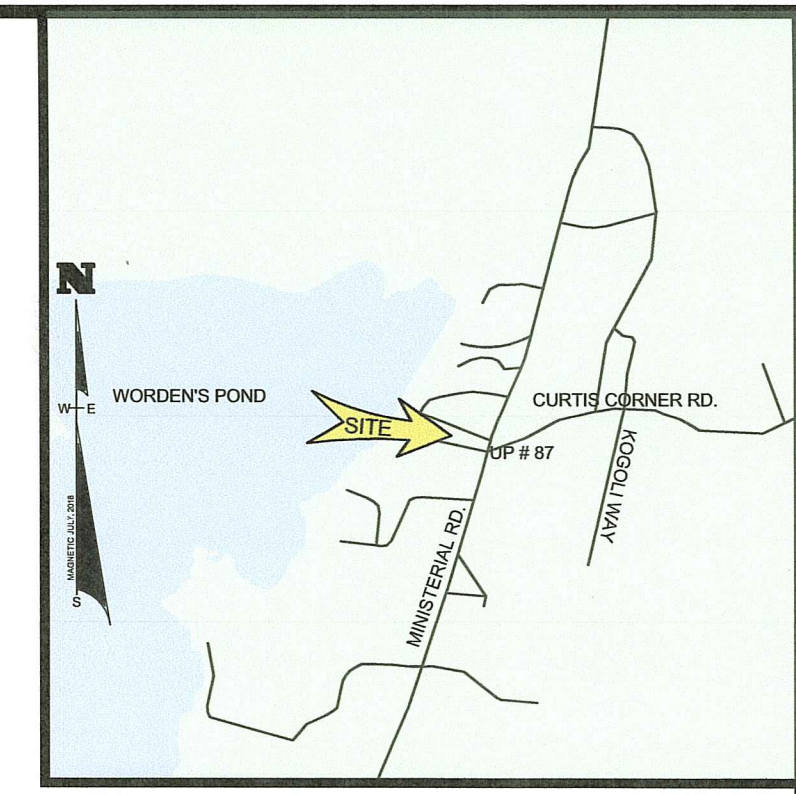
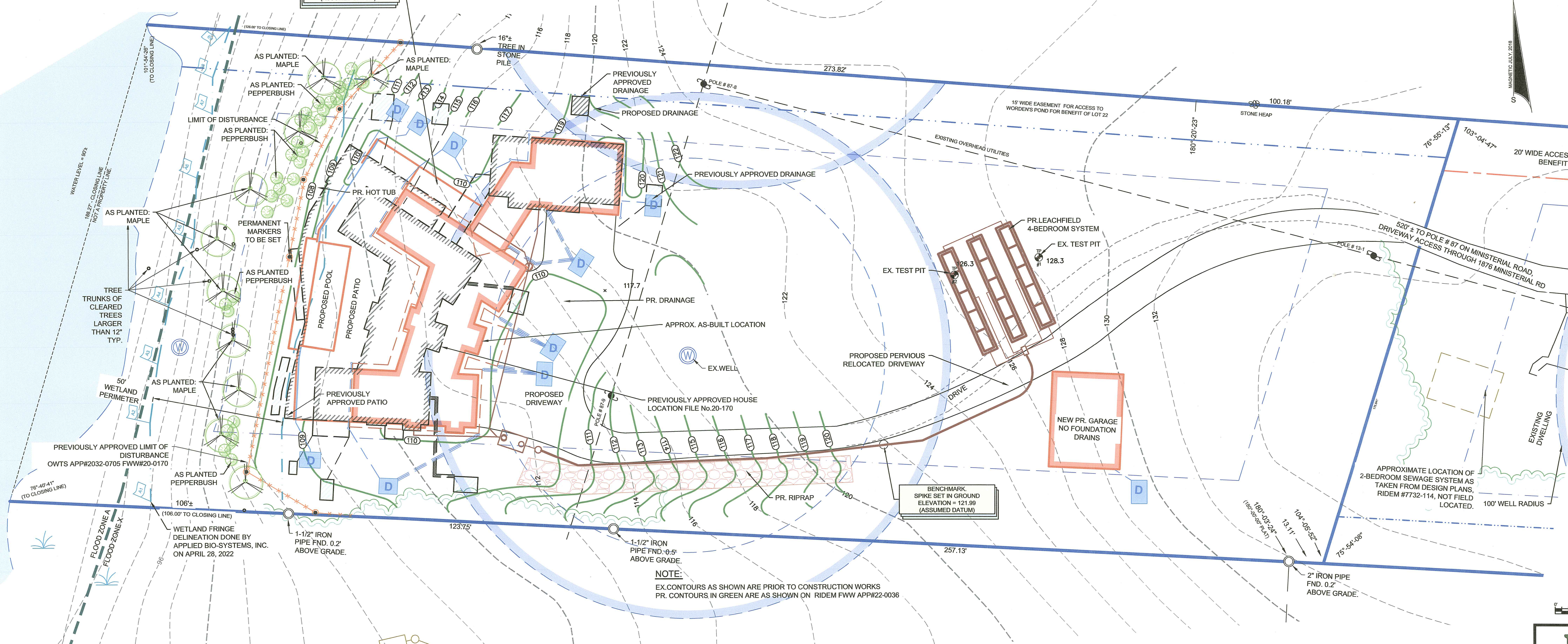


