

STREET INDEX SCOTT ROAD

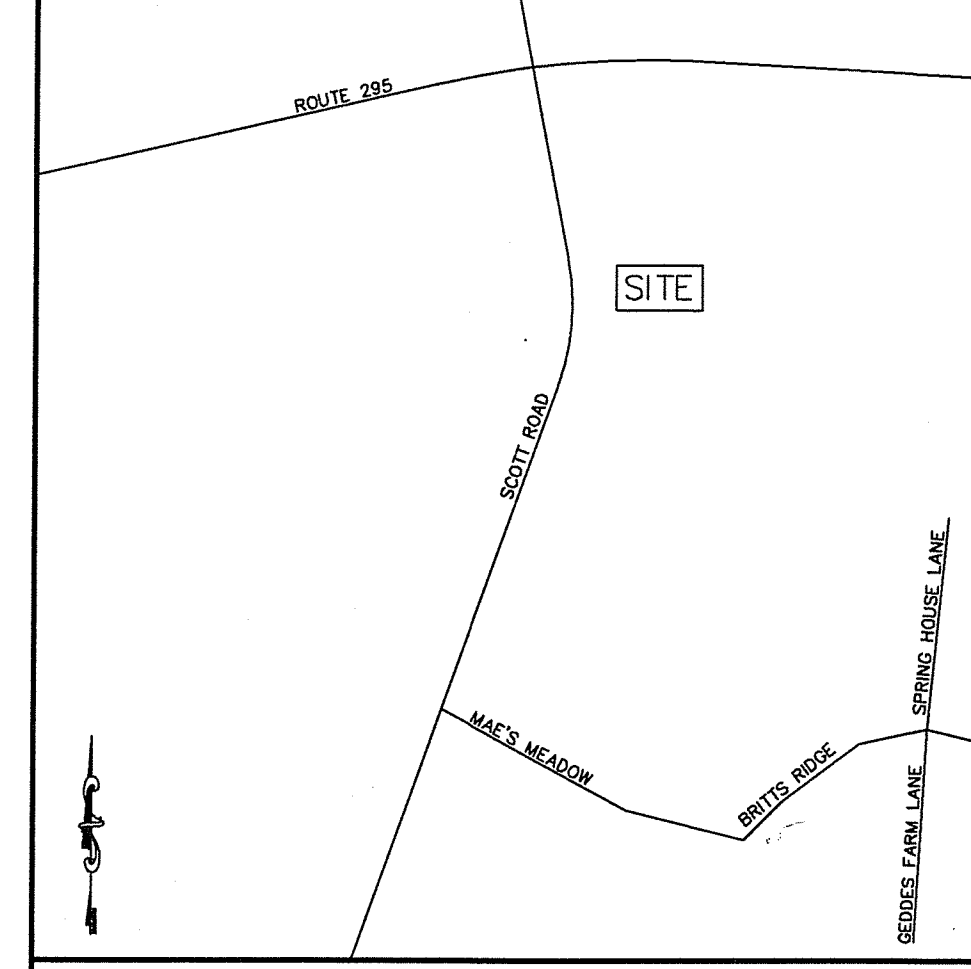
LEGEND

RIHB	R.I. HIGHWAY BOUND
FND	FOUND
L	LENGTH
R	RADIUS
T	TANGENT
Δ	DELTA
CHD	CHORD
N/F	NOW OR FORMERLY
S.F.	SQUARE FEET
STA.	STATION

GENERAL NOTES:
 1. THE PARCEL IS PLAT 39, LOT 13.
 2. THE TOTAL AREA OF PLAT 39, LOT 13 IS 772,979 S.F. OR 17.7452 ACRES.
 3. THE PARCEL WAS VACANT AT THE TIME OF SURVEY.
 4. THE PARCEL IS SUBJECT TO AND/OR TOGETHER WITH ANY EASEMENTS, RESTRICTIONS, COVENANTS, OR RIGHT-OF-WAYS OF RECORD.
 5. THERE ARE NO PROPOSED UTILITIES, MANHOLES, CATCH BASINS, PITS, ETC., AS A RESULT OF THIS PLAN.
 6. THE BASIS OF BEARING SHOWN ON THIS PLAN WAS TAKEN FROM A MAGNETIC READING PERFORMED DURING SURVEY FIELD WORK ON MARCH 10, 2021.
 7. THE EXISTING WETLAND AREA SHOWN ON THIS PLAN WAS TAKEN FROM COORDINATES PROVIDED BY AVIZINIS ENVIRONMENTAL SERVICES, INC. ON OCTOBER 19, 2021. THE EXISTING WETLAND FLAGS SHOWN ON THIS PLAN WERE DELINEATED BY AVIZINIS ENVIRONMENTAL SERVICES, INC., ON MARCH 12, 2021 AND FIELD LOCATED BY DARVEAU LAND SURVEYING, INC.
 8. THE OWNER AND APPLICANT OF THE PARCELS IS:
 S & B PROPERTIES, LLC
 131 ARNOLD STREET
 LINCOLN, RI 02865

THE PURPOSE OF THIS PLAN IS TO DIVIDE
 PLAT 39, LOT 13 INTO TWO PARCELS.

Kindly be advised that this
 Permit is not equivalent to a
 verification of the type or extent
 of freshwater wetlands on site.



LOCUS
 NOT TO SCALE

DEED REFERENCE:
 1. DEED BOOK 1868 AT PAGE 444.

PLAN REFERENCE:
 1. PLAN ENTITLED "SCOTT ROAD LAYOUT FROM MENDON ROAD TO LITTLE POND COUNTY ROAD, ESTABLISHED BY F.A.S. PROJECT NO. S-33(), ORDERED MOUNTED BY ORDER OF THE TOWN COUNCIL OF CUMBERLAND, RHODE ISLAND, DATED: MAY 1986, SCALE: 1" = 20', BY WATERMAN ASSOCIATES," WHICH IS RECORDED IN THE TOWN OF CUMBERLAND REGISTRY OF DEEDS ON PLAT CARD 705.
 2. STATE HIGHWAY PLAT NO. 1319, SHEET NO. 13.
 3. PLAN ENTITLED "PLAN OF PROPERTY SUBDIVISION FOR CONRAD HEFFERNAN, CUMBERLAND, R.I., DATED: MAY 1986, SCALE: 1" = 20', BY WATERMAN ASSOCIATES," WHICH IS RECORDED IN THE TOWN OF CUMBERLAND REGISTRY OF DEEDS ON PLAT CARD 705.
 4. PLAN ENTITLED "SUBDIVISION OF LAND FOR ROBERT GEDDES & FRANK GEDDES IN CUMBERLAND, R.I., SCALE: 1" = 40', DATED: JUNE 16, 1986, BY G.A.F. ENGINEERING, INC.," WHICH IS RECORDED IN THE TOWN OF CUMBERLAND REGISTRY OF DEEDS ON PLAT CARD 932 AND 933.
 5. PLAN ENTITLED "DEFINITIVE PROPERTY LINE PLAN OF COUNTRY LANES IV FOR FORGE CONSTRUCTION MANAGEMENT, INC., PLAT 39, LOT 308, CUMBERLAND, RHODE ISLAND, SCALE: 1" = 50', DATED: JUNE 28, 2001, BY RC COURNOYER ENTERPRISES, INC.," WHICH IS RECORDED IN THE TOWN OF CUMBERLAND REGISTRY OF DEEDS ON PLAT CARD 1257.
 6. PLAN ENTITLED "ADMINISTRATIVE SUBDIVISION PLAN FOR S & B PROPERTIES, LLC, PLAT 39, LOTS 13 & 291, SCOTT ROAD, CUMBERLAND, RHODE ISLAND, SCALE: 1" = 60', DATED: OCT. 21, 2021, BY DARVEAU LAND SURVEYING, INC.," WHICH IS RECORDED IN THE TOWN OF CUMBERLAND REGISTRY OF DEEDS.

PLAT 35, LOT 167
 N/F NEIL J. BUSKEY, SR.
 (DEED BOOK 1701
 AT PAGE 889)

ZONING INFORMATION:
 1. PLAT 39, LOT 13 IS ZONED: A-2
 MINIMUM LOT AREA = 80,000 S.F.
 MINIMUM LOT WIDTH = 180 FEET
 MINIMUM LOT FRONTAGE = 180 FEET
 MINIMUM BUILDING SETBACKS:
 FRONT YARD = 75 FEET
 SIDE YARD = 20 FEET
 REAR YARD = 30 FEET
 MAXIMUM LOT COVERAGE = 15%
 MAXIMUM BUILDING HEIGHT = 35 FEET

L=168.01'
 R=2760.00'
 T=84.03'
 Δ=3°29'16"

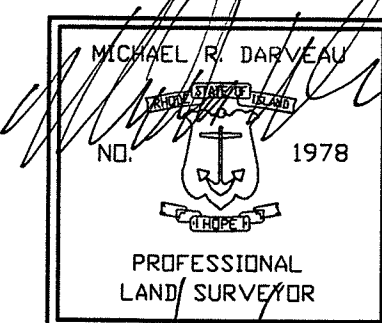
L=70.26'
 R=2760.00'
 T=35.13'
 Δ=1°27'31"

RIHB(FND&HOLD)
 STA. 40+68.91
 40.00' RIGHT

L=193.77'
 R=890.55'
 T=97.27'
 Δ=12°28'00"

SCOTT ROAD
 (PUBLIC - IMPROVED - VARIABLE WIDTH)
 (SEE PLAN REFERENCE #1)

AREA CALCULATIONS:		
	PARCEL "A"	PARCEL "B"
TOTAL AREA	334,512 S.F.	438,467 S.F.
WETLAND AREA	178,030± S.F.	224,190± S.F.
UPLAND AREA	156,480± S.F.	214,280± S.F.



THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:

TYPE OF SURVEY:
 LIMITED CONTENT BOUNDARY SURVEY
 DATA ACCUMULATION SURVEY

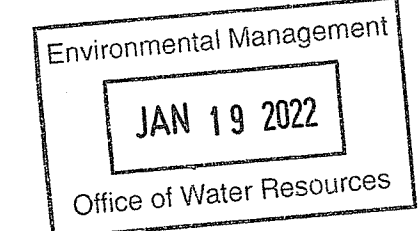
MEASUREMENT SPECIFICATION:
 CLASS I
 CLASS III

STATEMENT OF PURPOSE:
 THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS:
 1) PREPARE A MINOR SUBDIVISION PLAN.

BY: *Michael R. Darveau*
 MICHAEL R. DARVEAU, PLS#1978
 PRESIDENT, DARVEAU LAND SURVEYING, INC.

DATE: 12/14/21
 COA #LS-A497

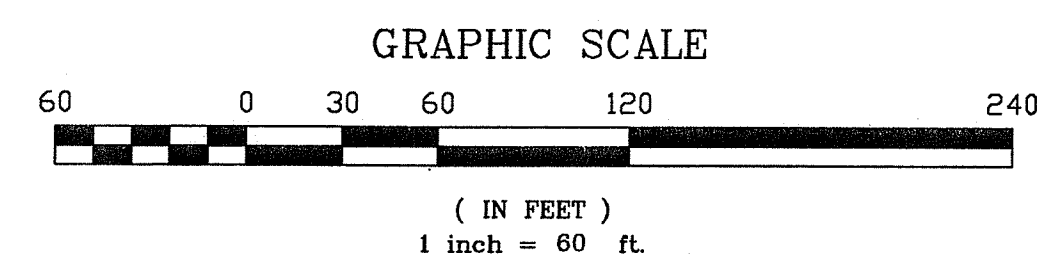
DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED FEB 16 2022 FILE # 22-0025
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE
Nancy J. Freeman



MINOR SUBDIVISION PROPERTY LINE PLAN FOR
S & B PROPERTIES, LLC
 PLAT 39, LOT 13
 SCOTT ROAD
 CUMBERLAND, RHODE ISLAND

SCALE: 1" = 60'
 DRAWN BY: S.A.K.
 REVISIONS:
 DATE: DEC. 14, 2021
 PROJECT NO: 2021_010
 SHEET NO: 1 OF 4

DARVEAU LAND SURVEYING, INC.
 P.O. BOX 7918
 CUMBERLAND, R.I. 02864
 PHONE 401-475-5700
 E-MAIL: MIKE@DARVEAUSURVEY.COM



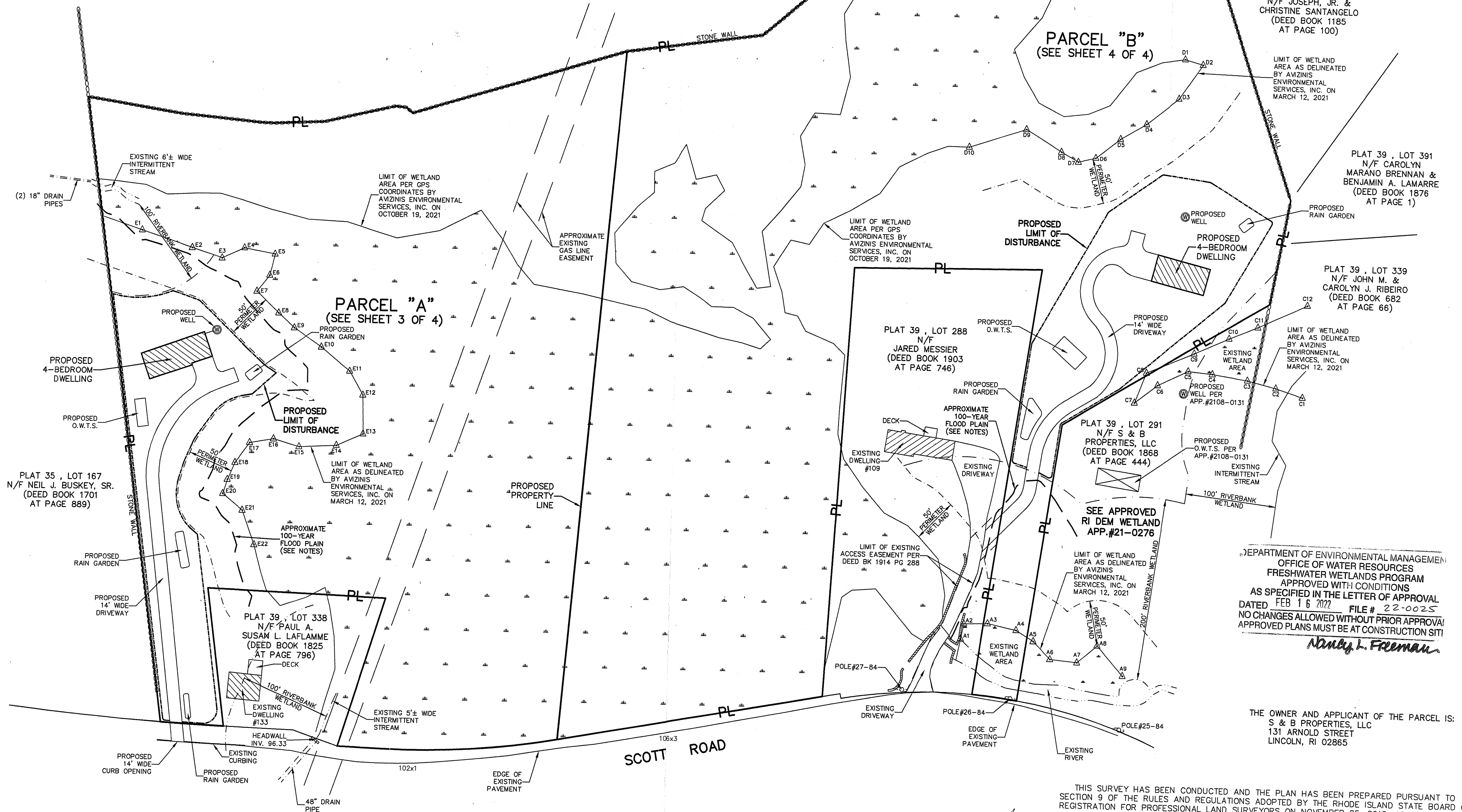
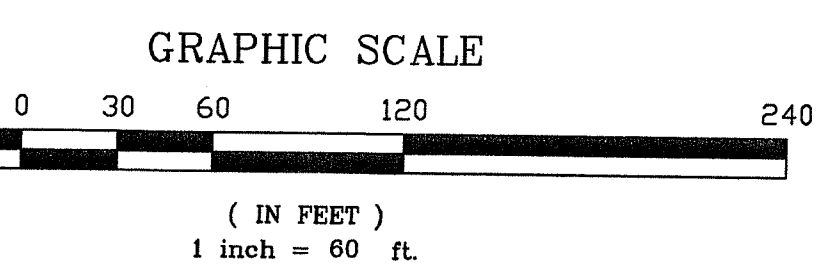
- GENERAL NOTES:
1. THE PARCEL IS PLAT 39, LOT 13.
 2. THE TOTAL AREA OF PLAT 39, LOT 13 IS 772,979 S.F. OR 17.7452 ACRES.
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 4. THE PARCEL IS SUBJECT TO AND/OR TOGETHER WITH ANY EASEMENTS, RESTRICTIONS, COVENANTS, OR RIGHT-OF-WAYS OF RECORD.
 5. THE EXISTING WETLAND AREA SHOWN ON THIS PLAN WAS TAKEN FROM COORDINATES PROVIDED BY AVIZINIS ENVIRONMENTAL SERVICES, INC. ON OCTOBER 19, 2021. THE EXISTING WETLAND FLAGS SHOWN ON THIS PLAN WERE DELINEATED BY AVIZINIS ENVIRONMENTAL SERVICES, INC., ON MARCH 12, 2021 AND FIELD LOCATED BY DARVEAU LAND SURVEYING, INC.
 6. THERE ARE NO PROPOSED UTILITIES, MANHOLES, CATCH BASINS, PITS, ETC., AS A RESULT OF THIS PLAN.
 7. ALL UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE TO BE CONSIDERED APPROXIMATE. "DIG-SAFE" AND/OR ALL APPROPRIATE UTILITY COMPANIES ARE TO BE CONTACTED PRIOR TO THE START OF ANY CONSTRUCTION TO MARK THEIR ACTUAL LOCATIONS.
 8. THERE WERE NO SOIL EVALUATION TEST HOLES OR WATER TABLE DETERMINATIONS PERFORMED ON THE SITE TO DETERMINE THE WATER TABLE AT THE PROPOSED DWELLING. THE BASEMENT SLAB ELEVATION IS TO BE DETERMINED BY OTHERS.
 9. THERE IS NO CONSTRUCTION PHASING AS A RESULT OF THIS PLAN.
 10. THERE WERE NO EXISTING PRIVATE WELLS WITHIN 200-FOOT OF THE PARCEL OBSERVED AT THE TIME OF SURVEY.
 11. THERE WERE NO PUBLIC WELLS WITHIN 800-FOOT OF THE PARCEL OBSERVED AT THE TIME OF SURVEY.
 12. THERE WERE NO EXISTING CESSPOOLS, SEPTIC SYSTEMS, SEEPAGE PITS, OR OTHER SEWAGE DISPOSAL SYSTEMS WITHIN 200-FOOT OF THE PARCEL OBSERVED AT THE TIME OF SURVEY.
 13. THE PARCEL IS NOT LOCATED WITHIN ANY PUBLIC DRINKING WATER SUPPLY AREAS.

