

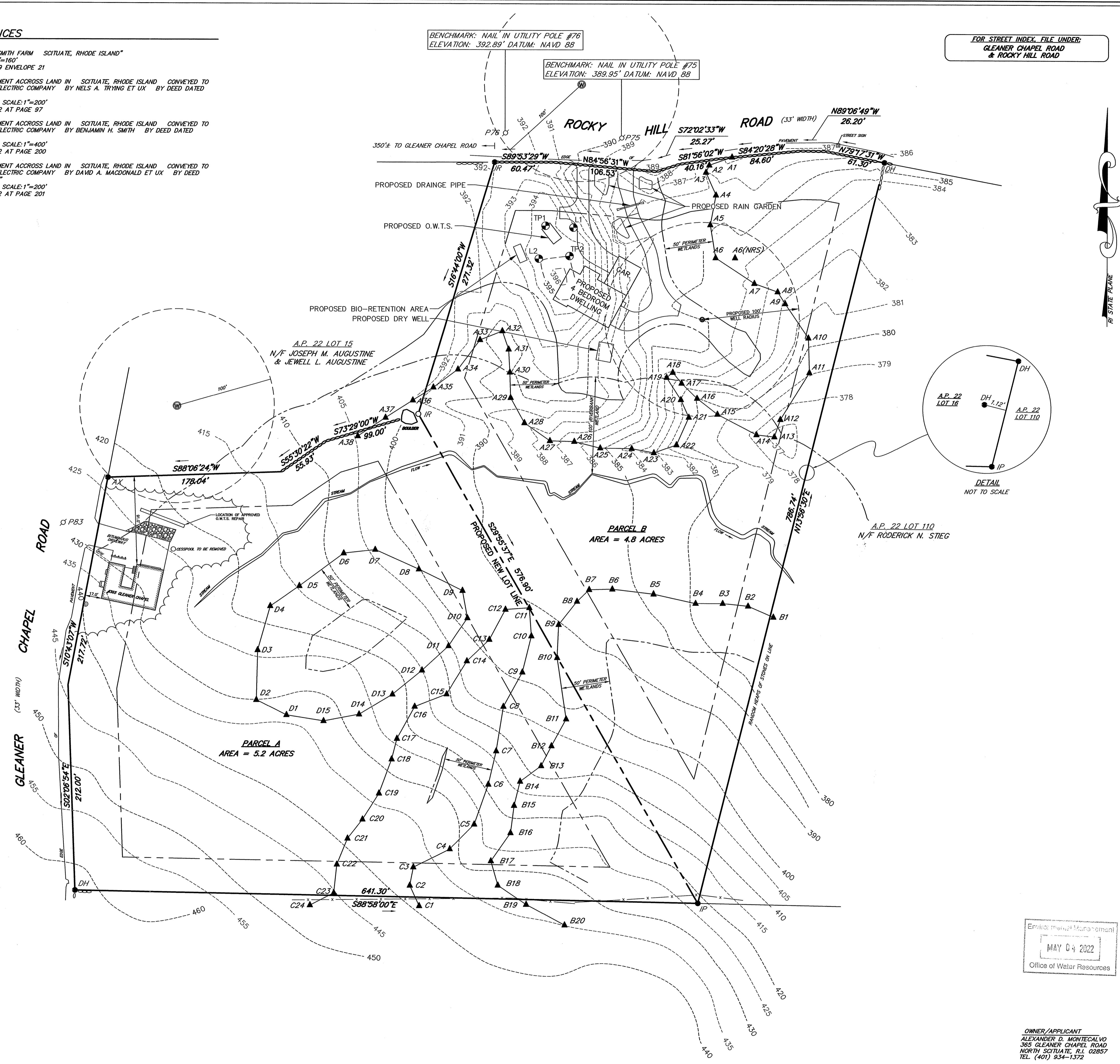
- PLAN REFERENCES**
- "PLAT OF MARTIN S. SMITH FARM SCITUATE, RHODE ISLAND"
DATE: 1914 SCALE: 1"=160'
RECORDED IN BOOK 69 ENVELOPE 21
 - "PLAN SHOWING EASEMENT ACROSS LAND IN SCITUATE, RHODE ISLAND CONVEYED TO THE NARRAGANSETT ELECTRIC COMPANY BY NELS A. TRYING ET UX BY DEED DATED JUNE 16, 1948"
DATE: MAY 20, 1949 SCALE: 1"=200'
RECORDED IN BOOK 62 AT PAGE 97
 - "PLAN SHOWING EASEMENT ACROSS LAND IN SCITUATE, RHODE ISLAND CONVEYED TO THE NARRAGANSETT ELECTRIC COMPANY BY BENJAMIN H. SMITH BY DEED DATED JULY 21, 1948"
DATE: MAY 20, 1949 SCALE: 1"=400'
RECORDED IN BOOK 62 AT PAGE 200
 - "PLAN SHOWING EASEMENT ACROSS LAND IN SCITUATE, RHODE ISLAND CONVEYED TO THE NARRAGANSETT ELECTRIC COMPANY BY DAVID A. MACDONALD ET UX BY DEED DATED JULY 26, 1948"
DATE: MAY 20, 1949 SCALE: 1"=200'
RECORDED IN BOOK 62 AT PAGE 201

- NOTES**
- THE PURPOSE OF THIS PROPOSED MINOR SUBDIVISION IS TO CREATE TWO, APPROXIMATELY EQUAL LOTS, THE FIRST LOT HAVING FRONTAGE ON GLEANER CHAPEL ROAD AND THE SECOND HAVING FRONTAGE ON ROCKY HILL ROAD.
 - OFFSET DIMENSIONS FROM EXISTING BUILDINGS TO LOT LINES ARE EXPRESSED PERPENDICULAR TO THE LOT LINES.
 - NO EXTRAORDINARY OR UNUSUAL NATURAL FEATURES WERE OBSERVED ON THE SUBJECT LOTS. NO CEOMETRIES OR OTHER SIGNIFICANT HISTORICAL FEATURES WERE OBSERVED.
 - THE RIVER SHOWN ON THIS PLAN WAS SURVEY-LOCATED BY SCITUATE SURVEYS, INC. IN APRIL 2021 USING CONVENTIONAL (TOTAL STATION) SURVEY METHODS.
 - THE WETLANDS WERE DELINEATED BY NATURAL RESOURCE SERVICES, INC. OF HARRISVILLE, RI, IN JANUARY 2021. THE FLAGS WERE SURVEY LOCATED BY SCITUATE SURVEYS, INC. IN JANUARY 2021 AND FEBRUARY 2021 USING CONVENTIONAL (TOTAL STATION) SURVEY METHODS.
 - THE PROPERTY IS ENTIRELY WOODED EXCEPT FOR HOUSE #365 AND ALL IMPROVEMENTS ASSOCIATED WITH DWELLING AS SHOWN.
 - PRIVATE WATER AND PRIVATE SEWAGE SYSTEMS CURRENTLY SERVICE THE EXISTING DWELLING AND WILL BE REQUIRED FOR PROPOSED DWELLING.
 - THE SUBJECT LOTS ARE LOCATED IN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN) AS SHOWN ON F.E.M.A. FLOOD INSURANCE RATE MAP NUMBER 4407020200 EFFECTIVE MARCH 2, 2008.
 - THERE ARE NO FORESEEABLE NEGATIVE IMPACTS FROM THIS SUBDIVISION ON THE COMMUNITY, TOWN SERVICES, OR THE ENVIRONMENT.
 - NO EASEMENTS OR RESTRICTIONS ON THE SUBJECT LOT WERE APPARENT IN THE LAND EVIDENCE RECORDS. A TITLE REPORT HAS NOT BEEN PROVIDED.
 - THE TOPOGRAPHY AND ELEVATIONS DEPICTED ON THE SOUTHERLY PORTION OF THE LOT WAS DERIVED FROM THE 2011 NORTHEAST LIDAR PROJECT RHODE ISLAND ELEVATION DATA DERIVATIVES, DOWNLOADED FROM THE RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL MANAGEMENT ENVIRONMENTAL RESOURCE MAP. THE CONTOUR INTERVAL IS 5'.
 - THE TOPOGRAPHY AND ELEVATIONS DEPICTED ON THE NORTHERLY PORTION OF THE LOT ARE FROM AN ON-SITE SURVEY PERFORMED BY SCITUATE SURVEYS IN JANUARY, 2021. THE HORIZONTAL DATUM IS NAD83 AND THE VERTICAL DATUM IS NAVD88. BOTH WERE DERIVED THROUGH THE USE OF GLOBAL POSITIONING TECHNOLOGY. THE CONTOUR INTERVAL IS 1'.

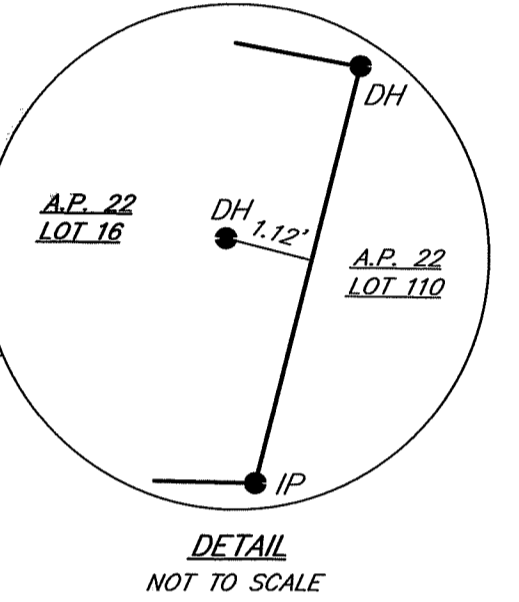
ZONE DATA

ZONE: RESIDENTIAL	RR120
MINIMUM LOT SIZE:	120,000 SQ. FT.
MINIMUM LOT WIDTH/FRONTAGE:	300'
MINIMUM YARD DEPTHS:	
FRONT	50'
SIDE	35'
REAR	60'
MAXIMUM BUILDING COVERAGE:	15%
MAXIMUM BUILDING HEIGHT:	36'

- LEGEND**
- A.P. ASSESSOR'S PLAT
 - N/F NOW OR FORMERLY
 - SPK SPIKE SET
 - DH DRILL HOLE FOUND
 - IP IRON PIPE FOUND
 - IR IRON ROD WITH CAP SET
 - IR IRON ROD FOUND
 - AX AXLE FOUND
 - x WIRE FENCE
 - STONE WALL
 - CONCRETE RETAINING WALL
 - CONCRETE COVER
 - ⊙ WELL
 - ▲ A1 WETLAND DELINEATION FLAG
 - ⊙ PB.3 UTILITY POLE
 - ⊙ TP1 SOIL EVALUATION TEST HOLE
 - ⊙ L1 LEDGE HOLE PIPE



FOR STREET INDEX FILE UNDER:
GLEANER CHAPEL ROAD
& ROCKY HILL ROAD



Environmental Measurement
MAY 04 2022
Office of Water Resources

OWNER/APPLICANT
ALEXANDER D. MONTECALVO
365 GLEANER CHAPEL ROAD
NORTH SCITUATE, RI 02887
TEL. (401) 934-1372

SCITUATE SURVEYS, INC.
410 TIOGUE AVENUE
COVENTRY, RHODE ISLAND 02816
401-821-8101
LAND SURVEYING / MAPPING / SITE PLANNING

GENERALIZATION
THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS OF THE BOARD OF PROFESSIONAL LAND SURVEYORS OF THE STATE OF RHODE ISLAND AS FOLLOWS:
DATE OF BOUNDARY SURVEY: N/A
TYPE OF BOUNDARY SURVEY: NOT A BOUNDARY SURVEY
MEASUREMENT SPECIFICATION: N/A
CLASSIFICATION: N/A
VERTICAL CONTROL: ESTABLISHED N/A
TOPOGRAPHIC SURVEY ACCURACY: 1:3
STATEMENT OF PURPOSE: THIS SURVEY WAS TO CONDUCT A DATA ACCUMULATION SURVEY AND TO COLLECT TOPOGRAPHIC AND WETLAND DATA FOR RECORD AND IMPROVEMENT FOR A DRY FLOOD RETENANCE AND BIO-RETENTION.
ANGLO M. BAIKONDJI, PROFESSIONAL LAND SURVEYOR AND SEAL
IF THIS MAP DOES NOT BEAR AN ORIGINAL SIGNATURE AND "NET" STAMP, THEN IT IS NOT AN AUTHENTICATED RECORD.

ANGLO M. BAIKONDJI
No. 1102
PROFESSIONAL
LAND SURVEYOR

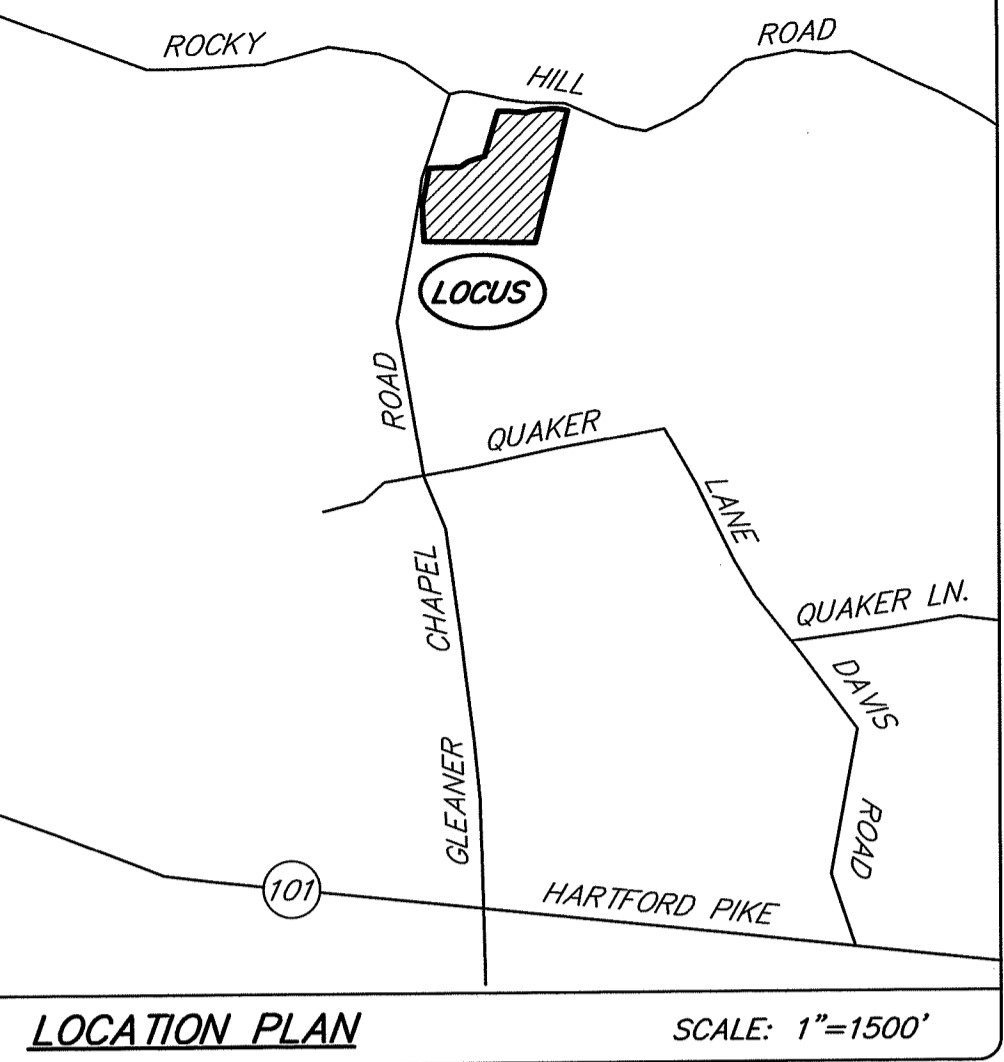
PLAN OF PROPOSED IMPROVEMENTS TO A ON-SITE WASTEWATER TREATMENT SYSTEM
ASSESSOR'S PLAT 22 LOT 16
GLEANER CHAPEL ROAD & ROCKY HILL ROAD
SCITUATE, RHODE ISLAND
PREPARED FOR: JEWELL AUGUSTINE & JON AUGUSTINE
SCALE: 1"=20' DATE: DECEMBER 30, 2021 REVISION: APRIL 28, 2022

GROUNDWATER & LEDGE DEPTH TABLE

TEST PIT	EXISTING GROUND	GROUNDWATER DEPTH	GROUNDWATER ELEVATION	LEDGE DEPTH	LEDGE ELEVATION
1	394.2'	3.0'	391.2'	6.0'	388.5'
2	395.0'	3.0'	392.0'	7.0'	388.0'
L-1	393.2'	3.0'	390.2'	5.0'	388.2'
L-2	394.8'	3.0'	391.8'	4.5'	390.3'

W Walker Engineering, Ltd.
 31 Vale Court
 West Greenwich, RI 02817

PATRICIA K. WALKER
 No. 5331
 REGISTERED PROFESSIONAL ENGINEER



- GENERAL NOTES:**
- THE WETLAND EDGES (SWAMPS) WERE DELINEATED ON JANUARY 5 & 12, 2021 BY NATURAL RESOURCE SERVICES, INC. AND SURVEY LOCATED IN THE FIELD BY SCITUATE SURVEYS, INC. ON JANUARY 11, 2021 & FEBRUARY 12, 2021.
 - SITE IS WITHIN FLOOD HAZARD ZONE X (AREAS OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.) REFERENCE F.I.R.M. MAP PLANES #4402020000 DATED MARCH 02, 2009.
 - TOPOGRAPHY AND ELEVATIONS SHOWN ARE FROM AN ON-SITE SURVEY PERFORMED BETWEEN JANUARY 2021 AND JULY 2021 USING CONVENTIONAL (TOTAL STATION) SURVEY METHODS. THE HORIZONTAL AND VERTICAL DATUMS ARE ASSUMED.
 - EXCEPT WHERE SHOWN THE SITE IS CURRENTLY UNDEVELOPED AND ENTIRELY WOODED.
 - STRAW BALE EROSION CHECK (RI. STANDARD 91.0). SILT FENCE AND/OR SILT SOX SHALL BE INSTALLED PRIOR TO EARTH DISTURBING ACTIVITIES AND SHALL BE MAINTAINED UNTIL ALL DISTURBED AREAS ARE PERMANENTLY STABILIZED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL TEMPORARY SEDIMENTATION AND EROSION CONTROLS.
 - REFER TO APPROVED SUBDIVISION SOIL EVALUATION APPLICATION #2030-1887 DATED MAY 6, 2021.
 - NO WORK IS ALLOWED WITHIN STATE REGULATED WETLANDS EXCEPT AS SPECIFICALLY SHOWN. NO WORK IS PROPOSED IN JURISDICTIONAL WETLANDS.
 - ALL IMPROVEMENTS SHALL BE ACCURATELY LOCATED AND STAKED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 - ALL DISTURBED AREAS SHALL BE STABILIZED WITH 4" LOAM AND SEED OR SOD. PROPOSED SLOPES SHALL BE 3:1 (MAXIMUM).
 - ALL WORK SHALL BE PERFORMED IN STRICT CONFORMANCE WITH THE REQUIREMENTS OF THE R.I.D.E.M. O.W.T.S. AND WETLANDS PERMITS AND IN COMPLIANCE WITH ALL TOWN REGULATIONS.
 - AREAS OUTSIDE OF THE PERMANENT LIMITS OF DISTURBANCE SHALL REMAIN IN A NATURAL UNDISTURBED STATE.
 - ALL STAGES OF O.W.T.S. CONSTRUCTION MUST BE SUPERVISED BY THE SYSTEM DESIGNER.
 - EXISTING UTILITY LOCATIONS ARE APPROXIMATE ONLY. DIG SAFE AND APPROPRIATE UTILITY AUTHORITIES SHALL BE NOTIFIED PRIOR TO ANY CONSTRUCTION FOR ACCURATE UTILITY LOCATIONS.
 - ALL EXCESS SOIL, STUMPS, TREES, ROCKS, BOULDERS AND OTHER REFUSE SHALL BE DISCARDED OFF SITE OUTSIDE OF ALL JURISDICTIONAL WETLANDS UNLESS OTHERWISE SPECIFIED.
 - THERE ARE NO EXISTING OR PROPOSED PUBLIC WATER SUPPLY SOURCES WITHIN 500' OF THE PROPERTY LINE OTHER THAN THOSE SHOWN ON THE PLAN.
 - THERE ARE NO EXISTING OR PROPOSED SEWAGE DISPOSAL SYSTEMS WITHIN 25' OF THE PROPOSED WATER SUPPLY LINE OTHER THAN THOSE SHOWN ON THE PLAN.
 - THERE ARE NO EXISTING OR PROPOSED INDIVIDUAL WATER SUPPLIES WITHIN 200' OF THE PROPOSED ON-SITE WASTEWATER TREATMENT SYSTEM OTHER THAN THOSE SHOWN ON THE PLAN.
 - THE SITE IS WITHIN THE SCITUATE RESERVOIR WATERSHED CRITICAL RESOURCE AREA. PER RULE 6.44 C THE SEPARATION DISTANCE TO GROUNDWATER IS REQUIRED TO BE 4' WHEN SOIL CATEGORIES 1, 2, 3, 4, AND 6 ARE ENCOUNTERED.
 - THE OWNER CONSTRUCTED DRAINAGE SWALES AND INSTALLED A DRAINAGE PIPE TO CONNECT THEM WITHOUT PRIOR APPROVAL. UPON DEM'S FIELD VISIT IT WAS DETERMINED THAT THE NEWLY ADDED ELEMENTS NOW CLASSIFIED THE LOCATION AS AN AREA SUBJECT TO STORMWATER FLOWAGE (ASSF). SEE DEM COMMENT #4. THE SWALES AND PIPE HAVE BEEN REDESIGNED TO REFLECT THE NEW CLASSIFICATION. SEE SHEET 4 & 5 FOR DETAILS.