NOTE:
NEW TREES AND SHRUBS HAVE BEEN PLANTED AND APPROVED ON SITE BY RIDEM AS PER OWNER'S REPRESENTATIVE



SITE INFORMATION - LOT 23

LOT:	23
ASSESSOR'S MAP:	46
LOT AREA:	85,300± SF
ZONING DISTRICT:	R-80

TOWN REQUIREMENTS

REQUIRED	REQUIRED
LOT AREA	80,000 SF
LOT WIDTH	200 FEET
FRONT SETBACK:	50 FEET
SIDE SETBACK:	30 FEET*
REAR SETBACK:	50 FEET
SITE COVERAGE:	20%
BUILDING HEIGHT:	35 FEET

BUILDING COVERAGE

EXISTING	PROPOSED
EXISTING BUILDINGS AREA	1924 SF
TOTAL EXISTING COVERAGE AREA	1,924 SF
EXISTING SITE COVERAGE	2.3%
PROPOSED	PROPOSED
PROPOSED NEW HOUSE	2835
PROPOSED NEW GARAGES	1626
TOTAL PROPOSED COVERAGE AREA	4,759 SF
TOTAL PROPOSED SITE COVERAGE	5.6%

- GENERAL NOTES:**
- THIS SITE IS NOT LOCATED WITHIN A NATURAL HERITAGE AREA ACCORDING TO RIDEM ENVIRONMENTAL RESOURCE MAP.
 - THIS SITE IS NOT LOCATED WITHIN A CRITICAL RESOURCE AREA ACCORDING TO RIDEM ENVIRONMENTAL RESOURCE MAP.
 - THIS SITE IS NOT LOCATED IN A HISTORIC OVERLAY DISTRICT ACCORDING TO THE SOUTH KINGSTOWN GIS MAP.
 - THIS SITE IS NOT LOCATED IN A GROUNDWATER PROTECTION OVERLAY DISTRICT ACCORDING TO THE SOUTH KINGSTOWN GIS MAP.
 - PATIO, WINDOW WELLS AND STAIRS SHALL HAVE RAILINGS COMPLIANT WITH STATE AND LOCAL BUILDING CODES

- FEMA DESIGNATIONS:**
- MOST OF THE SUBJECT PROPERTY INCLUDING THE HOUSE LOCATIONS DEPICTED HEREON APPEAR TO BE WITHIN ZONE X, ZONE OF MINIMAL FLOOD HAZARD, REFERENCE FEMA FLOOD INSURANCE RATE MAP 44009C0185H, DATED OCTOBER 19, 2010. A SMALL AREA IMMEDIATELY ADJACENT TO WORDEN'S POND IS LOCATED IN ZONE A THAT DOES NOT HAVE AN ASSIGNED BASE FLOOD ELEVATION.

