

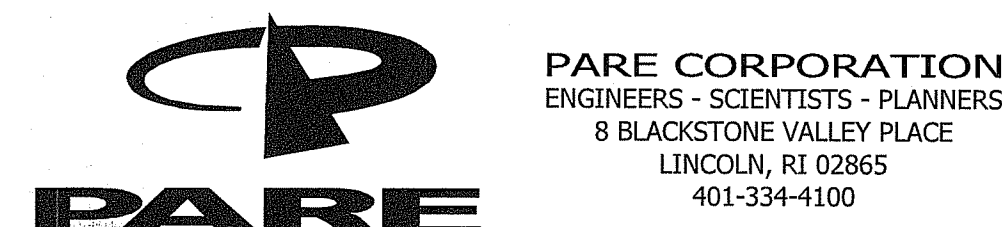
OWNER:

BRISA BERNON MILLS, LP.
119 FRONT STREET, #401
WOONSOCKET, RI 02895

APPLICANT:



CIVIL ENGINEER:



ARCHITECT:



111 CHESTNUT STREET
PROVIDENCE, RI 02903

LANDSCAPE ARCHITECT:



422 FARNUM PIKE
SMITHFIELD, RI 02917

ATTORNEY:

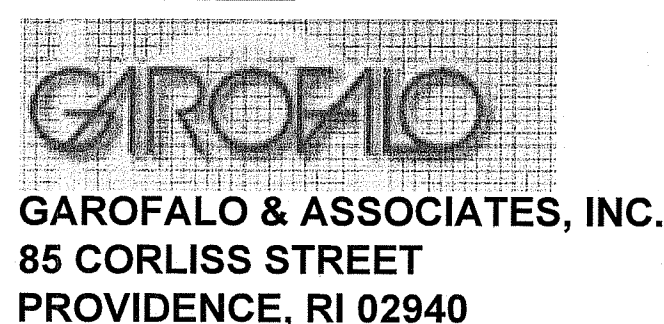


2 WILLIAMS STREET
PROVIDENCE, RI 02903

HISTORIC ADVISOR:



SURVEYOR 1:

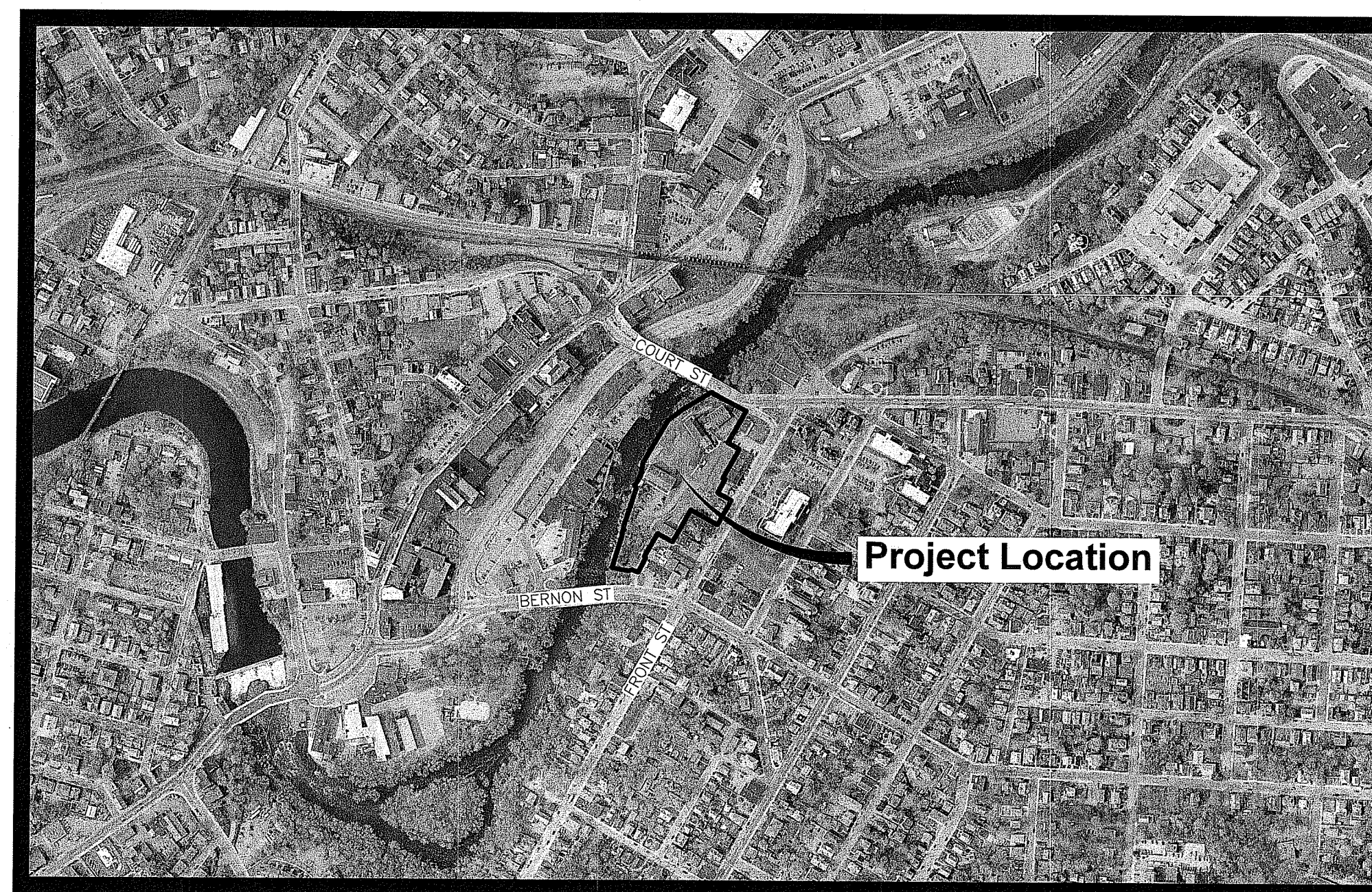


SURVEYOR 2:



Bernon Mills Redevelopment

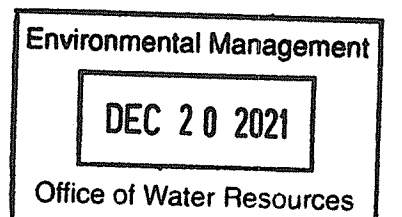
MAP D3, LOTS 15-15 & 15-61
MAP D4, LOT 15-221
115 & 119 Front Street
Woonsocket, Rhode Island



Scale : N.T.S.

INDEX OF DRAWINGS

SHEET No.	DRAWING No.	DESCRIPTION
1	-	COVER SHEET
2	-	EXISTING CONDITIONS SURVEY
3	C0.1	SUBDIVISION PLAN
4	C1.1	NOTES & LEGEND
5	C2.1	EROSION & SEDIMENT CONTROL PLAN
6	C3.1	DEMOLITION PLAN
7	C4.1	GENERAL PLAN
8	C5.1	GRADING PLAN
9	C6.1	DRAINAGE & UTILITY PLAN
10 - 16	C7.1 - C7.7	DETAILS
17	L1.0	LANDSCAPE PLAN
18	L1.1	LANDSCAPE DETAILS



RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS AS
SPECIFIED IN THE LETTER OF APPROVAL
DATED: DEC 20 2021 FILE #: 21-0330
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE
Nancy L. Freeman

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM

NOTE PER DEM:

Kindly be advised that this Permit
is not equivalent to a
verification of the type or extent
of freshwater wetlands on site

**RIDEM SUBMISSION
DECEMBER 10, 2021**

GENERAL NOTES

1. FIELD SURVEY PERFORMED BY DIPRETE ENGINEERING ON APRIL 28, AND AUGUST 18, 2021. THIS PLAN REFLECTS ON THE GROUND CONDITIONS AS OF THAT DATE.
2. ELEVATIONS SHOWN HEREON, IN U.S. SURVEY FEET, ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88), AS DETERMINED BY DIPRETE ENGINEERING USING REAL TIME KINEMATIC G.P.S. OBSERVATIONS.
3. PLANIMETRIC FEATURES, AND CONTOUR LINES, WERE COMPILED BY CIVIL DESIGN CONSULTANTS, INC. 344 NORTH MAIN STREET ANDOVER, MA 01810. SUB-CONSULTANTS TO THE OWNER/DEVELOPER BY WITH AIRBORNE LIDAR TECHNOLOGY FOR THE ENTIRE PROJECT AREA. THIS DATA'S VERTICAL POSITIONAL ACCURACY AND RELIABILITY HAS BEEN VERIFIED BY DIPRETE ENGINEERING TO 0.25'± AND IS SUBJECT TO CHANGES AN AUTHORITY FIELD SURVEY MAY DISCLOSE.
4. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT. DIPRETE ENGINEERING IS NOT RESPONSIBLE FOR ANY UNKNOWN OR UNRECORDED EASEMENTS, DEEDS OR CLAIMS THAT A TITLE REPORT WOULD DISCLOSE.
5. BOUNDARY AND EASEMENT INFORMATION BASED ON SURVEY ENTITLED "EXISTING CONDITIONS SURVEY FOR AP 15, LOTS 16 & 61 SITUATED ON FRONT STREET WOONSOCKET, RHODE ISLAND PREPARED FOR NATIONAL GRID BY GAROFALO & ASSOCIATES, INC., DATED NOVEMBER 2016"
6. ALL INTERIOR CURBING WITHIN THE SITE IS ASPHALT BERM, UNLESS OTHERWISE NOTED.

UTILITY NOTES

1. ALL EXISTING UTILITIES DEPICTED ARE SHOWN ACCORDANCE WITH UTILITY QUALITY LEVEL D, AS DEFINED IN CIVASCE STANDARD 38-02 (STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA), LATEST REVISION.
2. ALL EXISTING UNDERGROUND UTILITIES SHOWN WERE PROVIDED BY OTHERS AND ARE APPROXIMATE ONLY. LOCATIONS MUST BE DETERMINED IN THE FIELD BEFORE EXCAVATION, BLASTING, UTILITY INSTALLATION, BACKFILLING, GRADING, PAVEMENT RESTORATION, AND ALL OTHER SITE WORK. ALL UTILITY COMPANIES, PUBLIC AND PRIVATE, MUST BE CONTACTED INCLUDING THOSE IN CONTROL OF UTILITIES NOT SHOWN ON THESE DOCUMENTS. CONTACT DIG SAFE A MINIMUM OF 72 WORKING HOURS PRIOR TO ANY CONSTRUCTION AT 811. DIG SAFE IS RESPONSIBLE FOR CONTACTING MEMBER UTILITY COMPANIES. DIG SAFE MEMBER UTILITY COMPANIES ARE RESPONSIBLE TO MARK ONLY THE FACILITIES THAT THEY OWN OR MAINTAIN. NON DIG SAFE MEMBER COMPANIES ARE NOT NOTIFIED BY DIG SAFE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INVESTIGATE AND NOTIFY IF ANY PRIVATELY OWNED OR NON DIG SAFE MEMBER UTILITIES ARE IN THE AREA.
3. PER THE CODE OF FEDERAL REGULATIONS - TITLE 29, PART 1926 IT IS THE SITE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ACCURATE UNDERGROUND UTILITY LINE LOCATIONS FROM THE UTILITY COMPANIES, UTILITY OWNERS AND, OR VIA UNDERGROUND UTILITY LOCATION EQUIPMENT AS NEEDED TO ESTABLISH ACCURATE LOCATIONS PRIOR TO ANY EXCAVATION. THE USE OF PROFESSIONAL UTILITY LOCATING COMPANIES PRIOR TO ANY EXCAVATION IS RECOMMENDED.
4. DIPRETE ENGINEERING IS NOT A PROFESSIONAL UTILITY LOCATION COMPANY, AND IS NOT RESPONSIBLE FOR UNDERGROUND UTILITIES, DEPICTED OR NOT, EITHER IN SERVICE OR ABANDONED. ANY SIZES, LOCATIONS, EXISTENCE, OR LACK OF EXISTENCE OF UTILITIES SHOWN ON THESE PLANS SHOULD BE CONSIDERED APPROXIMATE UNTIL VERIFIED BY A PROFESSIONAL UTILITY LOCATION COMPANY. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED.
5. UTILITY PLAN REFERENCES
5.1. WATER AND GAS INFORMATION OBTAINED FROM SUBDIVISION PLAN BY PARE ENGINEERING AND FROM SURVEY BY CIVIL DESIGN CONSULTANTS, INC.
5.2. SEWER INFORMATION OBTAINED FROM SUBDIVISION PLAN BY PARE ENGINEERING IN COMBINATION WITH DIRECT GROUND SURVEY BY BY DIPRETE ENGINEERING.
5.3. DRAINAGE INFORMATION OBTAINED ON THE GROUND BY DIPRETE ENGINEERING. (SEE GENERAL NOTES FOR DATE OF FIELD SURVEY)

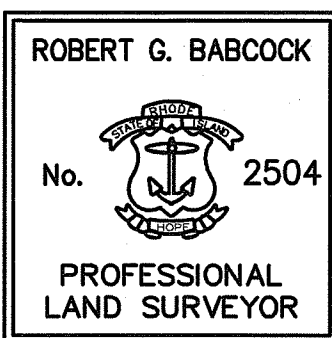
SURVEYOR'S CERTIFICATE

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 26, 2015, AS FOLLOWS:

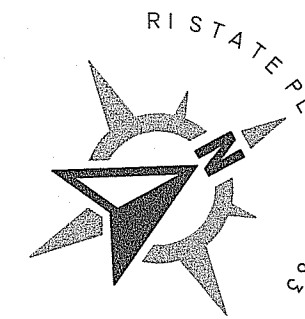
- COMPILED PLAN (NOT A BOUNDARY SURVEY) CLASS IV
- TOPOGRAPHIC SURVEY CLASS T-3

THIS COMPILED PLAN HAS BEEN PREPARED FROM SOURCES OF INFORMATION AND DATA WHOSE POSITIONAL ACCURACY AND RELIABILITY HAS NOT BEEN VERIFIED. THE PROPERTY LINES DEPICTED HEREON DO NOT REPRESENT A BOUNDARY OPINION, AND OTHER INFORMATION DEPICTED IS SUBJECT TO SUCH CHANGES AS AN AUTHORITY FIELD SURVEY MAY DISCLOSE

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS: COMPILED PLAN WITH TOPOGRAPHIC FOR SITE DEVELOPMENT

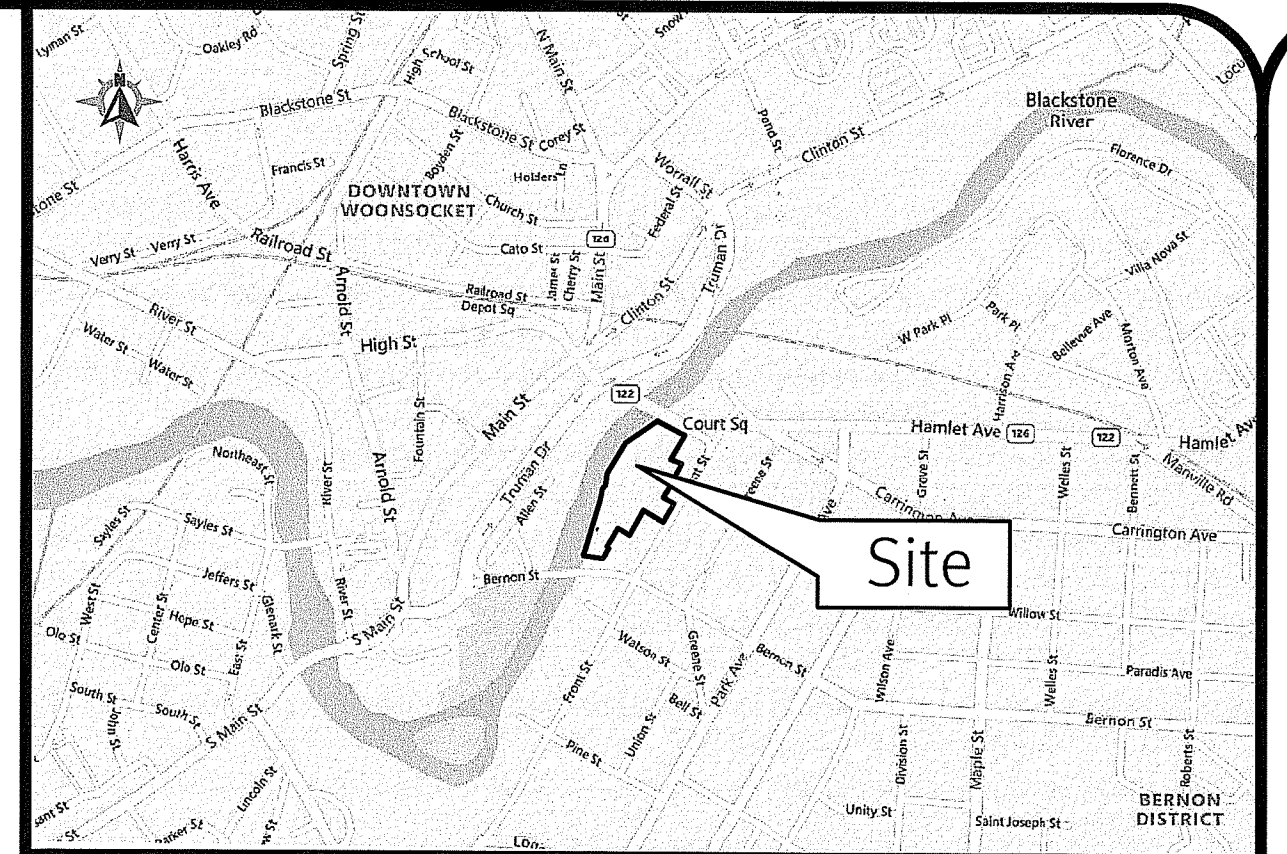


11/2/21
ROBERT G. BABCOCK, RIPLS #2504, COA #LS.000A160



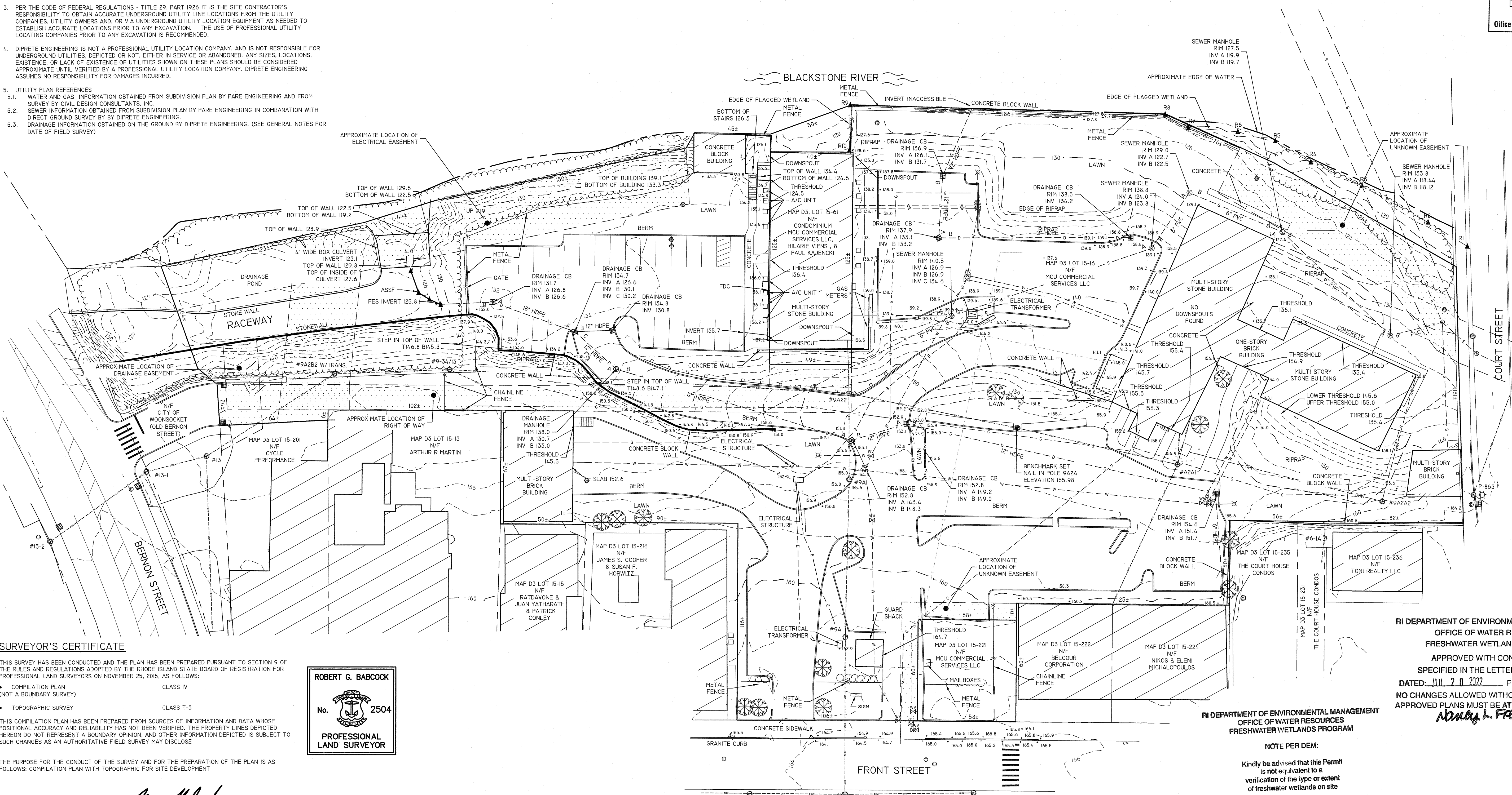
LEGEND

---	W	WATER LINE	125/1234	DEED BOOK/PAGE	○	BOLLARD
---	S	SEWER LINE	AP	ASSESSOR'S PLAT	⊗	SOIL EVALUATION
---	SFM	SEWER FORCE MAIN	HC	HANDICAPPED	⊞	CATCH BASIN
---	G	GAS LINE	N/F	NOW OR FORMERLY	⊞	DOUBLE CATCH BASIN
---	E	ELECTRIC LINE	LC	LANDSCAPING	⊞	WATER VALVE
---	OHW	OVERHEAD WIRES	(R)	RECORD	⊞	GAS VALVE
---	D	DRAINAGE LINE	(CA)	CHORD ANGLE	▲B-I	WETLAND FLAG
---	I	MINOR CONTOUR LINE	△	NAIL/SPIKE	⊞	DRAINAGE MANHOLE
---	S	MAJOR CONTOUR LINE	⊙	DRILL HOLE	⊞	FLARED END SECTION
---	---	PROPERTY LINE	⊙	IRON ROD/PIPE	⊞	GUY POLE
---	---	ASSESSORS LINE	⊞	BOUND	⊞	ELECTRIC MANHOLE
---	---	TREELINE	⊞	SIGN POST	⊞	UP UTILITY/POWER POLE
---	---	GUARDRAIL	⊞	SEWER MANHOLE	⊞	LIGHTPOST
---	---	FENCE	⊞	SEWER CLEANOUT	⊞	WELL
---	---	RETAINING WALL	⊞	HYDRANT	⊞	MONITORING WELL
---	---	STONE WALL	⊞	IRRIGATION VALVE	⊞	BENCH MARK
---	---	---	⊞	UNKNOWN MANHOLE	⊞	TREE



LOCUS MAP Not To Scale

RI Environmental Management
DEC 20 2021
Office of Water Resources



RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS AS
SPECIFIED IN THE LETTER OF APPROVAL
DATED: 11/17/2022 FILE #: 21-0330
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE
Nancy L. Freeman

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM

NOTE PER DEM:

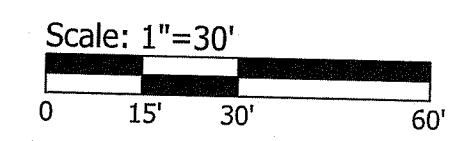
Kindly be advised that this Permit
is not equivalent to a
verification of the type or extent
of freshwater wetlands on site

SCALE: 1"=30'
0 15' 30' 60'

TOPOGRAPHIC SURVEY
115 FRONT STREET
WOONSOCKET, RHODE ISLAND

PREPARED FOR:
PARE ENGINEERING CORP.
10 LINCOLN ROAD, SUITE 210
FOXBORO, MA 02035

SHEET 1 OF 1



REFERENCE

- PROJECT LOCATION: 115, 119 FRONT STREET, WOONSOCKET, RI 02895. ASSESSOR'S MAP D3, LOTS 15-16, & 15-61, ASSESSOR'S MAP D4, LOT 15-221.
- EXISTING CONDITIONS MAPPING TAKEN FROM PLAN ENTITLED "TOPOGRAPHIC SURVEY, 115 FRONT STREET" PREPARED BY DIPRETE ENGINEERING ASSOCIATES, INC. DATED SEPTEMBER 2, 2021.
- WETLAND FLAGS IDENTIFYING WETLAND RESOURCE AREAS WERE PLACED BY PARE CORPORATION ON APRIL 19, 2021 AND FIELD SURVEYED BY DIPRETE ENGINEERING, AND GPS LOCATED BY PARE CORPORATION ON DECEMBER 3, 2021.