DRY WELL TABLE (1,749/3,506 S.F. OF ROOF)		BIO-RETENTION BASIN TABLE (1,757/3,506 S.F. OF ROOF)	
PROPOSED FEATURE	ELEVATION	FEATURE	ELEVATION AREA
GROUND AT ROOF DRAIN	389.75'	TOP OF BERM	394.8' 336 S.F.
GROUND AT DRY WELL	389.5'	OVERFLOW WEIR	394.3' 231 S.F.
TOP OF DRY WELL	388.5'	TOP OF MULCH	393.8' 144 S.F.
BOTTOM OF DRY WELL	387.5'	RD OUTLET INV.	393.8'
S.H.W.T. IN AREA	384.5'	S.H.W.T.	391.8'

- PERIMETER WETLAND RESTORATION NOTES:**
- ALL FILL PILES, WOOD AND STONE PILES SHALL BE REMOVED.
 - AREAS WITH EXPOSED OR DISTURBED SOIL SHALL BE SEEDED WITH A NORTHEAST WILDLIFE CONSERVATION MIX AND MULCHED WITH A THIN LAYER OF LOOSE STRAW.
 - ALL IDENTIFIED RESTORATION AREAS SHALL BE PLANTED WITH AN EQUAL DISTRIBUTION OF THE FOLLOWING SHRUBS:
 HICHLUSH BLUEBERRY (*Vaccinium Corymbosum*)
 WINTERBERRY (*Ilex Verticillata*)
 - ALL SHRUBS SHALL BE 3 FT HIGH AFTER PLANTING. SPACING SHALL BE 3 FT ON-CENTER.
 - THE RESTORATION AREAS SHALL BE WATERED AS NEEDED THROUGHOUT THE FIRST GROWING SEASON TO ENSURE SHRUB SURVIVAL.
 - THE RESTORATION AREAS SHALL BE ALLOWED TO REVERT TO A WILD CONDITION.

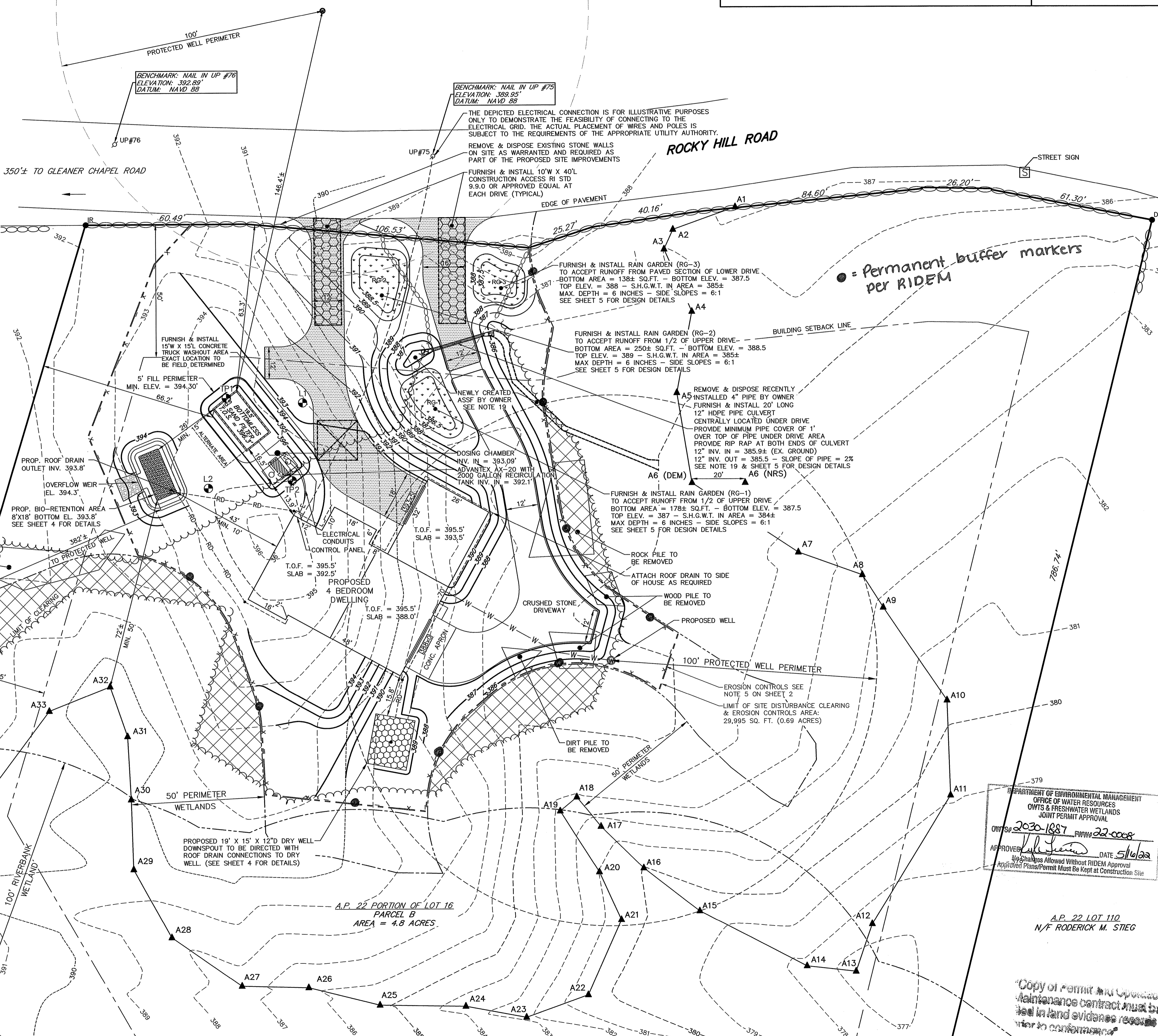
DESIGN CRITERIA-BSF

4 BEDROOMS - CLASS B SOIL - SOIL CATEGORY 6 - DESIGN ELEVATION 395.00±
 SEWAGE FLOW = 115 GALLONS PER BEDROOM UNIT PER DAY
 PERCOLATION RATE = 2.3 GALLONS/SQ.FT./DAY

TOTAL DAILY FLOW (115 GALLONS/BEDROOM/DAY X 4 BEDROOMS) = 460 GALLONS/DAY

MINIMUM AREA REQUIRED FOR BOTTOMLESS SAND FILTER: 230 SQ.FT. PER DAY PER BED
 AREA PROVIDED FOR BOTTOMLESS SAND FILTER: 10.5' X 18.5' = 204.75 SQ.FT. LEACH FIELD

- LEGEND**
- A.P. ASSESSOR'S PLAT
 - N/F NOW OR FORMERLY
 - SQ. FT. SQUARE FEET
 - OH DRILL HOLE SET
 - OH DRILL HOLE FOUND
 - IP IRON PIPE SET
 - IP IRON PIPE FOUND
 - IR IRON ROD FOUND
 - IR IRON ROD WITH SURVEY CAP SET
 - TL TREE LINE
 - 12" D/MAPLE TREE
 - SR STONE RETAINING WALL
 - W WELL
 - WELL SOIL EVALUATION TEST HOLE
 - W1 WETLAND DELINEATION FLAG (FORESTED WETLAND)
 - SPOT ELEVATION
 - 394.4 MAJOR ELEVATION CONTOUR
 - 394.0 MINOR ELEVATION CONTOUR
 - 393.8 PROPOSED SPOT ELEVATION
 - 393.0 PROPOSED ELEVATION CONTOUR
 - W PROPOSED WATER LINE
 - PROPOSED LIMIT OF DISTURBANCE
 - PROPOSED EROSION CONTROL
 - STONEWALL
 - 50' PERIMETER WETLAND TO BE RESTORED
 - PAVED DRIVEWAY (PREVIOUS SURFACE)



SCITUATE SURVEYS, INC.
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 LAND SURVEYING/MAPPING/SITE PLANNING

SCALE IN FEET: 20 10 0 20 40 60

REGISTRATION AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 28, 2018 AS FOLLOWS:

CLASS I
 MEASUREMENT: GEODETIC
 NOT A BOUNDARY SURVEY

CLASS II
 MEASUREMENT: GEODETIC
 TOPOGRAPHIC SURVEY ACCURACY 1/4"

CLASS III
 MEASUREMENT: GEODETIC
 TOPOGRAPHIC SURVEY ACCURACY 1/8"

STATEMENT OF GUARANTEE
 THE PURPOSE OF THIS SURVEY WAS TO CONDUCT A DATA ACCUMULATION SURVEY AND TO COLLECT TOPOGRAPHIC AND PHYSICAL FEATURE LOCATION DATA FOR DESIGN OF SITE IMPROVEMENTS FOR A JOINT R.I.D.E.M. WETLANDS AND ASSF PERMIT.

ANGIE M. RAIMONDI
 No. 1162
 PROFESSIONAL LAND SURVEYOR

ADDRESS AND COMMENTS

DATE: 04/28/22

PLAN OF PROPOSED IMPROVEMENTS TO & ON-SITE WASTEWATER TREATMENT SYSTEM

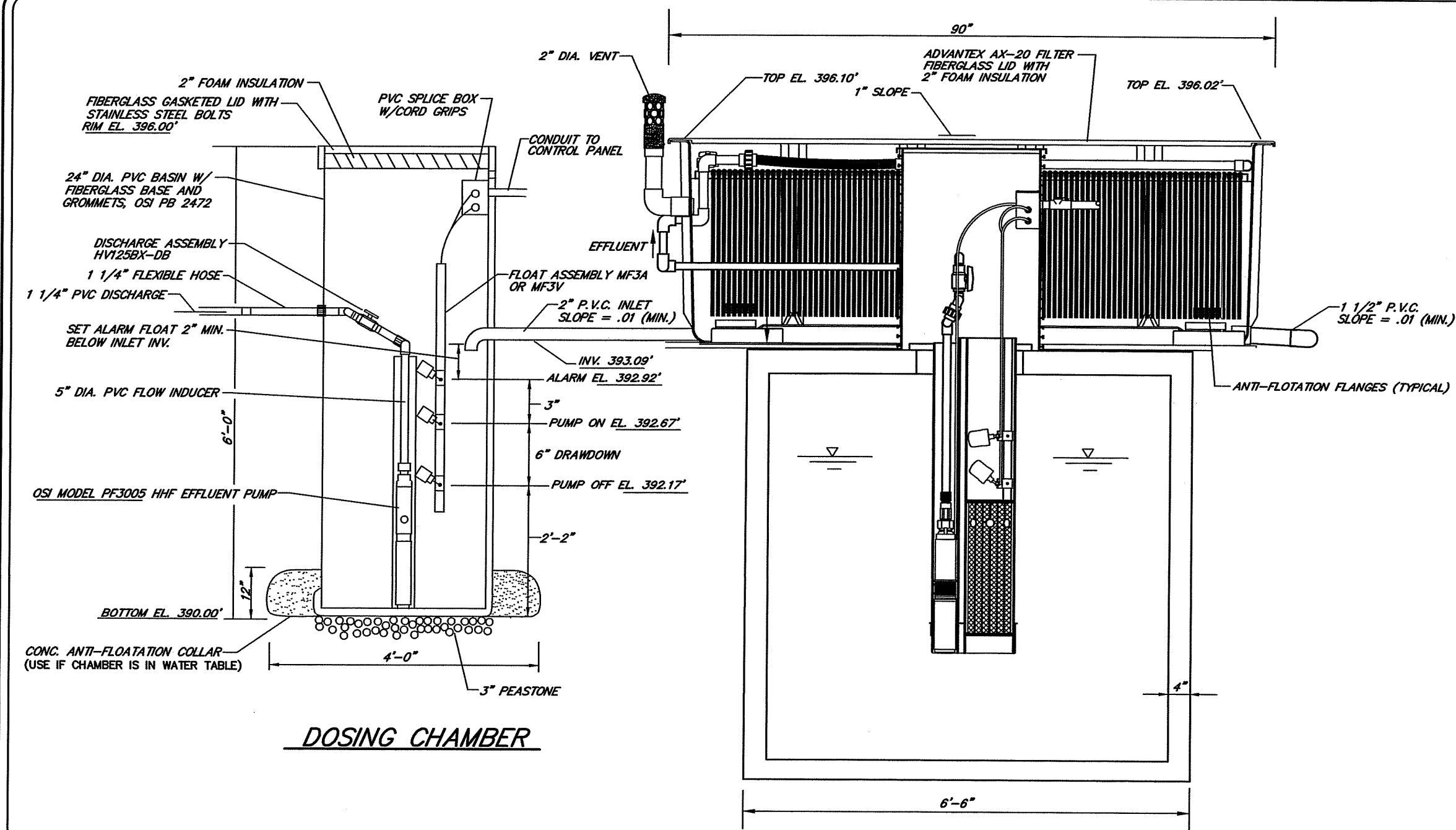
ASSESSOR'S PLAT 22 LOT 16

GLEANER CHAPEL ROAD & ROCKY HILL ROAD
 SCITUATE, RHODE ISLAND

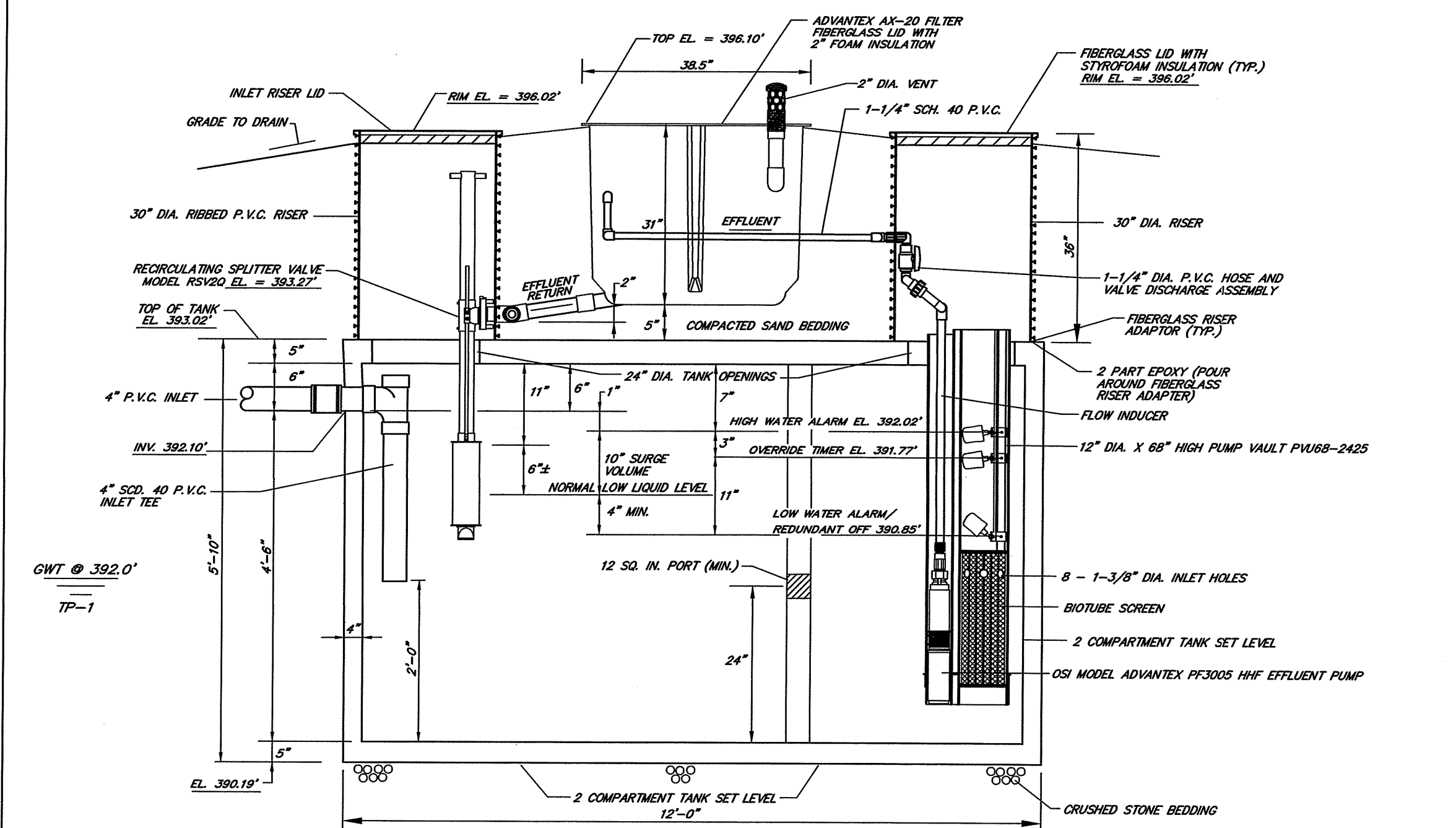
PREPARED FOR: JEWELL AUGUSTINE & JON AUGUSTINE