PLANT LIST

SHRUBS	COUNT	SIZE
SWEET PEPPER BUSH	31 EA	H=2'; W=2'
TREES		
MAPLE	10 EA	6' CROWN, 2" STEM

- REFERENCES:**
- THE PLAT ENTITLED: "TRACT OF LAND AT WORDEN'S POND IN THE TOWN OF SOUTH KINGSTOWN, R.I., PROPERTY OF EDWARD R. & CLARA W. SMITH SURVEYED AND PLATTED OCT., 1971, A.J. EASTERBROOKS, C.E. SCALE 1"=80'".
 - THE PLAN ENTITLED: "PLAN OF PROPOSED PARTITION OF LAND IN THE TOWN OF SOUTH KINGSTOWN, R.I., OWNED BY ROBERT E. & JANET R. HILL, MARCH, 1976, A.J. EASTERBROOKS, C.E. SCALE: 1"=80'".
 - THE PLAN ENTITLED: "PROPERTY OF ERNEST D. GEORGE SOUTH KINGSTOWN, R.I. PROPOSED DIVISION OF LOT 0L37A ASSESSOR'S MAP 5-10 F.A. MURRAY ENGINEERS - SLOCUM R.I. DATE JANUARY 1972".
- UTILITIES:**
- THE LOCATION OF EXISTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE ONLY AND HAVE BEEN SHOWN USING THE BEST AVAILABLE DATA.
 - THE CONTRACTOR SHALL CONTACT 'DIG-SAFE' AND/OR OTHER APPROPRIATE UTILITY COMPANIES TO ASCERTAIN THE EXACT LOCATION OF THE RESPECTIVE UTILITY PRIOR TO CONSTRUCTION.
 - UTILITIES INCLUDE BUT ARE NOT LIMITED TO GAS, ELECTRIC, WATER, TELEPHONE CABLE TV, ETC.
 - ALL CONSTRUCTION ACTIVITIES MUST ADHERE TO OSHA AND NATIONAL GRID REQUIREMENT



STREET INDEX:

This plan, if recorded in the land evidence records of the local municipality shall be indexed under the following streets:

- Ministerial Road

CERTIFICATION:

This survey has been conducted on February 14 and July 22, 2019 and the plan has been prepared pursuant to 435-RICR-00-00-1.9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS on November 25, 2015, as follows:

Type of Boundary Survey: Limited Content Boundary Survey
Measurement Specification: I

Other Type of Survey: Data Accumulation Survey (By Onsite Instrument Survey)
III

Contours shown are partially from onsite survey and partially from the Northeast LIDAR project

The purpose for the conduct of the survey and the preparation of the plan is as follows: This plan is intended for the design and permitting of an Onsite Wastewater Treatment System for the subject parcel shown hereon.

BY: [Signature] DATE: 3/13/2023
JEFFREY K. BALCH, RI PROFESSIONAL LAND SURVEYOR #1839
CERTIFICATE OF AUTHORIZATION #A535.

LEGEND

	PROPERTY LINE		TEST PIT
	UTILITY POLE		BOUND
	SPOT GRADE		IRON PIN
	EXISTING CONTOUR		TREE/BRUSH LINE
	WATER LINE		FENCE LINE
	WATER VALVE		SILT FENCE
	PREVIOUSLY APPROVED DRAINAGE		PROPOSED DRAINAGE

FRISELLA - BALCH & ASSOCIATES
LAND SURVEYORS
33 NORTH RD. SUITE C-201
PEACE DALE, RI
PHONE (401) 783-5949
FAX (401) 783-5997
www.friseλλα.com

NO.	DATE	DESCRIPTION	BY
1	3-13-23	ADD AS-PLANTED VEGETATION, CHANGES PER RIDEM COMMENTS	JB

Site Plan Showing
Existing, Approved and Executed Conditions

LOCATED ON:
LOTS 22 & 23 OF ASSESSOR'S MAP 46

PREPARED FOR:
Jonathan N. Savage

ADDRESS:
1872 Ministerial Rd.
IN THE TOWN OF South Kingstown, RI

DATE: October 5, 2022
DESIGNED BY: JEFFREY K. BALCH, P.L.S.