GENERAL NOTES

- PER AVAILABLE RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL MANAGEMENT (RIDEM) MAPPING, THE PROJECT SITE IS LOCATED OUTSIDE OF A NATURAL HERITAGE AREA.
- THE STATE OF RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AMENDED MARCH 2018 WITH ALL REVISIONS AND ADDENDA, AND THE RHODE ISLAND STANDARD DETAILS ARE MADE A PART HEREOF AS FULLY AND COMPLETELY AS IF ATTACHED HERETO. ALL WORK SHALL MEET OR EXCEED THE RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, WITH LATEST REVISIONS. THE LATEST REVISION OF THE STANDARD SPECIFICATIONS MAY BE OBTAINED AT THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION.
- THE CONTRACTOR SHALL MAKE ALL NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN ALL NECESSARY CONSTRUCTION PERMITS, PAY ALL FEES AND POST ALL BONDS ASSOCIATED WITH THE SAME, AND COORDINATE WITH THE ENGINEER AND OWNER'S REPRESENTATIVE AS REQUIRED.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY AND PREPARE THEIR OWN SITE-SPECIFIC HEALTH AND SAFETY PLAN BEFORE COMMENCING WORK. THE CONTRACTOR SHALL PROVIDE TEMPORARY FENCING AND/OR BARRIERS AROUND ALL OPEN EXCAVATED AREAS IN ACCORDANCE WITH OSHA FEDERAL, STATE, AND LOCAL REQUIREMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS DO NOT CONFLICT WITH ANY KNOWN EXISTING OR OTHER PROPOSED IMPROVEMENTS. IF ANY CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE ENGINEER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITE WORK WHICH WOULD BE AFFECTED. NO FIELD ADJUSTMENTS IN THE LOCATION OF SITE ELEMENTS SHALL BE MADE WITHOUT THE ENGINEER'S APPROVAL.
- IF ANY DEVIATION OR ALTERATION OF THE WORK PROPOSED ON THESE DRAWINGS IS REQUIRED, THE CONTRACTOR SHALL IMMEDIATELY CONTACT AND COORDINATE ANY DEVIATIONS WITH THE ENGINEER AND OWNER.
- ANY AREA OUTSIDE OF THE LIMIT OF WORK THAT IS DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER.
- ALL SITE WORK SHALL MEET OR EXCEED THE SITE WORK SPECIFICATIONS PREPARED FOR THIS PROJECT.
- ALL SIGNS SHALL BE REFLECTORIZED TYPE III SHEETING AND CONFORM WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION.
- ALL UTILITIES (LOCATION AND ELEVATION) DEPICTED SHALL BE CONSIDERED APPROXIMATE ONLY. BEFORE COMMENCING SITE WORK IN ANY AREA, CONTACT "DIG SAFE" AT 1-888-DIG-SAFE (1-888-344-7233) TO ACCURATELY LOCATE UNDERGROUND UTILITIES. ANY DAMAGE TO EXISTING UTILITIES OR STRUCTURES AND THE COST TO REPAIR THE DAMAGES TO INITIAL CONDITIONS, AS DEPICTED ON THE PLANS, SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- NO EXCAVATION SHALL BE DONE UNTIL UTILITY COMPANIES ARE PROPERLY NOTIFIED IN ADVANCE. NOTE THAT NOT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT ALL RESPECTIVE UTILITY COMPANIES TO VERIFY AND LOCATE EXISTING UTILITIES.
- THE CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH THE EXISTING SITE ENVIRONMENTAL LAND USE RESTRICTION AND SOIL MANAGEMENT PLAN.

LAYOUT NOTES

- ALL LINES ARE PERPENDICULAR OR PARALLEL TO THE LINES FROM WHICH THEY ARE MEASURED UNLESS OTHERWISE INDICATED.
- ACCESSIBLE RAMPS SHALL BE PER THE AMERICANS WITH DISABILITIES ACT (ADA) ACCESSIBILITY GUIDELINES.
- PRIOR TO COMMENCING WORK, THE CONTRACTOR SHALL PERFORM BENCHMARK FIELD LEVEL VERIFICATION AND COORDINATE LAYOUT CHECK. THE CONTRACTOR SHALL CONTACT THE ENGINEER IF ANY DISCREPANCIES ARE FOUND.
- DIMENSIONS OF PARKING SPACES AND DRIVEWAYS ARE FROM FACE OF CURB TO FACE OF CURB. DIMENSIONS FROM BUILDING ARE FROM FACE OF BUILDING TO FACE OF CURB.
- ALIGN WALKWAYS ON DOORWAYS THEY SERVE TO PROVIDE MINIMUM REQUIRED MANEUVERING CLEARANCE IN ACCORDANCE WITH THE AMERICAN WITH DISABILITIES ACT (ADA) ACCESSIBILITY GUIDELINES.

DEMOLITION NOTES

- THE CONTRACTOR SHALL COORDINATE ALL DEMOLITION OF STRUCTURES, PAVEMENT AND CONCRETE MATERIALS, AND UTILITIES WITH APPROPRIATE PROPOSED SITE GENERAL, GRADING, UTILITY, AND LANDSCAPING DRAWINGS.
- ALL NOTED UTILITIES TO BE REMOVED AND DISPOSED OF, RELOCATED OR CAPPED REPRESENT ALL KNOWN SITE CONDITIONS TO BE DEMOLISHED. THE CONTRACTOR SHALL COORDINATE ALL UNFORESEEN CONDITIONS WITH THE PROJECT ENGINEER, OWNER AND/OR RESPECTIVE UTILITY COMPANIES PRIOR TO PROCEEDING WITH WORK.
- WATER, SEWER, DRAINAGE, GAS, AND OTHER SITE UTILITIES SERVICING THE EXISTING FACILITIES ARE TO REMAIN ACTIVE THROUGHOUT CONSTRUCTION. THERE SHALL BE NO INTERRUPTION OF UTILITY SERVICES DURING THE CONSTRUCTION OPERATION WITHOUT APPROVAL FROM THE OWNER.

GRADING AND UTILITY NOTES

- UNDERGROUND UTILITIES DEPICTED WERE COMPILED FROM AVAILABLE RECORD PLANS AND SHALL BE CONSIDERED APPROXIMATE ONLY. BEFORE COMMENCING SITE WORK IN ANY AREA, CONTACT "DIG SAFE" AT 1-888-DIG-SAFE (1-888-344-7233) TO ACCURATELY LOCATE UNDERGROUND UTILITIES. ANY DAMAGE TO EXISTING UTILITIES OR STRUCTURES DEPICTED OR NOT DEPICTED ON THE PLANS SHALL BE THE CONTRACTOR'S RESPONSIBILITY. COSTS TO REPAIR SUCH DAMAGES SHALL BE THE CONTRACTOR'S RESPONSIBILITY. NO EXCAVATION SHALL BE DONE UNTIL UTILITY COMPANIES ARE PROPERLY NOTIFIED.
- ALL WORK PERFORMED AND ALL MATERIALS FURNISHED SHALL CONFORM WITH THE LINES AND GRADES ON THE PLANS AND SITE WORK SPECIFICATIONS.
- AT ALL LOCATIONS WHERE EXISTING CURBING OR PAVEMENT ABUT NEW CONSTRUCTION, THE EDGE OF THE EXISTING CURB OR PAVEMENT SHALL BE SAWCUT TO A CLEAN, SMOOTH EDGE. BLEND NEW PAVEMENT AND CURBS SMOOTHLY INTO EXISTING BY MATCHING LINES, GRADES AND JOINTS.
- ALL UTILITY COVERS, GRATES, ETC. SHALL BE ADJUSTED TO BE FLUSH WITH THE SURROUNDING SURFACE OR PAVEMENT FINISH GRADE. RIM ELEVATIONS OF STRUCTURES AND MANHOLES ARE APPROXIMATE. FINAL ELEVATIONS ARE TO BE SET FLUSH AND CONSISTENT WITH THE GRADING PLANS.
- THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION OF PRIVATE UTILITIES BY THE UTILITY COMPANIES, AS REQUIRED.
- WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR AND THE INFORMATION SHALL BE PROVIDED ON A SKETCH TO SCALE OF THE EXISTING UTILITY WITH TIES TO KNOWN POINTS, PHOTOS AND FURNISHED TO THE ENGINEER FOR RESOLUTION.
- THE CONTRACTOR SHALL PROTECT ALL UNDERGROUND DRAINAGE, SEWER AND UTILITY FACILITIES FROM EXCESSIVE VEHICULAR LOADS DURING CONSTRUCTION. ANY DAMAGE TO THESE FACILITIES RESULTING FROM CONSTRUCTION LOADS SHALL BE RESTORED TO ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER.
- GAS, ELECTRIC, AND COMMUNICATIONS ROUTING ARE SUBJECT TO REVIEW AND APPROVAL BY APPROPRIATE UTILITY COMPANIES.
- DURING CONSTRUCTION OPERATIONS, THE CONTRACTOR SHALL PROTECT EXISTING UTILITIES BY PROVIDING TEMPORARY SUPPORTS OR SHEETING AS REQUIRED AT NO ADDITIONAL COST TO THE OWNER.
- ALL GRAVITY SANITARY PIPING SHALL BE SDR-35 PVC. ALL SEWER CONSTRUCTION SHALL CONFORM TO CHAPTER 18: "WATER AND SEWERS AND SEWAGE DISPOSAL" OF THE WOONSOCKET CITY ORDINANCE.
- ALL WATER LINE BENDS AND TEES SHALL BE REINFORCED WITH THRUST BLOCKS. ALL WATER DISTRIBUTION PIPING AND FITTINGS MUST ADHERE TO THE LOCAL WATER JURISDICTION SPECIFICATIONS AND SHALL BE INSPECTED BEFORE, DURING, AND AFTER CONSTRUCTION PRIOR TO TAPPING THE SERVICE MAIN. THE CONTRACTOR SHALL COORDINATE AND CONFIRM ALL WATER DISTRIBUTION MATERIAL PRODUCTS WITH THE LOCAL WATER JURISDICTION PRIOR TO ORDERING OR PURCHASING PRODUCTS.
- EXCAVATION REQUIRED WITHIN THE PROXIMITY OF EXISTING UTILITY LINES SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATIONS AT NO ADDITIONAL COST TO THE OWNER.
- PITCH EVENLY BETWEEN SPOT GRADES. ALL PAVED AREAS MUST PITCH TO DRAIN AT A MIN. OF 1/8" PER FOOT UNLESS SPECIFIED OTHERWISE.
- THE PROPOSED WALKWAYS SHALL HAVE A MAXIMUM CROSS SLOPE OF 2% AND A MAXIMUM RUNNING SLOPE OF 5% AS SHOWN ON CONSTRUCTION DETAILS AND GRADING PLAN.

ABBREVIATIONS

ADA = AMERICANS WITH DISABILITIES ACT	MAX. = MAXIMUM
ASSF = AREA SUBJECT TO STORM FLOWAGE	MIN. = MINIMUM
BM = BENCHMARK	MON. = MONITORING
BMP = BEST MANAGEMENT PRACTICE	N.T.S. = NOT TO SCALE
BIT. = BITUMINOUS	OSHA = OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION
BOT. = BOTTOM	OVS = OUTLET CONTROL STRUCTURE
BC = BOTTOM OF CURB (FINISHED GRADE ON LOW SIDE OF CURB)	PERF. = PERFORATED
BS = BOTTOM OF STAIR (FINISHED GRADE AT BOTTOM STAIR)	PE = POLYETHYLENE
BW = BOTTOM OF WALL (FINISHED GRADE ON LOW SIDE OF WALL)	PVC = POLYVINYL CHLORIDE
CI = CAST IRON	R=X = RADIUS (IN FEET)
CB = CATCH BASIN, 4' DIA. UNLESS OTHERWISE NOTED	RCP = REINFORCED CONCRETE PIPE
CLOI = CEMENT-LINED DUCTILE IRON	RIDEM = RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
CL = CLASS	RIDOT = RHODE ISLAND DEPARTMENT OF TRANSPORTATION
CLSM = CONTROLLED LOW STRENGTH MATERIAL	RIHP = RHODE ISLAND HIGHWAY PLAT
CO = CLEANOUT	RIPDES = RHODE ISLAND POLLUTION DISCHARGE ELIMINATION SYSTEM
CONC. = CONCRETE	R.I. STD. = RHODE ISLAND STANDARD
CC = CONCRETE CURB, VERTICAL	SHW = SEWER MANHOLE
DEMO = DEMOLITION	SWL = SINGLE SOLID WHITE LINE
DIA = DIAMETER	SESC = SOIL EROSION AND SEDIMENT CONTROL
DIV = DIVERSION	SDR = STANDARD DIMENSIONAL RATIO
DYL = DOUBLE YELLOW LINE	TD = TEMPORARY DIVERSION
DMH = DRAIN MANHOLE	TST = TEMPORARY SEDIMENT TRAP
EOP = EDGE OF PAVEMENT	TSW = TEMPORARY SWALE
ELEV.EL. = ELEVATION	TP = TEST PIT
ELUR = ENVIRONMENTAL LAND USE RESTRICTION	TC = TOP OF CURB
EX. = EXISTING	TS = TOP OF STAIR (FINISHED GRADE OF TOP STAIR)
EXCB = EXISTING CATCH BASIN	TW = TOP OF WALL
EXOMH = EXISTING DRAIN MANHOLE	TP. = TYPICAL
FFE = FINISH FLOOR ELEVATION	UP = UTILITY POLE
FT = FOOT	VOC = VERTICAL GRANITE CURB
FND. = FOUND	VC = VITRIFIED CLAY
GTD = GRADE TO DRAIN	WD = WOONSOCKET DATUM
GRAN. = GRANITE	WPM = WATER PAINT MARK
HDPE = HIGH DENSITY POLYETHYLENE PIPE	W/ = WITH
HMA = HOT MIX ASPHALT	YD = YARD DRAIN
HYD = HYDRANT	
I.D. = INNER DIAMETER	
INV. = INVERT	
LOD = LIMIT OF DISTURBANCE	
LP = LOW POINT	
MUTCD = MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION	

EROSION AND SEDIMENTATION CONTROL NOTES -- RHODE ISLAND

- THE CONTRACTOR AND RELEVANT SUBCONTRACTORS SHALL READ AND UNDERSTAND THE RIPDES GENERAL PERMIT FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY (GENERAL PERMIT) AND THE SITE SPECIFIC SOIL EROSION AND SEDIMENT CONTROL PLAN (SESC) PREPARED FOR THE PROJECT. ALL EROSION CONTROLS SHALL BE IN ACCORDANCE WITH THE RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST REVISION.
- THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE CONDITIONS ISSUED FOR THE PROJECT BY RIDEM AND BE RESPONSIBLE FOR CONFORMANCE WITH ALL PERMIT REQUIREMENTS AND CONSTRUCTION DOCUMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING OR INSTALLING ALL TEMPORARY SEDIMENT AND EROSION CONTROLS AS SHOWN ON THESE PLANS AND SHALL MAINTAIN ALL EROSION CONTROL MEASURES AS NECESSARY DURING THE ENTIRE CONSTRUCTION PERIOD.
- ANTI-TRACKING PADS (R.I. STD. DETAIL 9.9.0) SHALL BE PROVIDED AT ALL POINTS OF VEHICULAR INGRESS AND EGRESS ON THE CONSTRUCTION SITE AND SHALL BE MAINTAINED TO LIMIT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROADS.
- EROSION CONTROL BARRIERS SHALL BE INSTALLED AS SHOWN ON THE EROSION CONTROL PLAN PRIOR TO COMMENCEMENT OF CONSTRUCTION OPERATIONS.
- SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED ON A WEEKLY BASIS AND AFTER EACH STORM EVENT OF 0.25 INCH OR GREATER DURING CONSTRUCTION TO ENSURE THAT CHANNELS, DITCHES AND PIPES ARE CLEAR OF DEBRIS AND THAT THE EROSION CONTROL BARRIERS ARE INTACT. IDENTIFIED DEFICIENCIES SHALL BE CORRECTED IMMEDIATELY.
- DUST SHALL BE CONTROLLED BY WATERING OR OTHER APPROVED METHODS AS NECESSARY, OR AS DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL CLEAN AND MAINTAIN EROSION CONTROL BARRIER WHEN SEDIMENT ACCUMULATES TO ONE HALF THE HEIGHT OF THE BARRIER. MATERIAL COLLECTED FROM THE SEDIMENTATION BARRIERS SHALL BE REMOVED AS NECESSARY AND DISPOSED IN AN UPLAND AREA.
- THE CONTRACTOR SHALL SCHEDULE HIS WORK TO ALLOW THE FINISHED SUBGRADE ELEVATIONS TO DRAIN PROPERLY WITHOUT PONDING. SPECIFICALLY, ALLOW WATER TO ESCAPE WHERE PROPOSED CURB MAY RETAIN RUNOFF PRIOR TO APPLICATION OF SURFACE PAVING. PROVIDE TEMPORARY POSITIVE DRAINAGE, AS REQUIRED, TO STABILIZED DISCHARGE POINTS.
- INSTALLATION OF THE EROSION CONTROL BARRIERS AS ILLUSTRATED IS INTENDED TO REPRESENT THE MINIMUM SEDIMENTATION CONTROL FACILITIES NECESSARY TO MEET ANTICIPATED SITE CONDITIONS. ADDITIONAL EROSION CONTROL MEASURES SHALL BE IMPLEMENTED AS CONDITIONS WARRANT OR AS DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE.
- REQUIRED SEDIMENTATION CONTROL FACILITIES MUST BE PROPERLY ESTABLISHED, CLEARLY VISIBLE AND IN OPERATION PRIOR TO INITIATING ANY LAND CLEARING ACTIVITY AND/OR OTHER CONSTRUCTION RELATED WORK. SUCH FACILITIES SHALL REPRESENT THE LIMIT OF WORK. WORKERS SHALL BE INFORMED THAT NO CONSTRUCTION ACTIVITY IS TO OCCUR BEYOND THE LIMIT OF WORK AT ANY TIME THROUGHOUT THE CONSTRUCTION PERIOD.
- THE CONTRACTOR SHALL MAINTAIN A SUFFICIENT RESERVE OF VARIOUS EROSION CONTROL MATERIALS ONSITE AT ALL TIMES FOR EMERGENCY PURPOSES OR ROUTINE MAINTENANCE.
- EXISTING AND NEWLY INSTALLED CATCH BASINS AND STORM DRAIN INLETS SHALL BE PROTECTED WITH APPROPRIATE TEMPORARY INLET PROTECTION IN ACCORDANCE WITH THE RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK.
- DEWATERING WASTE WATERS PUMPED FROM EXCAVATIONS SHALL BE CONVEYED BY HOSE TO AN UPLAND AREA AND DISCHARGED INTO STRAW BALE CORALS OR SEDIMENTATION BAGS.
- THE CONTRACTOR SHALL NOT REMOVE ANY TEMPORARY SEDIMENT CONTROL BARRIERS UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN PERMANENTLY STABILIZED.
- CONSTRUCTION SITE WASTE MATERIALS SHALL BE PROPERLY CONTAINED ONSITE AND DISPOSED OFF SITE AT A LOCATION IN ACCORDANCE WITH THE LOCAL AND STATE REGULATIONS.
- RIP-RAP OR OTHER ENERGY DISSIPATERS SHALL BE USED WHERE NECESSARY TO PREVENT SCOUR.
- ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 14 DAYS UPON COMPLETION OF WORK IN THAT AREA.
- ALL DRAINAGE STRUCTURES SHALL BE CLEARED OF ACCUMULATED SEDIMENT PRIOR TO ACCEPTANCE OF FINAL PROJECT.
- NEWLY VEGETATED AREAS SHALL BE MAINTAINED REGULARLY TO ENSURE STABLE VEGETATED SURFACES.
- EROSION AND SEDIMENTATION CONTROLS SHALL BE UTILIZED AS SHOWN ON THE PLANS. POTENTIAL EROSION AND SEDIMENTATION PROBLEMS ASSOCIATED WITH THE CONSTRUCTION OF THE PROJECT SHALL BE AVOIDED THROUGH THE PROJECT SCHEDULING AND THE USE OF APPROPRIATE STANDARD CONTROLS (RHODE ISLAND SOIL EROSION AND SEDIMENTATION CONTROL HANDBOOK) AS ILLUSTRATED ON THE PROJECT PLANS.
- WHERE EROSION CONTROLS ARE NEEDED ON IMPERVIOUS SURFACES, THE CONTRACTOR SHALL PROVIDE SAND BAG EROSION CONTROL BARRIER.
- TEMPORARY DIVERSION (TD) MAY CONSIST OF A DITCH OR SWALE, OR MAY BE ACHIEVED USING WOOD CHIPS, COIR LOGS, OR SIMILAR MATERIALS.
- TEMPORARY SEDIMENT TRAPS (TST) AND TEMPORARY SWALES (TSW) SHALL BE SIZED BY THE CONTRACTOR USING THE PARAMETERS CONTAINED IN THE RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK.
- EROSION SHALL BE MANAGED DURING AND AFTER CONSTRUCTION AND STORMWATER FROM NEW IMPERVIOUS SURFACE RESULTING FROM DEVELOPMENT SHALL BE MANAGED AFTER CONSTRUCTION PER SECTION 8.7 OF THE CITY'S SUBDIVISION REGULATIONS AND CHAPTERS 7.5 AND 7.75 OF THE CITY'S CODE OF ORDINANCES.

STORMWATER MANAGEMENT SYSTEM INSPECTION AND MAINTENANCE NOTES

DURING CONSTRUCTION (CONTRACTOR'S RESPONSIBILITY)

- THE CONTRACTOR SHALL REMOVE SEDIMENT AND DEBRIS FROM ALL CATCH BASINS, MANHOLES, AND THE DRAINAGE SYSTEM ON A ROUTINE BASIS, IMMEDIATELY FOLLOWING SITE STABILIZATION, AND PRIOR TO PROJECT COMPLETION AND ACCEPTANCE.
- THE CLOSED DRAINAGE SYSTEM AND ASSOCIATED STRUCTURES SHALL BE CLEANED AND FLUSHED BY THE CONTRACTOR AT THE COMPLETION OF CONSTRUCTION, AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTION AND MAINTENANCE OF THE DRAINAGE SYSTEM UNTIL ACCEPTANCE OF THE SYSTEM BY THE ENGINEER AND THE CITY OF WOONSOCKET. FOLLOWING ACCEPTANCE OF THE PROPOSED DRAINAGE SYSTEM, THE OWNER OF THE SITE SHALL BE RESPONSIBLE FOR THE LONG-TERM INSPECTION AND MAINTENANCE OF THE DRAINAGE SYSTEM.
- ANY ACCUMULATION OF PONDING WATER IN AREAS WITHIN THE LIMITS OF DISTURBANCE, OTHER THAN DESIGNATED AREAS, SHALL BE REMOVED ACCORDINGLY AND PREVENTED IN THE FUTURE.

POST CONSTRUCTION (OWNER'S RESPONSIBILITY)

- TRASH, LITTER, SEDIMENT AND OTHER DEBRIS SHALL BE REMOVED FROM ANY STORMWATER MANAGEMENT SYSTEM FACILITY (INCLUDING BUT NOT LIMITED TO CATCH BASINS, MANHOLES, INLET, OUTLET AND DIVERSION STRUCTURES, AND STORMWATER BEST MANAGEMENT PRACTICES (BMPs)) A MINIMUM OF TWO TIMES PER YEAR, PREFERABLY IN THE SPRING AND FALL.
- THE PARKING LOT AND ENTRY DRIVE SHALL BE SWEEP BY THE OWNER AS EARLY AS POSSIBLE EVERY SPRING AND ONCE IN THE FALL TO REMOVE SEDIMENTS.
- ALL CLEANING AND MAINTENANCE OF STORMWATER MANAGEMENT SYSTEMS POST-CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE OWNER.

CATCH BASINS WITH SUMPS INSPECTION, MAINTENANCE, AND REPAIR NOTES

- INSPECTIONS SHALL BE PERFORMED A MINIMUM OF TWO TIMES PER YEAR (SPRING/FALL). UNITS SHALL BE CLEANED ANNUALLY AND WHENEVER THE DEPTH OF SEDIMENT IS GREATER THAN OR EQUAL TO HALF THE SUMP DEPTH.
- THE INLET GRATE SHALL NOT BE WELDED TO THE FRAME OR PAVED OVER SO THAT THE SUMP CAN BE EASILY INSPECTED AND MAINTAINED.
- CARE SHALL BE TAKEN TO AVOID DAMAGING AND DISPLACING HOODS PLACED ON HOODED OUTLETS DURING CLEANING.

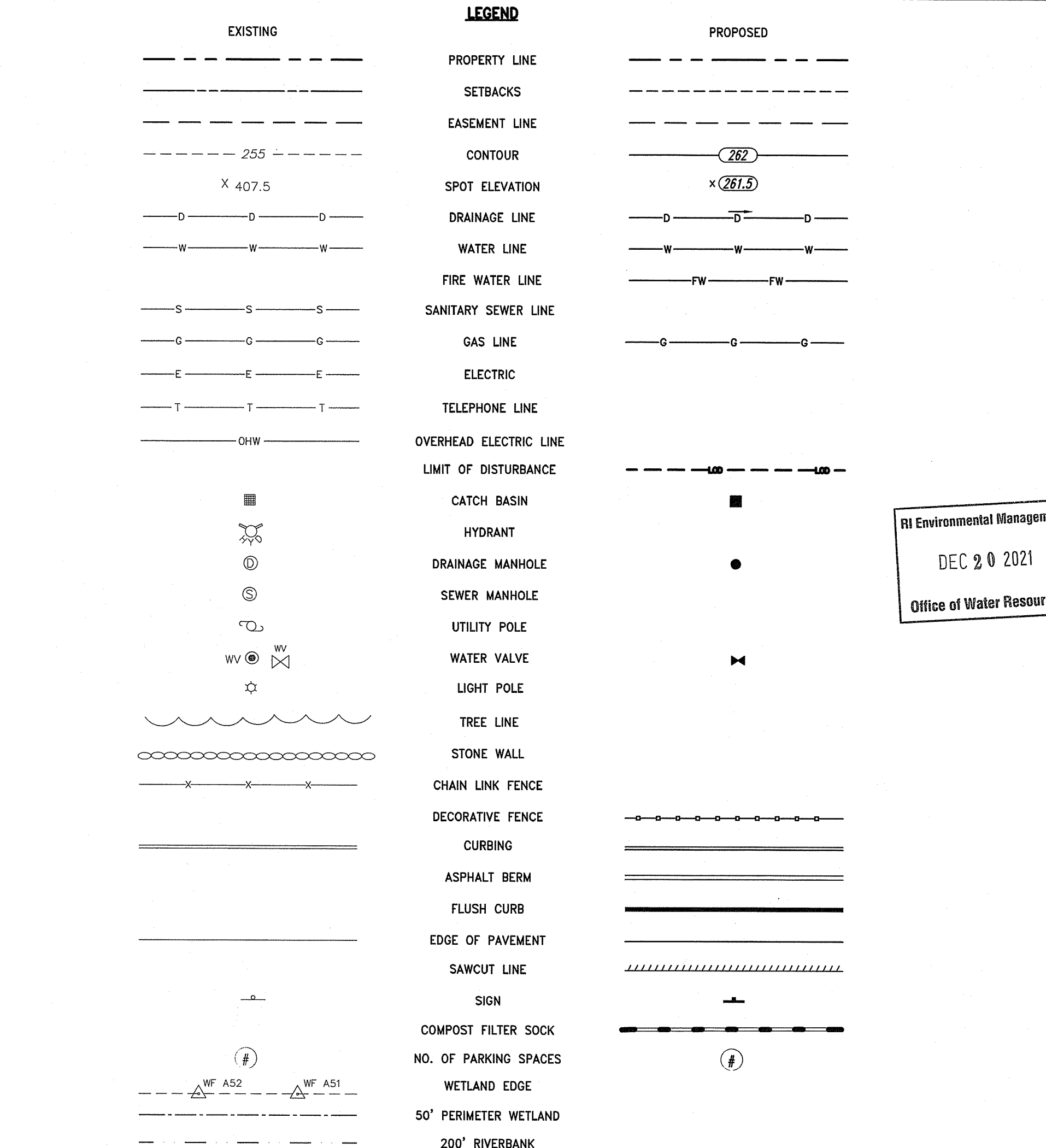
SEDIMENT FOREBAY INSPECTION, MAINTENANCE, AND REPAIR NOTES

FOLLOWING CONSTRUCTION, THE COMPLETION OF THE INSPECTION AND MAINTENANCE REQUIREMENTS BELOW SHALL BE THE RESPONSIBILITY OF THE OWNER.

