

LOCATION PLAN SCALE: 1"=1,000'

**ZONING DATA**

ZONE R-40 RESIDENTIAL

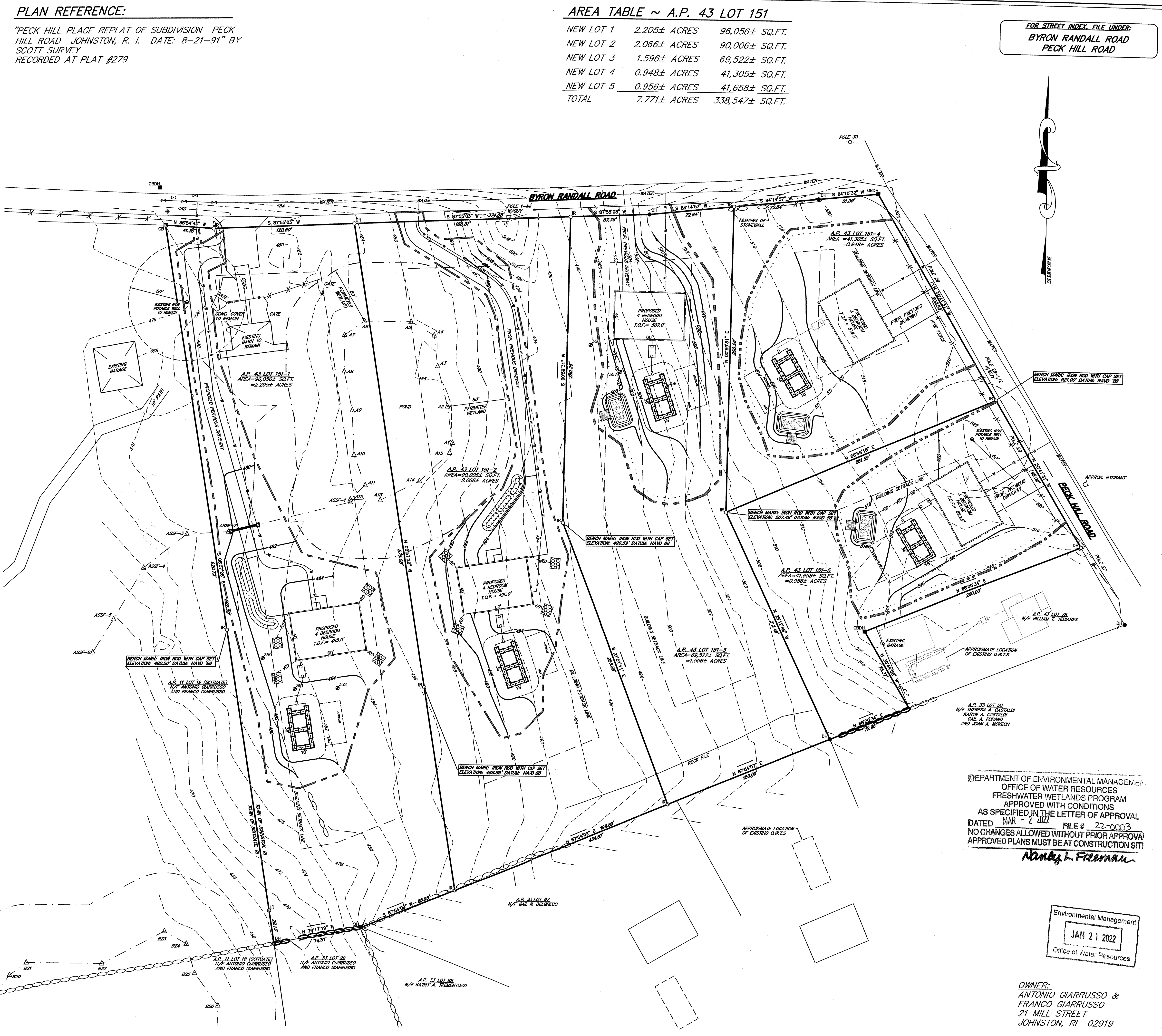
MINIMUM LOT AREA	40,000 S.F.
MINIMUM LOT WIDTH	140'
MINIMUM LOT FRONTAGE	140'
MINIMUM FRONT YARD	40'
MINIMUM SIDE YARD	35'
MINIMUM REAR YARD	75'
MAXIMUM BUILDING HEIGHT	30'
MAXIMUM BUILDING COVERAGE	15%

- GENERAL NOTES:**
1. THE PURPOSE OF THIS PLAN IS TO DEPICT THE CONFIGURATION OF A PROPOSED FIVE-LOT SUBDIVISION.
  2. TOPOGRAPHY SHOWN HEREON IS TAKEN FROM AN ON-THE-GROUND SURVEY, AND IS BASED ON THE NATIONAL GEODETIC VERTICAL DATUM OF 1988 (NGVD88).
  3. SITE IS LOCATED WITHIN FLOOD HAZARD ZONE X (AREA OF MINIMUM FLOOD HAZARD) AS SHOWN ON THE FLOOD INSURANCE RATE MAP FOR THE TOWN OF JOHNSTON, RHODE ISLAND, MAP NUMBER 4400702295C, MAP EFFECTIVE DATE: MARCH 2, 2008.
  4. WETLAND DELINEATION WAS CONDUCTED BY NATURAL RESOURCE SERVICES, INC. IN HARRISVILLE, RI ON OCTOBER 10, 2020. FLAGS WERE ACCURATELY LOCATED BY SCITUATE SURVEYS, INC.
  5. SITE LOCUS IS ENTIRELY WOODED, EXCEPT AS SHOWN.
  6. OWNS ARE PROPOSED FOR THE FIVE NEW LOTS.
  7. THERE ARE NO KNOWN HISTORIC CEMETERIES OR IMMEDIATELY ADJACENT TO THE EXISTING LOT.
  8. THERE ARE NO EXTRAORDINARY OR UNUSUAL NATURAL FEATURES ON THE EXISTING LOT.
  9. THE LOCATION OF THE EXISTING WATER SERVICE IN PECK HILL ROAD AND BYRON RANDALL ROAD AS SHOWN HEREON HAS BEEN PROVIDED BY THE PROVIDENCE WATER SUPPLY BOARD.

**SOIL DATA**

ChC	CANTON AND CHARLTON FINE SANDY LOAMS, 8-15% SLOPES, VERY STONY
PbB	PAXTON FINE SANDY LOAM, 0-8% SLOPES, VERY STONY
Sub	SUTTON FINE SANDY LOAM, 0-8% SLOPES, VERY STONY

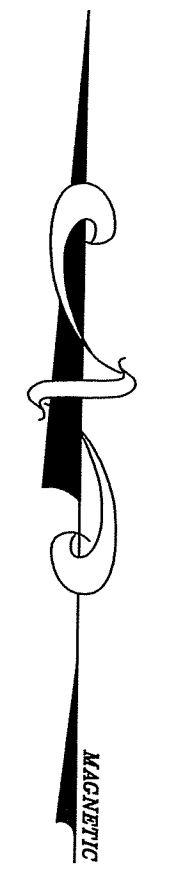
- LEGEND**
- A.P. ASSESSOR'S PLAT
  - N/F NOW OR FORMERLY
  - SQ. FT. SQUARE FEET
  - GBH GRANITE BOUND/DRILL HOLE FOUND
  - GB GRANITE BOUND TO BE SET
  - DH DRILL HOLE FOUND
  - DH DRILL HOLE SET
  - IR IRON ROD FOUND
  - IR IRON ROD WITH CAP SET
  - IR IRON ROD TO BE SET
  - IP IRON PIN FOUND
  - UTILITY POLE
  - MANHOLE
  - WELL
  - WETLAND FLAG
  - WG WATER GATE
  - HYDRANT
  - CLF CHAINLINK FENCE
  - 351 SOIL EVALUATION TEST HOLE LOCATION (APPROVED BY RIDEM)
  - WATER EXISTING WATER MAIN
  - - - - - PROPOSED MUNICIPAL WATER SERVICE



**AREA TABLE ~ A.P. 43 LOT 151**

NEW LOT 1	2.205± ACRES	96,056± SQ.FT.
NEW LOT 2	2.066± ACRES	90,006± SQ.FT.
NEW LOT 3	1.596± ACRES	69,522± SQ.FT.
NEW LOT 4	0.948± ACRES	41,305± SQ.FT.
NEW LOT 5	0.956± ACRES	41,658± SQ.FT.
TOTAL	7.771± ACRES	338,547± SQ.FT.

FOR STREET INDEX, FILE UNDER:  
BYRON RANDALL ROAD  
PECK HILL ROAD



**SCITUATE SURVEYS, INC.**  
410 TIOGUE AVENUE  
COVENTRY, RI 02816  
401.821.8101  
LAND SURVEYING/MAPPING / SITE PLANNING

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON FEBRUARY 28, 2018, AS FOLLOWS:

MEASUREMENT, SUBDIVISION CLASS II  
MEASUREMENT, SUBDIVISION CLASS III  
MEASUREMENT, SUBDIVISION CLASS III

TYPE OF SURVEY: DATA ACQUISITION SURVEY  
SUBSTRATE: SURVEY

DISCLAIMER: THE PURPOSE OF THIS PLAN IS TO SHOW A PROPOSED FIVE-LOT SUBDIVISION.

ANGIELO M. RAIMONDI  
No. 1102  
PROFESSIONAL LAND SURVEYOR

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS  
AS SPECIFIED IN THE LETTER OF APPROVAL  
DATED MAR 7 2022 FILE # 22-0003  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

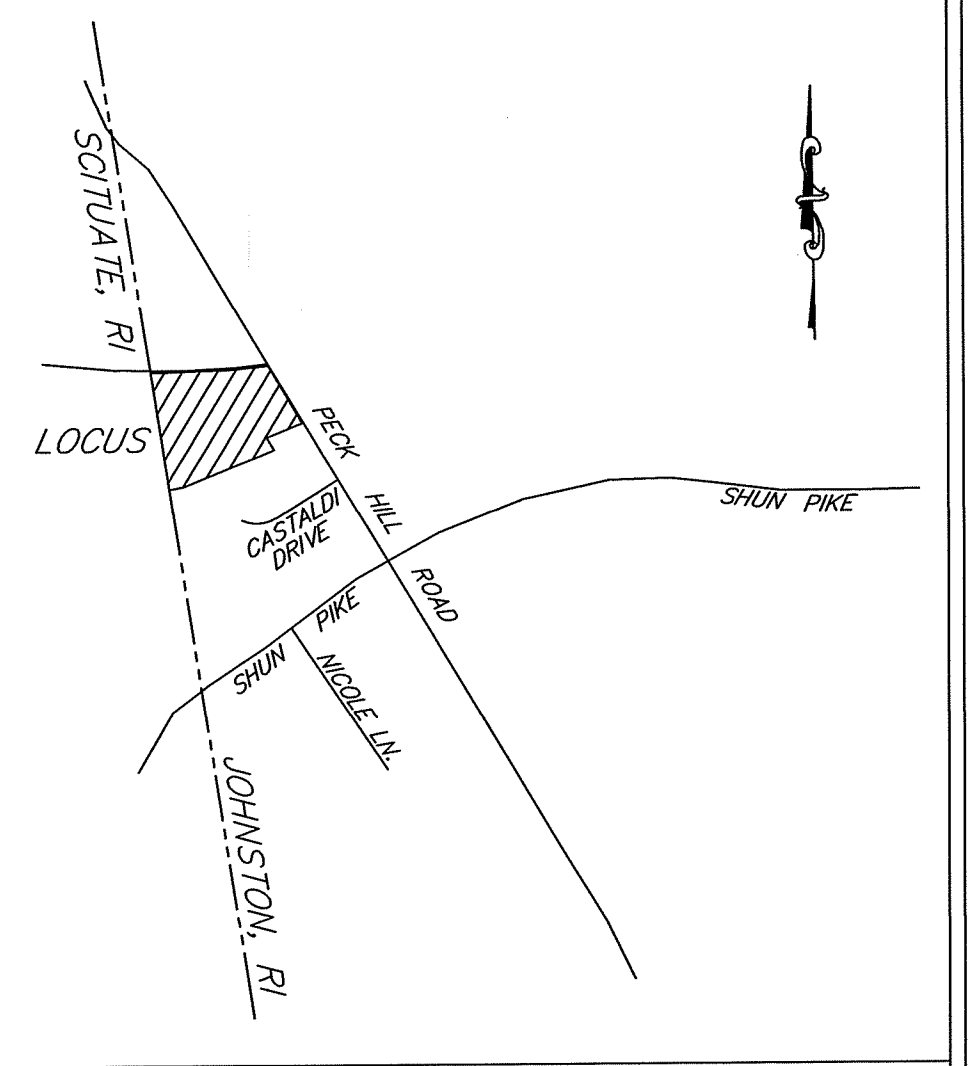
Nancy L. Freeman

Environmental Management  
JAN 21 2022  
Offices of Water Resources

OWNER:  
ANTONIO GIARRUSSO &  
FRANCO GIARRUSSO  
21 MILL STREET  
JOHNSTON, RI 02919

GIARRUSSO MEADOWS  
PRELIMINARY 5-LOT SUBDIVISION PLAN  
OF LAND OF  
**ANTONIO GIARRUSSO &  
FRANCO GIARRUSSO**  
ASSESSOR'S PLAT 43 LOT 151  
BYRON RANDALL ROAD AND PECK HILL ROAD  
JOHNSTON, RHODE ISLAND

PROJECT NO.: SS2973 SHEET 1 OF 1  
DRAWING NO.: SS4860



**PLAN REFERENCE:**  
 "PECK HILL PLACE REPLAT OF SUBDIVISION PECK HILL ROAD JOHNSTON, R. I. DATE: 8-21-91" BY SCOTT SURVEY RECORDED AT PLAT #279

**AREA TABLE ~ A.P. 43 LOT 151**

LOT 1	2.205± ACRES	96,056± SQ.FT.
LOT 2	2.066± ACRES	90,006± SQ.FT.
LOT 3	1.596± ACRES	69,522± SQ.FT.
LOT 4	0.948± ACRES	41,305± SQ.FT.
LOT 5	0.956± ACRES	41,658± SQ.FT.
<b>TOTAL</b>	<b>7.771± ACRES</b>	<b>338,547± SQ.FT.</b>

FOR STREET INDEX, FILE UNDER:  
 BYRON RANDALL ROAD  
 PECK HILL ROAD

**GROUNDWATER & LEDGE DEPTH TABLE**

TEST PIT	EXISTING GROUND	GROUNDWATER DEPTH	GROUNDWATER ELEVATION	LEDGE DEPTH	LEDGE ELEVATION
350	479.1'	4.0'	475.1'	9.0'	BELOW 470.1'
351	481.3'	4.0'	477.3'	10.0'	BELOW 471.3'
352	482.9'	4.0'	478.9'	9.0'	BELOW 473.9'

LOCATION PLAN SCALE: 1"=1,000'

**ZONING DATA**  
**ZONE R-40 RESIDENTIAL**  
 MINIMUM LOT AREA 40,000 S.F.  
 MINIMUM LOT WIDTH 140'  
 MINIMUM LOT FRONTAGE 140'  
 MINIMUM FRONT YARD 40'  
 MINIMUM SIDE YARD 35'  
 MINIMUM REAR YARD 75'  
 MAXIMUM BUILDING HEIGHT 30'  
 MAXIMUM BUILDING COVERAGE 15%

**GENERAL NOTES:**

1. THE PURPOSE OF THIS PLAN IS TO DEPICT THE CONFIGURATION OF A PROPOSED FIVE-LOT SUBDIVISION.
2. TOPOGRAPHY SHOWN HEREON IS TAKEN FROM AN ON-THE-GROUND SURVEY, AND IS BASED ON THE NATIONAL GEODETIC VERTICAL DATUM OF 1988 (NGVD83).
3. SITE IS LOCATED WITHIN FLOOD HAZARD ZONE X (AREA OF MINIMUM FLOOD HAZARD) AS SHOWN ON THE FLOOD INSURANCE RATE MAP FOR THE TOWN OF JOHNSTON, RHODE ISLAND, MAP NUMBER 44007C02956, MAP EFFECTIVE DATE: MARCH 2, 2009.
4. WETLAND DELINEATION WAS CONDUCTED BY NATURAL RESOURCE SERVICES, INC. IN HARRISVILLE, RI ON OCTOBER 10, 2020. FLAGS WERE ACCURATELY LOCATED BY SCITUATE SURVEYS, INC.
5. SITE LOCUS IS ENTIRELY WOODED, EXCEPT AS SHOWN.
6. OWTS ARE PROPOSED FOR THE FIVE NEW LOTS.
7. THERE ARE NO KNOWN HISTORIC CEMETERIES ON OR IMMEDIATELY ADJACENT TO THE EXISTING LOT.
8. THERE ARE NO EXTRAORDINARY OR UNUSUAL NATURAL FEATURES ON THE EXISTING LOT.
9. THE LOCATION OF THE EXISTING WATER SERVICE IN PECK HILL ROAD AND BYRON RANDALL ROAD AS SHOWN HEREON HAS BEEN PROVIDED BY THE PROVIDENCE WATER SUPPLY BOARD.

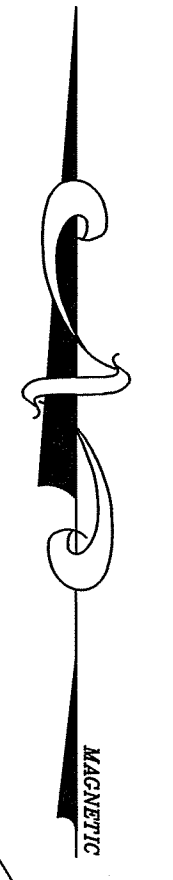
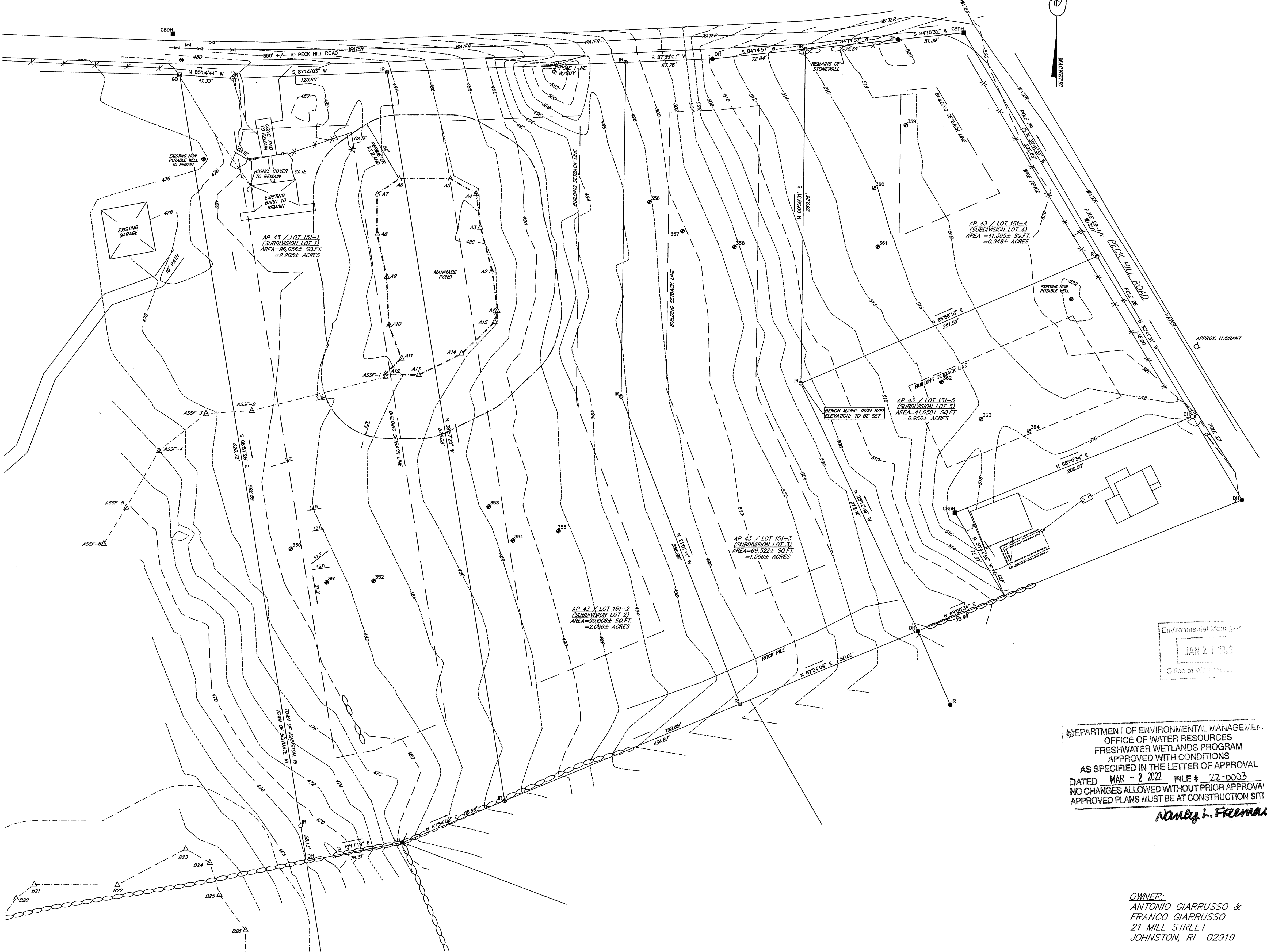
**SOIL DATA**

**CnC** CANTON AND CHARLTON FINE SANDY LOAMS, 8-15% SLOPES, VERY STONY

**PbB** PAXTON FINE SANDY LOAM, 0-8% SLOPES, VERY STONY

**SuB** SUTTON FINE SANDY LOAM, 0-8% SLOPES, VERY STONY

- LEGEND**
- A.P. ASSESSOR'S PLAT
  - N/F NOW OR FORMERLY
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  - 351 SOIL EVALUATION TEST HOLE LOCATION (APPROVED BY RIDEM)
  - WATER EXISTING WATER MAIN
  - - - - - PROPOSED MUNICIPAL WATER SERVICE



**SCITUATE SURVEYS, INC.**  
 COVENTRY, RHODE ISLAND 02816  
 401.821.8101  
 LAND SURVEYING / MAPPING / SITE PLANNING

GENERALIZATION: THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 1 OF THE RULES AND REGULATIONS OF THE BOARD OF PROFESSIONAL LAND SURVEYORS OF THE STATE OF RHODE ISLAND, AS FOLLOWS:  
 TITLE OF BOUNDARY SURVEY: MEASURED AND SPECIFIED  
 CLASS: CLASS II  
 DATE OF SUBDIVISION: 2022  
 DATE OF ACCUMULATION SURVEY: 2022  
 DISCLAIMER: THE PURPOSE OF THIS PLAN IS TO SHOW A PROPOSED FIVE-LOT SUBDIVISION.  
 BY: ANGELO M. RAIMONDI  
 ANGELO M. RAIMONDI, PROFESSIONAL LAND SURVEYOR NO. 1762  
 IF THIS MAP DOES NOT BEAR AN ORIGINAL SIGNATURE AND "NET" STAMP, THEN IT IS NOT AN AUTHENTIC VERSION.

ANGELO M. RAIMONDI  
 No. 1762  
 PROFESSIONAL LAND SURVEYOR

Environmental Management  
**JAN 21 2022**  
 Office of Wetlands

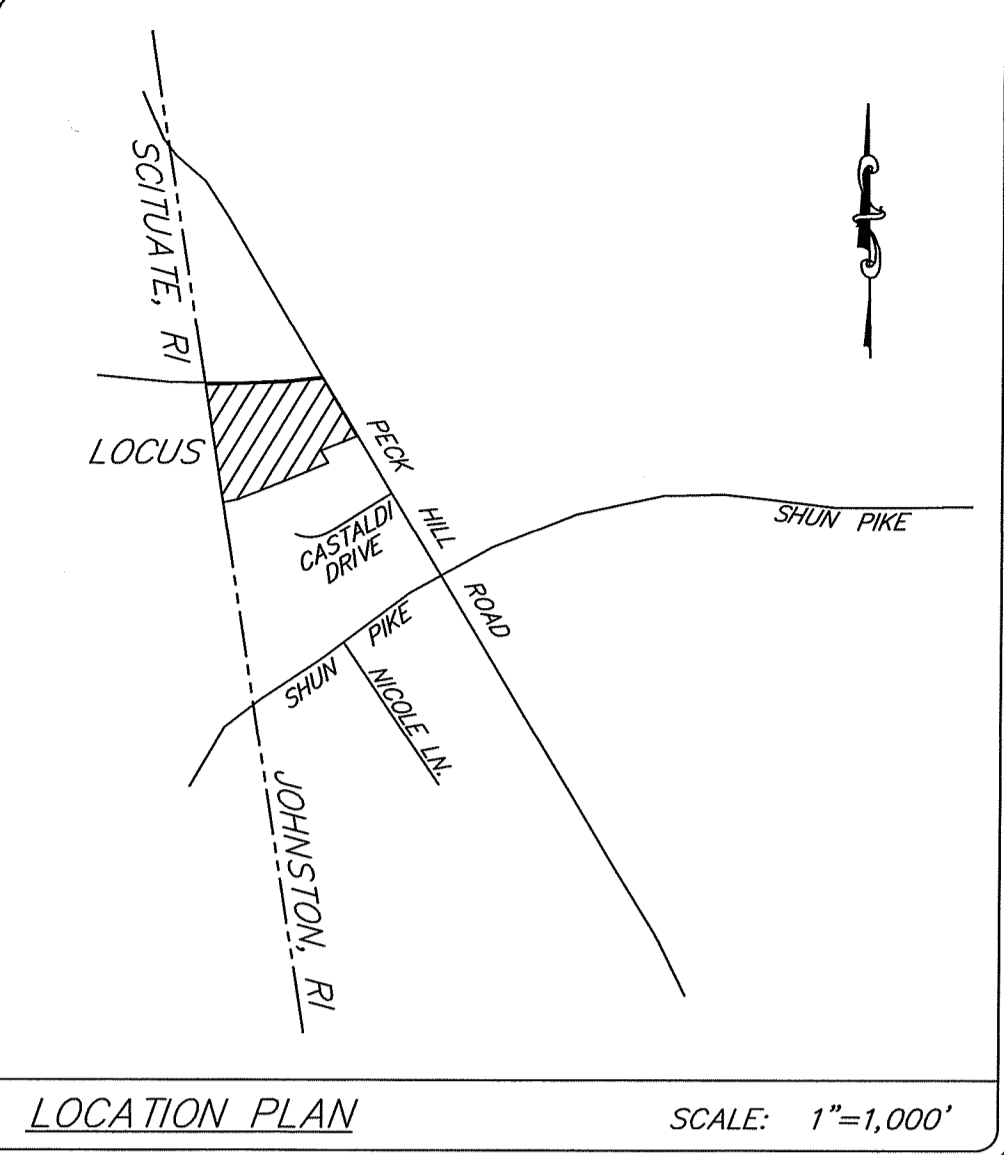
DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
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 FRESHWATER WETLANDS PROGRAM  
 APPROVED WITH CONDITIONS  
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 DATED MAR - 2 2022 FILE # 22-0003  
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE  
 Nancy L. Freeman

OWNER:  
 ANTONIO GIARRUSSO &  
 FRANCO GIARRUSSO  
 21 MILL STREET  
 JOHNSTON, RI 02919

GIARRUSSO MEADOWS  
 OVERALL 5-LOT SUBDIVISION PLAN  
 OF LAND OF  
 ANTONIO GIARRUSSO &  
 FRANCO GIARRUSSO  
 ASSESSOR'S PLAT 43 LOT 151  
 BYRON RANDALL ROAD AND PECK HILL ROAD  
 JOHNSTON, RHODE ISLAND

PROJECT NO.: SS2973 SHEET 1 OF 4  
 DRAWING NO.: SS4847

SCALE: 1"=40' DATE: JUNE 28, 2021 REVISION: DECEMBER 2021



**GENERAL NOTES:**

1. THE WETLAND EDGES (SWAMPS) WERE DELINEATED BY NATURAL RESOURCE SERVICES, INC. IN OCTOBER 10, 2020 AND SURVEY LOCATED IN THE FIELD BY SCITUATE SURVEYS, INC. ON NOVEMBER 25, 2020. THIS WETLAND DELINEATION WAS THE SUBJECT OF A VERIFICATION APPLICATION SUBMITTED TO RIDEM IN 2022. SEE APPROVED APPLICATION # 2022-002.
2. SITE IS WITHIN FLOOD HAZARD ZONE X (AREAS OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.) REFERENCE F.L.R.M. MAP PANEL #4407022950 DATED MARCH 02, 2009.
3. TOPOGRAPHY AND ELEVATIONS SHOWN ARE FROM AN ON-SITE SURVEY PERFORMED BETWEEN 2022 AND 2022, USING CONVENTIONAL (TOTAL STATION) SURVEY METHODS. THE HORIZONTAL AND VERTICAL DATUMS ARE ASSUMED. A SITE VISIT WAS CONDUCTED IN 2022 TO VERIFY LIMITS OF DISTURBANCE.
4. EXCEPT WHERE SHOWN THE SITE IS CURRENTLY UNDEVELOPED.
5. STRAW BALE EROSION CHECK (R.I. STANDARD 9.1.0). SILT FENCE AND/OR SILT SOCK SHALL BE INSTALLED PRIOR TO EARTH DISTURBING ACTIVITIES AND SHALL BE MAINTAINED UNTIL ALL DISTURBED AREAS ARE PERMANENTLY STABILIZED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL TEMPORARY SEDIMENTATION AND EROSION CONTROLS.
6. REFER TO WETLANDS EDGE VERIFICATION APPLICATION # 2022-002.
7. NO WORK IS ALLOWED WITHIN STATE REGULATED WETLANDS EXCEPT AS SPECIFICALLY SHOWN. NO WORK IS PROPOSED IN JURISDICTIONAL WETLANDS.
8. ALL IMPROVEMENTS SHALL BE ACCURATELY LOCATED AND STAKED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
9. ALL DISTURBED AREAS SHALL BE STABILIZED WITH 4" LOAM AND SEED OR SOIL. PROPOSED SLOPES SHALL BE 3:1 (MAXIMUM).
10. ALL WORK SHALL BE PERFORMED IN STRICT CONFORMANCE WITH THE REQUIREMENTS OF THE D.E.M. O.W.T.S. AND WETLANDS PERMITS AND IN COMPLIANCE WITH ALL TOWN REGULATIONS.
11. IF REQUIRED AND INDICATED BY R.I.D.E.M. WETLANDS PROGRAM AND PRIOR TO COMMENCEMENT OF ANY SITE ALTERATIONS, PERMANENT BUFFER ZONE MARKERS MUST BE INSTALLED ALONG THE LIMIT OF DISTURBANCE AT THE LOCATIONS INDICATED BY THE R.I.D.E.M. WETLANDS PROGRAM, IN ORDER TO PROVIDE PERMANENT REFERENCE POINTS ON SITE THAT ARE CLEAR TO PRESENT AND FUTURE PROPERTY OWNERS. A PERMANENT-TYPE TAG OR SIGN LABELED "RDEM BUFFER ZONE" MUST BE PLACED ON EACH MARKER. NO ALTERATIONS OF ANY KIND ARE PERMITTED BEYOND THESE MARKERS WITHOUT FIRST OBTAINING THE NECESSARY PERMIT FROM R.I.D.E.M. THE PERMANENT LIMIT OF DISTURBANCE SHALL BE ALLOWED TO RE-VEGETATE NATURALLY. AREAS WEST, NORTH AND NORTHEAST OF THE PERMANENT LIMIT OF DISTURBANCE SHALL REMAIN IN A NATURAL UNDISTURBED STATE.
12. ALL STAGES OF O.W.T.S. CONSTRUCTION MUST BE SUPERVISED BY THE SYSTEM DESIGNER.
13. ALL EXISTING UTILITY LOCATIONS ARE APPROXIMATE ONLY. DIG SAFE AND APPROPRIATE UTILITY AUTHORITIES SHALL BE NOTIFIED PRIOR TO ANY CONSTRUCTION FOR ACCURATE UTILITY LOCATIONS.
14. ALL EXCESS SOIL, STUMPS, TREES, ROCKS, BOULDERS AND OTHER REFUSE SHALL BE DISCARDED OFF SITE OUTSIDE OF ALL JURISDICTIONAL WETLANDS UNLESS OTHERWISE SPECIFIED.
15. THERE ARE NO EXISTING OR PROPOSED PUBLIC WATER SUPPLY SOURCES WITHIN 500' OF LOT 5 OTHER THAN SHOWN ON THE PLAN.
16. THERE ARE NO EXISTING OR PROPOSED SEWAGE DISPOSAL SYSTEMS WITHIN 25' OF THE PROPOSED WATER SUPPLY LINE OTHER THAN THOSE SHOWN ON THE PLAN.
17. THERE ARE NO EXISTING OR PROPOSED INDIVIDUAL WATER SUPPLIES WITHIN 200' OF THE PROPOSED ON-SITE WASTEWATER TREATMENT SYSTEM OTHER THAN THOSE SHOWN ON THE PLAN.
18. THE SITE IS WITHIN THE SCITUATE RESERVOIR WATERSHED CRITICAL RESOURCE AREA. PER RULE 6.44 C THE SEPARATION DISTANCE TO GROUNDWATER IS REQUIRED TO BE 4' WHEN SOIL CATEGORIES 1, 2, 3, 4, AND 6 ARE ENCOUNTERED.

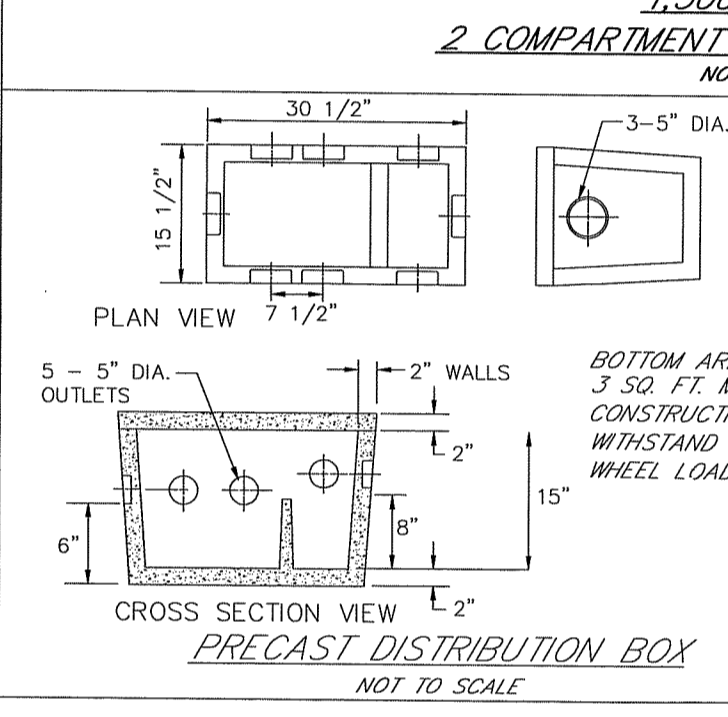
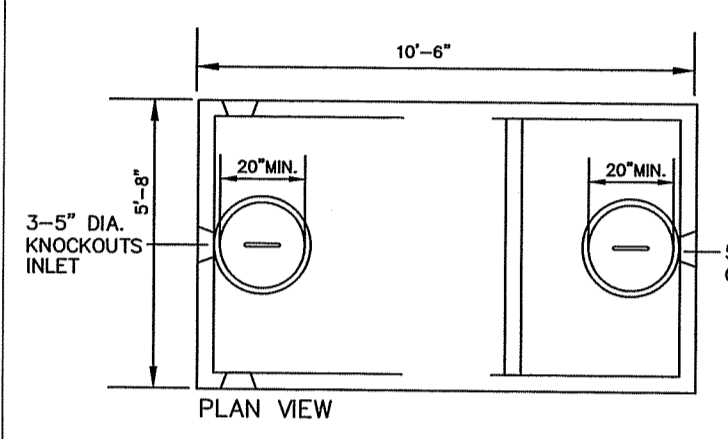
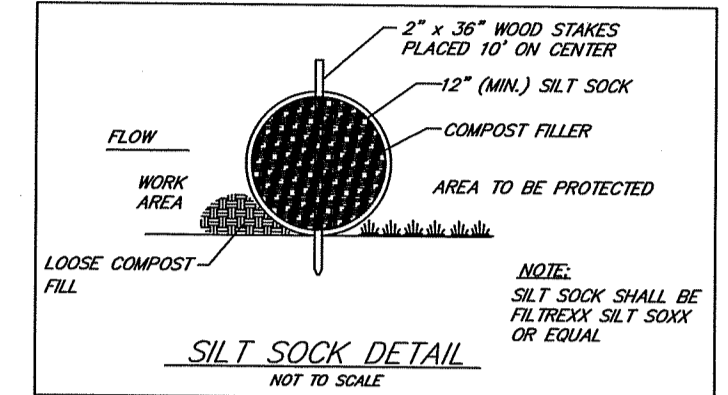
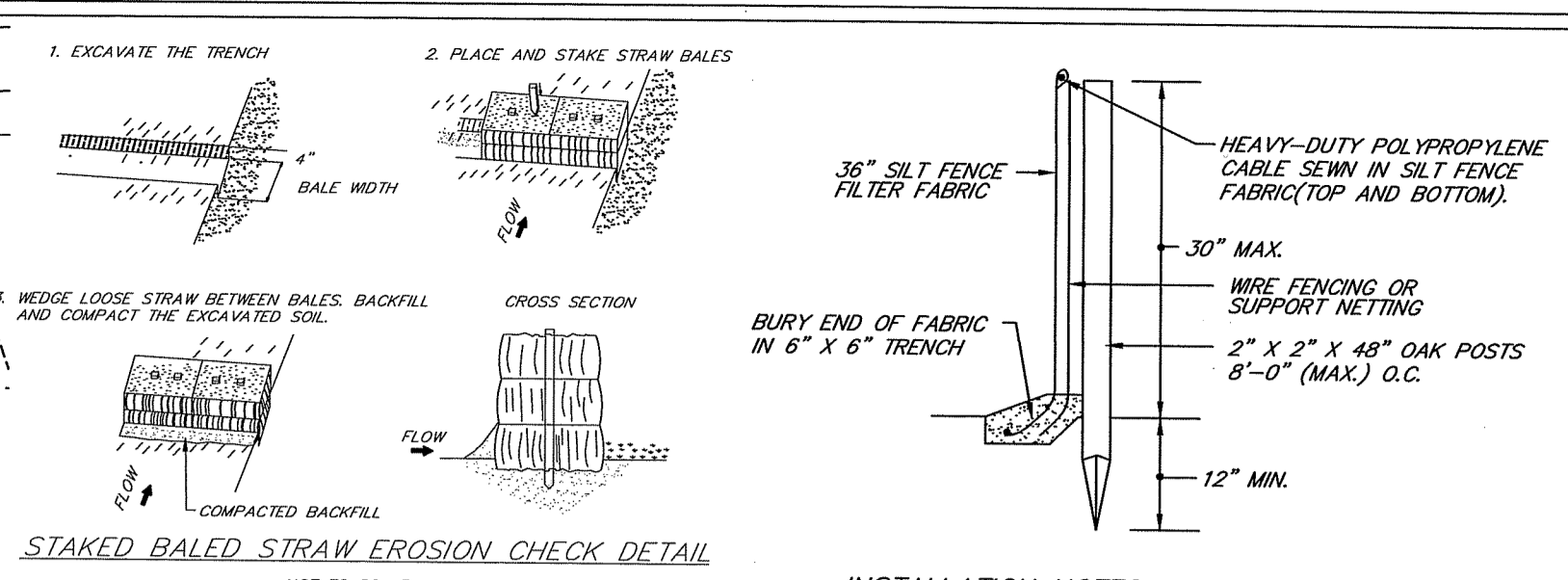
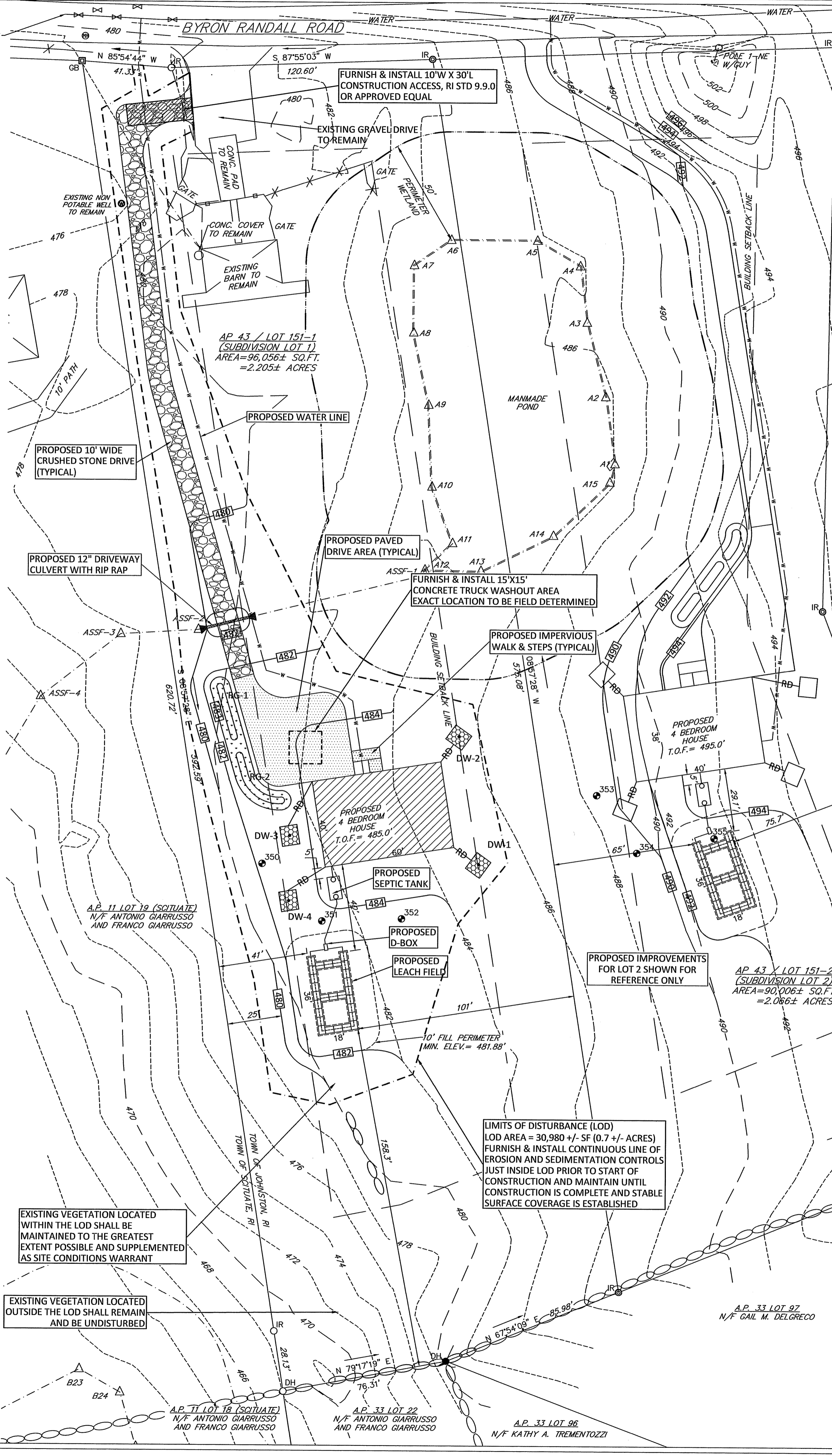
**GROUNDWATER & LEDGE DEPTH TABLE**