SCALE: 1" = 20'

DRAWN BY: IVB CHECKED BY: JKB

DRAWING NO.: SHEET 1 OF 1

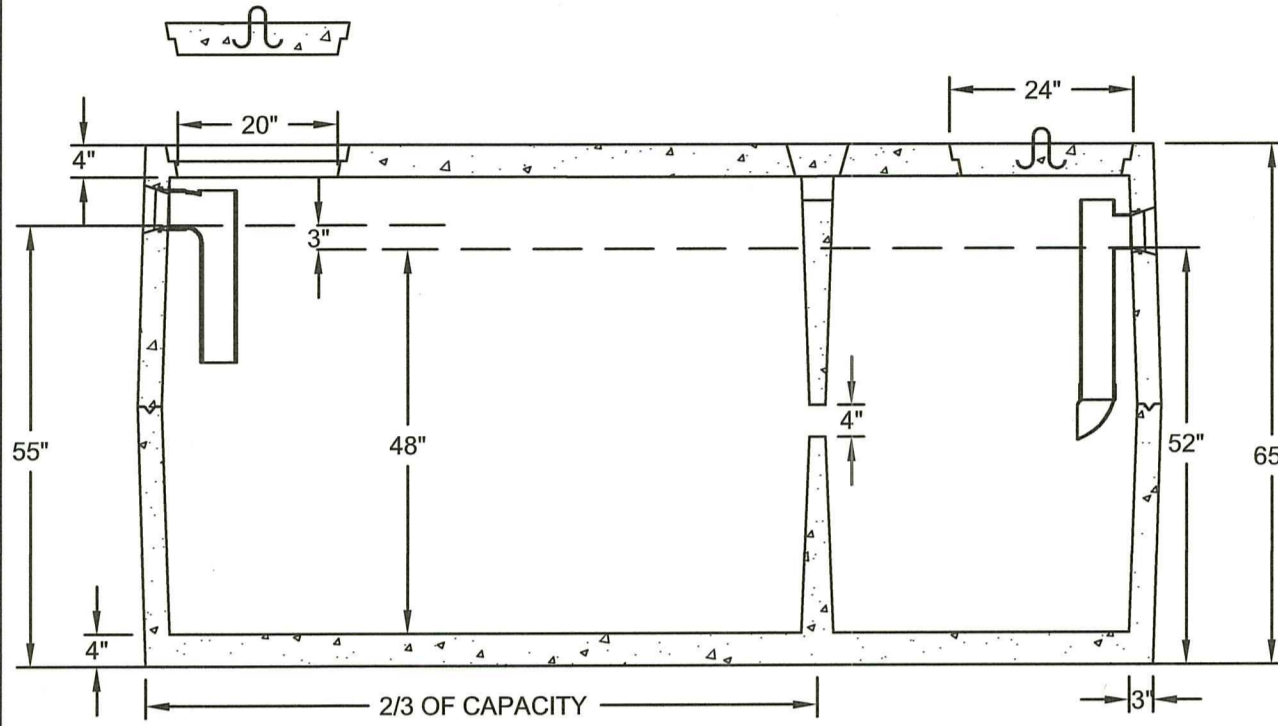
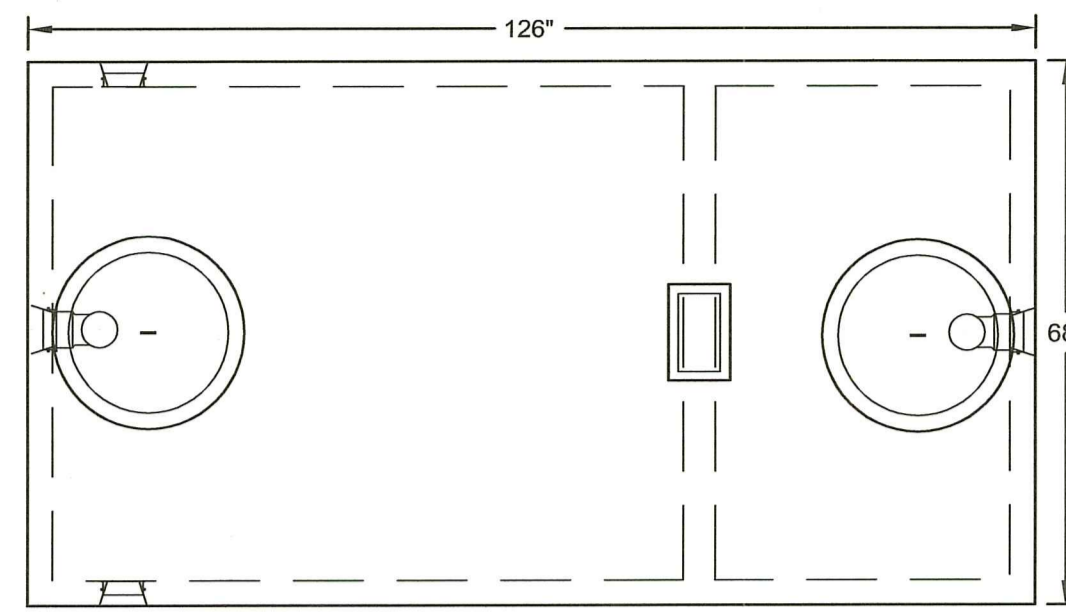
JEFFREY K. BALCH
RI Environmental Management
MAR 17 2023
Office of Water Resources