DATE: 04/28/22 REVISION: APRIL 28, 2022

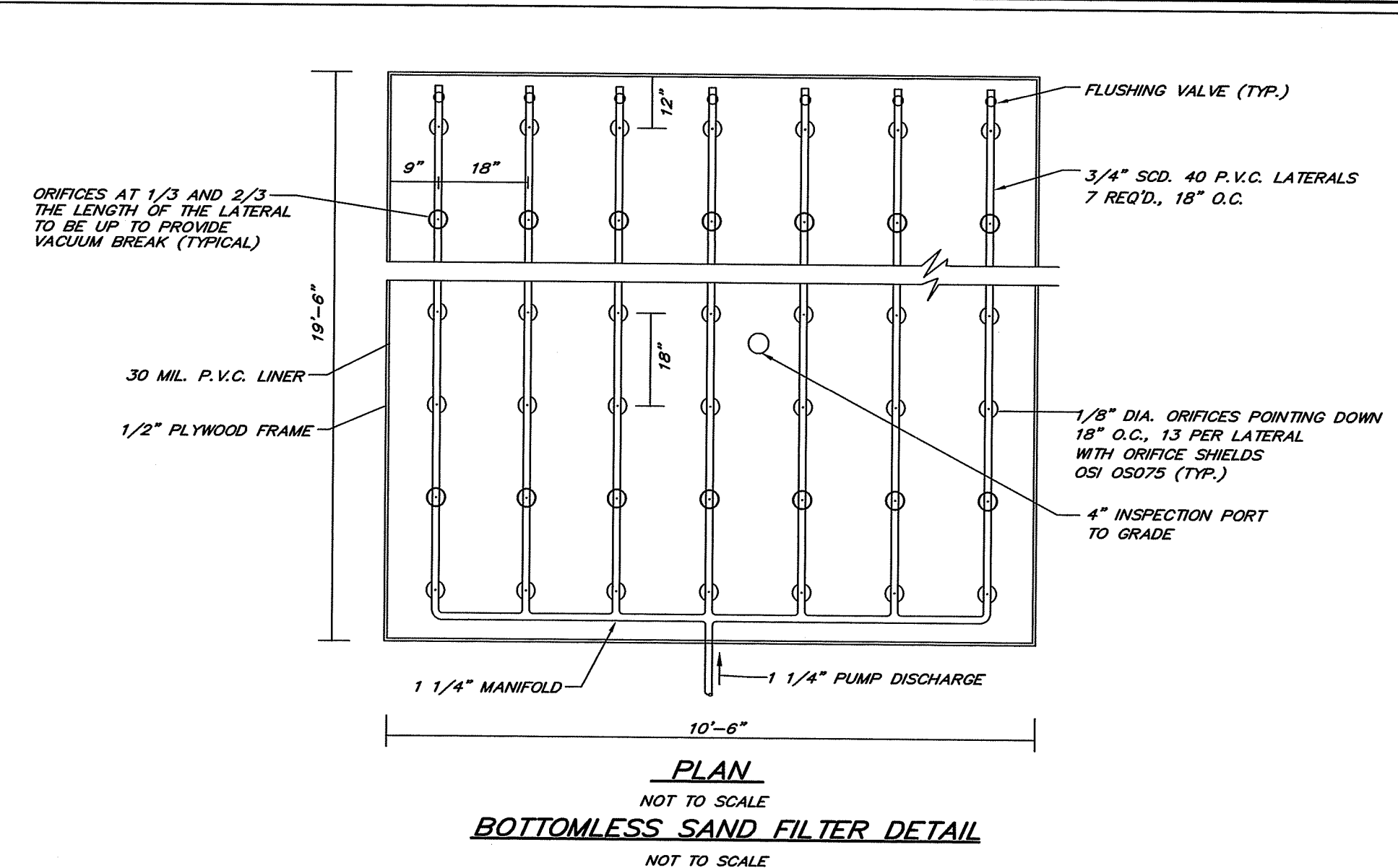
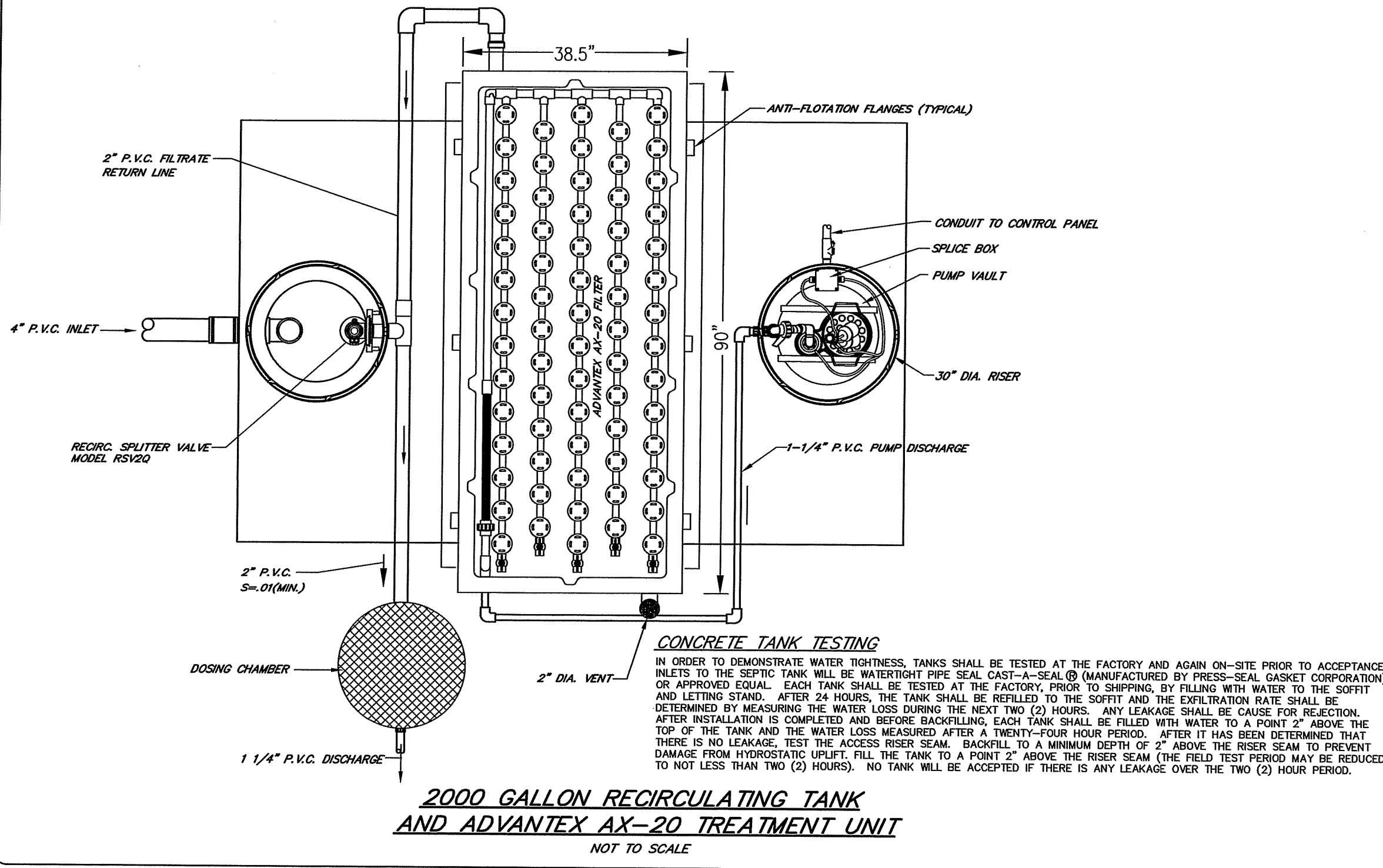
PROJECT NO.: SS2988 SHEET 2 OF 5
 DRAWING NO.: SS4876



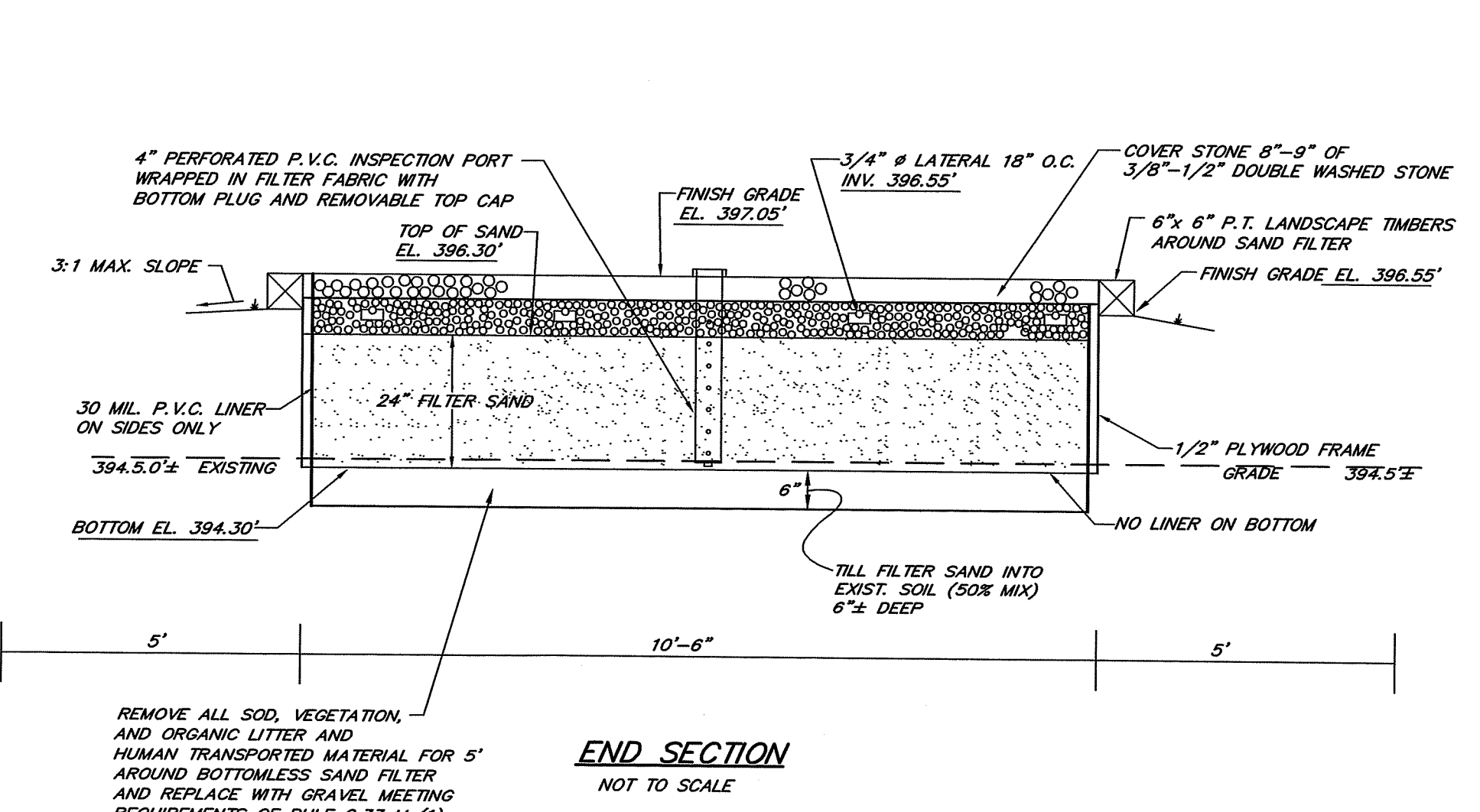
DOSING CHAMBER



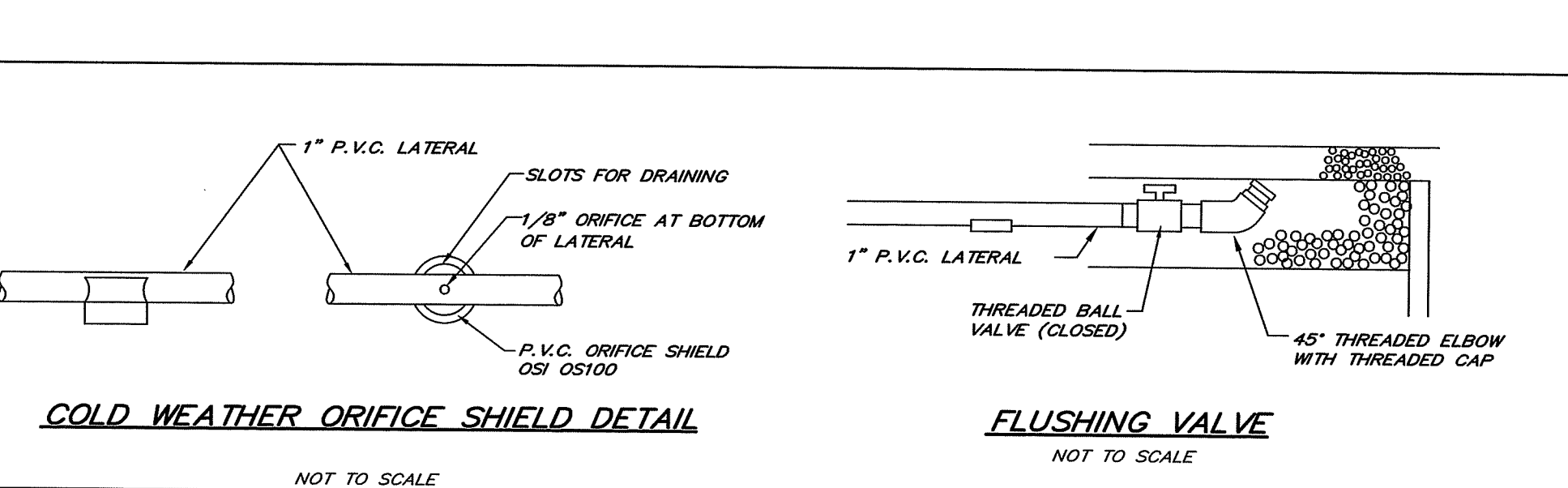
2000 GALLON RECIRCULATING TANK AND ADVANTEX AX-20 TREATMENT UNIT
NOT TO SCALE



BOTTOMLESS SAND FILTER DETAIL
NOT TO SCALE

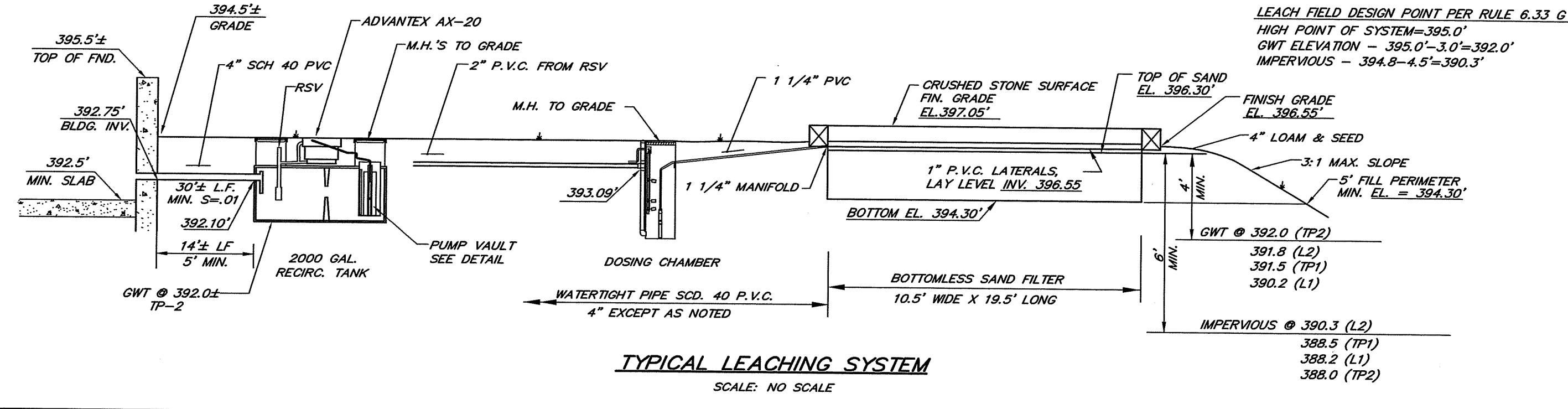


END SECTION
NOT TO SCALE



COLD WEATHER ORIFICE SHIELD DETAIL
NOT TO SCALE

FLUSHING VALVE
NOT TO SCALE



TYPICAL LEACHING SYSTEM
SCALE: NO SCALE

DESIGN AND CONSTRUCTION NOTES:

- ALL WORK SHALL CONFORM TO THE RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL MANAGEMENT RULES AND REGULATIONS, AS AMENDED.
- THE TOP OF FOUNDATION ELEVATION SHOWN HAS BEEN DESIGNED FOR O.M.T.S. PURPOSES ONLY. THE OWNER AND/OR CONTRACTOR IS ADVISED TO DETERMINE WHETHER THE BASEMENT FLOOR OF THE PROPOSED DWELLING IS AT OR BELOW THE GROUND WATER TABLE AND, IF SO, RAISE THE FOUNDATION ACCORDINGLY.
- THE CONTRACTOR SHALL NOTIFY THE DESIGNER OF ANY PROPOSED DEVIATIONS FROM THIS SITE PLAN. THE DESIGNER SHALL PERFORM ALL NECESSARY INSPECTIONS, BOTH DURING AND AFTER INSTALLATION, BEFORE ANY COMPONENT OF THE SYSTEM IS COVERED.
- THE PROPERTY BOUNDARIES SHOWN HEREON HAVE BEEN COMPILED FROM MAPS, DEEDS, AND OTHER SOURCES OF INFORMATION AND ARE SUBJECT TO SUCH MODIFICATIONS AS AN ACTUAL BOUNDARY SURVEY MAY DISCLOSE TO THE EXTENT THAT SUCH BOUNDARIES ARE CRITICAL TO THE O.M.T.S. LOCATION THEY MUST BE ESTABLISHED PRIOR TO CONSTRUCTION.
- ALL TREES, STAMPS, AND BRUSH WITHIN A 5' PERIMETER OF THE SYSTEM SHALL BE CLEARED.
- THE EXCAVATION SHALL BE LEVEL AND SCAFFLED.
- ALL TOPSOIL AND SUBSOIL WITHIN A 5' PERIMETER OF THE SYSTEM SHALL BE STRIPPED AND BACKFILLED WITH CLEAN, COARSE GRAVEL. EXCAVATION INTO IMPERVIOUS MATERIAL IS PROHIBITED UNLESS OTHERWISE APPROVED BY THE DIRECTOR.
- MAINTAIN TRENCH INVERT ELEVATION FOR 5' BEYOND THE PERIMETER OF THE LEACHING FIELD. THE ADJACENT SIDE SLOPE SHALL NOT BE STEEPER THAN 3:1 FOR A 25' MIN. DISTANCE FROM THE EDGE OF LEACH FIELD. MAINTAIN 5' TO PROPERTY LINE FROM 12" OF 3:1 SIDE SLOPE.
- INSTALL CAST IRON PIPE OR EQUIVALENT FROM THE FOUNDATION TO THE SEPTIC TANK. ALL OTHER PIPES MUST BE SDR 35 P.V.C. OR EQUIVALENT.
- SUBSURFACE DRAINAGE AND WATER SUPPLY LINE TO BE INSTALLED IN CONFORMANCE WITH DISTANCES SPECIFIED IN TABLE 6.2.3.B.
- ALL KNOWN EXISTING AND PROPOSED PUBLIC WATER SUPPLY WELLS WITHIN 500' OF THE SYSTEM ARE SHOWN. ALL KNOWN EXISTING AND PROPOSED PRIVATE WELLS WITHIN 200' OF THE SYSTEM ARE SHOWN. ALL KNOWN EXISTING AND PROPOSED SEPTIC SYSTEMS WITHIN 100' OF THE WELL ARE SHOWN.
- ALL WORK MUST CONFORM TO THE REQUIREMENTS OF OTHER EXISTING PERMITS, IF ANY.
- WITH RESPECT TO MUNICIPAL ZONING REQUIREMENTS, THE DESIGNER HAS MADE A REASONABLE EFFORT TO ASCERTAIN THE APPLICABLE DIMENSIONAL SETBACKS AND OTHER CONSTRAINTS TO DEVELOPMENT. DUE, HOWEVER, TO THE POSSIBILITY OF UNRECORDED VARIANCES, NON-COMFORMING USES, AND OTHER RELEVANT DOCUMENTS, IT REMAINS THE RESPONSIBILITY OF THE OWNER TO VERIFY THAT THIS DESIGN SATISFIES LOCAL CODES.
- ALL STAGES OF CONSTRUCTION MUST BE SUPERVISED BY THE DESIGNER OR RECORD. UNLESS WAIVED BY THE DESIGNER, ALL IMPROVEMENTS MUST BE STAMPED BY THE DESIGNER OR HIS AGENTS PRIOR TO CONSTRUCTION. THESE INCLUDE THE O.M.T.S., FOUNDATION, WELL, EROSION CONTROLS, CLEARING LIMITS AND ANY OTHER FEATURES DEEMED CRITICAL TO THE DESIGN.