TEST PIT	EXISTING GROUND	GROUNDWATER DEPTH	GROUNDWATER ELEVATION	LEDGE DEPTH	LEDGE ELEVATION
350	479.1'	4.0'	475.1'	9.0'	BELOW 470.1'
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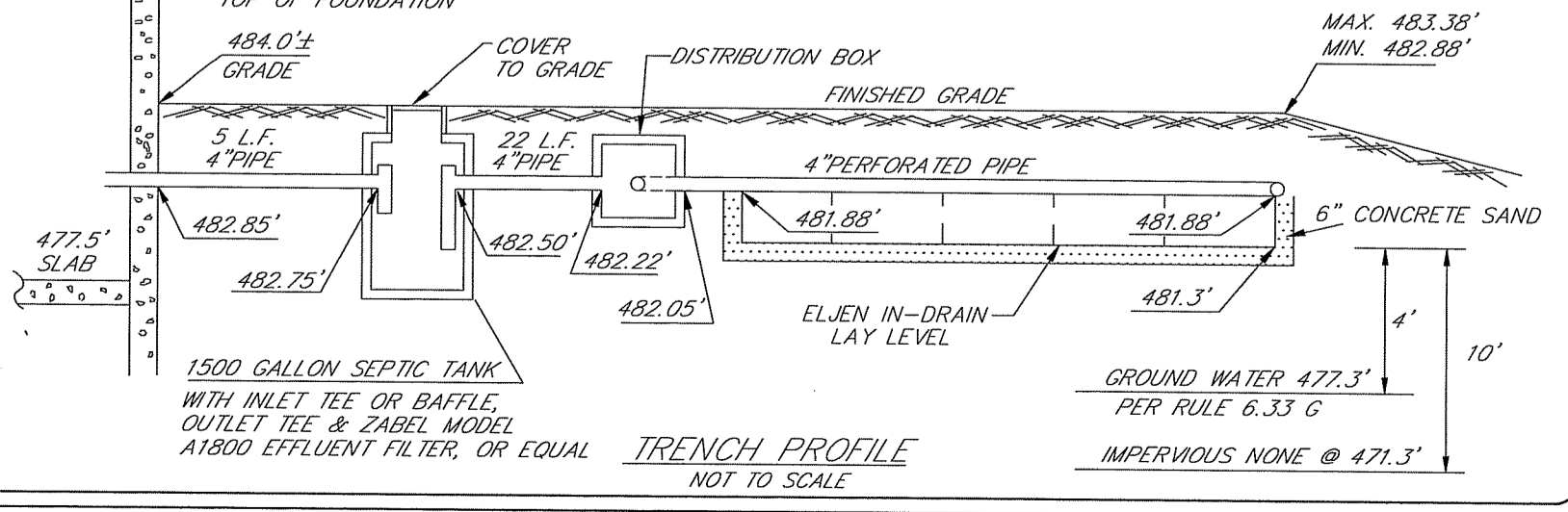
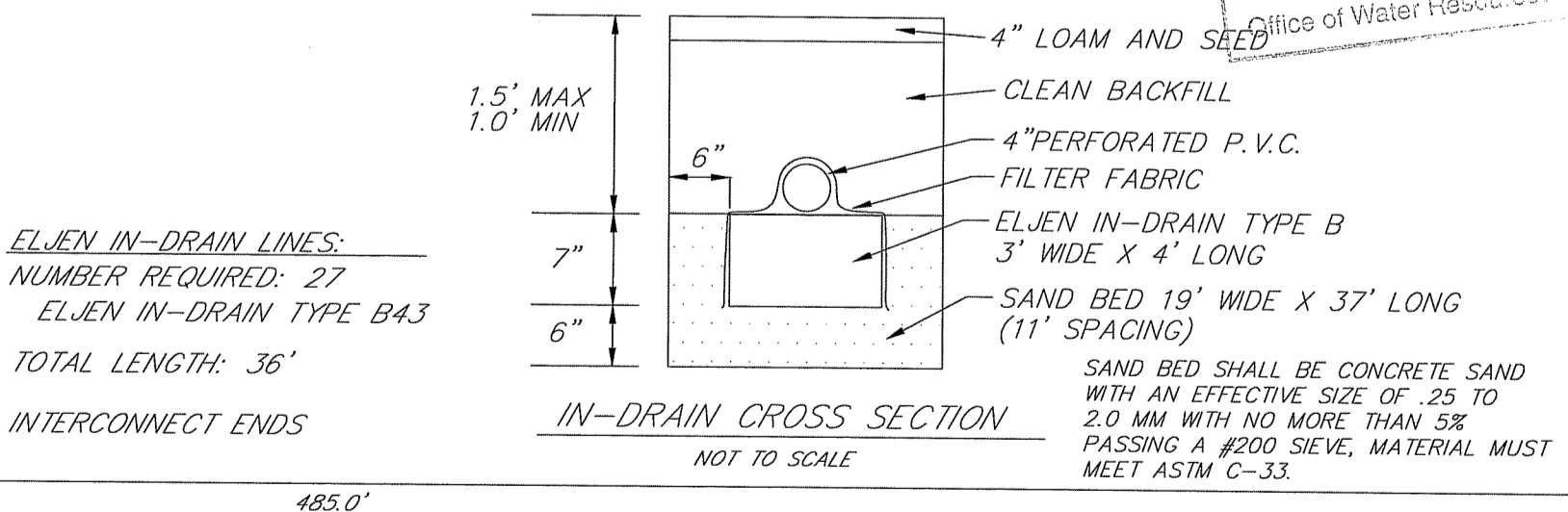
**DESIGN CRITERIA**  
 SEWAGE FLOW - 4 BEDROOMS - 115 GALLONS PER DAY  
 PERCOLATION RATE - SOIL CATEGORY 6 - 61 GALLONS/SQ. FT./DAY  
 TOTAL DAILY FLOW:  
 115 GALLONS/DAY/BEDROOM - 115 X 4 = 460 GALLONS PER DAY  
 MINIMUM REQUIRED LEACH FIELD AREA  
 460 GALLONS PER DAY (MAX.) ÷ 61 GALS/SQ. FT./DAY = 7.54 SQ. FT.  
 LEACH FIELD AREA PROVIDED: 27 ELLEN UNITS X 4 X 7 = 756 SQ. FT.  
 LEACH FIELD DESIGN POINT: ELEVATION 481.3±

- LEGEND**
- A.P. ASSESSOR'S PLAT
  - N/F NOW OR FORMERLY
  - SO. FT. DRILL HOLE IN GRANITE BOUND FOUND
  - GBDH DRILL HOLE IN GRANITE BOUND FOUND
  - GB GRANITE BOUND SET
  - GB GRANITE BOUND FOUND
  - GB GRANITE BOUND TO BE SET
  - DH DRILL HOLE SET
  - DH DRILL HOLE FOUND
  - DH DRILL HOLE TO BE SET
  - IP IRON PIPE SET
  - IP IRON PIPE FOUND
  - IP IRON PIPE TO BE SET
  - IR IRON ROD WITH SURVEY CAP SET
  - IR IRON ROD FOUND
  - IR IRON ROD TO BE SET
  - IP1 SOIL EVALUATION TEST HOLE (APPROVED BY RIDEM)
  - W WELL
  - U UTILITY POLE
  - H HYDRANT
  - Δ B5 WETLAND FLAG
  - CLF CHAINLINK FENCE
  - WATER- EXISTING WATER MAIN
  - W- PROPOSED MUNICIPAL WATER SERVICE

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
 OFFICE OF WATER RESOURCES  
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 APPROVED WITH CONDITIONS  
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 DATED MAR - 2 2022 FILE # 22-0003  
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 APPROVED PLANS MUST BE AT CONSTRUCTION SITE  
*Daniel L. Freeman*



- DESIGN AND CONSTRUCTION NOTES:**
1. ALL WORK SHALL CONFORM TO THE RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL MANAGEMENT RULES AND REGULATIONS, AS AMENDED.
  2. THE TOP OF FOUNDATION ELEVATION SHOWN HAS BEEN DESIGNED FOR O.W.T.S. PURPOSES ONLY. THE OWNER AND/OR CONTRACTOR IS ADVISED TO DETERMINE WHETHER THE BASEMENT FLOOR OF THE PROPOSED DWELLING IS AT OR BELOW THE GROUND WATER TABLE AND, IF SO, RAISE THE FOUNDATION ACCORDINGLY.
  3. THE CONTRACTOR SHALL NOTIFY THE DESIGNER OF ANY PROPOSED DEVIATIONS FROM THIS SITE PLAN. THE DESIGNER MUST PERFORM ALL NECESSARY INSPECTIONS, BOTH DURING AND AFTER INSTALLATION, BEFORE ANY COMPONENT OF THE SYSTEM IS COVERED.
  4. THE PROPERTY BOUNDARIES SHOWN HEREON HAVE BEEN COMPILED FROM MAPS, DEEDS, AND OTHER SOURCES OF INFORMATION, AND ARE SUBJECT TO SUCH MODIFICATIONS AS AN ACTUAL BOUNDARY SURVEY MAY DISCLOSE. TO THE EXTENT THAT SUCH BOUNDARIES ARE CRITICAL TO THE O.W.T.S. LOCATION, THEY MUST BE ESTABLISHED PRIOR TO CONSTRUCTION.
  5. ALL TREES, STUMPS, AND BRUSH WITHIN A 10' PERIMETER AROUND THE SYSTEM MUST BE CLEARED.
  6. THE EXCAVATION SHALL BE LEVEL AND SCARIFIED.
  7. ALL TOPSOIL AND SUBSOIL WITHIN THE SYSTEM SHALL BE STRIPPED AND BACKFILLED WITH CLEAN, COARSE GRAVEL. EXCAVATION INTO IMPERVIOUS MATERIAL IS PROHIBITED UNLESS OTHERWISE APPROVED BY THE DIRECTOR.
  8. MAINTAIN TRENCH INVERT ELEVATION FOR 10' BEYOND THE PERIMETER OF THE LEACHING FIELD. THE ADJACENT SIDE SLOPE SHALL NOT BE STEEPER THAN 3:1 FOR A 25' MIN. DISTANCE FROM THE EDGE OF LEACH FIELD. MAINTAIN 5' TO PROPERTY LINE FROM TOE OF 3:1 SIDE SLOPE.
  9. INSTALL CAST IRON PIPE OR EQUIVALENT FROM THE FOUNDATION TO THE SEPTIC TANK. ALL OTHER PIPES MUST BE SDR 35 P.V.C. OR EQUIVALENT.
  10. SUBSURFACE DRAINS AND WATER SUPPLY LINE TO BE INSTALLED IN CONFORMANCE WITH DISTANCES SPECIFIED IN TABLE 6.23 B.
  11. ALL KNOWN EXISTING AND PROPOSED PUBLIC WATER SUPPLY WELLS WITHIN 500' OF THE SYSTEM ARE SHOWN; ALL KNOWN EXISTING AND PROPOSED PRIVATE WELLS WITHIN 200' OF THE SYSTEM ARE SHOWN; ALL KNOWN EXISTING AND PROPOSED SEPTIC SYSTEMS WITHIN 100' OF THE WELL ARE SHOWN.
  12. ALL WORK MUST CONFORM TO THE REQUIREMENTS OF OTHER EXISTING PERMITS, IF ANY.
  13. WITH RESPECT TO MUNICIPAL ZONING REQUIREMENTS, THE DESIGNER HAS MADE A REASONABLE EFFORT TO ASCERTAIN THE APPLICABLE DIMENSIONAL SETBACKS AND OTHER CONSTRAINTS TO DEVELOPMENT. DUE, HOWEVER, TO THE POSSIBILITY OF UNRECORDED VARIANCES, NON-COMPLYING USES, AND OTHER RELEVANT DOCUMENTS, IT REMAINS THE RESPONSIBILITY OF THE OWNER TO VERIFY THAT THIS DESIGN SATISFIES LOCAL CODES.
  14. ALL STAGES OF CONSTRUCTION MUST BE SUPERVISED BY THE DESIGNER OF RECORD. UNLESS WAIVED BY THE DESIGNER, ALL IMPROVEMENTS MUST BE STAKED BY THE DESIGNER OR HIS AGENTS PRIOR TO CONSTRUCTION. THESE INCLUDE THE UTILITY FOUNDATION, WELL, EROSION CONTROLS, CLEARING LIMITS AND ANY OTHER FEATURES DEEMED CRITICAL TO THIS DESIGN.

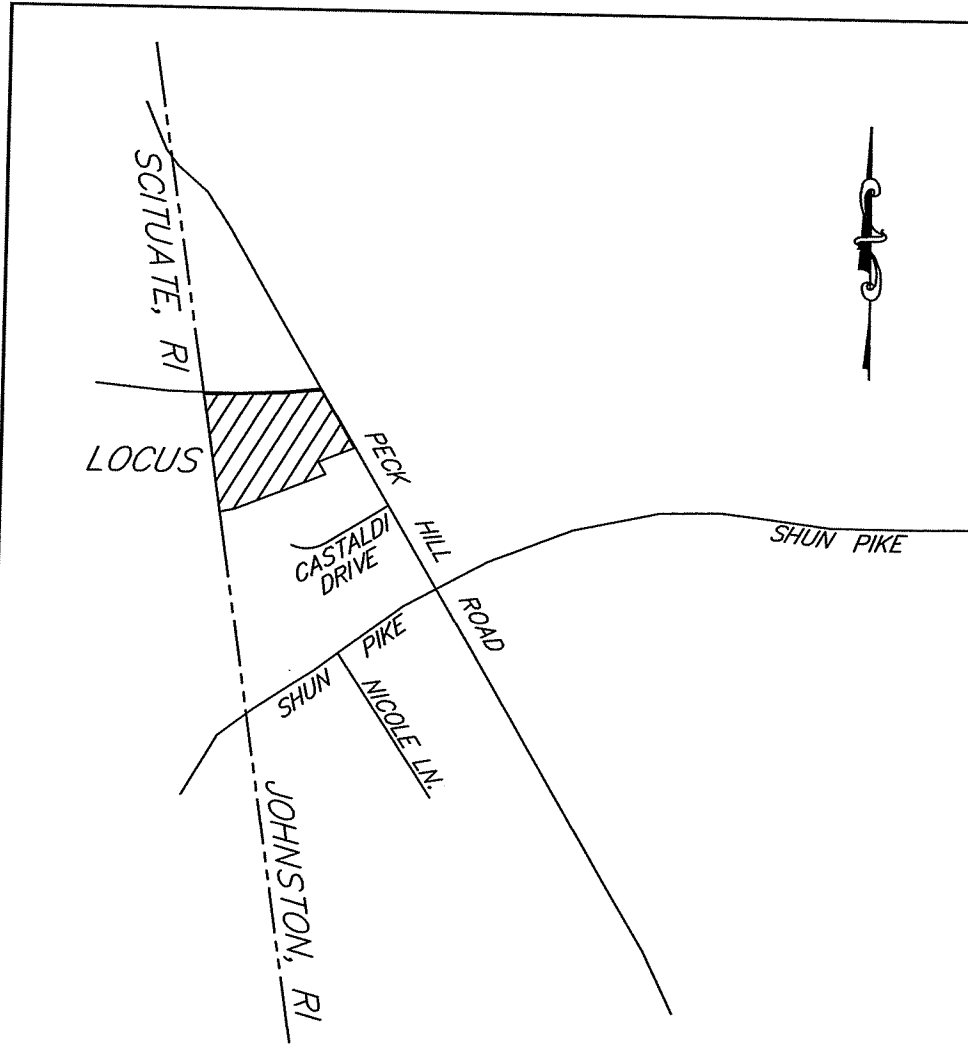


**SCITUATE SURVEYS, INC.**  
 410 TIOGUE AVENUE  
 COVENTRY, RHODE ISLAND 02816  
 401-821-8101  
 LAND SURVEYING/MAPPING/SITE PLANNING  
 SCALE IN FEET: 0 20 40 80 120

SCITUATE SURVEYS, INC. CON. NO. 150  
 ANGELO M. RAIMONDI  
 1762  
 PROFESSIONAL  
 LAND SURVEYOR  
 IF THIS MAP DOES NOT BEAR AN ORIGINAL SIGNATURE AND "NET" STAMP, THEN IT IS NOT AN AUTHENTICATED VERSION.

ANGELO M. RAIMONDI  
 1762  
 PROFESSIONAL  
 LAND SURVEYOR

PLAN SHOWING PROPOSED IMPROVEMENTS &  
 ON-SITE WASTEWATER TREATMENT SYSTEM  
 ASSESSOR'S PLAT 43 LOT 151-1  
 BYRON RANDALL ROAD AND PECK HILL ROAD  
 JOHNSTON, RHODE ISLAND  
 PREPARED FOR: ANTONIO GIARRUSSO & FRANCO GIARRUSSO  
 SCALE: 1"=30'  
 DATE: DECEMBER 2021  
 REVISION:  
 PROJECT NO.: SS2973  
 DRAWING NO.: SS4860-1  
 SHEET 2 OF 4



LOCATION PLAN SCALE: 1" = 1,000'

LEGEND

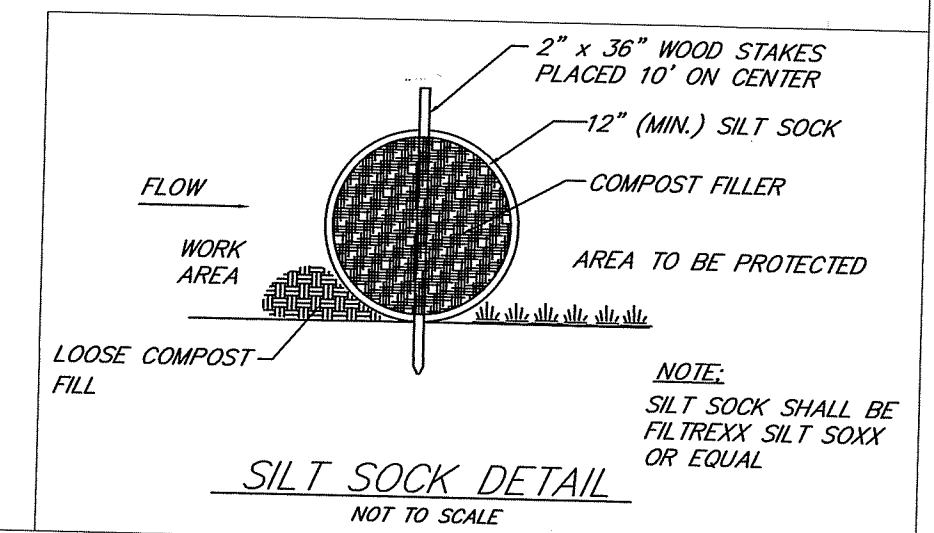
- A.P. ASSESSOR'S PLAT
- N/F NOW OR FORMERLY
- SQ. FT. DRILL HOLE IN GRANITE BOUND FOUND
- GBDH DRILL HOLE IN GRANITE BOUND FOUND
- GB GRANITE BOUND SET
- GB GRANITE BOUND FOUND
- GB GRANITE BOUND TO BE SET
- DH DRILL HOLE SET
- DH DRILL HOLE FOUND
- DH DRILL HOLE TO BE SET
- IP IRON PIPE SET
- IP IRON PIPE FOUND
- IP IRON PIPE TO BE SET
- IR IRON ROD WITH SURVEY CAP SET
- IR IRON ROD FOUND
- IR IRON ROD TO BE SET
- TP1 SOIL EVALUATION TEST HOLE (APPROVED BY RIDEM)
- WELL
- UTILITY POLE
- HYDRANT
- B5 WETLAND FLAG
- CLF CHAINLINK FENCE
- WATER EXISTING WATER MAIN
- W PROPOSED MUNICIPAL WATER SERVICE

GROUNDWATER & LEDGE DEPTH TABLE

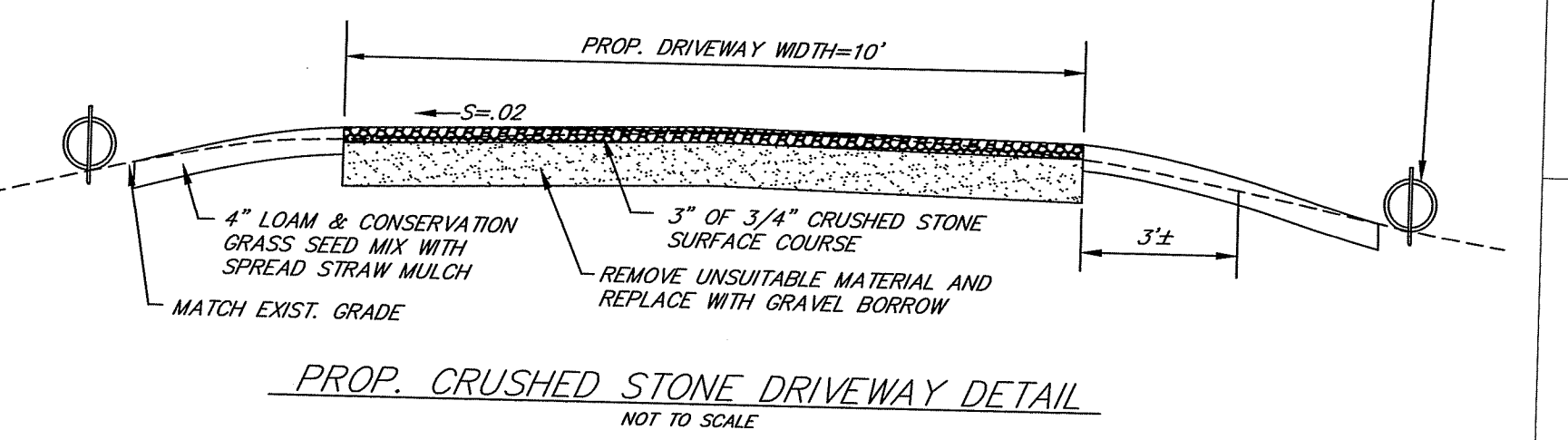
TEST PIT	EXISTING GROUND ELEVATION	GROUNDWATER DEPTH	LEDGE DEPTH	LEDGE ELEVATION
350	479.1'	4.0'	475.1'	9.0' BELOW 470.1'
351	481.3'	4.0'	477.3'	10.0' BELOW 471.3'
352	482.9'	4.0'	478.9'	9.0' BELOW 473.9'

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS  
AS SPECIFIED IN THE LETTER OF APPROVAL  
DATED MAR - 2 2022 FILE # Z2-0003  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

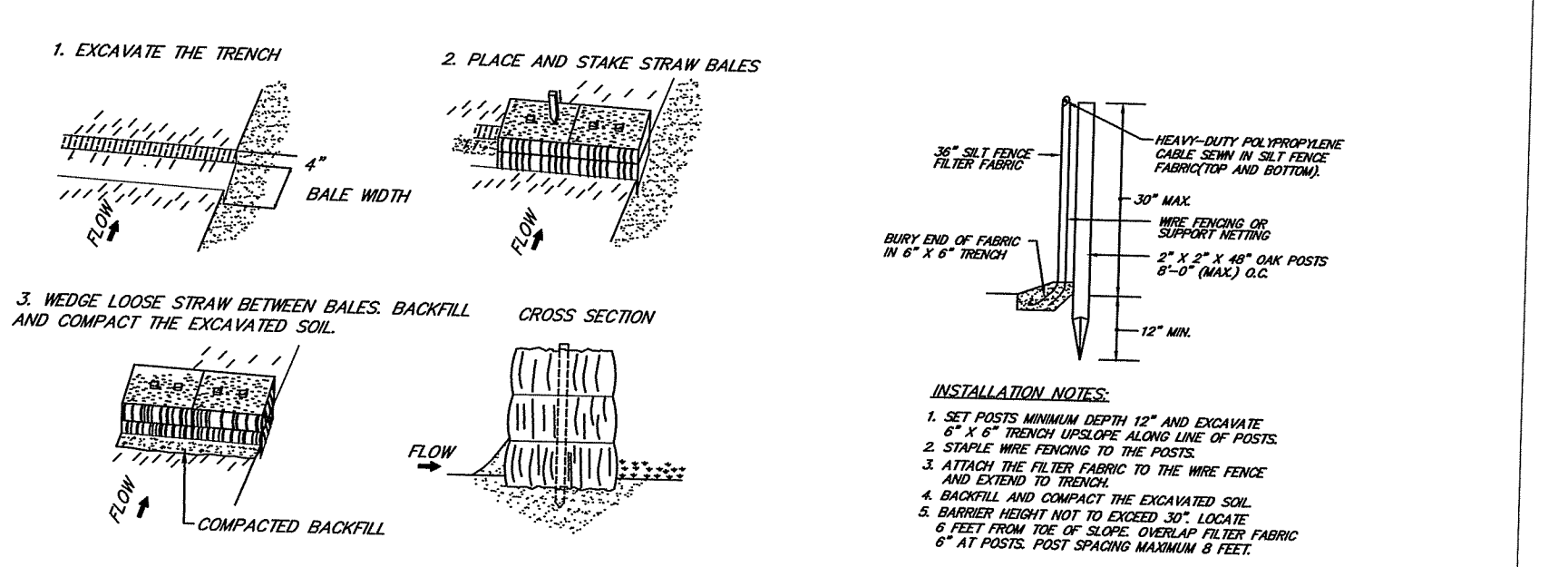
*Nancy L. Freeman*



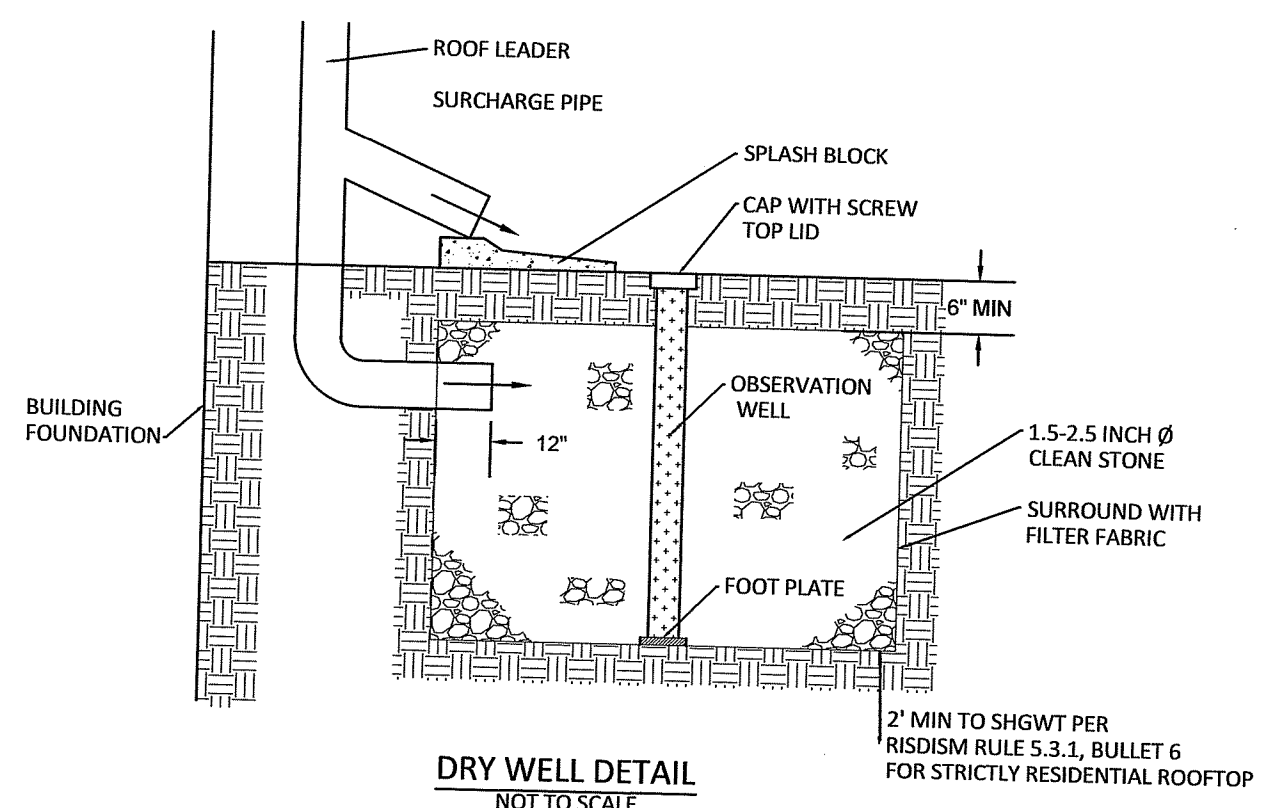
SILT SOCK DETAIL NOT TO SCALE



PROP. CRUSHED STONE DRIVEWAY DETAIL NOT TO SCALE



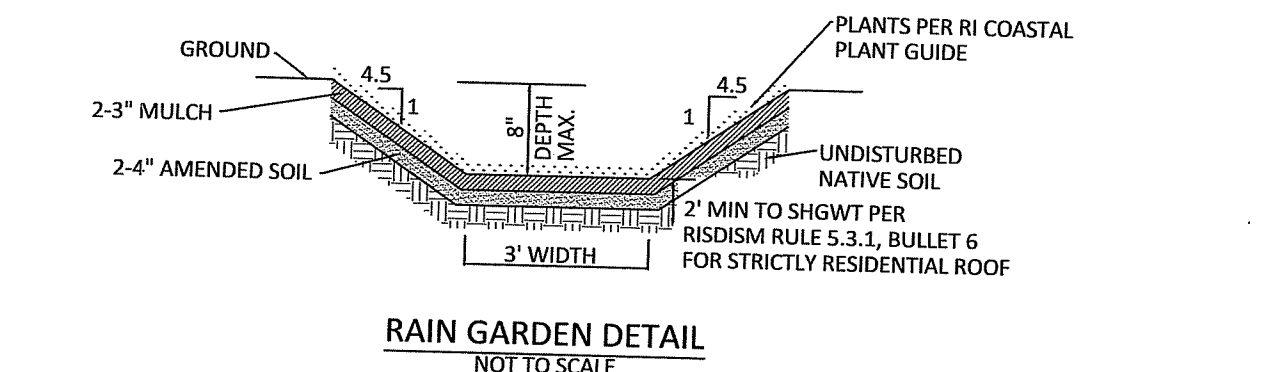
STAKED BALED STRAW EROSION CHECK DETAIL NOT TO SCALE



DRY WELL DETAIL NOT TO SCALE

- DRY WELLS NOTES
- THE DRY WELLS ARE DESIGNED ONLY TO ACCEPT ROOF RUNOFF FROM THE HOUSE COMPONENT, AND 10' FROM THE WATER LINE.
  - THE MAXIMUM DEPTH AND SIZE OF THE DRY WELLS ARE 8' W X 9' L X 1.5' D.
  - THE BOTTOM OF THE DRY WELL SHALL BE COMPLETELY FLAT OR NEARLY SO IN ORDER THAT INFILTRATED RUNOFF WILL BE ABLE TO INFILTRATE THROUGH THE ENTIRE BOTTOM SURFACE AREA.
  - THE BOTTOM OF THE DRY WELL SHALL BE LOCATED A MINIMUM OF 2 FEET VERTICALLY FROM THE SEASONAL HIGH GROUNDWATER TABLE (SHGWT) PER RISIUM RULE 5.3.1 FOR RESIDENTIAL ROOFTOPS.
  - THE BOTTOM OF THE DRY WELL MUST BE LOCATED IN THE SOIL PROFILE.
  - GREAT CARE MUST BE TAKEN TO PREVENT THE INFILTRATION AREA FROM COMPACTION BY MARKING OFF THE LOCATION BEFORE CONSTRUCTION AT THE SITE AND CONSTRUCTING THE DRY WELL LAST.
  - AN OBSERVATION WELL SHALL BE INSTALLED IN THE DRY WELL, CONSISTING OF AN ANCHORED 4 TO 6 INCH DIAMETER PERFORATED PVC PIPE WITH A SCREW-TOP CAP INSTALLED FLUSH WITH THE GROUND SURFACE.

- DRY WELLS MAINTENANCE NOTES
- THE DRY WELL SHALL BE INSPECTED ANNUALLY AND REPAIRED IF NECESSARY TO ENSURE PROPER DRAINAGE.
  - ACCUMULATED SEDIMENT AND DEBRIS SHALL BE REMOVED FROM THE SURFACE OF THE DRYWELL ANNUALLY.



RAIN GARDEN DETAIL NOT TO SCALE

- RAIN GARDEN NOTES
- THE MAXIMUM DEPTH OF ALL RAIN GARDENS SHALL BE 8 INCHES.
  - THE BOTTOM WIDTH OF THE RAIN GARDEN IS GENERALLY 3 FEET TYPICALLY.
  - THE RAIN GARDENS SHALL HAVE A SIDE SLOPE OF 4.5:1 (5 FEET IN 8 INCHES).
  - THE RAIN GARDENS SHALL BE LOCATED A MINIMUM OF 10' OFF BUILDING.
  - THE RAIN GARDENS SHALL CONTAIN A 2 TO 4 INCH AMENDED SOIL LAYER AND A 2 TO 3 INCH MULCH LAYER.
  - THE AMENDED SOIL LAYER OF THE RAIN GARDEN SHOULD BE A 50/50 MIXTURE OF THE EXCAVATED NATIVE SOILS AND MATURE ORGANIC COMPOST.
  - PLANTS SHALL TOLERATE WET CONDITIONS BUT ALSO VERY DRY CONDITIONS. USE THE RI COASTAL PLANT GUIDE AT WWW.IRIDE.MI/CE/CO/COASTALPLANTS/COASTALPLANTGUIDE.HTM TO SELECT APPROPRIATE SPECIES (FILTER PLANTINGS SHALL INCLUDE A MINIMUM OF THREE DIFFERENT PLANT SPECIES, INCLUDING SHRUBS AS WELL AS HERBACEOUS SPECIES).

- RAIN GARDEN MAINTENANCE NOTES
- RAIN GARDENS SHALL BE INSPECTED FOLLOWING AT LEAST THE FIRST TWO PRECIPITATION EVENTS OF AT LEAST 1 INCH TO ENSURE THAT THE SYSTEM IS FUNCTIONING PROPERLY.
  - RAIN GARDEN SHALL BE MONITORED AND MAINTAINED TO ASSURE PROPER FUNCTIONING, PLANT GROWTH AND SURVIVAL.
  - PLANTS SHALL BE REPLACED ON AN AS-NEEDED BASIS DURING THE GROWING SEASON.
  - SILT / SEDIMENT SHALL BE REMOVED FROM THE RAIN GARDEN WHEN THE ACCUMULATION EXCEEDS ONE INCH, OR WHEN WATER PONDS ON THE SURFACE OF THE RAIN GARDEN FOR MORE THAN 48 HOURS.
  - PRUNING OR REPLACEMENT OF WOODY VEGETATION SHALL OCCUR WHEN DEAD OR DYING VEGETATION IS OBSERVED.
  - SOIL EROSION GULLIES SHALL BE REPAIRED WHEN THEY OCCUR.
  - FERTILIZER OR PESTICIDES SHALL NOT BE APPLIED TO PLANTS WITHIN RAIN GARDEN.
  - PERENNIAL PLANTS AND GROUND COVER SHALL BE REPLACED AS NECESSARY TO MAINTAIN AN ADEQUATE VEGETATED GROUND COVER. ANNUAL PLANTS MAY ALSO BE USED TO MAINTAIN GROUND COVER.

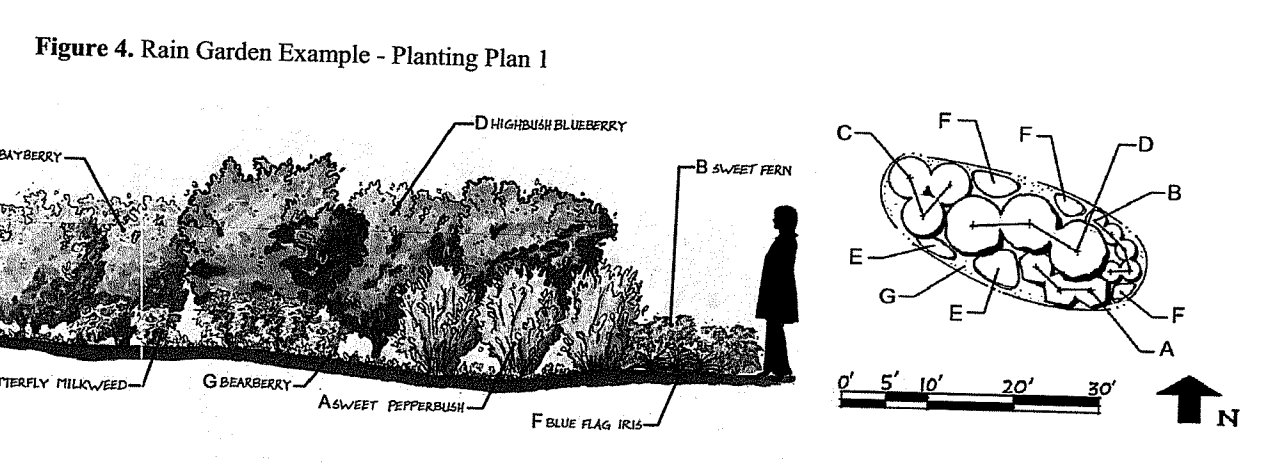


Figure 4. Rain Garden Example - Planting Plan 1

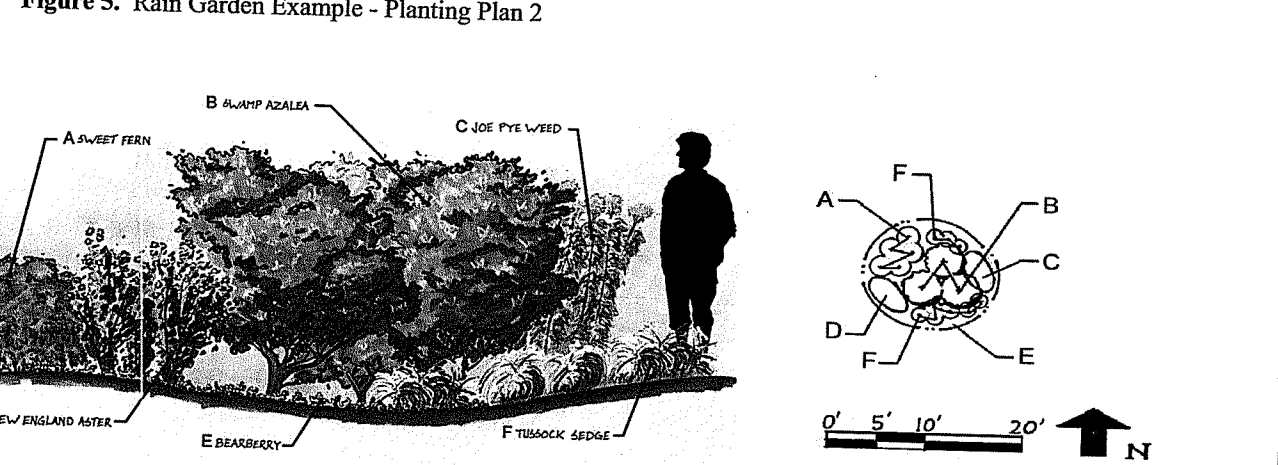
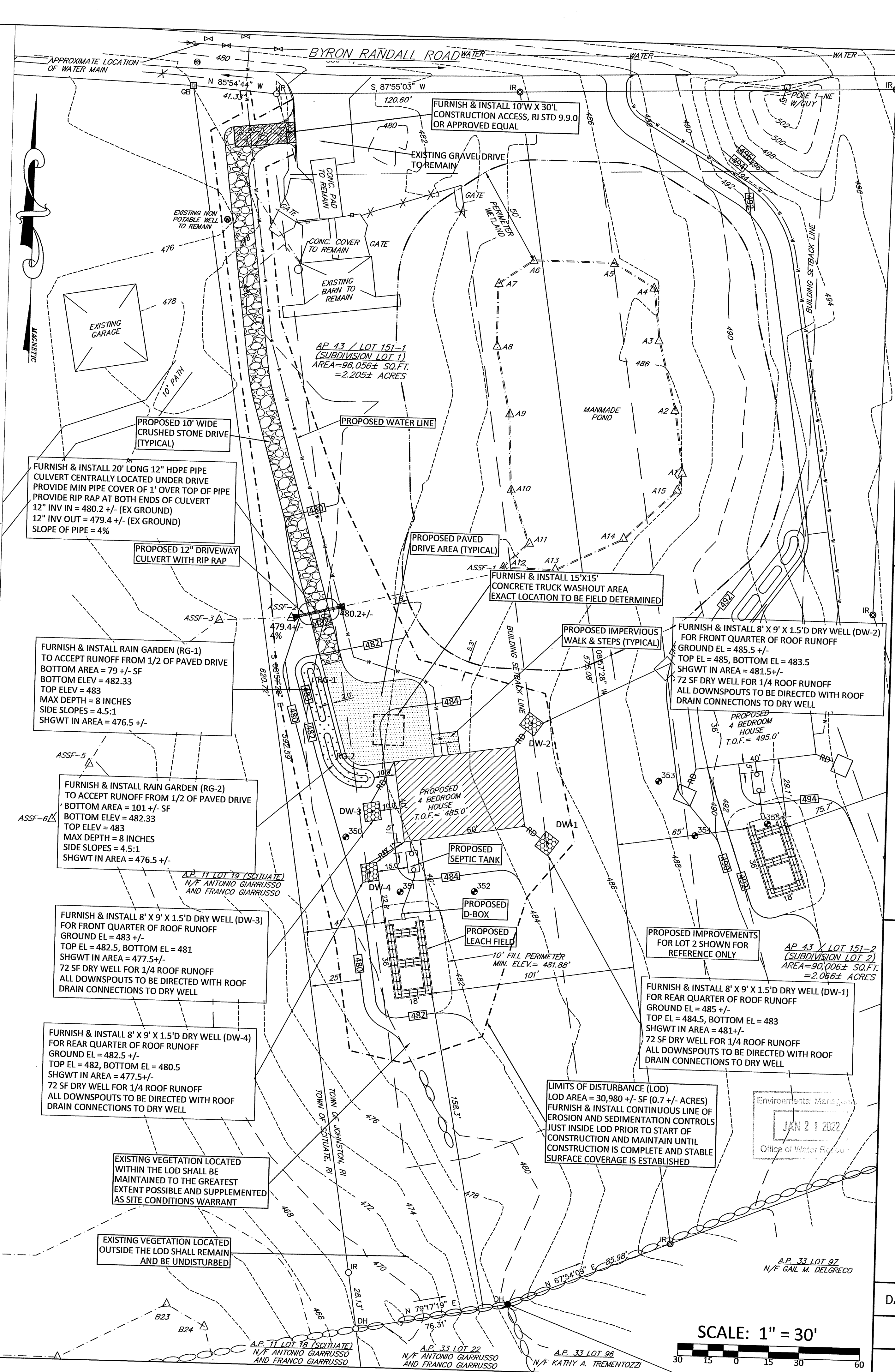


Figure 5. Rain Garden Example - Planting Plan 2

PLANTING PLAN SAMPLES FOR RAIN GARDEN  
SOURCE: STATE OF RHODE ISLAND STORMWATER MANAGEMENT GUIDANCE FOR INDIVIDUAL SINGLE-FAMILY RESIDENTIAL DEVELOPMENT REQUIREMENTS.



REVISIONS

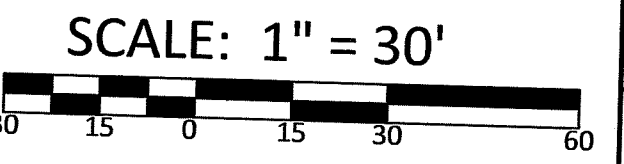
NO.	DATE	DESCRIPTION

PATRICIA K. WALKER  
No. 5331  
REGISTERED PROFESSIONAL ENGINEER

Walker Engineering, Ltd.  
31 Vale Court  
West Greenwich, RI 02817  
Phone / Fax (401) 397-8745  
Email: web31.pw@gmail.com

SITE IMPROVEMENTS PLAN  
GIARRUSSO MEADOWS SUBDIVISION LOT 1  
ASSESSOR'S PLAT 43 / LOT 151-1  
BYRON RANDALL ROAD & PECK HILL ROAD  
JOHNSTON, RHODE ISLAND

DATE: DECEMBER 2021  
SHEET: S - 1  
SHEET 3 OF 4



STORMWATER NOTES DURING CONSTRUCTION

- 1. ANY DRAINAGE STRUCTURES SHALL BE CLEANED AND FLUSHED AS REQUIRED. STORMWATER MEASURES DESIGNED FOR THE CHANGED CONDITIONS OF THE PROPOSED SITE IMPROVEMENTS PER STATE OF RHODE ISLAND STORMWATER MANAGEMENT GUIDANCE FOR INDIVIDUAL SINGLE-FAMILY RESIDENTIAL DEVELOPMENT REQUIREMENTS.

GENERAL STORMWATER MANAGEMENT SYSTEM OPERATION & MAINTENANCE PLAN

THE STORMWATER MANAGEMENT SYSTEM OPERATION & MAINTENANCE PLAN DESCRIBED HEREIN IS FOR THE PROPOSED SINGLE FAMILY RESIDENCE LOCATED ON ASSESSOR'S PLAT 43, LOT 151-1

RESPONSIBLE PARTY FOR MAINTENANCE

- THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR ALL MAINTENANCE ASSOCIATED WITH THE STORMWATER SYSTEM ONCE THEY ARE COMPLETELY CONSTRUCTED.

DURING CONSTRUCTION

- PRIOR TO THE START OF ANY CONSTRUCTION, THE EROSION CONTROLS SHALL BE INSTALLED AND SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION UNTIL A STABLE GROUND COVER IS ESTABLISHED.

DESCRIPTION OF ANNUAL MAINTENANCE TASKS

- YARD / LAWN AREA
THE YARD AREA (LAWN AREA) SHALL BE CREATED AROUND THE PROPOSED RESIDENCE AND ITS ASSOCIATED AMENITIES.

CRUSHED STONE DRIVE AND PAVEMENTS

- SURFACE OF THE DRIVE OR PAVERS SHALL BE MONITORED AFTER STORMS TO ENSURE IT DRAINS PROPERLY

DESCRIPTION OF APPLICABLE EASEMENTS

NO EASEMENTS ARE REQUIRED TO PERFORM ANNUAL MAINTENANCE.

DESCRIPTION OF FUNDING SOURCES

THE PROPERTY OWNERS SHALL BE RESPONSIBLE FOR ALL MAINTENANCE AND OPERATION OF THE STORMWATER SYSTEMS. AS SUCH, THE PROPERTY OWNER'S FUNDS SHALL BE USED AS REQUIRED.

MINIMUM VEGETATIVE COVER REQUIREMENTS

- THE VEGETATIVE COVER REQUIREMENTS ARE PROVIDED AS PART OF THE LANDSCAPE AND DRAINAGE DESIGN PROVIDED ON THE PLANS.

ACCESS & SAFETY ISSUES

- THERE ARE NO SAFETY ISSUES RELATED TO THE MAINTENANCE AND OPERATION OF THE STORMWATER SYSTEM.

POLLUTION PREVENTION MEASURES

- ANY SEDIMENTATION THAT MAY ENTER THE STORMWATER SYSTEMS SHALL BE REMOVED OF PROMPTLY.

GENERAL STORMWATER AND DRAINAGE NOTES

- DESIGN OF PROPOSED HOUSE PROVIDED BY PROPERTY OWNER / APPLICANT.

CRUSHED STONE DRIVE NOTES

GENERAL CONSTRUCTION

- CRUSHED STONE USED MUST BE 3/4 INCH TO 1-1/2 INCH DIAMETER, WASHED, ANGULAR CRUSHED STONE INSTALLED TO A MINIMUM DEPTH OF 3 INCHES.

MAINTENANCE

- THE SURFACE OF DRIVE SHALL BE MONITORED AFTER STORMS TO ENSURE IT DRAINS PROPERLY

LIMITS OF DISTURBANCE NOTES:

- PROPOSED LIMITS OF DISTURBANCE (LOD) SHOWN ILLUSTRATES AREA OF IMPACT OF CONSTRUCTION.