- FLOOD ZONE NOTE:
1. BY GRAPHIC PLOTTING ONLY, THE PARCEL APPEARS TO BE LOCATED WITHIN FLOOD ZONE "A" AS SHOWN ON FEMA FLOOD MAP 44007C0183G FOR THE TOWN OF CUMBERLAND, EFFECTIVE DATE MARCH 2, 2009.
 2. THE APPROXIMATE 100-YEAR FLOODPLAIN DEPICTED ON THIS PLAN WAS CONSERVATIVELY DETERMINED TO FOLLOW THE 100 CONTOUR PER LETTER BY AMERICAN ENGINEERING, INC., DATED: DECEMBER 22, 2021.

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LOCUS
NOT TO SCALE

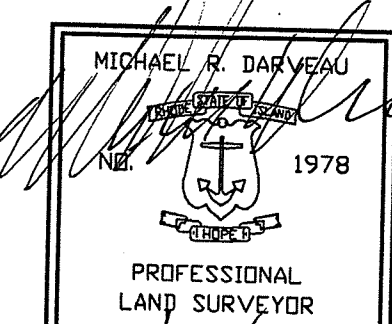
- LEGEND
- PL PROPERTY LINE
 - N/F NOW OR FORMERLY ELEVATION
 - INV. INVERT
 - T.O.F. TOP OF FOUNDATION
 - TH TEST HOLE
 - CO CLEAN-OUT
 - APP. APPLICATION
 - O.W.T.S. ON-SITE WASTEWATER TREATMENT SYSTEM
 - BK BOOK
 - PG PAGE
 - TYP. TYPICAL



AREA CALCULATIONS:

	PARCEL "A"	PARCEL "B"
TOTAL AREA	334,512 S.F.	438,467 S.F.
WETLAND AREA	178,030± S.F.	224,190± S.F.
UPLAND AREA	156,480± S.F.	214,280± S.F.

RI Environmental Management
JAN 19 2022
Office of Water Resources



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TYPE OF SURVEY: LIMITED CONTENT BOUNDARY SURVEY
DATA ACCUMULATION SURVEY

MEASUREMENT SPECIFICATION: CLASS III
CLASS III

STATEMENT OF PURPOSE:
THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS:
1) PREPARE A MINOR SUBDIVISION PLAN.

BY: *Michael R. Darveau*
MICHAEL R. DARVEAU, PLS#1978
PRESIDENT, DARVEAU LAND SURVEYING, INC.

DATE: 12/14/21
COA #LS-A497

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED FEB 16 2022 FILE # 22-0025
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Nancy L. Freeman

THE OWNER AND APPLICANT OF THE PARCEL IS:
S & B PROPERTIES, LLC
131 ARNOLD STREET
LINCOLN, RI 02865

DARVEAU LAND SURVEYING, INC.
P.O. BOX 7918
CUMBERLAND, R.I. 02864
PHONE 401-475-5700
E-MAIL: MIKE@DARVEAUSURVEY.COM

MINOR SUBDIVISION SITE PLAN FOR
S & B PROPERTIES, LLC
PLAT 39, LOT 13
SCOTT ROAD
CUMBERLAND, RHODE ISLAND

SCALE: 1" = 60'
DRAWN BY: S.A.K.