ADVANTEX AX-20 NOTES

- SEPTIC TANK SHALL BE 2000 GALLON TWO COMPARTMENT PRECAST CONCRETE TANK TESTED AND CERTIFIED WATER TIGHT BY THE MANUFACTURER.
- PUMP VAULT SHALL BE ORENCO SYSTEMS MODEL PVJ 57-2419 BIOTUBE PUMP VAULT.
- EFFLUENT PUMP SHALL BE ORENCO SYSTEMS MODEL PF3005 HHF.
- DISCHARGE ASSEMBLY SHALL BE ORENCO SYSTEMS MODEL HV125 BX-DB.
- FLOAT ASSEMBLY SHALL BE ORENCO SYSTEMS MODEL MF3A OR MF3V.
- RECIRCULATING SPLITTER VALVE SHALL BE ORENCO RSV20.
- CONTROL PANEL AND ALARM SHALL BE ORENCO SYSTEMS MODEL VCOM-AXB1-HT WITH ELAPSED TIME METER, EVENT COUNTER AND PROGRAMMABLE TIMER OPTIONS.
- P.V.C. RISER MANHOLES SHALL BE ORENCO SYSTEMS MODEL RR24 AND RR30 RISERS, MODEL FL24-G AND FL30-G LIDS WITH 2" FOAM INSULATION AND MODEL PRTA24 AND PRTA30 TANK ADAPTERS.
- RECIRCULATING SPLITTER VALVE AND ADVANTEX AX-20 SHALL BE SUPPLIED BY ORENCO SYSTEMS.
- ALL COMPONENTS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND THESE PLANS.
- PROGRAMMABLE TIMER SHALL BE SET FOR PUMP ON TIME OF 25 SECONDS AND PUMP OFF TIME OF 15.5 MINUTES.
- HIGH WATER TIMER OVERRIDE SETTINGS SHALL BE : PUMP ON : 25 SEC. PUMP OFF : 7.5 MIN.
- ALL COMPONENTS AND INSTALLATION MUST BE INSPECTED AND APPROVED BY SCITUATE SURVEYS, INC. ANY COMPONENT SUBSTITUTION MUST BE PRE-APPROVED BY SCITUATE SURVEYS, INC.
- THE CONTROL PANEL, SPLITTER VALVE AND PUMP FLOATS SHALL BE SET BY THE DESIGNATED REPRESENTATIVE OF ORENCO SYSTEMS, INC.

MAINTENANCE NOTES

- THE SEPTIC TANK, ADVANTEX SYSTEM, SAND FILTER AND PUMP SYSTEMS SHALL BE INSPECTED AND MAINTAINED AT A MINIMUM TWICE ANNUALLY.
- INSPECTION AND MAINTENANCE SHALL BE PERFORMED IN CONFORMANCE WITH THE PROCEDURES SPECIFIED IN THE SYSTEM OPERATION AND MAINTENANCE MANUAL.
- SAND FILTER AND ADVANTEX PIPING SHALL BE FLUSHED AND CLEANED AS REQUIRED. ORIFICES SHALL BE CHECKED FOR PLUGGING AND SQUIRT HEIGHT MEASURED. SQUIRT HEIGHT SHOULD BE 2" MINIMUM FOR THE BOTTOMLESS SAND FILTER AND 5" MIN. FOR THE ADVANTEX.
- PUMP VAULT SCREEN SHALL BE RAISED AND CLEANED BY FLUSHING WITH A HOSE INTO THE TANK.
- PUMP, FLOAT ASSEMBLY AND CONTROL PANEL SHALL BE CHECKED FOR PROPER OPERATION AND CYCLE TIMING.
- DATE, ELAPSED TIME AND EVENT COUNTER METER READINGS SHALL BE RECORDED. AVERAGE DAILY PUMP RUNS SHALL BE CALCULATED AND CHECKED FOR CONFORMANCE TO DESIGN PROGRAM. TIMER ADJUSTMENTS SHALL BE MADE AS REQUIRED.
- SCUM AND SLUDGE DEPTHS IN THE TANK SHALL BE MEASURED AND RECORDED ANNUALLY. THE TANK SHALL BE PUMPED IF THE SCUM DEPTH EXCEEDS 6" OR THE SLUDGE DEPTH EXCEEDS 12".
- ALL MAINTENANCE SHALL BE PERFORMED BY A QUALIFIED SAND FILTER AND ADVANTEX MAINTENANCE CONTRACTOR.

BOTTOMLESS SAND FILTER NOTES

- ALL DISTRIBUTION PIPING AND FITTINGS SHALL BE SCD. 40 P.V.C. PRESSURE PIPE OR EQUAL.
- PEA STONE SHALL BE ROUND WASHED STONE WITH A DIAMETER OF 3/8" TO 1/2" CONTAINING NO FINES.
- FILTER SAND SHALL BE ASTM C-33 SAND WITH AN EFFECTIVE SIZE (D10) OF 0.3 mm AND A UNIFORMITY COEFFICIENT (Cu) BETWEEN 3.0 AND 4.0.
- FILTER SAND SHALL BE SIEVE TESTED AND CERTIFIED PRIOR TO DELIVERY TO THE SITE.
- FILTER SAND SHALL BE PLACED DUMP IN 6" LIFTS AND LIGHTLY COMPACTED.
- FILTER FABRIC SHALL BE A LIGHTWEIGHT NON-WOVEN FABRIC. COVER STONE SHALL BE ROUND COVER WASHED STONE WITH A DIAMETER OF 3/8" TO 1/2" CONTAINING NO FINES.
- ORIFICE SHIELDS TO BE UP AT 1/3 AND 2/3 POINTS TO PROVIDE VACUUM BREAK.
- DOSING CHAMBER PUMP SHALL BE ORENCO MODEL 3005.
- REFERENCE THE R.I.D.E.M. NOV. 2013 GUIDELINES FOR THE DESIGN AND USE OF BOTTOMLESS SAND FILTERS FOR INSTALLATION PROCEDURES.
- ALL MATERIALS AND COMPONENTS MUST BE INSPECTED AND APPROVED BY SCITUATE SURVEYS, INC. AT THE SITE PRIOR TO INSTALLATION.

DESIGN FLOW

4 BEDROOMS X 115 GPD/BEDROOM = 460 GPD (MAXIMUM DAILY FLOW)
AVERAGE DAILY FLOW: 5 PERSONS X 60 GPD/PERSON = 300 GPD

INFLUENT CHARACTERISTICS

CHARACTERISTIC	AVERAGE (mg/l)	WEEKLY PEAK (mg/l)	RARELY EXCEEDS (mg/l)
BOD	150	250	500
TSS	40	75	150
TKN	65	75	150
FOG	20	25	30