ORDER OF PROCEDURE

- PRIOR TO COMMENCING OPERATIONS, THE APPROVED LIMITS OF DISTURBANCE (VEGETATIVE CLEARING AND SOIL DISTURBANCE) SHALL BE LOCATED AND FLAGGED IN THE FIELD BY THE PROJECT SURVEYOR.

EROSION CONTROL PLAN

- EROSION AND SEDIMENT CONTROL METHODS FOR THE SITE INCLUDE STRUCTURAL AND STABILIZATION PRACTICES. STABILIZATION PRACTICES WILL BE IMPLEMENTED TO COVER EXPOSED SOIL SO THAT DISCHARGE OF SEDIMENT INTO ANY OFF-SITE AREAS AND / OR WETLAND AREAS IS MINIMIZED.

GENERAL NOTES

- IT SHALL BE THE CONTRACTOR'S AND/OR OWNER'S SOLE RESPONSIBILITY TO OBTAIN ANY AND ALL PERMITS REQUIRED BY THE STATE OF RHODE ISLAND AND TOWN OF JOHNSTON PRIOR TO COMMENCING ANY WORK.

TREATMENT OF EXISTING CONDITIONS

- EXISTING VEGETATION SHALL BE PRESERVED TO THE GREATEST EXTENT POSSIBLE ALONG THE PERIMETER OF THE PROPERTY AND WITHIN THE LIMITS OF DISTURBANCE

OTHER CONTROLS

THE FOLLOWING ADDITIONAL CONTROLS SHALL BE IMPLEMENTED DURING CONSTRUCTION IN ORDER TO MINIMIZE EROSION AND RUNOFF FROM THE PROJECT LOCATION:

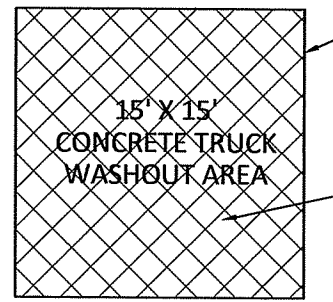
- NO CHEMICALS (CEMENT, MORTAR, ETC.) SHALL BE MIXED OR Poured WITHIN ANY WETLANDS.

SEDIMENTATION CONTROL PROGRAM

- EXTREME CARE SHALL BE EXERCISED SO AS TO PREVENT ANY UNSUITABLE MATERIAL FROM ENTERING THE DRAINAGE SYSTEMS, STATE HIGHWAY, TOWN ROADWAY, WETLANDS OR ADJOINING PROPERTIES.

EROSION CONTROL AND SOIL STABILIZATION PROGRAM

- DENUDED SLOPES SHALL NOT BE UNATTENDED OR EXPOSED FOR EXCESSIVE PERIODS OF TIME.



CONCRETE TRUCK WASHOUT AREA DETAIL & NOTES

CONCRETE TRUCK WASHOUT AREA NOTES:

- LOCATIONS OF CONCRETE TRUCK WASHOUT AREAS SHALL BE INSTALLED ON SITE AS CONSTRUCTION PROGRESS WARRANTS

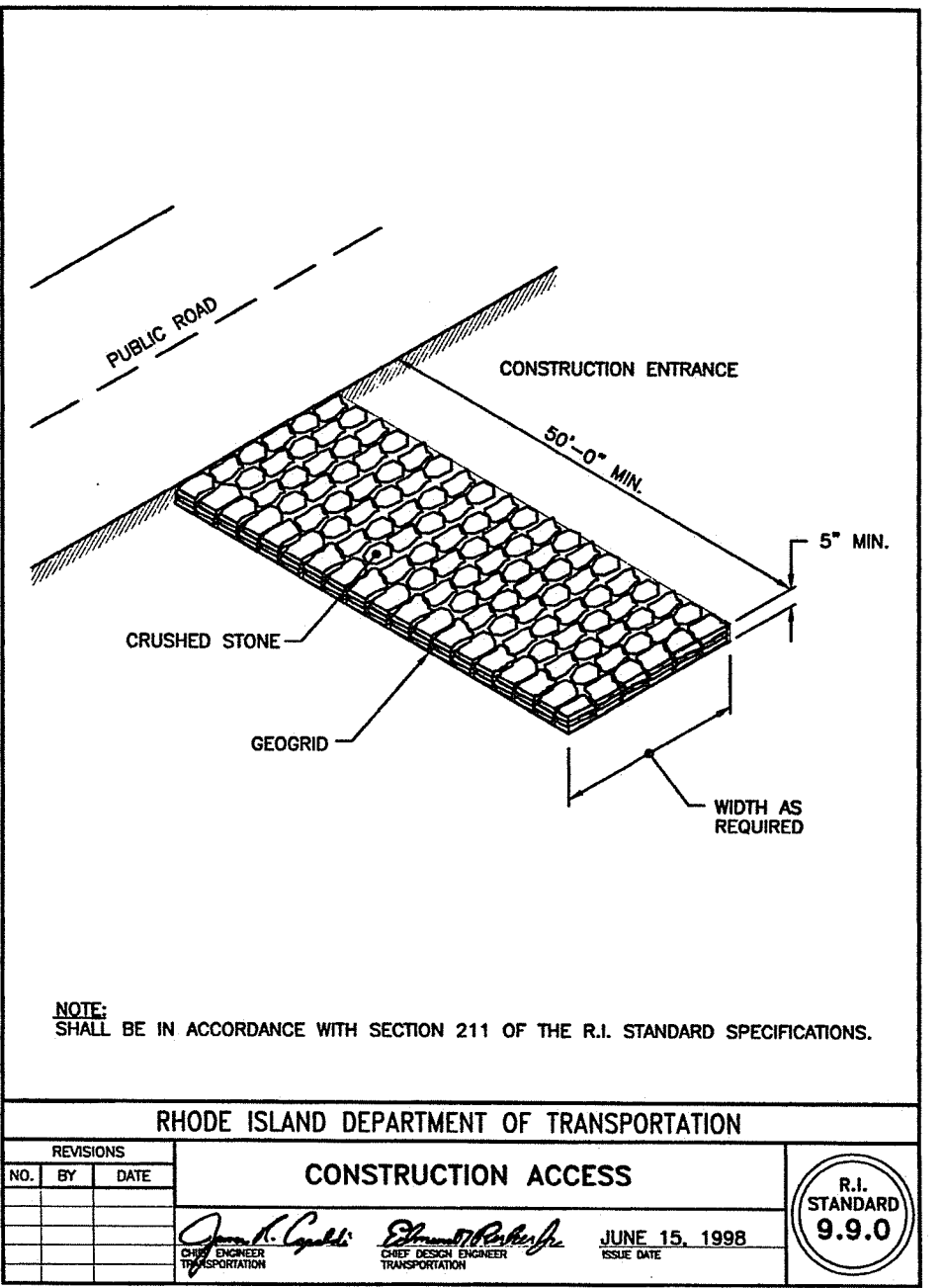


Table with columns: SPECIES, LBS/1000 SF, LBS/ACRE, SEEDING DATES. Lists various grasses and their seeding requirements.

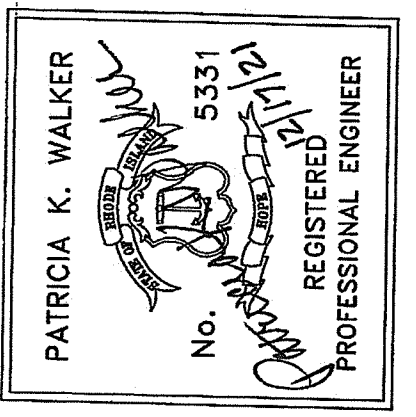
RHODE ISLAND DEPARTMENT OF TRANSPORTATION CONSTRUCTION ACCESS stamp with date JUN 15, 1998 and signature.

Environmental Management Office of Water Resources stamp dated JAN 21 2022.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT OFFICE OF WATER RESOURCES stamp with date MAR - 7 2022 and signature.

PROPERTY OWNER & APPLICANT: ANTONIO GIARRUSSO & FRANCO GIARRUSSO. CONTACT PERSON: ANTONIO GIARRUSSO.

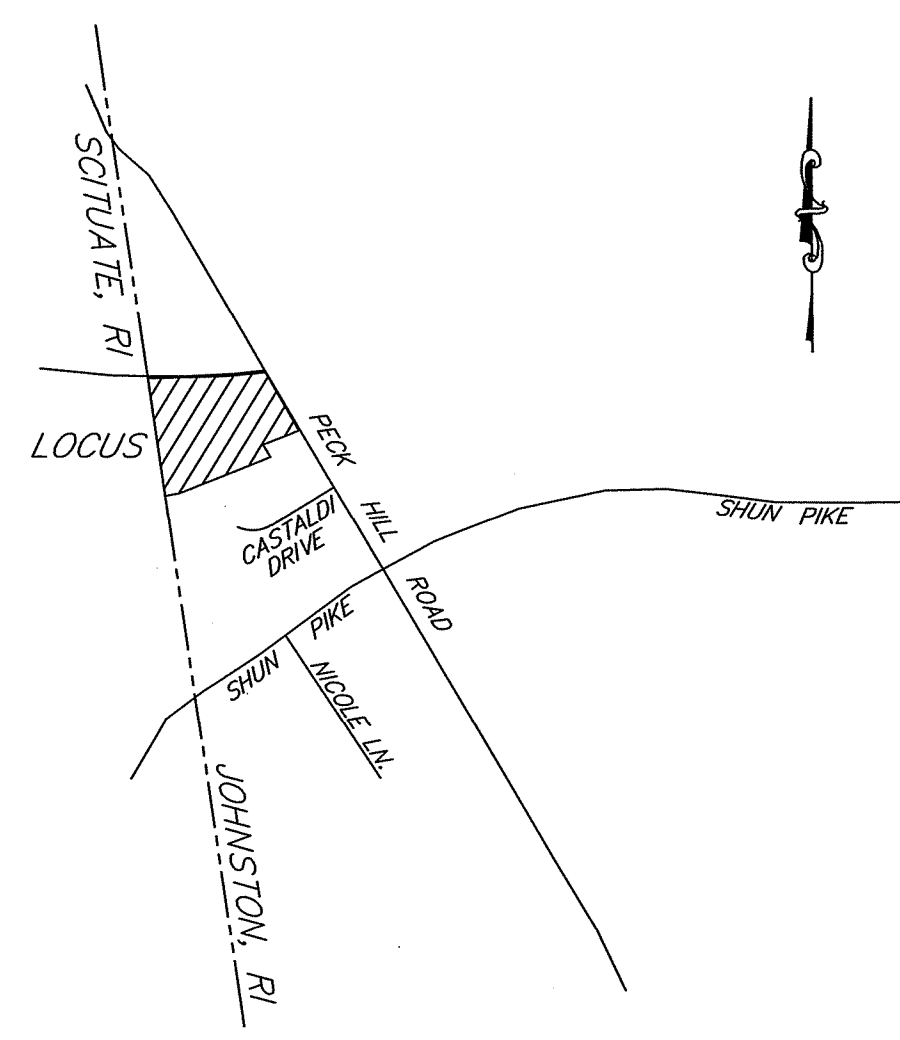
Table with columns: REVISIONS, DATE. Empty table for tracking changes.



W Walker Engineering, Ltd. 31 Vale Court West Greenwich, RI 02817. Phone / Fax: (401) 397-8745. Email: we@1.pw@gmail.com

NOTES & DETAILS GIARRUSSO MEADOWS SUBDIVISION LOT 1 ASSESSOR'S PLAT 43 / LOT 151-1 BYRON RANDALL ROAD & PECK HILL ROAD JOHNSTON, RHODE ISLAND

DATE: DECEMBER 2021 SHEET: S - 2 SHEET 4 OF 4



LOCATION PLAN SCALE: 1"=1,000'

**ZONING DATA**

**ZONE R-40 RESIDENTIAL**

MINIMUM LOT AREA	40,000 S.F.
MINIMUM LOT WIDTH	140'
MINIMUM LOT FRONTAGE	140'
MINIMUM FRONT YARD	40'
MINIMUM SIDE YARD	35'
MINIMUM REAR YARD	75'
MAXIMUM BUILDING HEIGHT	30'
MAXIMUM BUILDING COVERAGE	15%

- GENERAL NOTES:**
1. THE PURPOSE OF THIS PLAN IS TO DEPICT THE CONFIGURATION OF A PROPOSED FIVE-LOT SUBDIVISION.
  2. TOPOGRAPHY SHOWN HEREON IS TAKEN FROM AN ON-THE-GROUND SURVEY, AND IS BASED ON THE NATIONAL GEODETIC VERTICAL DATUM OF 1988 (NGVD88).
  3. SITE IS LOCATED WITHIN FLOOD HAZARD ZONE X (AREA OF MINIMUM FLOOD HAZARD) AS SHOWN ON THE FLOOD INSURANCE RATE MAP FOR THE TOWN OF JOHNSTON, RHODE ISLAND, MAP NUMBER 44007C0295G, MAP EFFECTIVE DATE: MARCH 2, 2009.
  4. WETLAND DELINEATION WAS CONDUCTED BY NATURAL RESOURCE SERVICES, INC. IN HARRISVILLE, RI ON OCTOBER 10, 2020. FLAGS WERE ACCURATELY LOCATED BY SCITUATE SURVEYS, INC.
  5. SITE LOCUS IS ENTIRELY WOODED, EXCEPT AS SHOWN.
  6. DOWTS ARE PROPOSED FOR THE FIVE NEW LOTS.
  7. THERE ARE NO KNOWN HISTORIC CEMETERIES ON OR IMMEDIATELY ADJACENT TO THE EXISTING LOT.
  8. THERE ARE NO EXTRAORDINARY OR UNUSUAL NATURAL FEATURES ON THE EXISTING LOT.
  9. THE LOCATION OF THE EXISTING WATER SERVICE IN PECK HILL ROAD AND BYRON RANDALL ROAD AS SHOWN HEREON HAS BEEN PROVIDED BY THE PROVIDENCE WATER SUPPLY BOARD.

**SOIL DATA**

ChC	CANTON AND CHARLTON FINE SANDY LOAMS; 8-15% SLOPES, VERY STONY
PbB	PAXTON FINE SANDY LOAM, 0-8% SLOPES, VERY STONY
SuB	SUTTON FINE SANDY LOAM, 0-8% SLOPES, VERY STONY

- LEGEND**
- A.P. ASSESSOR'S PLAT
  - N/F NOW OR FORMERLY
  - SQ. FT. SQUARE FEET
  - GBDH GRANITE BOUND/DRILL HOLE FOUND
  - GB GRANITE BOUND TO BE SET
  - DH DRILL HOLE FOUND
  - DH DRILL HOLE SET
  - IR IRON ROD FOUND
  - IR IRON ROD WITH CAP SET
  - IR IRON ROD TO BE SET
  - IP IRON PIN FOUND
  - UTILITY POLE
  - MANHOLE
  - WELL
  - △ B5 WETLAND FLAG
  - WG WATER GATE
  - HYDRANT
  - CLF CHAINLINK FENCE
  - 351 SOIL EVALUATION TEST HOLE LOCATION (APPROVED BY RIDEM)
  - WATER EXISTING WATER MAIN
  - - - - - PROPOSED MUNICIPAL WATER SERVICE

**PLAN REFERENCE:**  
 "PECK HILL PLACE REPLAT OF SUBDIVISION PECK HILL ROAD JOHNSTON, R. I. DATE: 8-21-91" BY SCOTT SURVEY RECORDED AT PLAT #279

**GROUNDWATER & LEDGE DEPTH TABLE**

TEST PIT	EXISTING GROUND	GROUNDWATER DEPTH	GROUNDWATER ELEVATION	LEDGE DEPTH	LEDGE ELEVATION
353	488.4'	4.0'	484.4'	8.5'	BELOW 479.9'
354	488.9'	4.0'	484.9'	9.0'	BELOW 479.9'
355	491.3'	4.0'	487.3'	10.0'	BELOW 481.3'

**AREA TABLE ~ A.P. 43 LOT 151**

LOT 1	2.205± ACRES	96,056± SQ.FT.
LOT 2	2.066± ACRES	90,006± SQ.FT.
LOT 3	1.596± ACRES	69,522± SQ.FT.
LOT 4	0.948± ACRES	41,305± SQ.FT.
LOT 5	0.956± ACRES	41,658± SQ.FT.
TOTAL	7.771± ACRES	338,547± SQ.FT.

FOR STREET INDEX, FILE UNDER:  
 BYRON RANDALL ROAD  
 PECK HILL ROAD



**SCITUATE SURVEYS, INC.**  
 410 TIOGUE AVENUE  
 COVENTRY, RHODE ISLAND 02816  
 401-821-8101  
 LAND SURVEYING / MAPPING / SITE PLANNING



THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS. THESE ARE ORIGINAL SURVEY RECORDS.  
 MASSACHUSETTS REGISTRATION CLASS II  
 MEASUREMENT SPECIFICATION CLASS II  
 DATE OF SURVEY: 10/10/2020  
 DATE OF REVISION: 1/17/21  
 ANGELO M. RAIMONDI  
 No. 1763  
 PROFESSIONAL LAND SURVEYOR  
 STATE OF RHODE ISLAND

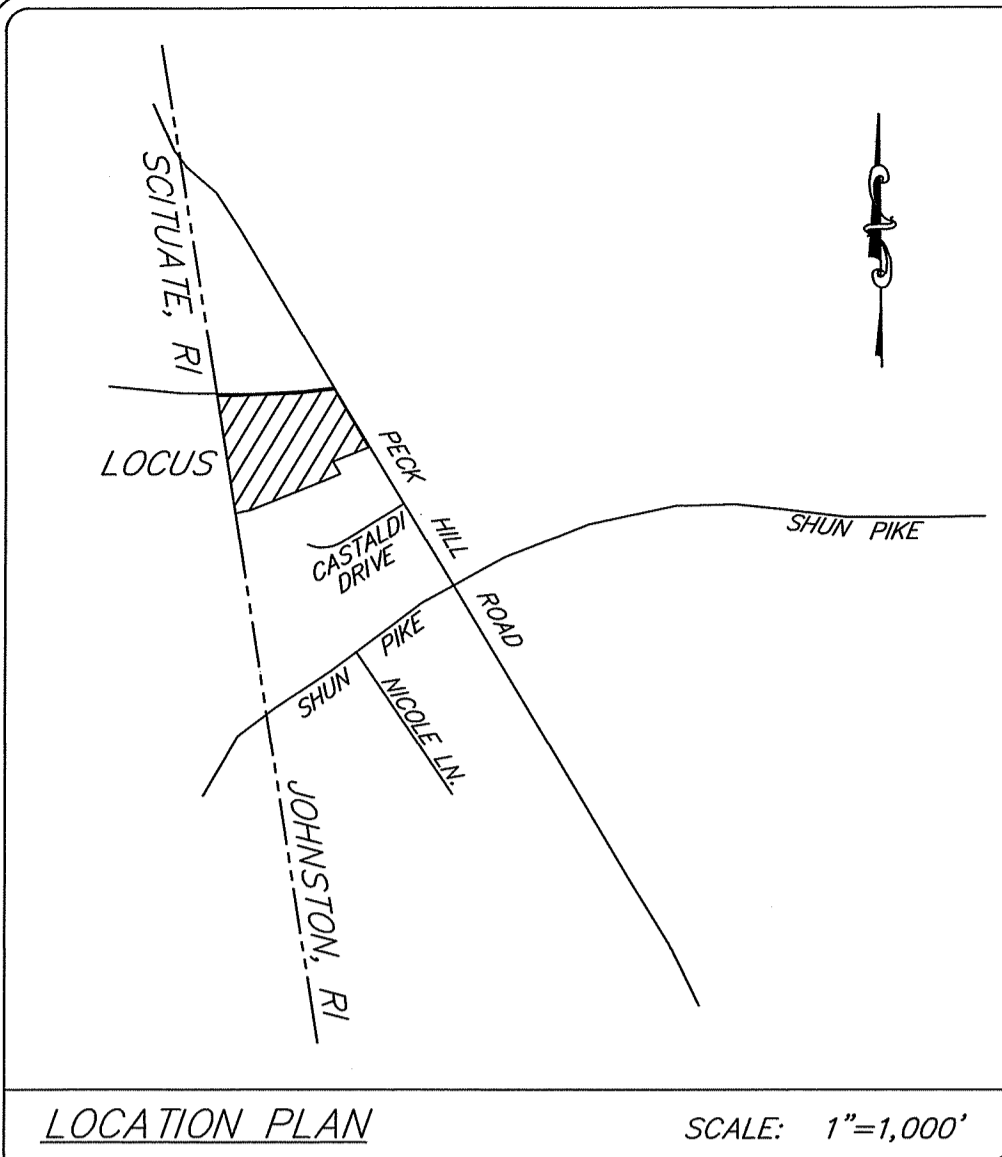
Environmental Management  
 JAN 21 2022  
 Office of Water Resources

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
 OFFICE OF WATER RESOURCES  
 FRESHWATER WETLANDS PROGRAM  
 APPROVED WITH CONDITIONS  
 AS SPECIFIED IN THE LETTER OF APPROVAL  
 DATED MAR - 2 2022 FILE # 22-0003  
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE!  
 Nancy L. Freeman

OWNER:  
 ANTONIO GIARRUSSO &  
 FRANCO GIARRUSSO  
 21 MILL STREET  
 JOHNSTON, RI 02919

GIARRUSSO MEADOWS  
 OVERALL 5-LOT SUBDIVISION PLAN  
 OF LAND OF  
 ANTONIO GIARRUSSO &  
 FRANCO GIARRUSSO  
 ASSESSOR'S PLAT 43 LOT 151  
 BYRON RANDALL ROAD AND PECK HILL ROAD  
 JOHNSTON, RHODE ISLAND

PROJECT NO.: SS2973 SHEET 1 OF 4  
 DRAWING NO.: SS4847



- GENERAL NOTES:**
- THE WETLAND EDGES (SWAMPS) WERE DELINEATED BY NATURAL RESOURCE SERVICES, INC. IN OCTOBER 10, 2020 AND SURVEY LOCATED IN THE FIELD BY SCITUATE SURVEYS, INC. ON NOVEMBER 25, 2020. THIS WETLAND DELINEATION WAS THE SUBJECT OF A VERIFICATION APPLICATION SUBMITTED TO RIDEM IN 2022. SEE APPROVED APPLICATION # 2022-002 DATED 02/20/2022.
  - SITE IS WITHIN FLOOD HAZARD ZONE X (AREAS OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN). REFERENCE F.I.R.M. MAP PANEL #40070289 DATED MARCH 02, 2009.
  - TOPOGRAPHY AND ELEVATIONS SHOWN ARE FROM AN ON-SITE SURVEY PERFORMED BETWEEN 2022 AND 2022 USING CONVENTIONAL (TOTAL STATION) SURVEY METHODS. THE HORIZONTAL AND VERTICAL DATUMS ARE ASSUMED. A SITE VISIT WAS CONDUCTED IN 2022 TO VERIFY LIMITS OF DISTURBANCE.
  - EXCEPT WHERE SHOWN THE SITE IS CURRENTLY UNDEVELOPED.
  - STRAW BALE EROSION CHECK (RI STANDARD 9.1.0), SILT FENCE AND/OR SILT SOX SHALL BE INSTALLED PRIOR TO EARTH DISTURBING ACTIVITIES AND SHALL BE MAINTAINED UNTIL ALL DISTURBED AREAS ARE PERMANENTLY STABILIZED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL TEMPORARY SEDIMENTATION AND EROSION CONTROLS.
  - REFER TO WETLANDS EDGE VERIFICATION APPLICATION # 2022-002 DATED 02/20/2022.
  - NO WORK IS ALLOWED WITHIN STATE REGULATED WETLANDS EXCEPT AS SPECIFICALLY SHOWN. NO WORK IS PROPOSED IN JURISDICTIONAL WETLANDS.
  - ALL IMPROVEMENTS SHALL BE ACCURATELY LOCATED AND STAKED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
  - ALL DISTURBED AREAS SHALL BE STABILIZED WITH 4" LOAM AND SEED OR SOD, PROPOSED SLOPES SHALL BE 3:1 (MAXIMUM).
  - ALL WORK SHALL BE PERFORMED IN STRICT CONFORMANCE WITH THE REQUIREMENTS OF THE D.E.M. O.W.T.S AND WETLANDS PERMITS AND IN COMPLIANCE WITH ALL TOWN REGULATIONS.
  - IF REQUIRED AND INDICATED BY R.I.D.E.M. WETLANDS PROGRAM AND PRIOR TO COMMENCEMENT OF ANY SITE ALTERATIONS, PERMANENT BUFFER ZONE MARKERS MUST BE INSTALLED ALONG THE LIMIT OF DISTURBANCE AT THE LOCATIONS INDICATED BY THE R.I.D.E.M. WETLANDS PROGRAM IN ORDER TO PROVIDE PERMANENT REFERENCE POINTS ON SITE THAT ARE CLEAR TO PRESENT AND FUTURE PROPERTY OWNERS. A PERMANENT-TYPE TAG OR SIGN LABELED "TRIDEM BUFFER ZONE" MUST BE PLACED ON EACH MARKER. NO ALTERATIONS OF ANY KIND ARE PERMITTED BEYOND THESE MARKERS WITHOUT FIRST OBTAINING THE NECESSARY PERMIT FROM R.I.D.E.M.
  - THE PERMANENT LIMIT OF DISTURBANCE SHALL BE ALLOWED TO RE-VEGETATE NATURALLY. AREAS WEST, NORTH AND NORTHEAST OF THE PERMANENT LIMIT OF DISTURBANCE SHALL REMAIN IN A NATURAL UNDISTURBED STATE.
  - ALL STAGES OF O.W.T.S. CONSTRUCTION MUST BE SUPERVISED BY THE SYSTEM DESIGNER.
  - EXISTING UTILITY LOCATIONS ARE APPROXIMATE ONLY. SLO SAFE AND APPROPRIATE UTILITY AUTHORITIES SHALL BE NOTIFIED PRIOR TO ANY CONSTRUCTION FOR ACCURATE UTILITY LOCATIONS.
  - ALL EXCESS SOIL, STUMPS, TREES, ROCKS, BOULDERS AND OTHER REFUSE SHALL BE DISCARDED OFF SITE OUTSIDE OF ALL JURISDICTIONAL WETLANDS UNLESS OTHERWISE SPECIFIED.
  - THERE ARE NO EXISTING OR PROPOSED PUBLIC WATER SUPPLY SOURCES WITHIN 500' OF LOT 5 OTHER THAN SHOWN ON THE PLAN.
  - THERE ARE NO EXISTING OR PROPOSED SEWAGE DISPOSAL SYSTEMS WITHIN 25' OF THE PROPOSED WATER SUPPLY LINE OTHER THAN THOSE SHOWN ON THE PLAN.
  - THERE ARE NO EXISTING OR PROPOSED INDIVIDUAL WATER SUPPLIES WITHIN 200' OF THE PROPOSED ON-SITE WASTEWATER TREATMENT SYSTEM OTHER THAN THOSE SHOWN ON THE PLAN.
  - THE SITE IS WITHIN THE SCITUATE RESERVOIR WATERSHED CRITICAL RESOURCE AREA. PER RULE 6.44 C THE SEPARATION DISTANCE TO GROUNDWATER IS REQUIRED TO BE 4' WHEN SOIL CATEGORIES 1, 2, 3, 4, AND 6 ARE ENCOUNTERED.

**DESIGN CRITERIA**

SEWAGE FLOW - 4 BEDROOMS - 115 GALLONS PER DAY  
 PERCOLATION RATE - SOIL CATEGORY 6 - .61 GALLONS/SQ. FT./DAY  
 TOTAL DAILY FLOW - 115 GALLONS/DAY  
 115 GALLONS/DAY BEDROOM - 115 X 4 = 460 GALLONS PER DAY  
 MINIMUM REQUIRED LEACH FIELD AREA  
 460 GALLONS PER DAY (MAX.) ÷ .61 GALS/SQ. FT./DAY = 754.09 SQ. FT.  
 LEACH FIELD AREA PROVIDED: 27 ELJEN UNITS 4 X 4 X 7 = 756 SQ. FT.  
 LEACH FIELD DESIGN POINT: ELEVATION 491.3'

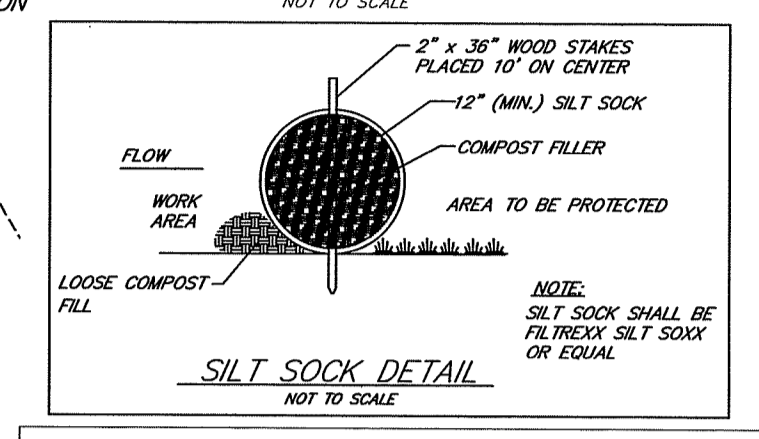
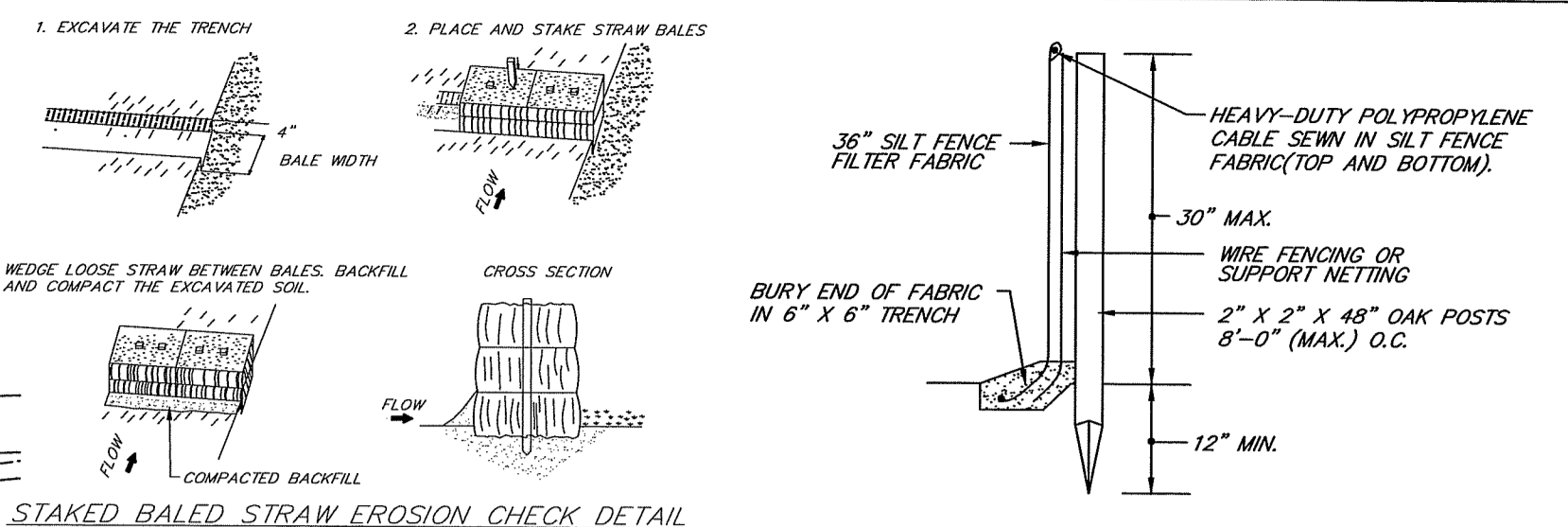
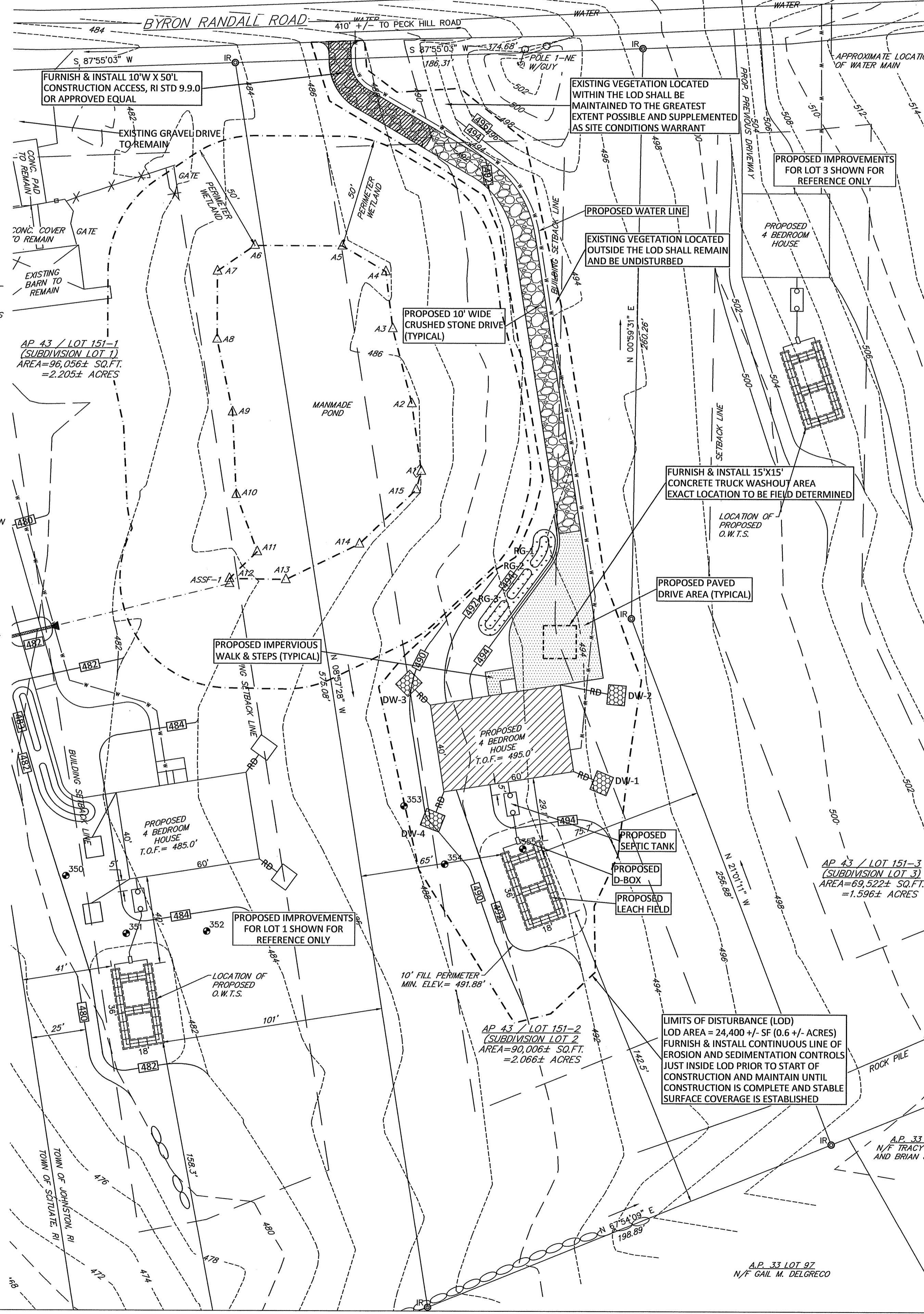
- LEGEND**
- A.P. ASSESSOR'S PLAT
  - N/F NOW OR FORMERLY
  - SQ. FT. DRILL HOLE IN GRANITE BOUND FOUND
  - GBH DRILL HOLE IN GRANITE BOUND FOUND
  - GB GRANITE BOUND SET
  - SB GRANITE BOUND FOUND
  - SB GRANITE BOUND TO BE SET
  - OH DRILL HOLE SET
  - OH DRILL HOLE FOUND
  - OH DRILL HOLE TO BE SET
  - IP IRON PIPE SET
  - IP IRON PIPE FOUND
  - IP IRON PIPE TO BE SET
  - IR IRON ROD WITH SURVEY CAP SET
  - IR IRON ROD FOUND
  - IR IRON ROD TO BE SET
  - TP1 SOIL EVALUATION TEST HOLE (APPROVED BY RIDEM)
  - WELL
  - UTILITY POLE
  - HYDRANT
  - W5 WETLAND FLAG
  - CLF CHAINLINK FENCE
  - WATER EXISTING WATER MAIN
  - W PROPOSED MUNICIPAL WATER SERVICE

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
 OFFICE OF WATER RESOURCES  
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*Nancy L. Freeman*

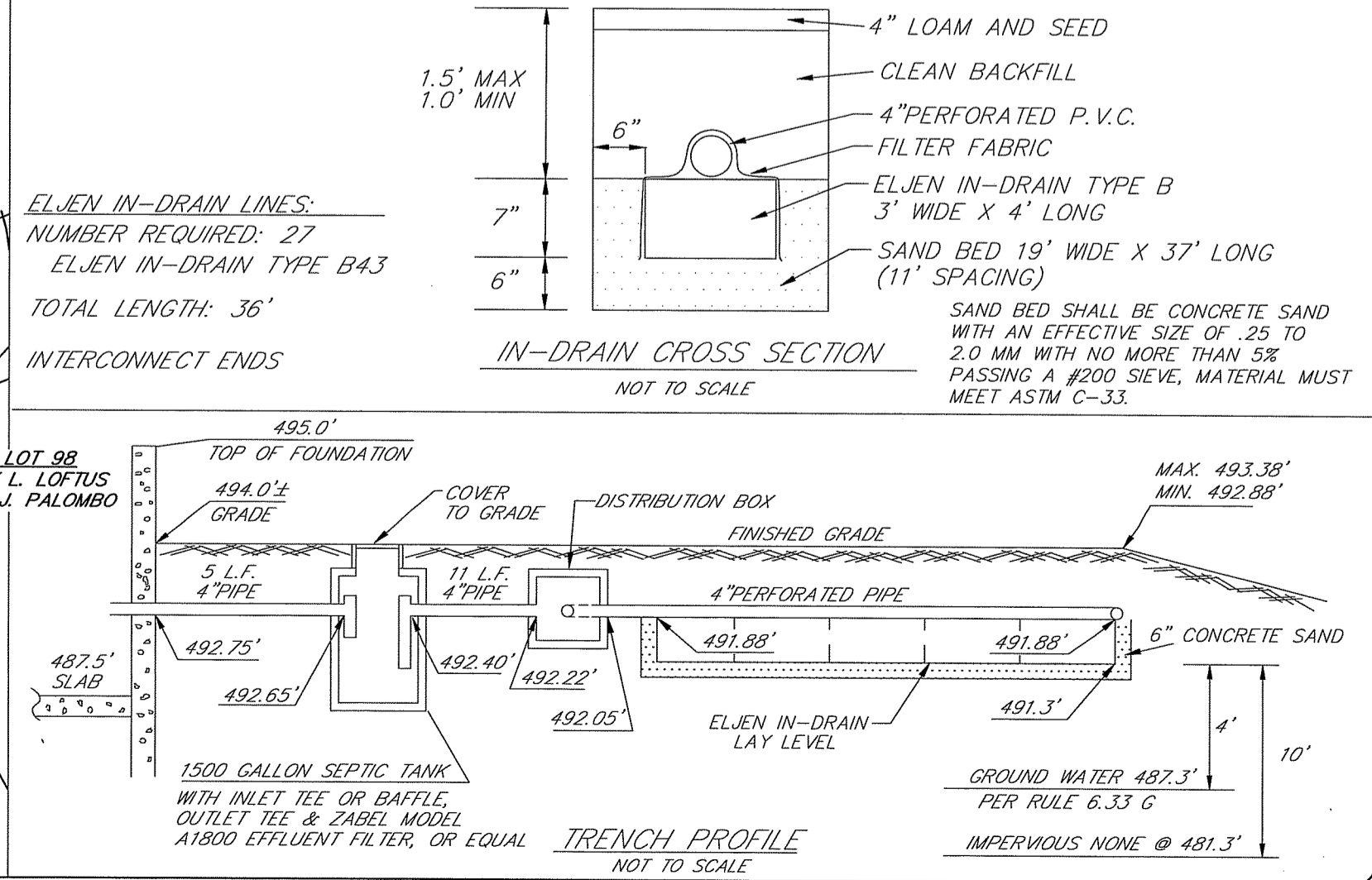
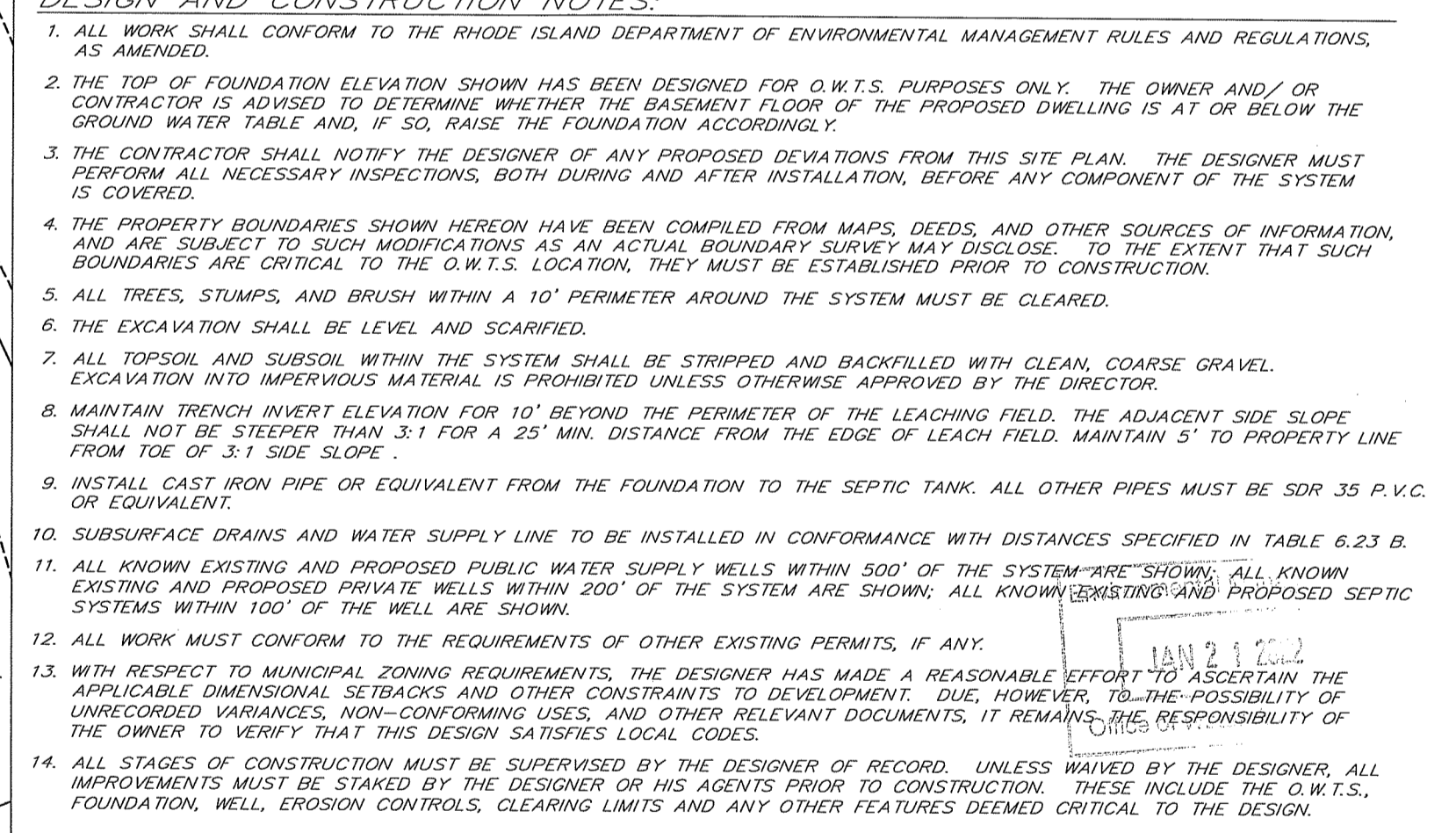
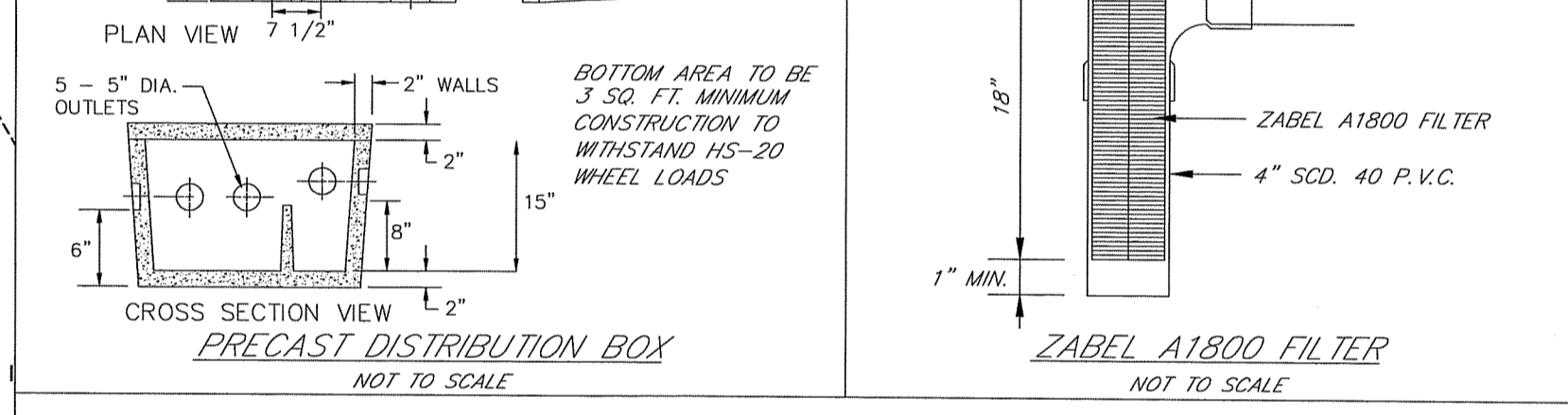
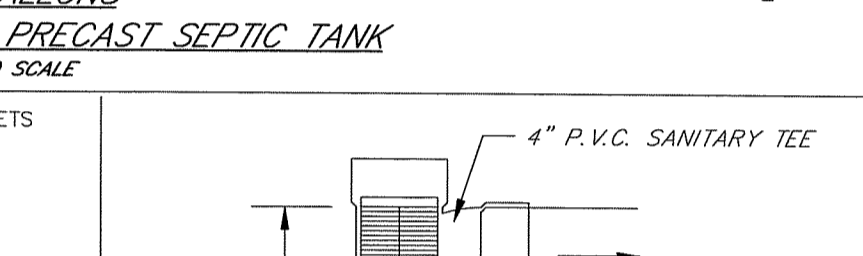
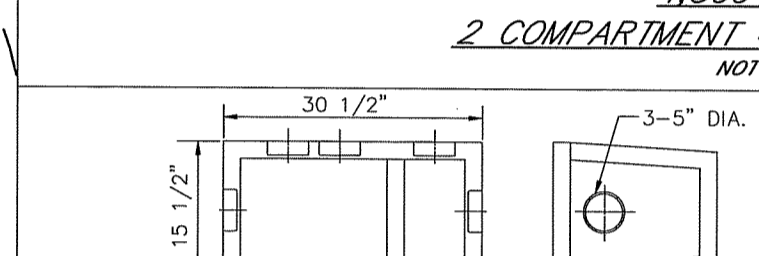
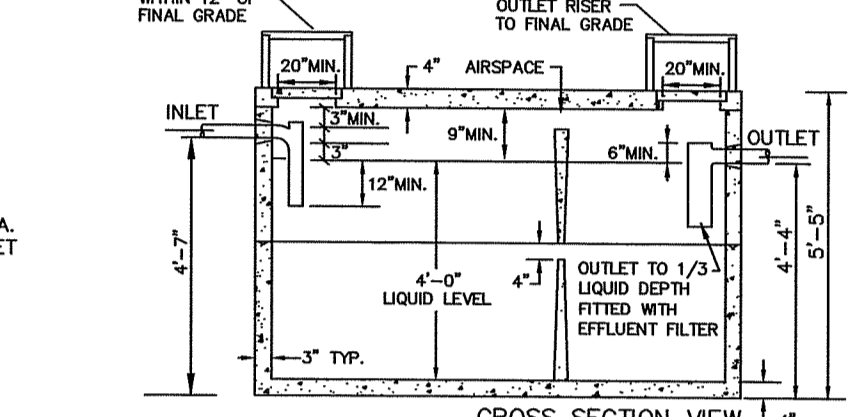
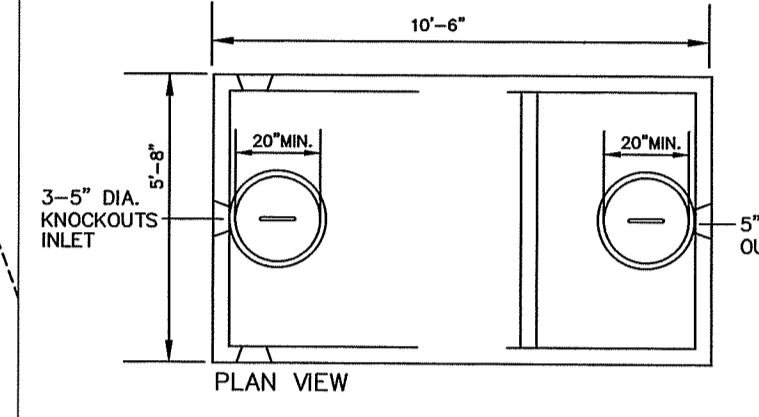
**GROUNDWATER & LEDGE DEPTH TABLE**

TEST PIT	EXISTING GROUND	GROUNDWATER DEPTH	GROUNDWATER ELEVATION	LEDGE DEPTH	LEDGE ELEVATION
353	488.4'	4.0'	484.4'	8.5'	BELOW 479.9'
354	488.9'	4.0'	484.9'	9.0'	BELOW 479.9'
355	491.3'	4.0'	487.3'	10.0'	BELOW 481.3'



**INSTALLATION NOTES:**

- SET POSTS MINIMUM DEPTH 12" AND EXCAVATE 6" X 6" TRENCH UPSLOPE ALONG LINE OF POSTS.
- STAPLE WIRE FENCING TO THE POSTS.
- ATTACH THE FILTER FABRIC TO THE WIRE FENCE AND EXTEND TO TRENCH.
- BACKFILL AND COMPACT THE EXCAVATED SOIL.
- BARRIER HEIGHT NOT TO EXCEED 30". LOCATE 6 FEET FROM TOE OF SLOPE. OVERLAP FILTER FABRIC 6" AT POSTS. POST SPACING MAXIMUM 8 FEET.