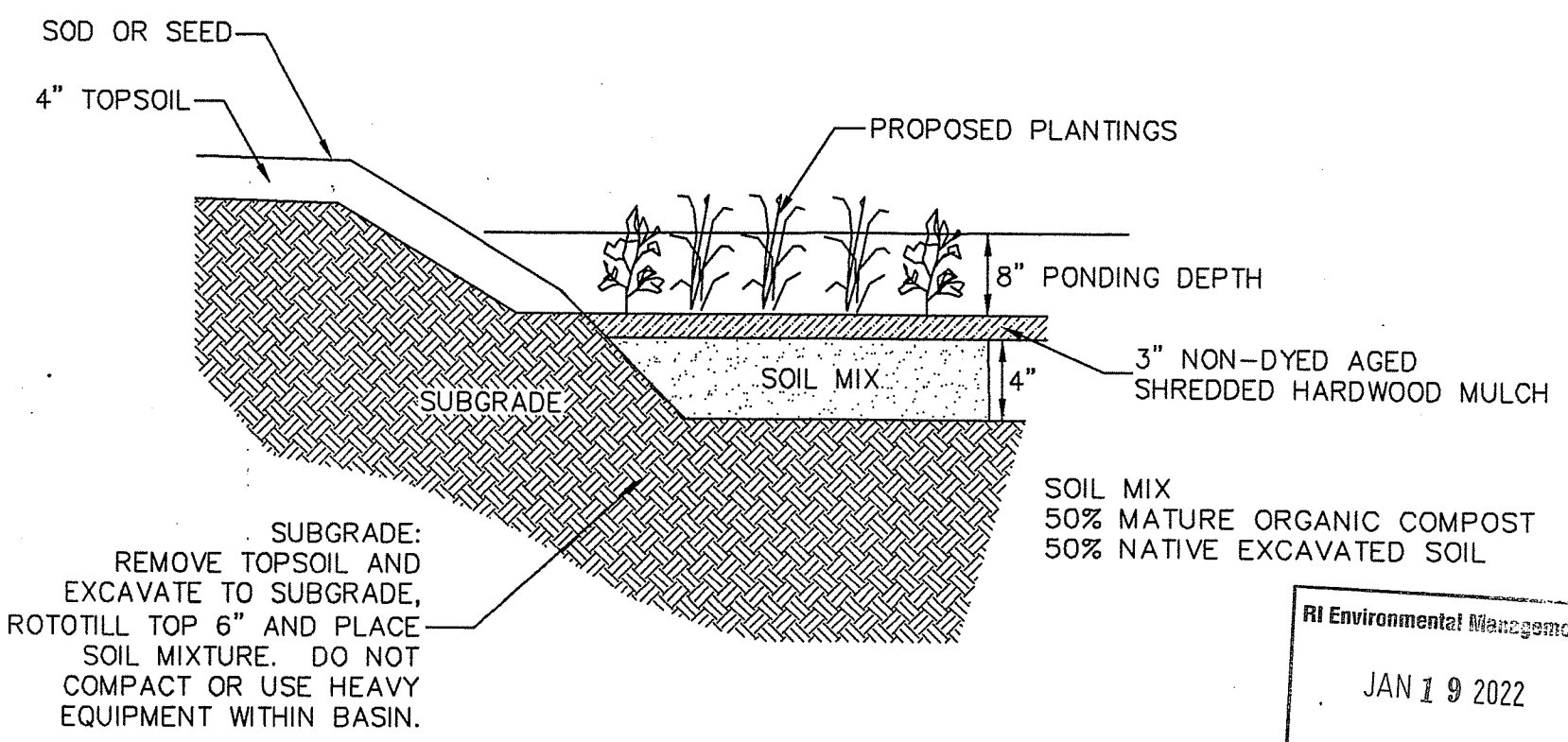
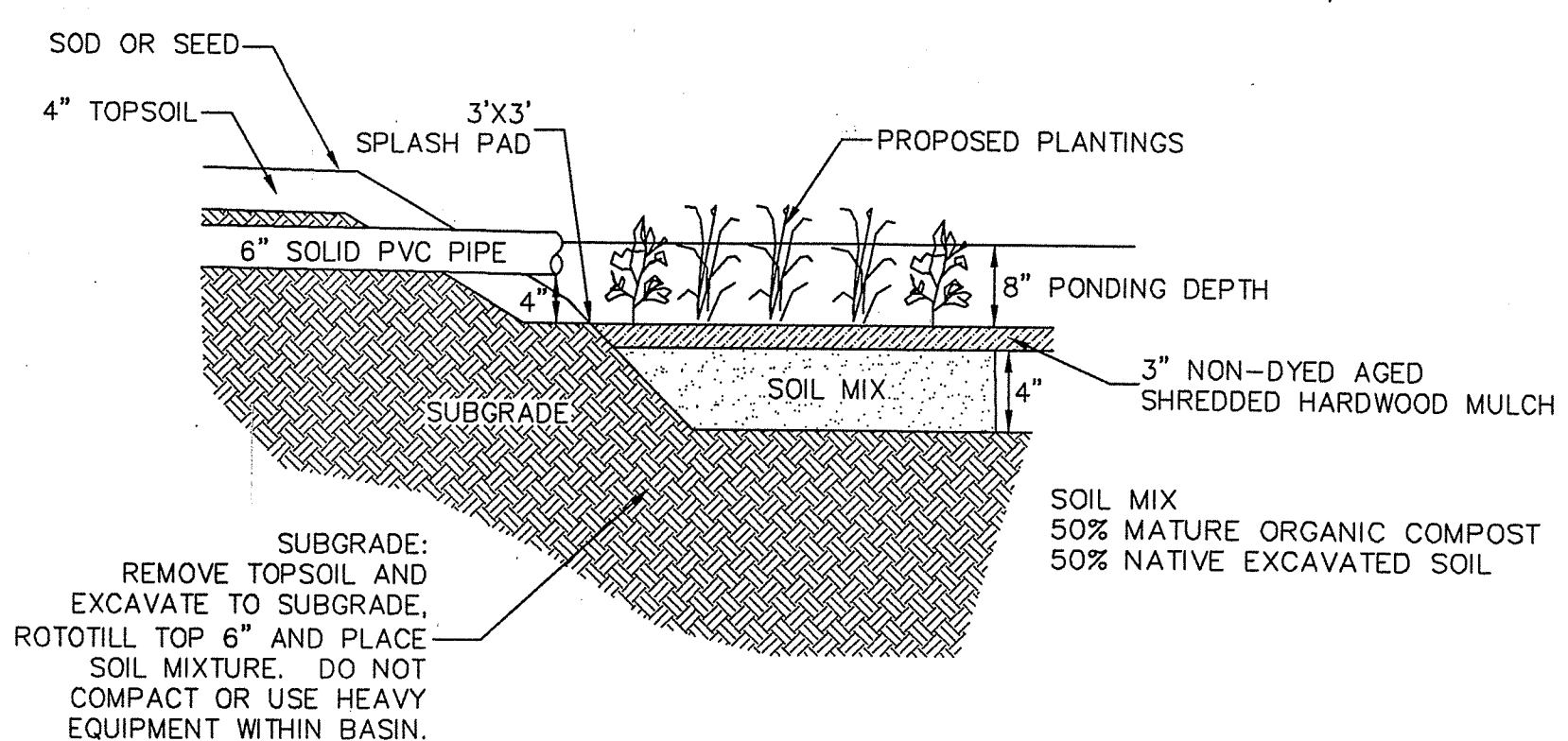
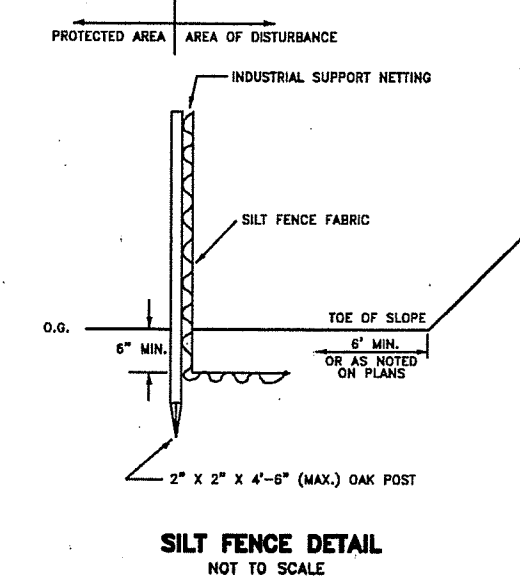
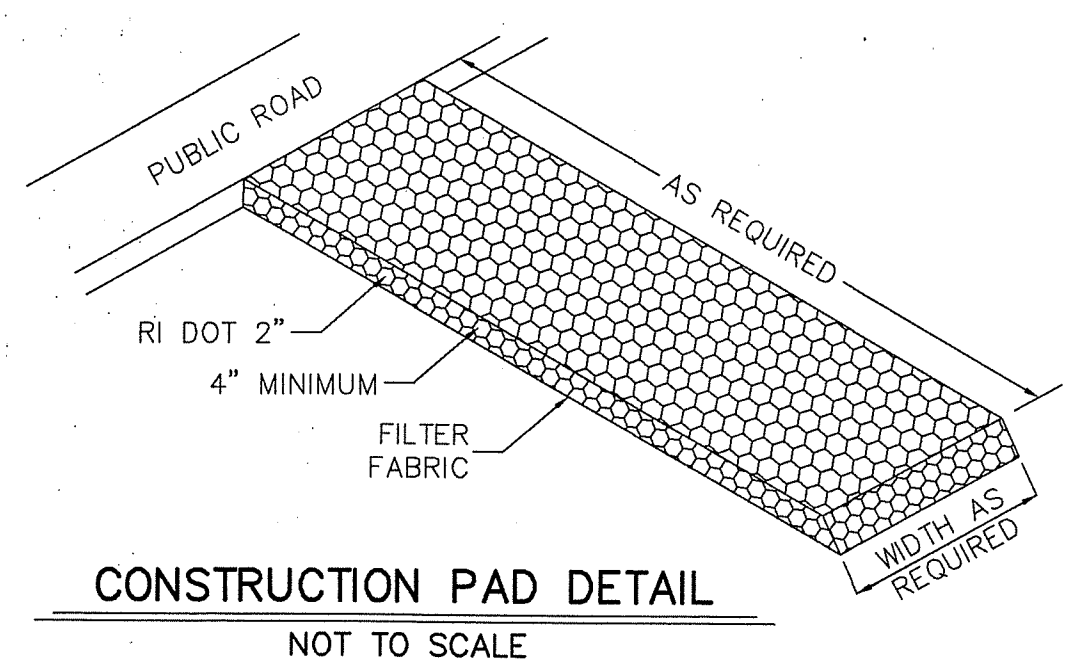
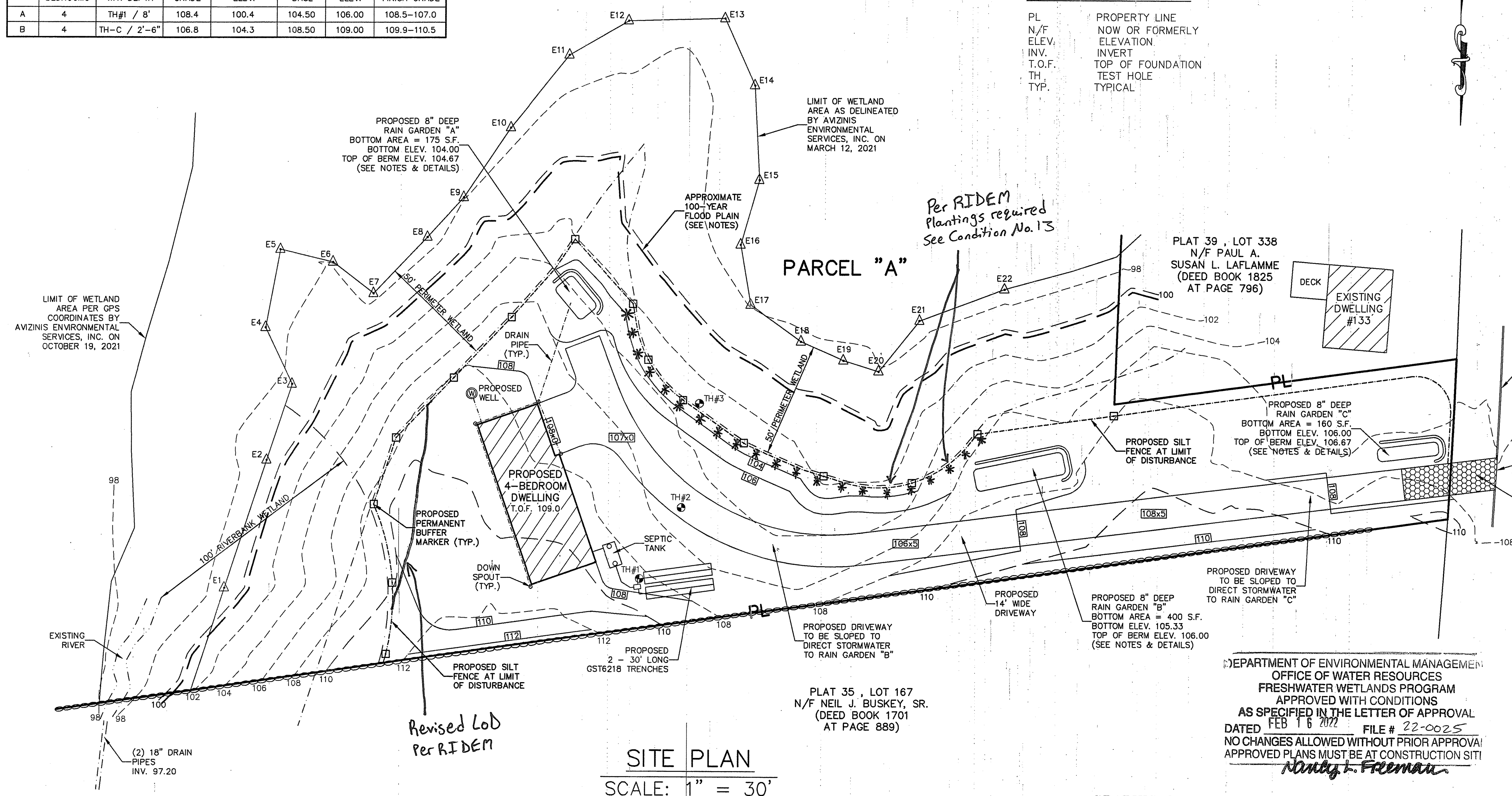
REVISIONS:
PROJECT NO: 2021_010
SHEET NO: 2 OF 4
DATE: DEC. 14, 2021