ORENCO DISTRIBUTOR
ATLANTIC SOLUTIONS, INC.
2417 EAST MAIN ROAD
PORTSMOUTH, R.I. 02871
401-849-2837

HOLLISTON SAND CO., INC.
TIFT ROAD P.O. BOX 393
SLATERSVILLE, R.I. 02876
401-766-5010

ORENCO DISTRIBUTOR
GREEN WASTEWATER SOLUTIONS
80 KILVERT STREET
WARWICK, R.I. 02886
401-737-7600

ORENCO SYSTEMS, INC.
814 AIRWAY AVE.
SUTHERLIN OR. 97479
800-348-9843

SCITUATE SURVEYS, INC.
410 TIIOGUE AVENUE
COVENTRY, RHODE ISLAND 02816
401-821-8101
LAND SURVEYING/MAPPING/SITE PLANNING

SCALE IN FEET: 0 25 50 100 150

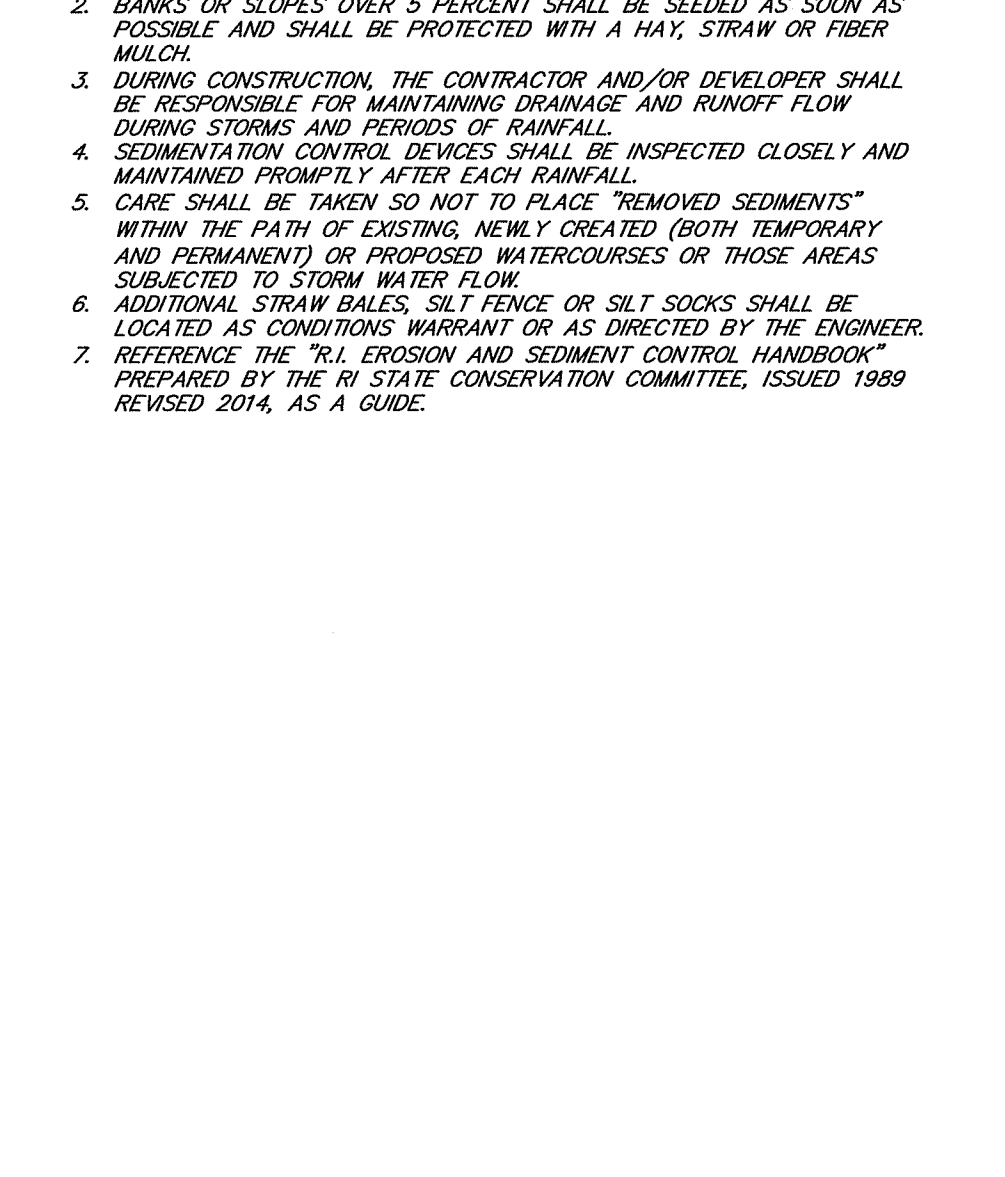
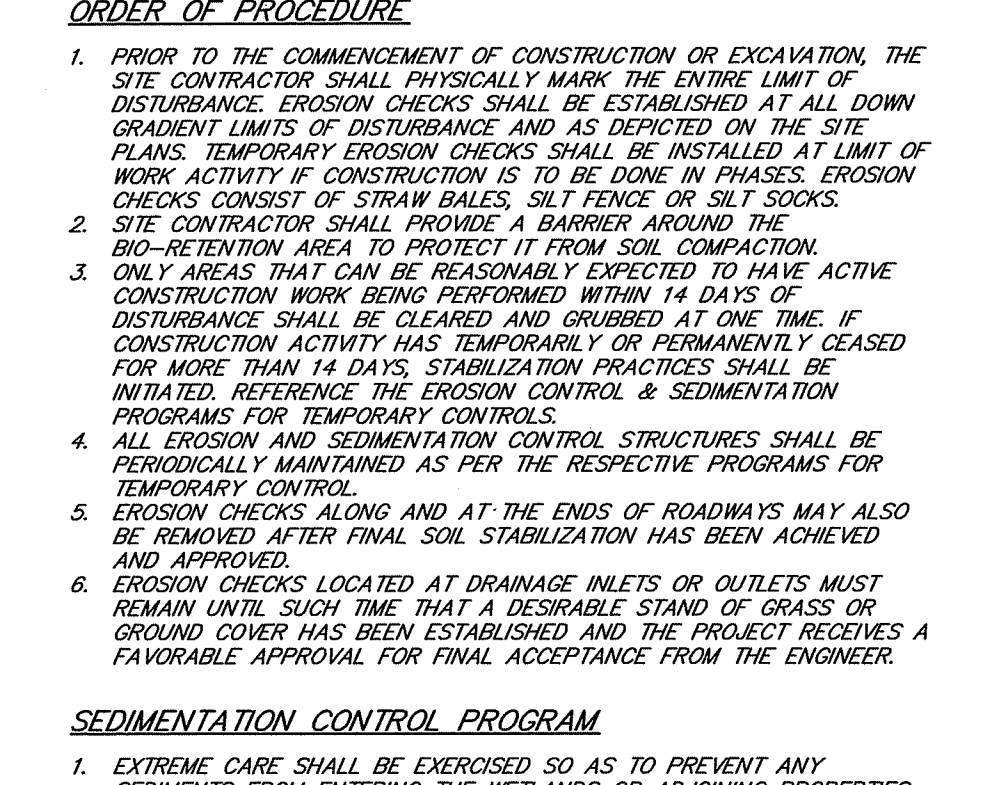
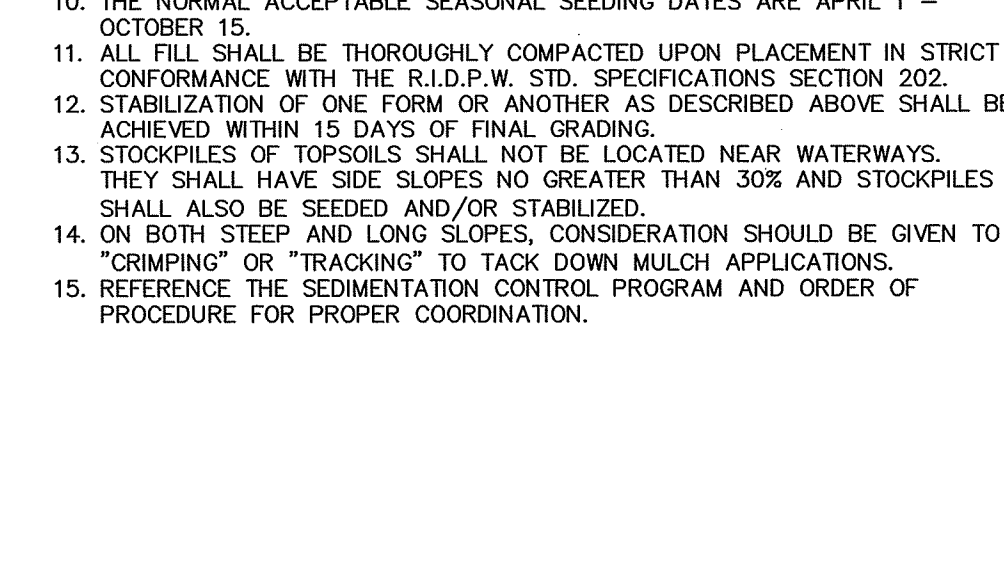
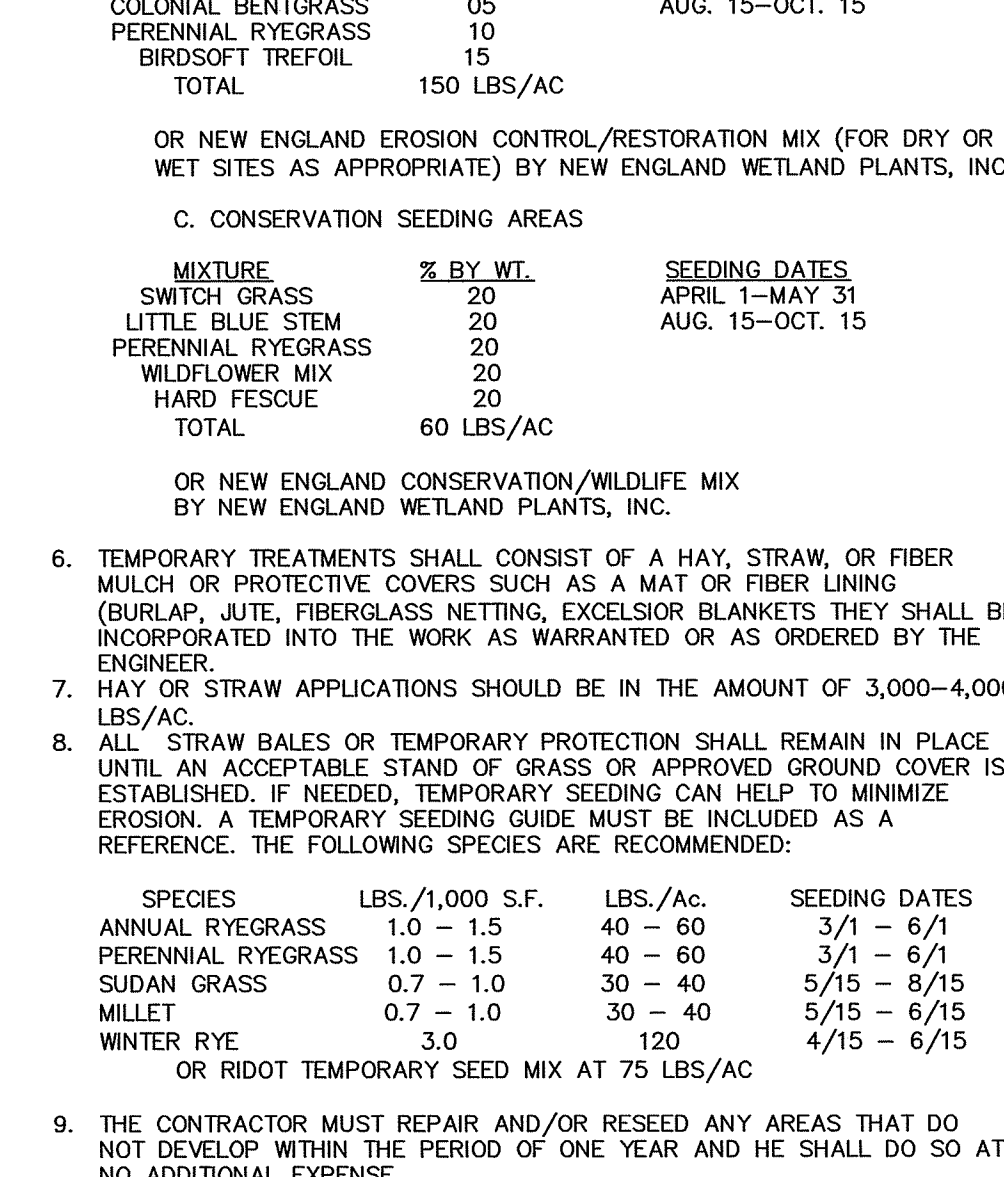
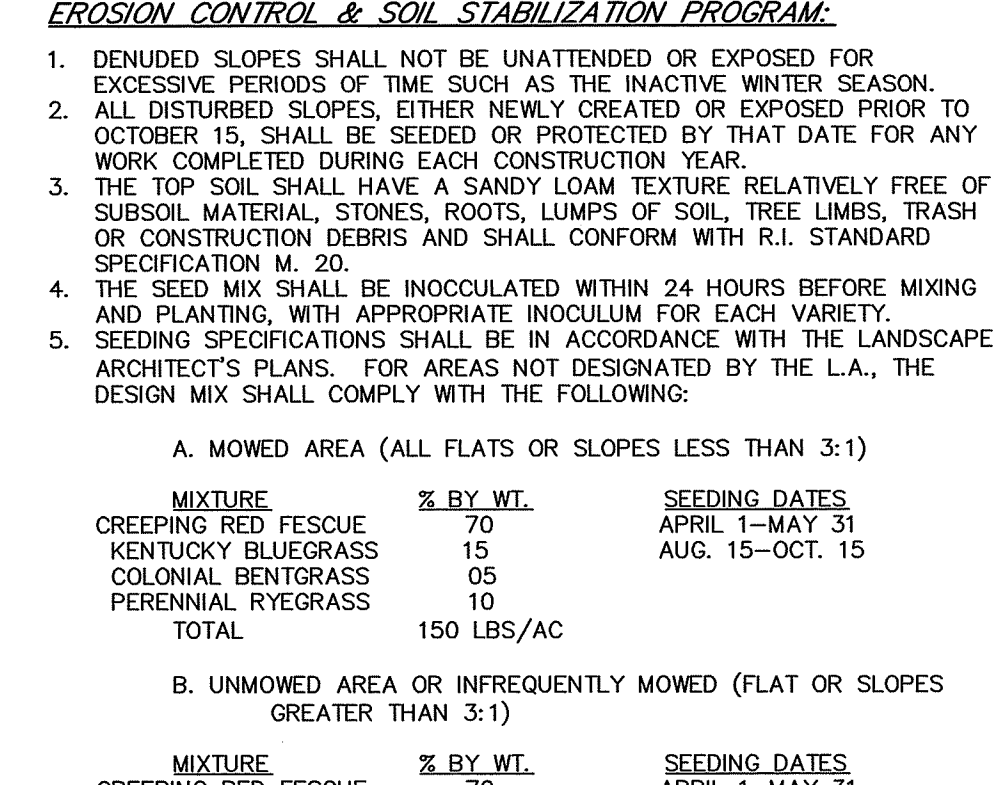
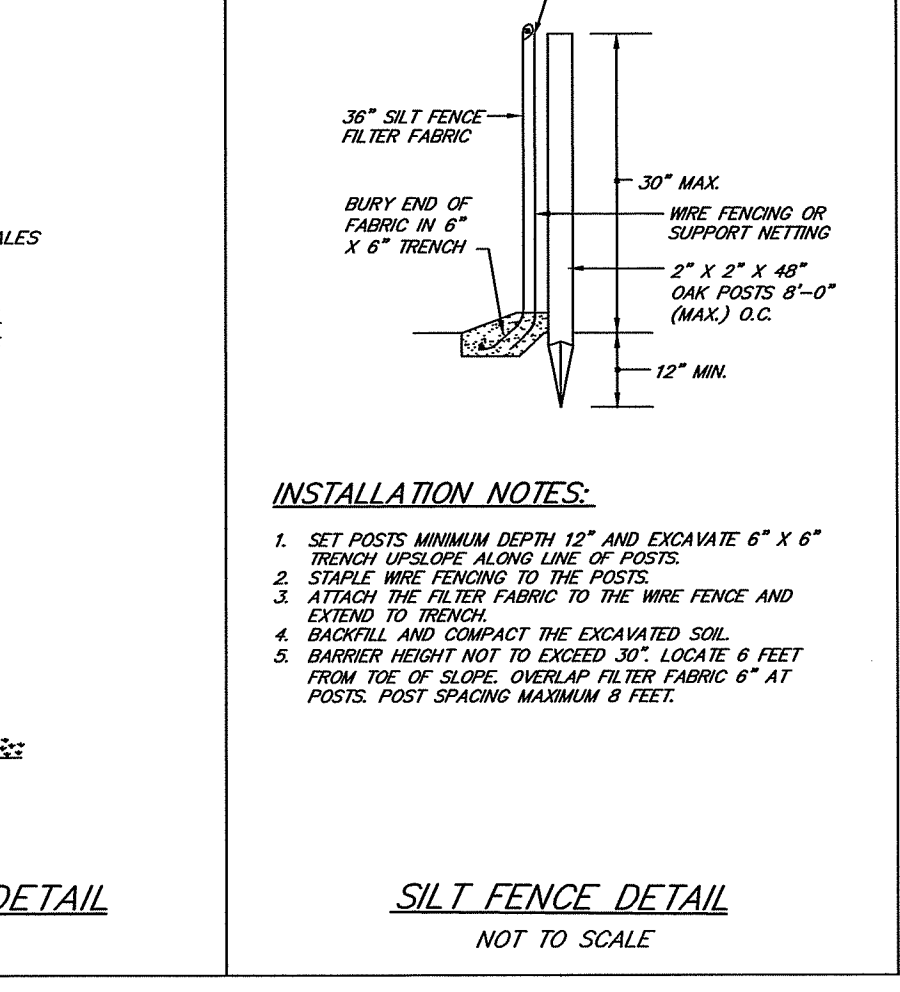
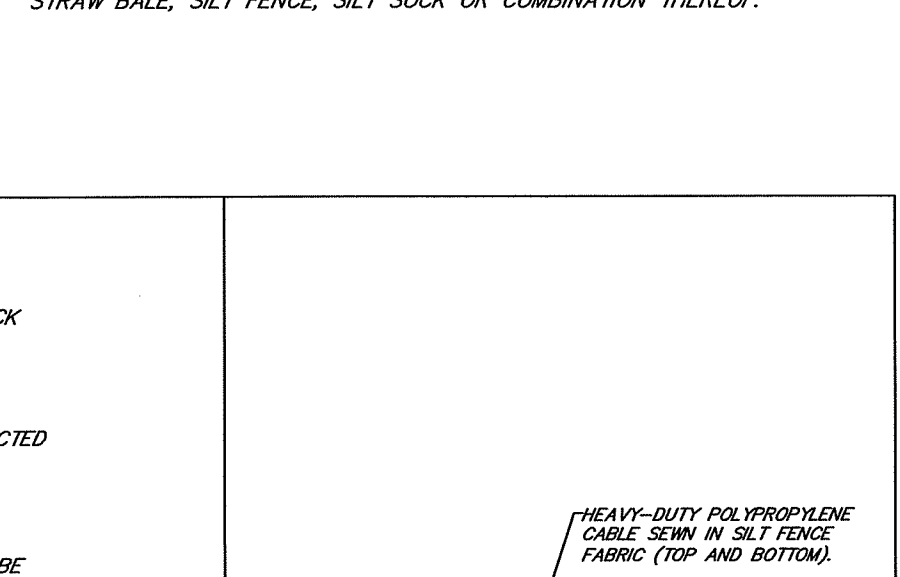
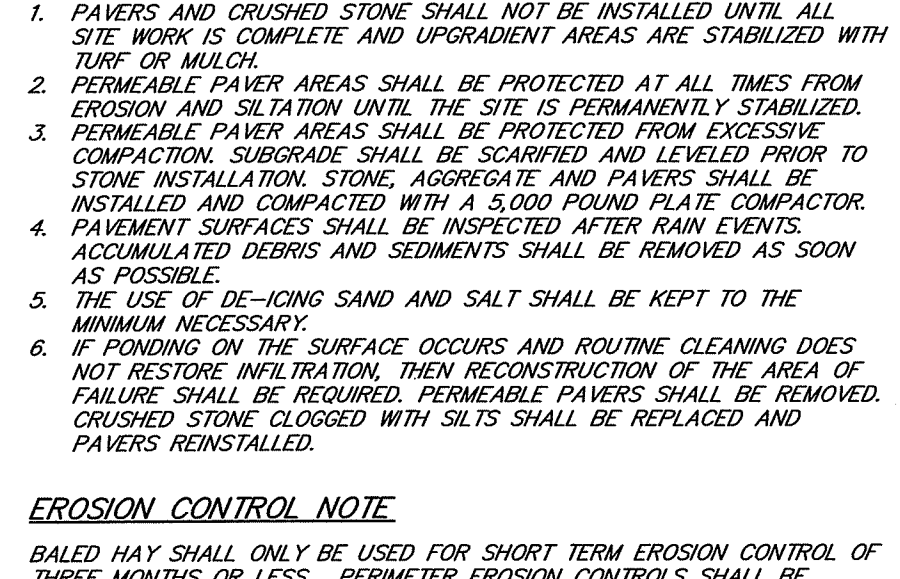
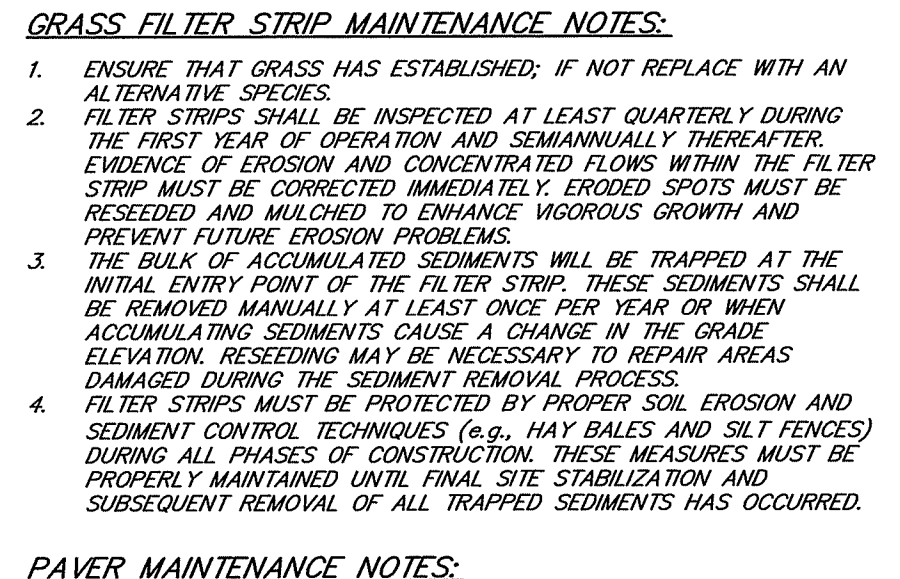
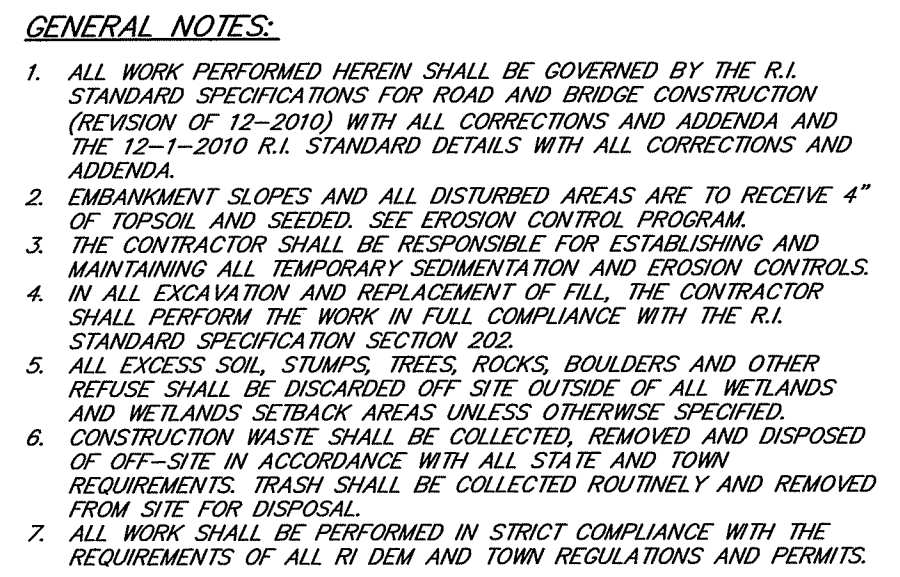
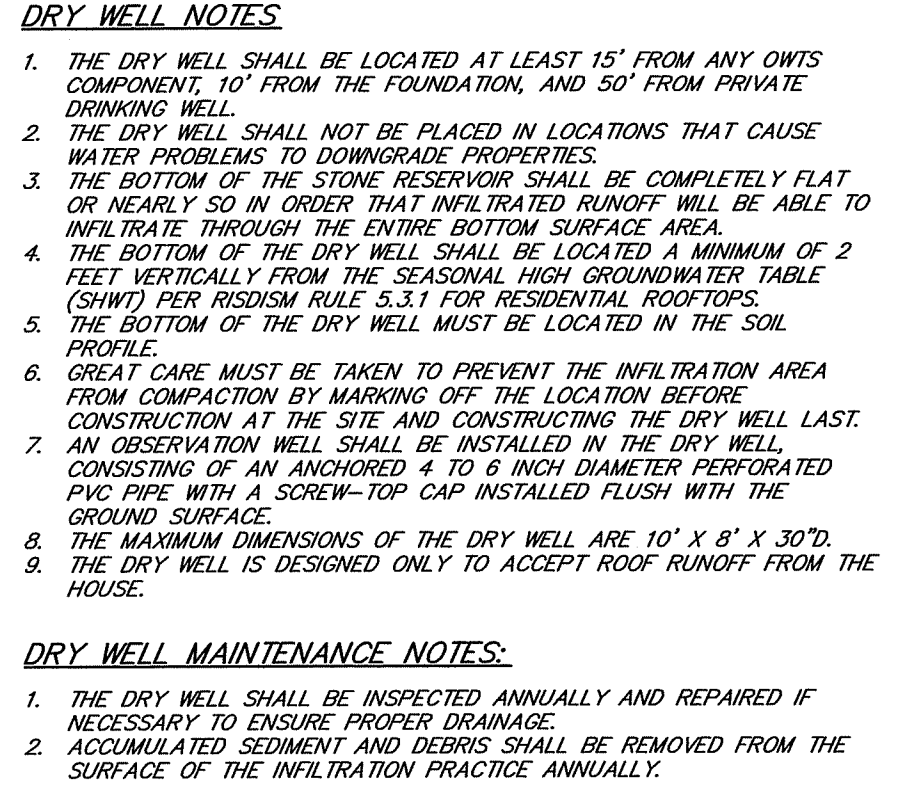