**SCITUATE SURVEYS, INC.**  
 410 TIOGUE AVENUE  
 COVENTRY, CT 06216  
 LAND SURVEYING/MAPPING/SITE PLANNING

SCALE IN FEET: 0 20 40 80 120

CERTIFICATION: THIS PLAN WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND I AM A LICENSED PROFESSIONAL LAND SURVEYOR IN THE STATE OF RHODE ISLAND. I AM NOT PROVIDING THIS PLAN FOR ANY OTHER PURPOSE.

DATE: 12/20/2021

TYPE OF BOUNDARY SURVEY: MEASUREMENT/SECTIONALIZATION

TYPE OF SURVEY: BOUNDARY SURVEY

TYPE OF ACCUMULATION SHEET: DATA ACCUMULATION SHEET

DISCLAIMER: THE PURPOSE OF THIS PLAN IS TO SHOW A PROPOSED FINE-LOT SUBDIVISION.

ANGIELO M. RAINONDI  
 No. 1762  
 PROFESSIONAL LAND SURVEYOR

PLAN SHOWING PROPOSED IMPROVEMENTS & ON-SITE WASTEWATER TREATMENT SYSTEM

ASSESSOR'S PLAT 43 LOT 151-2

BYRON RANDALL ROAD AND PECK HILL ROAD

JOHNSTON, RHODE ISLAND

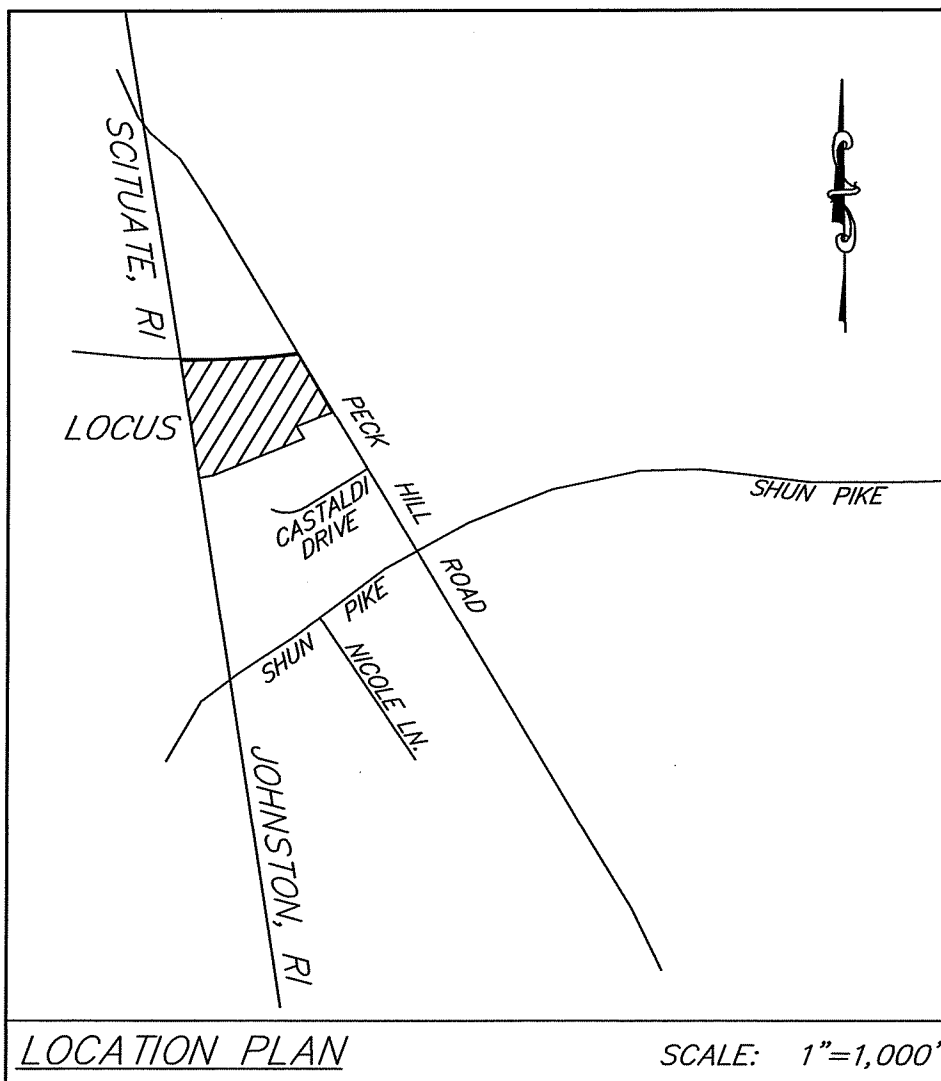
PREPARED FOR: ANTONIO GIARRUSSO & FRANCO GIARRUSSO

SCALE: 1"=30' DATE: DECEMBER 2021 REVISION:

PROJECT NO.: SS2973  
 DRAWING NO.: SS4860-2

SHEET 2 OF 4

RIDEM WETLANDS PLAN SHEET 7 OF 15



**LEGEND**

- A.P. ASSESSOR'S PLAT
- N/F NOW OR FORMERLY
- SQ. FT. DRILL HOLE IN GRANITE BOUND FOUND
- GBH DRILL HOLE IN GRANITE BOUND FOUND
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- W WELL
- U UTILITY POLE
- H HYDRANT
- W FLAG WETLAND FLAG
- CLF CHAINLINK FENCE
- WATER- EXISTING WATER MAIN
- W- PROPOSED MUNICIPAL WATER SERVICE

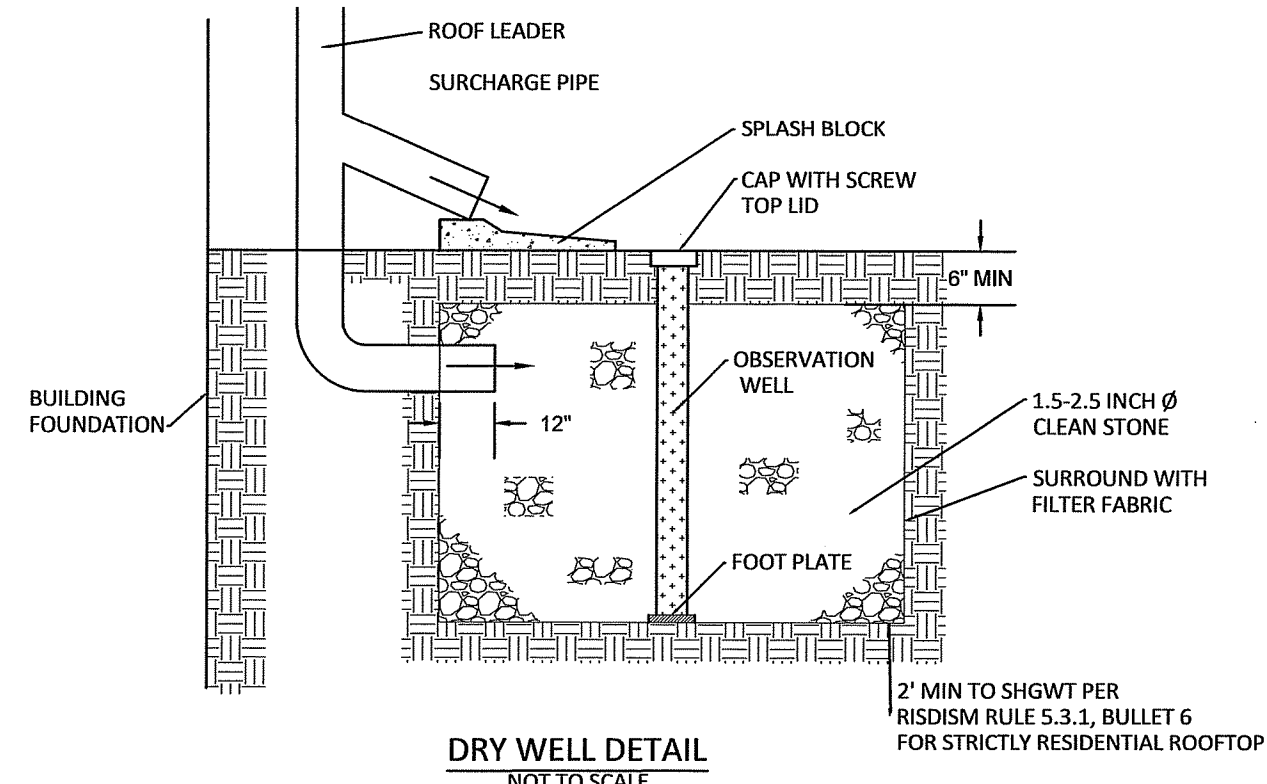
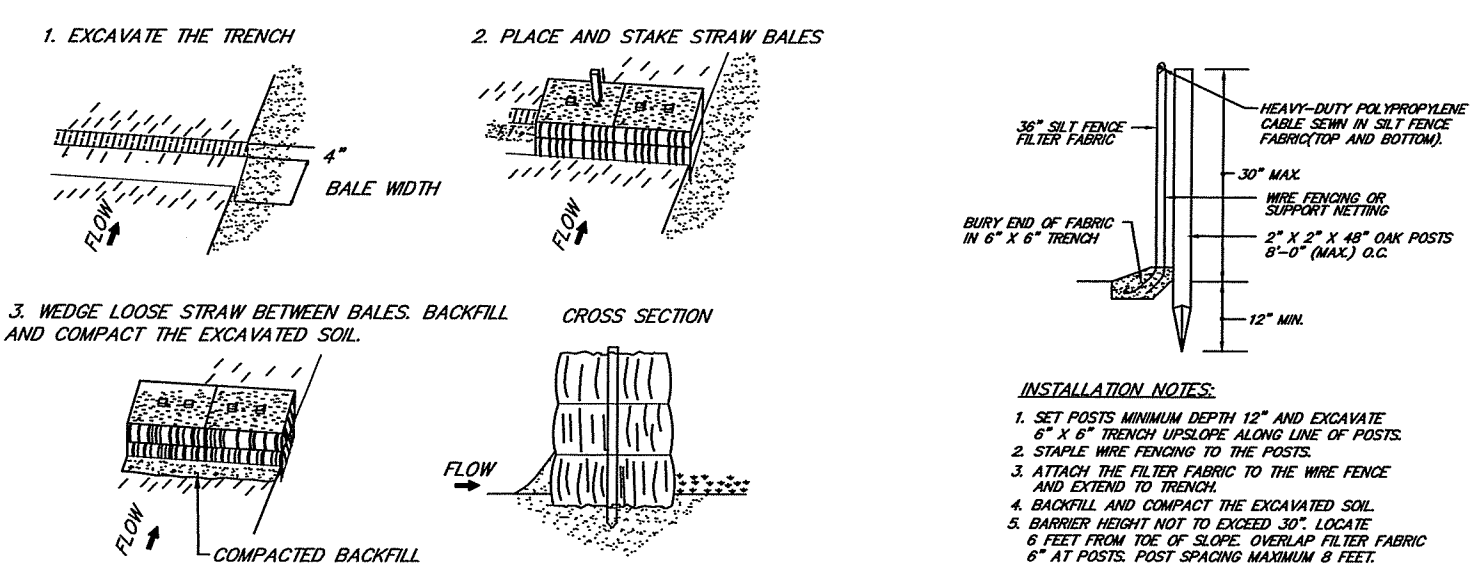
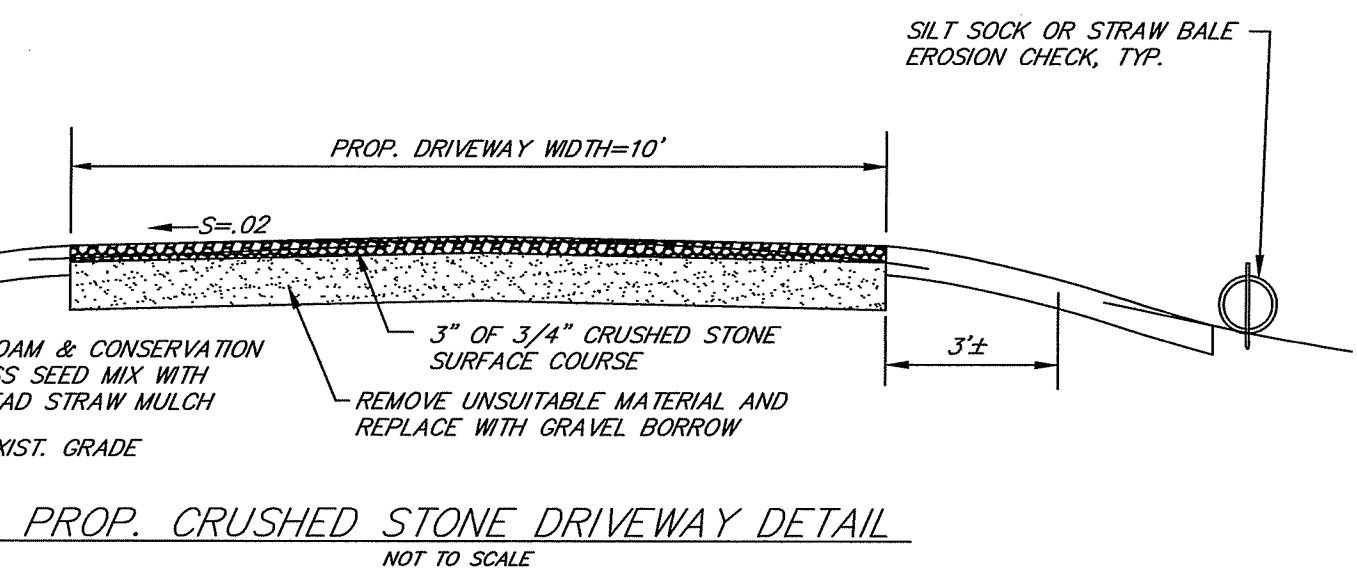
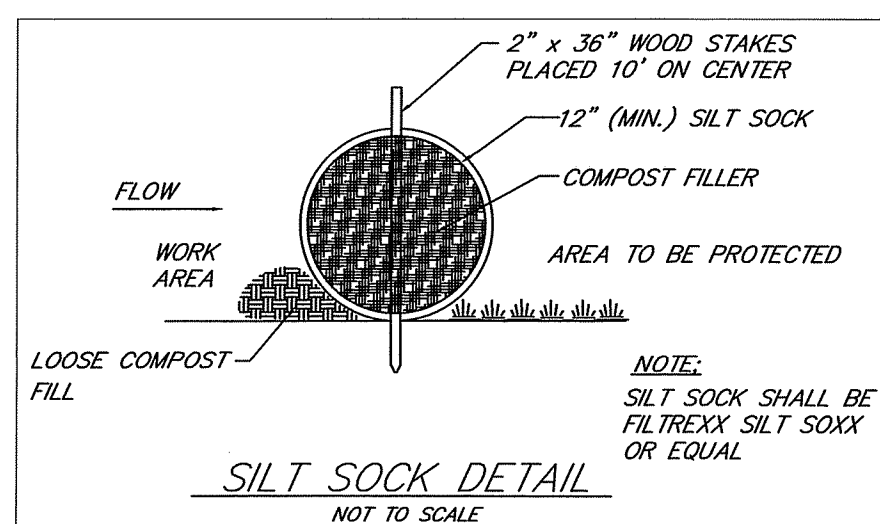
SCALE: 1"=1,000'

**GROUNDWATER & LEDGE DEPTH TABLE**

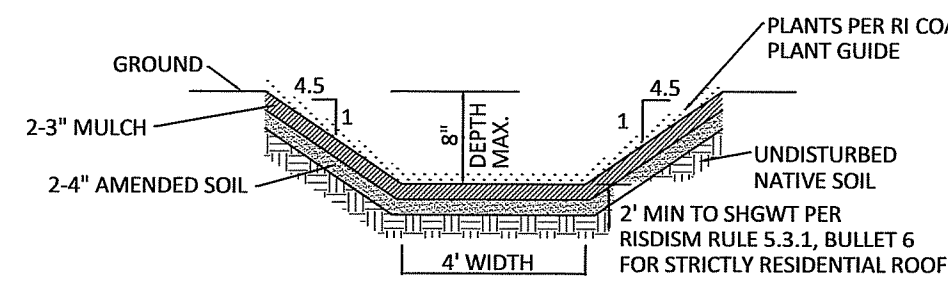
TEST PIT	EXISTING GROUND	GROUNDWATER DEPTH	GROUNDWATER ELEVATION	LEDGE DEPTH	LEDGE ELEVATION
353	488.4'	4.0'	484.4'	8.5'	BELOW 479.9'
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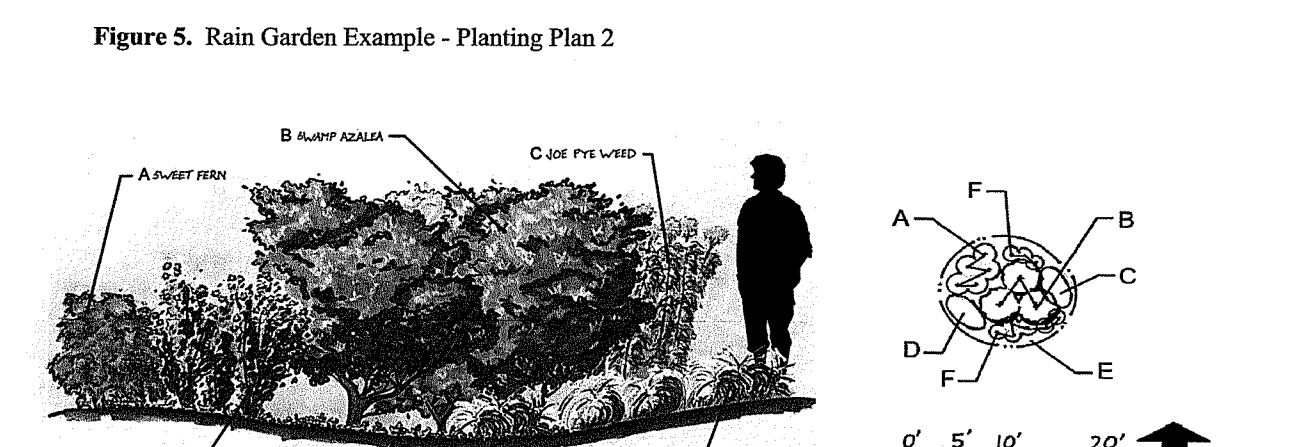
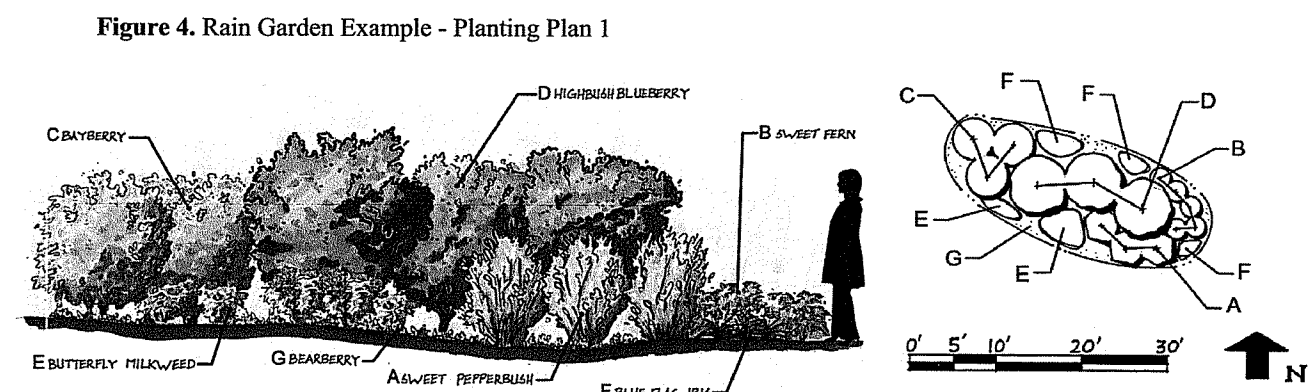
*Douglas L. Freeman*



- DRY WELLS NOTES**
- THE DRY WELLS ARE DESIGNED ONLY TO ACCEPT ROOF RUNOFF FROM THE HOUSE
  - THE DRY WELLS SHALL BE LOCATED A MINIMUM OF 10 FEET FROM THE FOUNDATION, 15 FEET FROM ANY OWTS COMPONENT, AND 10' FROM THE WATER LINE.
  - THE MAXIMUM DEPTH AND SIZE OF THE DRY WELLS ARE 8'W X 9'L X 1.5'D
  - THE BOTTOM OF THE STONE RESERVOIR SHALL BE COMPLETELY FLAT OR NEARLY SO IN ORDER THAT INFILTRATED RUNOFF WILL BE ABLE TO INFILTRATE THROUGH THE ENTIRE BOTTOM SURFACE AREA
  - THE BOTTOM OF THE DRY WELL SHALL BE LOCATED A MINIMUM OF 2 FEET VERTICALLY FROM THE SEASONAL HIGH GROUNDWATER TABLE (SHGWT) PER RIDEM RULE 5.3.1 FOR RESIDENTIAL ROOFTOPS
  - THE BOTTOM OF THE DRY WELL MUST BE LOCATED IN THE SOIL PROFILE
  - GREAT CARE MUST BE TAKEN TO PREVENT THE INFILTRATION AREA FROM COMPACTION BY MARKING OFF THE LOCATION BEFORE CONSTRUCTION AT THE SITE AND CONSTRUCTING THE DRY WELL LAST
  - AN OBSERVATION WELL SHALL BE INSTALLED IN THE DRY WELL, CONSISTING OF AN ANCHORED 4 TO 6 INCH DIAMETER PERFORATED PVC PIPE WITH A SCREW-TOP CAP INSTALLED FLUSH WITH THE GROUND SURFACE
- DRY WELLS MAINTENANCE NOTES**
- THE DRY WELL SHALL BE INSPECTED ANNUALLY AND REPAIRED IF NECESSARY TO ENSURE PROPER DRAINAGE
  - ACCUMULATED SEDIMENT AND DEBRIS SHALL BE REMOVED FROM THE SURFACE OF THE DRYWELL ANNUALLY

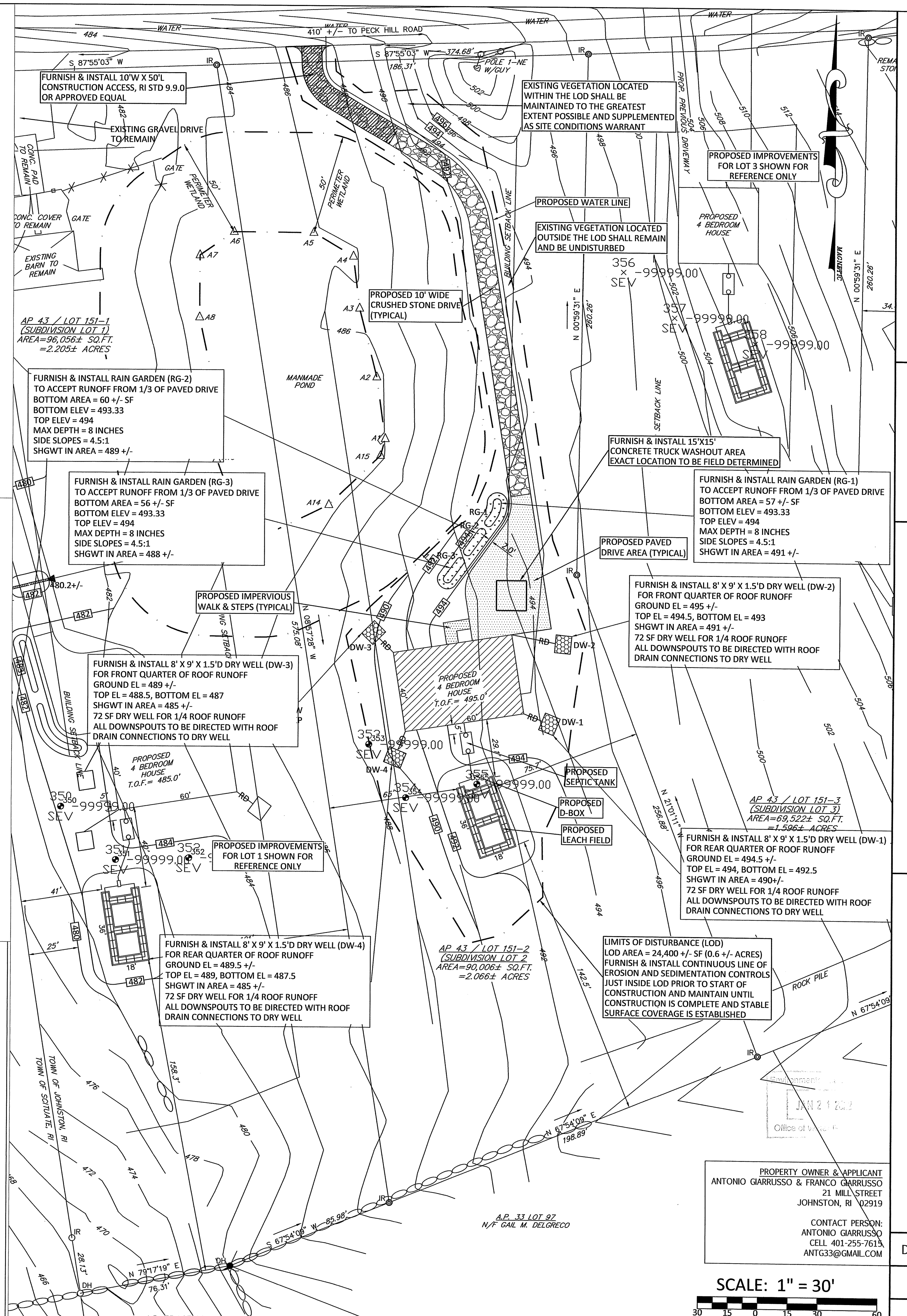


- RAIN GARDEN NOTES**
- THE MAXIMUM DEPTH OF ALL RAIN GARDENS SHALL BE 8 INCHES
  - THE BOTTOM WIDTH OF THE RAIN GARDEN IS GENERALLY 4 FEET TYPICALLY
  - THE RAIN GARDENS SHALL HAVE A SIDE SLOPE OF 4.5:1 (3 FEET IN 8 INCHES)
  - THE RAIN GARDENS SHALL BE LOCATED A MINIMUM OF 10' OFF BUILDING
  - THE RAIN GARDENS SHALL CONTAIN A 2 TO 4 INCH AMENDED SOIL LAYER AND A 2 TO 3 INCH MULCH LAYER
  - THE AMENDED SOIL LAYER OF THE RAIN GARDEN SHOULD BE A 50/50 MIXTURE OF THE EXCAVATED NATIVE SOILS AND MATURE ORGANIC COMPOST
  - PLANTS SHALL TOLERATE WET CONDITIONS BUT ALSO VERY DRY CONDITIONS. USE THE RI COASTAL PLANT GUIDE AT WWW.URJ.EDU/CEIS/CEIC/COASTALPLANTS/COASTALPLANTGUIDE.HTM TO SELECT APPROPRIATE SPECIES (FILTER SELECTION FOR RAIN GARDEN). REFER TO TWO EXAMPLE PLANTING PLANS FOR RESIDENTIAL RAIN GARDENS. PLANTINGS SHALL INCLUDE A MINIMUM OF THREE DIFFERENT PLANT SPECIES, INCLUDING SHRUBS AS WELL AS HERBACEOUS SPECIES.
- RAIN GARDEN MAINTENANCE NOTES**
- RAIN GARDENS SHALL BE INSPECTED FOLLOWING AT LEAST THE FIRST TWO PRECIPITATION EVENTS OF AT LEAST 1 INCH TO ENSURE THAT THE SYSTEM IS FUNCTIONING PROPERLY.
  - RAIN GARDEN SHALL BE MONITORED AND MAINTAINED TO ASSURE PROPER FUNCTIONING, PLANT GROWTH AND SURVIVAL.
  - PLANTS SHALL BE REPLACED ON AN AS-NEEDED BASIS DURING THE GROWING SEASON
  - SILT / SEDIMENT SHALL BE REMOVED FROM THE RAIN GARDEN WHEN THE ACCUMULATION EXCEEDS ONE INCH, OR WHEN WATER POUNDS ON THE SURFACE OF THE RAIN GARDEN FOR MORE THAN 48 HOURS
  - PRUNING OR REPLACEMENT OF WOODY VEGETATION SHALL OCCUR WHEN DEAD OR DYING VEGETATION IS OBSERVED
  - SOIL EROSION GULLIES SHALL BE REPAIRED WHEN THEY OCCUR
  - FERTILIZER OR PESTICIDES SHALL NOT BE APPLIED TO PLANTS WITHIN RAIN GARDEN
  - PERENNIAL PLANTS AND GROUND COVER SHALL BE REPLACED AS NECESSARY TO MAINTAIN AN ADEQUATE VEGETATED GROUND COVER. ANNUAL PLANTS MAY ALSO BE USED TO MAINTAIN GROUND COVER.



**PLANTING PLAN SAMPLES FOR RAIN GARDEN**

SOURCE: STATE OF RHODE ISLAND STORMWATER MANAGEMENT GUIDANCE FOR INDIVIDUAL SINGLE-FAMILY RESIDENTIAL DEVELOPMENT REQUIREMENTS.



REVISIONS

NO.	DATE	DESCRIPTION

PATRICIA K. WALKER  
No. 0059331-E  
REGISTERED PROFESSIONAL ENGINEER

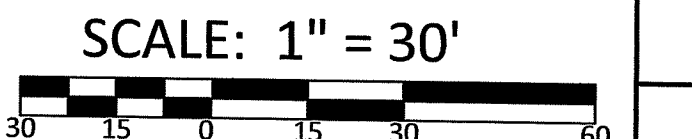
**Walker Engineering, Ltd.**  
31 Vale Court  
West Greenwich, RI 02817  
Phone / Fax (401) 397-8745  
Email: wel31.pw@gmail.com

**SITE IMPROVEMENTS PLAN**  
GIARRUSSO MEADOWS SUBDIVISION LOT 2  
ASSESSOR'S PLAT 43 / LOT 151-2  
BYRON RANDALL ROAD & PECK HILL ROAD  
JOHNSTON, RHODE ISLAND

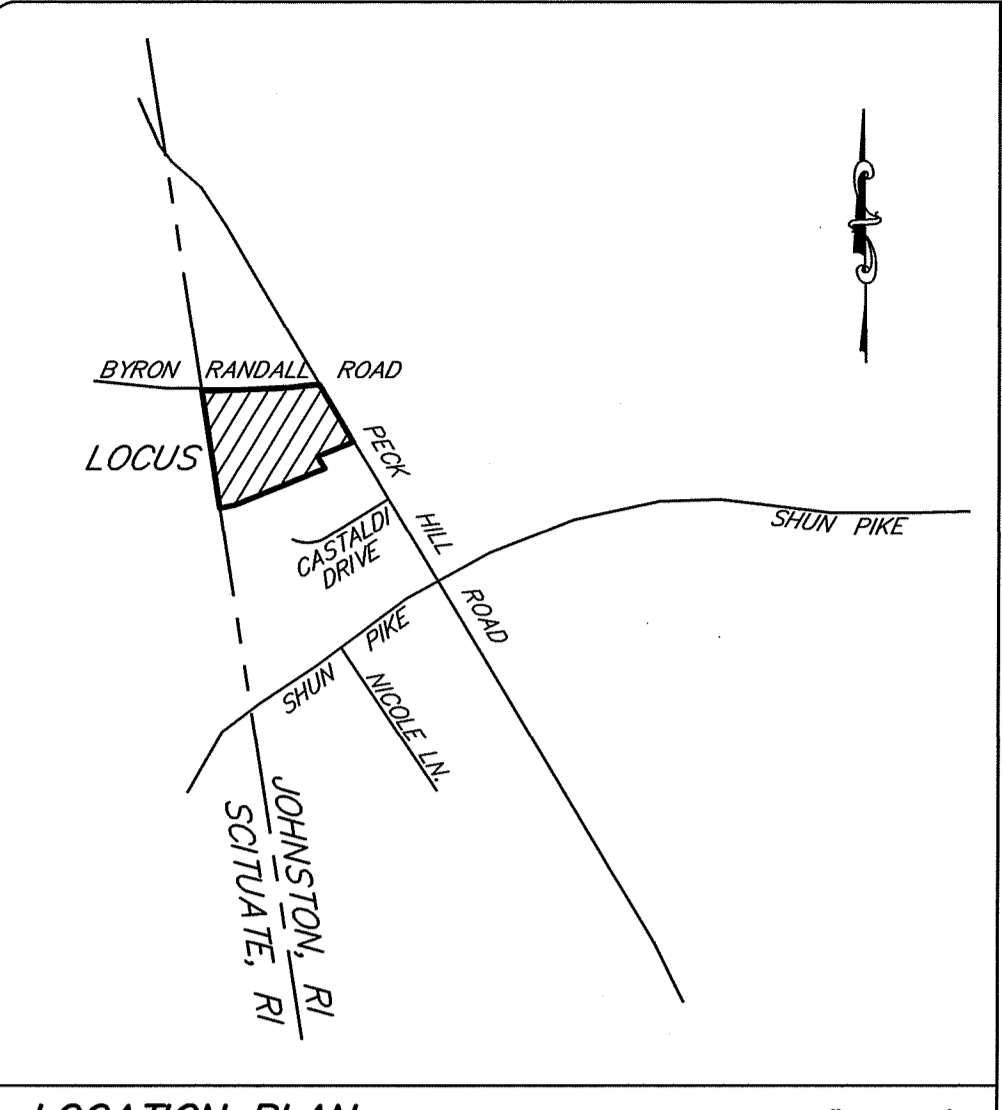
PROPERTY OWNER & APPLICANT  
ANTONIO GIARRUSSO & FRANCO GIARRUSSO  
21 MILL STREET  
JOHNSTON, RI 02919

CONTACT PERSON:  
ANTONIO GIARRUSSO  
CELL 401-255-7613  
ANTG33@GMAIL.COM

DATE: DECEMBER 2021  
SHEET: S - 1  
SHEET 3 OF 4







LOCATION PLAN SCALE: 1"=1,000'

GENERAL NOTES:

1. THE WETLAND EDGES (SWAMPS) WERE DELINEATED BY NATURAL RESOURCE SERVICES, INC. IN OCTOBER 10, 2020 AND SURVEY LOCATED IN THE FIELD BY SCITUATE SURVEYS, INC. ON NOVEMBER 25, 2020.
2. SITE IS WITHIN FLOOD HAZARD ZONE X (AREAS OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.) REFERENCE F.I.R.M. MAP PANEL #4007020295 DATED MARCH 02, 2009.
3. TOPOGRAPHY AND ELEVATIONS SHOWN ARE FROM AN ON-SITE SURVEY PERFORMED BETWEEN SEPTEMBER 2020 AND DECEMBER 2021 USING CONVENTIONAL (TOTAL STATION) SURVEY METHODS. THE HORIZONTAL AND VERTICAL DATUMS ARE ASSUMED.
4. EXCEPT WHERE SHOWN THE SITE IS CURRENTLY UNDEVELOPED.
5. STRAW BALE EROSION CHECK (R.I. STANDARD 9.1.0), SILT FENCE AND/OR SILT SOX SHALL BE INSTALLED PRIOR TO STARTING DISTURBING ACTIVITIES AND SHALL BE MAINTAINED UNTIL ALL DISTURBED AREAS ARE PERMANENTLY STABILIZED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL TEMPORARY SEDIMENTATION AND EROSION CONTROLS.
6. NO WORK IS ALLOWED WITHIN STATE REGULATED WETLANDS EXCEPT AS SPECIFICALLY SHOWN. NO WORK IS PROPOSED IN JURISDICTIONAL WETLANDS.
7. ALL IMPROVEMENTS SHALL BE ACCURATELY LOCATED AND STAKED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
8. ALL DISTURBED AREAS SHALL BE STABILIZED WITH 4" LOAM AND SEED OR SOD, PROPOSED SLOPES SHALL BE 3:1 (MAXIMUM).
9. ALL STAGES OF O.W.T.S. CONSTRUCTION MUST BE SUPERVISED BY THE SYSTEM DESIGNER.
10. EXISTING UTILITY LOCATIONS ARE APPROXIMATE ONLY. DIG SAFE AND APPROPRIATE UTILITY AUTHORITIES SHALL BE NOTIFIED PRIOR TO ANY CONSTRUCTION FOR ACCURATE UTILITY LOCATIONS.
11. THERE ARE NO EXISTING OR PROPOSED PUBLIC WATER SUPPLY SOURCES WITHIN 500' OF LOT OTHER THAN SHOWN ON THE PLAN.
12. THERE ARE NO EXISTING OR PROPOSED SEWAGE DISPOSAL SYSTEMS WITHIN 25' OF THE PROPOSED WATER SUPPLY LINE OTHER THAN THOSE SHOWN ON THE PLAN.
13. THERE ARE NO EXISTING OR PROPOSED INDIVIDUAL WATER SUPPLIES WITHIN 200' OF THE PROPOSED ON-SITE WASTEWATER TREATMENT SYSTEM OTHER THAN THOSE SHOWN ON THE PLAN.
14. THE SITE IS WITHIN THE SCITUATE RESERVOIR WATERSHED CRITICAL RESOURCE AREA. PER RULE 6.44 C THE SEPARATION DISTANCE TO GROUNDWATER IS REQUIRED TO BE 4' WHEN SOIL CATEGORIES 1, 2, 3, 4, AND 6 ARE ENCOUNTERED.

