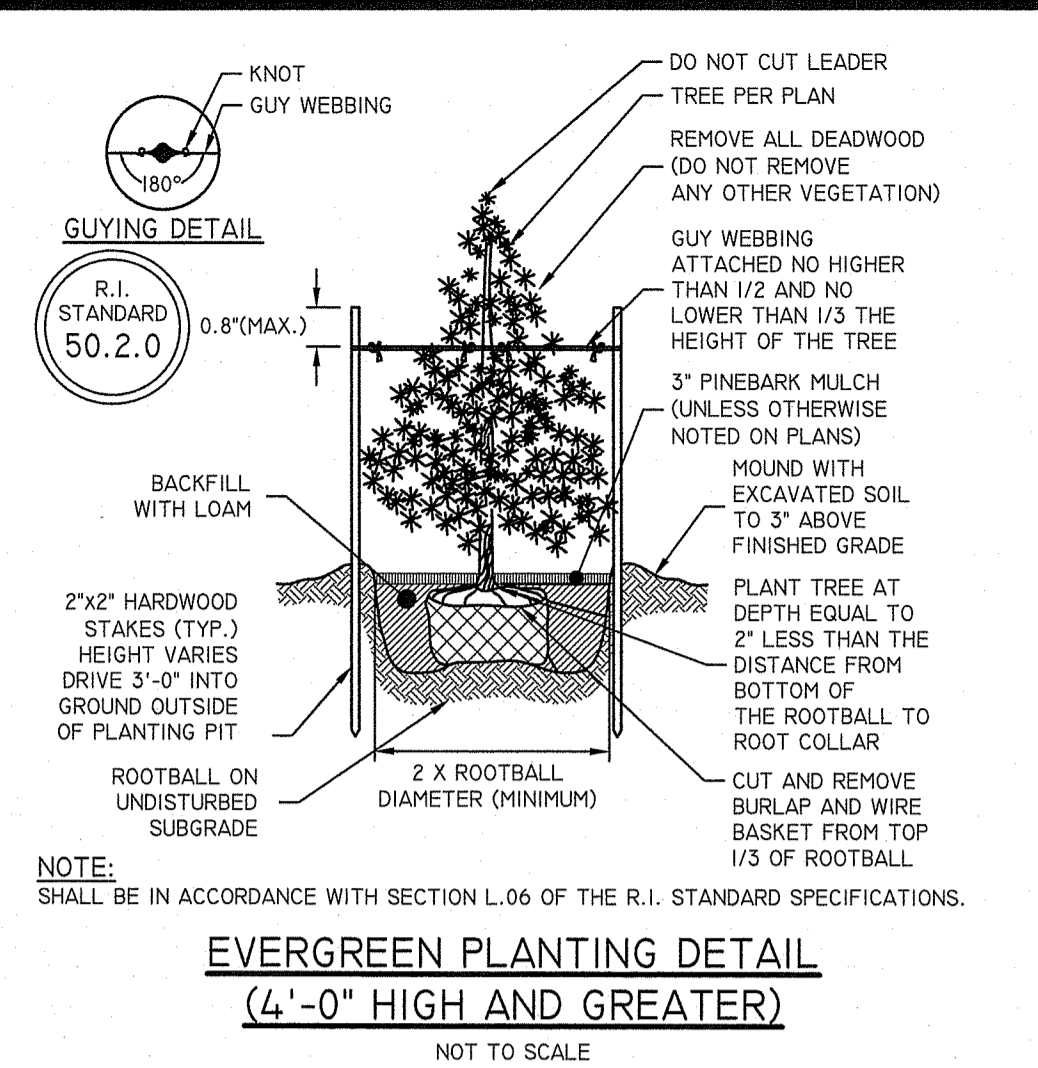
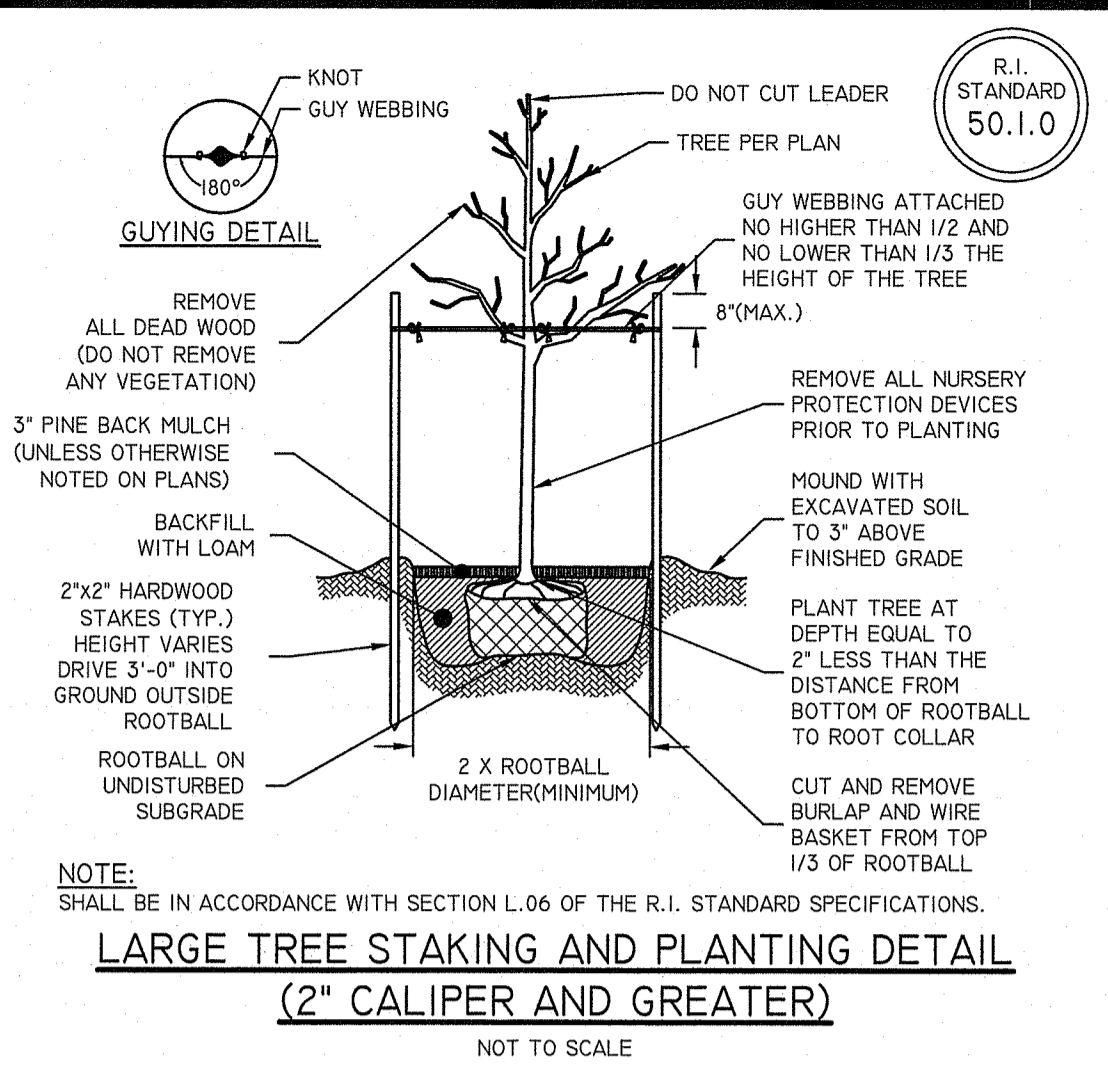
DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
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 APPROVED PLANS MUST BE AT CONSTRUCTION SET