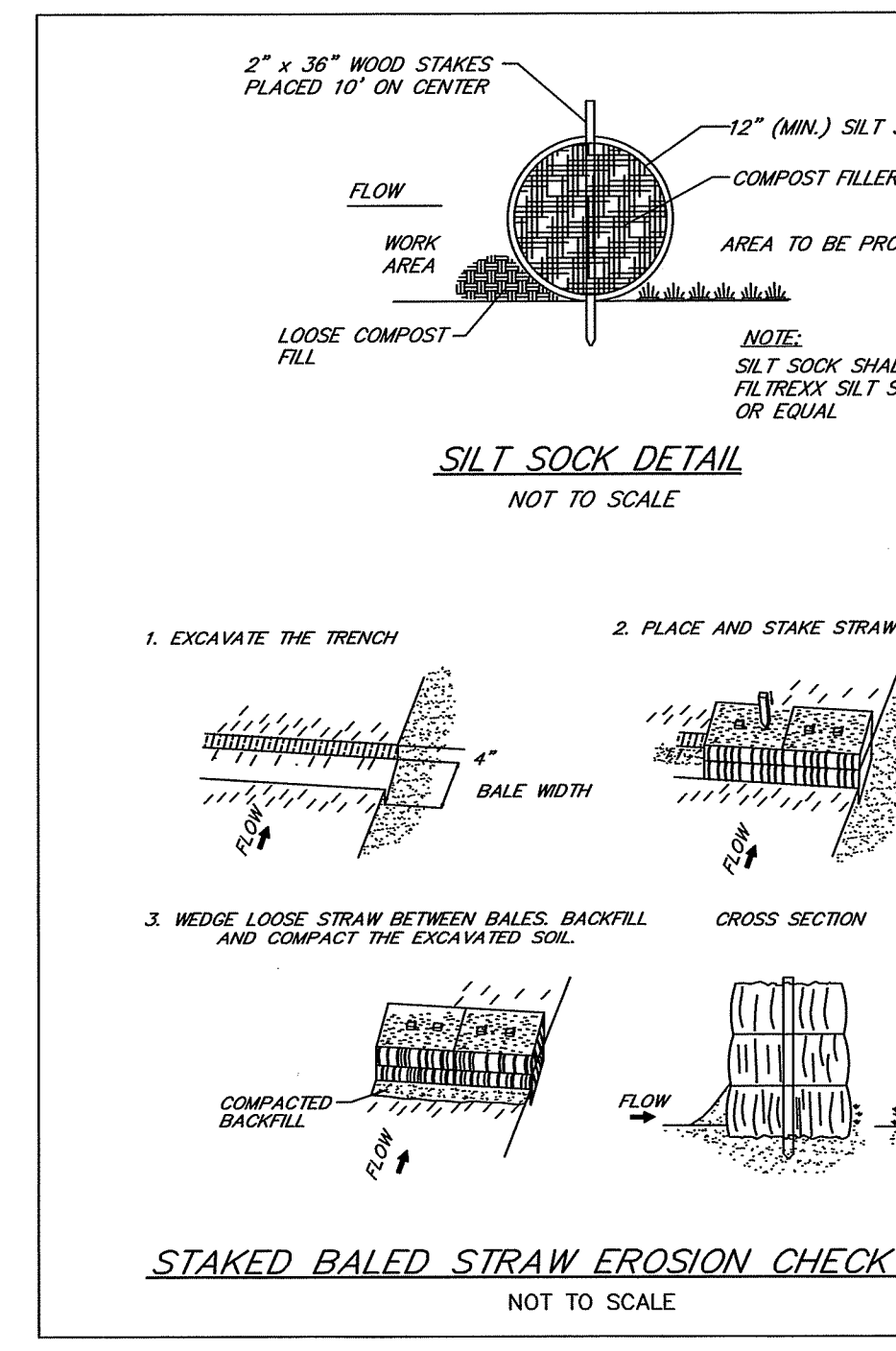
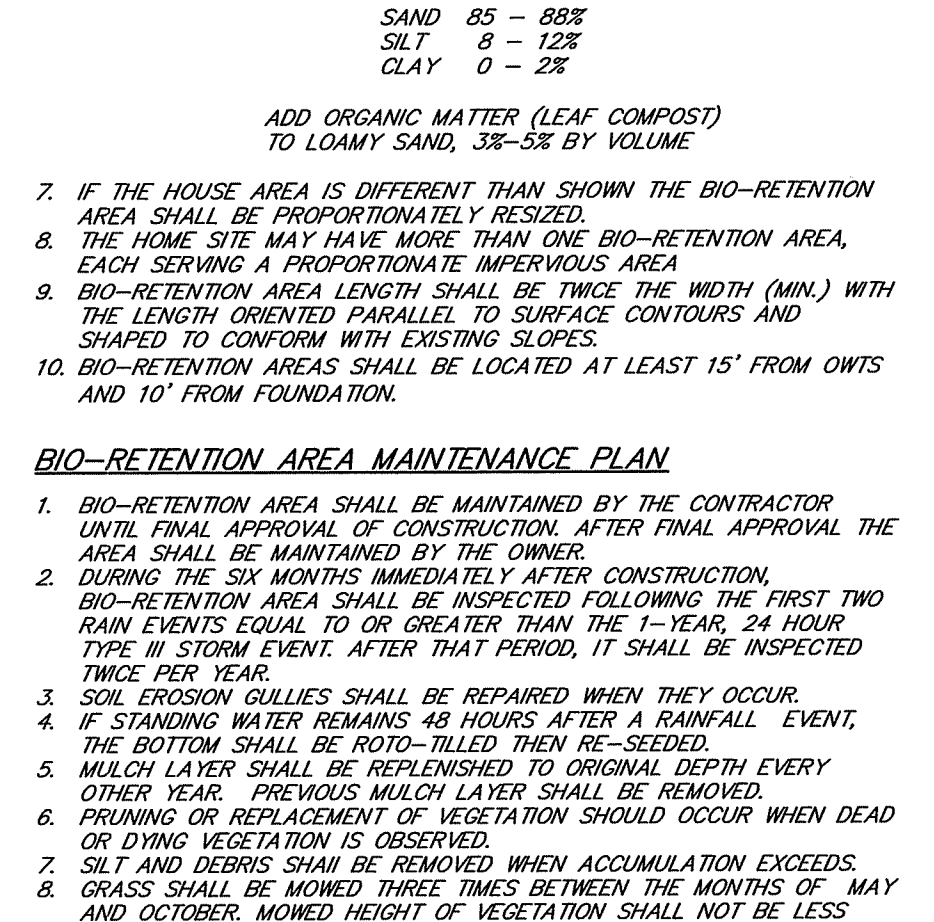
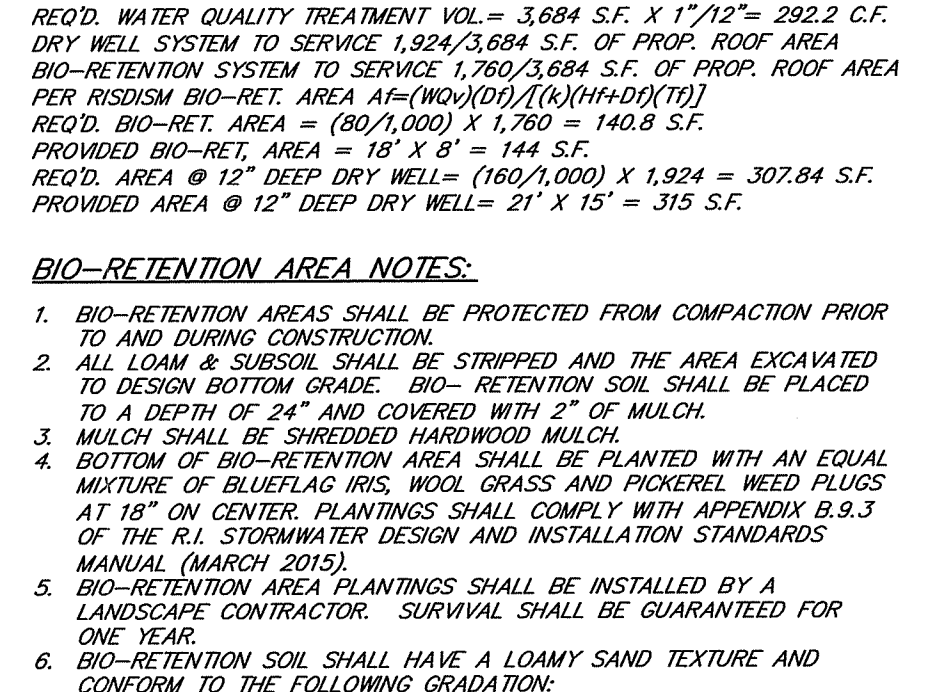
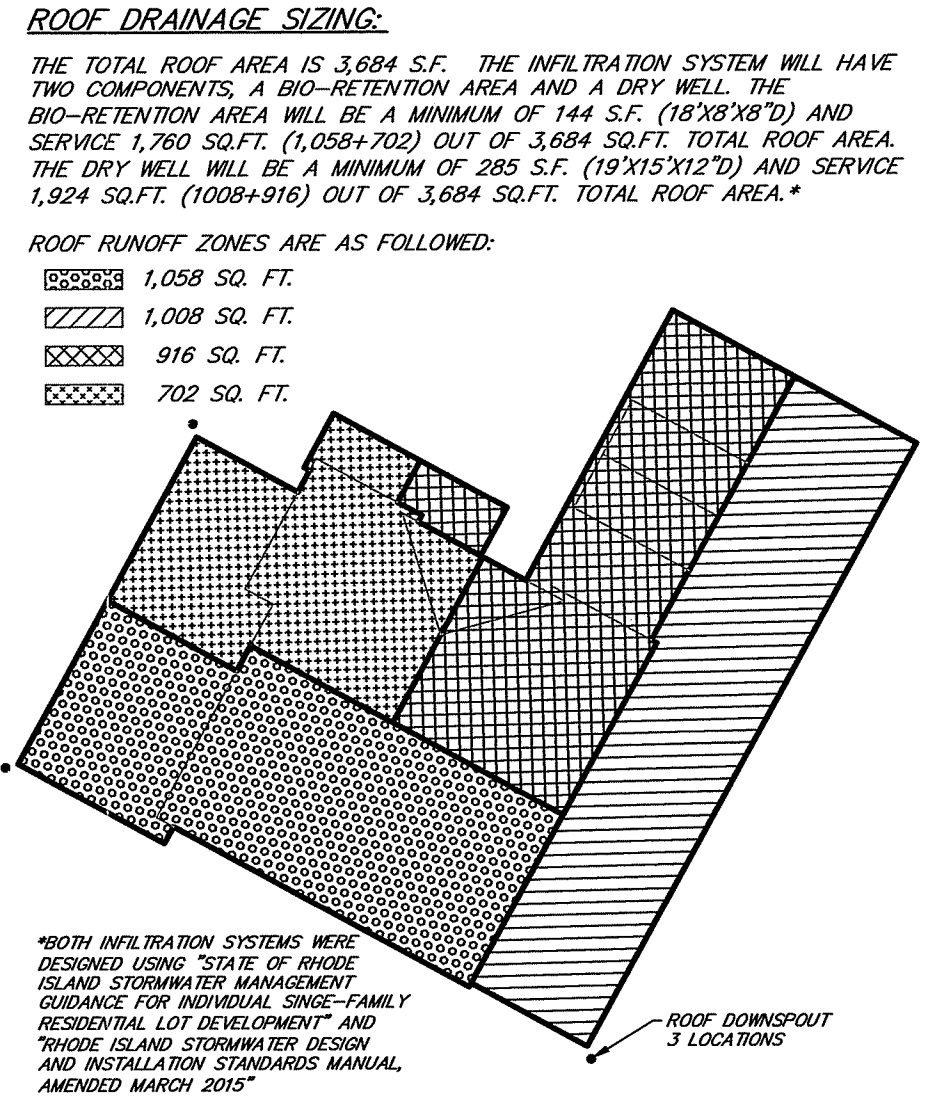
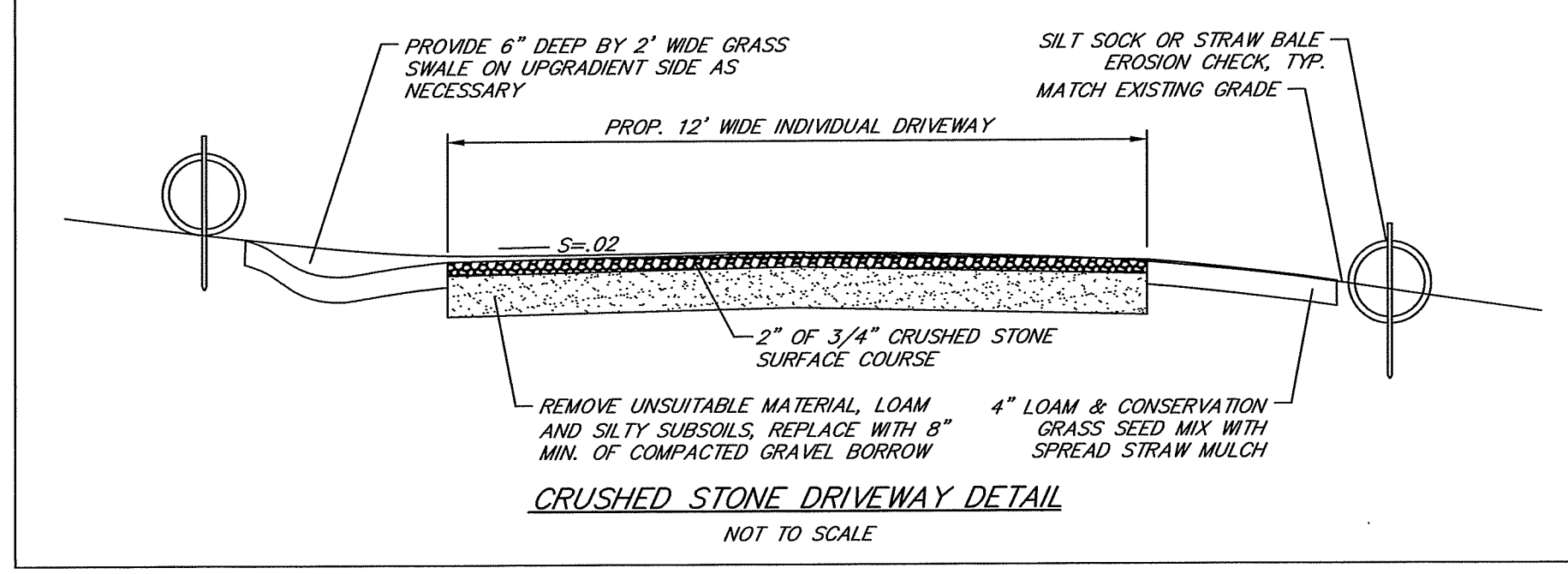
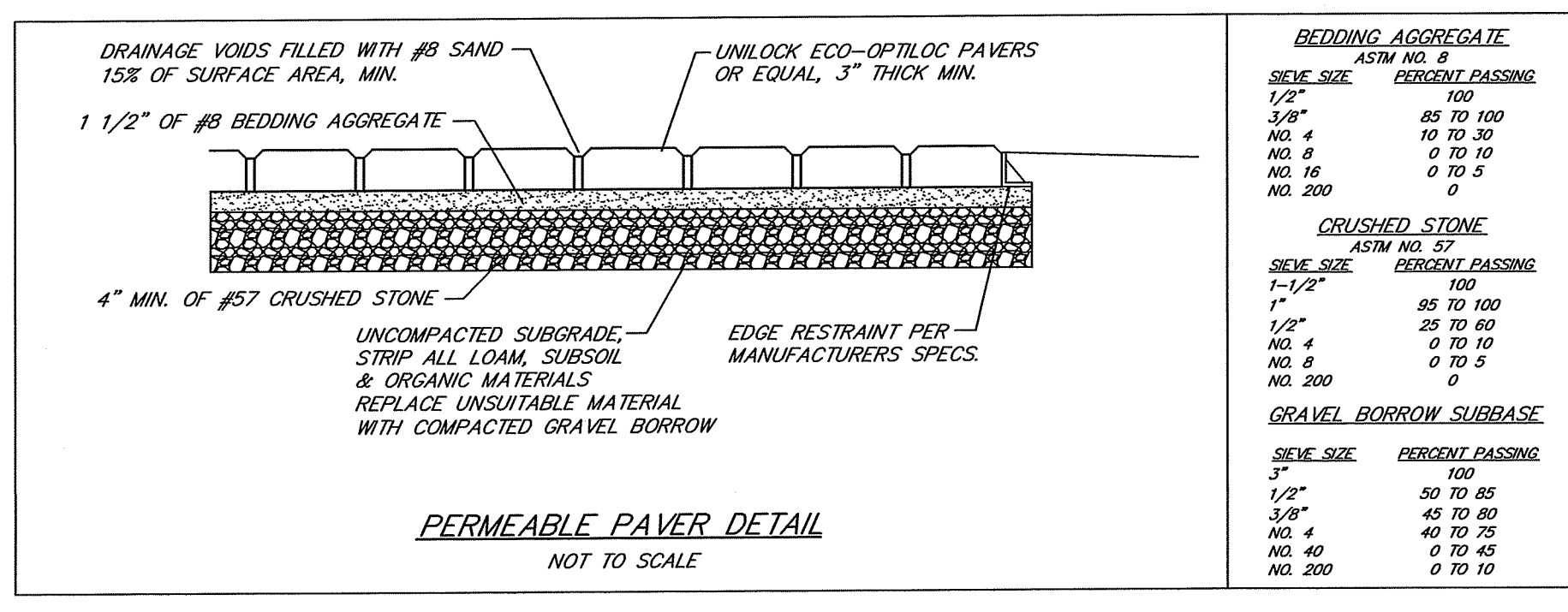
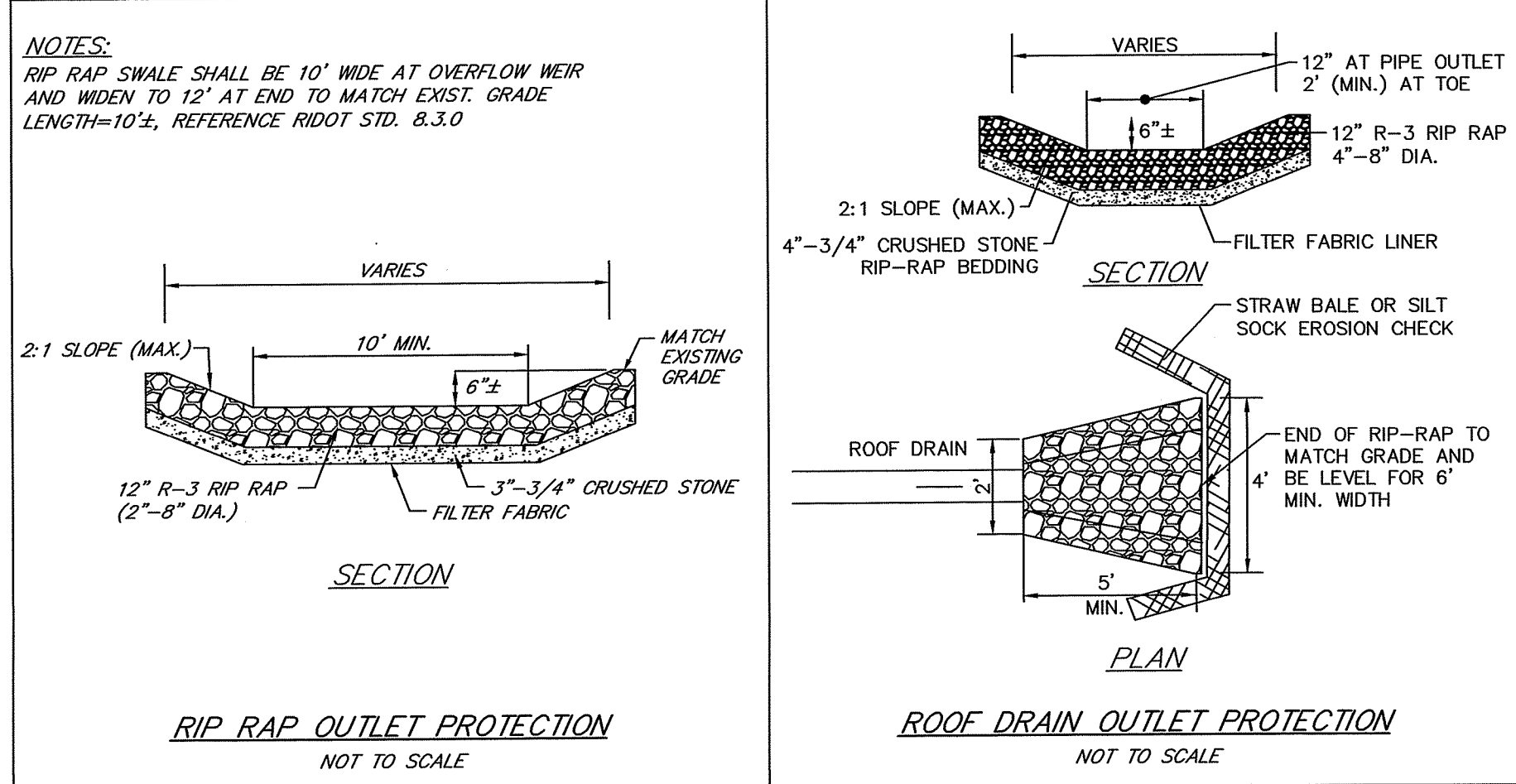
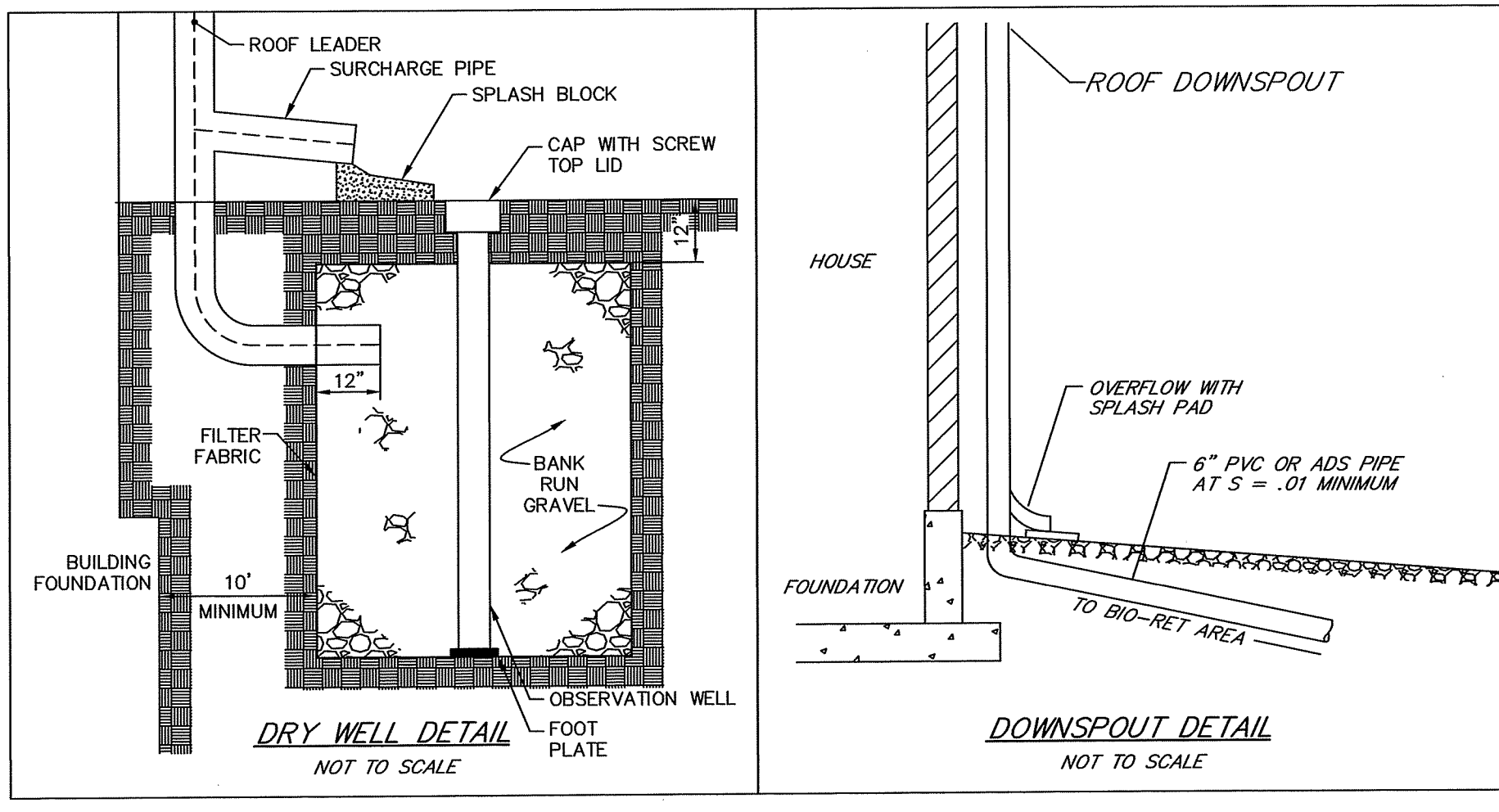
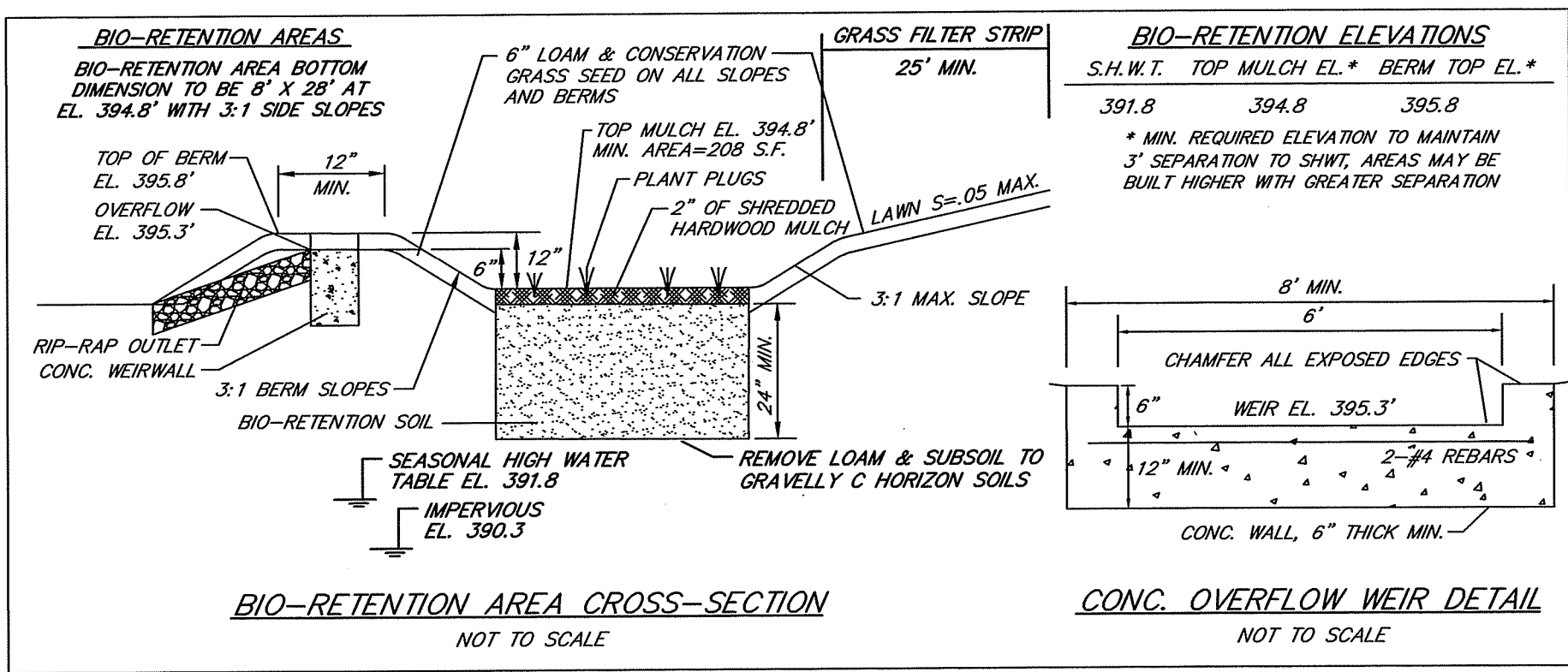
SCITUATE SURVEYS, INC. HAS BEEN PREPARED PURSUANT TO SECTION 8 OF THE RULES AND REGULATIONS ADOPTED BY THE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 28, 2016, AS FOLLOWS:
I, **ANGELO M. RAIMONDI**, A PROFESSIONAL LAND SURVEYOR, DO NOT A BOUNDARY SURVEY.
I HAVE CONDUCTED A VISUAL SURVEY OF THE PROPERTY AND HAVE FOUND NO EVIDENCE OF A BOUNDARY SURVEY.
I HAVE CONDUCTED A VISUAL SURVEY OF THE PROPERTY AND HAVE FOUND NO EVIDENCE OF A BOUNDARY SURVEY.
I HAVE CONDUCTED A VISUAL SURVEY OF THE PROPERTY AND HAVE FOUND NO EVIDENCE OF A BOUNDARY SURVEY.