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 460 GALLONS PER DAY (MAX.) ÷ .61 GALS/SQ. FT./DAY = 754.09 SQ. FT.  
 LEACH FIELD AREA PROVIDED: 27 ELIEN UNITS X 4 X 7 = 756 SQ. FT.  
 LEACH FIELD DESIGN POINT: ELEVATION 502.3±

BIO-RETENTION BASIN TABLE

FEATURE	ELEVATION	AREA
TOP OF BERM	500.8'	416 S.F.
OVERFLOW WEIR	500.3'	299 S.F.
TOP OF MULCH	499.8'	200 S.F.
RD OUTLET INV.	499.8'	
S.H.W.T.	495.8'	

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*Adm. J. Freeman*

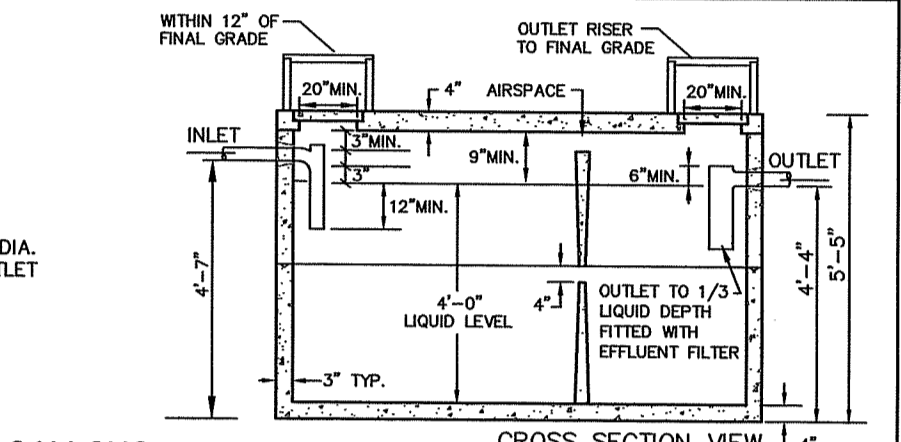
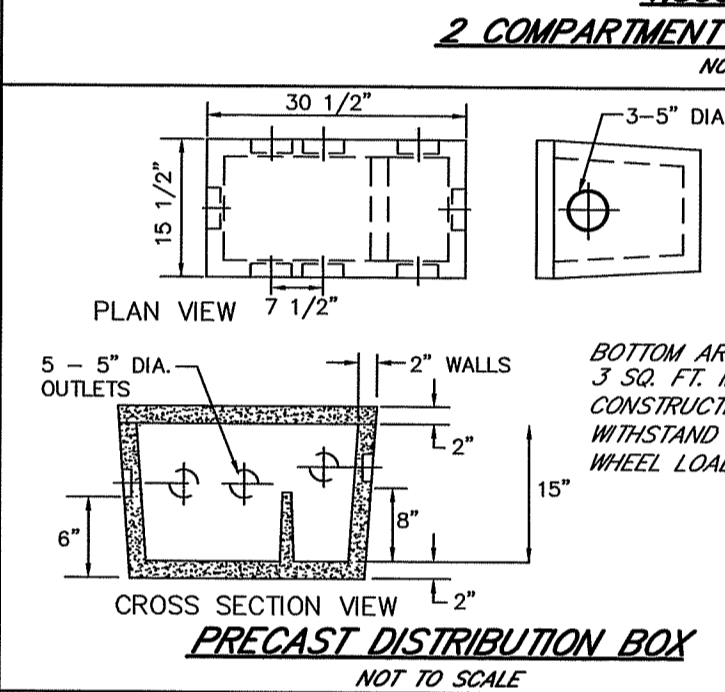
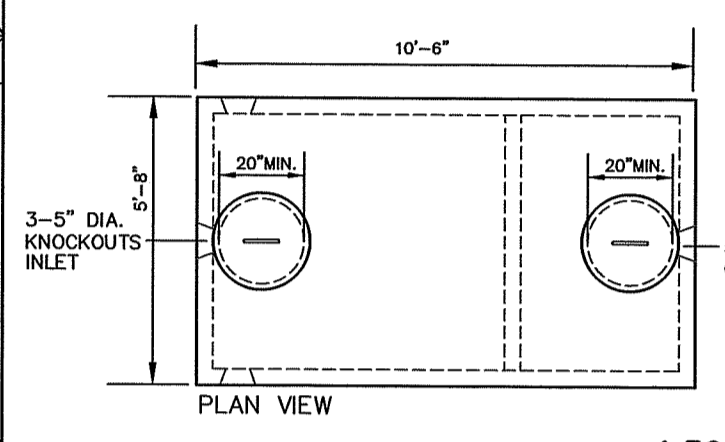
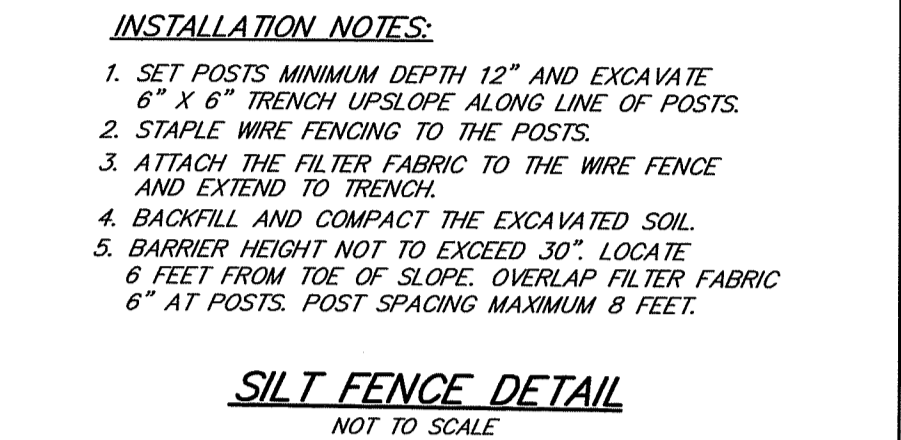
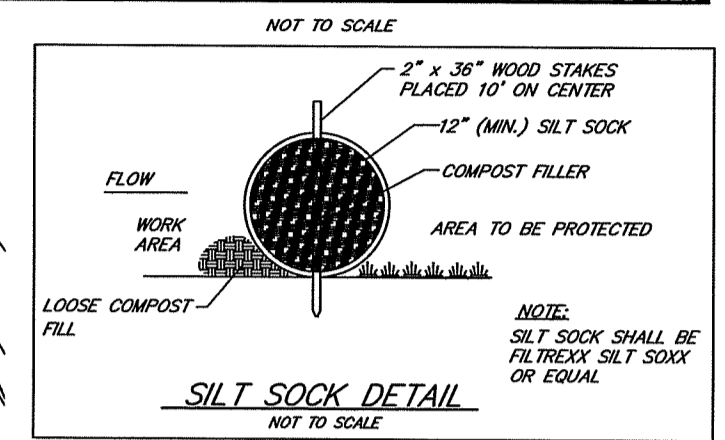
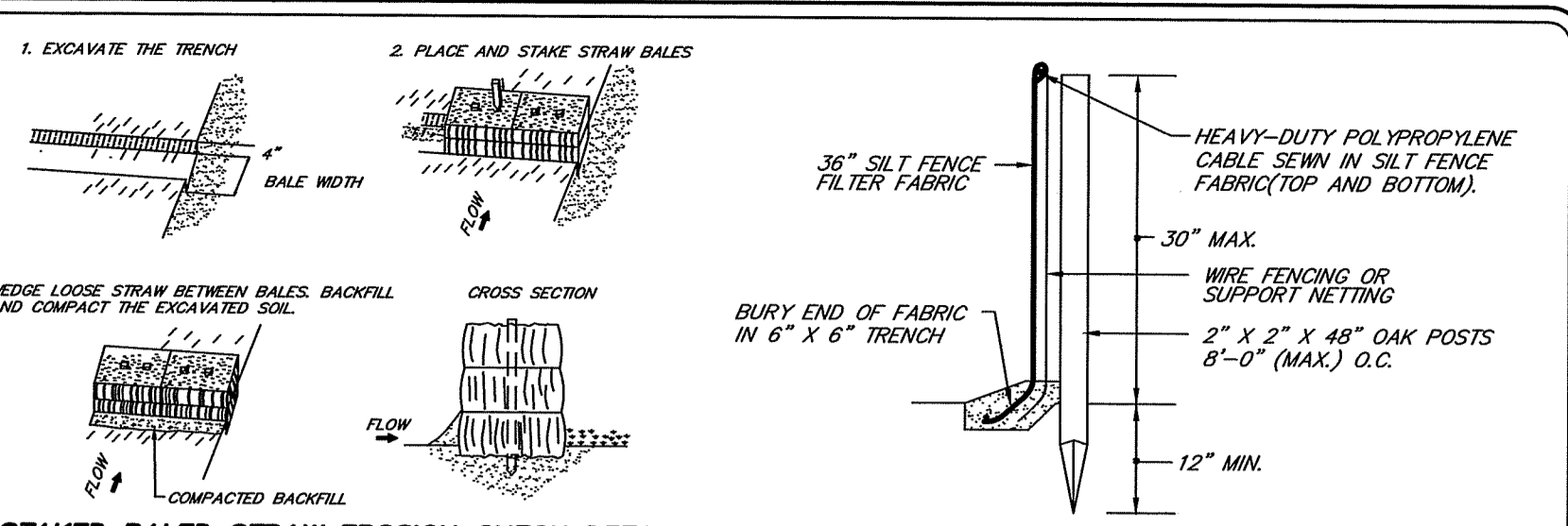
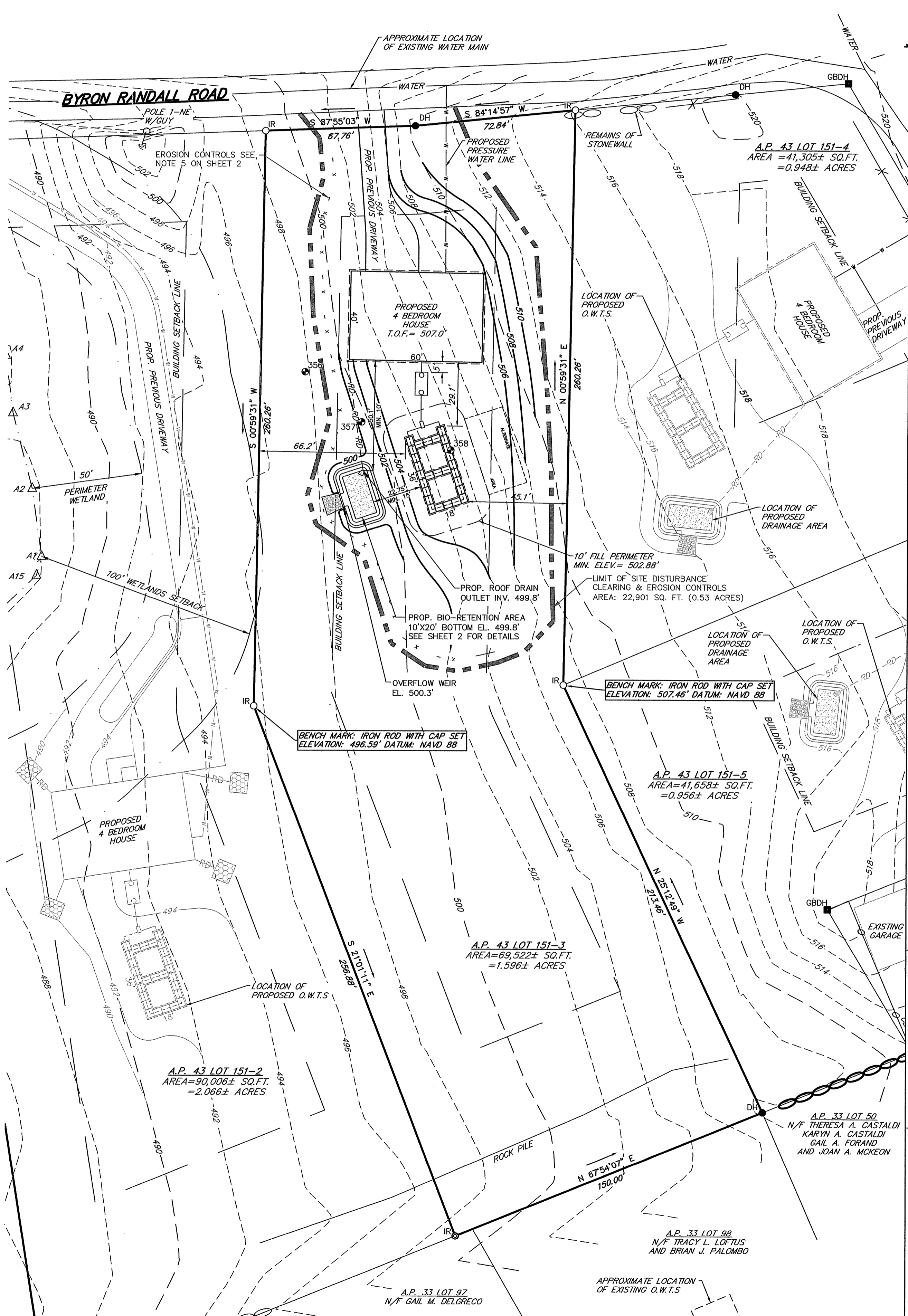
LEGEND

- A.P. ASSESSOR'S PLAT
- N/F NOW OR FORMERLY
- SQ. FT. SQUARE FEET
- GBDH DRILL HOLE IN GRANITE BOUND FOUND
- CH DRILL HOLE SET
- DH DRILL HOLE FOUND
- IR IRON ROD WITH SURVEY CAP SET
- IF IRON ROD FOUND
- IR IRON ROD TO BE SET
- 362 SOIL EVALUATION TEST HOLE (APPROVED BY RIDEM)
- WELL
- U UTILITY POLE
- HYDRANT
- WETLAND FLAG
- CLF CHAINLINK FENCE
- WATER- EXISTING WATER MAIN
- - - PROPOSED MUNICIPAL WATER SERVICE
- - - PROPOSED LIMIT OF DISTURBANCE
- - - PROPOSED EROSION CONTROL
- STONEWALL

OWNER:  
 ANTONIO GIARRUSSO &  
 FRANCO GIARRUSSO  
 21 MILL STREET  
 JOHNSTON, RI 02919

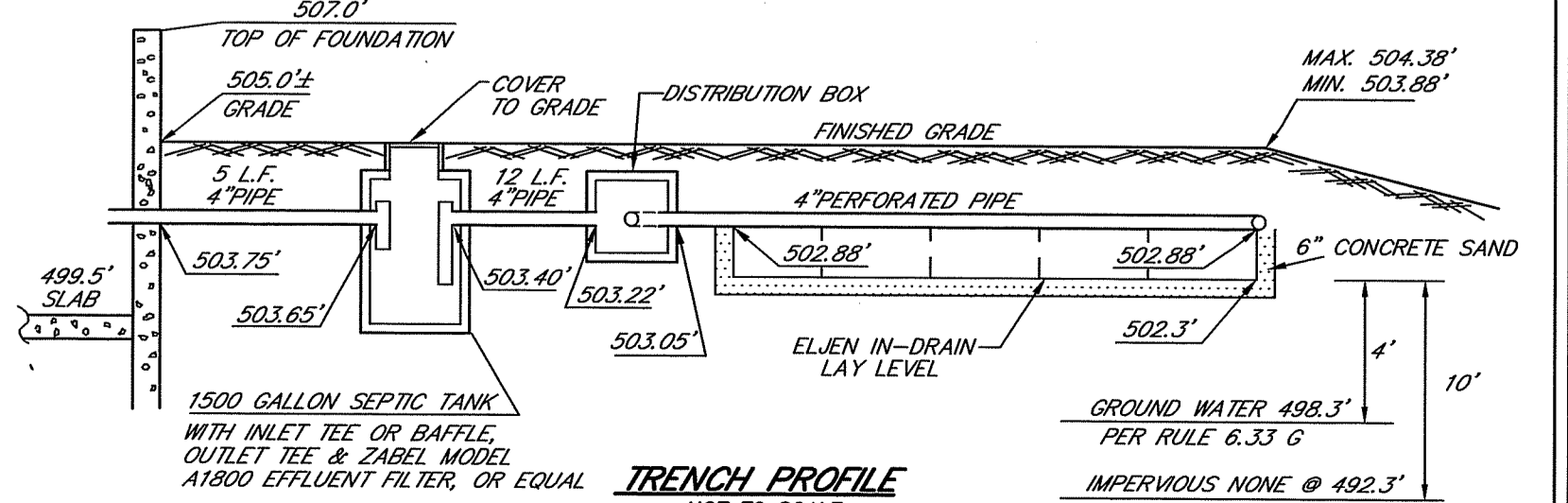
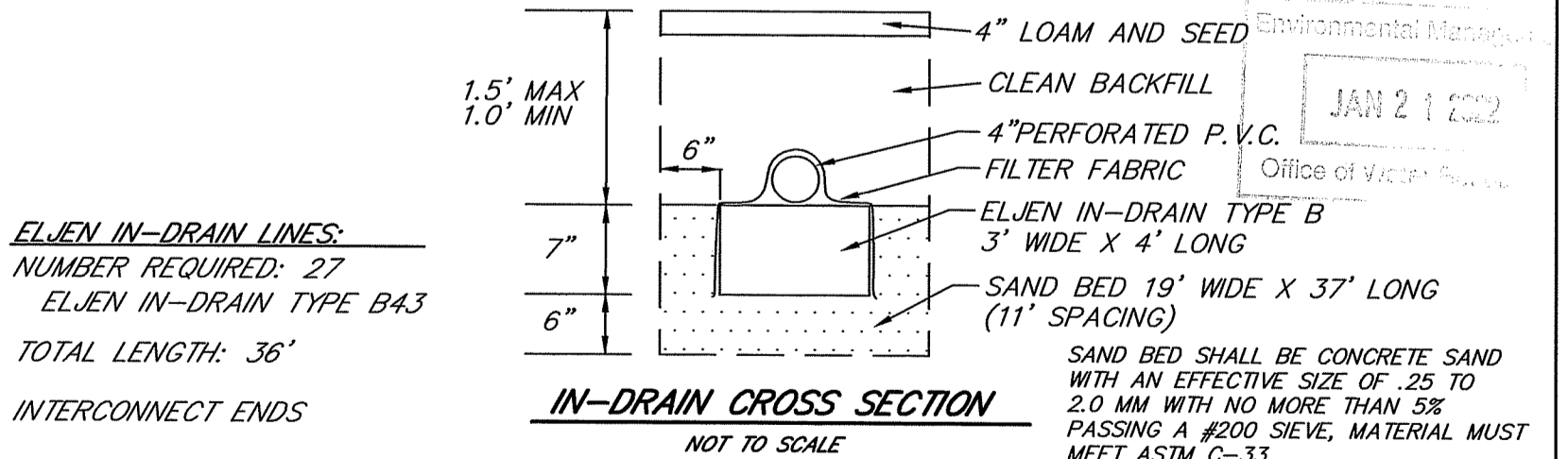
**GROUNDWATER & LEDGE DEPTH TABLE**

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357	499.8'	4.0'	495.8'	10.0'	BELOW 489.8'
358	503.5'	4.0'	499.5'	10.0'	BELOW 493.5'



DESIGN AND CONSTRUCTION NOTES:

1. ALL WORK SHALL CONFORM TO THE RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL MANAGEMENT RULES AND REGULATIONS, AS AMENDED.
2. THE TOP OF FOUNDATION ELEVATION SHOWN HAS BEEN DESIGNED FOR O.W.T.S. PURPOSES ONLY. THE OWNER AND/OR CONTRACTOR IS ADVISED TO DETERMINE WHETHER THE BASEMENT FLOOR OF THE PROPOSED DWELLING IS AT OR BELOW THE GROUND WATER TABLE AND, IF SO, RAISE THE FOUNDATION ACCORDINGLY.
3. THE CONTRACTOR SHALL NOTIFY THE DESIGNER OF ANY PROPOSED DEVIATIONS FROM THIS SITE PLAN. THE DESIGNER MUST PERFORM ALL NECESSARY INSPECTIONS, BOTH DURING AND AFTER INSTALLATION, BEFORE ANY COMPONENT OF THE SYSTEM IS COVERED.
4. THE PROPERTY BOUNDARIES SHOWN HEREON HAVE BEEN COMPILED FROM MAPS, DEEDS, AND OTHER SOURCES OF INFORMATION, AND ARE SUBJECT TO SUCH MODIFICATIONS AS AN ACTUAL BOUNDARY SURVEY MAY DISCLOSE. TO THE EXTENT THAT SUCH BOUNDARIES ARE CRITICAL TO THE O.W.T.S. LOCATION, THEY MUST BE ESTABLISHED PRIOR TO CONSTRUCTION.
5. ALL TREES, STUMPS, AND BRUSH WITHIN A 10' PERIMETER AROUND THE SYSTEM MUST BE CLEARED.
6. THE EXCAVATION SHALL BE LEVEL AND SCARIFIED.
7. ALL TOPSOIL AND SUBSOIL WITHIN A 5' PERIMETER OF THE SYSTEM SHALL BE STRIPPED AND BACKFILLED WITH CLEAN, COARSE GRAVEL. EXCAVATION INTO IMPROVISED MATERIAL IS PROHIBITED UNLESS OTHERWISE APPROVED BY THE DIRECTOR.
8. MAINTAIN TRENCH INVERT ELEVATION FOR 10' BEYOND THE PERIMETER OF THE LEACHING FIELD. THE ADJACENT SIDE SLOPE SHALL NOT BE STEEPER THAN 3:1 FOR A 25' MIN. DISTANCE FROM THE EDGE OF LEACH FIELD. MAINTAIN 5' TO PROPERTY LINE FROM TOE OF 3:1 SIDE SLOPE.
9. INSTALL CAST IRON PIPE OR EQUIVALENT FROM THE FOUNDATION TO THE SEPTIC TANK. ALL OTHER PIPES MUST BE SDR 35 P.V.C. OR EQUIVALENT.
10. SUBSURFACE DRAINS AND WATER SUPPLY LINE TO BE INSTALLED IN CONFORMANCE WITH DISTANCES SPECIFIED IN TABLE 6.23 B.
11. ALL KNOWN EXISTING AND PROPOSED PRIVATE WATER SUPPLY WELLS WITHIN 500' OF THE SYSTEM ARE SHOWN. ALL KNOWN EXISTING AND PROPOSED SEPTIC SYSTEMS WITHIN 100' OF THE WELL ARE SHOWN.
12. ALL WORK MUST CONFORM TO THE REQUIREMENTS OF OTHER EXISTING PERMITS, IF ANY.
13. WITH RESPECT TO MUNICIPAL ZONING REQUIREMENTS, THE DESIGNER HAS MADE A REASONABLE EFFORT TO ASCERTAIN THE APPLICABLE DIMENSIONAL SETBACKS AND OTHER CONSTRAINTS TO DEVELOPMENT. DUE, HOWEVER, TO THE POSSIBILITY OF UNRECORDED VARIANCES, NON-CONFORMING USES, AND OTHER RELEVANT DOCUMENTS, IT REMAINS THE RESPONSIBILITY OF THE OWNER TO VERIFY THAT THIS DESIGN SATISFIES LOCAL CODES.
14. ALL STAGES OF CONSTRUCTION MUST BE SUPERVISED BY THE DESIGNER OF RECORD. UNLESS WAIVED BY THE DESIGNER, ALL IMPROVEMENTS MUST BE STAKED BY THE DESIGNER OR HIS AGENTS PRIOR TO CONSTRUCTION. THESE INCLUDE, BUT ARE NOT LIMITED TO, FOUNDATION, WELL, EROSION CONTROLS, CLEARING LIMITS AND ANY OTHER FEATURES DEEMED CRITICAL TO THE DESIGN.



**SCITUATE SURVEYS, INC.**

410 TILOGUE AVENUE  
 COVENTRY, RHODE ISLAND 02816  
 401-821-8101

LAND SURVEYING/MAPPING/SITE PLANNING

SCALE IN FEET: 0 15 30 60 90

SCITUATE SURVEYS, INC. CON. NO. 120  
 THE SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS OF THE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2016, AS FOLLOWS:

DATE OF BOUNDARY SURVEY: N/A  
 MEASUREMENT SPECIFICATION: N/A  
 MEASUREMENT STANDARD: N/A  
 TOLERANCE: N/A  
 DATE OF PREPARATION: N/A  
 DATE OF REVISION: N/A

ANGEO M. BAIAMONDI  
 No. 1762  
 PROFESSIONAL LAND SURVEYOR

**PLAN SHOWING PROPOSED IMPROVEMENTS & ON-SITE WASTEWATER TREATMENT SYSTEM**

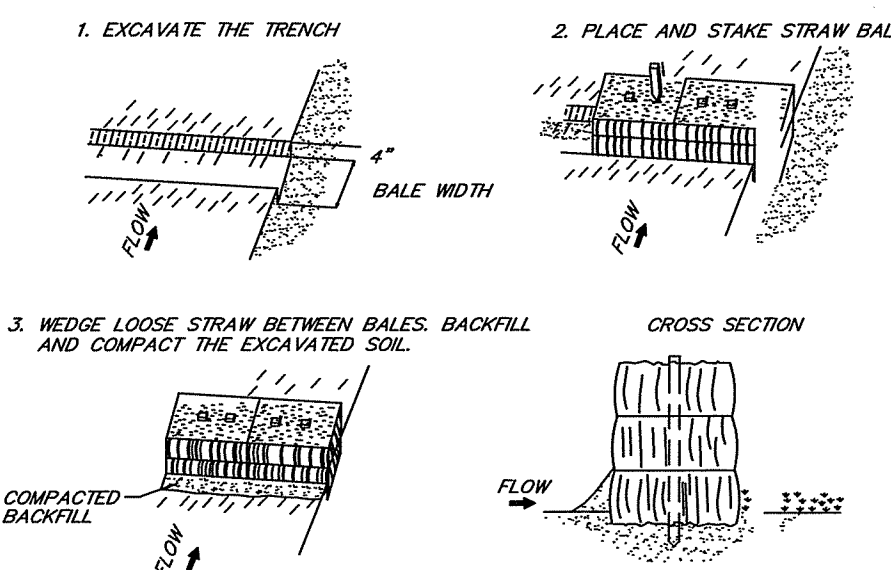
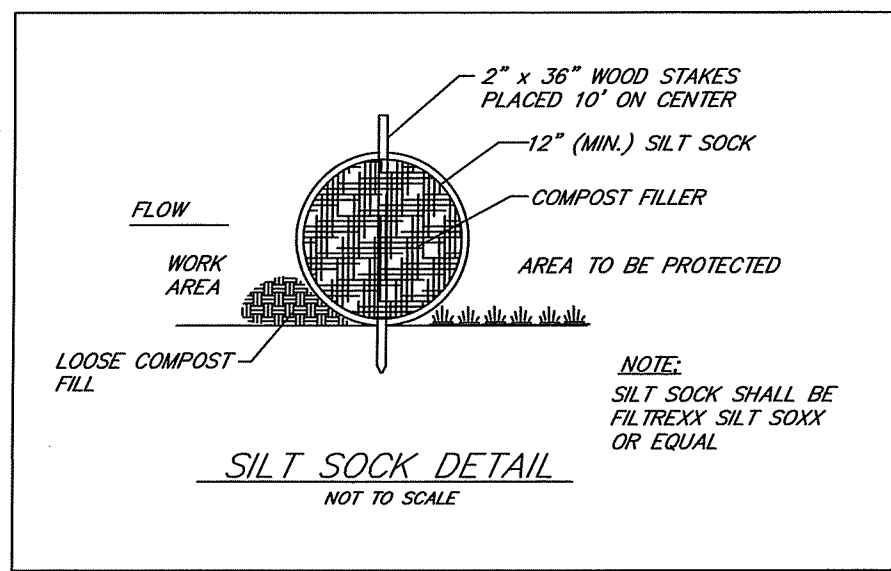
**ASSESSOR'S PLAT 43 LOT 151-3**

BYRON RANDALL ROAD AND PECK HILL ROAD  
 JOHNSTON, RHODE ISLAND

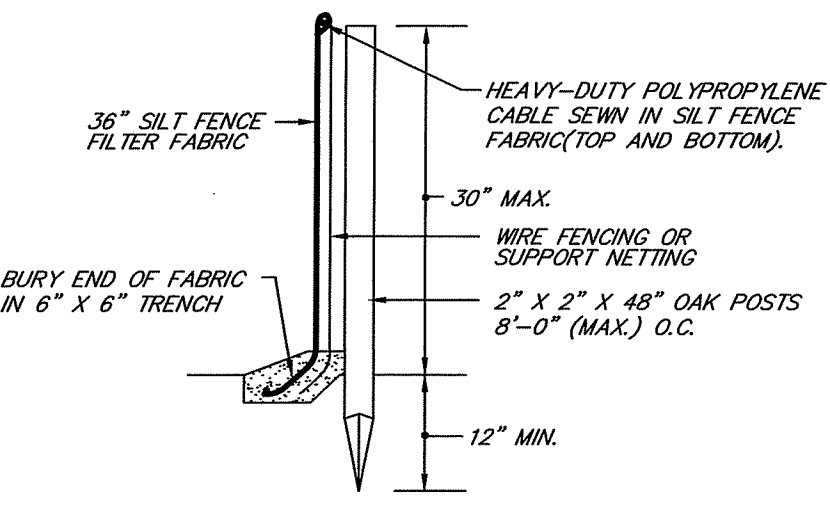
PREPARED FOR: ANTONIO GIARRUSSO & FRANCO GIARRUSSO

DATE: DECEMBER 30, 2021 REVISION:

PROJECT NO.: SS2973 SHEET 1 OF 2  
 DRAWING NO.: SS4860-3



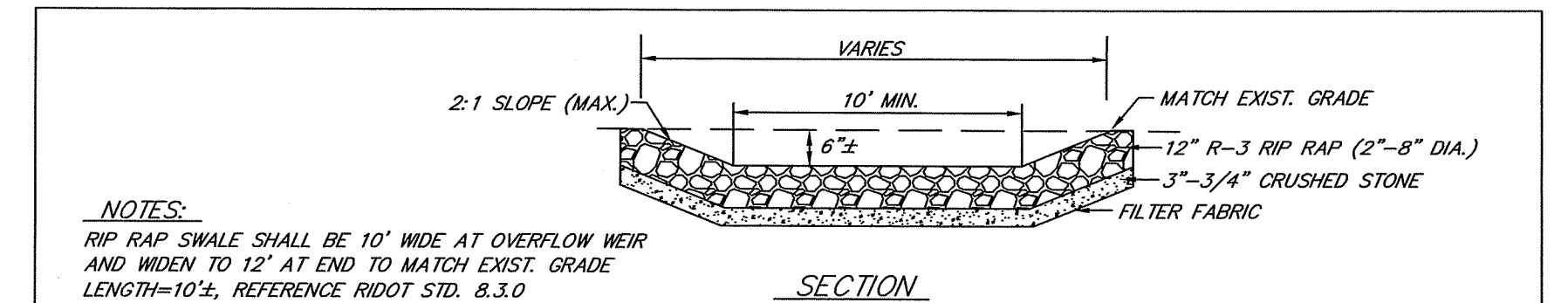
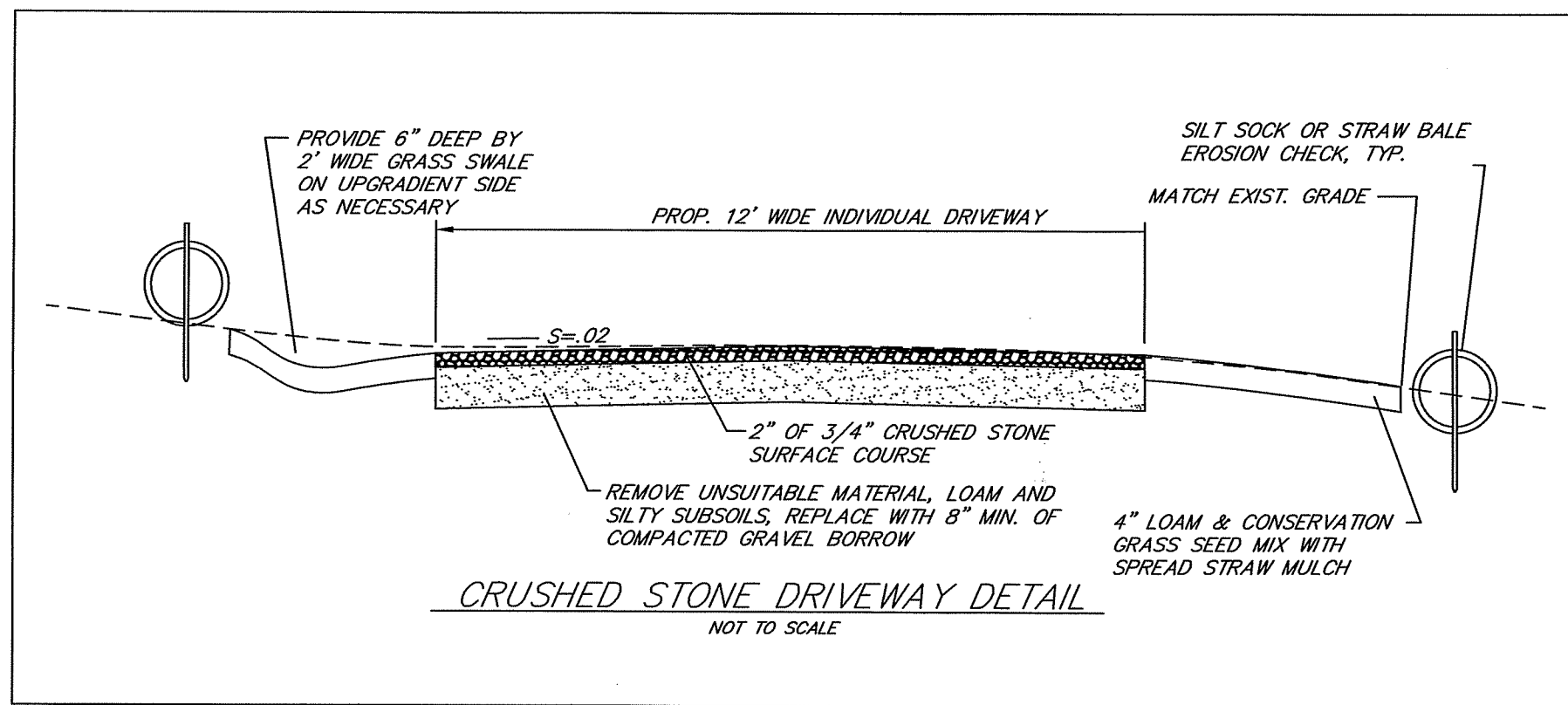
**STAKED BALED STRAW EROSION CHECK DETAIL**  
NOT TO SCALE



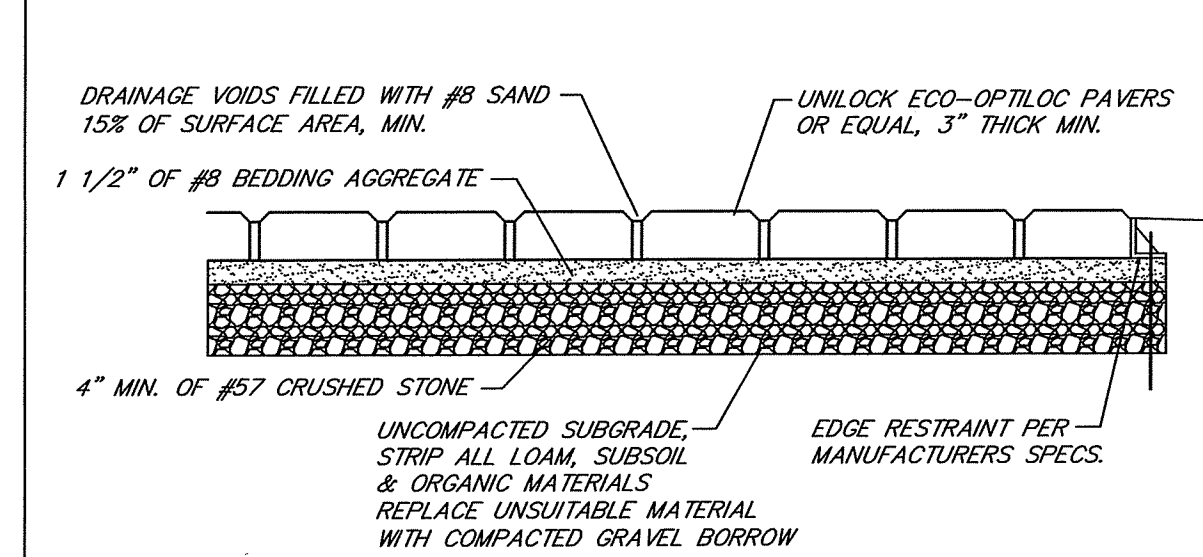
**INSTALLATION NOTES:**

1. SET POSTS MINIMUM DEPTH 12" AND EXCAVATE 6" X 6" TRENCH UPSLOPE ALONG LINE OF POSTS.
2. STAPLE WIRE FENCING TO THE POSTS.
3. ATTACH THE FILTER FABRIC TO THE WIRE FENCE AND EXTEND TO TRENCH.
4. BACKFILL AND COMPACT THE EXCAVATED SOIL.
5. BARRIER HEIGHT NOT TO EXCEED 30". LOCATE 6 FEET FROM TOE OF SLOPE. OVERLAP FILTER FABRIC 6" AT POSTS. POST SPACING MAXIMUM 8 FEET.

**SILT FENCE DETAIL**  
NOT TO SCALE



**RIP RAP OUTLET PROTECTION**  
NOT TO SCALE

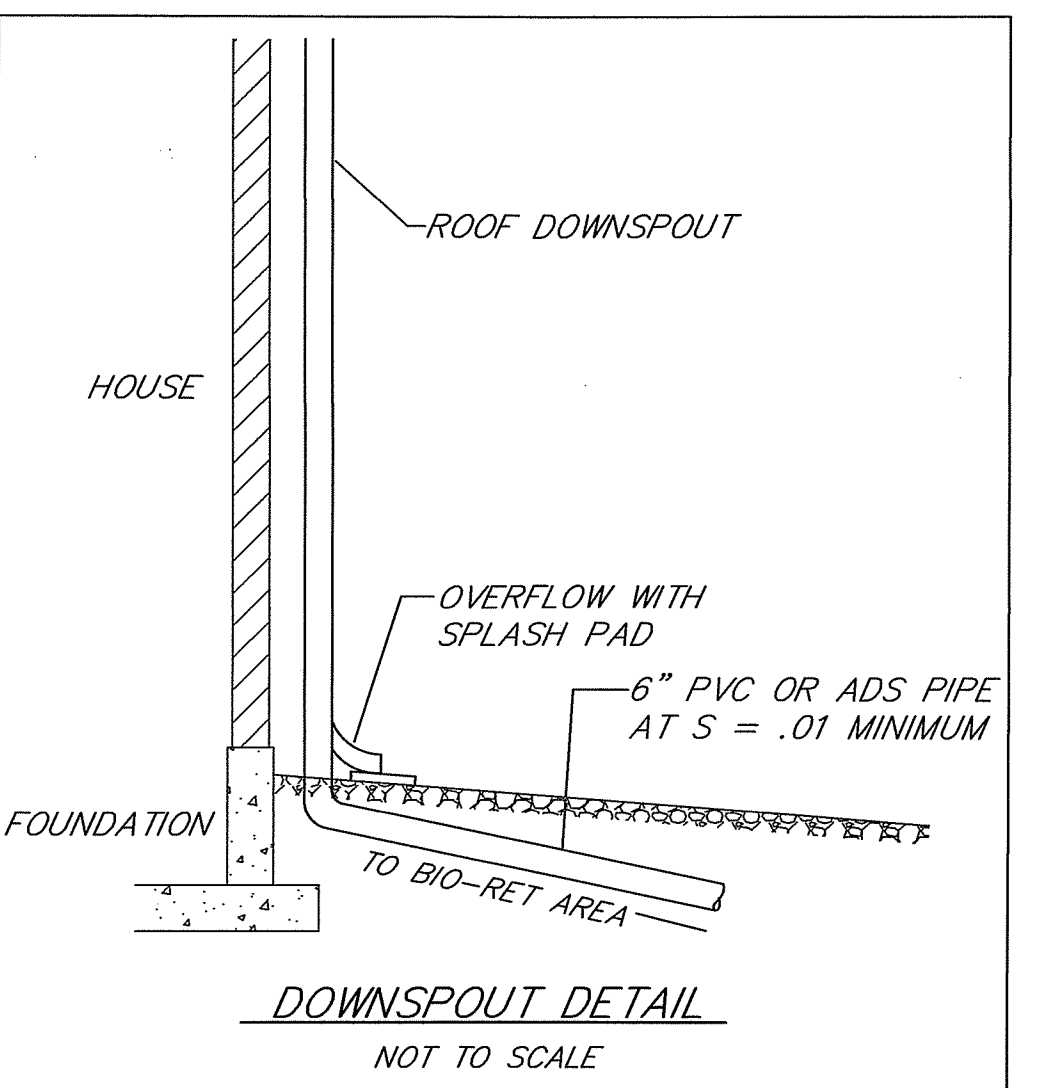


**PAVER MAINTENANCE NOTES:**

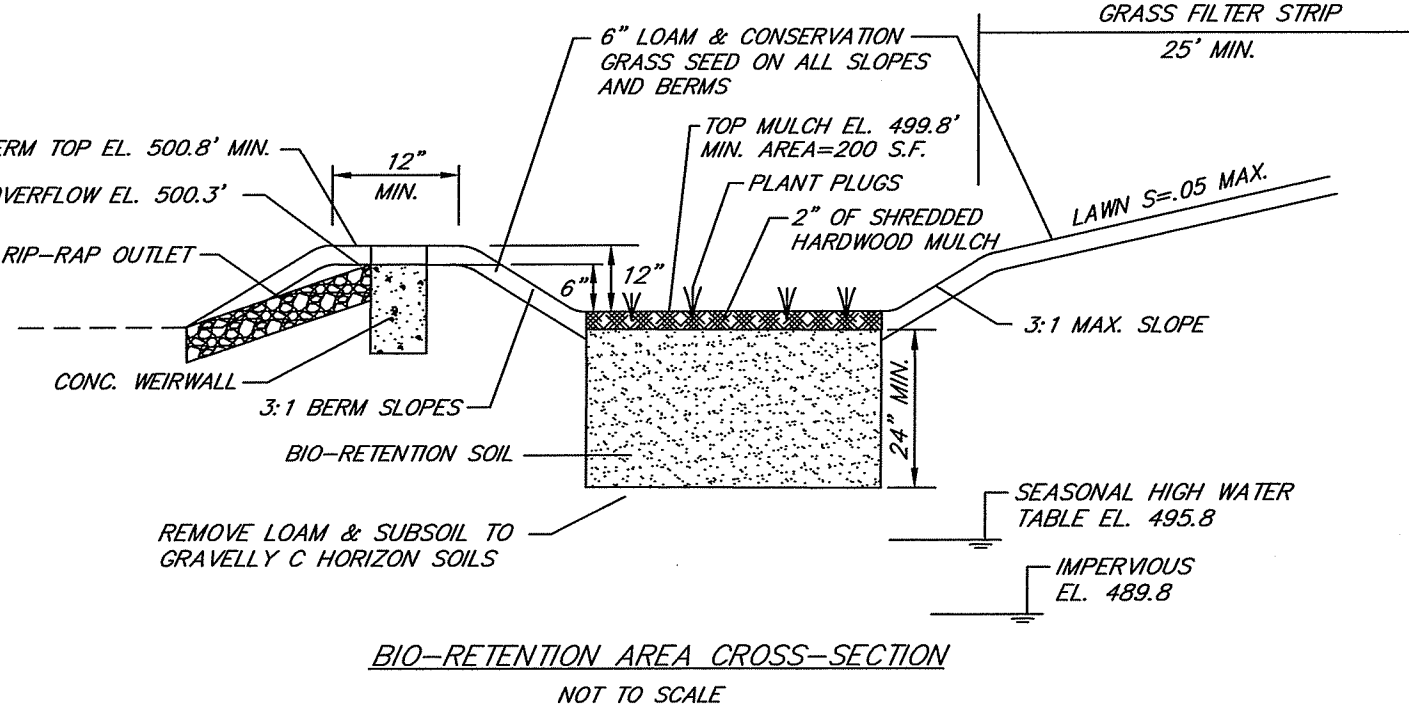
1. PAVERS AND CRUSHED STONE SHALL NOT BE INSTALLED UNTIL ALL SITE WORK IS COMPLETE AND UPGRADE AREAS ARE STABILIZED WITH TURF OR MULCH.
2. PERMEABLE PAVER AREAS SHALL BE PROTECTED AT ALL TIMES FROM EROSION AND SILTATION UNTIL THE SITE IS PERMANENTLY STABILIZED.
3. PERMEABLE PAVER AREAS SHALL BE PROTECTED FROM EXCESSIVE COMPACTION. SUBGRADE SHALL BE SCARIFIED AND LEVELED PRIOR TO STONE INSTALLATION. STONE, AGGREGATE AND PAVERS SHALL BE INSTALLED AND COMPACTED WITH A 3,000 POUND PLATE COMPACTOR.
4. PAVEMENT SURFACES SHALL BE INSPECTED AFTER RAIN EVENTS. ACCUMULATED DEBRIS AND SEDIMENTS SHALL BE REMOVED AS SOON AS POSSIBLE.
5. THE USE OF DE-ICING SAND AND SALT SHALL BE KEPT TO THE MINIMUM NECESSARY.
6. IF PONDING ON THE SURFACE OCCURS AND ROUTINE CLEANING DOES NOT RESTORE INFILTRATION, THEN RECONSTRUCTION OF THE AREA OF FAILURE SHALL BE REQUIRED. PERMEABLE PAVERS SHALL BE REMOVED, CRUSHED STONE CLOGGED WITH SILTS SHALL BE REPLACED AND PAVERS REINSTALLED.