ON-SITE WASTEWATER TREATMENT SYSTEM SCHEDULES

LOT	# OF BEDROOMS	TEST HOLE #	EXISTING GRADE	WATER TABLE ELEV.	G.S.T. BASE	INVERT ELEV.	PROPOSED FINISH GRADE
A	4	TH#1 / 8"	108.4	100.4	104.50	106.00	108.5-107.0
B	4	TH-C / 2'-6"	106.8	104.3	108.50	109.00	109.9-110.5

LEGEND

- PL PROPERTY LINE
- N/F NOW OR FORMERLY
- ELEV. ELEVATION
- INV. INVERT
- T.O.F. TOP OF FOUNDATION
- TH TEST HOLE
- TYP. TYPICAL



RAIN GARDEN "A" CALCULATIONS:

- * RAIN GARDEN SIZING CALCULATION PER RHODE ISLAND STORMWATER MANAGEMENT GUIDANCE DOCUMENT FOR INDIVIDUAL SINGLE-FAMILY RESIDENTIAL LOT DEVELOPMENT - TABLE 8: RAIN GARDEN SIZING.
- * TOTAL IMPERVIOUS AREA = 2,172 S.F. PROPOSED DWELLING
- RAIN GARDEN "A" DEPTH = 8-INCHES
- SOIL TYPE: SANDY SOILS = 0.08 SIZING FACTOR
- 2,172 S.F. AREA x 0.08 = 174 S.F. NEEDED
- * RAIN GARDEN "A" AREA PROPOSED = 175 S.F.

RAIN GARDEN "B" CALCULATIONS:

- * RAIN GARDEN SIZING CALCULATION PER RHODE ISLAND STORMWATER MANAGEMENT GUIDANCE DOCUMENT FOR INDIVIDUAL SINGLE-FAMILY RESIDENTIAL LOT DEVELOPMENT - TABLE 8: RAIN GARDEN SIZING.
- * TOTAL IMPERVIOUS AREA = 5,000 S.F. OF ASPHALT DRIVEWAY
- RAIN GARDEN "B" DEPTH = 8-INCHES
- SOIL TYPE: SANDY SOILS = 0.08 SIZING FACTOR
- 5,000 S.F. AREA x 0.08 = 400 S.F. NEEDED
- * RAIN GARDEN "B" AREA PROPOSED = 400 S.F.

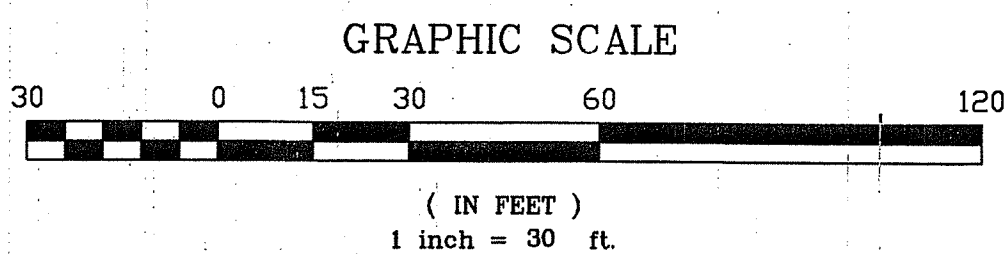
RAIN GARDEN "C" CALCULATIONS:

- * RAIN GARDEN SIZING CALCULATION PER RHODE ISLAND STORMWATER MANAGEMENT GUIDANCE DOCUMENT FOR INDIVIDUAL SINGLE-FAMILY RESIDENTIAL LOT DEVELOPMENT - TABLE 8: RAIN GARDEN SIZING.
- * TOTAL IMPERVIOUS AREA = 5,000 S.F. OF ASPHALT DRIVEWAY
- RAIN GARDEN "C" DEPTH = 8-INCHES
- SOIL TYPE: SANDY SOILS = 0.08 SIZING FACTOR
- 1,900 S.F. AREA x 0.08 = 152 S.F. NEEDED
- * RAIN GARDEN "C" AREA PROPOSED = 160 S.F.

RAIN GARDEN NOTES:

- RAIN GARDENS SHALL BE INSPECTED FOLLOWING AT LEAST THE FIRST TWO (2) PRECIPITATION EVENTS OF AT LEAST 1.0 INCH TO ENSURE THAT THE SYSTEM IS FUNCTIONING PROPERLY. THEREAFTER, THE RAIN GARDENS SHALL BE MONITORED AND MAINTAINED TO ASSURE PROPER FUNCTIONING PLANT GROWTH AND SURVIVAL. PLANTS SHALL BE REPLACED ON AN AS-NEEDED BASIS DURING THE GROWING SEASON.
- SILT/SEDIMENT SHALL BE REMOVED FROM THE RAIN GARDENS WHEN THE ACCUMULATED SEDIMENT EXCEEDS ONE (1) INCH, OR WHEN WATER PONDS FOR MORE THAN 48 HOURS. THE TOP FEW INCHES OF MATERIAL SHALL BE REMOVED AND REPLACED WITH FRESH SOIL MIXTURE AND MULCH.
- PRUNING OR REPLACEMENT OF WOODY VEGETATION SHALL OCCUR WHEN DEAD OR DYING VEGETATION IS OBSERVED.
- SOIL EROSION GULLIES SHALL BE REPAIRED WHEN THEY OCCUR.
- FERTILIZER OR PESTICIDES SHALL NOT BE APPLIED TO PLANTS WITHIN RAIN GARDENS.
- PERENNIAL PLANTS AND GROUND COVERS SHALL BE REPLACED AS NECESSARY TO MAINTAIN AN ADEQUATE VEGETATED GROUND COVER. ANNUAL PLANTS MAY ALSO BE USED TO MAINTAIN GROUND COVER.
- THE PROPOSED PLANTINGS FOR THE RAIN GARDENS SHALL BE SUITABLE NATIVE PLANTS USED IN ACCORDANCE WITH THE RHODE ISLAND COASTAL PLANT GUIDE, WHICH IS LOCATED AT CELS.URI.EDU/TESTSITE/COASTALPLANTS/COASTALPLANTGUIDE.HTM.

SITE PLAN
SCALE: 1" = 30'



Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.

GENERAL CONTRACTOR'S NOTES:

- ALL UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE AND ARE TAKEN FROM EXISTING FIELD LOCATION AND/OR EXISTING PLANS.
 - NO EXCAVATION IS TO OCCUR UNTIL "DIG SAFE" AND ALL APPROPRIATE UTILITY COMPANIES HAVE BEEN NOTIFIED AND MARKED THE EXACT LOCATION ON THE GROUND.
 - THE OWNER/CONTRACTOR/INSTALLER IS TO INSURE THE PROPOSED RETAINING WALLS MEET ALL APPLICABLE LOCAL, STATE, AND/OR FEDERAL REQUIREMENTS.
- SEDIMENTATION AND EROSION CONTROL:**
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL TEMPORARY SEDIMENTATION & EROSION CONTROL.
 - EMBANKMENT SLOPES & ALL DISTURBED AREAS ARE TO RECEIVE A LAYER OF TOPSOIL (LOAM) AND SEED.
 - IMMEDIATELY UPON COMPLETION OF THE CLEARING AND GRUBBING AND PRIOR TO ANY ROUGH GRADING, A TEMPORARY SILT FENCE SHALL BE PLACED AT THE LIMIT OF PERMANENT DISTURBANCE PER PLAN.
 - ALL EROSION & SEDIMENTATION CONTROL SHALL BE CONTINUALLY MAINTAINED BY THE CONTRACTOR.

EROSION & SOIL STABILIZATION PROGRAM:

- TEMPORARY TREATMENTS SHALL CONSIST OF A SILT FENCE, HAY BALES, WATTLES (MULCH TUBES), OR PROTECTIVE COVERS SUCH AS FABRIC MATS.
- ALL CONTROLS SHALL REMAIN IN PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED COVER IS ESTABLISHED.
- NORMAL ACCEPTABLE SEASONAL SEEDING DATES ARE APRIL 1 - OCT. 15.
- ALL FILL, IF REQUIRED, SHALL BE CLEAN AND THOROUGHLY COMPACTED UPON PLACEMENT IN STRICT CONFORMANCE WITH RIDPW STANDARD SPECIFICATION SECTION 202.