- SEDIMENT FOREBAY SHALL BE INSPECTED A MINIMUM OF TWO TIMES PER YEAR AND AFTER EVERY STORM OF 2.7" INCH OR GREATER FOR TRASH, DEBRIS, SEDIMENT, EROSION, STANDING WATER, AND OVERALL PERFORMANCE. DEFECTS SHALL BE REPAIRED BY THE OWNER.
- SEDIMENT FOREBAYS SHALL BE CLEANED IF SEDIMENT REACHES HALF THE DESIGN DEPTH.
- SEDIMENT FOREBAY CHECK DAMS SHALL BE REPLACED IF DRAWDOWN TIMES WITHIN THE SEDIMENT FOREBAY EXCEED 48 HOURS FOLLOWING THE STORM EVENT.
- ALL SEDIMENTS REMOVED SHALL BE DISPOSED OF AT AN APPROVED AND PERMITTED LOCATION.
- VEGETATION SHALL NOT EXCEED 18" IN HEIGHT IN THE SEDIMENT FOREBAYS.

BIORETENTION AREA INSPECTION, MAINTENANCE, AND REPAIR NOTES

- FOLLOWING FIRST 6 MONTHS AFTER CONSTRUCTION
 - INSPECT BIORETENTION AREA AFTER FIRST TWO RAINFALL EVENTS OF 1" OR MORE.
- FOLLOWING STORM EVENTS WITH RAINFALL EXCEEDING 2.7"
 - INSPECT BIORETENTION AREA FOR TRASH, DEBRIS, SEDIMENT, EROSION, STANDING WATER, AND OVERALL PERFORMANCE. DEFECTS SHALL BE REPAIRED BY OWNER.
- BI-ANNUALLY
 - INSPECT BIORETENTION AREA A MINIMUM OF TWO TIMES PER YEAR, PREFERABLY IN APRIL AND OCTOBER. SEDIMENT SHALL BE REMOVED FROM BIORETENTION AREA IF THE SEDIMENT EXCEEDS 1".
 - MOW SIDE SLOPES AND BOTTOM OF BIORETENTION AREA A MINIMUM OF TWO TIMES PER YEAR.
- QUARTERLY
 - INSPECT BIORETENTION AREA OUTLET CONTROL STRUCTURE AND ALL OVERFLOW CHANNELS. THE OWNER SHALL STABILIZE ERODED BANKS AND REPAIR ERODED AREAS AT INFLOW AND OUTFLOW STRUCTURES AS NECESSARY.
- IF SEDIMENT BUILD-UP HAS LIMITED THE FILTERING CAPABILITIES TO BELOW THE DESIGN RATE OR PONDING HAS EXCEEDED 48 HOURS THE FOLLOWING SHALL BE COMPLETED:
 - THE TOP 6" OF SOIL SHALL BE REMOVED AND DISPOSED AT A PERMITTED LOCATION.
 - THE EXPOSED SURFACE SHALL BE SCARIFIED.
 - THE TOP 6" SHALL BE RESTORED TO THE ORIGINAL DESIGN SPECIFICATIONS.
- TRASH AND DEBRIS SHALL BE REMOVED FROM BIORETENTION AREA AS NECESSARY.



LEGEND:	
ATD = ASPHALT TURNDOWN	RA = RAILING
ATG = ADJUST TO GRADE	RLS = RIPRAP LEVEL SPREADER (SEE DETAIL)
BOL = BOLLARD	RRS = RIPRAP SLOPE
CFS = COMPOST FILTER SOCK (SEE DETAIL)	RS = RIPRAP SPILLWAY (SEE DETAIL)
CG = CLEAR AND GRUB VEGETATION	RTAD = REFER TO ARCHITECTURAL DRAWINGS
CM = SAWCUT AND MATCH	RTED = REFER TO ELECTRICAL DRAWINGS
CP = CONCRETE PAD	RTFPD = REFER TO FIRE PROTECTION DRAWINGS
CSTR = CONCRETE STAIRS (SEE DETAIL)	RTLDO = REFER TO LANDSCAPE DRAWINGS
CTE = CONNECT TO EXISTING	RTMD = REFER TO MECHANICAL DRAWINGS
CW = CROSSWALK (SEE DETAIL)	RTPD = REFER TO PLUMBING DRAWINGS
DAC = REMOVE AND DISPOSE ASPHALT CURB	RTSD = REFER TO STRUCTURAL DRAWINGS
DB = REMOVE AND DISPOSE BOLLARD	R&D = REMOVE AND DISPOSE
DC = REMOVE AND DISPOSE CURB	SB = SAND BAG BARRIER
DCP = REMOVE AND DISPOSE CONCRETE PAD	SFOD = SEDIMENT FOREBAY CHECK DAM (SEE DETAIL)
DCW = REMOVE AND DISPOSE CONCRETE WALK	SHP = HANDICAP PARKING PAVEMENT MARKING (SEE DETAIL)
DD = REMOVE AND DISPOSE DRAINAGE	SM = SEDIMENT MARKER
DF = REMOVE AND DISPOSE FENCE	SRW = SEGMENTAL BLOCK RETAINING WALL
DFF = REMOVE AND DISPOSE FLEXIBLE PAVEMENT	TDS = TEMPORARY FOREBAY SWALE
DG = REMOVE AND DISPOSE GAS	TCP = TREE GROUP PROTECTION
DLP = REMOVE AND DISPOSE LIGHT POLE	TIP = TEMPORARY INLET PROTECTION
DW = REMOVE AND DISPOSE WATER	TRM = TURF REINFORCEMENT MAT
ETR = EXISTING TO REMAIN. PROTECT DURING CONSTRUCTION.	TST = TEMPORARY SEDIMENT TRAP
GV = GATE VALVE	VCP = VEHICULAR CONCRETE PAVEMENT
HMA = HOT MIXED ASPHALT PAVEMENT (SEE DETAIL)	4W = 4" SOLID WHITE EPOXY RESIN PAVEMENT MARKING
PCFES = PRECAST CONCRETE FLARED END SECTION	12W = 12" SOLID WHITE EPOXY RESIN PAVEMENT MARKING

RIPRAP STANDARD LEGEND:

- 4.2.0 = PRECAST 4'-0" ROUND MANHOLE -- R.I. STD. 4.2.0
- 7.1.0 = PRECAST CONCRETE CURB -- R.I. STD. 7.1.0
- 7.1.1 = 3'-0" PRECAST CONCRETE TRANSITION CURB -- R.I. STD. 7.1.1
- 7.1.2 = 6'-0" PRECAST CONCRETE TRANSITION CURB -- R.I. STD. 7.1.2
- 7.3.0 = SCALE CURB -- R.I. STD. 7.3.0
- 7.5.1 = BITUMINOUS BERM -- R.I. STD. 7.5.1
- 9.7.0 = DEWATERING BASIN -- R.I. STD. 9.7.0
- 9.9.0 = CONSTRUCTION ACCESS -- R.I. STD. 9.9.0
- 34.4.0 = STEEL BACKED TIMBER GUARDRAIL -- R.I. STD. 34.4.0
- 43.1.0M = CEMENT CONCRETE SIDEWALK (MODIFIED) -- R.I. STD. 43.1.0M
- 43.3.0M = WHEELCHAIR RAMP -- R.I. STD. 43.3.0
- 43.3.1M = WHEELCHAIR RAMP FOR LIMITED RIGHT-OF-WAY AREAS -- R.I. STD. 43.3.1M
- 43.4.0 = DRIVEWAY DEVELOPMENT FOR 3'-0" TRANSITION CURB -- R.I. STD. 43.4.0
- 43.5.0 = CEMENT CONCRETE DRIVEWAYS -- R.I. STD. 43.5.0
- 48.1.0M = DETECTABLE WARNING SYSTEM (MODIFIED) -- R.I. STD. 48.1.0M

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM

NOTE PER DEM:

Kindly be advised that this Permit
is not equivalent to a
verification of the type or extent
of freshwater wetlands on site



OWNER:

BRISA BERNON MILLS, L.P.
119 FRONT STREET, #401
WOONSOCKET, RI 02895

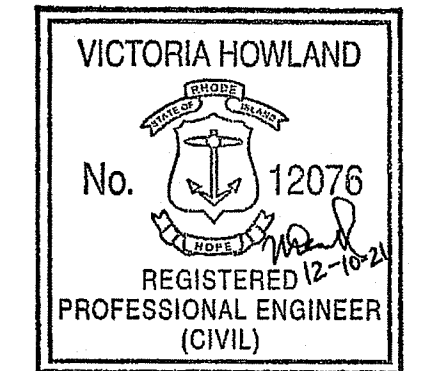
APPLICANT:

BRISA DEVELOPMENT, LLC
2009 FLATBUSH AVENUE
NEW YORK, NY 11234

SCALE ADJUSTMENT GUIDE
0' 1'
BAR IS ONE INCH ON
ORIGINAL DRAWING

Bernon Mills Redevelopment

MAP D3, LOTS 1516 & 1561
MAP D4, LOT 15-221
115 & 119 Front Street
Woonsocket, Rhode Island



REVISIONS:

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	DEC 20 2021
2	REVISED FOR COMMENTS	JUL 20 2022
3	REVISED FOR COMMENTS	JUL 20 2022
4	REVISED FOR COMMENTS	JUL 20 2022
5	REVISED FOR COMMENTS	JUL 20 2022
6	REVISED FOR COMMENTS	JUL 20 2022
7	REVISED FOR COMMENTS	JUL 20 2022
8	REVISED FOR COMMENTS	JUL 20 2022
9	REVISED FOR COMMENTS	JUL 20 2022
10	REVISED FOR COMMENTS	JUL 20 2022

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT

OFFICE OF WATER RESOURCES

FRESHWATER WETLANDS PROGRAM

APPROVED WITH CONDITIONS AS

SPECIFIED IN THE LETTER OF APPROVAL

DATED: JUL 20 2022

FILE # 21-0330

NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Nancy L. Freeman

PROJECT NO.: 21022.00

DATE: DECEMBER 10, 2021

SCALE: NOT TO SCALE

DESIGNED BY: KM

CHECKED BY: VAH

DRAWN BY: AKL

APPROVED BY: VAH

DRAWING TITLE:

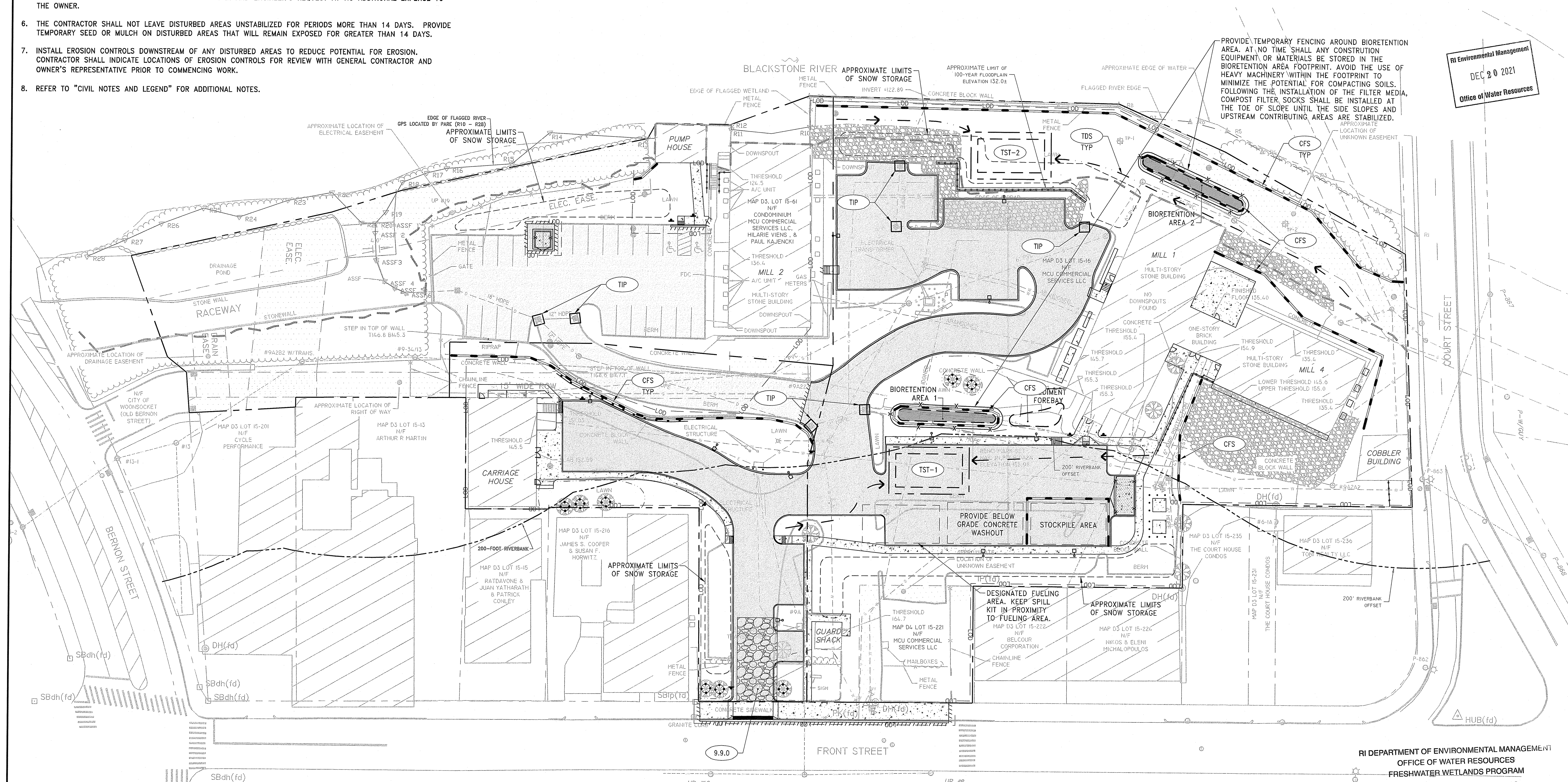
NOTES & LEGEND

DRAWING NO.: C1.1

SHEET NO. 4 OF 18

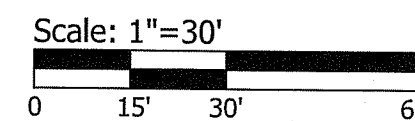
1. THE CONTRACTOR SHALL INSTALL EROSION CONTROLS PRIOR TO COMMENCING WORK.
2. THE EROSION AND SEDIMENTATION CONTROLS SHOWN ON THE PLANS ARE INTENDED TO REPRESENT THE MINIMUM CONTROLS NECESSARY TO MEET ANTICIPATED SITE CONDITIONS. ADDITIONAL MEASURES SHALL BE IMPLEMENTED AS CONDITIONS WARRANT OR AS DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE.
3. CONTRACTOR SHALL FURNISH, INSTALL, AND MAINTAIN SILT SACKS IN ALL EXISTING AND NEWLY INSTALLED CATCH BASINS UNTIL THE UPSTREAM AREA IS STABILIZED.
4. CONTRACTOR SHALL INSTALL AND MAINTAIN CONSTRUCTION ENTRANCES AT ALL POINTS OF EGRESS FROM THE SITE THROUGHOUT CONSTRUCTION.
5. THE CONTRACTOR SHALL MAINTAIN EROSION CONTROLS THROUGHOUT CONSTRUCTION. THE CONTRACTOR SHALL REPLACE DAMAGED EROSION CONTROLS AT THE OWNER AND ENGINEER'S REQUEST AT NO ADDITIONAL EXPENSE TO THE OWNER.
6. THE CONTRACTOR SHALL NOT LEAVE DISTURBED AREAS UNSTABILIZED FOR PERIODS MORE THAN 14 DAYS. PROVIDE TEMPORARY SEED OR MULCH ON DISTURBED AREAS THAT WILL REMAIN EXPOSED FOR GREATER THAN 14 DAYS.
7. INSTALL EROSION CONTROLS DOWNSTREAM OF ANY DISTURBED AREAS TO REDUCE POTENTIAL FOR EROSION. CONTRACTOR SHALL INDICATE LOCATIONS OF EROSION CONTROLS FOR REVIEW WITH GENERAL CONTRACTOR AND OWNER'S REPRESENTATIVE PRIOR TO COMMENCING WORK.
8. REFER TO "CIVIL NOTES AND LEGEND" FOR ADDITIONAL NOTES.

 TDS - TEMPORARY DIVERSION SWALE/BERM
 TST - TEMPORARY SEDIMENT TRAP
 TST LIMITS OF WET STORAGE AREA
 TST LIMITS OF DRY STORAGE AREA



NOTE PER DEM:
Kindly be advised that this Permit
is not equivalent to a
verification of the type or extent
of freshwater wetlands on site

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS AS
SPECIFIED IN THE LETTER OF APPROVAL
DATED: 11/11/2022 FILE #: 21-0330
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE
UTILITY ETC.
WITH SIGNATURE OF Nancy J. Freeman
(TYP)



OWNER:
BRISA BERNON MILLS, LP.
119 FRONT STREET, #401
WOONSOCKET, RI 02895

APPLICANT:
BRISA DEVELOPMENT, LLC
2009 FLATBUSH AVENUE
NEW YORK, NY 11234



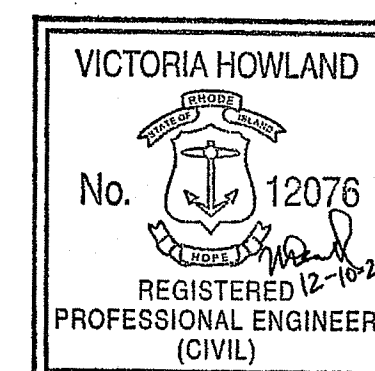
SCALE ADJUSTMENT GUIDE

0" 1"

BAR IS ONE INCH ON ORIGINAL DRAWING

Bernon Mills Redevelopment

MAP D3, LOTS 15-16 & 15-61
MAP D4, LOT 15-221
115 & 119 Front Street
Woonsocket, Rhode Island



REVISIONS

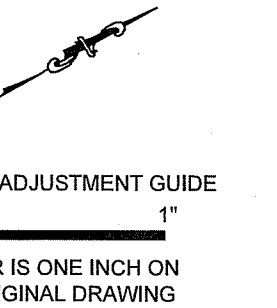
[illegible]

EROSION & SEDIMENT
CONTROL PLAN

DRAWING NO.:

C2.1

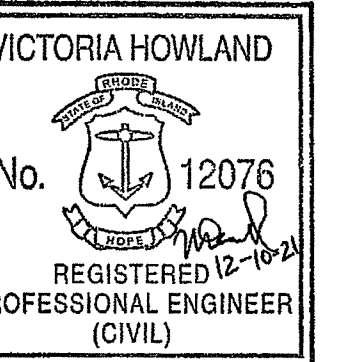
SHEET NO. 5 OF 18



Bernon Mills Redevelopment

MAP D3, LOTS 15-16 & 15-61

MAP D4, LOT 15-221
115 & 119 Front Street
Woonsocket, Rhode Island

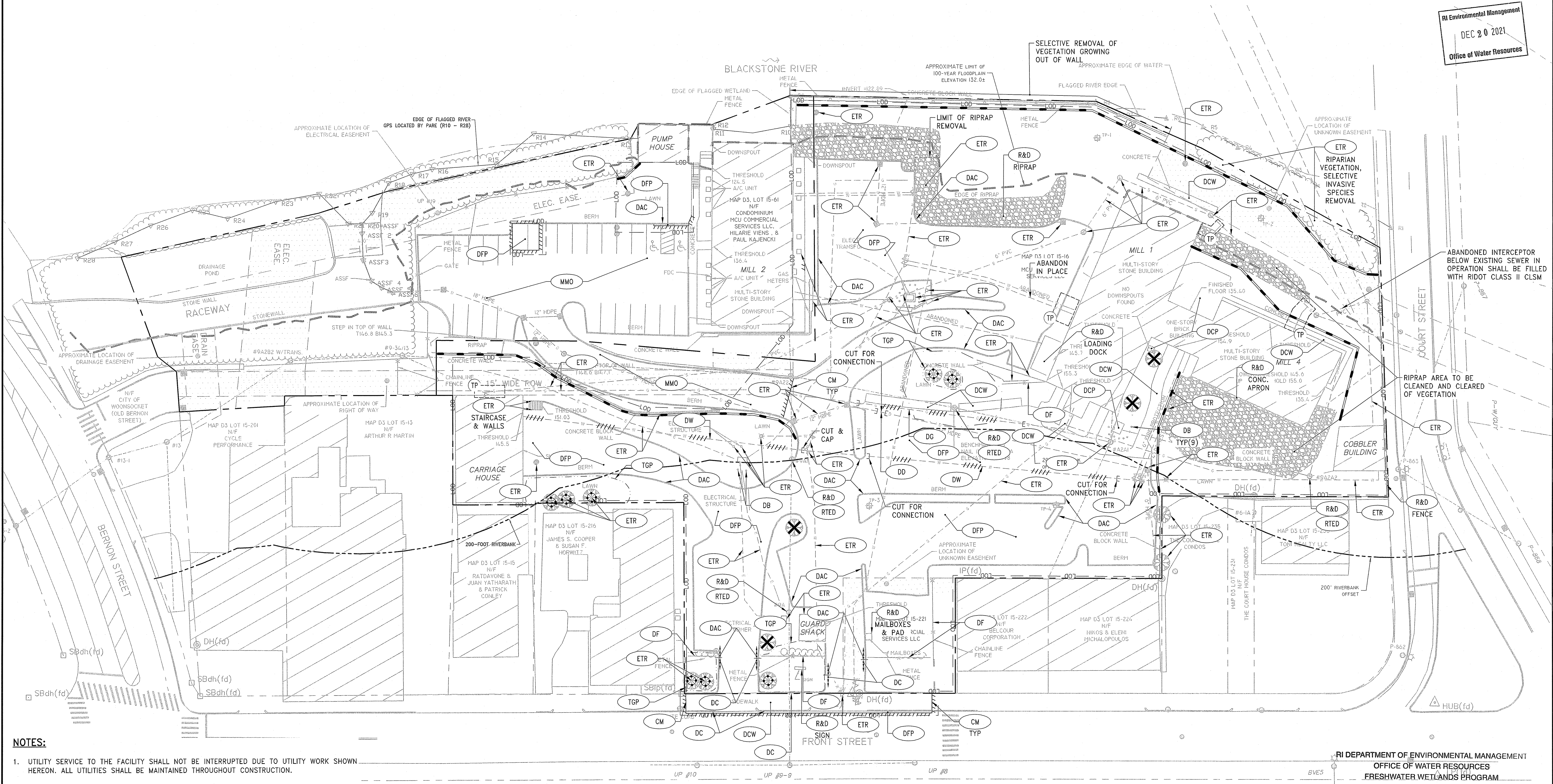
[illegible]

PROJECT NO.:	21022.00
DATE:	DECEMBER 10, 2021
SCALE:	1"=30'
DESIGNED BY:	KM
CHECKED BY:	VAH
DRAWN BY:	AKL
APPROVED BY:	VAH
DRAWING TITLE:	

DEMOLITION PLAN

AWING NO.: C3.1

HEET NO. 6 OF 18



NOTES:

1. UTILITY SERVICE TO THE FACILITY SHALL NOT BE INTERRUPTED DUE TO UTILITY WORK SHOWN HEREON. ALL UTILITIES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
2. PRIOR TO COMMENCING SITE WORK IN ANY AREA, THE CONTRACTOR SHALL LOCATE EXISTING UTILITIES WITHIN THE PROJECT AREA USING GROUND-PENETRATING RADAR OR OTHER NONDESTRUCTIVE SURVEY METHODS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY EXISTING UTILITIES OR STRUCTURES WITHIN THE PROJECT AREA DEPICTED AND NOT DEPICTED ON THE PLANS. ANY DAMAGE TO EXISTING WORKING UTILITIES OR STRUCTURES NOT INTENDED TO BE REMOVED SHALL BE RESTORED TO ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER.
3. PRIOR TO ANY UTILITY AND/OR DRAINAGE SYSTEM DEMOLITION, PROVISIONS FOR MAINTAINING THE UTILITY SHALL BE APPROVED BY THE OWNER OR THE OWNER'S REPRESENTATIVE BEFORE ANY RELATED WORK MAY COMMENCE.
4. ALL TEMPORARILY CUT UTILITIES SHALL BE PROTECTED FROM SEDIMENTATION UNTIL IT IS CONNECTED IN ITS POST-CONSTRUCTION POSITION.
5. REFER TO ELECTRICAL SITE PLAN FOR ALL ELECTRICAL AND TELECOMMUNICATIONS WORK, INCLUDING DEMOLITION.
6. REFER TO "NOTES AND LEGEND" FOR ADDITIONAL NOTES.

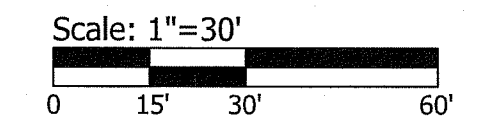
LEGEND:

-  REMOVE & DISPOSE TREE. DISPOSE OF TREE AND STUMP OFF-SITE.
-  PROTECT EXISTING TREE TO REMAIN. REFER TO TCP DETAIL.
-  PRIOR TO COMMENCING WORK, CONTRACTOR SHALL EXCAVATE TEST PIT TO CONFIRM LOCATION, ELEVATION, AND SIZE OF UTILITY. PROVIDE INFORMATION TO ENGINEER.