JEFFREY K. BALCH
No. 1839
PROFESSIONAL LAND SURVEYOR

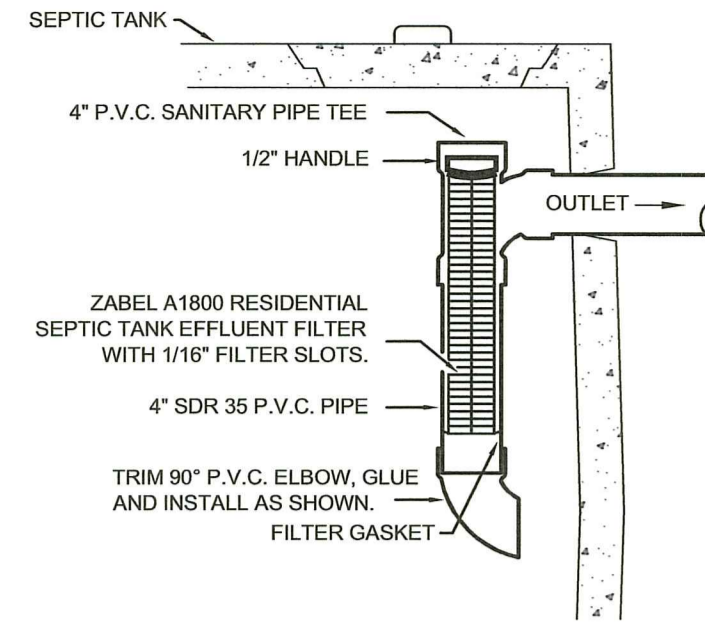
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© JEFFREY K. BALCH 2023