ANGELO M. RAIMONDI
No. 1762
PROFESSIONAL LAND SURVEYOR

PLAN OF PROPOSED IMPROVEMENTS TO & ON-SITE WASTEWATER TREATMENT SYSTEM
ASSESSOR'S PLAT 22 LOT 16
GLENER CHAPEL ROAD & ROCKY HILL ROAD
SCITUATE, RHODE ISLAND
PREPARED FOR: JEWELL AUGUSTINE & JON AUGUSTINE

SCALE: AS NOTED DATE: DECEMBER 30, 2021 REVISION: APRIL 28, 2022

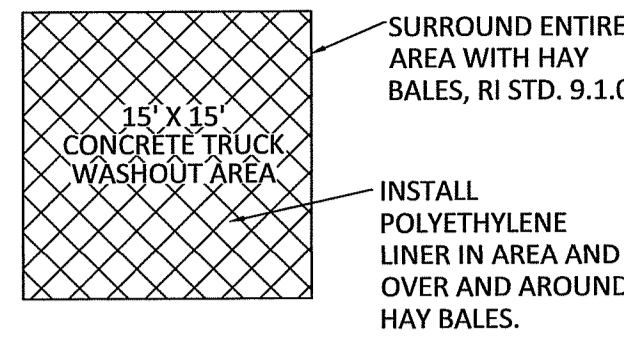
PROJECT NO.: SS2988 SHEET 3 OF 5
DRAWING NO.: SS4876



SCITUATE SURVEYS, INC.
 410 TIOGUE AVENUE
 COVENTRY, RI 02816
 401.861.8100
 LAND SURVEYING/MAPPING/SITE PLANNING

ANGELLO M. RAIMONDI
 1162
 PROFESSIONAL
 LAND SURVEYOR

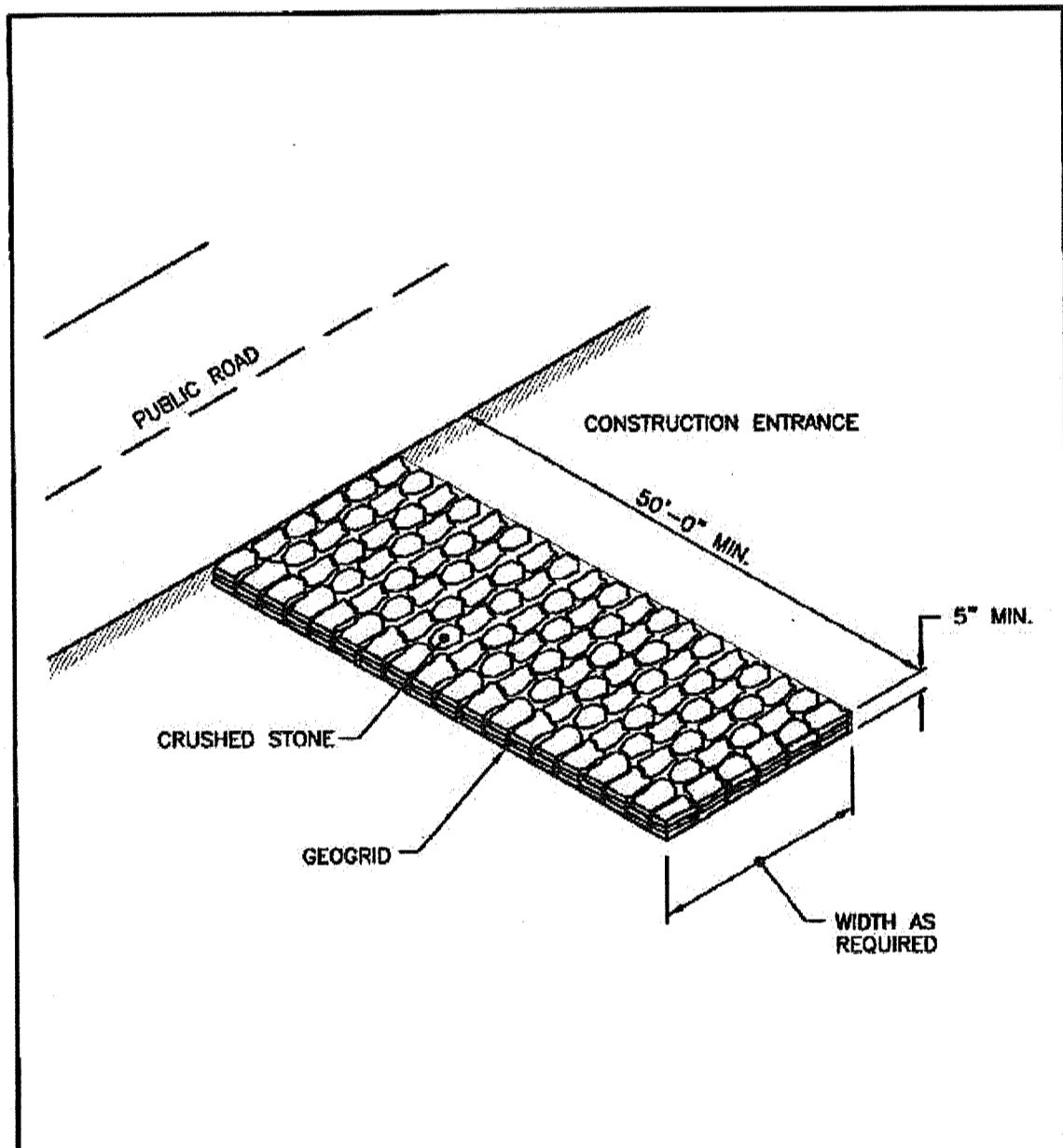
PLAN OF PROPOSED IMPROVEMENTS TO & ON-SITE WASTEWATER TREATMENT SYSTEM
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 PROJECT NO.: SS2988 SHEET 4 OF 5
 DRAWING NO.: SS4876



**CONCRETE TRUCK WASHOUT AREA
DETAIL & NOTES**
NOT TO SCALE

CONCRETE TRUCK WASHOUT AREA NOTES:

- LOCATIONS OF CONCRETE TRUCK WASHOUT AREAS SHALL BE INSTALLED ON SITE AS CONSTRUCTION PROGRESS WARRANTS
- PREPARE GROUND AREA AND REMOVE ANY DEBRIS OR MATERIALS. GROUND SHOULD BE CLEARED AND LEVELED.
- INSTALL HAY BALES, RI STD. 9.1.0 AROUND ENTIRE WASHOUT AREA
- INSTALL THICK POLYETHYLENE LINER (MIN 6ML THICKNESS) ON GROUND AND OVER AND AROUND HAY BALES.
- STAKE LINER IN PLACE TO ENSURE ITS PLACEMENT AND STABILITY
- LINER TO BE INSPECTED TO ENSURE ITS INTEGRITY
- LINER TO BE REPLACED AS CONDITIONS WARRANT THROUGHOUT CONCRETE POURING OPERATIONS ON SITE.
- LINER TO BE REMOVED AND DISPOSED OF OFF-SITE IN AN APPROPRIATE LOCATION AND MANNER
- UPON COMPLETION, THE WASHOUT AREA SHALL BE INSPECTED AND ANY OVERSPILL SHALL BE REMOVED OF OFF-SITE



RHODE ISLAND DEPARTMENT OF TRANSPORTATION	
CONSTRUCTION ACCESS	
REVISIONS NO. BY DATE	R.I. STANDARD 9.9.0
JUNE 15, 1998 ISSUE DATE	

STORMWATER NOTES DURING CONSTRUCTION

- ANY DRAINAGE STRUCTURES SHALL BE CLEANED AND FLUSHED AS REQUIRED.
- STORMWATER MEASURES DESIGNED FOR THE CHANGED CONDITIONS OF THE PROPOSED SITE IMPROVEMENTS PER STATE OF RHODE ISLAND STORMWATER MANAGEMENT GUIDANCE FOR INDIVIDUAL SINGLE-FAMILY RESIDENTIAL DEVELOPMENT REQUIREMENTS.
- THE CONTRACTOR AND/OR OWNER SHALL BE RESPONSIBLE FOR MAINTAINING THE DRAINAGE SYSTEMS IN ACCORDANCE WITH THE RI STORMWATER MANUAL AND TOWN OF SCITUATE REQUIREMENTS.
- THE DRAINAGE SYSTEMS SHALL BE PROPERLY MAINTAINED AT ALL TIMES.
- ALL DRAINAGE SYSTEM AREAS SHALL BE KEPT CLEAR OF DEBRIS AT ALL TIMES.
- NO FOREIGN SUBSTANCES SHALL BE DUMPED INTO THE DRAINAGE SYSTEM AT ANY TIME.
- ANY AREAS EXPERIENCING EROSION TENDENCIES SHALL BE REPAIRED AND RESEDED IMMEDIATELY.
- NO DRAINAGE MEASURES SHALL BE LOCATED WITHIN 15 FEET OF ANY COMPONENTS OF THE PROPOSED ON-SITE WASTEWATER TREATMENT SYSTEM (OWTS).
- AS CONDITIONS WARRANT, RIPRAP SHALL BE PLACED BETWEEN THE ROADWAY AREAS AND THE DRAINAGE BASINS TO PROTECT EMBANKMENTS FROM EROSION TENDENCIES.
- THE DRAINAGE STRUCTURES SHALL BE CLEANED ON AN ANNUAL BASIS AND AS CONDITIONS MAY WARRANT.
- MAINTENANCE OF THE SYSTEM SHALL BE PERFORMED ON AN ANNUAL BASIS UNDER NORMAL FUNCTIONING OF THE SYSTEM AT A MINIMUM. ANY OBSERVED BLOCKAGE, OVERFLOW OF ANY DRAINAGE SYSTEM COMPONENT OR OTHER OBSERVED ISSUES IN THE FIELD SHALL WARRANT AN INSPECTION AND CLEANOUT AS MAY BE REQUIRED OF ANY PORTION OF THE SYSTEM. MAINTENANCE OF THE SYSTEM SHALL BE THE RESPONSIBILITY OF THE OWNER AND/OR CONTRACTED TO A PROFESSIONAL SERVICER AS CONDITIONS WARRANT.
- ANY AREAS EXPERIENCING EROSION TENDENCIES SHALL BE REPAIRED AND RESEDED IMMEDIATELY.

GENERAL STORMWATER MANAGEMENT SYSTEM OPERATION & MAINTENANCE PLAN

THE STORMWATER MANAGEMENT SYSTEM OPERATION & MAINTENANCE PLAN DESCRIBED HEREIN IS FOR THE PROPOSED SINGLE FAMILY RESIDENCE LOCATED ON AP 22, LOT 16

RESPONSIBLE PARTY FOR MAINTENANCE

- THE OWNER / CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTENANCE ASSOCIATED WITH THE STORMWATER SYSTEM UNTIL THEY ARE COMPLETELY CONSTRUCTED.
- ONCE CONSTRUCTION IS COMPLETE, THE PROPERTY OWNER SHALL ASSUME ALL RESPONSIBILITY FOR MAINTENANCE ON THEIR INDIVIDUAL LOT.

DURING CONSTRUCTION

- PRIOR TO THE START OF ANY CONSTRUCTION, THE EROSION CONTROLS SHALL BE INSTALLED AND SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION UNTIL A STABLE GROUND COVER IS ESTABLISHED.
- DURING CONSTRUCTION, THE SOIL EROSION AND SEDIMENTATION PROGRAMS FOUND ON THE SITE PLANS PREPARED SHALL BE FOLLOWED AND BE THE RESPONSIBILITY OF THE OWNER AND/OR CONTRACTOR AS APPLICABLE.
- PREPARATION OF THE AREA FOR THE RAIN GARDENS SHALL CONFORM TO THE PROCEDURES DESCRIBED AS PART OF THIS PLAN SET PREPARED.
- CONSTRUCTION VEHICLES SHALL NOT BE ALLOWED TO DRIVE OVER THE RAIN GARDEN AREAS DURING CONSTRUCTION. IF THE AREA BECOMES COMPACTED, SOIL MUST BE SUITABLY AMENDED, TILLED, AND REVEGETATED ONCE CONSTRUCTION IS COMPLETE TO RESTORE INFILTRATION CAPACITY.

DESCRIPTION OF ANNUAL MAINTENANCE TASKS

- THE YARD AREA (LAWN AREA) SHALL BE CREATED AROUND THE PROPOSED RESIDENCE AND ITS ASSOCIATED AMENITIES.
- THE RAIN GARDENS SHALL BE MAINTAINED THROUGHOUT THE YEAR. SAID MAINTENANCE IS PROVIDED AS PART OF THE DESIGN. ALL PLANT MATERIALS SHALL BE MAINTAINED TO ENSURE PROPER GROWTH AND LIFE, SHOULD ANY OF THESE MATERIALS BECOME DISEASED OR DIE, THEY SHALL BE REPLACED IN KIND AND LOCATION. ALL MAINTENANCE PERFORMED SHALL BE DONE IN A MANNER TO MAINTAIN THE INFILTRATION CAPACITY OF THE VEGETATED SWALES.
- ANY AREA SUBJECT TO EROSION TENDENCIES SHALL BE REPLACED IN KIND TO ENSURE THAT A STABLE GROUND COVER IS MAINTAINED AT ALL TIMES.
- REFER TO SHEET 4 FOR REQUIRED MAINTENANCE OF DRY WELL AND BIO-RETENTION AREA PROPOSED FOR ROOF RUNOFF PREPARED BY SCITUATE SURVEYS, INC.
- MOWING AND OTHER RELATED MAINTENANCE SHALL BE PERFORMED AS SITE CONDITIONS WARRANT THROUGHOUT THE YEAR.

DESCRIPTION OF APPLICABLE EASEMENTS

NO EASEMENTS ARE REQUIRED TO PERFORM ANNUAL MAINTENANCE.

DESCRIPTION OF FUNDING SOURCES

THE PROPERTY OWNERS SHALL BE RESPONSIBLE FOR ALL MAINTENANCE AND OPERATION OF THE STORMWATER SYSTEMS. AS SUCH, THE OWNER'S FUNDS SHALL BE USED AS REQUIRED.

MINIMUM VEGETATIVE COVER REQUIREMENTS

- THE VEGETATIVE COVER REQUIREMENTS ARE PROVIDED AS PART OF THE LANDSCAPE AND DRAINAGE DESIGN PROVIDED ON THE PLANS.
- ALL VEGETATION PROPOSED SHALL BE MAINTAINED AT ALL TIMES AND BE REPLACED IN KIND SHOULD IT BECOME DISEASED OR DIE.

ACCESS & SAFETY ISSUES

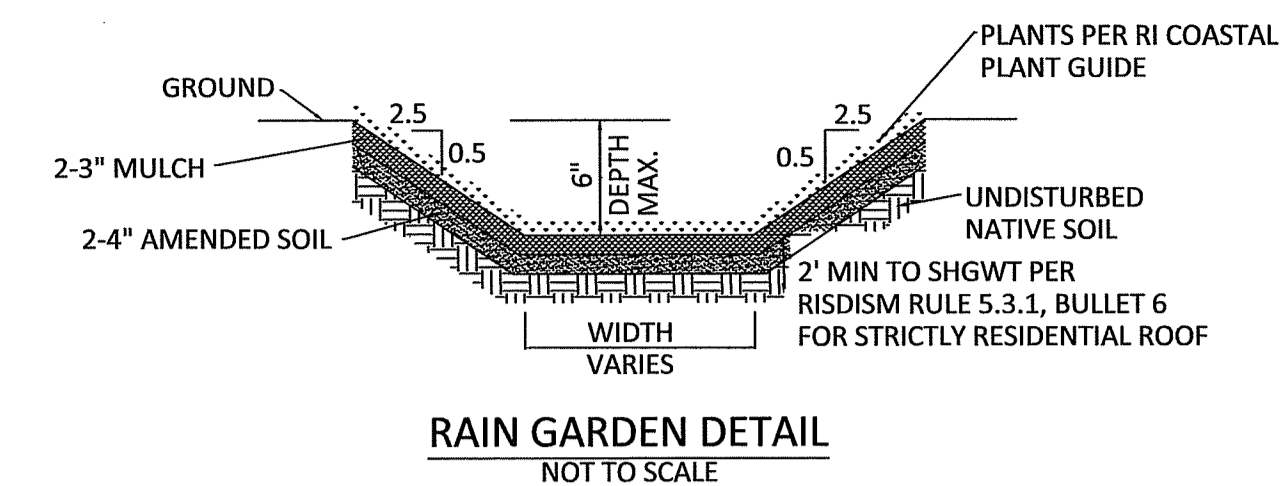
- THERE ARE NO SAFETY ISSUES RELATED TO THE MAINTENANCE AND OPERATION OF THE STORMWATER SYSTEM.