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM

NOTE PER DEM:
Kindly be advised that this Permit
is not equivalent to a
verification of the type or extent
of freshwater wetlands on site

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS AS
SPECIFIED IN THE LETTER OF APPROVAL
DATED: JUL 20 2022 FILE #: 21-0330
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE
(TYP) *Abner L. Freeman*

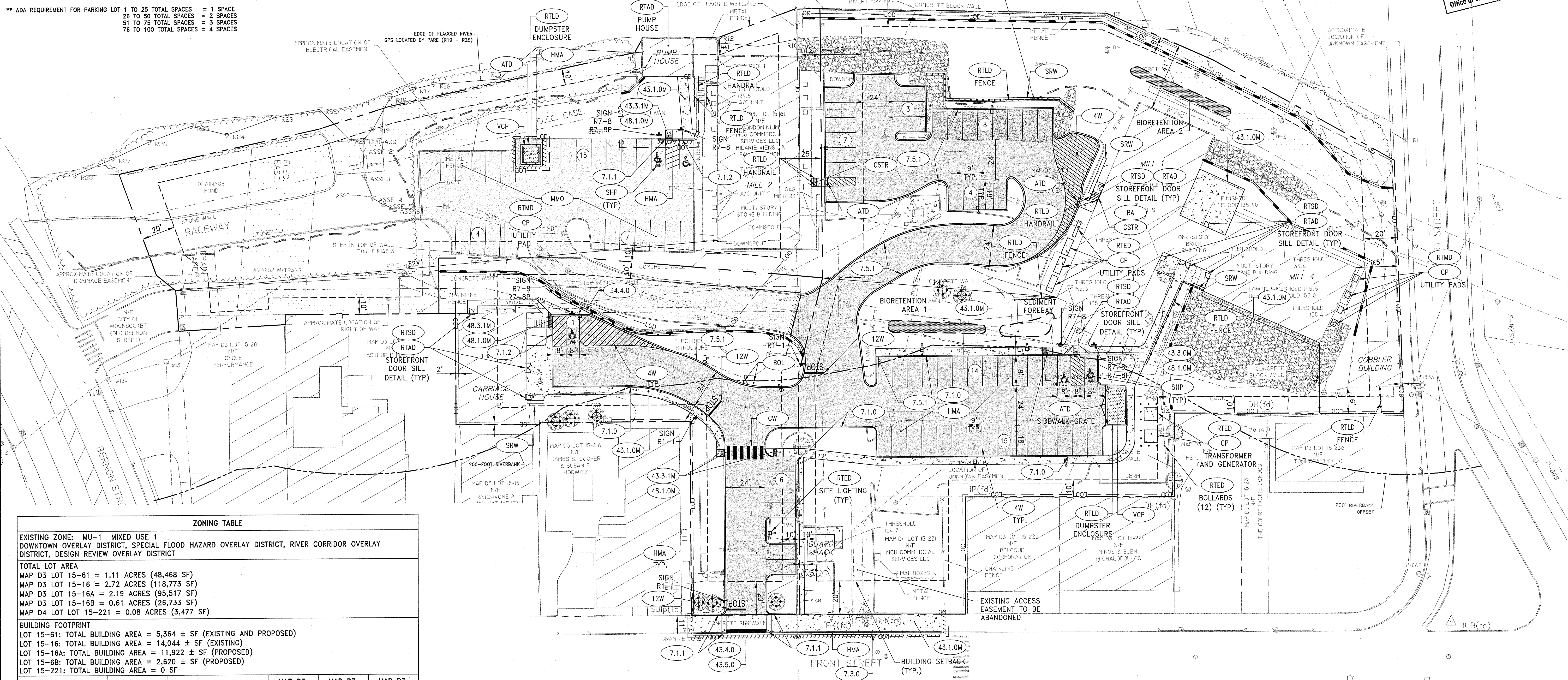


REQUIRED		
LOT 15-61:	LOT 15-16A:	LOT 15-16B:
RESIDENCES WITHIN DOWNTOWN OVERLAY DISTRICT:	RESIDENCES WITHIN DOWNTOWN OVERLAY DISTRICT:	OFFICE FACILITIES:
3 SPACES PER DWELLING UNIT	1 SPACE PER DWELLING UNIT	3 SPACES FOR EACH 1,000 SF OF OFFICE SPACE
19 DWELLING UNITS PROPOSED	41 DWELLING UNITS PROPOSED	5,240 SF OFFICE SPACE
1 SPACE X 19 DWELLING UNITS = 19 SPACES	1 SPACE X 41 DWELLING UNITS = 41 SPACES	3 SPACES X (5,240 SF/1,000 SF) = 16 SPACES
	OFFICE FACILITIES:	
	3 SPACES FOR EACH 1,000 SF OF OFFICE SPACE	
	1,542 SF OFFICE SPACE	
	3 SPACES X (1,542 SF/1,000 SF) = 5 SPACES	

```

** ADA REQUIREMENT FOR PARKING LOT 1 TO 25 TOTAL SPACES = 1 SPACE
    26 TO 50 TOTAL SPACES = 2 SPACES
    51 TO 75 TOTAL SPACES = 3 SPACES
    76 TO 100 TOTAL SPACES = 4 SPACES

```



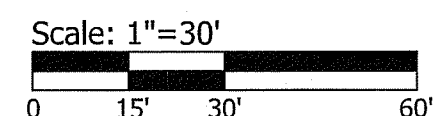
ZONING TABLE						
EXISTING ZONE: MU-1 MIXED USE 1 DOWNTOWN OVERLAY DISTRICT, SPECIAL FLOOD HAZARD OVERLAY DISTRICT, RIVER CORRIDOR OVERLAY DISTRICT, DESIGN REVIEW OVERLAY DISTRICT						
TOTAL LOT AREA						
MAP D3 LOT 15-61 = 1.11 ACRES (48,468 SF)						
MAP D3 LOT 15-16 = 2.72 ACRES (118,773 SF)						
MAP D3 LOT 15-16A = 2.19 ACRES (95,517 SF)						
MAP D3 LOT 15-16B = 0.61 ACRES (26,733 SF)						
MAP D4 LOT LOT 15-221 = 0.08 ACRES (3,477 SF)						
BUILDING FOOTPRINT						
LOT 15-61: TOTAL BUILDING AREA = 5,364 ± SF (EXISTING AND PROPOSED)						
LOT 15-16: TOTAL BUILDING AREA = 14,044 ± SF (EXISTING)						
LOT 15-16A: TOTAL BUILDING AREA = 11,922 ± SF (PROPOSED)						
LOT 15-6B: TOTAL BUILDING AREA = 2,620 ± SF (PROPOSED)						
LOT 15-221: TOTAL BUILDING AREA = 0 SF						
	REQUIRED	MAP D3, LOT 15-61		MAP D3, LOT 1516	MAP D3, LOT 15-16A	MAP D3, LOT 15-16B
	(MU-1)	EXISTING	PROVIDED	EXISTING	PROVIDED	PROVIDED
BUILDING SETBACK						
FRONT SETBACK	20 FT	327 FT	327 FT*	1 FT	1 FT*	117 FT*
SIDE SETBACK	10 FT	11 FT	11 FT*	1 FT	16 FT*	1 FT*
REAR SETBACK	25 FT	12 FT	12 FT*	2 FT	14 FT*	2 FT*
STREET FRONTAGE	VARIES**	0 FT	0 FT*	316 FT	197 FT	60 FT
ACCESSORY SETBACK	5 FT	N/A	N/A	21 FT	5 FT*	N/A
MAX. BUILDING HEIGHT	30 FT	4 STORIES 55 FT	4 STORIES 55 FT *	3 STORIES 63 FT	3 STORIES 63 FT *	2 STORIES 25 FT *
MAX. BUILDING COVERAGE	50%	11%	11%	12%	12%	10%
MAX. GFA (NON-RESIDENTIAL)	5,000 SF	0 SF	0 SF	0 SF	1,542 SF	5,240 SF
MAX. UNITS (RESIDENTIAL)	25	16	19	0	41	0
MAX. PRINCIPAL BUILDINGS	1	1	1	3	2	1

** 60' FOR FIRST UNIT PLUS 10' PER EACH ADDITIONAL UNIT
MAP D3, LOT 15-61 - 240 FT
MAP D3, LOT 15-16A - 410 FT
MAP D3, LOT 15-16B - 70 FT

- NOTES:**
1. CONTRACTOR SHALL PROVIDE LOAM AND SEED ON ALL DISTURBED AREAS UNLESS NOTED OTHERWISE. REFER TO LANDSCAPE DRAWINGS TO LANDSCAPE DRAWINGS FOR SURFACE COVER IN LANDSCAPED AREAS.
 2. ALL ACCESSIBLE RAMPS SHALL BE CONSTRUCTED WITH DETECTABLE WARNING PANELS.
 3. PRIOR TO COMMENCING WORK, THE CONTRACTOR SHALL EMPLOY A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF RHODE ISLAND TO ESTABLISH CONTROL ON THE SITE AND TO PERFORM FIELD MEASUREMENTS AS REQUIRED TO LAYOUT THE PROPOSED BUILDING AND SITE IMPROVEMENTS. THE CONTRACTOR'S SURVEYOR SHALL COORDINATE THE BUILDING LAYOUT WITH THE PROJECT LAND SURVEYOR TO ACCURATELY LOCATE THE BUILDING ON THE SITE.
 4. REFER TO STRUCTURAL DRAWINGS FOR ALL CONCRETE ENTRANCE PADS.
 5. REFER TO STRUCTURAL DRAWINGS FOR ALL TYPICAL SECTIONS OF ENTRY WAYS.
 6. EXPANSION JOINTS (E.J.) 20 FEET O.C. (MAX.) UNLESS OTHERWISE NOTED.
 7. CONTROL JOINTS (C.J.) 5 FEET O.C. (MAX.) UNLESS OTHERWISE NOTED.
 8. ALL PARKING SPACES AND ISLANDS ARE TO BE MARKED WITH 4" THICK WHITE EPOXY PAVEMENT MARKING UNLESS NOTED OTHERWISE. WATERBORNE PAVEMENT MARKINGS ARE NOT ACCEPTABLE.
 9. COORDINATE FINAL QUANTITY AND PLACEMENT OF BOLLARDS SURROUNDING TRANSFORMER WITH NATIONAL GRID.
 10. REFER TO "CIVIL NOTES AND LEGEND" FOR ADDITIONAL NOTES.

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM

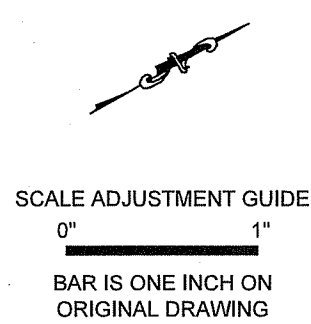
NOTE PER DEM:
Kindly be advised that this Permit
is not equivalent to a
verification of the type or extent
of freshwater wetlands on site



PARE
PARE CORPORATION
ENGINEERS - SCIENTISTS - PLANNERS
8 BLACKSTONE VALLEY PLACE
LINCOLN, RI 02865
401-334-4100

OWNER:
BRISA BERNON MILLS, LP.
119 FRONT STREET, #401
WOONSOCKET, RI 02895

APPLICANT:
BRISA DEVELOPMENT, LLC
2009 FLATBUSH AVENUE
NEW YORK, NY 11234



Bernon Mills Redevelopment
MAP D3, LOTS 15-16 & 15-61
MAP D4, LOT 15-221
115 & 119 Front Street
Woonsocket, Rhode Island

VICTORIA HOWLAND

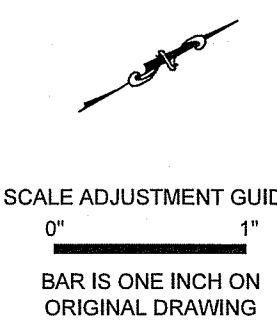
No. 12076

REGISTERED
PROFESSIONAL ENGINEER
(CIVIL)

12-10-21

REVISIONS:		
PROJECT NO.:	21022.00	
DATE:	DECEMBER 10, 2021	
SCALE:	1"=30'	
DESIGNED BY:	KM	
CHECKED BY:	VAH	
DRAWN BY:	AKU	
APPROVED BY:	VAH	
DRAWING TITLE:		
GENERAL PLAN 1		
DRAWING NO.:		
C4.1		
SHEET NO.	7	OF 18

OWNER:
BRISA BERNON MILLS, LP.
119 FRONT STREET, #401
WOONSOCKET, RI 02895
APPLICANT:
BRISA DEVELOPMENT, LLC
2009 FLATBUSH AVENUE
NEW YORK, NY 11234



Bernon Mills Redevelopment

MAP D3, LOTS 15-16 & 15-61
MAP D4, LOT 15-221
115 & 119 Front Street
Woonsocket, Rhode Island

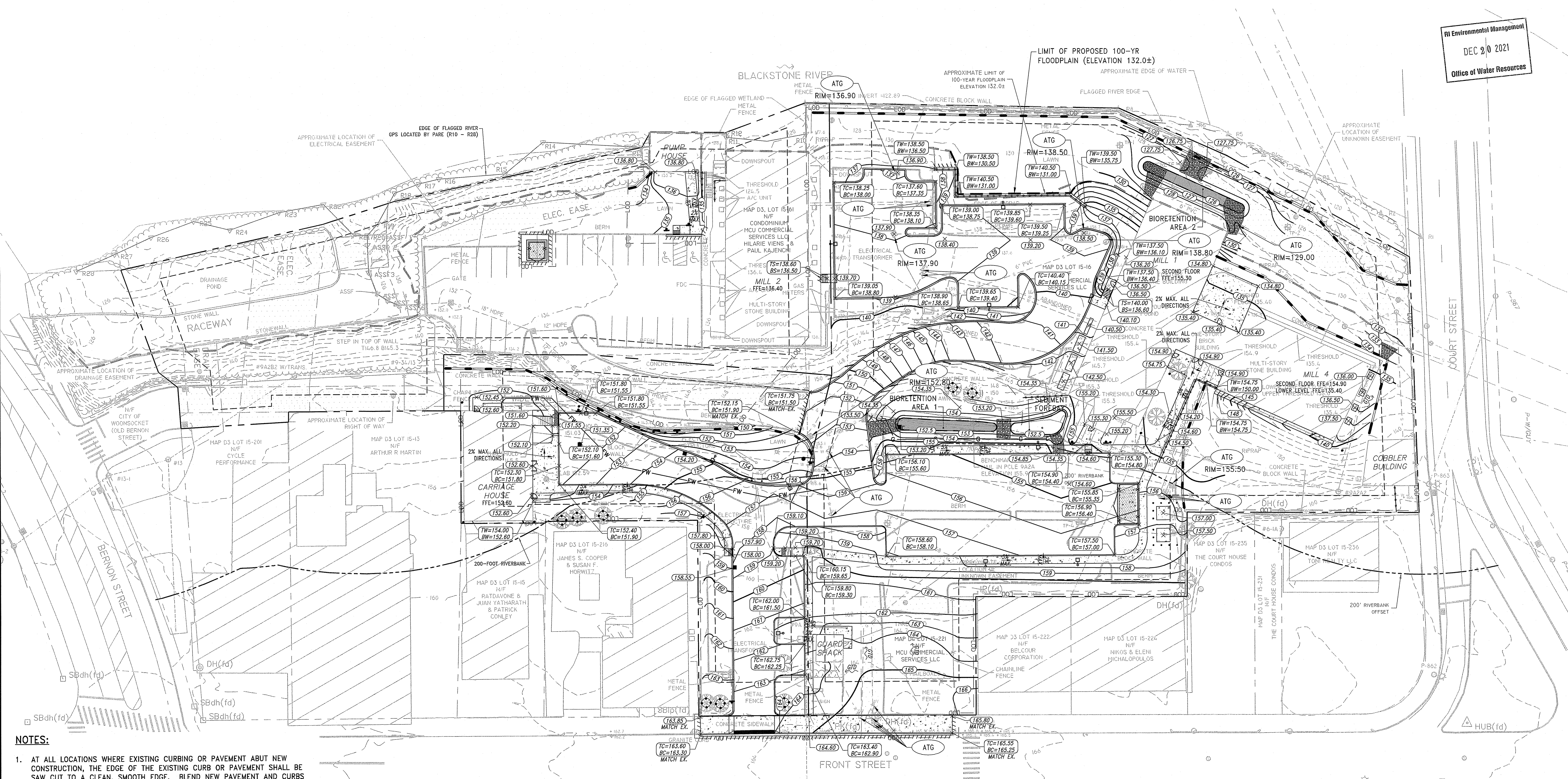
VICTORIA HOWLAND
No. 12076
REGISTERED PROFESSIONAL ENGINEER (CIVIL)

REVISIONS:

PROJECT NO.: 21022.00
DATE: DECEMBER 10, 2021
SCALE: 1"=30'
DESIGNED BY: KM
CHECKED BY: VAH
DRAWN BY: AKL
APPROVED BY: VAH
DRAWING TITLE:

GRADING PLAN 1

DRAWING NO.:
C5.1
SHEET NO. 8 OF 18



RI Environmental Management
DEC 20 2021
Office of Water Resources

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS AS
SPECIFIED IN THE LETTER OF APPROVAL
DATED JUL 20 2022 FILE # 21-0330
NO CHANGES/ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE
Nancy L. Freeman

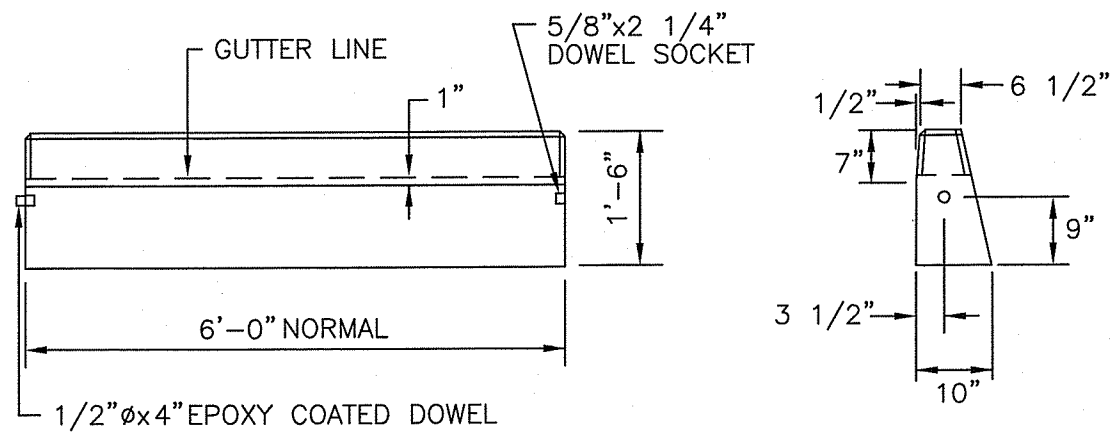
RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM

NOTE PER DEM:
Kindly be advised that this Permit
is not equivalent to a
verification of the type or extent
of freshwater wetlands on site

Scale: 1"=30'
0 15' 30' 60'

NOTES:

1. AT ALL LOCATIONS WHERE EXISTING CURBING OR PAVEMENT ABUT NEW CONSTRUCTION, THE EDGE OF THE EXISTING CURB OR PAVEMENT SHALL BE SAW CUT TO A CLEAN, SMOOTH EDGE. BLEND NEW PAVEMENT AND CURBS SMOOTHLY INTO EXISTING BY MATCHING LINES, GRADES AND JOINTS.
2. ALL UTILITY COVERS, GRATES, ETC. SHALL BE ADJUSTED TO BE FLUSH WITH THE SURROUNDING SURFACE OR PAVEMENT FINISH GRADE. RIM ELEVATIONS OF STRUCTURES AND MANHOLES ARE APPROXIMATE. FINAL ELEVATIONS ARE TO BE SET FLUSH AND CONSISTENT WITH THE GRADING PLANS.
3. PITCH EVENLY BETWEEN SPOT GRADES. ALL PAVED AREAS MUST PITCH TO DRAIN AT A MIN. OF 1/8" PER FOOT UNLESS SPECIFIED.
4. THE PROPOSED WALKWAYS SHALL HAVE A MAXIMUM CROSS SLOPE OF 2% AND A MAXIMUM RUNNING SLOPE OF 5% AS SHOWN ON CONSTRUCTION DETAILS.
5. ALL GRADING AT ACCESSIBLE ROUTES SHALL COMPLY WITH THE RULES AND REGULATIONS OF THE AMERICANS WITH DISABILITIES ACT (ADA) OF 2010, LATEST EDITION.
6. BASIN BERM SHALL BE CONSTRUCTED WITH COMMON BORROW PLACED IN 12" LIFTS AND COMPACTED TO 95% TO FINISH GRADE. REMOVE ALL EXISTING TOPSOIL AND ORGANIC MATERIAL PRIOR TO CONSTRUCTING BASIN BERM.
7. TURF REINFORCEMENT MAT (TRM) SHALL BE INSTALLED ON ALL SLOPES 3:1 OR GREATER.
8. REFER TO "CIVIL NOTES AND LEGEND" FOR ADDITIONAL NOTES.



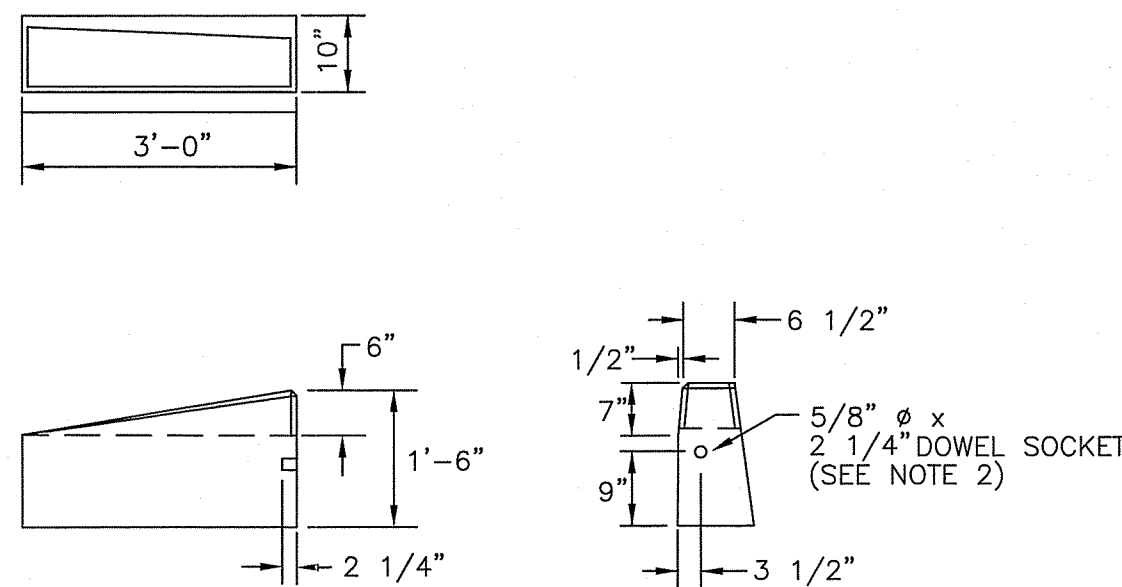
CIRCULAR CURB

NOTES:

1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF THE R.I. STANDARD SPECIFICATIONS.
2. MINIMUM LENGTH OF STRAIGHT OR CIRCULAR FILLER PIECES TO BE 3'-0".
3. EXPOSED SURFACES TO HAVE A SPONGE FLOAT FINISH.
4. CIRCULAR CURB IS REQUIRED ON CURVES WITH RADI OF 160'-0" OR LESS. STRAIGHT CURB TO BE USED ON CURVES OF MORE THAN 160'-0" RADIUS.
5. EXPOSED EDGES TO HAVE A 3/4" CHAMFER.

RHODE ISLAND DEPARTMENT OF TRANSPORTATION

REVISIONS	NO.	BY	DATE	PRECAST CONCRETE CURB	R.I. STANDARD 7.1.0
1	MLP	Mar 05			
JUNE 15, 1998 ISSUE DATE					

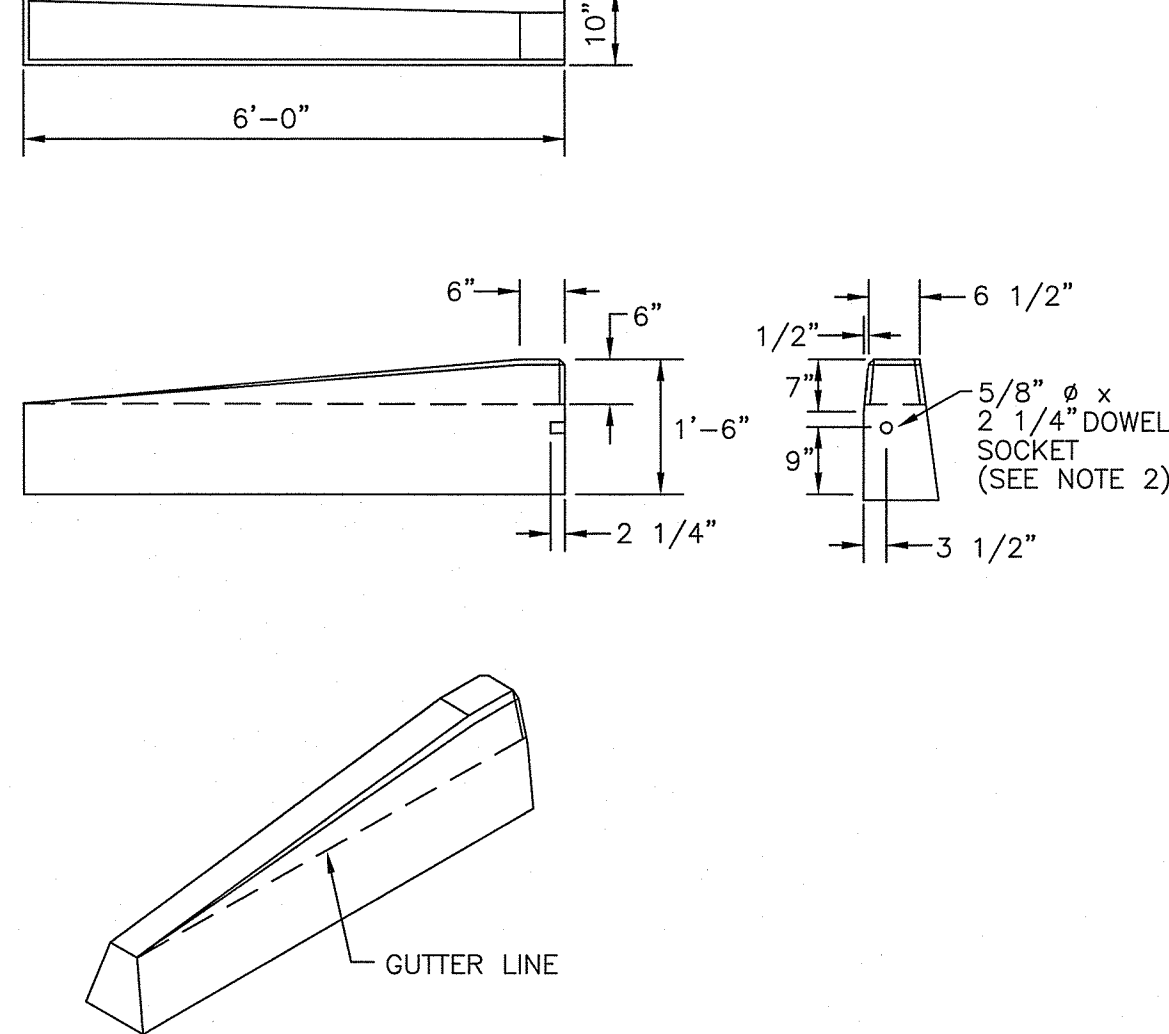


NOTES:

1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF THE R.I. STANDARD SPECIFICATIONS.
2. DRAWING SHOWS TRANSITION CURB FOR ONE DIRECTION, FOR OTHER DIRECTION USE OPPOSITE HAND AND INCLUDE A 1/2" x 4" EPOXY COATED DOWEL.
3. EXPOSED SURFACES TO HAVE A SPONGE FLOAT FINISH.
4. EXPOSED EDGES TO HAVE A 3/4" CHAMFER.
5. LEFT AND RIGHT SECTIONS SHALL BE INSTALLED AS REQUIRED.