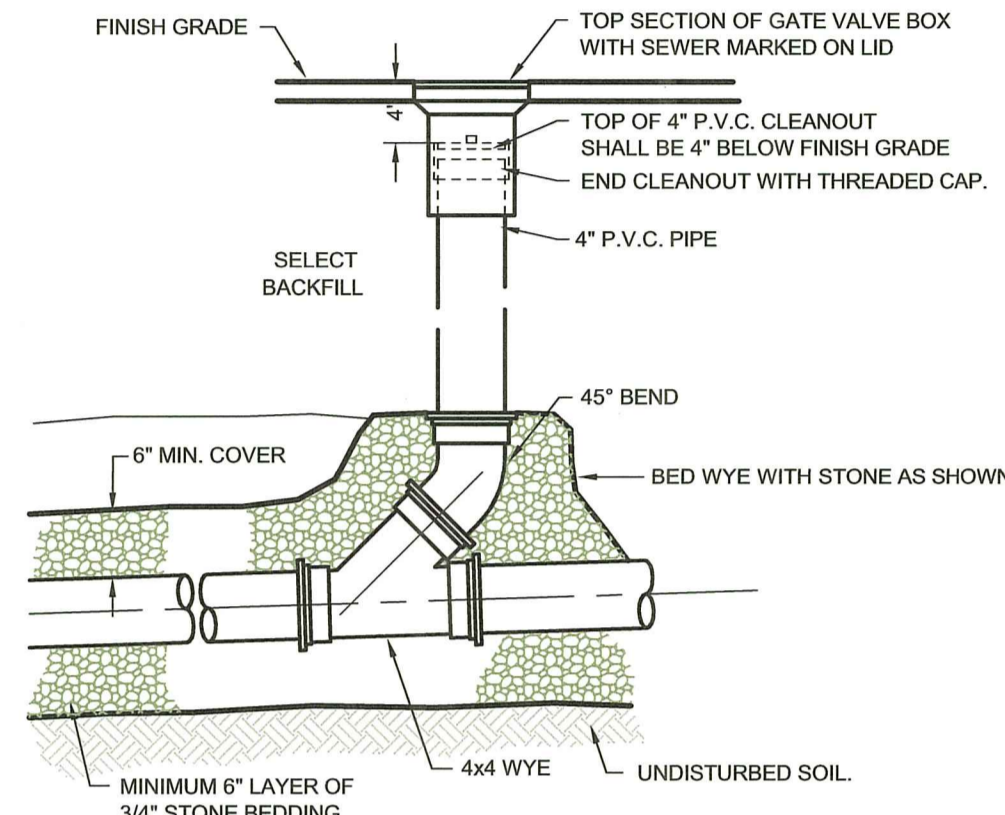
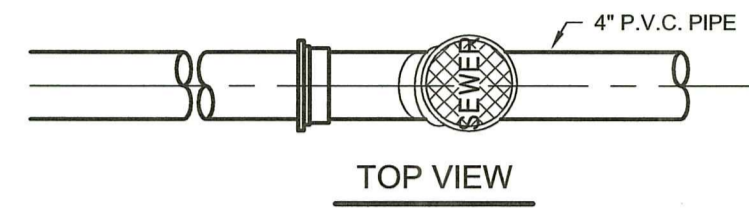
NOTES:
 • ALL JOINTS SEALED WITH BUTYL RUBBER SEALANT
 • ALL INLETS AND OUTLETS HAVE STATE-APPROVED SEALS AVAILABLE WITH 8" TOP 4" MEETS ASTM C 1237-07A
 • CONCRETE STRENGTH 5000 P.S.I. MIN. 28 DAYS
 JOLLEY PRECAST, INC. 6937745066