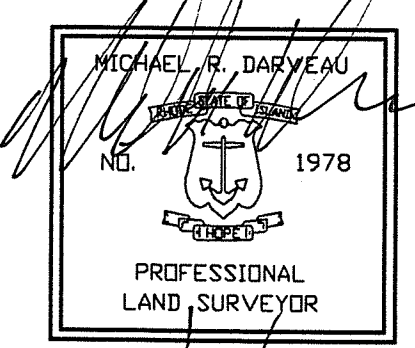
SEDIMENTATION CONTROL PROGRAM:

- A TEMPORARY SILT FENCE, HAY BALES, WATTLES, OR PROTECTIVE COVER SHALL BE INSTALLED PRIOR TO CONSTRUCTION & SHALL BE MAINTAINED CONTINUALLY. IN ADDITION TO THE LINE OF THE SILT FENCE AT THE LIMIT OF PERMANENT DISTURBANCE, TEMPORARY BARRIERS SHALL BE CONSTRUCTED AT THE TOE OF THE DISTURBED (CUT OR FILL) SLOPES UNTIL VEGETATIVE COVER HAS BEEN ESTABLISHED.
- DURING CONSTRUCTION THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ADEQUATE DRAINAGE FLOW DURING STORMS AND PERIODS OF RAINFALL.
- SEDIMENTATION CONTROL DEVICES SHALL BE INSPECTED CLOSELY AND MAINTAINED PROMPTLY AFTER EACH RAINFALL.

SLOPE STABILIZATION AND VEGETATION:

- ALL CONTROLS SHALL BE PLACED AT THE TOE OF ALL DISTURBED SLOPES. THIS SHALL BE MAINTAINED AS A SEDIMENT BARRIER UNTIL THE SLOPES ARE STABILIZED WITH GRASS.
- THE DISTURBED SLOPES (CUT OR FILL) SHALL BE IMMEDIATELY MULCHED AS AN EROSION PROTECTION MEASURE.
- MAINTAIN MULCH UNTIL THE SLOPES ARE STABILIZED WITH A SATISFACTORY GROWTH OF GRASS.
- VEGETATION REMOVED MAY BE SHREDDED AND CHIPPED ON SITE FOR USE AS MULCH, OR IT MAY BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER.
- THE RESEEDING OF THE DISTURBED SLOPES SHALL BE CONDUCTED WITH SEED MATERIALS SELECTED FOR PRODUCTION OF A QUICK COVER AND HARDY STAND, PARTICULARLY A CONSERVATION GRASS SEED OR COMPARABLE. THE SEEDING SHALL BE IN ACCORDANCE WITH COMMON NURSERY PRACTICE IN THE RHODE ISLAND AREA.
- PROVIDED THAT THE PROVISIONS OF THIS SEDIMENTATION & EROSION CONTROL PLAN ARE IMPLEMENTED, THERE WILL BE NO ADVERSE ENVIRONMENTAL EFFECTS FROM THE PROPOSED CONSTRUCTION.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED FEB 16 2022 FILE # 22-0025
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
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Nancy L. Freeman



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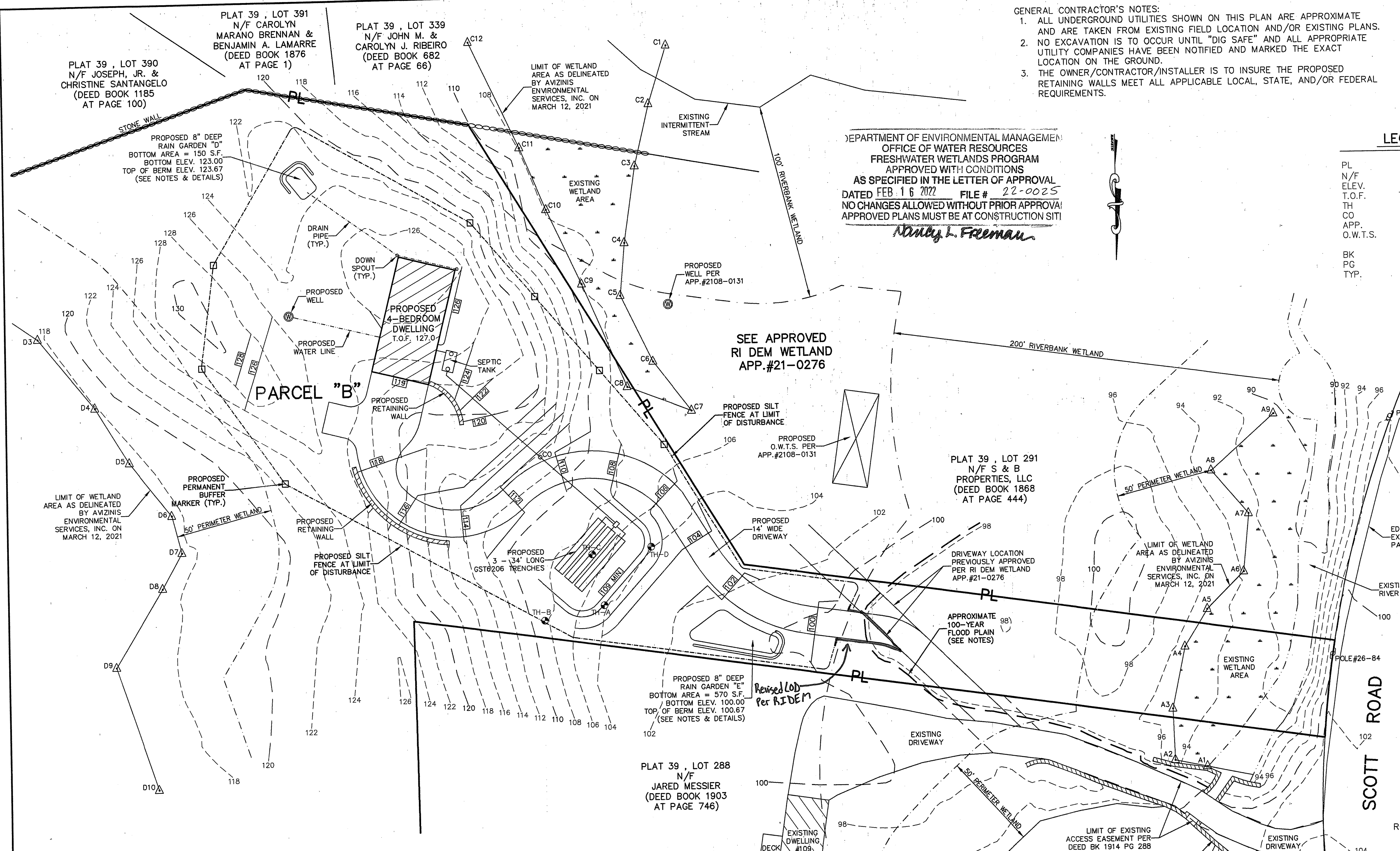
S & B PROPERTIES, LLC
PLAT 39, LOT 13
SCOTT ROAD
CUMBERLAND, RHODE ISLAND

MINOR SUBDIVISION SITE PLAN FOR

PROJECT NO: 2021_010
SHEET NO: 3 OF 4

SCALE: 1" = 30'

REVISIONS:
REVISED: DATE: DEC. 14, 2021
DRAWN BY: S.A.K.