RHODE ISLAND DEPARTMENT OF TRANSPORTATION

REVISIONS	NO.	BY	DATE	3'-0" PRECAST CONCRETE TRANSITION CURB	R.I. STANDARD 7.1.1
1	MLP	Mar 05			
2	MLP	06/01/10			
JUNE 15, 1998 ISSUE DATE					

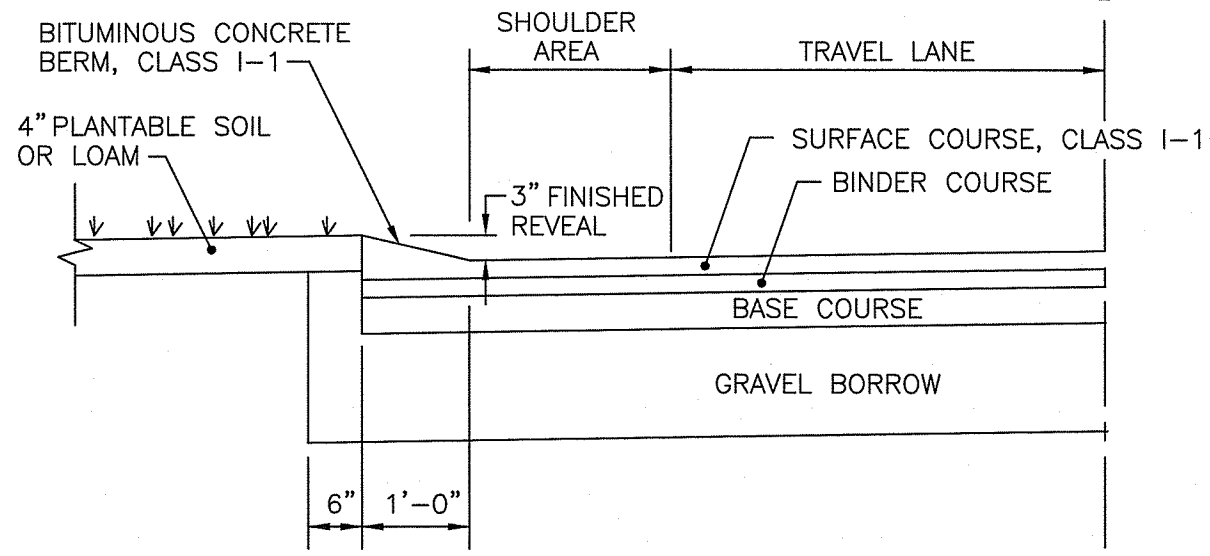


NOTES:

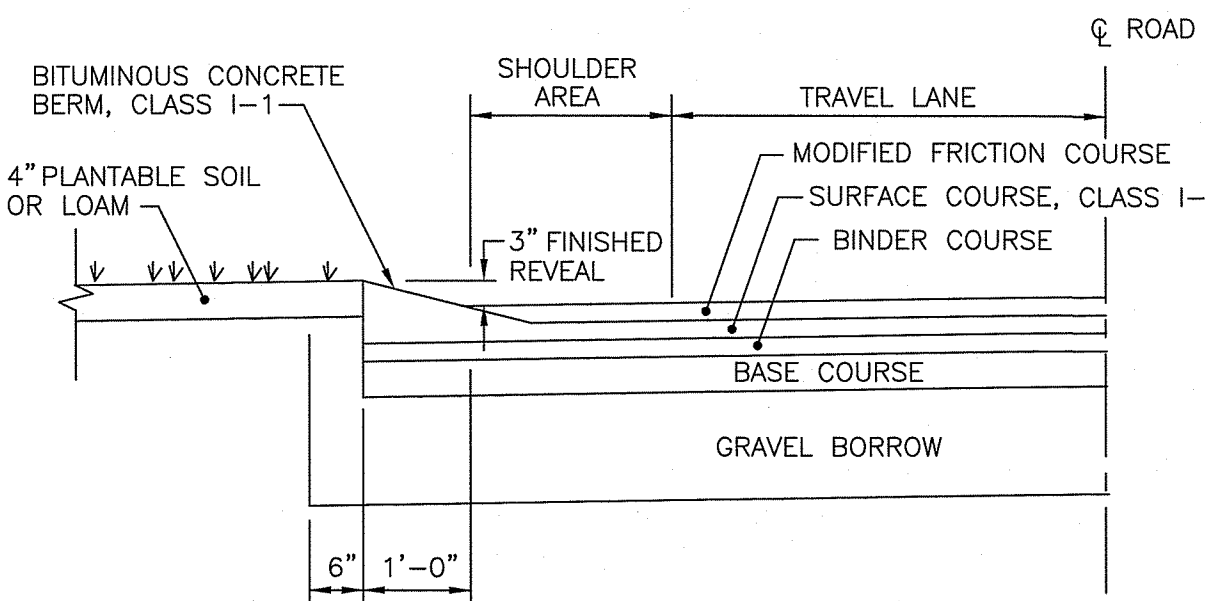
1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF THE R.I. STANDARD SPECIFICATIONS.
2. DRAWING SHOWS TRANSITION CURB FOR ONE DIRECTION, FOR OTHER DIRECTION USE OPPOSITE HAND AND INCLUDE A 1/2" x 4" EPOXY COATED DOWEL.
3. EXPOSED SURFACES TO HAVE A SPONGE FLOAT FINISH.
4. EXPOSED EDGES TO HAVE A 3/4" CHAMFER.

RHODE ISLAND DEPARTMENT OF TRANSPORTATION

REVISIONS	NO.	BY	DATE	6'-0" PRECAST CONCRETE TRANSITION CURB	R.I. STANDARD 7.1.2
1	MLP	Mar 05			
JUNE 15, 1998 ISSUE DATE					



CONSTRUCTION METHOD A



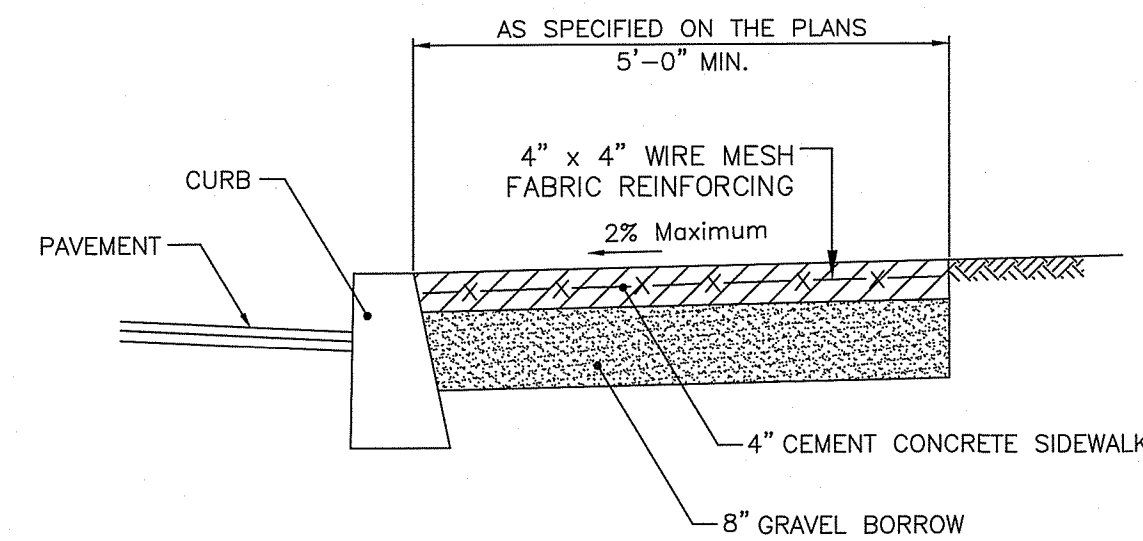
CONSTRUCTION METHOD B

NOTES:

1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF THE R.I. STANDARD SPECIFICATIONS.
2. BITUMINOUS BERM CAN BE PLACED AT THE SAME TIME THAT THE SURFACE COURSE LAYER IS PLACED ON THE PROJECT ROADWAY, OR IT CAN BE INSTALLED IN A SEPARATE OPERATION.

RHODE ISLAND DEPARTMENT OF TRANSPORTATION

REVISIONS	NO.	BY	DATE	BITUMINOUS BERM	R.I. STANDARD 7.5.1
1	MLP	Mar 05			
JUNE 15, 1998 ISSUE DATE					

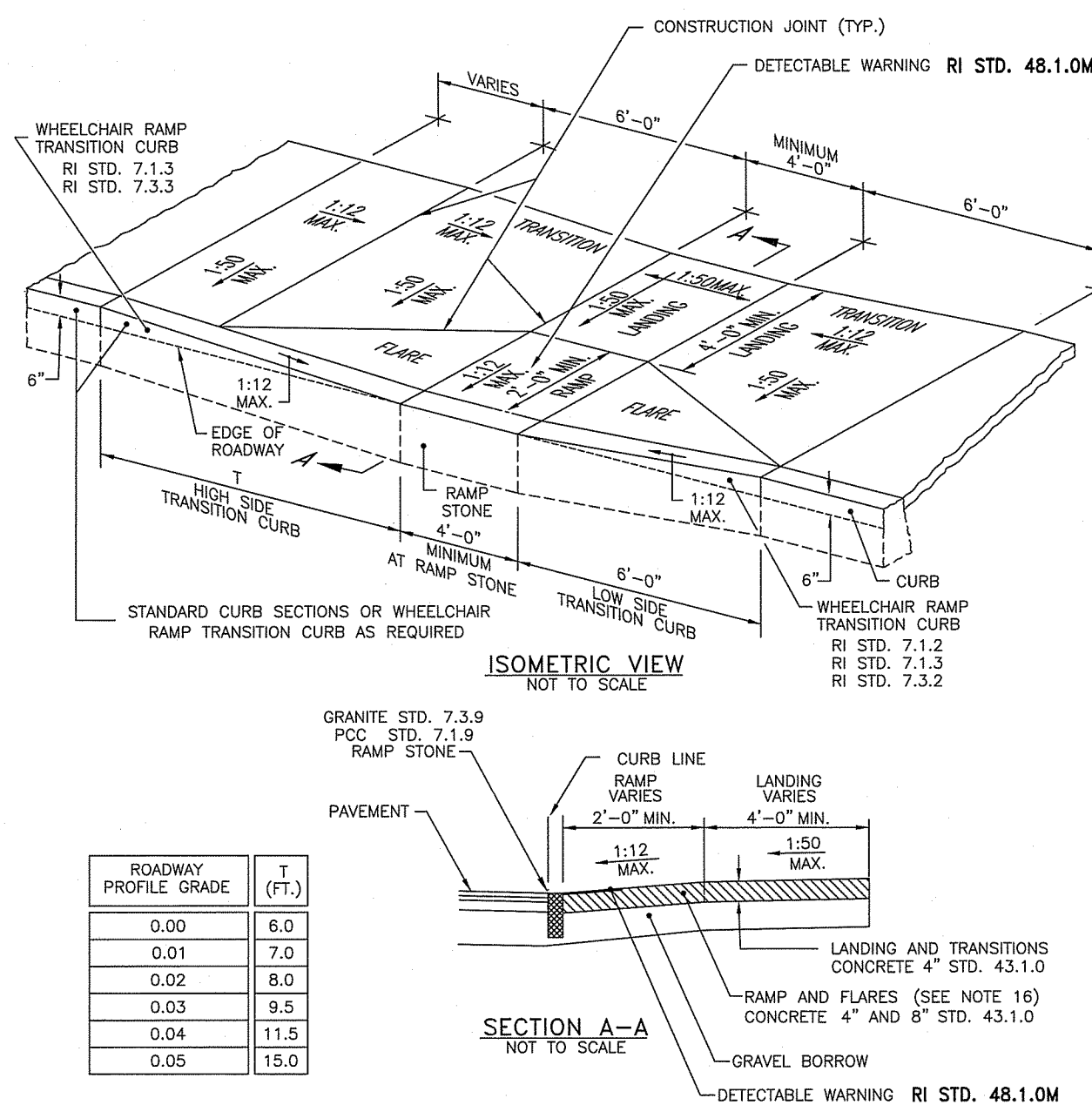


NOTES:

1. SHALL BE IN ACCORDANCE WITH SECTION 905 OF THE R.I. STANDARD SPECIFICATIONS.
2. FOR CURB SETTING DETAIL REFERENCE STD. 7.6.0.
3. 4" x 4" WIRE MESH FABRIC REINFORCING SHALL BE IN ACCORDANCE TO RI STANDARD SPECIFICATIONS OF SECTION M.05.02.
4. PROVIDE MEDIUM BROOM FINISH.

RHODE ISLAND DEPARTMENT OF TRANSPORTATION

REVISIONS	NO.	BY	DATE	CEMENT CONCRETE SIDEWALK	R.I. STANDARD 43.1.0M
1	MLP	3/1/05			
2	MLP	06/01/10			
JUNE 15, 1998 ISSUE DATE					



NOTES:

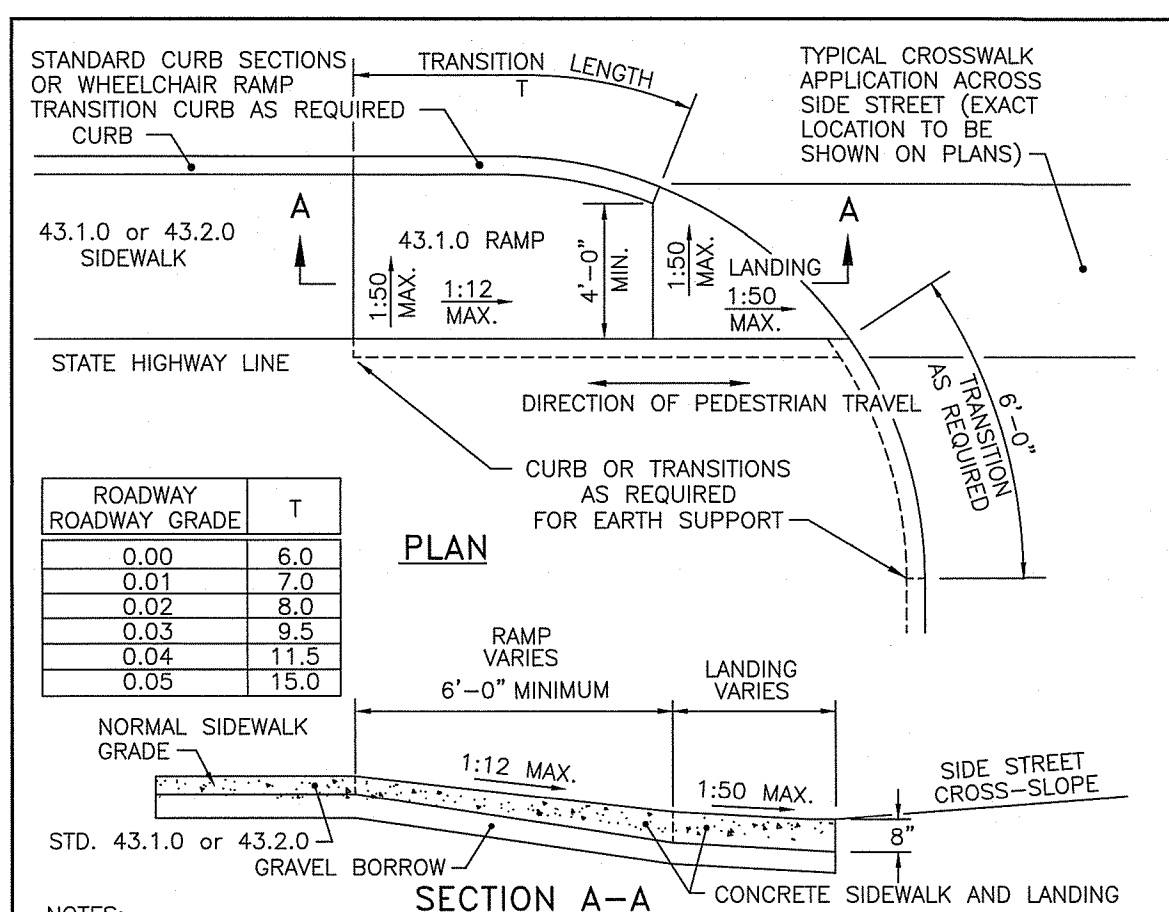
1. SHALL BE IN ACCORDANCE WITH SECTION 905 OF THE RI STANDARD SPECIFICATIONS.
2. WHEN ANY OBSTRUCTION LOCATED IN THE SIDEWALK FALLS WITHIN A CROSSWALK AREA, THE WHEELCHAIR RAMP SHALL BE PLACED SUCH THAT THE OBSTRUCTION FALLS OUTSIDE OF THE RAMP.
3. AT NO TIME IS ANY PART OF THE WHEELCHAIR RAMP TO BE LOCATED OUTSIDE OF THE CROSSWALK, AND IT IS TO BE CENTERED WHENEVER POSSIBLE.
4. DRAINAGE FACILITIES ARE TO BE LOCATED UP-GRADE OF ALL WHEELCHAIR RAMPS.
5. LOCATION OF WHEELCHAIR RAMPS IS AS SHOWN ON CONTRACT DRAWINGS.
6. IN NO INSTANCE SHALL THE SIDEWALK CROSS SLOPE EXCEED 1:80 EXCEPT WITHIN THE RAMP AREA.
7. AN UNOBSTRUCTED PATH OF TRAVEL WITH A MINIMUM WIDTH OF 4'-0" SHALL BE MAINTAINED.
8. THE WHEELCHAIR RAMP SLOPE AND SIDE SLOPES (TRANSITIONS), MUST NOT BE STEEPER THAN 1:12. HOWEVER, THESE SLOPES MAY BE FLATTER THAN 1:12 WHEN WARRANTED BY SURROUNDING CONDITIONS.
9. WHERE THE ROAD PROFILE EXCEEDS 5% THE HIGH SIDE TRANSITION LENGTH (T) SHALL BE EIGHTEEN FEET (18'-0").
10. IN NO CASE, WHERE A STOP LINE IS WARRANTED, SHALL A RAMP BE PLACED BEHIND THE STOP LINE.
11. THE ENTRANCE OF THE WHEELCHAIR RAMP SHALL BE FLUSH WITH THE ROADWAY.
12. THE WHEELCHAIR RAMP SHALL BE CENTERED RADIALLY OPPOSITE THE RADIUS POINT WHEN POSSIBLE.
13. MINIMUM LENGTH OF STRAIGHT OR CIRCULAR FILLER PIECES TO BE 3'-0" (GREATER LENGTHS PREFERRED).
14. ALL REQUIRED CUTTING OF CURB PIECES TO BE PAID FOR UNDER COST OF CURB.
15. DETECTABLE WARNING TO BE PAID FOR UNDER SECTION 942 OF THE RI STANDARD SPECIFICATIONS.
16. 8" CONCRETE DEPTH FOR RADIUS WHEELCHAIR RAMPS ONLY. USE 4" DEPTH FOR TANGENT (MID-BLOCK) LOCATIONS.

RHODE ISLAND DEPARTMENT OF TRANSPORTATION

REVISIONS	NO.	BY	DATE	WHEELCHAIR RAMP	R.I. STANDARD 43.3.0M
1	MLP	06/01/10			
2	MLP	06/01/10			
3	MLP	06/01/10			
JUNE 15, 1998 ISSUE DATE					

NOTES:

1. CONTRACTOR SHALL PROVIDE CAST IRON DETECTABLE WARNING PANELS CAST DIRECTLY INTO THE CONCRETE WITH ANCHORS. REFER TO DETAIL. PLASTIC PANELS WILL NOT BE ACCEPTED.
2. PROVIDE R.I. STD. 43.1.0M. SEE DETAIL.



NOTES:

1. SHALL BE IN ACCORDANCE WITH SECTION 905 OF THE R.I. STANDARD SPECIFICATIONS.
2. THIS DETAIL IS TO BE USED ONLY WHEN STATE RIGHT-OF-WAY IS LIMITED TO BACK OF SIDEWALK, AND SIDEWALK IS NARROW WITH NO PEDESTRIAN TRAFFIC FROM SIDE STREET.
3. WHEN ANY OBSTRUCTION LOCATED IN THE SIDEWALK FALLS WITHIN A CROSSWALK AREA, IF POSSIBLE, THE OBSTRUCTION SHALL BE PLACED SUCH THAT IT FALLS OUTSIDE OF THE RAMP.
4. AT NO TIME IS ANY PART OF THE WHEELCHAIR RAMP TO BE LOCATED OUTSIDE OF THE CROSSWALK, AND IT IS TO BE CENTERED WHENEVER POSSIBLE.
5. DRAINAGE FACILITIES ARE TO BE LOCATED UP-GRADE OF ALL WHEELCHAIR RAMPS.
6. LOCATION OF WHEELCHAIR RAMPS IS AS SHOWN ON CONTRACT DRAWINGS.
7. ALL REQUIRED CUTTING OF CURB PIECES TO BE PAID FOR UNDER COST OF CURB.
8. WHERE THE ROAD PROFILE EXCEEDS 5% THE TRANSITION LENGTH (T) SHALL BE EIGHTEEN FEET (18'-0").
9. THE ENTRANCE OF THE WHEELCHAIR RAMP SHALL BE FLUSH WITH THE ROADWAY.
10. MINIMUM LENGTH OF STRAIGHT OR CIRCULAR FILLER PIECES TO BE 3'-0" (GREATER LENGTHS PREFERRED).
11. AN UNOBSTRUCTED PATH OF TRAVEL WITH A MINIMUM WIDTH OF 4'-0" SHALL BE MAINTAINED.

RHODE ISLAND DEPARTMENT OF TRANSPORTATION

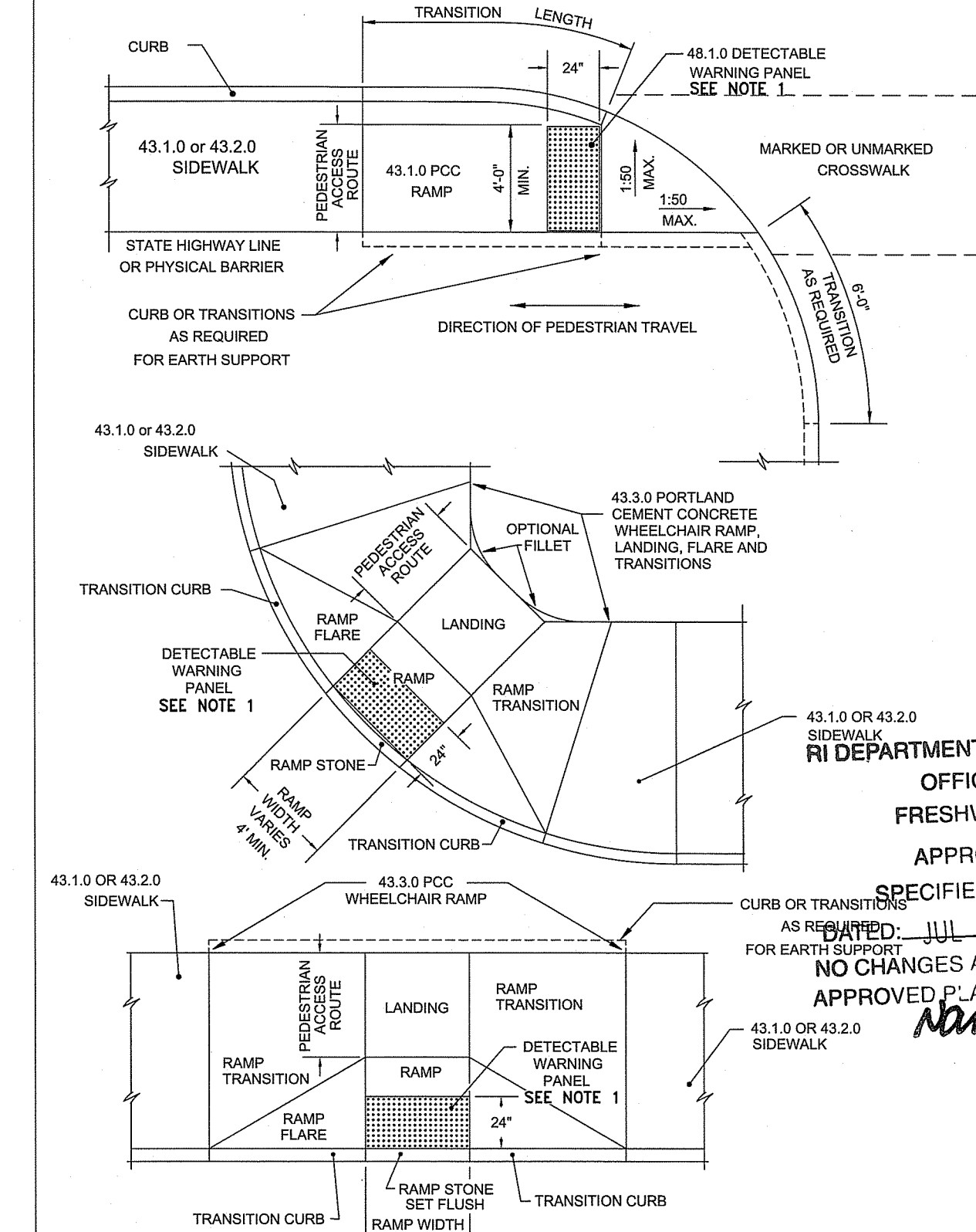
REVISIONS	NO.	BY	DATE	WHEELCHAIR RAMP FOR LIMITED RIGHT-OF-WAY AREAS	R.I. STANDARD 43.3.1M
1	MLP	06/01/10			
2	MLP	06/01/10			
JUNE 15, 1998 ISSUE DATE					

NOTES:

1. CONTRACTOR SHALL PROVIDE CAST IRON DETECTABLE WARNING PANELS CAST DIRECTLY INTO THE CONCRETE WITH ANCHORS. REFER TO DETAIL. PLASTIC PANELS WILL NOT BE ACCEPTED.
2. PROVIDE R.I. STD. 43.1.0M. SEE DETAIL.