**PERMEABLE PAVER DETAIL**  
NOT TO SCALE

BEDDING AGGREGATE ASTM NO. 8		CRUSHED STONE ASTM NO. 57		GRAVEL BORROW SUBBASE	
SIZE	PERCENT PASSING	SIZE	PERCENT PASSING	SIZE	PERCENT PASSING
1/2"	100	1 1/2"	100	3"	100
3/8"	85 TO 100	1"	95 TO 100	1 1/2"	50 TO 85
NO. 4	10 TO 30	1/2"	25 TO 60	3/8"	45 TO 80
NO. 8	0 TO 10	NO. 4	0 TO 10	NO. 4	40 TO 75
NO. 16	0 TO 5	NO. 8	0 TO 5	NO. 40	0 TO 45
NO. 200	0	NO. 200	0	NO. 200	0 TO 10

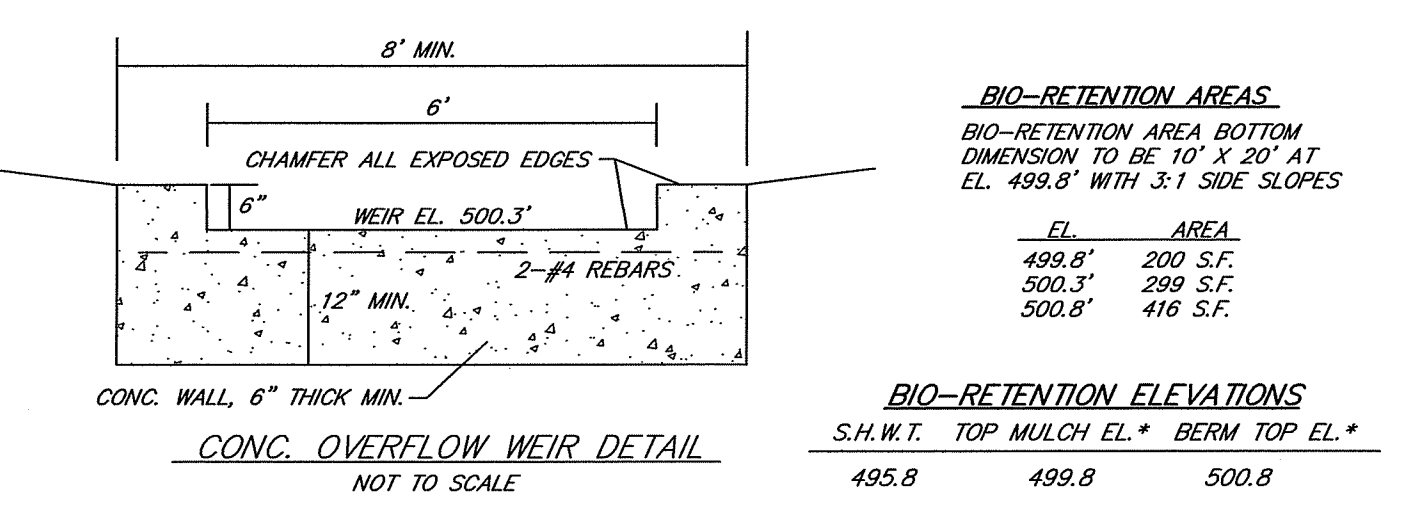


**DOWNSPOUT DETAIL**  
NOT TO SCALE



**BIO-RETENTION AREA NOTES**

1. BIO-RETENTION AREAS SHALL BE PROTECTED FROM COMPACTION PRIOR TO AND DURING CONSTRUCTION.
2. ALL LOAM & SUBSOIL SHALL BE STRIPPED AND THE AREA EXCAVATED TO DESIGN BOTTOM GRADE. BIO-RETENTION SOIL SHALL BE PLACED TO A DEPTH OF 24" AND COVERED WITH 2" OF MULCH.
3. MULCH SHALL BE SHREDDED HARDWOOD MULCH.
4. BOTTOM OF BIO-RETENTION AREA SHALL BE PLANTED WITH AN EQUAL MIXTURE OF BLUEGRASS, IRIS, WOOD GRASS AND PICKEREL WEED PLUGS AT 18" ON CENTER. PLANTINGS SHALL COMPLY WITH APPENDIX B.8.3 OF THE R.I. STORMWATER DESIGN AND INSTALLATION STANDARDS MANUAL (MARCH 2015).
5. BIO-RETENTION AREA PLANTINGS SHALL BE INSTALLED BY A LANDSCAPE CONTRACTOR. SURVIVAL SHALL BE GUARANTEED FOR ONE YEAR.
6. BIO-RETENTION SOIL SHALL HAVE A LOAMY SAND TEXTURE AND CONFORM TO THE FOLLOWING GRADATION:  
SAND 85 - 88%  
SILT 0 - 12%  
CLAY 0 - 2%  
ADD ORGANIC MATTER (LEAF COMPOST) TO LOAMY SAND, 3% - 5% BY VOLUME



**BIO-RETENTION AREA MAINTENANCE PLAN**

1. BIO-RETENTION AREA SHALL BE MAINTAINED BY THE CONTRACTOR UNTIL FINAL APPROVAL OF CONSTRUCTION. AFTER FINAL APPROVAL THE AREA SHALL BE MAINTAINED BY THE OWNER.
2. DURING THE 30 MONTHS IMMEDIATELY AFTER CONSTRUCTION, BIO-RETENTION AREA SHALL BE INSPECTED FOLLOWING THE FIRST TWO RAIN EVENTS EQUAL TO OR GREATER THAN THE 1-YEAR, 24 HOUR TYPE III STORM EVENT. AFTER THAT PERIOD, IT SHALL BE INSPECTED TWICE PER YEAR.
3. SOIL EROSION GULLIES SHALL BE REPAIRED WHEN THEY OCCUR.
4. IF STANDING WATER REMAINS 48 HOURS AFTER A RAINFALL EVENT, THE BOTTOM SHALL BE ROTO-TILLED THEN RE-SEED.
5. MULCH LAYER SHALL BE REPLISHED TO ORIGINAL DEPTH EVERY OTHER YEAR. PREVIOUS MULCH LAYER SHALL BE REMOVED.
6. PRUNING OR REPLACEMENT OF VEGETATION SHOULD OCCUR WHEN DEAD OR Dying VEGETATION IS OBSERVED.
7. SILT AND DEBRIS SHALL BE REMOVED WHEN ACCUMULATION EXCEEDS DURING THE SEDIMENT REMOVAL PROCESS.
8. GRASS SHALL BE MOWED THREE TIMES BETWEEN THE MONTHS OF MAY AND OCTOBER. MOWED HEIGHT OF VEGETATION SHALL NOT BE LESS THAN TWO INCHES.

**CONC. OVERFLOW WEIR DETAIL**  
NOT TO SCALE

**GRASS FILTER STRIP MAINTENANCE NOTES:**

1. ENSURE THAT GRASS HAS ESTABLISHED; IF NOT REPLACE WITH AN ALTERNATIVE SPECIES.
2. FILTER STRIPS SHALL BE INSPECTED AT LEAST QUARTERLY DURING THE FIRST YEAR OF OPERATION AND SEMIANNUALLY THEREAFTER. EVIDENCE OF EROSION AND CONCENTRATED FLOWS WITHIN THE FILTER STRIP MUST BE CORRECTED IMMEDIATELY. ERODED SPOTS MUST BE RESEEDED AND MULCHED TO ENHANCE VIGOROUS GROWTH AND PREVENT FUTURE EROSION PROBLEMS.
3. THE BURK OF ACCUMULATED SEDIMENTS WILL BE TRAPPED AT THE INITIAL ENTRY POINT OF THE FILTER STRIP. THESE SEDIMENTS SHALL BE REMOVED MANUALLY AT LEAST ONCE PER YEAR OR WHEN ACCUMULATING SEDIMENTS CAUSE A CHANGE IN THE GRADE ELEVATION. RESEEDING MAY BE NECESSARY TO REPAIR AREAS DAMAGED DURING THE SEDIMENT REMOVAL PROCESS.
4. FILTER STRIPS MUST BE PROTECTED BY PROPER SOIL EROSION AND SEDIMENT CONTROL TECHNIQUES (E.G., HAY BALES AND SILT FENCES) DURING ALL PHASES OF CONSTRUCTION. THESE MEASURES MUST BE PROPERLY MAINTAINED UNTIL FINAL SITE STABILIZATION AND SUBSEQUENT REMOVAL OF ALL TRAPPED SEDIMENTS HAS OCCURRED.

**GENERAL NOTES**

1. ALL WORK PERFORMED HEREIN SHALL BE GOVERNED BY THE R.I. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (REVISION OF 12-2010) WITH ALL CORRECTIONS AND ADDENDA AND THE 12-1-2010 R.I. STANDARD DETAILS WITH ALL CORRECTIONS AND ADDENDA.
2. EMBANKMENT SLOPES AND ALL DISTURBED AREAS ARE TO RECEIVE 4" OF TOPSOIL AND SEEDED. SEE EROSION CONTROL PROGRAM.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL TEMPORARY SEDIMENTATION AND EROSION CONTROLS.
4. IN ALL EXCAVATION AND REPLACEMENT OF FILL, THE CONTRACTOR SHALL PERFORM THE WORK IN FULL COMPLIANCE WITH THE R.I. STANDARD SPECIFICATION SECTION 202.
5. ALL EXCESS SOIL, STUMPS, TREES, ROCKS, BOULDERS AND OTHER REFUSE SHALL BE DISCARDED OFF SITE OUTSIDE OF ALL WETLANDS AND WETLANDS SETBACK AREAS UNLESS OTHERWISE SPECIFIED.
6. CONSTRUCTION WASTE SHALL BE COLLECTED, REMOVED AND DISPOSED OF OFFSITE IN ACCORDANCE WITH ALL STATE AND TOWN REQUIREMENTS. TRASH SHALL BE COLLECTED ROUTINELY AND REMOVED FROM SITE FOR DISPOSAL.
7. ALL WORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH THE REQUIREMENTS OF ALL RI DEM AND TOWN REGULATIONS AND PERMITS.

**SEDIMENTATION CONTROL PROGRAM**

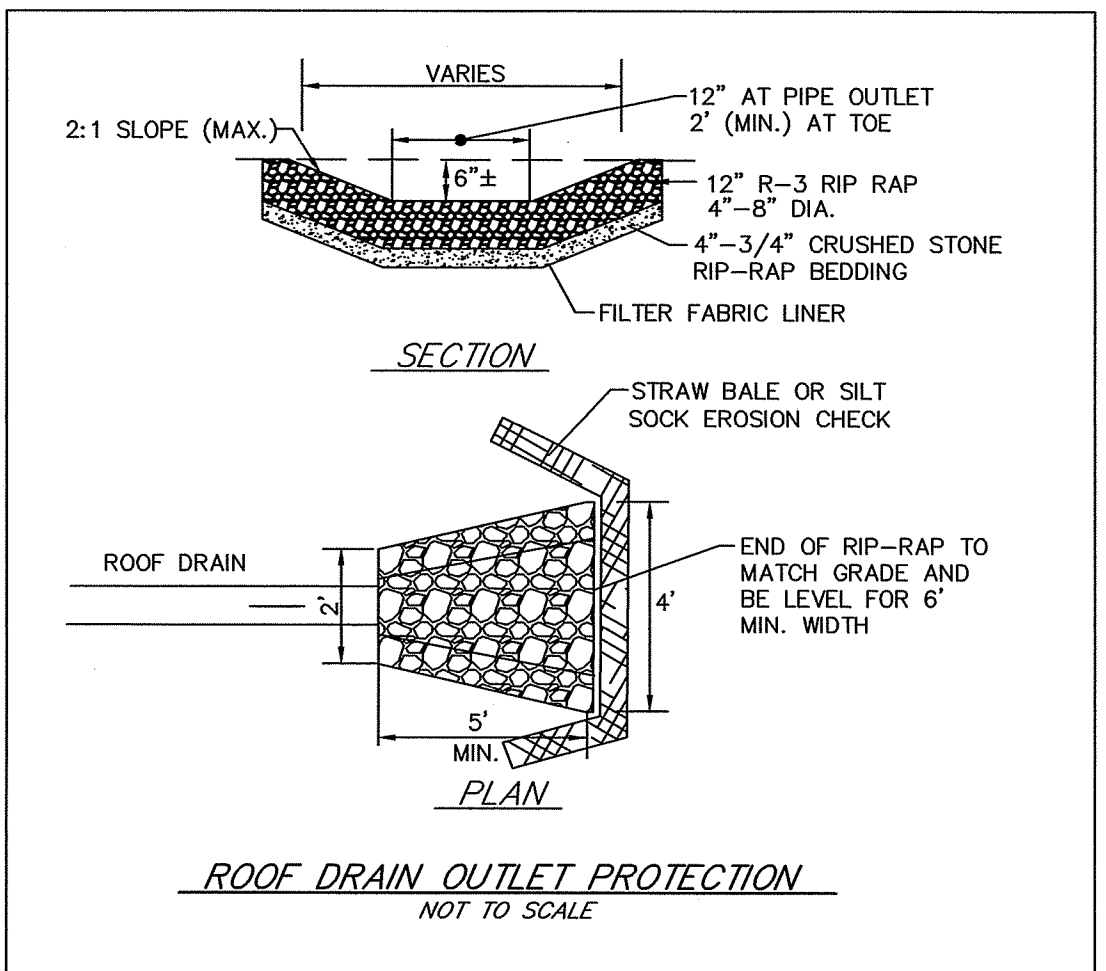
1. EXTREME CARE SHALL BE EXERCISED SO AS TO PREVENT ANY SEDIMENTS FROM ENTERING THE WETLANDS OR ADJOINING PROPERTIES.
2. BANKS OR SLOPES OVER 5 PERCENT SHALL BE SEEDED AS SOON AS POSSIBLE AND SHALL BE PROTECTED WITH A HAY, STRAW OR FIBER MULCH.
3. DURING CONSTRUCTION, THE CONTRACTOR AND/OR DEVELOPER SHALL BE RESPONSIBLE FOR MAINTAINING DRAINAGE AND RUNOFF FLOW DURING STORMS AND PERIODS OF RAINFALL.
4. SEDIMENTATION CONTROL DEVICES SHALL BE INSPECTED CLOSELY AND MAINTAINED PROMPTLY AFTER EACH RAINFALL.
5. CARE SHALL BE TAKEN SO NOT TO PLACE "REMOVED SEDIMENTS" WITHIN THE PATH OF EXISTING, NEWLY CREATED (BOTH TEMPORARY AND PERMANENT) OR PROPOSED WATERCOURSES OR THOSE AREAS SUBJECTED TO STORM WATER FLOW.
6. ADDITIONAL STRAW BALES, SILT FENCE OR SILT SOCKS SHALL BE LOCATED AS CONDITIONS WARRANT OR AS DIRECTED BY THE ENGINEER.
7. REFERENCE THE "RI EROSION AND SEDIMENT CONTROL HANDBOOK" PREPARED BY THE RI STATE CONSERVATION COMMITTEE, ISSUED 1989 REVISED 2014, AS A GUIDE.

**ORDER OF PROCEDURE**

1. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION OR EXCAVATION, THE SITE CONTRACTOR SHALL PHYSICALLY MARK THE ENTIRE LIMIT OF DISTURBANCE. EROSION CHECKS SHALL BE ESTABLISHED AT ALL DOWN GRADIENT LIMITS OF DISTURBANCE AND AS DEPICTED ON THE SITE PLANS. TEMPORARY EROSION CHECKS SHALL BE INSTALLED AT LIMIT OF WORK ACTIVITY IF CONSTRUCTION IS TO BE DONE IN PHASES. EROSION CHECKS CONSIST OF STRAW BALES, SILT FENCE OR SILT SOCKS.
2. SITE CONTRACTOR SHALL PROVIDE A BARRIER AROUND THE BIO-RETENTION AREA TO PROTECT IT FROM SOIL COMPACTION.
3. ONLY AREAS THAT CAN BE REASONABLY EXPECTED TO HAVE ACTIVE CONSTRUCTION WORK BEING PERFORMED WITHIN 14 DAYS OF DISTURBANCE SHALL BE CLEARED AND GRUBBED AT ONE TIME. IF CONSTRUCTION ACTIVITY HAS TEMPORARILY OR PERMANENTLY CEASED FOR MORE THAN 14 DAYS, STABILIZATION PRACTICES SHALL BE INITIATED. REFERENCE THE EROSION CONTROL & SEDIMENTATION PROGRAMS FOR TEMPORARY CONTROLS.
4. ALL EROSION AND SEDIMENTATION CONTROL STRUCTURES SHALL BE PERIODICALLY MAINTAINED AS PER THE RESPECTIVE PROGRAMS FOR TEMPORARY CONTROL.
5. EROSION CHECKS ALONG AND AT THE ENDS OF ROADWAYS MAY ALSO BE REMOVED AFTER FINAL SOIL STABILIZATION HAS BEEN ACHIEVED AND APPROVED.
6. EROSION CHECKS LOCATED AT DRAINAGE INLETS OR OUTLETS MUST REMAIN UNTIL SUCH TIME THAT A DESIRABLE STAND OF GRASS OR GROUND COVER HAS BEEN ESTABLISHED AND THE PROJECT RECEIVES A FAVORABLE APPROVAL FOR FINAL ACCEPTANCE FROM THE ENGINEER.

**NOTE**

BALED HAY SHALL ONLY BE USED FOR SHORT TERM EROSION CONTROL OF THREE MONTHS OR LESS. PERIMETER EROSION CONTROLS SHALL BE STRAW BALE, SILT FENCE, SILT SOCK OR COMBINATION THEREOF.



**ROOF DRAIN OUTLET PROTECTION**  
NOT TO SCALE

**EROSION CONTROL & SOIL STABILIZATION PROGRAM**

1. DENUEDED SLOPES SHALL NOT BE UNATTENDED OR EXPOSED FOR EXCESSIVE PERIODS OF TIME SUCH AS THE INACTIVE WINTER SEASON.
2. ALL DISTURBED SLOPES, EITHER NEWLY CREATED OR EXPOSED PRIOR TO OCTOBER 15, SHALL BE SEEDED OR PROTECTED BY THAT DATE FOR ANY WORK COMPLETED DURING EACH CONSTRUCTION YEAR.
3. THE TOP SOIL SHALL HAVE A SANDY LOAM TEXTURE RELATIVELY FREE OF SUBSOIL MATERIAL, STONES, ROOTS, LUMPS OF SOIL, TREE LIMBS, TRASH OR CONSTRUCTION DEBRIS AND SHALL CONFORM WITH R.I. STANDARD SPECIFICATION M. 20.
4. THE SEED MIX SHALL BE INOCULATED WITHIN 24 HOURS BEFORE MIXING AND PLANTING, WITH APPROPRIATE INOCULUM FOR EACH VARIETY.
5. SEEDING SPECIFICATIONS SHALL BE IN ACCORDANCE WITH THE LANDSCAPE ARCHITECT'S PLANS. FOR AREAS NOT DESIGNATED BY THE L.A., THE DESIGN MIX SHALL COMPLY WITH THE FOLLOWING:

MIXTURE	% BY WT.	SEEDING DATES
CREeping RED FESCUE	70	APRIL 1-MAY 31
KENTUCKY BLUEGRASS	15	AUG. 15-OCT. 15
COLONIAL BENTGRASS	5	
PERENNIAL RYEGRASS	10	
TOTAL	100	

150 LBS/AC

MIXTURE	% BY WT.	SEEDING DATES
CREeping RED FESCUE	60	APRIL 1-MAY 31
COLONIAL BENTGRASS	5	AUG. 15-OCT. 15
PERENNIAL RYEGRASS	10	
BIRDSoft TRIFOLIUM	10	
TOTAL	150	

60 LBS/AC

MIXTURE	% BY WT.	SEEDING DATES
SWITCH GRASS	20	APRIL 1-MAY 31
LITTLE BLUE STEM	20	AUG. 15-OCT. 15
PERENNIAL RYEGRASS	20	
WILDflower MIX	20	
HARD FESCUE	20	
TOTAL	60	

60 LBS/AC

6. TEMPORARY TREATMENTS SHALL CONSIST OF A HAY, STRAW, OR FIBER MULCH OR PROTECTIVE COVERS SUCH AS A MAT OR FIBER LINING (BURLAP, JUTE, FIBERGLASS NETTING, EXCELSIOR BLANKETS) THEY SHALL BE INCORPORATED INTO THE WORK AS WARRANTED OR AS ORDERED BY THE ENGINEER.
7. HAY OR STRAW APPLICATIONS SHOULD BE IN THE AMOUNT OF 3,000-4,000 LBS/AC.
8. ALL STRAW BALES OR TEMPORARY PROTECTION SHALL REMAIN IN PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED. IF NEEDED, TEMPORARY SEEDING CAN HELP TO MINIMIZE EROSION. A TEMPORARY SEEDING GUIDE MUST BE INCLUDED AS A REFERENCE. THE FOLLOWING SPECIES ARE RECOMMENDED:

SPECIES	LBS./1,000 S.F.	LBS./AC.	SEEDING DATES
ANNUAL RYEGRASS	1.0 - 1.5	40 - 60	3/1 - 6/1
PERENNIAL RYEGRASS	1.0 - 1.5	40 - 60	3/1 6/1
SUDAN GRASS	0.7 - 1.0	30 - 40	5/15 - 8/15
MILLET	0.7 - 1.0	30 - 40	5/15 - 6/15
WINTER RYE	3.0	120	4/15 - 6/15
OR RIDOT TEMPORARY SEED MIX AT 75 LBS/AC			

THE CONTRACTOR MUST REPAIR AND/OR RESEED ANY AREAS THAT DO NOT DEVELOP WITHIN THE PERIOD OF ONE YEAR AND HE SHALL DO SO AT NO ADDITIONAL EXPENSE.

THE NORMAL ACCEPTABLE SEASONAL SEEDING DATES ARE APRIL 1 - OCTOBER 15.

ALL FILL SHALL BE THOROUGHLY COMPACTED UPON PLACEMENT IN STRICT CONFORMANCE WITH THE R.I.D.P.W. STD. SPECIFICATIONS SECTION 202.

STABILIZATION OF ONE FORM OR ANOTHER AS DESCRIBED ABOVE SHALL BE ACHIEVED WITHIN 15 DAYS OF FINAL GRADING.

STOCKPILES OF TOPSOILS SHALL NOT BE LOCATED NEAR WATERWAYS. THEY SHALL HAVE SIDE SLOPES NO GREATER THAN 30% AND STOCKPILES SHALL ALSO BE SEEDED AND/OR STABILIZED.

ON BOTH STEEP AND LONG SLOPES, CONSIDERATION SHOULD BE GIVEN TO "CRIMPING" OR "TRACKING" TO TACK DOWN MULCH APPLICATIONS.

REFERENCE THE SEDIMENTATION CONTROL PROGRAM AND ORDER OF PROCEDURE FOR PROPER COORDINATION.

**SCITUATE SURVEYS, INC.**  
410 TIOGUE AVENUE  
COVENTRY, RHODE ISLAND 02816  
401-821-8101  
LAND SURVEYING/MAPPING/SITE PLANNING

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS OF THE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 28, 2018, AS FOLLOWS:  
DATE OF BOUNDARY SURVEY: N/A  
MEASUREMENT SPECIFICATION: MEASUREMENT SPECIFICATION  
CLASS: CLASS 1 SURVEY  
VERTICAL CONTROL: VERTICAL CONTROL  
TOPOGRAPHIC SURVEY ACCURACY: T-2  
STATEMENT OF PURPOSE: THE PURPOSE OF THIS SURVEY WAS TO CONDUCT A DATA ACCUMULATION SURVEY AND TO COLLECT TOPOGRAPHIC AND PHOTOGRAPHIC INFORMATION OF THE AREA OF AN EXISTING WATERWAY TREATMENT SYSTEM.  
ANGIELO M. RAINONDI  
PROFESSIONAL LAND SURVEYOR  
NO. 1762  
IF THIS MAP DOES NOT BEAR AN ORIGINAL SIGNATURE AND "NET" STAMP, THEN IT IS NOT AN AUTHENTICATED VERSION.

ANGIELO M. RAINONDI  
PROFESSIONAL LAND SURVEYOR  
NO. 1762

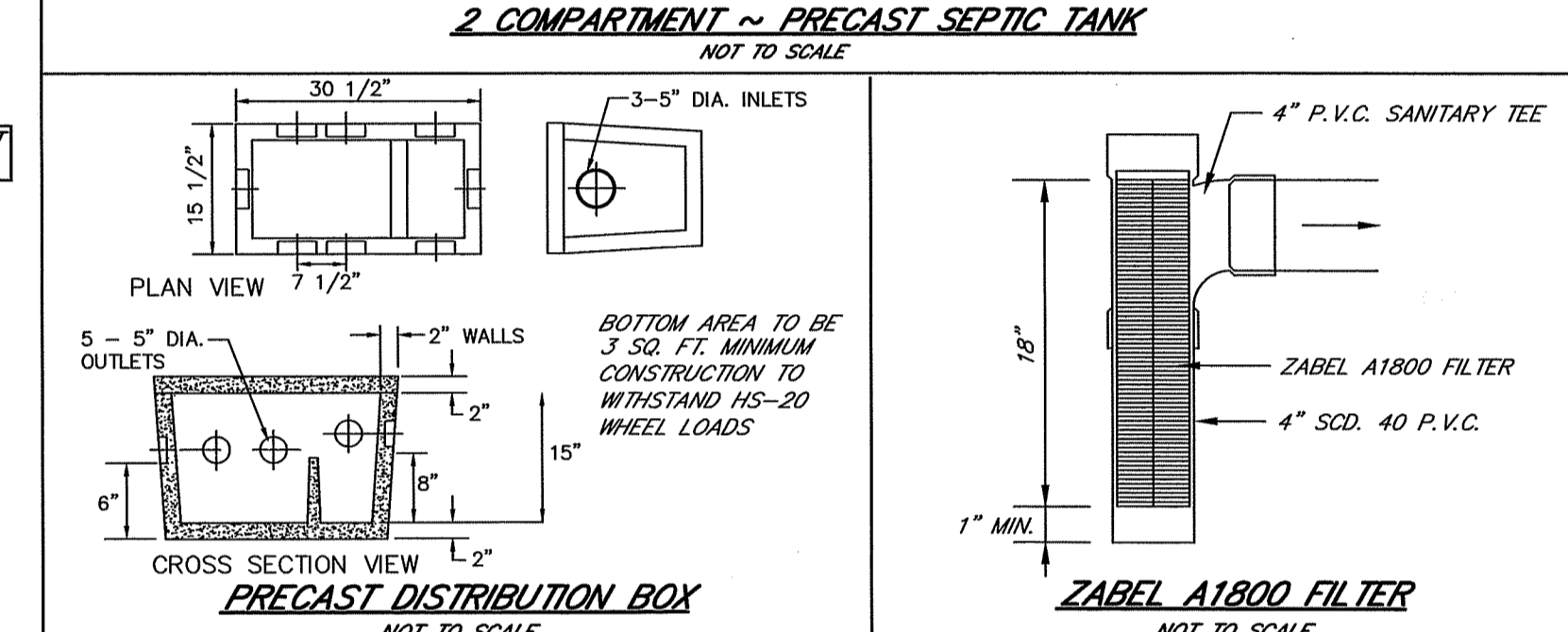
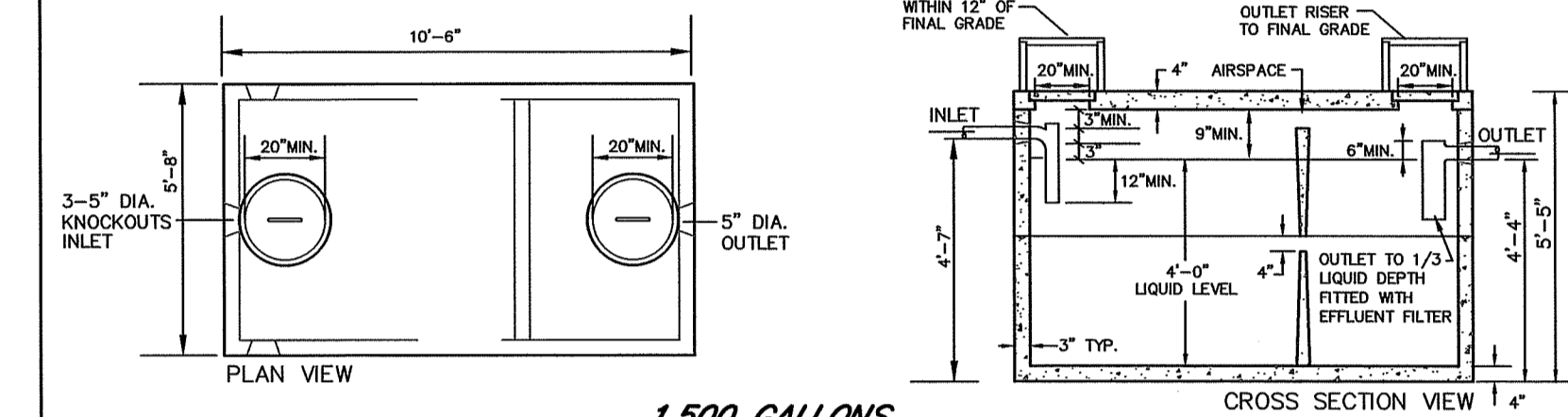
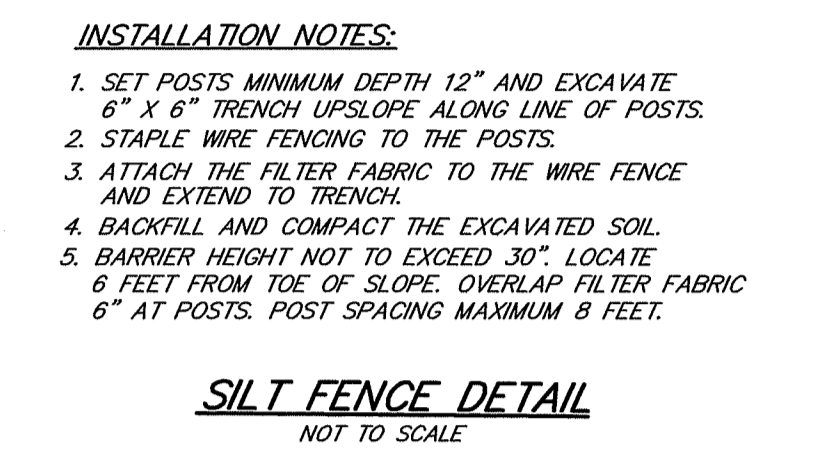
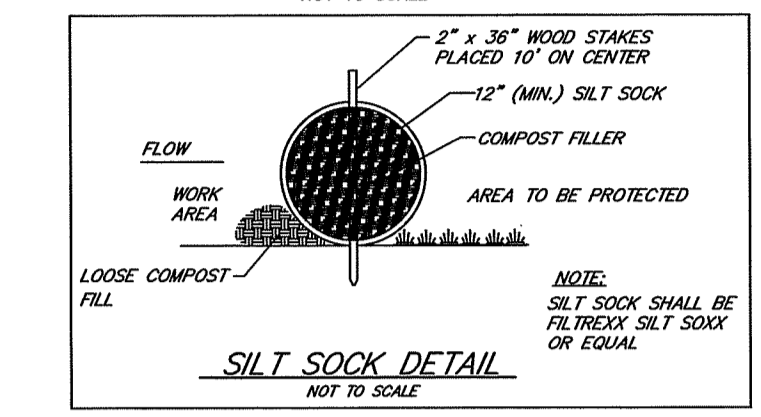
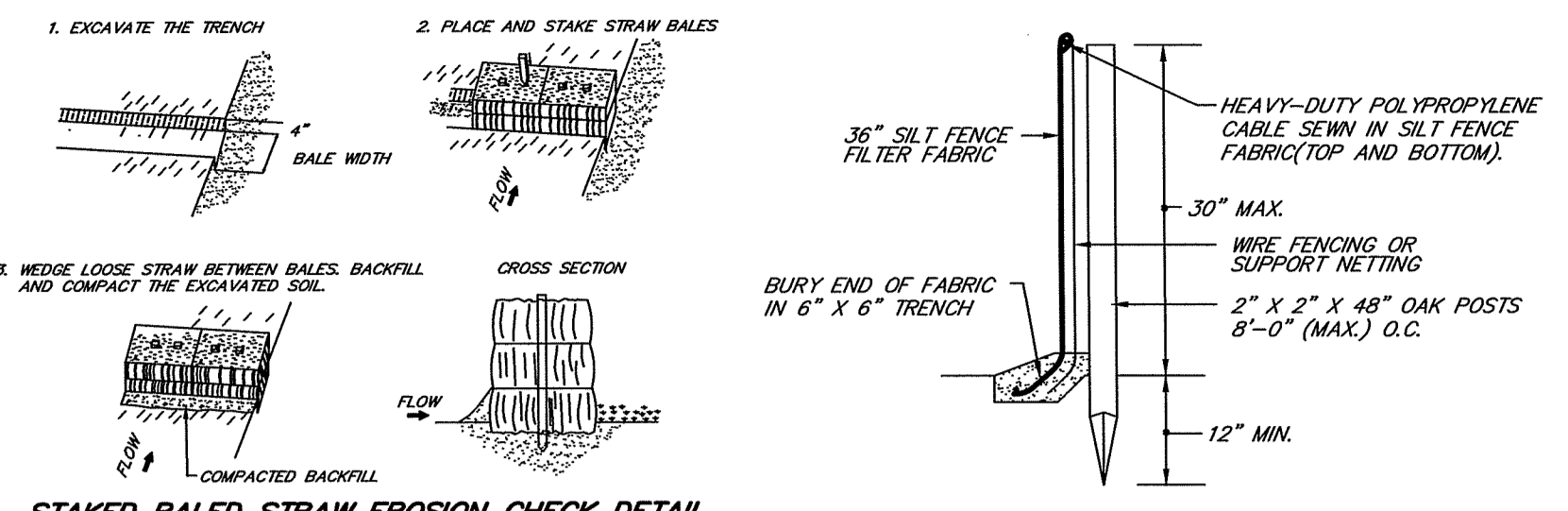
DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS  
AS SPECIFIED IN THE LETTER OF APPROVAL  
DATED MAR - 2 2022 FILE # 22-0003  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

*Nancy L. Freeman*

PLAN SHOWING PROPOSED IMPROVEMENTS & ON-SITE WASTE WATER TREATMENT SYSTEM  
ASSESSOR'S PLAT 43 LOT 151-3  
BYRON RANDALL ROAD AND PECK HILL ROAD  
JOHNSTON, RHODE ISLAND  
PREPARED FOR: ANTONIO GIARRUSSO & FRANCO GIARRUSSO  
DATE: DECEMBER 30, 2021  
SCALE: AS NOTED

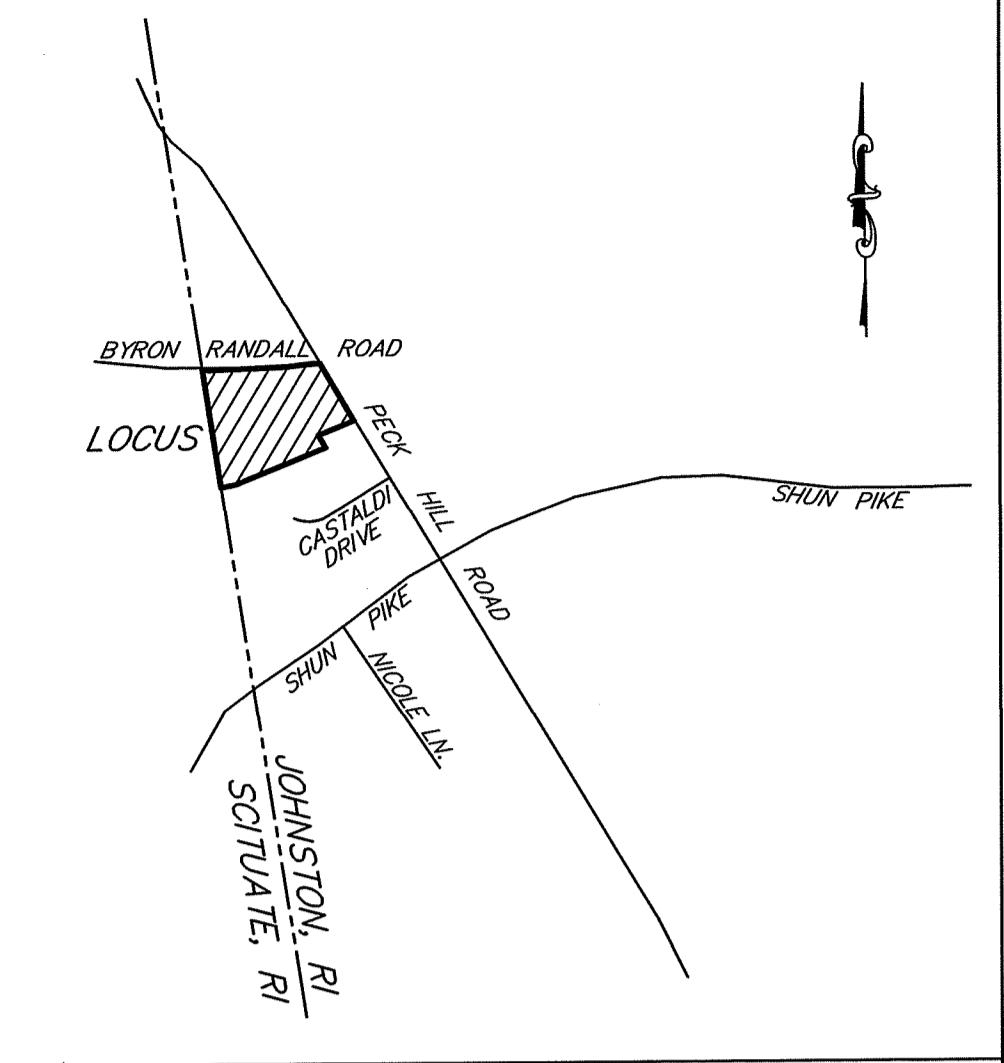
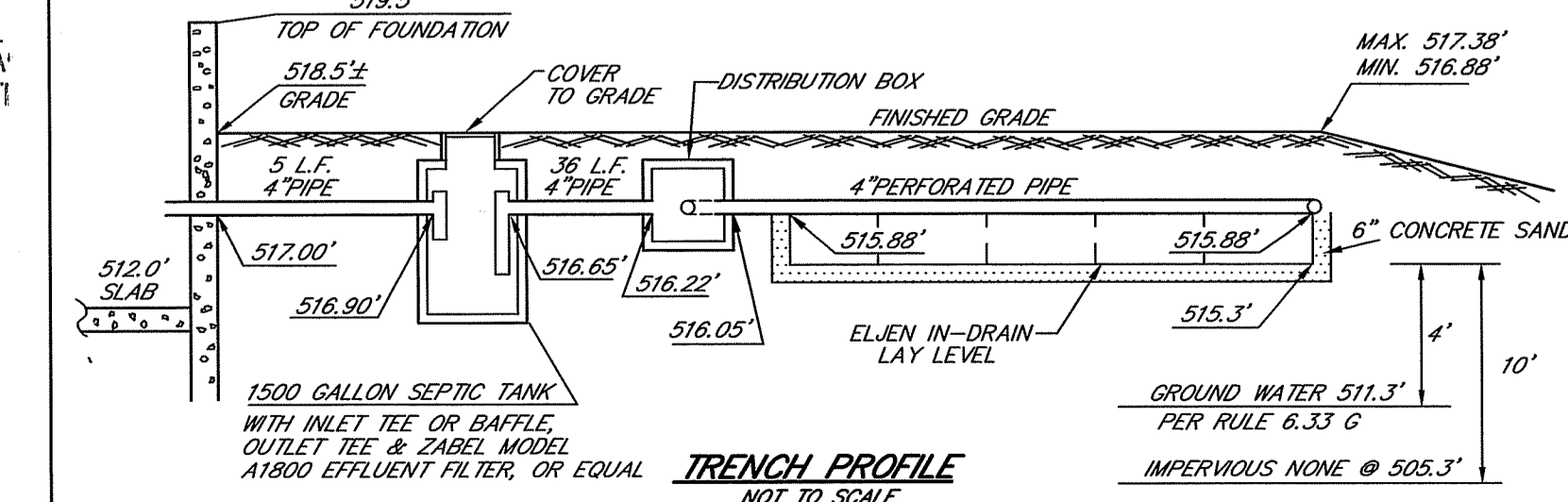
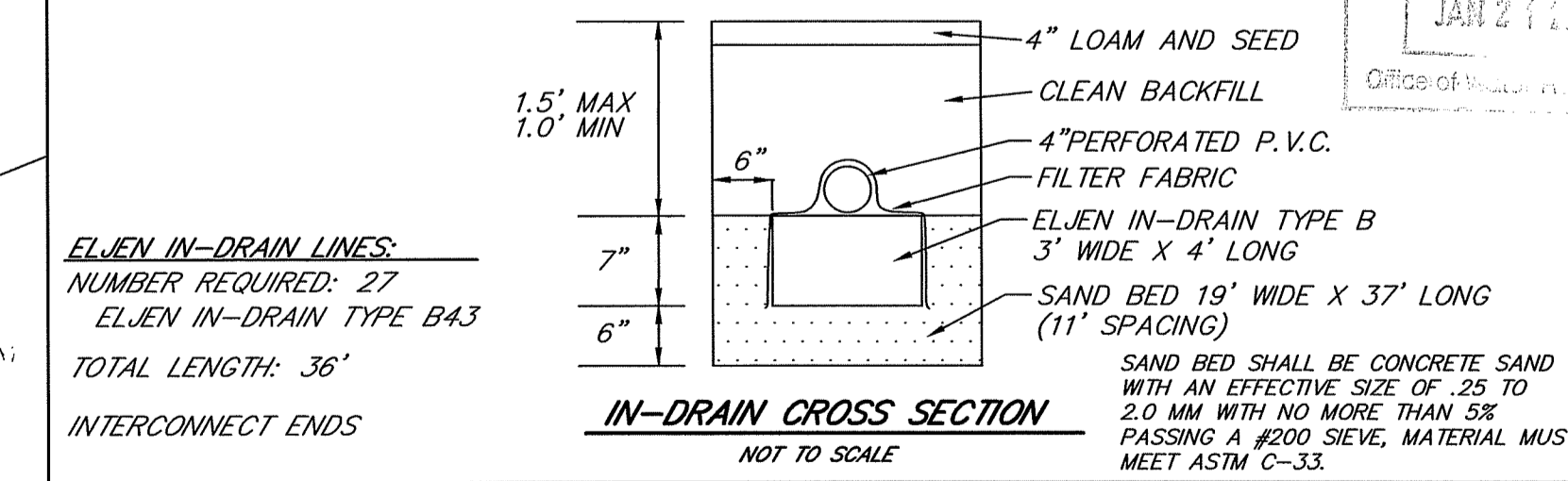
**GROUNDWATER & LEDGE DEPTH TABLE**

TEST PIT	EXISTING GROUND	GROUNDWATER DEPTH	GROUNDWATER ELEVATION	LEDGE DEPTH	LEDGE ELEVATION
359	515.7'	4.0'	511.7'	10.0'	BELOW 505.7'
360	515.9'	4.0'	511.9'	10.0'	BELOW 505.9'
361	515.3'	4.0'	511.3'	10.0'	BELOW 505.3'



**DESIGN AND CONSTRUCTION NOTES:**

- ALL WORK SHALL CONFORM TO THE RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL MANAGEMENT RULES AND REGULATIONS, AS AMENDED.
- THE TOP OF FOUNDATION ELEVATION SHOWN HAS BEEN DESIGNED FOR O.W.T.S. PURPOSES ONLY. THE OWNER AND/OR CONTRACTOR IS ADVISED TO DETERMINE WHETHER THE BASEMENT FLOOR OF THE PROPOSED DWELLING IS AT OR BELOW THE GROUND WATER TABLE AND, IF SO, RAISE THE FOUNDATION ACCORDINGLY.
- THE CONTRACTOR SHALL NOTIFY THE DESIGNER OF ANY PROPOSED DEVIATIONS FROM THIS SITE PLAN. THE DESIGNER MUST PERFORM ALL NECESSARY INSPECTIONS, BOTH DURING AND AFTER INSTALLATION, BEFORE ANY COMPONENT OF THE SYSTEM IS COVERED.
- THE PROPERTY BOUNDARIES SHOWN HEREON HAVE BEEN COMPILED FROM MAPS, DEEDS, AND OTHER SOURCES OF INFORMATION, AND ARE SUBJECT TO SUCH MODIFICATIONS AS AN ACTUAL BOUNDARY SURVEY MAY DISCLOSE. TO THE EXTENT THAT SUCH BOUNDARIES ARE CRITICAL TO THE O.W.T.S. LOCATION, THEY MUST BE ESTABLISHED PRIOR TO CONSTRUCTION.
- ALL TREES, STUMPS, AND BRUSH WITHIN A 10' PERIMETER AROUND THE SYSTEM MUST BE CLEARED.
- THE EXCAVATION SHALL BE LEVEL AND SCARIFIED.
- ALL TOPSOIL AND SUBSOIL WITHIN A 5' PERIMETER OF THE SYSTEM SHALL BE STRIPPED AND BACKFILLED WITH CLEAN, COARSE GRAVEL. EXCAVATION INTO IMPERVIOUS MATERIAL IS PROHIBITED UNLESS OTHERWISE APPROVED BY THE DIRECTOR.
- MAINTAIN TRENCH INVERT ELEVATION FOR 10' BEYOND THE PERIMETER OF THE LEACHING FIELD. THE ADJACENT SIDE SLOPE SHALL NOT BE STEEPER THAN 3:1 FOR A 25' MIN. DISTANCE FROM THE EDGE OF LEACH FIELD. MAINTAIN 5" TO PROPERTY LINE FROM TOE OF 3:1 SIDE SLOPE.
- INSTALL CAST IRON PIPE OR EQUIVALENT FROM THE FOUNDATION TO THE SEPTIC TANK. ALL OTHER PIPES MUST BE SDR 35 P.V.C. OR EQUIVALENT.
- SUBSURFACE DRAINS AND WATER SUPPLY LINE TO BE INSTALLED IN CONFORMANCE WITH DISTANCES SPECIFIED IN TABLE 6.23 B.
- ALL KNOWN EXISTING AND PROPOSED PRIVATE WATER SUPPLY WELLS WITHIN 500' OF THE SYSTEM ARE SHOWN; ALL KNOWN EXISTING AND PROPOSED SEPTIC SYSTEMS WITHIN 100' OF THE WELL ARE SHOWN.
- ALL WORK MUST CONFORM TO THE REQUIREMENTS OF OTHER EXISTING PERMITS, IF ANY.
- WITH RESPECT TO MUNICIPAL ZONING REQUIREMENTS, THE DESIGNER HAS MADE A REASONABLE EFFORT TO ASCERTAIN THE APPLICABLE DIMENSIONAL SETBACKS AND OTHER CONSTRAINTS TO DEVELOPMENT. DUE, HOWEVER, TO THE POSSIBILITY OF UNRECORDED VARIANCES, NON-COMPLYING USES, AND OTHER RELEVANT DOCUMENTS, IT REMAINS THE RESPONSIBILITY OF THE OWNER TO VERIFY THAT THIS DESIGN SATISFIES LOCAL CODES.
- ALL STAGES OF CONSTRUCTION MUST BE SUPERVISED BY THE DESIGNER OF RECORD, UNLESS WAIVED BY THE DESIGNER. ALL IMPROVEMENTS MUST BE STAKED BY THE DESIGNER OR HIS AGENTS PRIOR TO CONSTRUCTION. THESE INCLUDE THE O.W.T.S., FOUNDATION, WELL, EROSION CONTROLS, CLEARING LIMITS AND ANY OTHER FEATURES DEEMED CRITICAL TO THE DESIGN.