*Nancy J. Freeman*

LANDSCAPE NOTES & DETAILS  
 SEASONS CORNER MARKET  
 ASSESSOR'S PLAT 13 LOTS 197 & 435  
 JOHNSTON, RHODE ISLAND 02919

PREPARED FOR:  
 COLBEA ENTERPRISES, LLC  
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Boston • Providence • Newport

Office of Water Resources  
 DEC 06 2021

REGISTERED PROFESSIONAL ENGINEER  
 STATE OF RHODE ISLAND  
 No. 431

THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS STAMPED AND SIGNED BY THE REGISTERED PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING.

DIPRETE ENGINEERING ONLY WARRANTS PLANS ON A DIPRETE ENGINEERING PROJECT. DIPRETE ENGINEERING, DIPRETE PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING, DIPRETE ENGINEERING DOES NOT WARRANT PLANS BY ANY OTHER PARTY. THE USER ASSUMES ALL RESPONSIBILITIES FOR THE PLAN AND CONFORMANCE IN THE IMPLEMENTATION OF THIS PLAN AND EXISTING UTILITIES SHOWN ON THE PLAN ARE APPROXIMATE. ONLY DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF EXISTING UTILITIES. SEE UTILITY NOTES ON SHEET 3.

NO.	DATE	PERMIT SUBMISSION SET	R.S. NO.	BY:
0	10-27	PERMIT SUBMISSION SET		DESIGN BY: RSS
1	10-27	DESCRIPTION		DESIGN BY: RSS

PREPARED FOR:  
 COLBEA ENTERPRISES, LLC  
 2050 PLAINFIELD PIKE, CRANSTON, RHODE ISLAND 02921  
 TEL 401-943-0005