NOTE PER DEM:

Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site



NOTES:

1. CONTRACTOR SHALL PROVIDE CAST IRON DETECTABLE WARNING PANELS CAST DIRECTLY INTO THE CONCRETE WITH ANCHORS. REFER TO DETAIL. PLASTIC PANEL WILL NOT BE ACCEPTED.

RHODE ISLAND DEPARTMENT OF TRANSPORTATION

REVISIONS	NO.	BY	DATE	DETECTABLE WARNING PANEL PLACEMENT	R.I. STANDARD 48.1.0M
1	MLP	Mar 2005			
2	MLP	06/01/10			
JUNE 15, 1998 ISSUE DATE					



OWNER:

BRISA BERNON MILLS, LP.
119 FRONT STREET, #401
WOONSOCKET, RI 02895

APPLICANT:

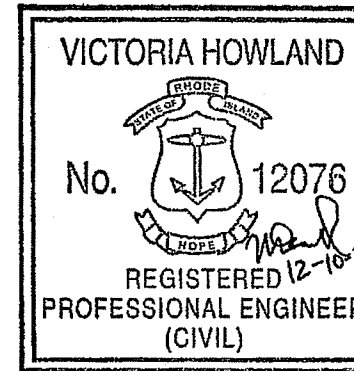
BRISA DEVELOPMENT, LLC
2009 FLATBUSH AVENUE
NEW YORK, NY 11234

SCALE ADJUSTMENT GUIDE
0" = 1"
BAR IS ONE INCH ON ORIGINAL DRAWING

Environmental Management
DEC 20 2021
Office of Water Resources

Bernon Mills Redevelopment

MAP D3, LOTS 1516 & 1561
MAP D4, LOT 15221
115 & 119 Front Street
Woonsocket, Rhode Island



REVISIONS:

NO.	BY	DATE	DESCRIPTION
1	MLP	06/01/10	
2	MLP	06/01/10	
3	MLP	06/01/10	
4	MLP	06/01/10	
5	MLP	06/01/10	
6	MLP	06/01/10	
7	MLP	06/01/10	
8	MLP	06/01/10	
9	MLP	06/01/10	
10	MLP	06/01/10	
11	MLP	06/01/10	
12	MLP	06/01/10	
13	MLP	06/01/10	
14	MLP	06/01/10	
15	MLP	06/01/10	
16	MLP	06/01/10	
17	MLP	06/01/10	
18	MLP	06/01/10	
19	MLP	06/01/10	
20	MLP	06/01/10	

PROJECT NO.:

21022.00

DATE:

DECEMBER 10, 2021

SCALE:

NOT TO SCALE

DESIGNED BY:

KM

CHECKED BY:

VAH

DRAWN BY:

AKL

APPROVED BY:

VAH

DRAWING TITLE:

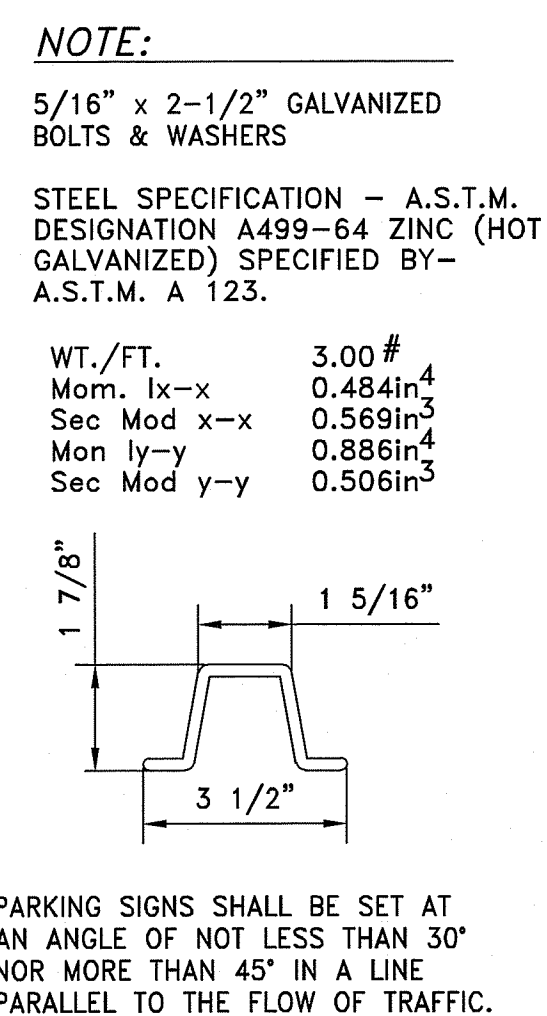
DETAILS 2

DRAWING NO.:

C7.2

SHEET NO.:

11 OF 18



1. ALL LAG SCREWS, BOLTS AND WASHERS SHALL BE GALVANIZED 5/16"x2 1/2" LONG UNLESS OTHERWISE NOTED.
2. WASHERS SHALL BE 0.07" THICK.
3. ALL SIGN COLORS, RADII AND BORDERS AS SPECIFIED IN "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES."
4. SHALL BE IN ACCORDANCE WITH SECTION T.15 OF THE STANDARD SPECIFICATIONS.
5. PARKING SIGNS SHALL BE SET AT AN ANGLE OF NOT LESS THAN 30° NOT MORE THAN 45° WITH A LINE PARALLEL TO FLOW OF TRAFFIC, 1'-6" (1'-0" MIN.) FROM THE EDGE OF CURB FACE.
6. ALL ACCESSIBLE PARKING AND SIGNAGE SHALL BE IN CONFORMANCE WITH THE RULES & REGULATIONS AS SPECIFIED BY THE AMERICAN DISABILITIES ACT (ADA).
7. SIGN(S) SHALL BE LOCATED SO THEY CANNOT BE OBSCURED BY A VEHICLE PARKED IN THE SPACE.
8. FOR ACCESSIBLE VAN SPACE USE SIGN AS DETAILED.
9. FOR ACCESSIBLE SPACE FOR AUTOMOBILES USE ONLY ACCESSIBLE PARKING SIGN.

LEGEND	DESIGNATION	SIZE
	R1-1	(30" x 30")
	R7-8	(12" x 18")
	R7-8P	(12" x 6")

1. SIGNS SHALL BE CONSTRUCTED OF TYPE III REFLECTORIZED SHEETING AND IN ACCORDANCE WITH MUTCD REQUIREMENTS, LATEST REVISION.
2. THE CONTRACTOR SHALL SUBMIT SAMPLE SIGNS TO THE OWNER FOR APPROVAL PRIOR TO FURNISHING.
3. LETTERS, COLOR, AND FONT FOR NON-STANDARD SIGNS SHALL BE SELECTED BY THE OWNER.
4. ALL SIGN MOUNTING SHALL CONFORM TO R.I. STD. DETAIL 24.2.0 EXCEPT R7-8 AND R7-8P. R7-8 AND R7-8P SHALL CONFORM TO ACCESSIBLE SIGN MOUNTING DETAIL.

Diagram illustrating the layout and dimensions of an accessible parking space, showing a total width of 18'.

Key components and dimensions:

- LANDSCAPE AREA**: Located above the parking space.
- ACCESSIBLE PARKING SIGN (R7-8) USE VAN ACCESSIBLE PLACARD WHEN APPLICABLE (SEE SIGN MOUNTING DETAIL)**: Located above the parking space.
- SEE NOTE 1**: Located above the parking space.
- WALK**: Located above the parking space.
- CURB**: Located above the parking space.
- MIN. 2'**: Minimum clearance dimension.
- 4" WHITE STRIPE**: Dimensions for the white stripes on the left and right sides.
- 4" WHITE STRIPE**: Dimension for the white stripes on the central diagonal-striped area.
- 3' O.C.**: On-center spacing dimension for the diagonal stripes.
- 45°**: Angle of the diagonal stripes.
- 18'**: Total width of the parking space.
- SEE SITE PLANS FOR DIMENSIONS**: Three locations indicating where to find the dimensions for the side zones and the central area.
- SEE ACCESSIBLE PAVEMENT MARKING DETAIL THIS SHEET**: Reference to the detail for the wheelchair symbol and stripes.

A detailed cross-section diagram of a concrete curb and sidewalk assembly. The diagram shows a concrete curb with a height of 6 inches and a top width of 1'-0". The curb is set on a 3,000 PSI cement concrete curb lock, which is 1'-0" wide at its base. To the left of the curb is a new bituminous concrete pavement, 8 inches (minimum) thick. To the right is a new sidewalk of a grassed area, also 8 inches (minimum) thick. Both the pavement and the sidewalk are supported by a sand gravel fill base course, which is 6 inches (minimum) thick. The curb lock is shown as a hatched area between the pavement and the sidewalk.

Diagram illustrating the cross-section of a pavement structure, showing the following layers and specifications:

- HMA SURFACE COURSE** CLASS 9.5 (1 1/2" THICK MINIMUM)
- 4"** (Tack Coat Thickness)
- HMA BASE COURSE** CLASS 12.5 (2 1/2" THICK MINIMUM)
- 12" SAND GRAVEL FILL BASE COURSE**
- COMPACTED SUBGRADE**
- PROVIDE TACK COAT BETWEEN BASE AND SURFACE COURSE**

A diagram of a wheelchair with the following dimensions in inches:

- Overall height: 27"
- Seat height: 18"
- Backrest height: 5"
- Seat width: 6"
- Backrest width: 6"
- Armrest height: 2"
- Footrest height: 8"
- Footrest width: 5"
- Overall width: 26"

WHITE EPOXY RESIN
PAVEMENT STRIPING

8" MIN.
(REFER TO
PLANS)

48" (TYP.)

24" (TYP.)

6x6 W2.0xW2.0 WELDED WIRE FABRIC
CENTERED WITHIN SECTION

PROVIDE BROOM FINISH

8" VEHICULAR CONCRETE PAVEMENT
(SEE SITE PLAN FOR LOCATIONS)

4,000 PSI CEMENT CONCRETE

6" SAND GRAVEL
FILL BASE COURSE

95% COMPACTED SUBGRADE

SEE PLANS FOR DIMENSIONS

#4 @ 12" O.C. (BOTH WAYS)

3/4" CHAMFER (TYP.)

4,000 PSI CEMENT CONCRETE

REVEAL VARIES. REFER TO PLANS

12" MIN.

8" (TYP.)

6" MIN.

95% COMPACTED SUBGRADE

COMPACTED SAND GRAVEL FILL

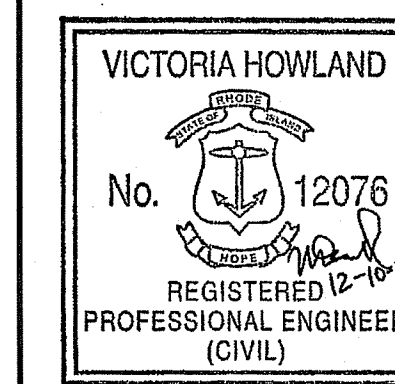
RI Environmental Management
DEC 20 2021
Office of Water Resources



OWNER:
BRISA BERNON MILLS, LP.
119 FRONT STREET, #401
WOONSOCKET, RI 02895

APPLICANT:
BRISA DEVELOPMENT, LLC
2009 FLATBUSH AVENUE
NEW YORK, NY 11234

Bernon Mills Redevelopment
MAP D3, LOTS 15-16 & 15-61
MAP D4, LOT 15-221
115 & 119 Front Street
Woonsocket, Rhode Island

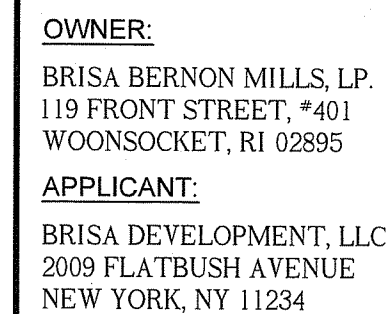


PROJECT NO.:	21022.00
DATE:	DECEMBER 10, 2021
SCALE:	NOT TO SCALE
DESIGNED BY:	KM
CHECKED BY:	VAH
DRAWN BY:	AKL
APPROVED BY:	VAH
DRAWING TITLE:	

DETAILS 3

DRAWING NO.:

SHEET NO. 12 OF 18

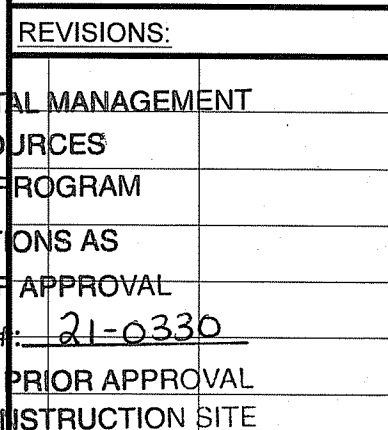


OWNER:
BRISA BERNON MILLS, LP.
119 FRONT STREET, #401
WOONSOCKET, RI 02895

APPLICANT:
BRISA DEVELOPMENT, LLC
2009 FLATBUSH AVENUE
NEW YORK, NY 11234

Bernon Mills Redevelopment

Bernon Mills Redevelopment



REVISIONS:	
AL MANAGEMENT	
SOURCES	
PROGRAM	
IONS AS	
APPROVAL	
#: 21-0330	
PRIOR APPROVAL	
INSTRUCTION SITE	

DETAILS 6

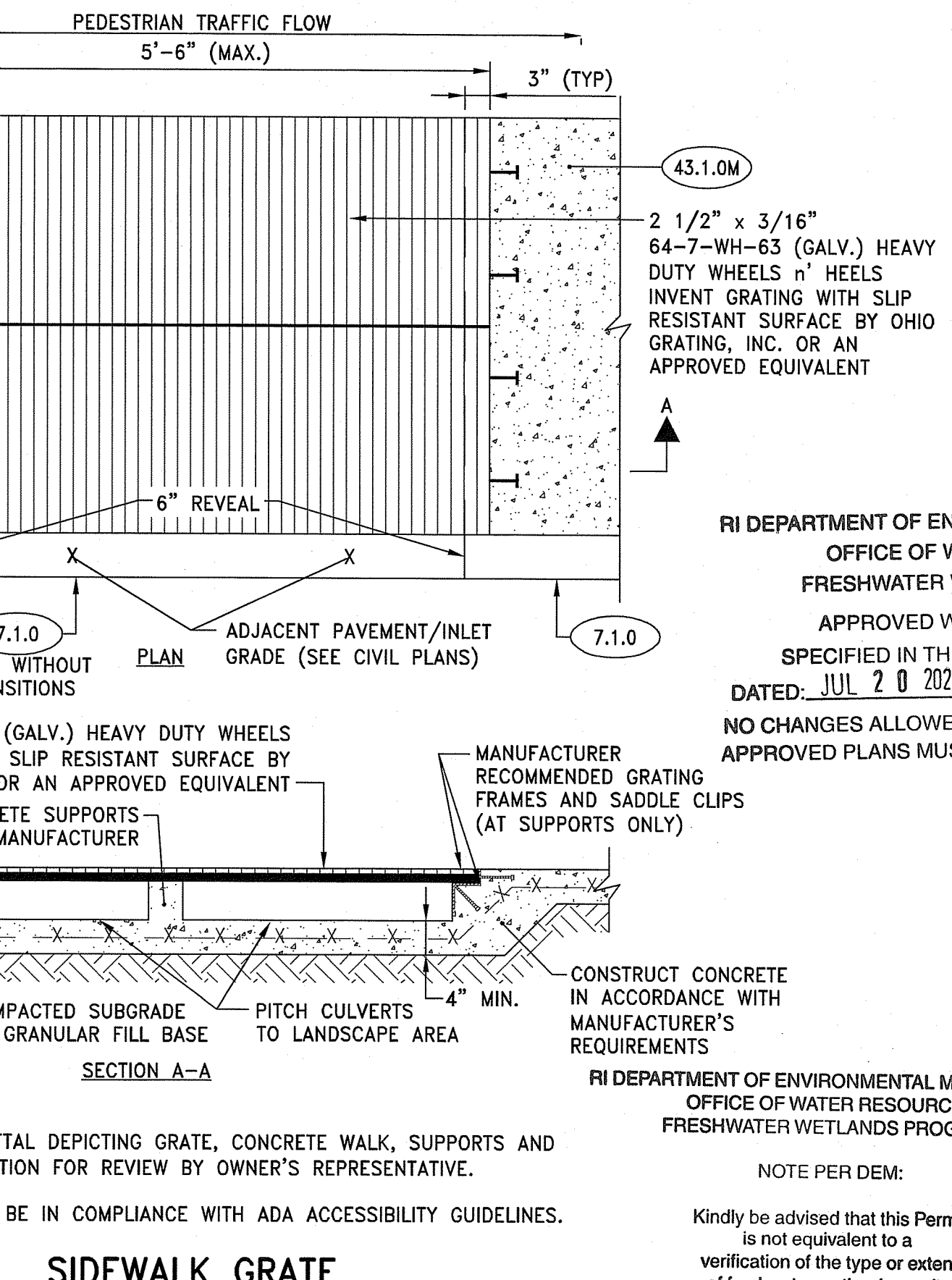
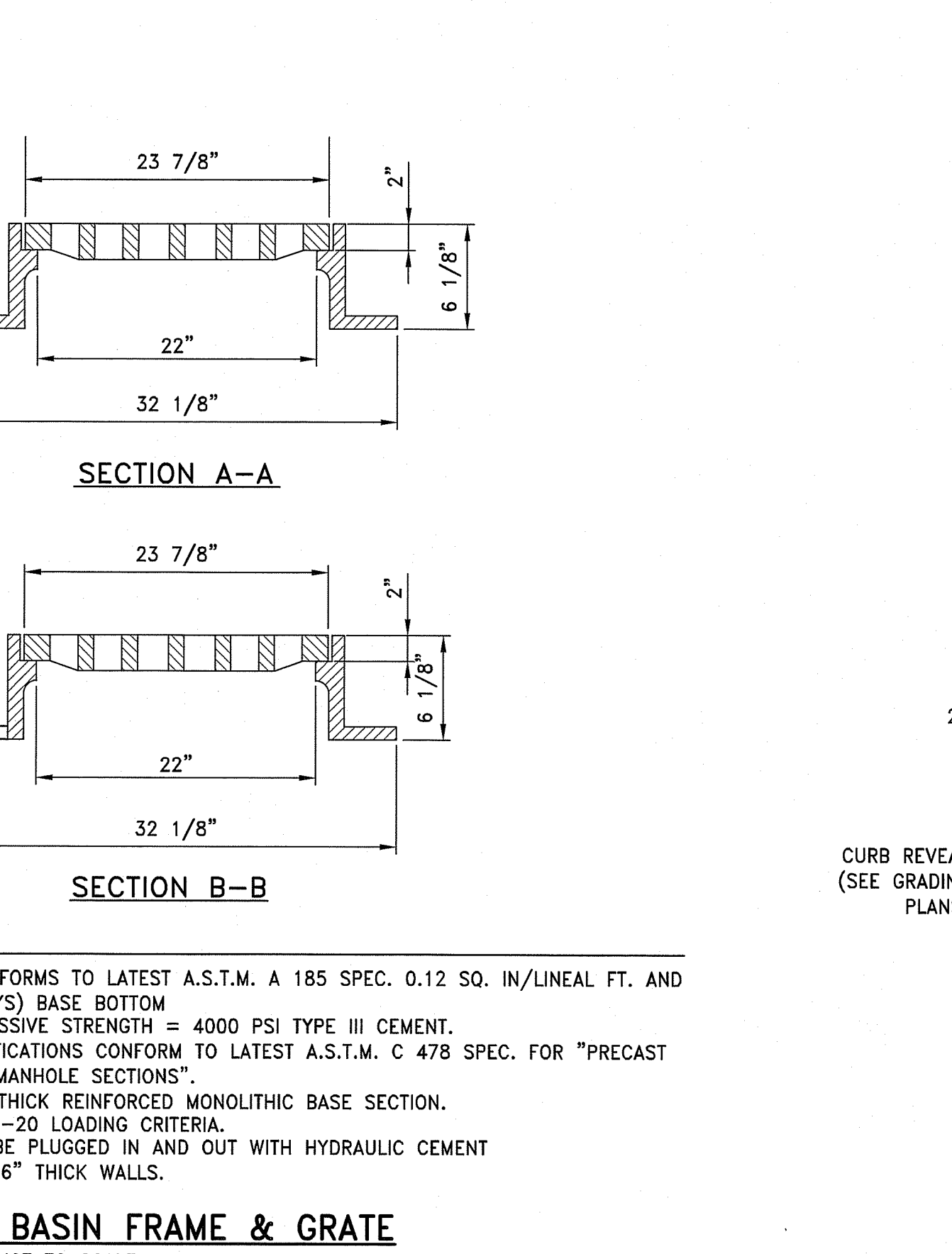
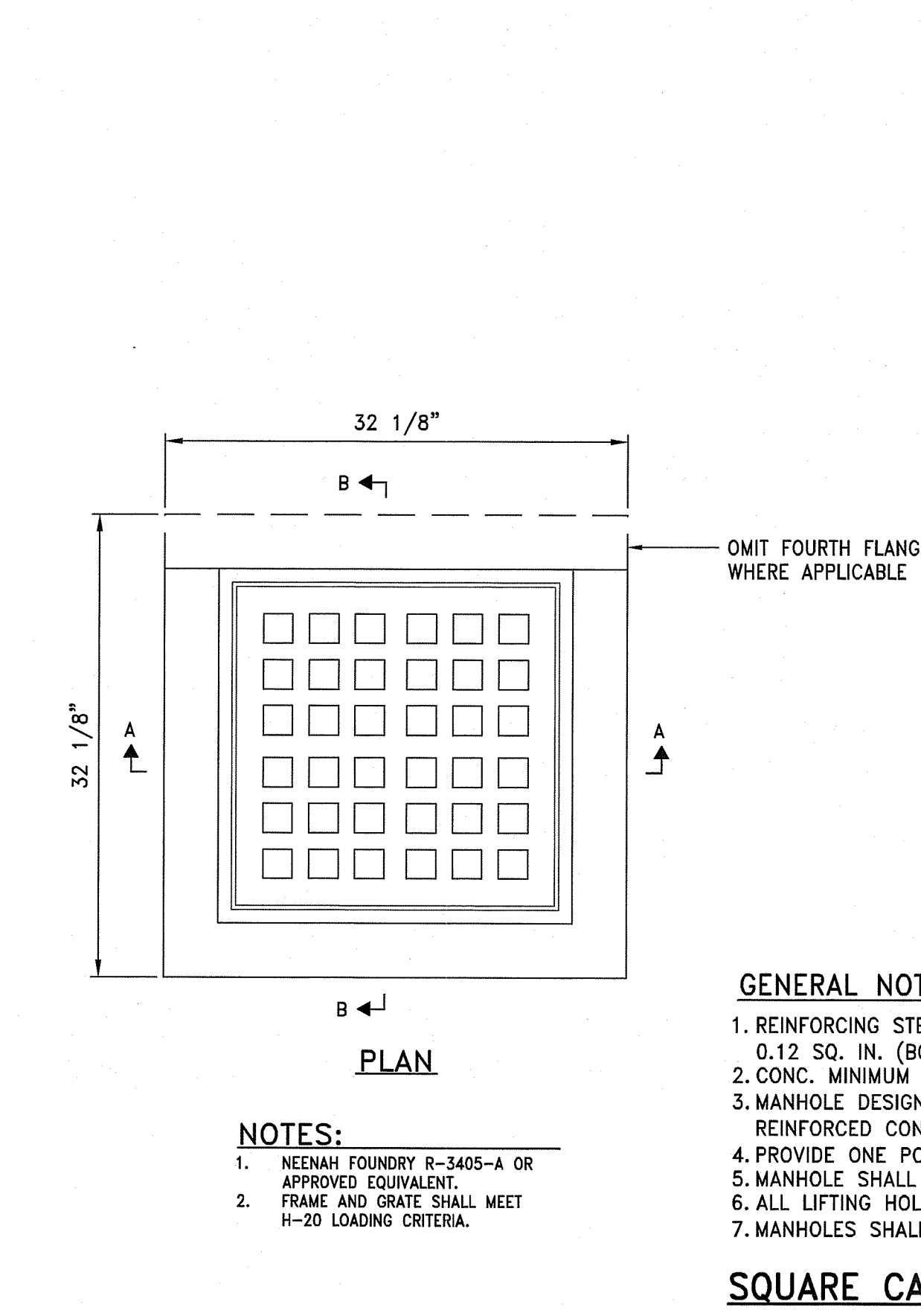
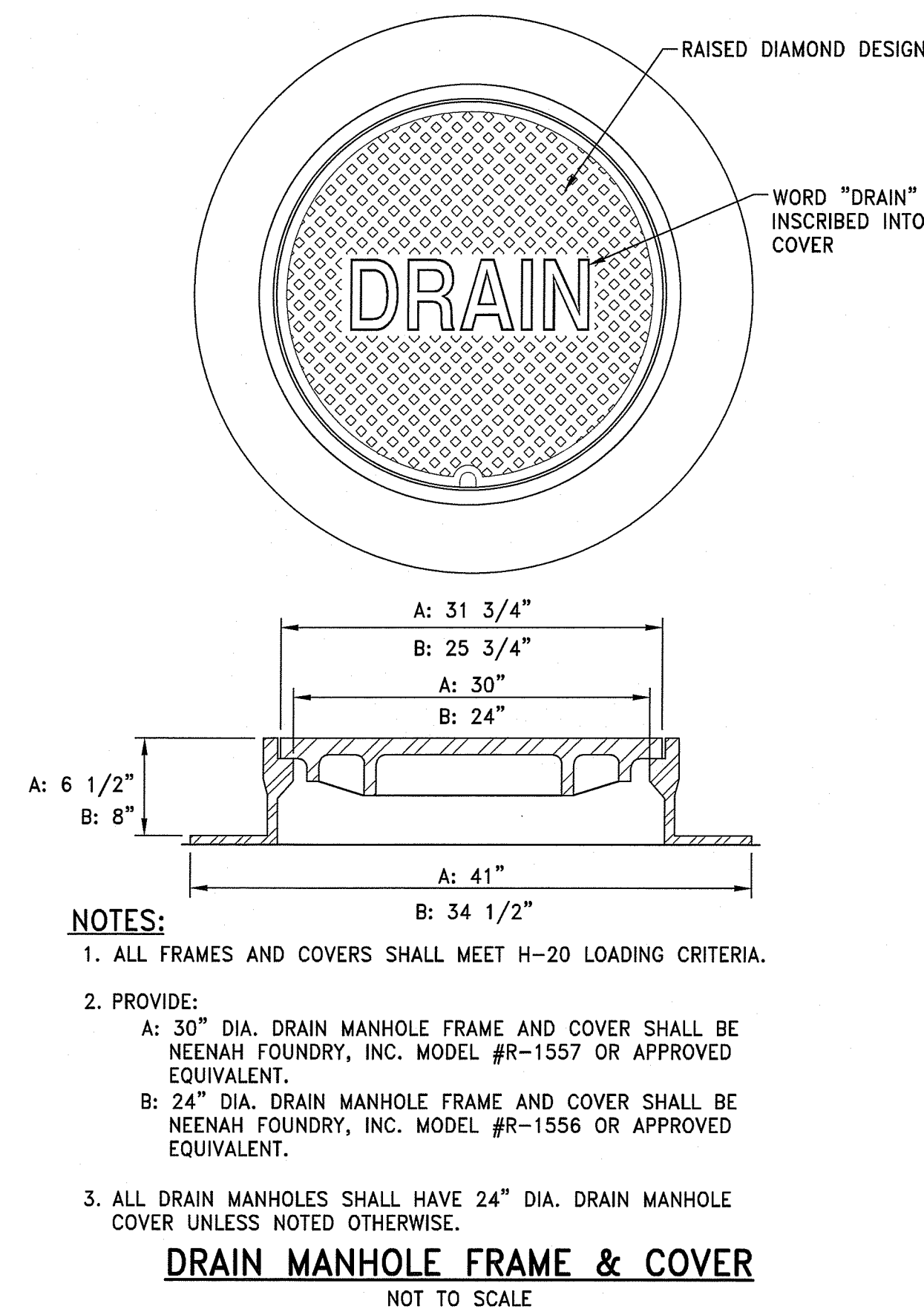
DETAILS 6