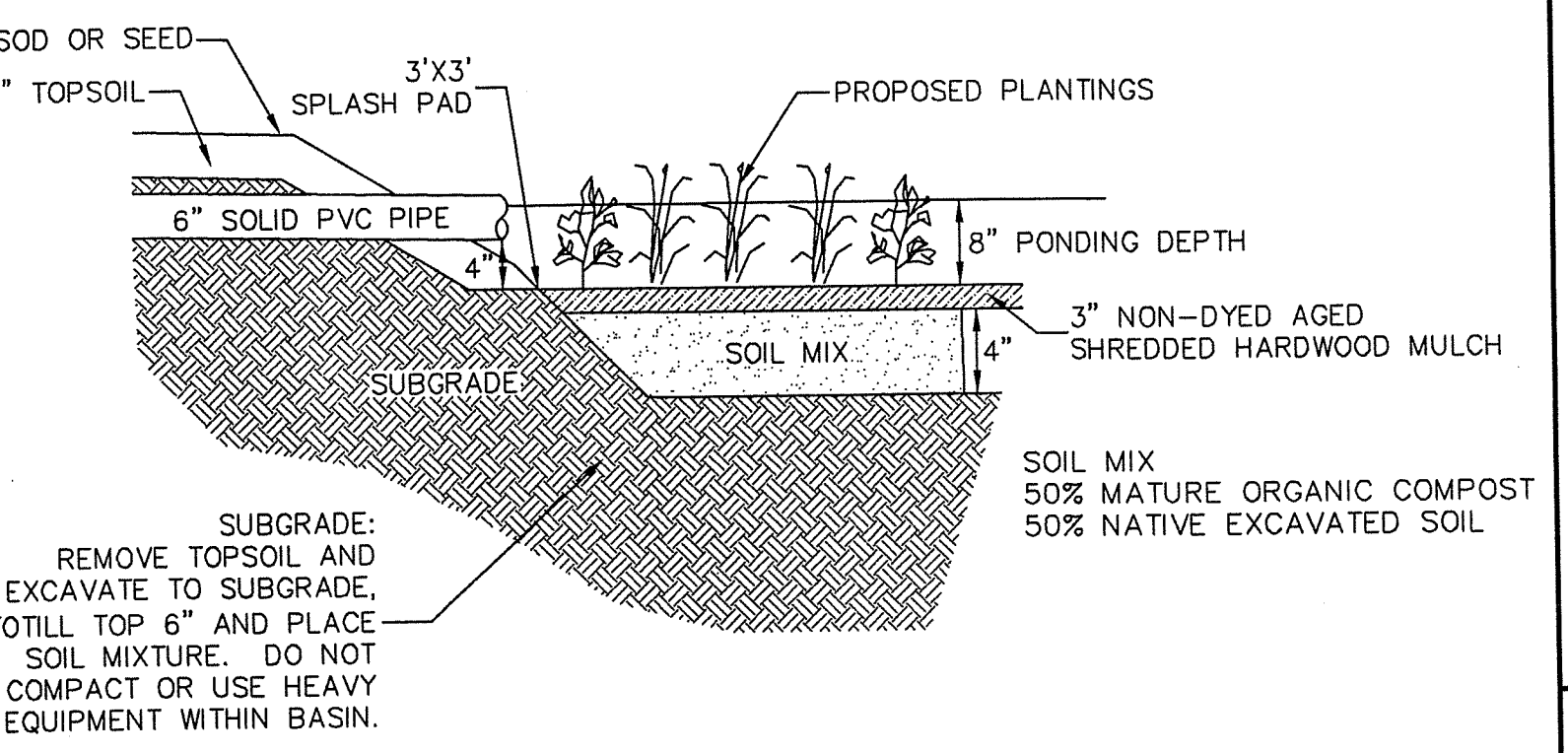
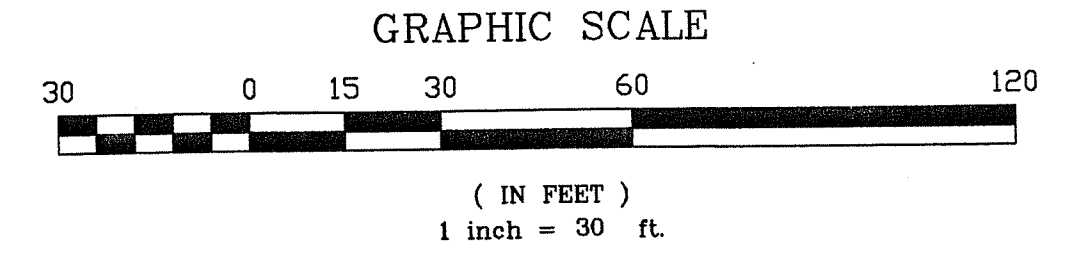
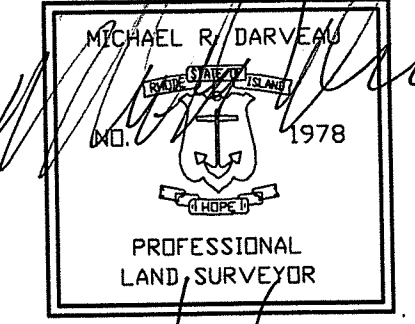
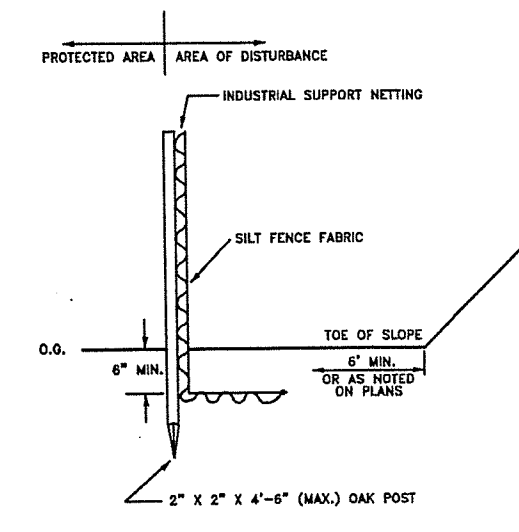
GENERAL CONTRACTOR'S NOTES:
 1. ALL UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE AND ARE TAKEN FROM EXISTING FIELD LOCATION AND/OR EXISTING PLANS.
 2. NO EXCAVATION IS TO OCCUR UNTIL "DIG SAFE" AND ALL APPROPRIATE UTILITY COMPANIES HAVE BEEN NOTIFIED AND MARKED THE EXACT LOCATION ON THE GROUND.
 3. THE OWNER/CONTRACTOR/INSTALLER IS TO INSURE THE PROPOSED RETAINING WALLS MEET ALL APPLICABLE LOCAL, STATE, AND/OR FEDERAL REQUIREMENTS.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED FEB 16 2022 FILE # 22-0025
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE
Nancy L. Freeman

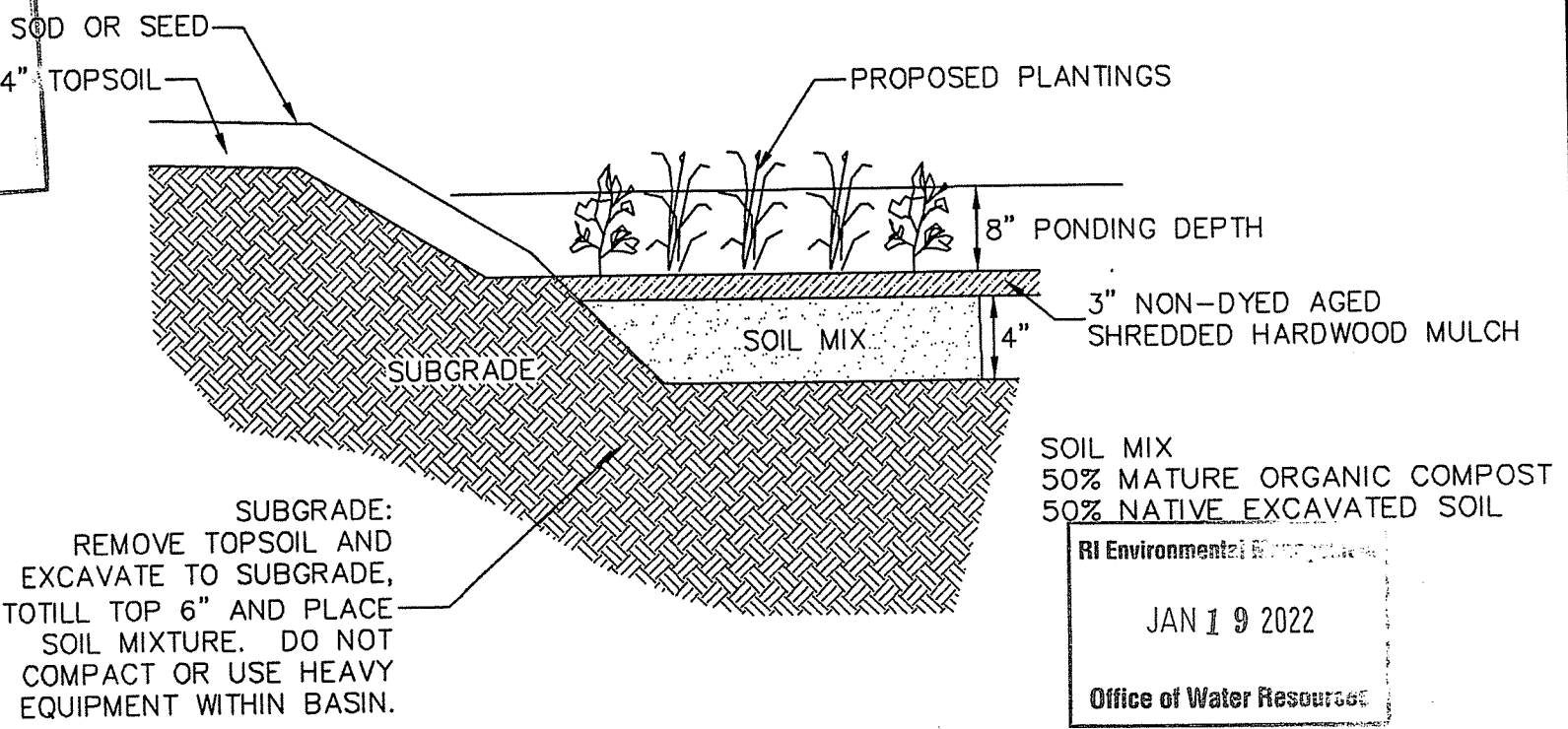
ON-SITE WASTEWATER TREATMENT SYSTEM SCHEDULES						
LOT	# OF BEDROOMS	TEST HOLE #	EXISTING GRADE	WATER TABLE ELEV.	G.S.T. BASE	PROPOSED FINISH GRADE
A	4	TH#1 / 8"	108.4	100.4	104.50	108.5-107.0
B	4	TH-C / 2'-6"	106.8	104.3	108.50	109.0-110.5