**GENERAL NOTES:**

- THE WETLAND EDGES (SWAMPS) WERE DELINEATED BY NATURAL RESOURCE SERVICES, INC. IN OCTOBER 10, 2020 AND SURVEY LOCATED BY SCITUATE SURVEYS, INC. ON NOVEMBER 25, 2020.
- SITE IS WITHIN FLOOD HAZARD ZONE X (AREAS OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.) REFERENCE F.I.R.M. MAP PANEL #4400702950 DATED MARCH 02, 2009.
- TOPOGRAPHY AND ELEVATIONS SHOWN ARE FROM AN ON-SITE SURVEY PERFORMED BETWEEN SEPTEMBER 2020 AND DECEMBER 2021 USING CONVENTIONAL (TOTAL STATION) SURVEY METHODS. THE HORIZONTAL AND VERTICAL DATUMS ARE ASSUMED.
- EXCEPT WHERE SHOWN THE SITE IS CURRENTLY UNDEVELOPED.
- STRAW BALE EROSION CHECK (R.I. STANDARD 3.1.0), SILT FENCE AND/OR SILT SOCK SHALL BE INSTALLED PRIOR TO EARTH DISTURBING ACTIVITIES AND SHALL BE MAINTAINED UNTIL ALL DISTURBED AREAS ARE PERMANENTLY STABILIZED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL TEMPORARY SEDIMENTATION AND EROSION CONTROLS.
- NO WORK IS ALLOWED WITHIN STATE REGULATED WETLANDS EXCEPT AS SPECIFICALLY SHOWN. NO WORK IS PROPOSED IN JURISDICTIONAL WETLANDS.
- ALL IMPROVEMENTS SHALL BE ACCURATELY LOCATED AND STAKED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- ALL DISTURBED AREAS SHALL BE STABILIZED WITH 4" LOAM AND SEED OR SOD. PROPOSED SLOPES SHALL BE 3:1 (MAXIMUM).
- ALL STAGES OF O.W.T.S. CONSTRUCTION MUST BE SUPERVISED BY THE SYSTEM DESIGNER.
- EXISTING UTILITY LOCATIONS ARE APPROXIMATE ONLY. DIG SAFE AND APPROPRIATE UTILITY AUTHORITIES SHALL BE NOTIFIED PRIOR TO ANY CONSTRUCTION FOR ACCURATE UTILITY LOCATIONS.
- THERE ARE NO EXISTING OR PROPOSED PUBLIC WATER SUPPLY SOURCES WITHIN 500' OF LOT OTHER THAN SHOWN ON THE PLAN.
- THERE ARE NO EXISTING OR PROPOSED SEWAGE DISPOSAL SYSTEMS WITHIN 25' OF THE PROPOSED WATER SUPPLY LINE OTHER THAN THOSE SHOWN ON THE PLAN.
- THERE ARE NO EXISTING OR PROPOSED INDIVIDUAL WATER SUPPLIES WITHIN 200' OF THE PROPOSED ON-SITE WASTEWATER TREATMENT SYSTEM OTHER THAN THOSE SHOWN ON THE PLAN.
- THE SITE IS WITHIN THE SCITUATE RESERVOIR WATERSHED CRITICAL RESOURCE AREA. PER RULE 6.44 C THE SEPARATION DISTANCE TO GROUNDWATER IS REQUIRED TO BE 4' WHEN SOIL CATEGORIES 1, 2, 3, 4, AND 6 ARE ENCOUNTERED.

**DESIGN CRITERIA**

SEWAGE FLOW - 4 BEDROOMS - 115 GALLONS PER DAY  
PERCOLATION RATE - SOIL CATEGORY 6 - 61 GALLONS/SQ. FT./DAY  
TOTAL DAILY FLOW - 115 GALLONS/DAY  
MINIMUM REQUIRED LEACH FIELD AREA - 115 X 4 = 460 GALLONS PER DAY  
460 GALLONS PER DAY (MAX.) ÷ .61 GALS./SQ. FT./DAY = 754.09 SQ. FT.  
LEACH FIELD AREA PROVIDED: 27 ELJEN UNITS X 4' X 7' = 756 SQ. FT.  
LEACH FIELD DESIGN POINT: ELEVATION 515.3'

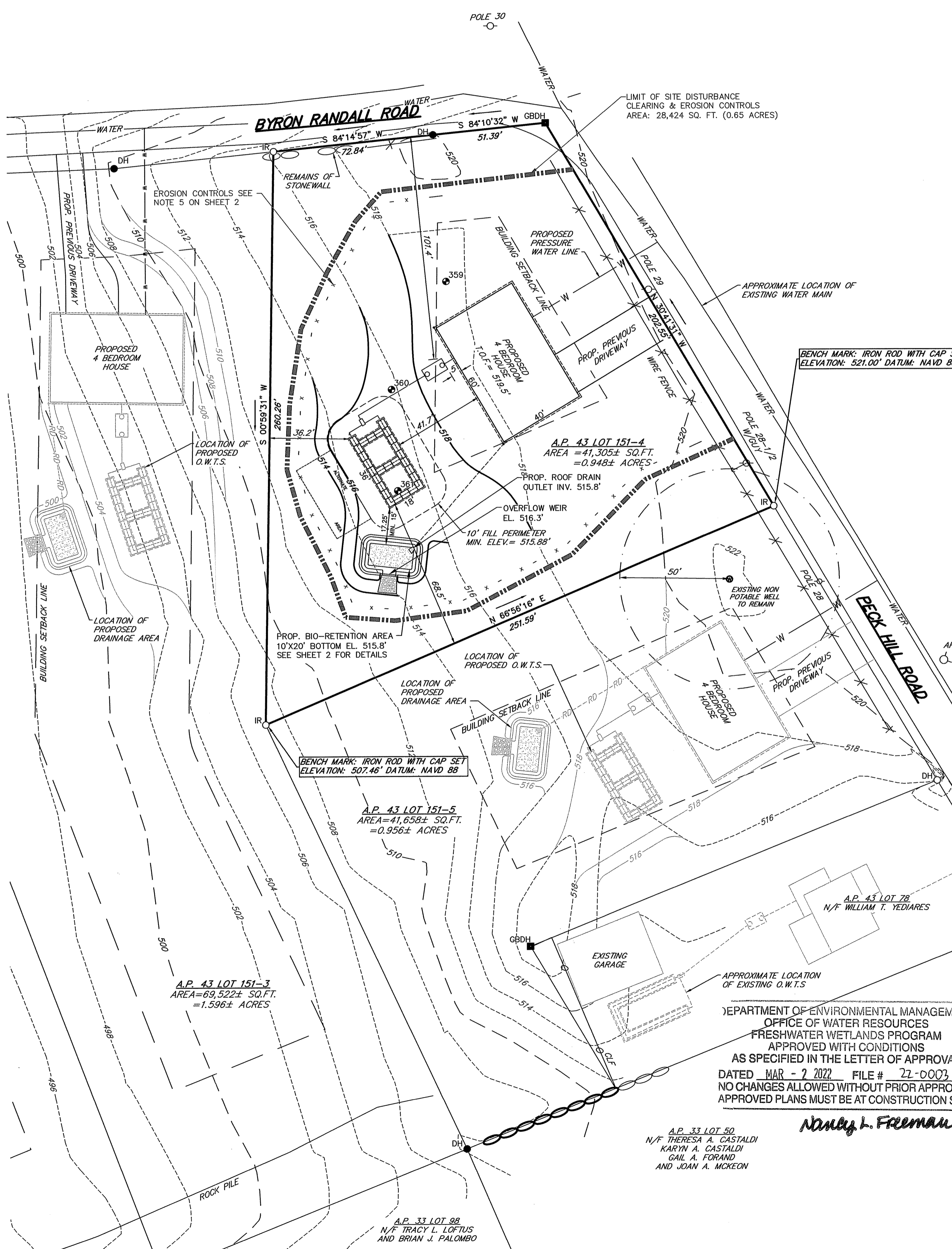
**BIO-RETENTION BASIN TABLE**

FEATURE	ELEVATION	AREA
TOP OF BERM	516.8'	416 S.F.
OVERFLOW WEIR	516.3'	298 S.F.
TOP OF MULCH	515.8'	200 S.F.
RD OUTLET INV.	515.8'	
S.H.W.T.	511.3'	

**LEGEND**

- A.P. ASSESSOR'S PLAT
- N/F NOW OR FORMERLY
- SQ. FT. SQUARE FEET
- DRILL HOLE IN GRANITE BOUND FOUND
- DRILL HOLE SET
- DRILL HOLE FOUND
- IRON ROD WITH SURVEY CAP SET
- IRON ROD FOUND
- IRON ROD TO BE SET
- SOIL EVALUATION TEST HOLE (APPROVED BY RIDEM)
- WELL
- UTILITY POLE
- HYDRANT
- WETLAND FLAG
- CHAINLINK FENCE
- EXISTING WATER MAIN
- PROPOSED MUNICIPAL WATER SERVICE
- PROPOSED LIMIT OF DISTURBANCE
- PROPOSED EROSION CONTROL
- STONEWALL

OWNER:  
ANTONIO GIARRUSSO &  
FRANCO GIARRUSSO  
21 MILL STREET  
JOHNSTON, RI 02919

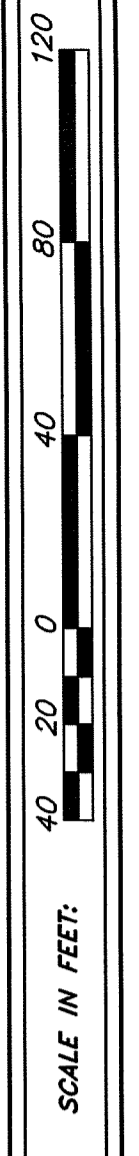


DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS  
AS SPECIFIED IN THE LETTER OF APPROVAL  
DATED MAR - 7 2022 FILE # 22-0003  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

*Nancy L. Freeman*



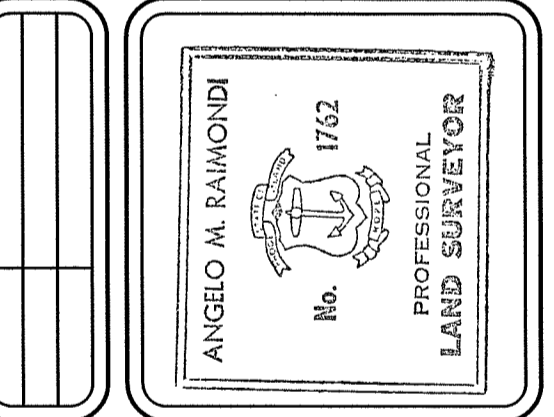
SCITUATE SURVEYS, INC.  
410 TIIOQUE AVENUE  
COVENTRY, RHODE ISLAND 02816  
401-821-8101  
LAND SURVEYING/MAPPING/SITE PLANNING



THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 28, 2018, AS FOLLOWS:

TYPE OF SURVEY: CONVEYANCE  
DATE OF SURVEY: 11/25/2021  
MEASUREMENT: ELECTRONIC  
METHOD: CLASS III  
PROPORTION: HORIZONTALS 1:2  
VERTICALS 1:4  
STANDARD OF CARE: ACCURACY 1:2

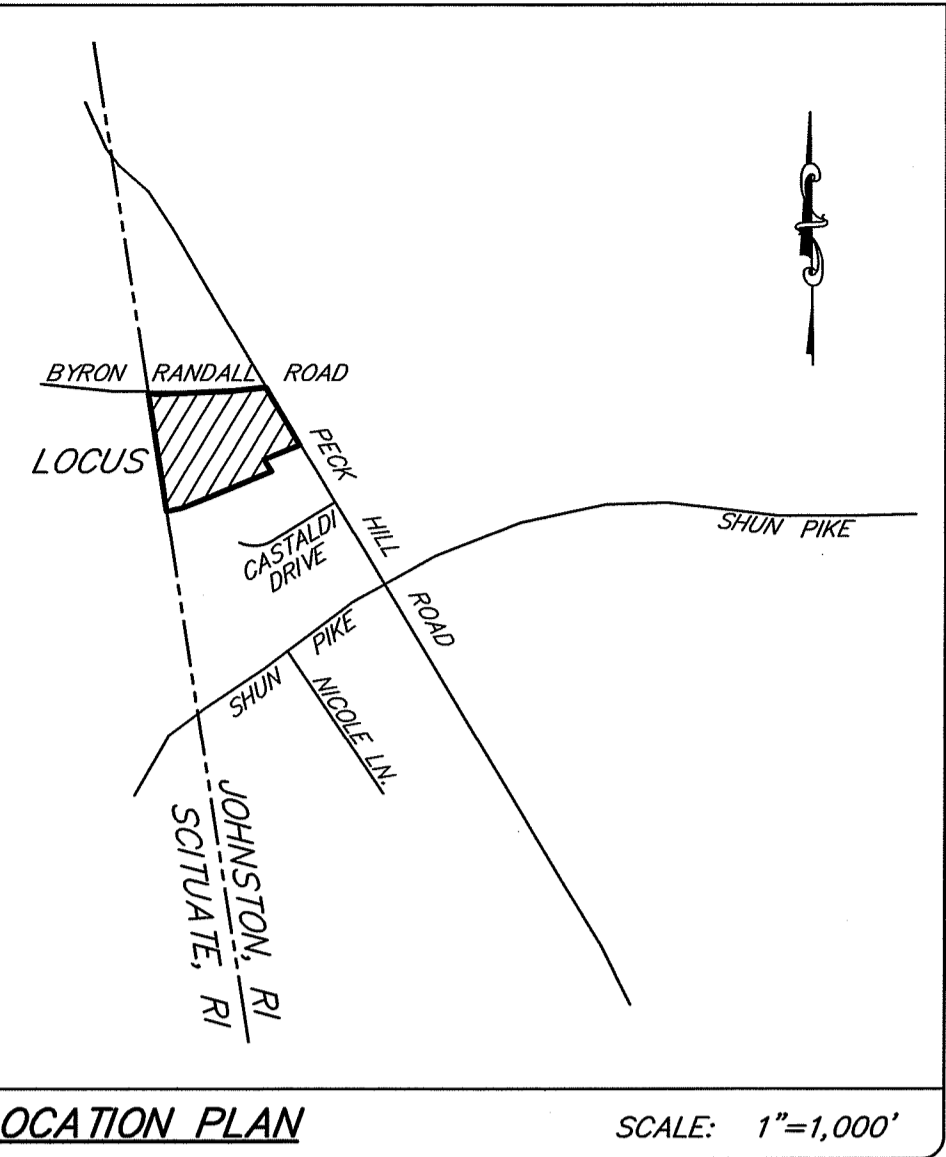
ANTONIO GIARRUSSO  
FRANCO GIARRUSSO  
PROFESSIONAL LAND SURVEYORS, INC. 1783  
410 TIIOQUE AVENUE, COVENTRY, RHODE ISLAND 02816  
IF THIS MAP DOES NOT BEAR AN ORIGINAL SIGNATURE AND "MET" STAMP, THEN IT IS NOT AN AUTHENTICATED PERSON.



PLAN SHOWING PROPOSED IMPROVEMENTS &  
ON-SITE WASTEWATER TREATMENT SYSTEM  
ASSESSOR'S PLAT 43 LOT 151-4  
BYRON RANDALL ROAD AND PECK HILL ROAD  
JOHNSTON, RHODE ISLAND  
PREPARED FOR: ANTONIO GIARRUSSO & FRANCO GIARRUSSO  
DATE: DECEMBER 30, 2021 REVISION:  
SCALE: 1"=30'

PROJECT NO.: SS2973 SHEET 1 OF 2  
DRAWING NO.: SS4860-4





**GENERAL NOTES:**

- THE WETLAND EDGES (SWAMPS) WERE DELINEATED BY NATURAL RESOURCE SERVICES, INC. IN OCTOBER 10, 2020 AND SURVEY LOCATED IN THE FIELD BY SCITUATE SURVEYS, INC. ON NOVEMBER 25, 2020.
- SITE IS WITHIN FLOOD HAZARD ZONE X (AREAS OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) REFERENCE F.I.R.M. MAP PANEL #4400702950 DATED MARCH 02, 2009.
- TOPOGRAPHY AND ELEVATIONS SHOWN ARE FROM AN ON-SITE SURVEY PERFORMED BETWEEN SEPTEMBER 2020 AND DECEMBER 2021 USING CONVENTIONAL (TOTAL STATION) SURVEY METHODS. THE HORIZONTAL AND VERTICAL DATUMS ARE ASSUMED.
- EXCEPT WHERE SHOWN THE SITE IS CURRENTLY UNDEVELOPED.
- NO WORK IS ALLOWED WITHIN STATE REGULATED WETLANDS EXCEPT AS SPECIFICALLY SHOWN. NO WORK IS PROPOSED IN JURISDICTIONAL WETLANDS.
- ALL IMPROVEMENTS SHALL BE ACCURATELY LOCATED AND STAKED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- ALL DISTURBED AREAS SHALL BE STABILIZED WITH 4" LOAM AND SEED OR SOD, PROPOSED SLOPES SHALL BE 3:1 (MAXIMUM).
- ALL STAGES OF O.W.T.S. CONSTRUCTION MUST BE SUPERVISED BY THE SYSTEM DESIGNER.
- EXISTING UTILITY LOCATIONS ARE APPROXIMATE ONLY. DIG SAFE AND APPROPRIATE UTILITY AUTHORITIES SHALL BE NOTIFIED PRIOR TO ANY CONSTRUCTION FOR ACCURATE UTILITY LOCATIONS.
- THERE ARE NO EXISTING OR PROPOSED PUBLIC WATER SUPPLY SOURCES WITHIN 500' OF LOT OTHER THAN SHOWN ON THE PLAN.
- THERE ARE NO EXISTING OR PROPOSED SEWAGE DISPOSAL SYSTEMS WITHIN 25' OF THE PROPOSED WATER SUPPLY LINE OTHER THAN THOSE SHOWN ON THE PLAN.
- THERE ARE NO EXISTING OR PROPOSED INDIVIDUAL WATER SUPPLIES WITHIN 200' OF THE PROPOSED ON-SITE WASTEWATER TREATMENT SYSTEM OTHER THAN THOSE SHOWN ON THE PLAN.
- THE SITE IS WITHIN THE SCITUATE RESERVOIR WATERSHED CRITICAL RESOURCE AREA. PER RULE 6.44 C THE SEPARATION DISTANCE TO GROUNDWATER IS REQUIRED TO BE 4' WHEN SOIL CATEGORIES 1, 2, 3, 4, AND 6 ARE ENCOUNTERED.

**DESIGN CRITERIA**

SEWAGE FLOW - 4 BEDROOMS - 115 GALLONS PER DAY  
 PERCOLATION RATE - SOIL CATEGORY 6 - 61 GALLONS/SQ. FT./DAY  
 TOTAL DAILY FLOW:  
 115 GALLONS/DAY/BEDROOM - 115 x 4 = 460 GALLONS PER DAY  
 MINIMUM REQUIRED LEACH FIELD AREA  
 460 GALLONS PER DAY (MAX) x .61 GALS/SQ. FT./DAY = 754.09 SQ. FT.  
 LEACH FIELD AREA PROVIDED: 27 ELLEN UNITS x 4' x 7' = 756 SQ. FT.  
 LEACH FIELD DESIGN POINT: ELEVATION 516.3'

**BIO-RETENTION BASIN TABLE**

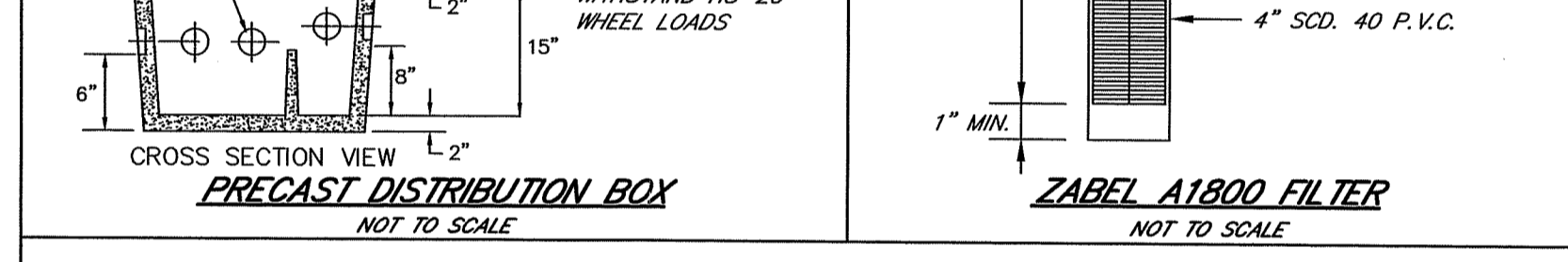
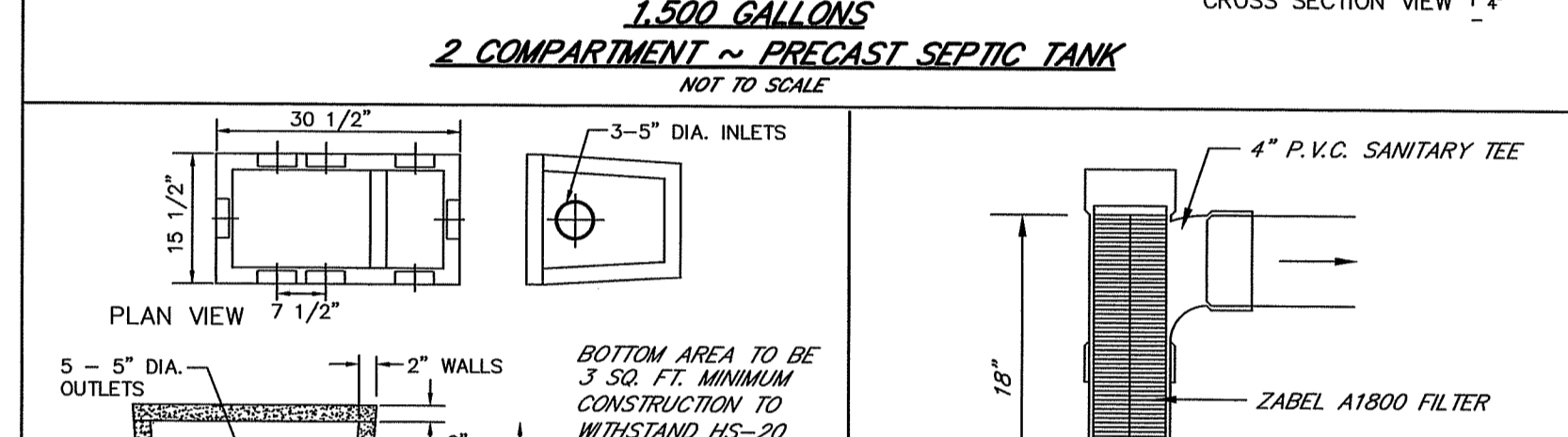
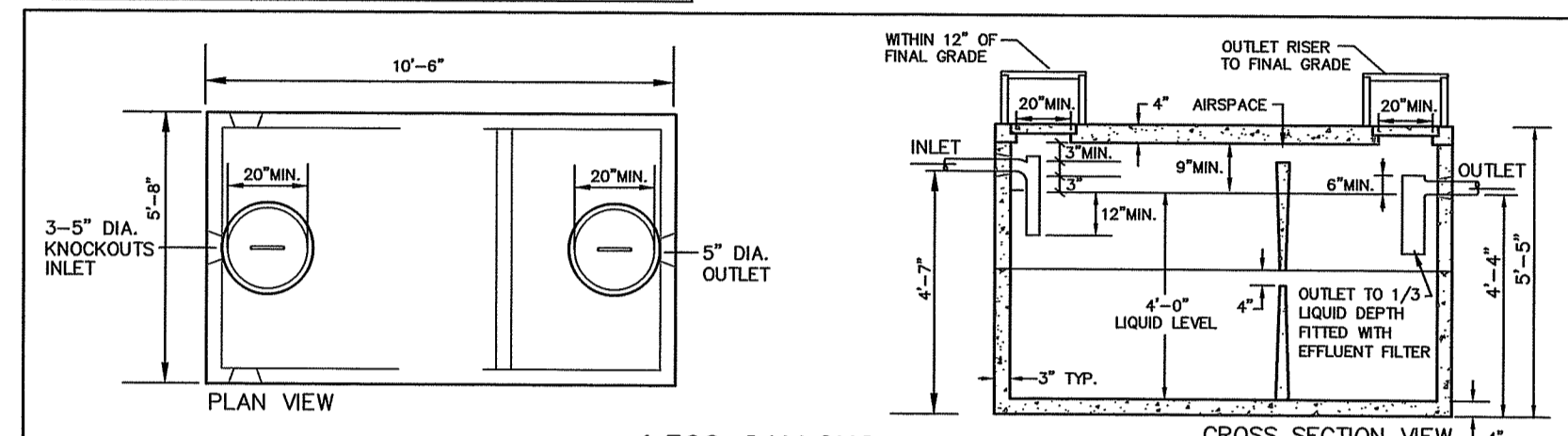
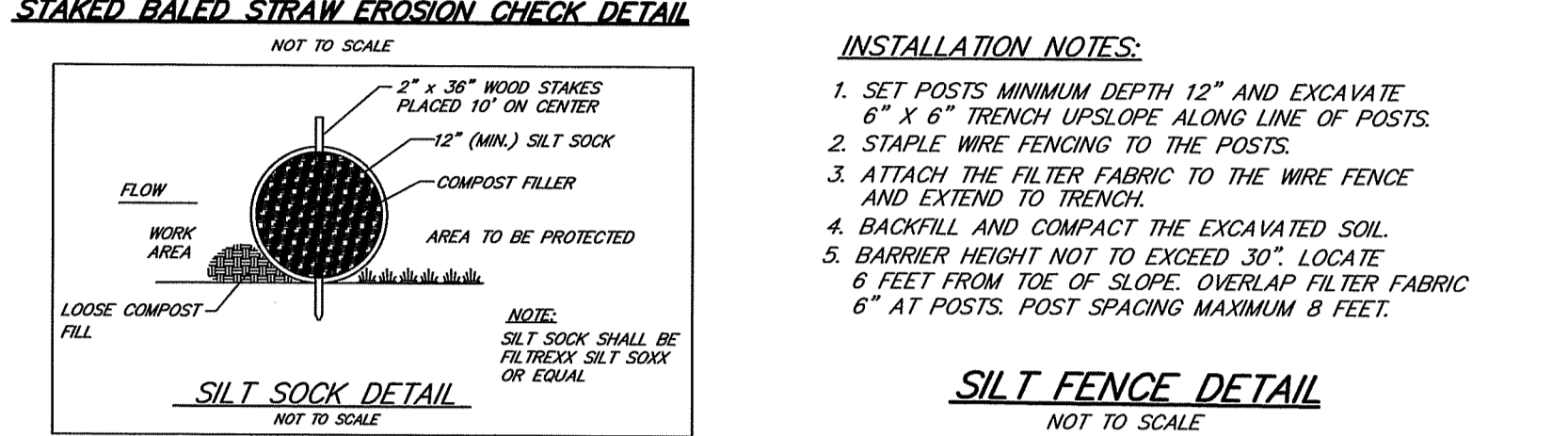
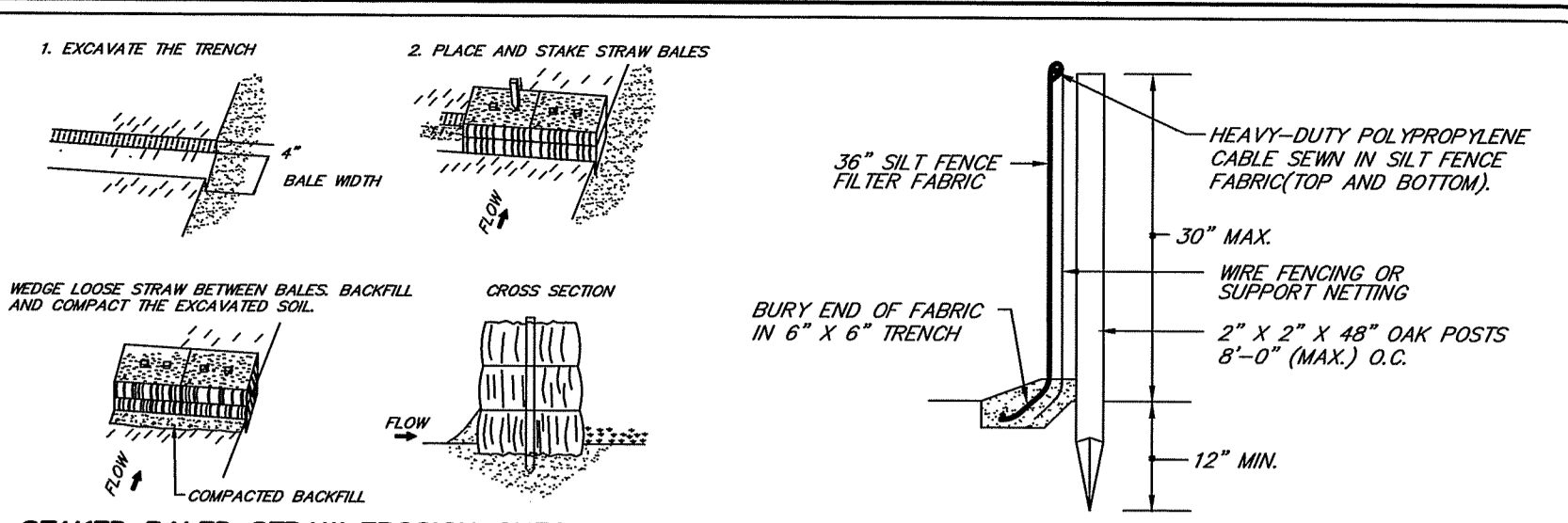
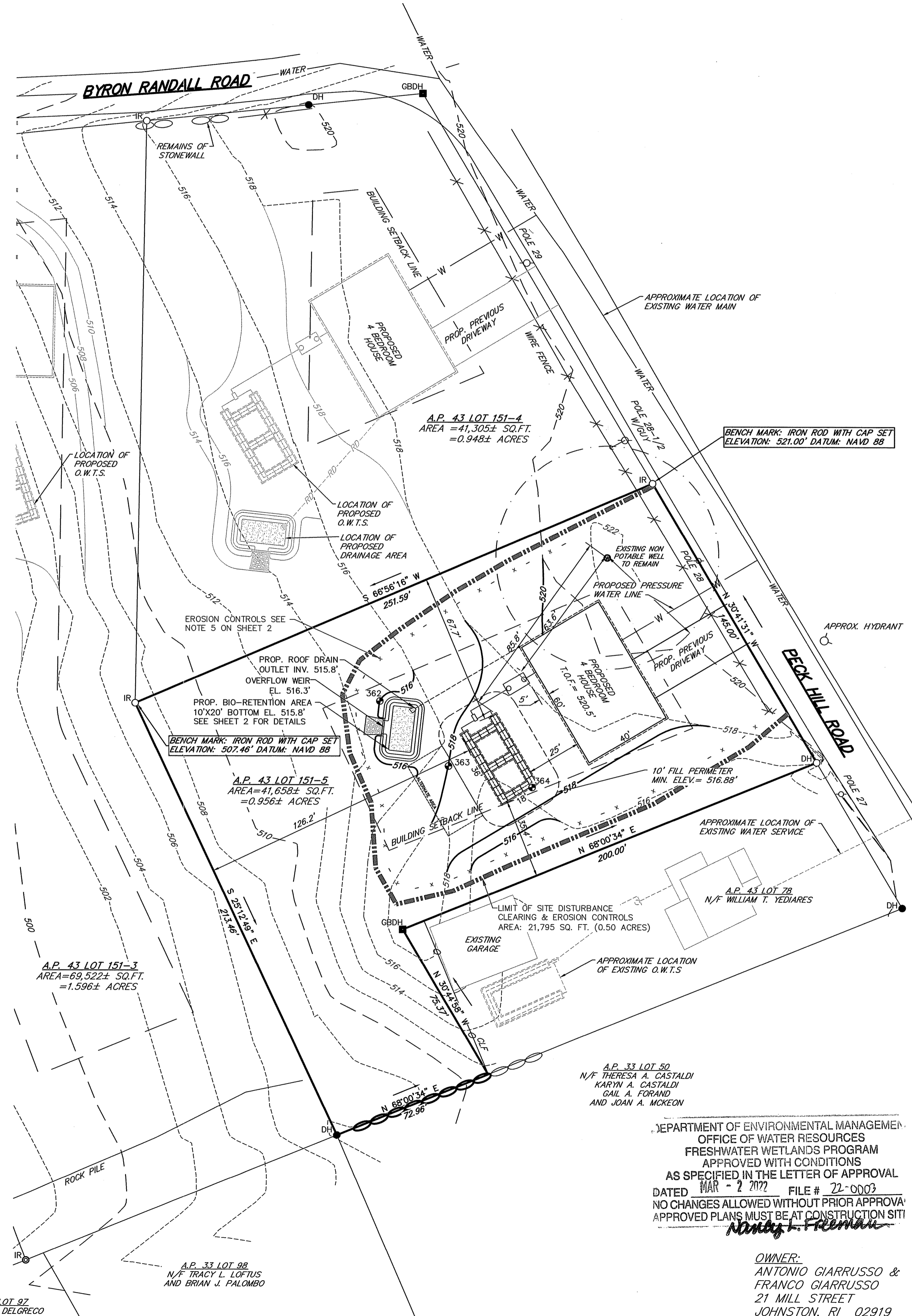
FEATURE	ELEVATION	AREA
TOP OF BERM	516.8'	422 S.F.
OVERFLOW WEIR	516.3'	313 S.F.
TOP OF MULCH	515.8'	200 S.F.
RD OUTLET INV.	515.8'	
S.H.W.T.	510.8'	

**LEGEND**

- A.P. ASSESSOR'S PLAT
- N/F NOW OR FORMERLY
- SQ. FT. SQUARE FEET
- GDH DRILL HOLE IN GRANITE BOUND FOUND
- DH DRILL HOLE SET
- DH DRILL HOLE FOUND
- IR IRON ROD WITH SURVEY CAP SET
- IR IRON ROD FOUND
- IR IRON ROD TO BE SET
- 362 SOIL EVALUATION TEST HOLE (APPROVED BY RIDEM)
- W WELL
- U UTILITY POLE
- H HYDRANT
- BS WETLAND FLAG
- CLF CHAINLINK FENCE
- WATER EXISTING WATER MAIN
- W PROPOSED MUNICIPAL WATER SERVICE
- PROPOSED LIMIT OF DISTURBANCE
- PROPOSED EROSION CONTROL
- STONEWALL

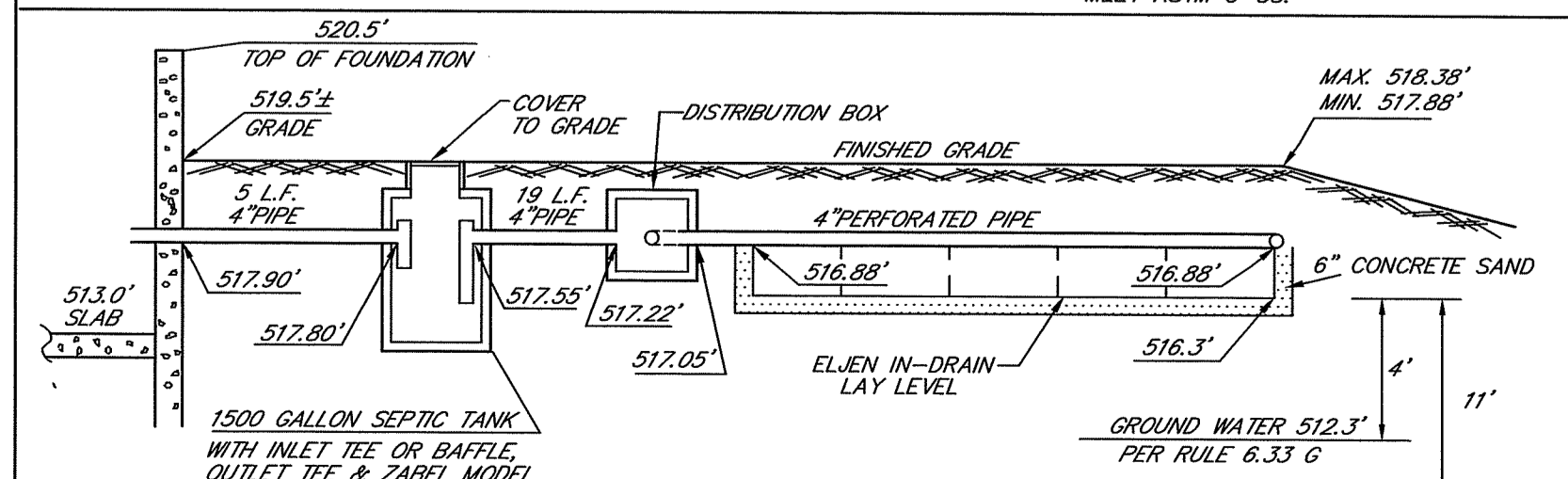
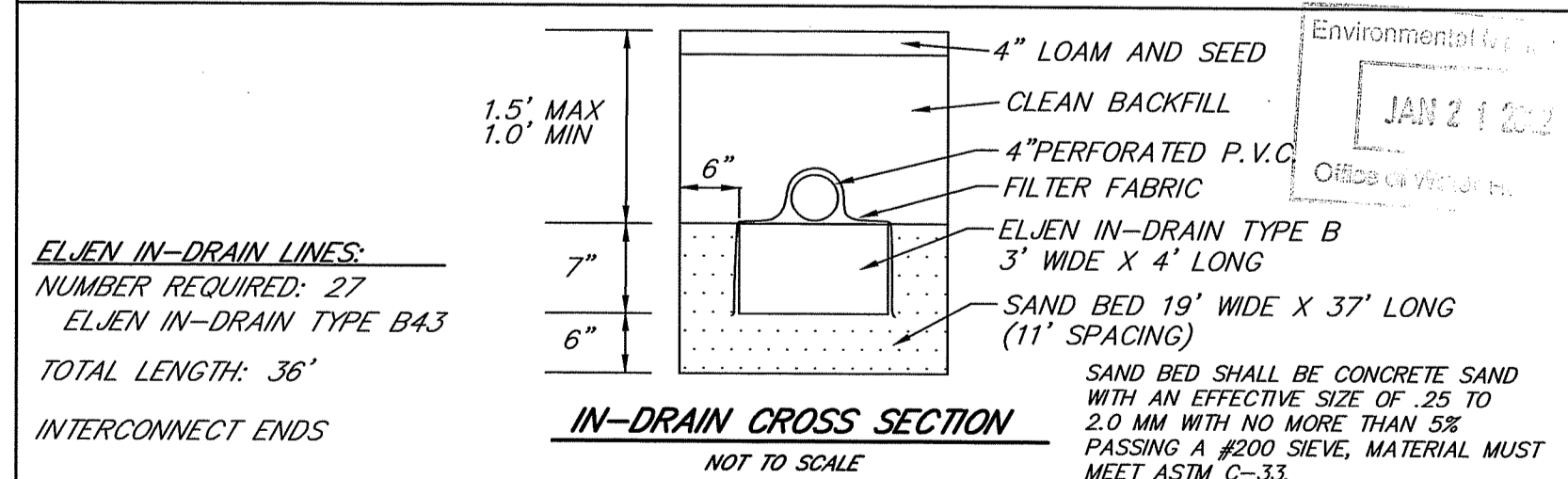
**GROUNDWATER & LEDGE DEPTH TABLE**

TEST PIT	EXISTING GROUND	GROUNDWATER DEPTH	GROUNDWATER ELEVATION	LEDGE DEPTH	LEDGE ELEVATION
362	514.8'	4.0'	510.8'	10.0'	BELOW 504.8'
363	516.6'	4.0'	512.6'	12.0'	BELOW 504.6'
364	516.3'	4.0'	512.3'	11.0'	BELOW 505.3'



**DESIGN AND CONSTRUCTION NOTES:**

- ALL WORK SHALL CONFORM TO THE RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL MANAGEMENT RULES AND REGULATIONS, AS AMENDED.
- THE TOP OF FOUNDATION ELEVATION SHOWN HAS BEEN DESIGNED FOR O.W.T.S. PURPOSES ONLY. THE OWNER AND/OR CONTRACTOR IS ADVISED TO DETERMINE WHETHER THE BASEMENT FLOOR OF THE PROPOSED DWELLING IS AT OR BELOW THE GROUND WATER TABLE AND, IF SO, RAISE THE FOUNDATION ACCORDINGLY.
- THE CONTRACTOR SHALL NOTIFY THE DESIGNER OF ANY PROPOSED DEVIATIONS FROM THIS SITE PLAN. THE DESIGNER MUST PERFORM ALL NECESSARY INSPECTIONS, BOTH DURING AND AFTER INSTALLATION, BEFORE ANY COMPONENT OF THE SYSTEM IS COVERED.
- THE PROPERTY BOUNDARIES SHOWN HEREON HAVE BEEN COMPILED FROM MAPS, DEEDS, AND OTHER SOURCES OF INFORMATION, AND ARE SUBJECT TO SUCH MODIFICATIONS AS AN ACTUAL BOUNDARY SURVEY MAY DISCLOSE. TO THE EXTENT THAT SUCH BOUNDARIES ARE CRITICAL TO THE O.W.T.S. LOCATION, THEY MUST BE ESTABLISHED PRIOR TO CONSTRUCTION.
- ALL TREES, STUMPS, AND BRUSH WITHIN A 10' PERIMETER AROUND THE SYSTEM MUST BE CLEARED.
- THE EXCAVATION SHALL BE LEVEL AND SCARIFIED.
- ALL TOPSOIL AND SUBSOIL WITHIN A 5' PERIMETER OF THE SYSTEM SHALL BE STRIPPED AND BACKFILLED WITH CLEAN, COARSE GRAVEL. EXCAVATION INTO IMPERVIOUS MATERIAL IS PROHIBITED UNLESS OTHERWISE APPROVED BY THE DIRECTOR.
- MAINTAIN TRENCH INVERT ELEVATION FOR 10' BEYOND THE PERIMETER OF THE LEACHING FIELD. THE ADJACENT SIDE SLOPE SHALL NOT BE STEEPER THAN 3:1 FOR A 25' MIN. DISTANCE FROM THE EDGE OF LEACH FIELD. MAINTAIN 5:1 TO PROPERTY LINE FROM TOE OF 3:1 SIDE SLOPE.
- INSTALL CAST IRON PIPE OR EQUIVALENT FROM THE FOUNDATION TO THE SEPTIC TANK. ALL OTHER PIPES MUST BE SDR 35 P.V.C. OR EQUIVALENT.
- SUBSURFACE DRAINS AND WATER SUPPLY LINE TO BE INSTALLED IN CONFORMANCE WITH DISTANCES SPECIFIED IN TABLE 6.23 B.
- ALL KNOWN EXISTING AND PROPOSED PUBLIC WATER SUPPLY WELLS WITHIN 500' OF THE SYSTEM ARE SHOWN; ALL KNOWN EXISTING AND PROPOSED PRIVATE WELLS WITHIN 200' OF THE SYSTEM ARE SHOWN; ALL KNOWN EXISTING AND PROPOSED SEPTIC SYSTEMS WITHIN 100' OF THE WELL ARE SHOWN.
- ALL WORK MUST CONFORM TO THE REQUIREMENTS OF OTHER EXISTING PERMITS, IF ANY.
- WITH RESPECT TO MUNICIPAL ZONING REQUIREMENTS, THE DESIGNER HAS MADE A REASONABLE EFFORT TO ASCERTAIN THE APPLICABLE DIMENSIONAL SETBACKS AND OTHER CONSTRAINTS TO DEVELOPMENT. DUE, HOWEVER, TO THE POSSIBILITY OF UNRECORDED VARIANCES, NON-CONFORMING USES, AND OTHER RELEVANT DOCUMENTS, IT REMAINS THE RESPONSIBILITY OF THE OWNER TO VERIFY THAT THIS DESIGN SATISFIES LOCAL CODES.
- ALL STAGES OF CONSTRUCTION MUST BE SUPERVISED BY THE DESIGNER OF RECORD. UNLESS WAIVED BY THE DESIGNER, ALL IMPROVEMENTS MUST BE STAKED BY THE DESIGNER OR HIS AGENTS PRIOR TO CONSTRUCTION. THESE INCLUDE THE O.W.T.S., FOUNDATION, WELL, EROSION CONTROLS, CLEARING LIMITS AND ANY OTHER FEATURES DEEMED CRITICAL TO THE DESIGN.