POLLUTION PREVENTION MEASURES

- ANY SEDIMENTATION THAT MAY ENTER THE STORMWATER SYSTEMS SHALL BE REMOVED OF PROMPTLY.
- NO PESTICIDES OR FERTILIZERS SHALL BE USED IN THE RAIN GARDENS.

STORMWATER ANALYSIS FOR DRIVES PREPARED BY WALKER ENGINEERING, LTD.

- SCITUATE SURVEYS, INC. HAS PREPARED THE DESIGN OF STORMWATER MEASURES FOR THE ROOF AREA OF THE PROPOSED HOUSE
- STORMWATER ANALYSIS CONTAINED HEREIN HAS BEEN DESIGNED IN ACCORDANCE WITH "STATE OF RHODE ISLAND STORMWATER MANAGEMENT GUIDANCE FOR INDIVIDUAL RESIDENTIAL LOT DEVELOPMENT" (GUIDE) DUE TO THE FACT THAT THE LOT HAS FRONTAGE ON EXISTING ROADWAYS
- PER THE GUIDE, SETBACKS FOR RAIN GARDENS AND PERMEABLE PAVING ARE:
 - 25 FEET TO PRIVATE WELL
 - 10 FEET FROM BUILDING STRUCTURES
 - 15 FEET FROM OWTS.
- ALL STORMWATER MEASURES PROVIDED HAVE A MINIMUM 2' SEPARATION TO THE SHGWT.
- BASED ON THE EXISTING TOPOGRAPHY OF THE LOT, THE DRAINAGE PATTERN IN THE VICINITY OF THE TWO PROPOSED DRIVES IS GENERALLY FROM WEST TO EAST TO THE WETLANDS AREA.
- BASED ON THE SOIL EVALUATIONS PERFORMED, THE FINDINGS WERE CONSISTENT WITH A 36 INCH WATER TABLE DEPTH. PER THE GUIDE AND THE SOIL EVALUATIONS, ALL STORMWATER MEASURES ARE DESIGNED BASED ON SANDY SOILS.
- DRIVE #1 SERVES THE MAIN ENTRY TO THE PROPOSED HOUSE
 - IMPERVIOUS / PAVED DRIVE AREA = 2160 SF
 - TWO (2) RAIN GARDENS ARE PROPOSED TO HANDLE THE DRIVE RUNOFF
 - RAIN GARDENS ARE LOCATED A MINIMUM OF 3 FEET FROM THE EASTERN EDGE OF THE DRIVE
 - RAIN GARDENS SIZED PER THE GUIDE FOR 6" DEEP RAIN GARDEN, THE BOTTOM AREA REQUIRED AS INTERPOLATED FROM TABLE 7 OF THE GUIDE.
 - RAIN GARDEN #1 (RG #1)
BOTTOM RAIN GARDEN SIZE = 22' +/- L X 9' +/- W X 6" D WITH 6:1 SIDE SLOPES
BOTTOM AREA = 178 SF
DRIVE AREA DIRECTED TO RAIN GARDEN = 1080 SF (HALF DRIVE AREA)
MAX DRIVE AREA THAT CAN BE ADDRESSED = 1187 +/- SF
 - RAIN GARDEN #2 (RG #2)
BOTTOM RAIN GARDEN SIZE = 17' +/- L X 15' +/- W X 6" D WITH 6:1 SIDE SLOPES
BOTTOM AREA = 250 SF
DRIVE AREA DIRECTED TO RAIN GARDEN = 1080 SF (HALF DRIVE AREA)
MAX DRIVE AREA THAT CAN BE ADDRESSED = 1667 +/- SF
- DRIVE #2 SERVES THE REAR OF THE PROPOSED HOUSE
 - PAVED DRIVE PORTION = 888 SF
 - REMAINDER OF DRIVE AREA TO BE CRUSHED STONE. AS SUCH NOT ADDITIONAL DRAINAGE MEASURES ARE REQUIRED.
 - PAVED PORTION IS GENERALLY LOCATED FROM EXISTING ROADWAY TO JUST SOUTH OF THE PROPOSED DRIVE CULVERT
 - ONE (1) RAIN GARDEN IS PROPOSED TO HANDLE THE PAVED PORTION OF THE DRIVE RUNOFF
 - RAIN GARDEN IS LOCATED 3 FEET FROM THE EASTERN EDGE OF THE DRIVE
 - RAIN GARDEN SIZED PER THE GUIDE FOR 6" DEEP RAIN GARDEN, THE BOTTOM AREA REQUIRED AS INTERPOLATED FROM TABLE 7 OF THE GUIDE.
 - RAIN GARDEN #3 (RG #3)
BOTTOM RAIN GARDEN SIZE = 13' +/- L X 10' +/- W X 6" D WITH 6:1 SIDE SLOPES
BOTTOM AREA = 138 SF
PAVED DRIVE AREA DIRECTED TO RAIN GARDEN = 888 SF
MAX DRIVE AREA THAT CAN BE ADDRESSED = 920 +/- SF
- ASSF CROSSING
 - AS NOTED, THE OWNER RECENTLY CREATED AN ASSF AS IDENTIFIED BY RIDEM DURING SITE VISIT. IN ADDITION, OWNER INSTALLED 4" DRIVE PIPE CULVERT.
 - THE RECENTLY INSTALLED 4" PIPE WILL BE REMOVED AND DISPOSED OF OFF-SITE IN AN APPROPRIATE AND APPROVED MANNER
 - A 20" LONG, 12" HDPE DRIVE CULVERT AT A 2% SLOPE IS PROPOSED TO PROVIDE THE DRIVE CROSSING, CENTRALLY LOCATED UNDER THE DRIVE.
 - THE INVERTS OF THE NEW 12" CULVERT ARE: INVERT IN = 385.9 +/- (EXISTING GRADE AND INVERT OUT = 385.5
 - THE CULVERT PIPE WILL EXTEND 4 FEET ON EITHER SIDE OF THE DRIVE EDGE
 - RIP RAP SHALL BE LOCATED AT BOTH THE INLET AND OUTLET TO PROVIDE PROTECTION AND EROSION CONTROL
 - A MINIMUM OF 1 FOOT OF COVER SHALL BE PROVIDED OVER THE PIPE WITHIN THE DRIVE AREA
 - MAX FLOW HANDLED BY CULVERT PIPE = 4.5 CFS
 - AS NOTED, THE ASSF WAS CREATED BY THE OWNER, AND AS SHOWN, THE PROPOSED PIPE CULVERT WILL EASILY HANDLE THIS FLOW



RAIN GARDEN NOTES

- THE RAIN GARDENS ARE DESIGNED TO ACCEPT ROOF RUNOFF FROM THE HOUSE AND DRIVE RUNOFF
- THE RAIN GARDENS SHALL BE LOCATED A MINIMUM OF 10 FEET FROM THE FOUNDATION, 2 FEET FROM THE DRIVEWAY EDGE, 15 FEET FROM ANY OWTS COMPONENT, AND 25' FROM THE PRIVATE WELL.
- THE MAXIMUM DEPTH OF ALL RAIN GARDENS SHALL BE 6 INCHES
- THE DEPTH AND SIZE OF THE RAIN GARDENS ARE SHOWN ON PLAN SHEET 2 OF 6
- THE BOTTOM WIDTH OF THE RAIN GARDEN VARIES
- THE RAIN GARDENS SHALL HAVE A SIDE SLOPE OF 5:1 (2.5 FEET IN 6 INCHES)
- THE RAIN GARDENS SHALL CONTAIN A 2 TO 4 INCH AMENDED SOIL LAYER AND A 2 TO 3 INCH MULCH LAYER
- THE AMENDED SOIL LAYER OF THE RAIN GARDEN SHOULD BE A 50/50 MIXTURE OF THE EXCAVATED NATIVE SOILS AND MATURE ORGANIC COMPOST
- PLANTS SHALL TOLERATE WET CONDITIONS BUT ALSO VERY DRY CONDITIONS. USE THE RI COASTAL PLANT GUIDE AT WWW.URL.EDU/CELS/CEOC/COASTALPLANTS/COASTALPLANTGUIDE.HTM TO SELECT APPROPRIATE SPECIES (FILTER SELECTION FOR RAIN GARDEN). REFER TO TWO EXAMPLE PLANTING PLANS FOR RESIDENTIAL RAIN GARDENS. PLANTINGS SHALL INCLUDE A MINIMUM OF THREE DIFFERENT PLANT SPECIES, INCLUDING SHRUBS AS WELL AS HERBACEOUS SPECIES.

RAIN GARDEN MAINTENANCE NOTES

- RAIN GARDENS SHALL BE INSPECTED FOLLOWING AT LEAST THE FIRST TWO PRECIPITATION EVENTS OF AT LEAST 1 INCH TO ENSURE THAT THE SYSTEM IS FUNCTIONING PROPERLY.
- RAIN GARDENS SHALL BE MONITORED AND MAINTAINED TO ASSURE PROPER FUNCTIONING, PLANT GROWTH AND SURVIVAL
- PLANTS SHALL BE REPLACED ON AN AS-NEEDED BASIS DURING THE GROWING SEASON
- SILT / SEDIMENT SHALL BE REMOVED FROM THE RAIN GARDEN WHEN THE ACCUMULATION EXCEEDS ONE INCH, OR WHEN WATER PONDS ON THE SURFACE OF THE RAIN GARDEN FOR MORE THAN 48 HOURS
- PRUNING OR REPLACEMENT OF WOODY VEGETATION SHALL OCCUR WHEN DEAD OR DYING VEGETATION IS OBSERVED
- SOIL EROSION GULLIES SHALL BE REPAIRED WHEN THEY OCCUR
- FERTILIZER OR PESTICIDES SHALL NOT BE APPLIED TO PLANTS WITHIN RAIN GARDEN
- PERENNIAL PLANTS AND GROUND COVER SHALL BE REPLACED AS NECESSARY TO MAINTAIN AN ADEQUATE VEGETATED GROUND COVER. ANNUAL PLANTS MAY ALSO BE USED TO MAINTAIN GROUND COVER.

Figure 4. Rain Garden Example - Planting Plan 1

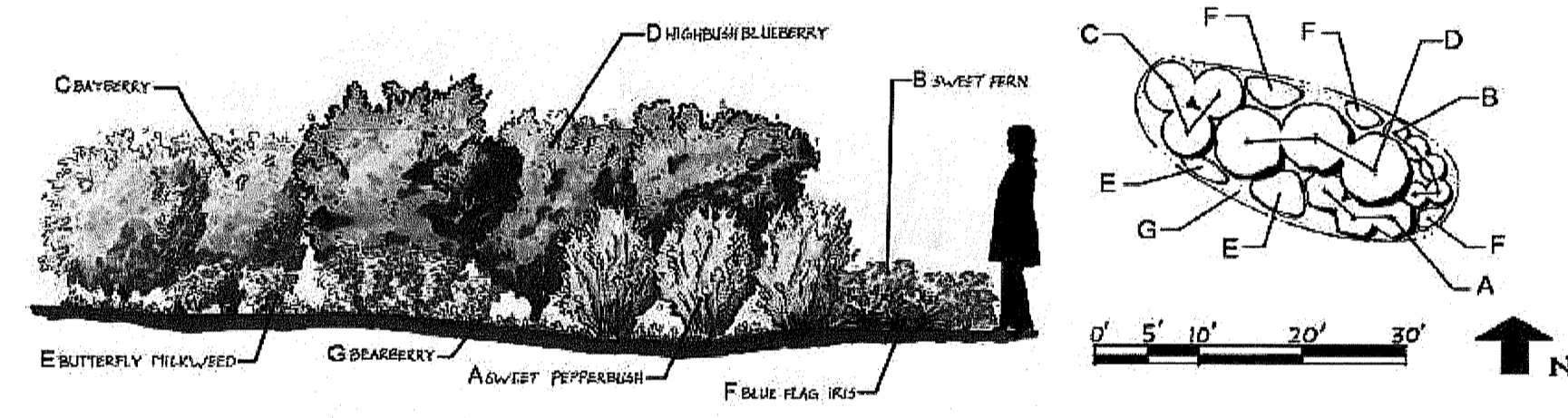
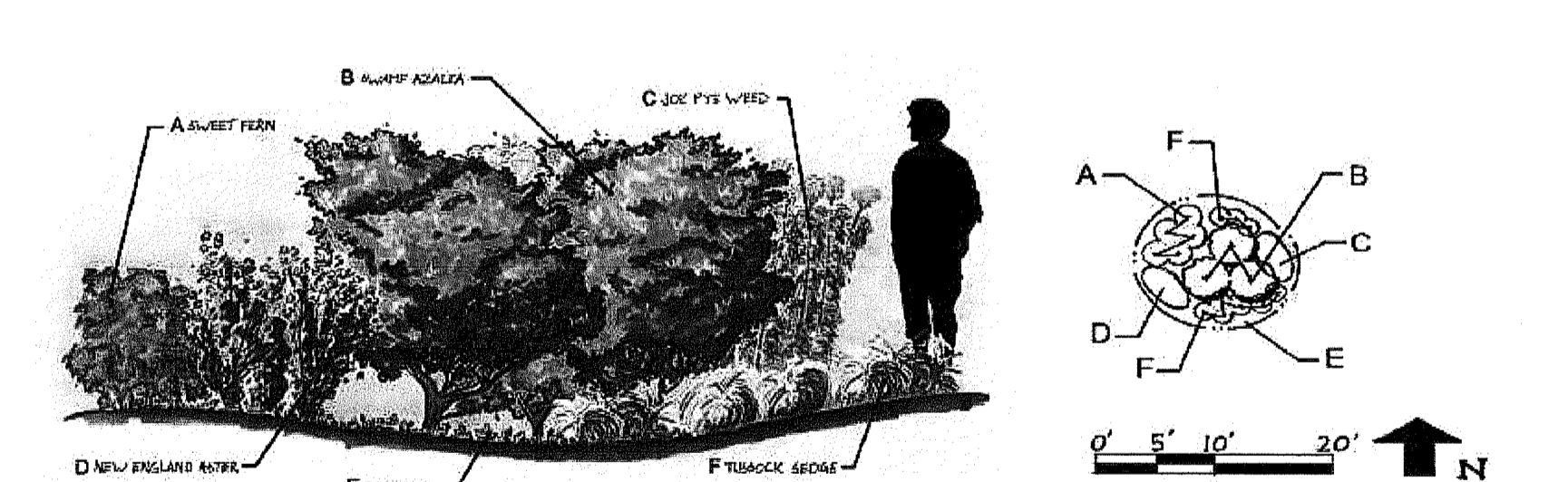
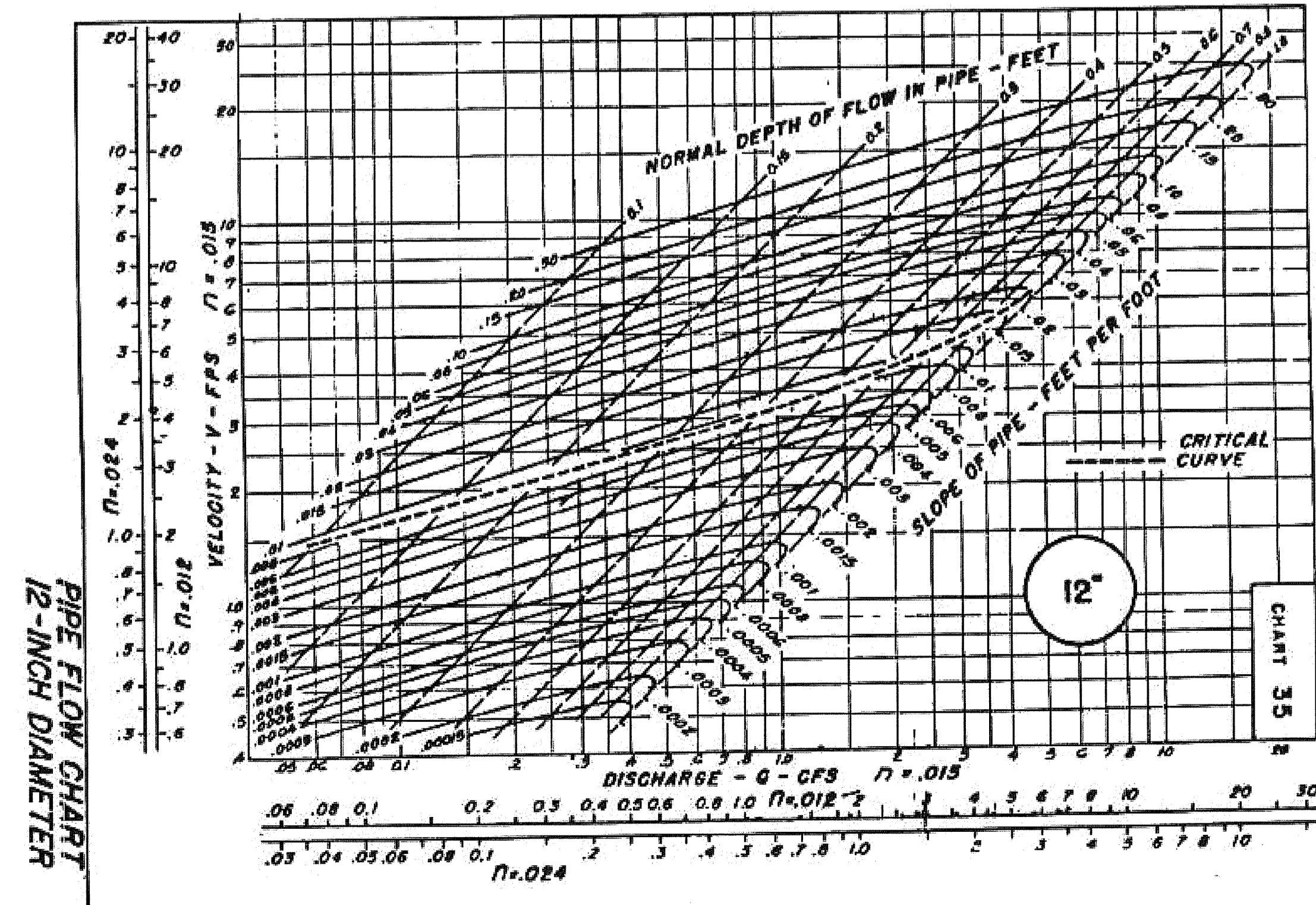


Figure 5. Rain Garden Example - Planting Plan 2



PLANTING PLAN SAMPLES FOR RAIN GARDEN

SOURCE: STATE OF RHODE ISLAND STORMWATER MANAGEMENT GUIDANCE FOR INDIVIDUAL SINGLE-FAMILY RESIDENTIAL DEVELOPMENT REQUIREMENTS.



REVISIONS	DESCRIPTION
DATE	

Walker Engineering, Ltd.

31 Vale Court
West Greenwich, RI 02817

Phone / Fax (401) 397-8745
Email: wsl31.pw@gmail.com

NOTES & DETAILS

ASSESSOR'S PLAT 22 / LOT 16

GLEANER CHAPEL ROAD & ROCKY HILL ROAD
SCITUATE, RHODE ISLAND

PREPARED FOR: JEWELL & JON AUGUSTINE

DATE: APRIL 12, 2022	
SHEET: ND-1	
SHEET 5 OF 5	