DRAWING NO.:

DRAWING NO.:

SHEET NO. 15 OF 1

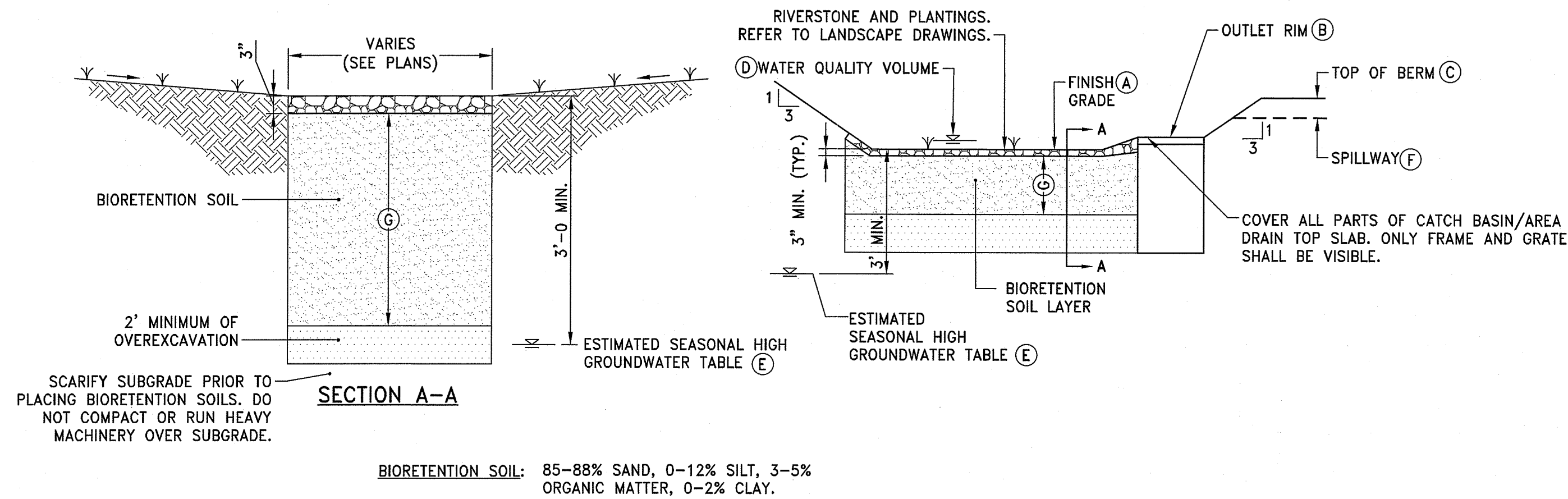
SHEET NO. 15 OF 1



RI Environmental Management
DEC 20 2021
Office of Water Resources

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS
APPROVED WITH COMMENTS IN THE LETTER
SPECIFIED IN THE LETTER
DATED: JUL 20 2022 FILE NO. _____
NO CHANGES ALLOWED WITHOUT APPROVED PLANS MUST BE ATTACHED
CLIPS
()
CONCRETE
ANCE WITH
URER'S
MENTS
MENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
NOTE PER DEM:
Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site

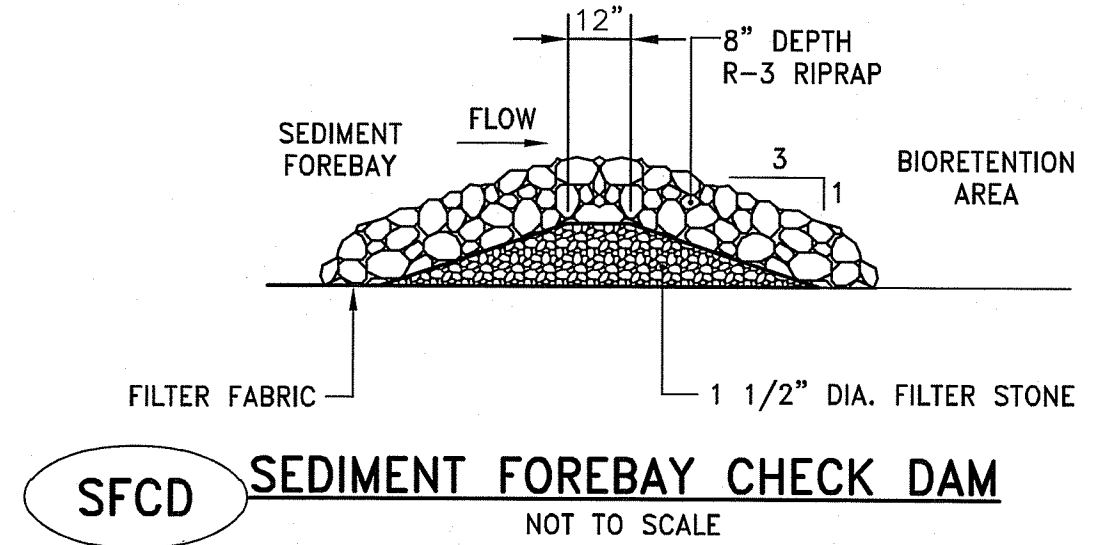
BIO	BIO-1	BIO-2
(A)	152.50	126.00
(B)	153.20	N/A
(C)	154.50	127.75
(D)	153.20	126.75
(E)	148.70	120.90
(F)	N/A	126.75
(G)	2'	3'



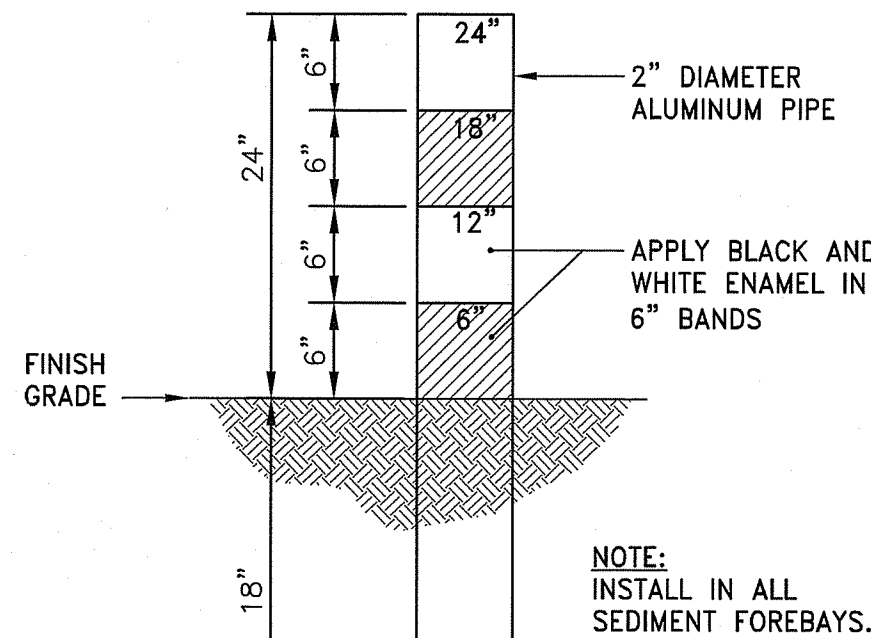
BIORETENTION DETAIL
NOT TO SCALE

BIORETENTION NOTES:

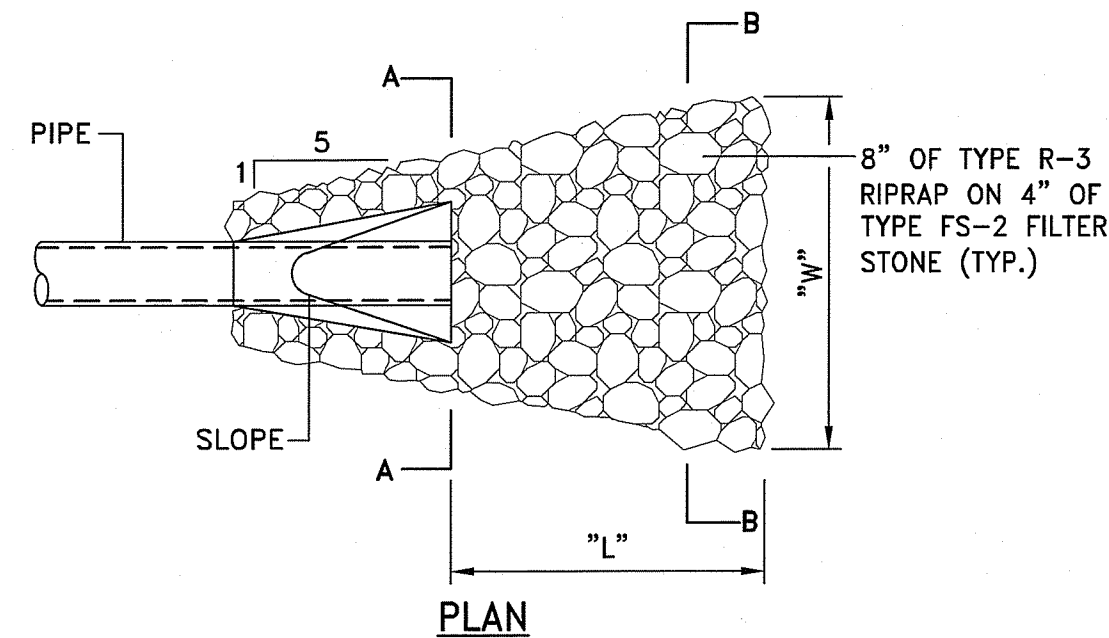
1. ABSOLUTELY NO RUNOFF SHALL ENTER THE BIORETENTION AREA UNTIL ALL CONTRIBUTING DRAINAGE AREAS HAVE BEEN STABILIZED.
2. CONSTRUCTION EQUIPMENT AND TRAFFIC SHALL BE RESTRICTED FROM TRAVELING OVER THE BIORETENTION AREA TO MINIMIZE COMPACTION OF THE SOILS.
3. IF NECESSARY, UTILIZE LIGHT-TRACKED EQUIPMENT WHEN EXCAVATING WITHIN THE BIORETENTION AREA TO AVOID COMPACTION OF THE BASIN FLOOR.
4. INITIAL EXCAVATION SHALL BE CARRIED TO WITHIN 1 FOOT OF THE SUBGRADE ELEVATION. FINAL EXCAVATION TO THE BASIN SUBGRADE SHALL BE DEFERRED UNTIL ALL UPSTREAM DISTURBED AREAS HAVE BEEN STABILIZED OR PROTECTED.
5. CONTRACTOR SHALL CONTACT THE ENGINEER 48 HOURS PRIOR TO EXPOSING THE SUBGRADE TO COORDINATE ENGINEER'S OBSERVATION OF SUBGRADE.
6. CONSTRUCTION OF THE SYSTEM SHALL NOT COMMENCE UNTIL ENGINEER OBSERVES SUBGRADE AND BACKFILL MEDIA AND GRANTS PERMISSION TO PROCEED.
7. OVER EXCAVATION BELOW SUBGRADE SHALL BE REPLACED WITH ASTM C-33 SAND.
8. SEE PLANS FOR LOCATIONS AND INVERTS OF CATCH BASINS/ AREA DRAINS.
9. NOT ALL BIORETENTION AREAS INCLUDE A CATCH BASIN/ AREA DRAIN (SEE PLANS).
10. THE CONTRACTOR SHALL OVEREXCAVATE A MINIMUM OF TWO FEET BENEATH THE BIORETENTION AREAS. CONSTRUCT SUBGRADE USING ASTM C-33 SAND.



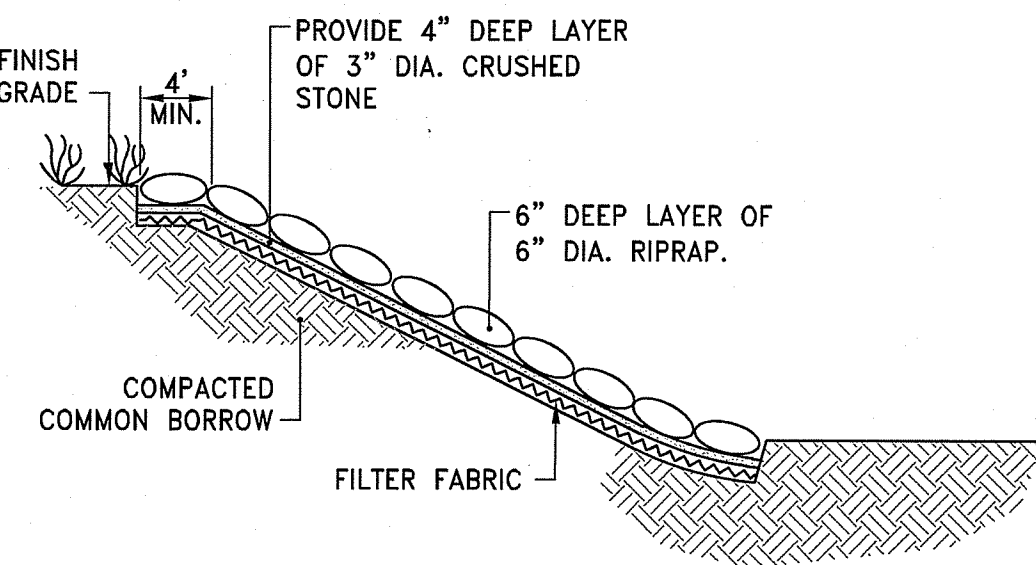
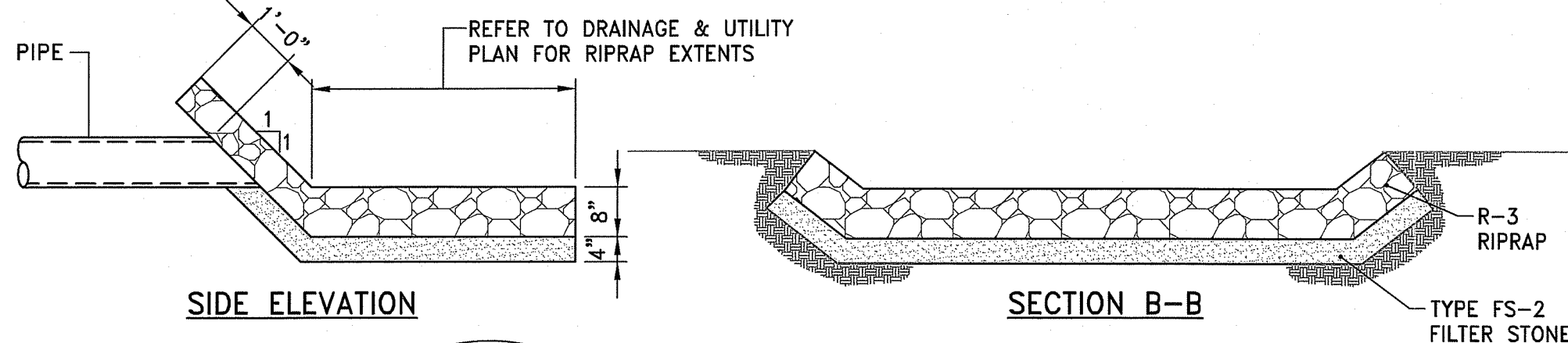
SFC SEDIMENT FOREBAY CHECK DAM
NOT TO SCALE