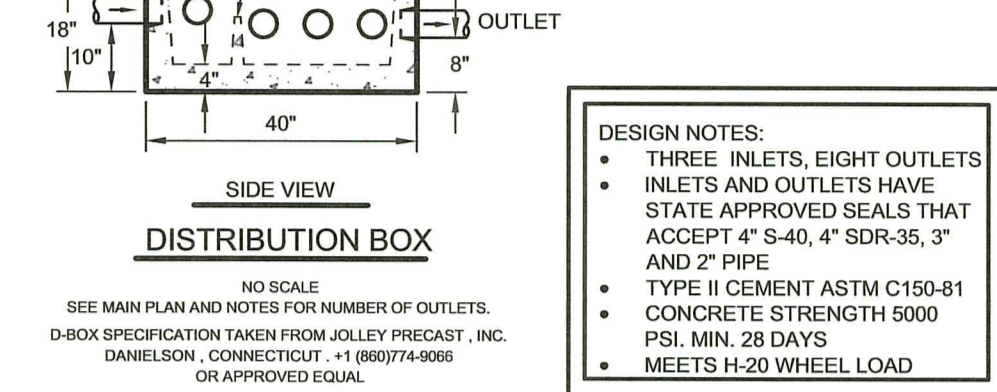
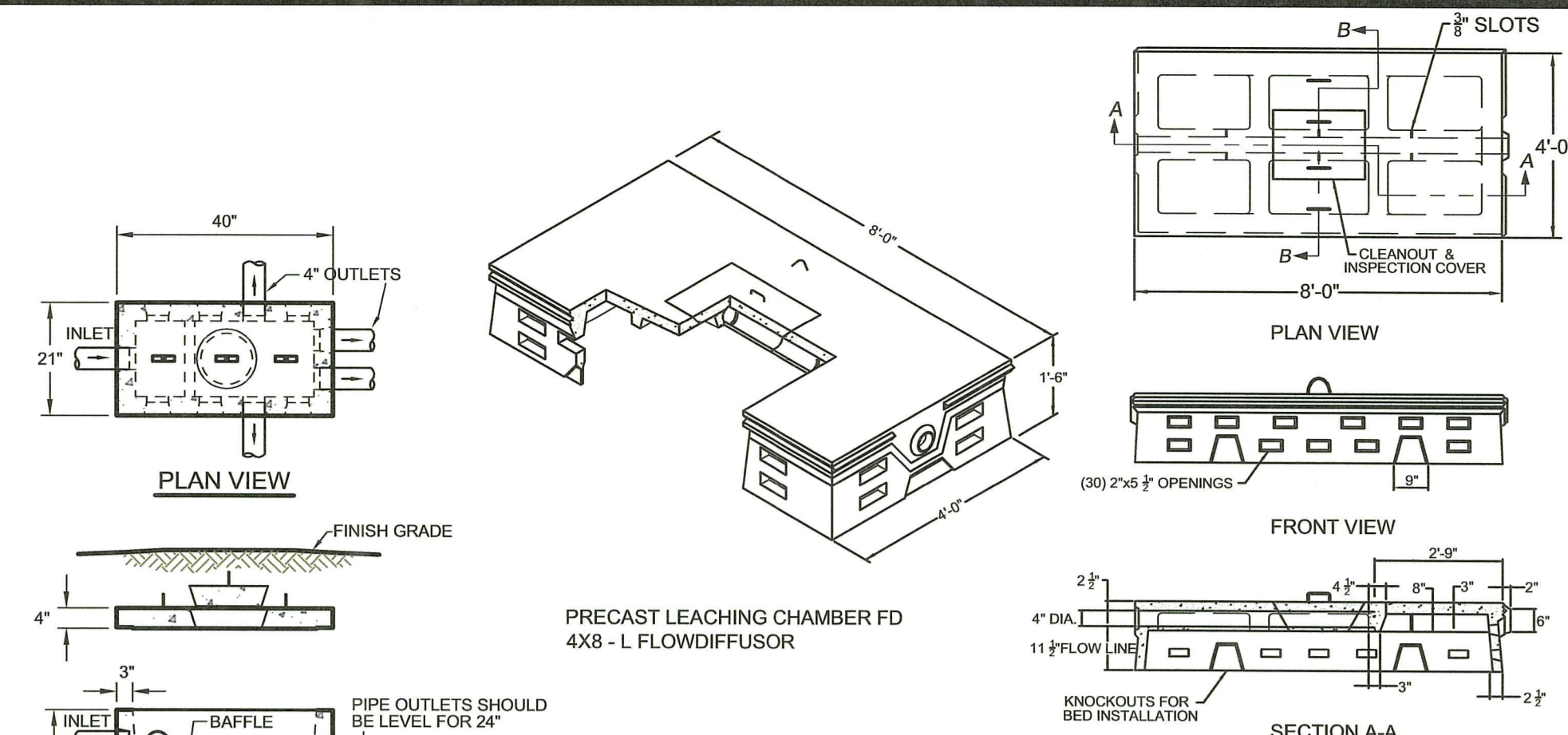
SECTION VIEW
 1500 GALLON TWO COMPARTMENT SEPTIC TANK
 NO SCALE