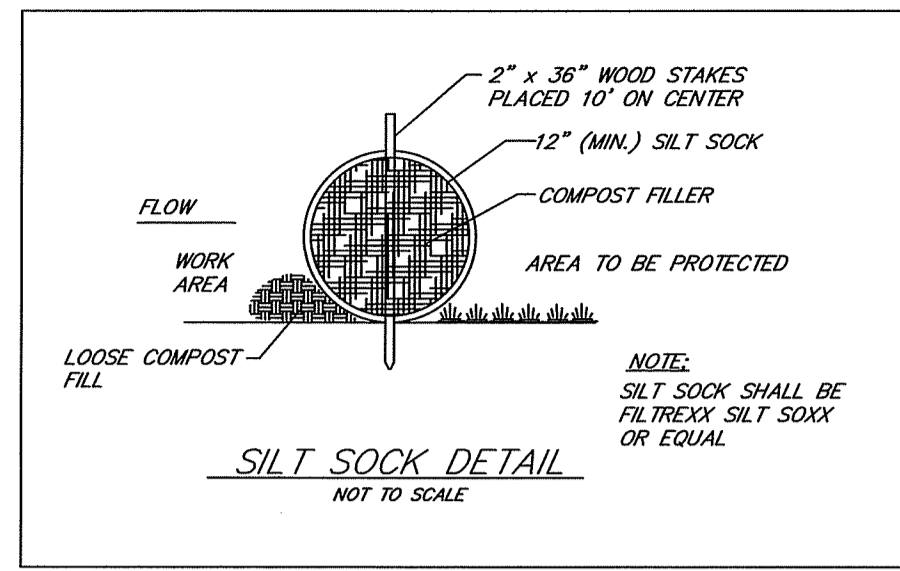


**SCITUATE SURVEYS, INC.**  
 410 TIOGUE AVENUE  
 COVENTRY, RHODE ISLAND 02816  
 401-821-8101  
 LAND SURVEYING / MAPPING / SITE PLANNING

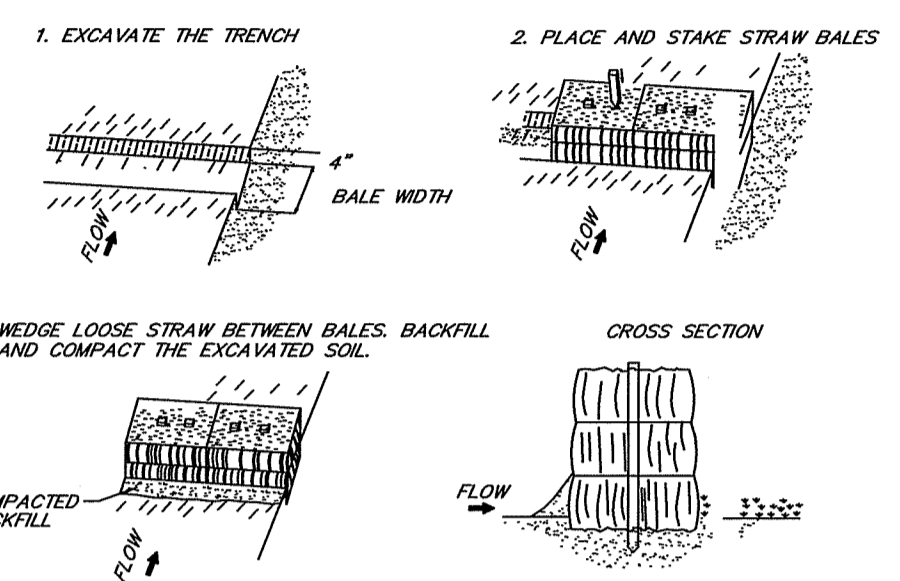
THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS OF THE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2021, AS FOLLOWS:  
 TITLE OF BOUNDARY SURVEY: NOT A BOUNDARY SURVEY  
 MEASUREMENT TECHNIQUE: MEASUREMENT/SCITUATION  
 CLASS OF MEASUREMENT: CLASS II  
 VERTICAL DATUM: NAVD 83  
 HORIZONTAL DATUM: NAD 83  
 TOPOGRAPHIC SURVEY ACCURACY: 1/2"

ANGELO M. BAIAMONDI  
 No. 1762  
 PROFESSIONAL LAND SURVEYOR

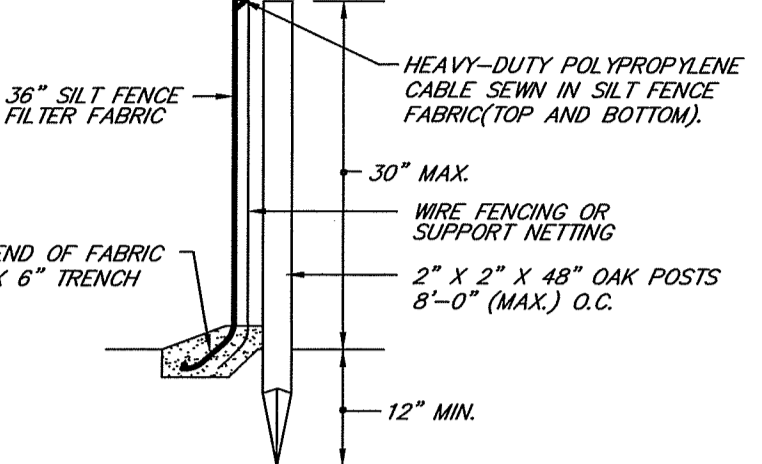
PLAN SHOWING PROPOSED IMPROVEMENTS & ON-SITE WASTEWATER TREATMENT SYSTEM  
**ASSESSOR'S PLAT 43 LOT 151-5**  
 BYRON RANDALL ROAD AND PECK HILL ROAD  
 JOHNSTON, RHODE ISLAND  
 PREPARED FOR: ANTONIO GIARRUSSO & FRANCO GIARRUSSO  
 DATE: DECEMBER 30, 2021  
 REVISION:  
 PROJECT NO.: SS2973 SHEET 1 OF 2  
 DRAWING NO.: SS4860-5



NOTE: SILT SOCK SHALL BE FILTREX SILT SOCKS OR EQUAL.

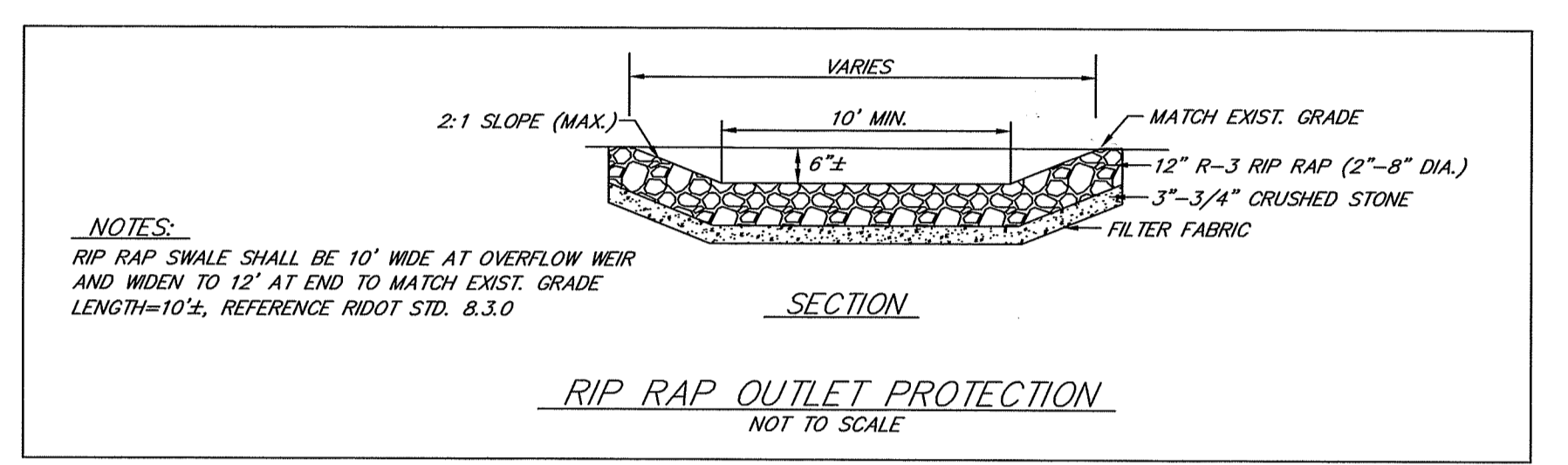
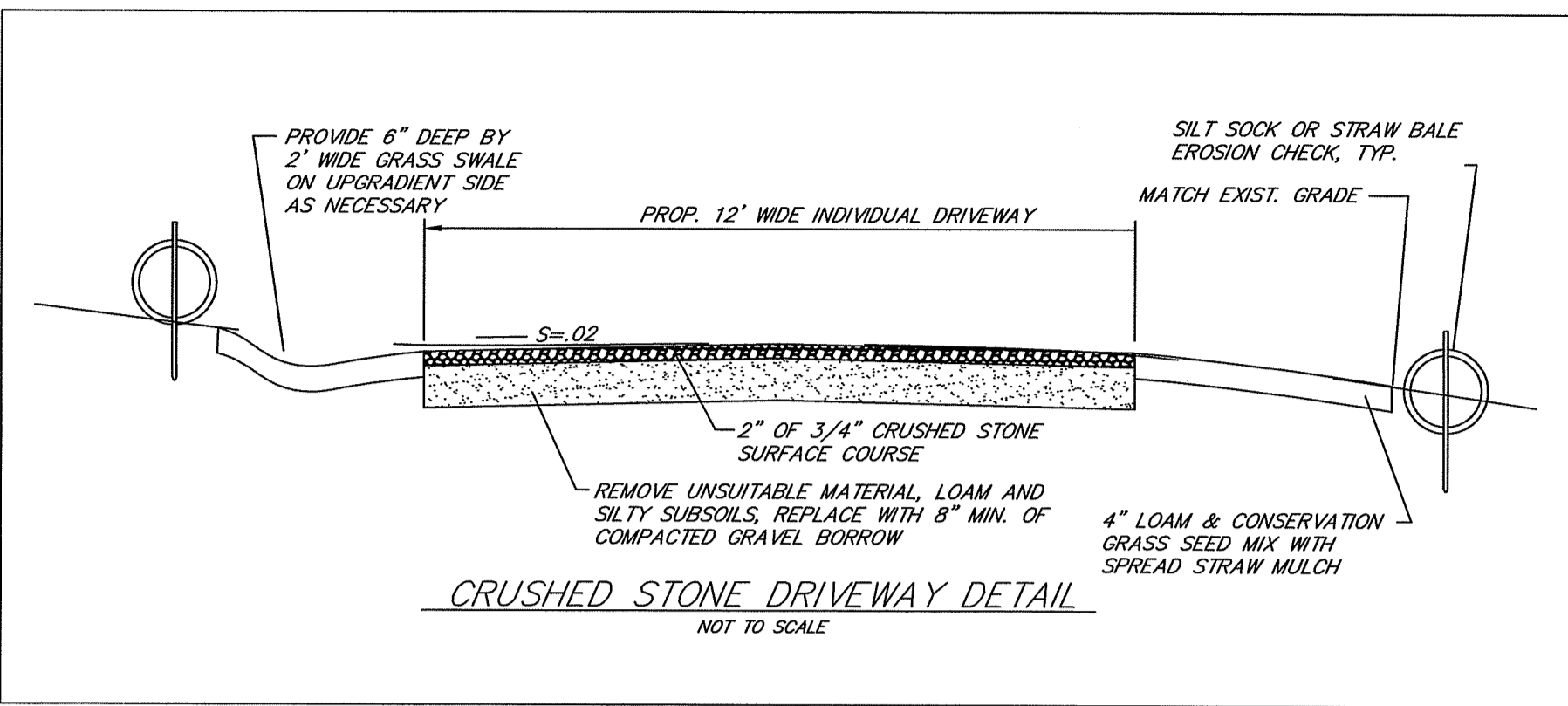


STAKED BALED STRAW EROSION CHECK DETAIL NOT TO SCALE

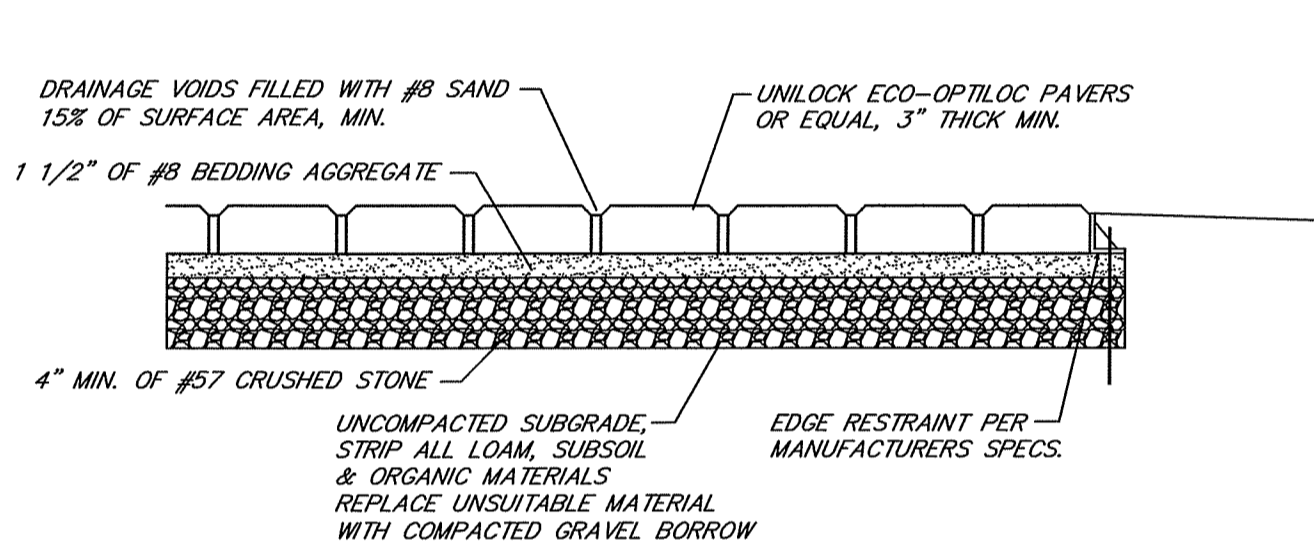


- INSTALLATION NOTES:**
- SET POSTS MINIMUM DEPTH 12" AND EXCAVATE 6" X 6" TRENCH UPSLOPE ALONG LINE OF POSTS.
  - STAPLE WIRE FENCING TO THE POSTS.
  - ATTACH THE FILTER FABRIC TO THE WIRE FENCE AND EXTEND TO TRENCH.
  - BACKFILL AND COMPACT THE EXCAVATED SOIL.
  - BARRIER HEIGHT NOT TO EXCEED 30". LOCATE 6 FEET FROM TOE OF SLOPE. OVERLAP FILTER FABRIC 6" AT POSTS. POST SPACING MAXIMUM 8 FEET.

SILT FENCE DETAIL NOT TO SCALE



RIP RAP OUTLET PROTECTION NOT TO SCALE

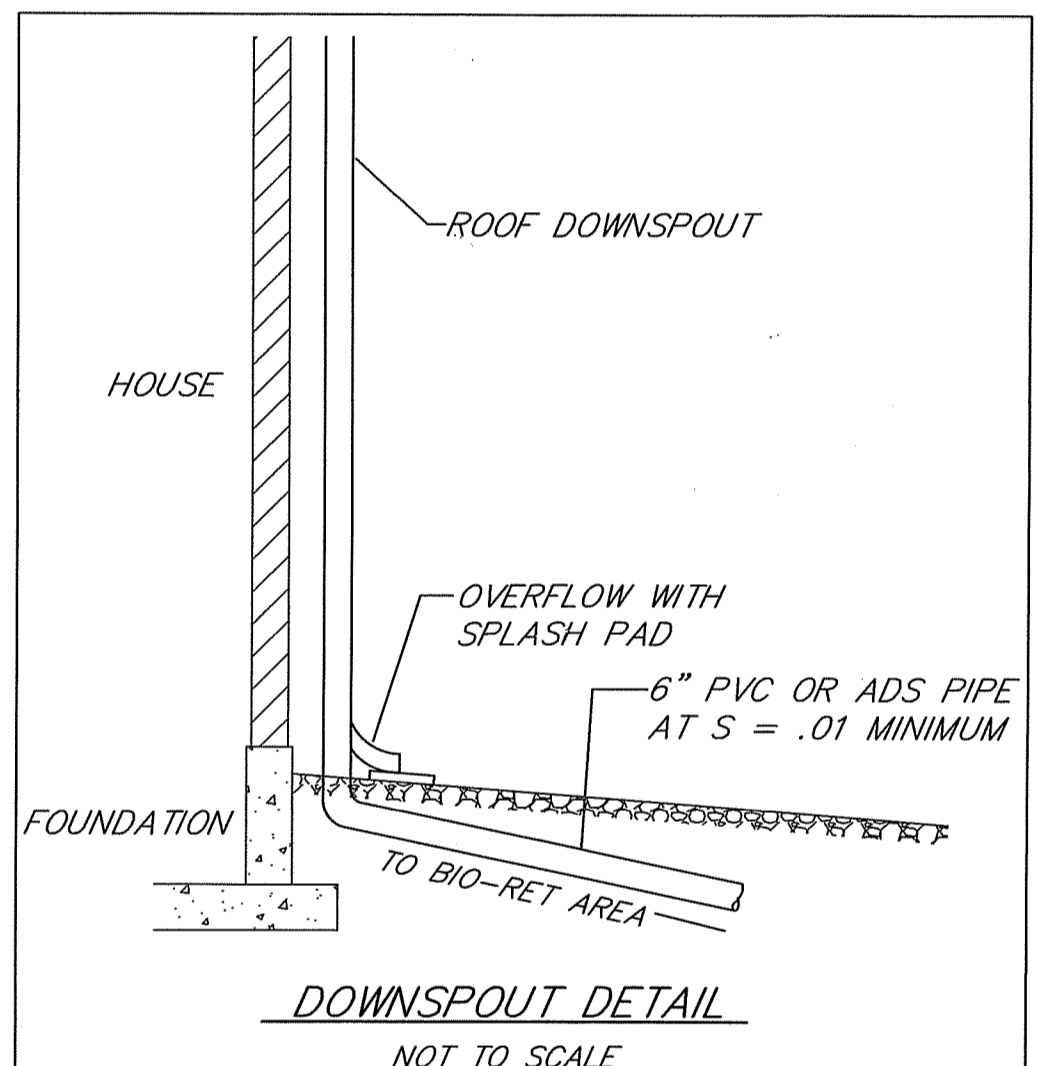


PERMEABLE PAVER DETAIL NOT TO SCALE

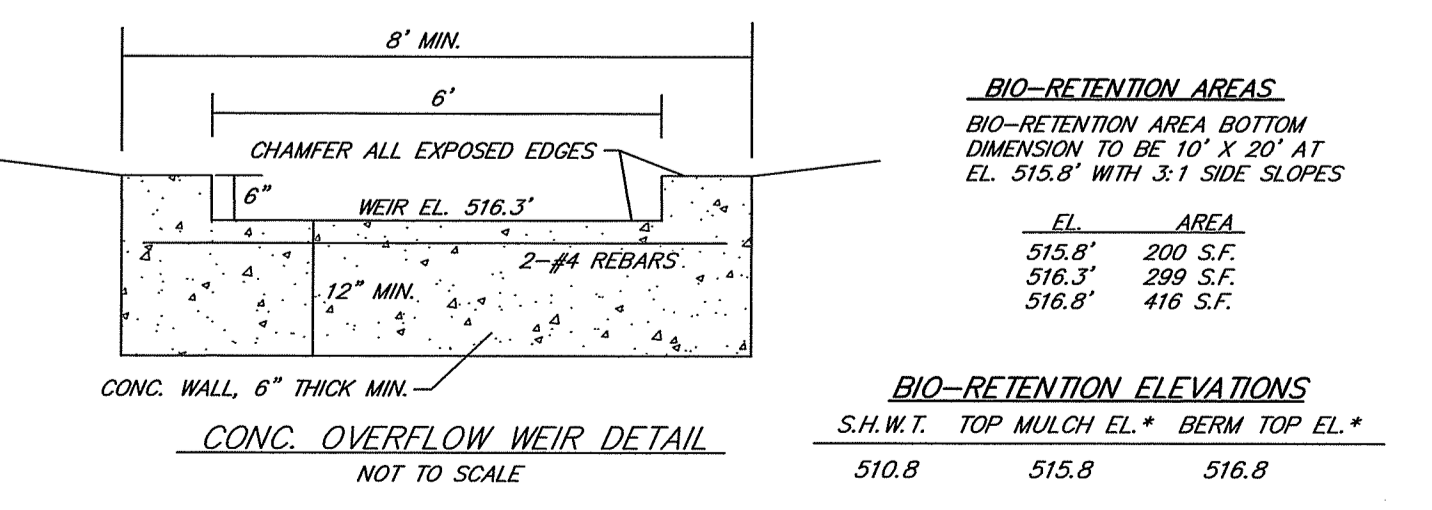
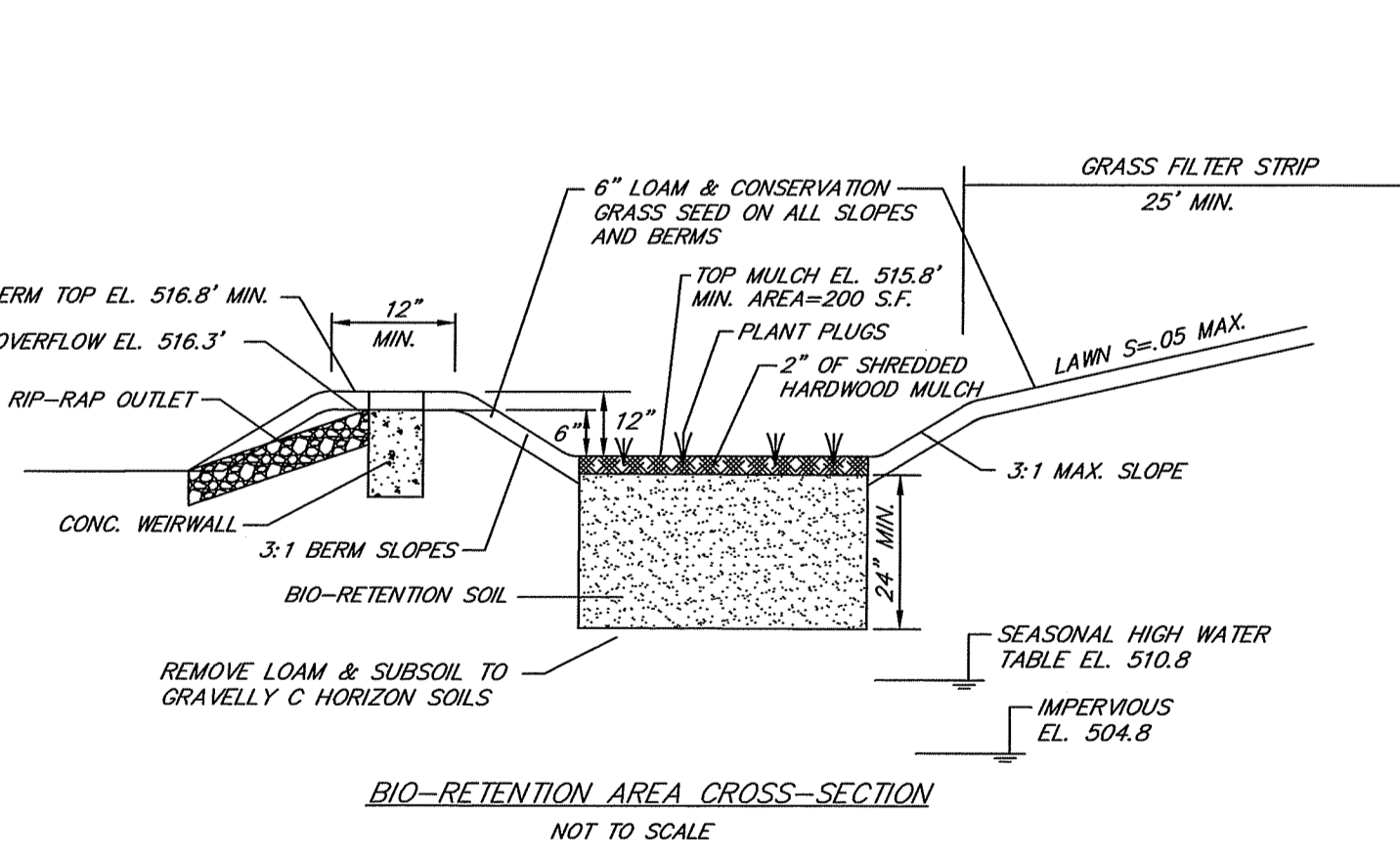
**PAVER MAINTENANCE NOTES:**

- PAVERS AND CRUSHED STONE SHALL NOT BE INSTALLED UNTIL ALL SITE WORK IS COMPLETE AND UPGRADIENT AREAS ARE STABILIZED WITH TURF OR MULCH.
- PERMEABLE PAVER AREAS SHALL BE PROTECTED AT ALL TIMES FROM EROSION AND SILTATION UNTIL THE SITE IS PERMANENTLY STABILIZED.
- PERMEABLE PAVER AREAS SHALL BE PROTECTED FROM EXCESSIVE COMPACTION. SUBGRADE SHALL BE SCARIFIED AND LEVELED PRIOR TO STONE INSTALLATION. STONE, AGGREGATE AND PAVERS SHALL BE INSTALLED AND COMPACTED WITH A 5,000 POUND PLATE COMPACTOR.
- PAVEMENT SURFACES SHALL BE INSPECTED AFTER RAIN EVENTS. ACCUMULATED DEBRIS AND SEDIMENTS SHALL BE REMOVED AS SOON AS POSSIBLE.
- THE USE OF DE-ICING SAND AND SALT SHALL BE KEPT TO THE MINIMUM NECESSARY.
- IF PONDING ON THE SURFACE OCCURS AND ROUTINE CLEANING DOES NOT RESTORE INFILTRATION, THEN RECONSTRUCTION OF THE AREA OF FAILURE SHALL BE REQUIRED. PERMEABLE PAVERS SHALL BE REMOVED, CRUSHED STONE CLOGGED WITH SILTS SHALL BE REPLACED AND PAVERS REINSTALLED.

BEDDING AGGREGATE ASTM NO. 8		CRUSHED STONE ASTM NO. 57		GRAVEL BORROW SUBBASE	
SEIVE SIZE	PERCENT PASSING	SEIVE SIZE	PERCENT PASSING	SEIVE SIZE	PERCENT PASSING
1/2"	100	1 1/2"	100	3"	100
3/8"	85 TO 100	1"	85 TO 100	5/8"	50 TO 85
NO. 4	10 TO 30	1/2"	25 TO 60	3/8"	45 TO 80
NO. 8	0 TO 10	NO. 4	0 TO 10	NO. 4	40 TO 75
NO. 16	0 TO 5	NO. 8	0 TO 5	NO. 40	0 TO 45
NO. 200	0	NO. 200	0	NO. 200	0 TO 10



DOWNSPOUT DETAIL NOT TO SCALE



CONC. OVERFLOW WEIR DETAIL NOT TO SCALE

**BIO-RETENTION AREA NOTES**

- BIO-RETENTION AREAS SHALL BE PROTECTED FROM COMPACTION PRIOR TO AND DURING CONSTRUCTION.
- ALL LOAM & SUBBASE SHALL BE STRIPPED AND THE AREA EXCAVATED TO DESIGN BOTTOM GRADE. BIO-RETENTION SOIL SHALL BE PLACED TO A DEPTH OF 24" AND COVERED WITH 2" OF MULCH.
- MULCH SHALL BE SHREDED HARDWOOD MULCH.
- BOTTOM OF BIO-RETENTION AREA SHALL BE PLANTED WITH AN EQUAL MIXTURE OF BLUEGRASS, WIDE GRASS AND PICKEREL WEED PLUGS AT 18" ON CENTER. PLANTINGS SHALL COMPLY WITH APPENDIX B.9.3 OF THE R.I. STORMWATER DESIGN AND INSTALLATION STANDARDS MANUAL (MARCH 2015).
- BIO-RETENTION AREA PLANTINGS SHALL BE INSTALLED BY A LANDSCAPE CONTRACTOR. SURVIVAL SHALL BE GUARANTEED FOR ONE YEAR.
- BIO-RETENTION SOIL SHALL HAVE A LOAMY SAND TEXTURE AND CONFORM TO THE FOLLOWING GRADATION:  
SAND 85 - 88%  
SILT 8 - 12%  
CLAY 0 - 2%  
ADD ORGANIC MATTER (LEAF COMPOST) TO LOAMY SAND, 38-58 BY VOLUME

**BIO-RETENTION AREA MAINTENANCE PLAN**

- BIO-RETENTION AREA SHALL BE MAINTAINED BY THE CONTRACTOR UNTIL FINAL APPROVAL OF CONSTRUCTION. AFTER FINAL APPROVAL THE AREA SHALL BE MAINTAINED BY THE OWNER.
- DURING THE SIX MONTHS IMMEDIATELY AFTER CONSTRUCTION, BIO-RETENTION AREA SHALL BE INSPECTED FOLLOWING THE FIRST TWO RAIN EVENTS EQUAL TO OR GREATER THAN THE 1-YEAR 24 HOUR TYPE II STORM EVENT. AFTER THAT PERIOD, IT SHALL BE INSPECTED TWICE PER YEAR.
- SOIL EROSION GULLIES SHALL BE REPAIRED WHEN THEY OCCUR.
- IF STANDING WATER REMAINS 48 HOURS AFTER A RAINFALL EVENT, THE BOTTOM SHALL BE ROTOTILLED THEN RE-SEED.
- MULCH LAYER SHALL BE REPLISHED TO ORIGINAL DEPTH EVERY OTHER YEAR. PREVIOUS MULCH LAYER SHALL BE REMOVED.
- PRUNING OR REPLACEMENT OF VEGETATION SHOULD OCCUR WHEN DEAD OR DYING VEGETATION IS OBSERVED.
- SILT AND DEBRIS SHALL BE REMOVED WHEN ACCUMULATION EXCEEDS 2 INCHES.
- GRASS SHALL BE MOWED THREE TIMES BETWEEN THE MONTHS OF MAY AND OCTOBER. MOWED HEIGHT OF VEGETATION SHALL NOT BE LESS THAN TWO INCHES.

**GRASS FILTER STRIP MAINTENANCE NOTES:**

- ENSURE THAT GRASS HAS ESTABLISHED; IF NOT REPLACE WITH AN ALTERNATE SPECIES.
- FILTER STRIPS SHALL BE INSPECTED AT LEAST QUARTERLY DURING THE FIRST YEAR OF OPERATION AND SEMIANNUALLY THEREAFTER. EVIDENCE OF EROSION AND CONCENTRATED FLOWS WITHIN THE FILTER STRIP MUST BE CORRECTED IMMEDIATELY. ERODED SPOTS MUST BE RESEED AND MULCHED TO ENHANCE VIGOROUS GROWTH AND PREVENT FUTURE EROSION PROBLEMS.
- THE BULK OF ACCUMULATED SEDIMENTS WILL BE TRAPPED AT THE INITIAL ENTRY POINT OF THE FILTER STRIP. THESE SEDIMENTS SHALL BE REMOVED MANUALLY AT LEAST ONCE PER YEAR OR WHEN ACCUMULATING SEDIMENTS CAUSE A CHANGE IN THE GRADE ELEVATION. RESEEDING MAY BE NECESSARY TO REPAIR AREAS DAMAGED DURING THE SEDIMENT REMOVAL PROCESS.
- FILTER STRIPS MUST BE PROTECTED BY PROPER SOIL EROSION AND SEDIMENT CONTROL TECHNIQUES (e.g., HAY BALES AND SILT FENCES) DURING ALL PHASES OF CONSTRUCTION. THESE MEASURES MUST BE PROPERLY MAINTAINED UNTIL FINAL SITE STABILIZATION AND SUBSEQUENT REMOVAL OF ALL TRAPPED SEDIMENTS HAS OCCURRED.

**GENERAL NOTES**

- ALL WORK PERFORMED HEREIN SHALL BE GOVERNED BY THE R.I. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (REVISION OF 12-2010) WITH ALL CORRECTIONS AND ADDENDA AND THE 12-1-2010 R.I. STANDARD DETAILS WITH ALL CORRECTIONS AND ADDENDA.
- EMBANKMENT SLOPES AND ALL DISTURBED AREAS ARE TO RECEIVE 4" OF TOPSOIL AND SEEDED. SEE EROSION CONTROL PROGRAM.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL TEMPORARY SEDIMENTATION AND EROSION CONTROLS.
- IN ALL EXCAVATION AND REPLACEMENT OF FILL, THE CONTRACTOR SHALL PERFORM THE WORK IN FULL COMPLIANCE WITH THE R.I. STANDARD SPECIFICATION SECTION 202.
- ALL EXCESS SOIL, STUMPS, TREES, ROCKS, BOULDERS AND OTHER REFUSE SHALL BE DISCARDED OFF SITE OUTSIDE OF ALL WETLANDS AND WETLANDS SETBACK AREAS UNLESS OTHERWISE SPECIFIED.
- CONSTRUCTION WASTE SHALL BE COLLECTED, REMOVED AND DISPOSED OF OFFSITE IN ACCORDANCE WITH ALL STATE AND TOWN REQUIREMENTS. TRASH SHALL BE COLLECTED ROUTINELY AND REMOVED FROM SITE FOR DISPOSAL.
- ALL WORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH THE REQUIREMENTS OF ALL R.I. DEM AND TOWN REGULATIONS AND PERMITS.

**SEDIMENTATION CONTROL PROGRAM**

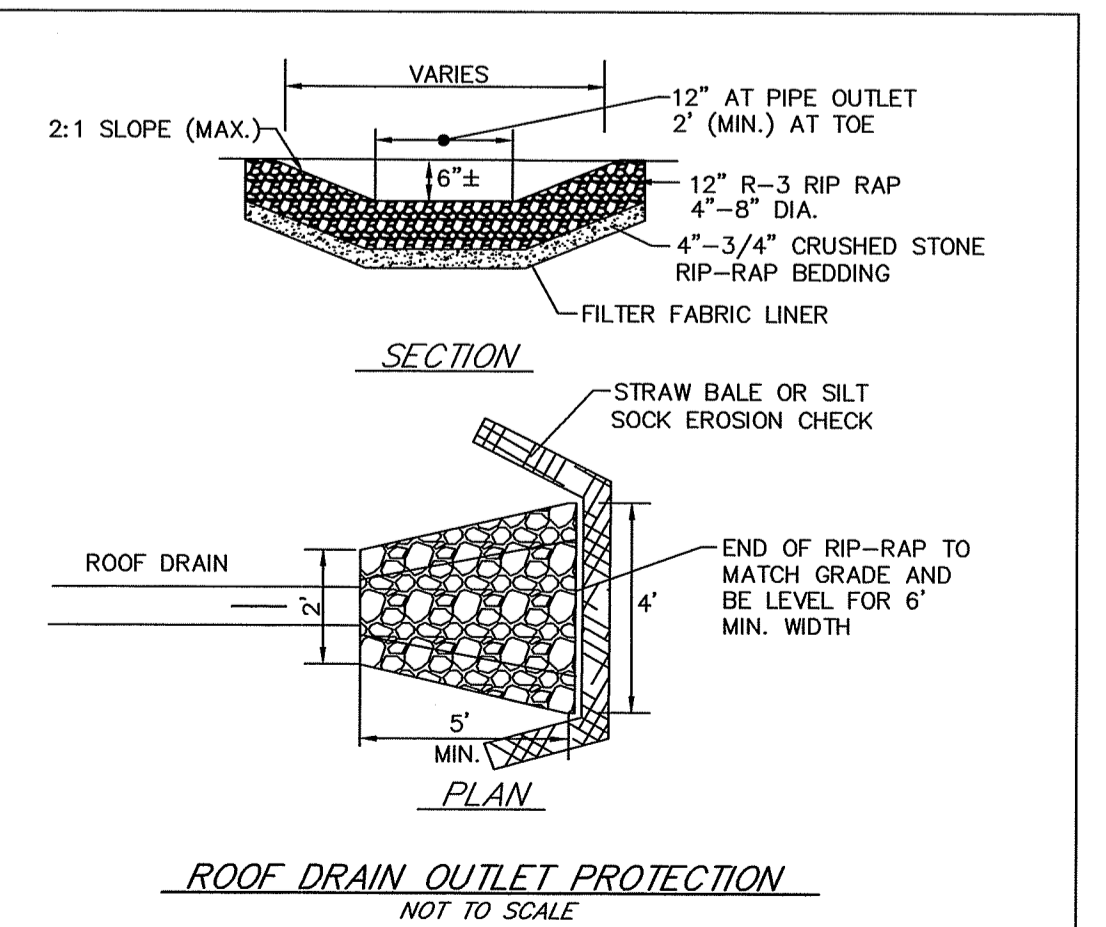
- EXTREME CARE SHALL BE EXERCISED SO AS TO PREVENT ANY SEDIMENTS FROM ENTERING THE WETLANDS OR ADJOINING PROPERTIES.
- BANKS OR SLOPES OVER 5 PERCENT SHALL BE SEEDED AS SOON AS POSSIBLE AND SHALL BE PROTECTED WITH A HAY, STRAW OR FIBER MULCH.
- DURING CONSTRUCTION, THE CONTRACTOR AND/OR DEVELOPER SHALL BE RESPONSIBLE FOR MAINTAINING DRAINAGE AND RUNOFF FLOW DURING STORMS AND PERIODS OF RAINFALL.
- SEDIMENTATION CONTROL DEVICES SHALL BE INSPECTED CLOSELY AND MAINTAINED PROMPTLY AFTER EACH RAINFALL.
- CARE SHALL BE TAKEN SO NOT TO PLACE "REMOVED SEDIMENTS" WITHIN THE PATH OF EXISTING, NEWLY CREATED (BOTH TEMPORARY AND PERMANENT) OR PROPOSED WATERCOURSES OR THOSE AREAS SUBJECTED TO STORM WATER FLOW.
- ADDITIONAL STRAW BALES, SILT FENCE OR SILT SOCKS SHALL BE LOCATED AS CONDITIONS WARRANT OR AS DIRECTED BY THE ENGINEER.
- REFERENCE THE "R.I. EROSION AND SEDIMENT CONTROL HANDBOOK" PREPARED BY THE R.I. STATE CONSERVATION COMMITTEE, ISSUED 1989 REVISED 2014, AS A GUIDE.

**ORDER OF PROCEDURE**

- PRIOR TO THE COMMENCEMENT OF CONSTRUCTION OR EXCAVATION, THE SITE CONTRACTOR SHALL PHYSICALLY MARK THE ENTIRE LIMIT OF DISTURBANCE. EROSION CHECKS SHALL BE ESTABLISHED AT ALL DOWN GRADIENT LIMITS OF DISTURBANCE AND AS DEPICTED ON THE SITE PLANS. TEMPORARY EROSION CHECKS SHALL BE INSTALLED AT LIMIT OF WORK ACTIVITY IF CONSTRUCTION IS TO BE DONE IN PHASES. EROSION CHECKS CONSIST OF STRAW BALES, SILT FENCE OR SILT SOCKS.
- THE CONTRACTOR SHALL PROVIDE A BARRIER AROUND THE BIO-RETENTION AREA TO PROTECT IT FROM SOIL COMPACTION.
- ONLY AREAS THAT CAN BE REASONABLY EXPECTED TO HAVE ACTIVE CONSTRUCTION WORK BEING PERFORMED WITHIN 14 DAYS OF DISTURBANCE SHALL BE CLEARED AND GRUBBED AT ONE TIME. IF CONSTRUCTION ACTIVITY HAS TEMPORARILY OR PERMANENTLY CEASED FOR MORE THAN 14 DAYS, STABILIZATION PRACTICES SHALL BE INITIATED. REFERENCE THE EROSION CONTROL & SEDIMENTATION PROGRAMS FOR TEMPORARY CONTROLS.
- ALL EROSION AND SEDIMENTATION CONTROL STRUCTURES SHALL BE PERIODICALLY MAINTAINED AS PER THE RESPECTIVE PROGRAMS FOR TEMPORARY CONTROL.
- EROSION CHECKS ALONG AND AT THE ENDS OF ROADWAYS MAY ALSO BE REMOVED AFTER FINAL SOIL STABILIZATION HAS BEEN ACHIEVED AND APPROVED.
- EROSION CHECKS LOCATED AT DRAINAGE INLETS OR OUTLETS MUST REMAIN UNTIL SUCH TIME THAT A DESIRABLE STAND OF GRASS OR GROUND COVER HAS BEEN ESTABLISHED AND THE PROJECT RECEIVES A FAVORABLE APPROVAL FOR FINAL ACCEPTANCE FROM THE ENGINEER.

**NOTE**

BALED HAY SHALL ONLY BE USED FOR SHORT TERM EROSION CONTROL OF THREE MONTHS OR LESS. PERIMETER EROSION CONTROLS SHALL BE STRAW BALES, SILT FENCE, SILT SOCK OR COMBINATION THEREOF.



ROOF DRAIN OUTLET PROTECTION NOT TO SCALE

**EROSION CONTROL & SOIL STABILIZATION PROGRAM**

- DENUDED SLOPES SHALL NOT BE UNATTENDED OR EXPOSED FOR EXCESSIVE PERIODS OF TIME SUCH AS THE INACTIVE WINTER SEASON.
- ALL DISTURBED SLOPES, EITHER NEWLY CREATED OR EXPOSED PRIOR TO OCTOBER 15, SHALL BE SEEDED OR PROTECTED BY THAT DATE FOR ANY WORK COMPLETED DURING EACH CONSTRUCTION YEAR.
- THE TOP SOIL SHALL HAVE A SANDY LOAM TEXTURE RELATIVELY FREE OF SUBSOIL MATERIAL, STONES, ROOTS, LUMPS OF SOIL, TREE LIMBS, TRASH OR CONSTRUCTION DEBRIS AND SHALL CONFORM WITH R.I. STANDARD SPECIFICATION M. 20.
- THE SEED MIX SHALL BE INOCULATED WITHIN 24 HOURS BEFORE MIXING AND PLANTING, WITH APPROPRIATE INOCULUM FOR EACH VARIETY.
- SEEDING SPECIFICATIONS SHALL BE IN ACCORDANCE WITH THE LANDSCAPE ARCHITECT'S PLANS. FOR AREAS NOT DESIGNATED BY THE L.A., THE DESIGN MIX SHALL COMPLY WITH THE FOLLOWING:

**A. MOWED AREA (ALL FLATS OR SLOPES LESS THAN 3:1)**

MIXTURE	% BY WT.	SEEDING DATES
CREeping RED FESCUE	70	APRIL 1-MAY 31
KENTUCKY BLUEGRASS	15	AUG. 15-OCT. 15
COLONIAL BENTGRASS	5	
PERENNIAL RYEGRASS	10	
TOTAL	150 LBS/AC	

**B. UNMOWED AREA OR INFREQUENTLY MOWED (FLAT OR SLOPES GREATER THAN 3:1)**

MIXTURE	% BY WT.	SEEDING DATES
CREeping RED FESCUE	60	APRIL 1-MAY 31
COLONIAL BENTGRASS	5	AUG. 15-OCT. 15
PERENNIAL RYEGRASS	10	
BIRDSEED TREFOIL	15	
TOTAL	150 LBS/AC	

**C. CONSERVATION SEEDING AREAS**

MIXTURE	% BY WT.	SEEDING DATES
SWITCH GRASS	20	APRIL 1-MAY 31
LITTLE BLUE STEM	20	AUG. 15-OCT. 15
PERENNIAL RYEGRASS	20	
WILDFLOWER MIX	20	
HARD FESCUE	20	
TOTAL	60 LBS/AC	

OR NEW ENGLAND CONSERVATION/WILDLIFE MIX (FOR DRY OR WET SITES AS APPROPRIATE) BY NEW ENGLAND WETLAND PLANTS, INC.

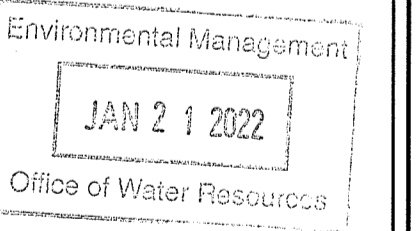
OR NEW ENGLAND EROSION CONTROL/RESTORATION MIX (FOR DRY OR WET SITES AS APPROPRIATE) BY NEW ENGLAND WETLAND PLANTS, INC.

- TEMPORARY TREATMENTS SHALL CONSIST OF A HAY, STRAW, OR FIBER MULCH OR PROTECTIVE COVERS SUCH AS A MAT OR FIBER LINING (BURLAP, JUTE, FIBERGLASS NETTING, EXCELSIOR BLANKETS) THEY SHALL BE INCORPORATED INTO THE WORK AS WARRANTED OR AS ORDERED BY THE ENGINEER.
- HAY OR STRAW APPLICATIONS SHOULD BE IN THE AMOUNT OF 3,000-4,000 LBS/AC.
- ALL STRAW BALES OR TEMPORARY PROTECTION SHALL REMAIN IN PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED. IF NEEDED, TEMPORARY SEEDING CAN HELP TO MINIMIZE EROSION. A TEMPORARY SEEDING GUIDE MUST BE INCLUDED AS A REFERENCE. THE FOLLOWING SPECIES ARE RECOMMENDED:

SPECIES	LBS./1,000 S.F.	LBS./Ac.	SEEDING DATES
ANNUAL RYEGRASS	1.0 - 1.5	40 - 60	3/1 - 6/1
PERENNIAL RYEGRASS	1.0 - 1.5	40 - 60	3/1 - 6/1
SUDAN GRASS	0.7 - 1.0	30 - 40	5/15 - 8/15
MILLET	0.7 - 1.0	30 - 40	5/15 - 6/15
WINTER RYE	3.0	120	4/15 - 6/15

OR RIDOT TEMPORARY SEED MIX AT 75 LBS/AC

- THE CONTRACTOR MUST REPAIR AND/OR RESEED ANY AREAS THAT DO NOT DEVELOP WITHIN THE PERIOD OF ONE YEAR AND HE SHALL DO SO AT NO ADDITIONAL EXPENSE.
- THE NORMAL ACCEPTABLE SEASONAL SEEDING DATES ARE APRIL 1 - OCTOBER 15.
- STABILIZATION OF ONE FORM OR ANOTHER AS DESCRIBED ABOVE SHALL BE ACHIEVED WITHIN 15 DAYS OF FINAL GRADING.
- STOCKPILES OF TOPSOILS SHALL NOT BE LOCATED NEAR WATERWAYS. THEY SHALL HAVE SIDE SLOPES NO GREATER THAN 30% AND STOCKPILES SHALL ALSO BE SEEDED AND/OR STABILIZED.
- ON BOTH STEEP AND LONG SLOPES, CONSIDERATION SHOULD BE GIVEN TO "CRIMPING" OR "TRACKING" TO TACK DOWN MULCH APPLICATIONS.
- REFERENCE THE SEDIMENTATION CONTROL PROGRAM AND ORDER OF PROCEDURE FOR PROPER COORDINATION.



DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS  
AS SPECIFIED IN THE LETTER OF APPROVAL  
DATED MAR - 2 2022 FILE # 22-0003  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
APPROVED PLANS MUST BE AT CONSTRUCTION SIGNATURE

Timothy L. Freeman

**SCITUATE SURVEYS, INC.**  
410 TIQUOE AVENUE  
COVENTRY, R.I. 02916  
LAND SURVEYING/MAPPING/SITE PLANNING  
SCALE IN FEET: 0 30 60 90

ANGELLO M. RAIMONDI  
1762  
PROFESSIONAL  
LAND SURVEYOR  
No. 1762

PLAN SHOWING PROPOSED IMPROVEMENTS & ON-SITE WASTEWATER TREATMENT SYSTEM  
ASSESSOR'S PLAT 43 LOT 151-5  
BYRON RANDALL ROAD AND PECK HILL ROAD  
JOHNSTON, RHODE ISLAND  
PREPARED FOR: ANTONIO GIARRUSSO & FRANCO GIARRUSSO  
DATE: DECEMBER 30, 2021  
SCALE: AS NOTED

PROJECT NO.: SS2973 SHEET 2 OF 2  
DRAWING NO.: SS4860-5