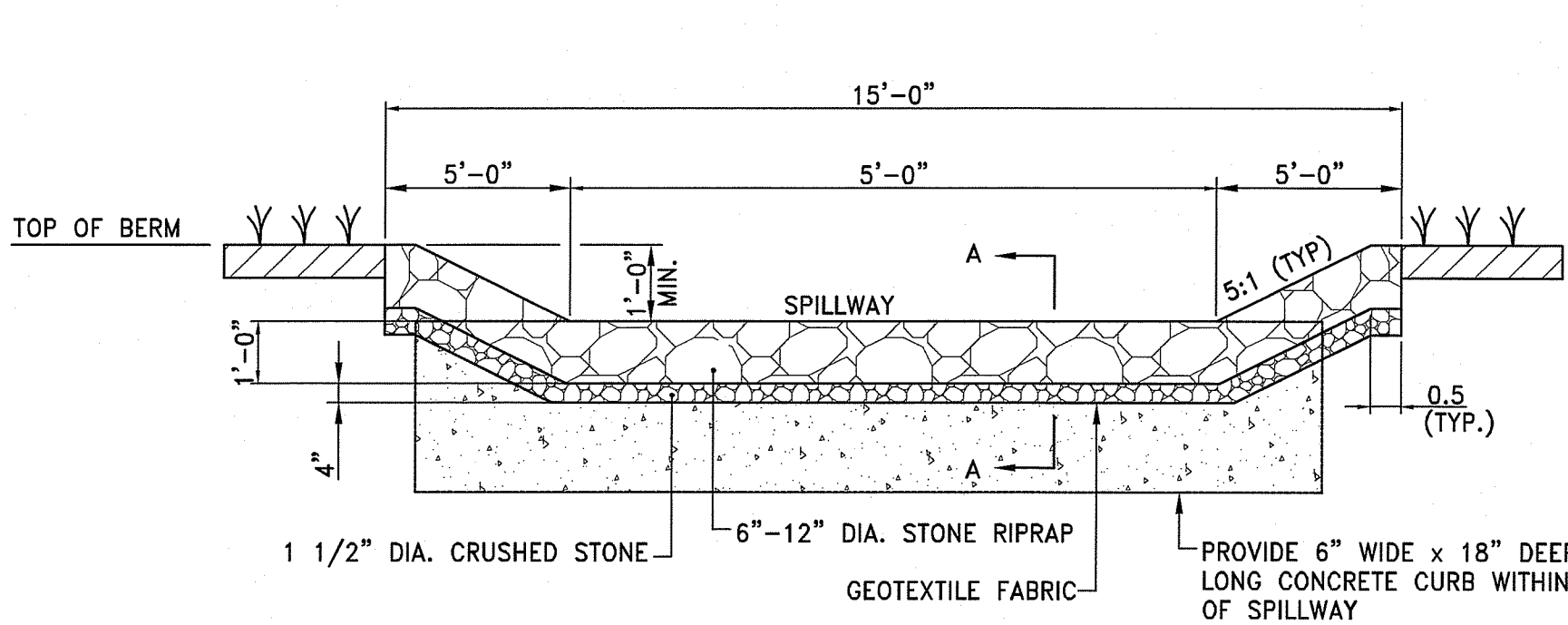
SEDIMENT MARKER DETAIL
NOT TO SCALE



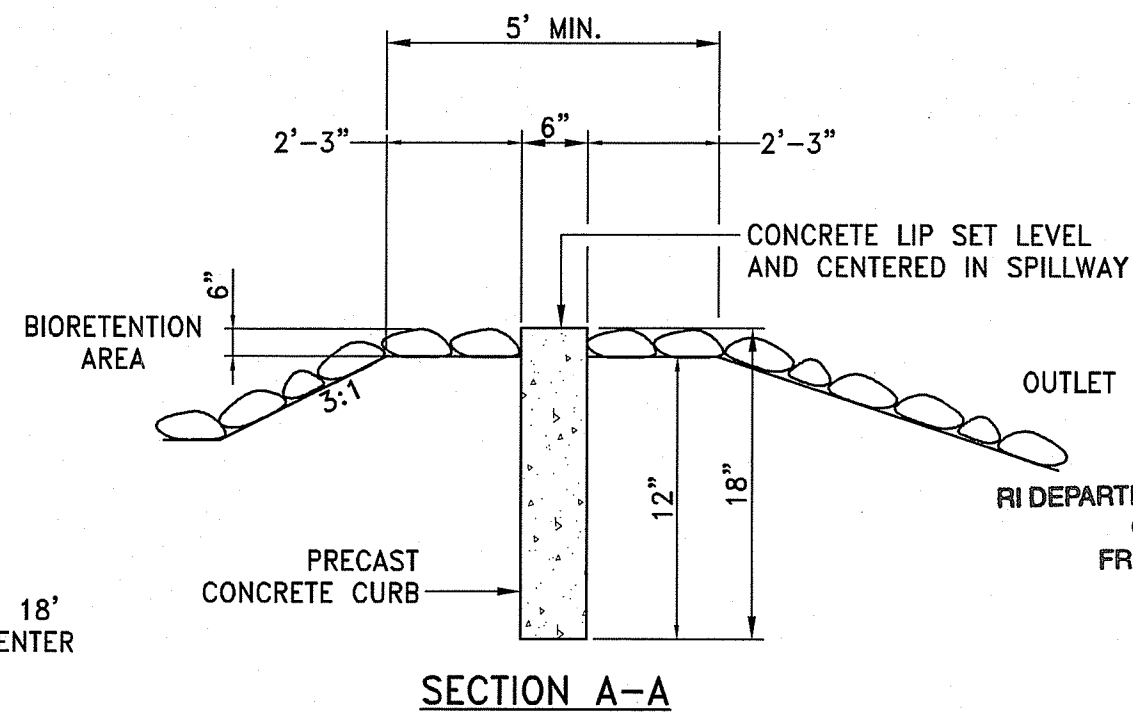
RLS RIPRAP LEVEL SPREADER
NOT TO SCALE



RRS RIPRAP SLOPE
NOT TO SCALE

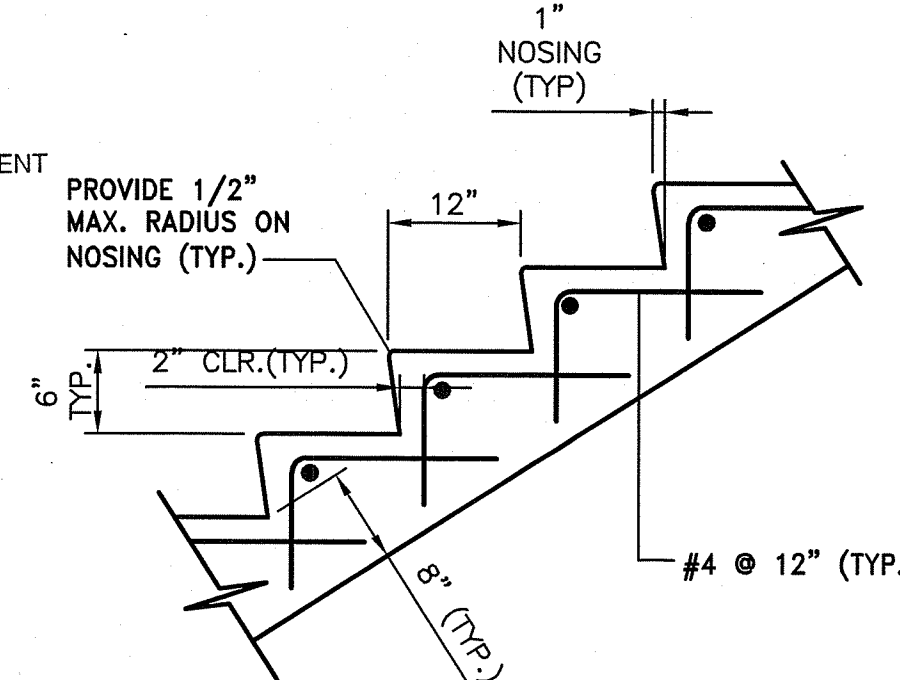


RS RIPRAP SPILLWAY DETAIL
NOT TO SCALE

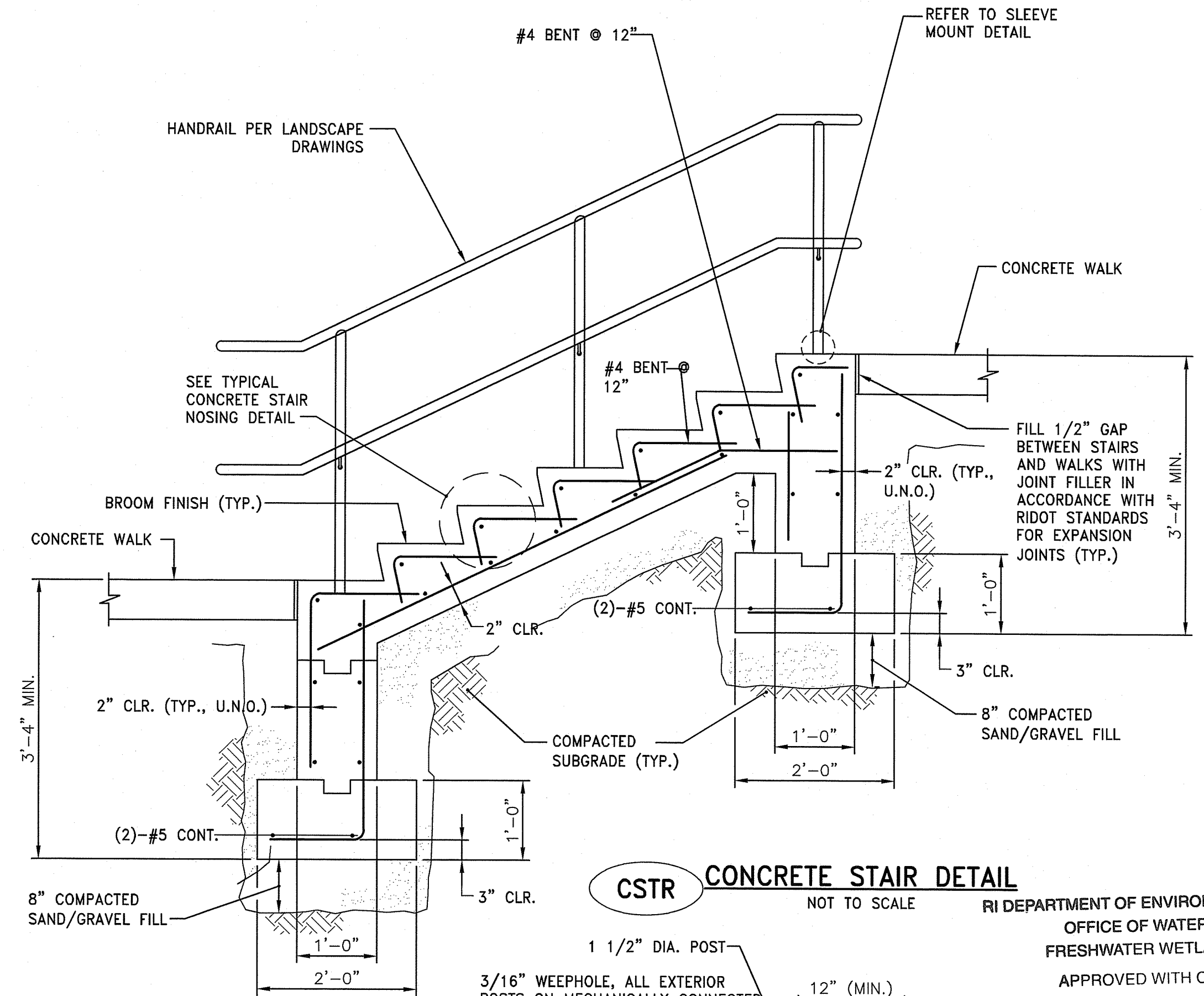


RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM

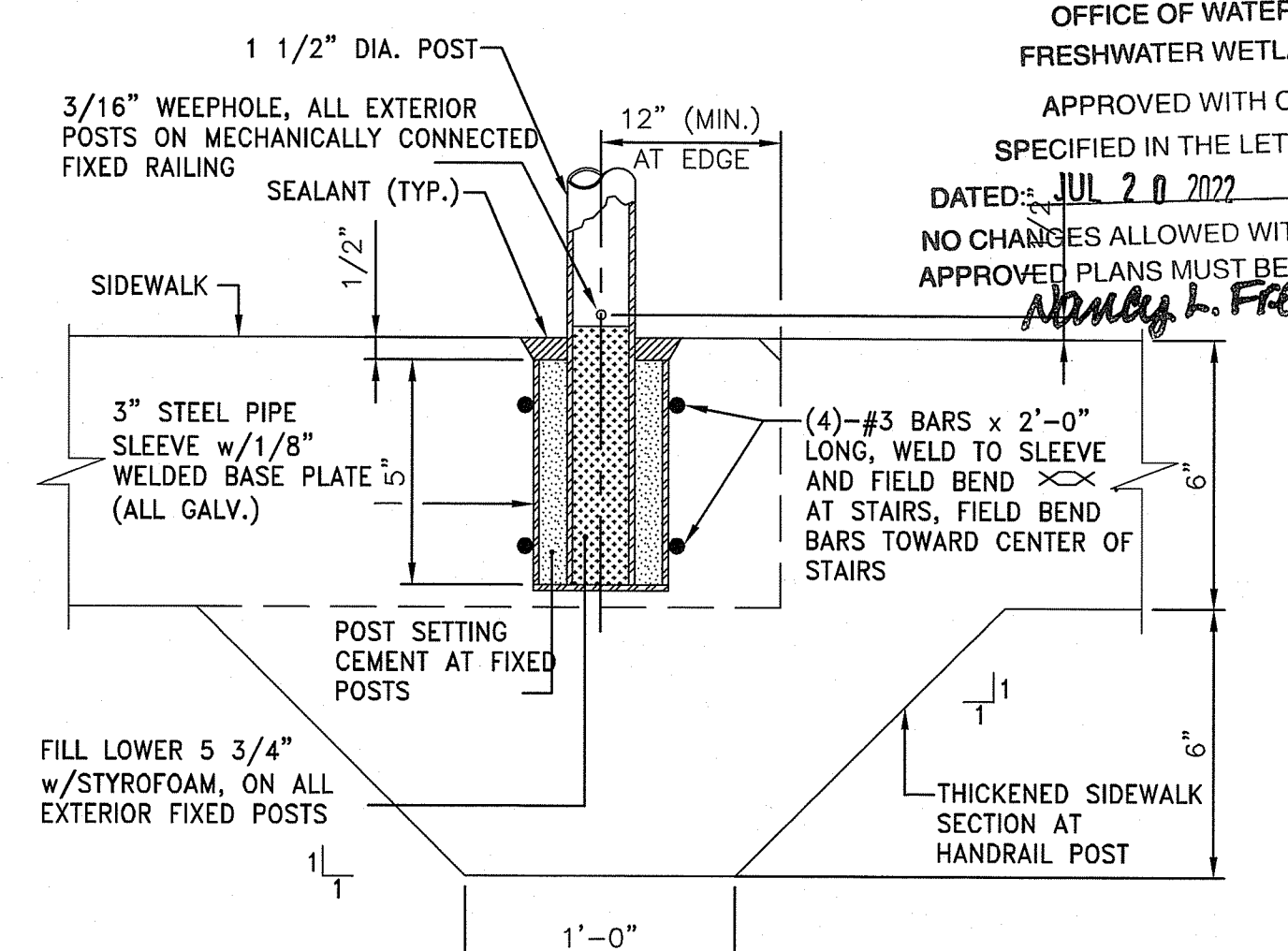
NOTE PER DEM:
Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site



TYPICAL CONCRETE STAIR NOSING DETAIL
NOT TO SCALE



CSTR CONCRETE STAIR DETAIL
NOT TO SCALE



SLEEVE MOUNT DETAIL
NOT TO SCALE

OWNER:
BRISA BERNON MILLS, LP.
119 FRONT STREET, #401
WOONSOCKET, RI 02895

APPLICANT:
BRISA DEVELOPMENT, LLC
2009 FLATBUSH AVENUE
NEW YORK, NY 11234

SCALE ADJUSTMENT GUIDE
0" 1"
BAR IS ONE INCH ON ORIGINAL DRAWING

RI Environmental Management
DEC 20 2021
Office of Water Resources

Bernon Mills Redevelopment
MAP D3, LOTS 1516 & 1561
MAP D4, LOT 15221
115 & 119 Front Street
Woonsocket, Rhode Island

VICTORIA HOWLAND
No. 12076
REGISTERED PROFESSIONAL ENGINEER (CIVIL)

REVISIONS:
RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL
DATED: JUL 20 2022 FILE # 21-0330
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE
Nancy L. Freeman

PROJECT NO.: 21022.00
DATE: DECEMBER 10, 2021
SCALE: NOT TO SCALE
DESIGNED BY: KM
CHECKED BY: VAH
DRAWN BY: AKL
APPROVED BY: VAH
DRAWING TITLE:

DETAILS 7

DRAWING NO.: C7.7
SHEET NO. 16 OF 18



SCALE ADJUSTMENT GUIDE
0" 1"
BAR IS ONE INCH ON
ORIGINAL DRAWING

**MAP D3, LOTS 1546 & 1561
MAP D4, LOT 15221
115 & 119 Front Street
Woonsocket, Rhode Island**

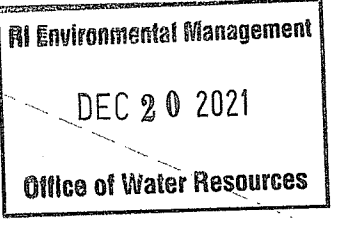


CT NO.:	21022.00
DECEMBER 10, 2021	
:	1" = 30'
DESIGNED BY:	DCS
CHECKED BY:	DCS
IN CHARGE BY:	DCS
APPROVED BY:	DCS
PROJECT TITLE:	

Landscape Plan

NG NO.:
L1.0
NO. 17 OF 18

NG NO.:
L1.0
NO. 17 OF 18



North

Scale: 1" = 30'

0 15' 30' 60'

DECIDUOUS TREES	CODE	QTY	BOTANICAL / COMMON NAME	B&B	CALIPER	
	AROC	3	Acer rubrum 'October Glory' TM / October Glory Maple	B & B	2.5"Cal	
	ARRS	2	Acer rubrum 'Red Sunset' / 'Red Sunset' Maple 6"8" STD.	B & B	3"Cal	
	UP2	2	Ulmus americana 'Princeton' / Princeton American Elm	B & B	2.5"Cal	
EVERGREEN TREES	CODE	QTY	BOTANICAL / COMMON NAME	B&B	CALIPER	
	IO2	6	Ilex opaca / American Holly provide 1 male plant in total count with remaining to be female	B&B; 3'-4" HT.		
FLOWERING TREES	CODE	QTY	BOTANICAL / COMMON NAME	B&B	CALIPER	
	CR7	6	Cornus florida rubra / Pink Flowering Dogwood	B&B; 10'-12" HT.		
WETLAND MITIGATION	CODE	QTY	BOTANICAL / COMMON NAME	B&B	CALIPER	
	TO	17	Thuja occidentalis / American Arborvitae	B&B; 4'-5" HT.		
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT/B&B	SIZE	
	HMNB	13	Hydrangea macrophylla 'Nikko Blue' / Nikko Blue Hydrangea	CONT	5 gal	
	IN2	34	Ilex glabra 'Nordic' / Nordic Inkberry	CONT	3 gal	
	IL2	21	Ilex verticillata 'Red Sprite' / Red Sprite Winterberry	CONT	5 gal	
	KL1	2	Kalmia latifolia / Mountain Laurel	30"-36", B&B		
	RN3	3	Rhododendron catawbiense 'Nova Zembla' / Catawba Rhododendron Mature Height: 5'	4' - 5'; B&B		
	RM2	9	Rhododendron maximum / Rose Bay Rhododendron	B & B	5' - 6" HT.	
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	CONT/FLAT	SIZE	SPACING
	Jh	205	Juniperus horizontalis / Creeping Juniper	CONT.	1 gal	60" o.c.
	VM	1,061	Vinca minor / Common Periwinkle	flat		12" o.c.

[illegible]

BOTANICAL NAME	COMMON NAME	INDICATOR
NEW ENGLAND EROSION CONTROL/RESTORATION MIX FOR MOIST SITES		
AGROSTIS PERENNANS	UPLAND BENTGRASS	FACU
ARGOSTIS STOLONIFERA	CREeping BENTGRASS	FACW
ANDROPOGON GERARDII	BIG BLUESTEM, AIGRA	FAC
ASTER NOVAE-ANGIAE	NEW ENGLAND ASTER	FACW-
CAREX VULPINODEA	FOZ SEDGE	OBL
ELYNIS VIRGINICUS	VIRGINIA WILD RYE	FACW-
EUPATORIUM PERFOLIATUM	BONASET	FACW
EUTHAMIA GRAMINIFOLIA (SOLIDAGO G.)	GRASS LEAVED GOLDENROD	FAC
FESTUCA RUBRA	CREeping RED FESCUE	FACU
JUNCUS EFFUSUS	SOFT RUSH	FACW+
ONOCLEA SENSIBILIS	SENSITIVE FERN	FACW
PANICUM VIRGATUM	SWITCH GRASS	FAC
SCHIZACHRYRUM SCOPARIUM	LITTLE BLUESTEM	FACU
SCRIPUS AETROVIRENS	GREEN BULRUSH	OBL
SCRIPUS CYPERINUS	WOOL GRASS	FACW
VERBENA HASTATA	BLUE VERVAIN	FACW

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES

NEW ENGLAND WETMIX		
ALISMA PLANTAGO-AQUATICA	MUD PLAINAIN	OBL
ASCLEPIAS INCARNATA	SWAMP MILKWEED	OBL
ASTER NOV-BELGII	NEW YORK ASTER	FACW
BIDENS CERNUA	NODDING BUR MARIGOLD	OBL
CAREX COMOSA	BRISTLYCISMOS SEDGE	OBL
CAREX CRINITA	FRINGED SEDGE	OBL
CAREX LUPULINA	HOP SEDGE	OBL
CAREX LURIDA	LURID SEDGE	OBL
CAREX SCOPARIA	BLUNT BROOM SEDGE	FACW
CAREX VULPINOIDEA	FOX SEDGE	OBL
EUPATORIUM MACULATUM	SPOTTED JOE PEE WEED	FACW
EUPATORIUM PERFORLUTUM	BONESET	OBL
GLYCERIA CANADENSIS	RATTLESNAKE GRASS	OBL
GLYCERIA STRIATA	FOWL MANNAGRASS	OBL
JUNCUS EFFUSUS	SOFT RUSS	FACW
MIMULUS RINGENS	SQUARE STEMMED MONKEY FLOWER	OBL
ONOCLEA SENSIBILIS	SENSITIVE FERN	FACW

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM

QTY.	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
90	CS	CARIX STRICTA	TUSsock SEDGE	1 GALLON	36" ON CENTER

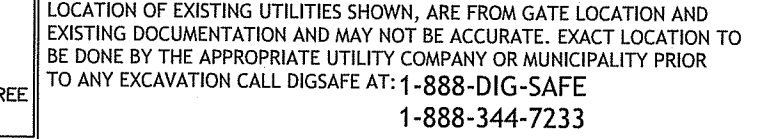
Kindly be advised that this Permit
is not equivalent to a
verification of the type or extent
of freshwater wetlands on site

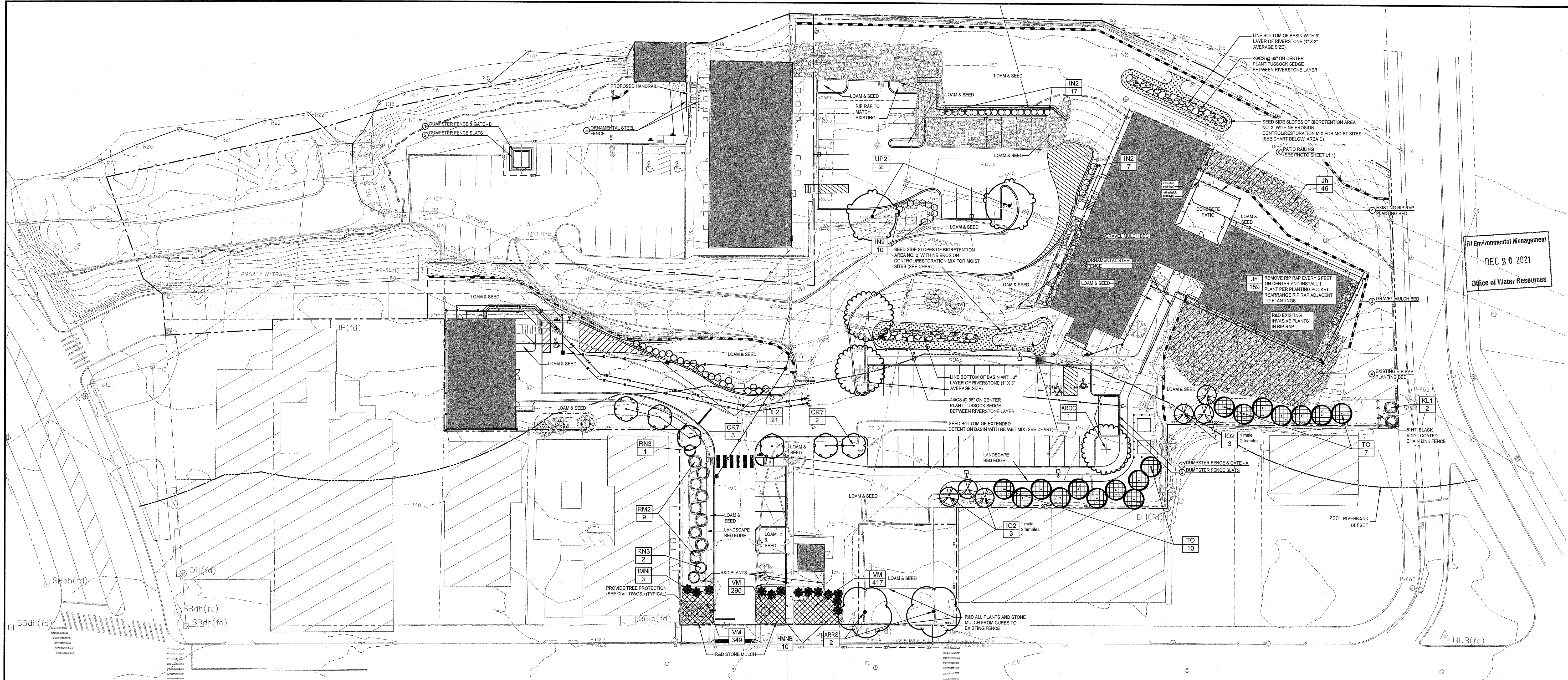
Appendix C-ZONING ORDINANCE
Section 12. Provisions Governing Overlay Districts

ZONING CRITERIA	REQUIRED	PROPOSED	REFERENCE
Green Space Requirement	50 square feet of on-site green space for every parking space	Yes	12.1-6
Parking Areas	Minimum 5% of required green space shall be applied within parking and circulation areas	5.9% at west parking lot and 8% at east parking lot	12.1-6.1
Perimeter Buffers	Property lines that abut residential use shall have a 10 foot wide landscape buffer containing plant material or fencing to create a 6 foot tall screen	N/A	12.1-6.2 (1)
	Property lines that abut a nonresidential use shall have a 5 foot wide landscape buffer containing plant material of an appropriate nature as determined by the design review commission.	1 foot minimum at Carriage House	12.1-6.2 (2)
	Property lines that abut a street or public right-of-way shall have a 4 foot wide landscape buffer containing street trees approximately 50 feet on center.	Yes	12.1-6.2 (3)

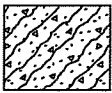
APPROVED WITH CONDITIONS AS
SPECIFIED IN THE LETTER OF APPROVAL
DATED: JUL 20 2022 FILE #: 21-0330
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

NOTE PER DEM:





PLANT SCHEDULE

<u>DECIDUOUS TREES</u>	<u>CODE</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>B&B</u>	<u>CALIPER</u>	
	AROC	3	Acer rubrum 'October Glory' TM / October Glory Maple	B & B	2.5"Cal	
	ARRS	2	Acer rubrum 'Red Sunset' / 'Red Sunset' Maple 6"8" STD.	B & B	3"Cal	
	UP2	2	Ulmus americana 'Princeton' / Princeton American Elm	B & B	2.5"Cal	
<u>EVERGREEN TREES</u>	<u>CODE</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>B&B</u>	<u>CALIPER</u>	
	IO2	6	Ilex opaca / American Holly provide 1 male plant in total count with remaining to be female	B&B; 3'-4' HT.		
<u>FLOWERING TREES</u>	<u>CODE</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>B&B</u>	<u>CALIPER</u>	
	CR7	6	Cornus florida rubra / Pink Flowering Dogwood	B&B; 10'-12' HT.		
<u>WETLAND MITIGATION</u>	<u>CODE</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>B&B</u>	<u>CALIPER</u>	
	TO	17	Thuja occidentalis / American Arborvitae	B&B; 4'-5' HT.		
<u>SHRUBS</u>	<u>CODE</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>CONT/B&B</u>	<u>SIZE</u>	
	HMNB	13	Hydrangea macrophylla 'Nikko Blue' / Nikko Blue Hydrangea	CONT	5 gal	
	IN2	34	Ilex glabra 'Nordic' / Nordic Inkberry	CONT	3 gal	
	IL2	21	Ilex verticillata 'Red Sprite' / Red Sprite Winterberry	CONT	5 gal	
	KL1	2	Kalmia latifolia / Mountain Laurel	30"-36"; B&B		
	RN3	3	Rhododendron catawbiense 'Nova Zembla' / Catawba Rhododendron Mature Height: 5'	4' - 5'; B&B		
	RM2	9	Rhododendron maximum / Rose Bay Rhododendron	B & B	5' - 6' HT.	
<u>GROUND COVERS</u>	<u>CODE</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>CONT/FLAT</u>	<u>SIZE</u>	<u>SPACING</u>
	Jh	205	Juniperus horizontalis / Creeping Juniper	CONT.	1 gal	60" o.c.
	VM	1,061	Vinca minor / Common Periwinkle	flat		12" o.c.

BIO-RETENTION AND FOREBAY AREAS SEEDING MIXES

BOTANICAL NAME COMMON NAME INDICATOR

BOTANICAL NAME	COMMON NAME	INDICATOR
AGROSTIS PERENNANS	UPLAND BENTGRASS	FACU
ARGOSTIS STOLONIFERA	CREPING BENTGRASS	FACW
ANDROPOGON GERARDII	BIG BLUESTEM, NIAGRA	FAC
ASTER NOVAE-ANGLIAE	NEW ENGLAND ASTER	FACW+
CAREX VULPINOIDEA	FOZ SEDGE	FACW-
ELYMUS VIRGINICUS	VIRGINIA WILD RYE	OBL
EUPATORIUM PERFORIATUM	BONESET	FACW-
EUTHAMIA GRAMINIFOLIA (SOLIDAGO G.)	GRASS LEAVED GOLDENROD	FAC
FESTUCA RUBRA	CREeping RED FESCUE	FACU
JUNCUS EFFUSUS	SOFT RUSH	FACW+
ONOCLEA SENSIBILIS	SENSITIVE FERN	FACW
PANICUM VIRGATUM	SWITCH GRASS	FAC
SCHIZACHYRUM SCOPARIUM	LITTLE BLUESTEM	FACU
SCRIPUS ATROVIRENS	GREEN BULRUSH	OBL
SCRIPUS CYPERINUS	WOOL GRASS	FACW
VERBENA HASTATA	BLUE Vervain	FACW

NOTE: CONTRACTOR TO SOW 10.5 LBS. OF ABOVE SEED AT 35 LBS/ACRE. SEED TO BE SHOWN BY THE HAND BROADCAST METHOD.

BOTANICAL NAME	COMMON NAME	INDICATOR
ALISMA PLANTAGO-AQUATICA	MUD PLANTAIN	OBL
ASCLEPIAS INCARNATA	SWAMP MILKWEED	OBL
ASTER NOV-BELGII	NEW YORK ASTER	FACW
BIDENS CERNUA	NODDING BUR MARIGOLD	OBL
CAREX COMOSA	BRISTLY COSMOS SEDGE	OBL
CAREX CRINITA	FRINGED SEDGE	OBL
CAREX LUPULINA	HOP SEDGE	OBL
CAREX LURIDA	LURID SEDGE	OBL
CAREX SCOPARIA	BLUNT BROOM SEDGE	FACW
CAREX VULPINOIDEA	FOX SEDGE	OBL
EUPATORIUM MACULATUM	SPOTTED JOE PYE WEED	FACW
EUPATORIUM PERFORIATUM	BONESET	OBL
GLYCERIA STRIATA	RATTLESNAKE GRASS	OBL
JUNCUS EFFUSUS	FOWL MANNA GRASS	OBL
MIMULUS RINGENS	SOFT RUSH	FACW
ONOCLEA SENSIBILIS	SQUARE STEMMED MONKEY FLOWER	OBL
	SENSITIVE FERN	FACW

NOTE: CONTRACTOR TO SOW 12.6 LBS. OF ABOVE SEED AT 18 LBS/ACRE. SEED TO BE SHOWN BY THE HAND BROADCAST METHOD.

BIO-RETENTION BASIN - PLANT SCHEDULE

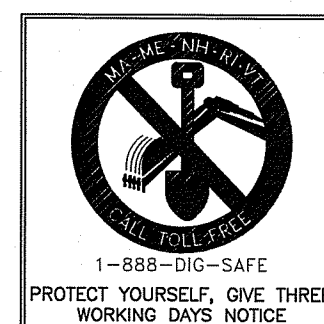
QTY.	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
90	CS	CARIX STRICTA	TUSsock SEDGE	1 GALLON	36" ON CENTER

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS AS
SPECIFIED IN THE LETTER OF APPROVAL
DATED: JUL 20 2021 FILE # 21-0330
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE
Nancy L. Freeman

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM

NOTE PER DEM:

Kindly be advised that this Permit
is not equivalent to a
verification of the type or extent
of freshwater wetlands on site



LOCATION OF EXISTING UTILITIES SHOWN, ARE FROM GATE LOCATION AND
EXISTING DOCUMENTATION AND MAY NOT BE ACCURATE. EXACT LOCATION TO
BE DONE BY THE APPROPRIATE UTILITY COMPANY OR MUNICIPALITY PRIOR
TO ANY EXCAVATION CALL DISAST AT: 1-888-DIG-SAFE
1-888-344-7233



Diane C. Souza & Associates, ASLA
Landscape Architecture
422 Farm Road
Smithfield, Rhode Island 02917
www.dianesouzaassociates.com
401.231.6786
email: diane@dcasus

SCALE ADJUSTMENT GUIDE
0" 1"
BAR IS ONE INCH ON
ORIGINAL DRAWING

Bernon Mills Redevelopment
MAP D3, LOTS 15-16 & 15-61
MAP D4, LOT 15-221
115 & 119 Front Street
Woonsocket, Rhode Island



REVISIONS:

NO.	DESCRIPTION

PROJECT NO.: 21022.00
DATE: DECEMBER 10, 2021
SCALE: 1" = 30'
DESIGNED BY: DCS
CHECKED BY: DCS
DRAWN BY: DCS
APPROVED BY: DCS
DRAWING TITLE:

Landscape Plan

DRAWING NO.:
L1.0
SHEET NO. 17 OF 18