LEGEND

- PL PROPERTY LINE
- N/F NOW OR FORMERLY
- ELEV. ELEVATION
- T.O.F. TOP OF FOUNDATION
- TH TEST HOLE
- CO CLEAN-OUT
- APP. APPLICATION
- O.W.T.S. ON-SITE WASTEWATER TREATMENT SYSTEM
- BK BOOK
- PG PAGE
- TYP. TYPICAL



DWELLING RAIN GARDEN CROSS-SECTION
 NOT TO SCALE



DRIVEWAY RAIN GARDEN CROSS-SECTION
 NOT TO SCALE

RAIN GARDEN "D" CALCULATIONS:
 * RAIN GARDEN SIZING CALCULATION PER RHODE ISLAND STORMWATER MANAGEMENT GUIDANCE DOCUMENT FOR INDIVIDUAL SINGLE-FAMILY RESIDENTIAL LOT DEVELOPMENT - TABLE 8: RAIN GARDEN SIZING.
 * TOTAL IMPERVIOUS AREA = 1,800 S.F. PROPOSED DWELLING
 RAIN GARDEN "D" DEPTH = 8-INCHES
 SOIL TYPE: SANDY SOILS = 0.08 SIZING FACTOR
 1,800 S.F. AREA x 0.08 = 144 S.F. NEEDED
 * RAIN GARDEN "D" AREA PROPOSED = 150 S.F.

RAIN GARDEN "E" CALCULATIONS:
 * RAIN GARDEN SIZING CALCULATION PER RHODE ISLAND STORMWATER MANAGEMENT GUIDANCE DOCUMENT FOR INDIVIDUAL SINGLE-FAMILY RESIDENTIAL LOT DEVELOPMENT - TABLE 8: RAIN GARDEN SIZING.
 * TOTAL IMPERVIOUS AREA = 7,110 S.F. ASPHALT DRIVEWAY
 RAIN GARDEN "E" DEPTH = 8-INCHES
 SOIL TYPE: SANDY SOILS = 0.08 SIZING FACTOR
 7,110 S.F. AREA x 0.08 = 569 S.F. NEEDED
 * RAIN GARDEN "E" AREA PROPOSED = 570 S.F.

RAIN GARDEN NOTES:
 1. RAIN GARDENS SHALL BE INSPECTED FOLLOWING AT LEAST THE FIRST TWO (2) PRECIPITATION EVENTS OF AT LEAST 1.0 INCH TO ENSURE THAT THE SYSTEM IS FUNCTIONING PROPERLY. THEREAFTER, THE RAIN GARDENS SHALL BE MONITORED AND MAINTAINED TO ASSURE PROPER FUNCTIONING PLANT GROWTH AND SURVIVAL. PLANTS SHALL BE REPLACED ON AN AS-NEEDED BASIS DURING THE GROWING SEASON.
 2. SILT/SEDIMENT SHALL BE REMOVED FROM THE RAIN GARDENS WHEN THE ACCUMULATED SEDIMENT EXCEEDS ONE (1) INCH, OR WHEN WATER PONDS FOR MORE THAN 48 HOURS. THE TOP FEW INCHES OF MATERIAL SHALL BE REMOVED AND REPLACED WITH FRESH SOIL MIXTURE AND MULCH.
 3. PRUNING OR REPLACEMENT OF WOODY VEGETATION SHALL OCCUR WHEN DEAD OR DYING VEGETATION IS OBSERVED.
 4. SOIL EROSION GULLIES SHALL BE REPAIRED WHEN THEY OCCUR.
 5. FERTILIZER OR PESTICIDES SHALL NOT BE APPLIED TO PLANTS WITHIN RAIN GARDENS.
 6. PERENNIAL PLANTS AND GROUND COVERS SHALL BE REPLACED AS NECESSARY TO MAINTAIN AN ADEQUATE VEGETATED GROUND COVER. ANNUAL PLANTS MAY ALSO BE USED TO MAINTAIN GROUND COVER.
 7. THE PROPOSED PLANTINGS FOR THE RAIN GARDENS SHALL BE SUITABLE NATIVE PLANTS USED IN ACCORDANCE WITH THE RHODE ISLAND COASTAL PLANT GUIDE, WHICH IS LOCATED AT CELS.URI.EDU/TESTSITE/COASTALPLANTS/COASTALPLANTGUIDE.HTM.

SITE PLAN
 SCALE: 1" = 30'

SEDIMENTATION AND EROSION CONTROL:
 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL TEMPORARY SEDIMENTATION & EROSION CONTROL.
 2. EMBANKMENT SLOPES & ALL DISTURBED AREAS ARE TO RECEIVE A LAYER OF TOPSOIL (LOAM) AND SEED.
 3. IMMEDIATELY UPON COMPLETION OF THE CLEARING AND GRUBBING AND PRIOR TO ANY ROUGH GRADING, A TEMPORARY SILT FENCE SHALL BE PLACED AT THE LIMIT OF PERMANENT DISTURBANCE PER PLAN.
 4. ALL EROSION & SEDIMENTATION CONTROL SHALL BE CONTINUALLY MAINTAINED BY THE CONTRACTOR.

EROSION & SOIL STABILIZATION PROGRAM:
 1. TEMPORARY TREATMENTS SHALL CONSIST OF A SILT FENCE, HAY BALES, WATTLES (MULCH TUBES), OR PROTECTIVE COVERS SUCH AS FABRIC MATS.
 2. ALL CONTROLS SHALL REMAIN IN PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED COVER IS ESTABLISHED.
 3. NORMAL ACCEPTABLE SEASONAL SEEDING DATES ARE APRIL 1 - OCT. 15.
 4. ALL FILL, IF REQUIRED, SHALL BE CLEAN AND THOROUGHLY COMPACTED UPON PLACEMENT IN STRICT CONFORMANCE WITH RIDPW STANDARD SPECIFICATION SECTION 202.

SEDIMENTATION CONTROL PROGRAM:
 1. A TEMPORARY SILT FENCE, HAY BALES, WATTLES, OR PROTECTIVE COVER SHALL BE INSTALLED PRIOR TO CONSTRUCTION & SHALL BE MAINTAINED CONTINUALLY. IN ADDITION TO THE LINE OF THE SILT FENCE AT THE LIMIT OF PERMANENT DISTURBANCE, TEMPORARY BARRIERS SHALL BE CONSTRUCTED AT THE TOE OF THE DISTURBED (CUT OR FILL) SLOPES UNTIL VEGETATIVE COVER HAS BEEN ESTABLISHED.
 2. DURING CONSTRUCTION THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ADEQUATE DRAINAGE FLOW DURING STORMS AND PERIODS OF RAINFALL.
 3. SEDIMENTATION CONTROL DEVICES SHALL BE INSPECTED CLOSELY AND MAINTAINED PROMPTLY AFTER EACH RAINFALL.

SLOPE STABILIZATION AND VEGETATION:
 1. ALL CONTROLS SHALL BE PLACED AT THE TOE OF ALL DISTURBED SLOPES. THIS SHALL BE MAINTAINED AS A SEDIMENT BARRIER UNTIL THE SLOPES ARE STABILIZED WITH GRASS.
 2. THE DISTURBED SLOPES (CUT OR FILL) SHALL BE IMMEDIATELY MULCHED AS AN EROSION PROTECTION MEASURE.
 3. MAINTAIN MULCH UNTIL THE SLOPES ARE STABILIZED WITH A SATISFACTORY GROWTH OF GRASS.
 4. VEGETATION REMOVED MAY BE SHREDDED AND CHIPPED ON SITE FOR USE AS MULCH, OR IT MAY BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER.
 5. THE RESEEDING OF THE DISTURBED SLOPES SHALL BE CONDUCTED WITH SEED MATERIALS SELECTED FOR PRODUCTION OF A QUICK COVER AND HARDY STAND. PARTICULARLY A CONSERVATION GRASS SEED OR COMPARABLE. THE SEEDING SHALL BE IN ACCORDANCE WITH COMMON NURSERY PRACTICE IN THE RHODE ISLAND AREA.
 6. PROVIDED THAT THE PROVISIONS OF THIS SEDIMENTATION & EROSION CONTROL PLAN ARE IMPLEMENTED, THERE WILL BE NO ADVERSE ENVIRONMENTAL EFFECTS FROM THE PROPOSED CONSTRUCTION.

Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.

PROJECT NO: 2021_010
 SHEET NO: 4 OF 4
 SCALE: 1" = 30'
 DRAWN BY: S.A.K.
 DATE: DEC. 14, 2021
 REVISIONS:
 MINOR SUBDIVISION SITE PLAN FOR S & B PROPERTIES, LLC
 PLAT 39, LOT 13
 SCOTT ROAD
 CUMBERLAND, RHODE ISLAND
 DARVEAU LAND SURVEYING, INC.
 P.O. BOX 7918
 CUMBERLAND, R.I. 02864
 PHONE 401-475-5700
 E-MAIL: MIKE@DARVEAUSURVEY.COM