SEPTIC TANK FILTER
 CROSS SECTION
 NO SCALE

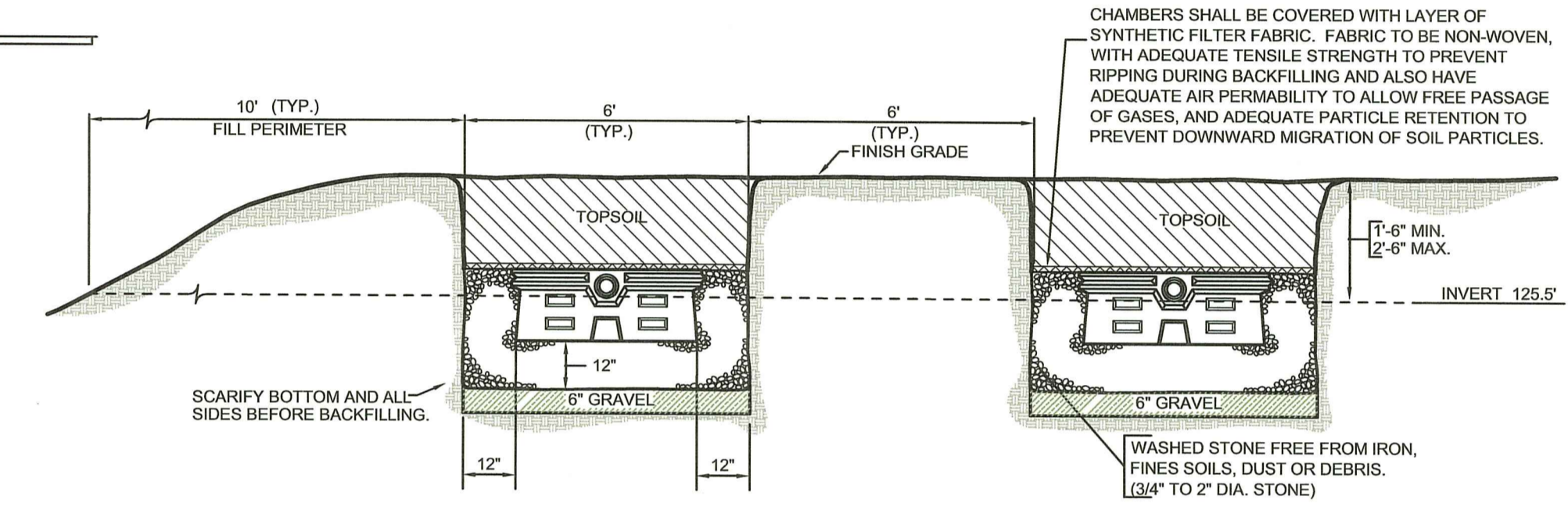


SECTION VIEW
 4" GRAVITY SEWER LINE CLEANOUT
 SCALE: NONE

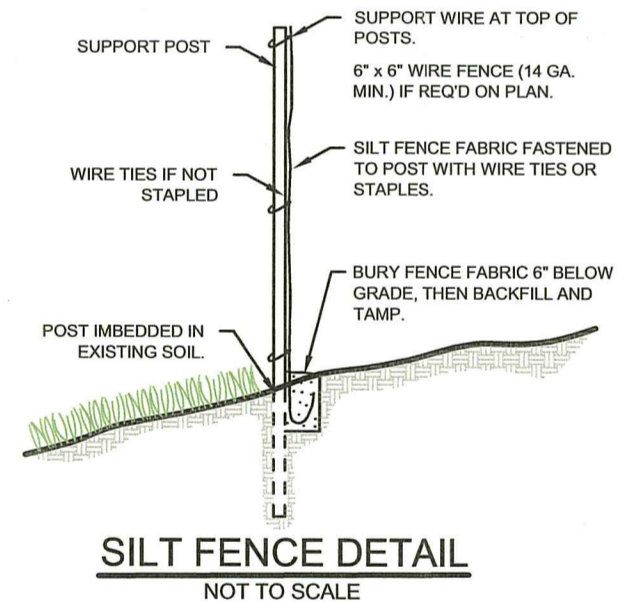


DESIGN NOTES:
 • THREE INLETS, EIGHT OUTLETS
 • INLETS AND OUTLETS HAVE STATE APPROVED SEALS THAT ACCEPT 4" S-40, 4" SDR-35, 3" AND 2" PIPE
 • TYPE II CEMENT ASTM C150-81
 • CONCRETE STRENGTH 5000 P.S.I. MIN. 28 DAYS
 • MEETS H-20 WHEEL LOAD

18" PRECAST LEACHING CHAMBER FD 4x8 - L FLOWDIFFUSOR
 NOT TO SCALE



TYPICAL FLOW DIFFUSERS CROSS-SECTION
 NO SCALE
 SEE MAIN PLAN FOR LOCATION AND NUMBER OF FLOWDIFFUSORS AND TRENCH LINES.



SILT FENCE DETAIL
 NOT TO SCALE

SCHEDULE OF INSPECTIONS:

- 3-BUSINESS DAYS NOTICE SHALL BE GIVEN TO FRISELLA-BALCH & ASSOCIATES PRIOR TO THE START OF CONSTRUCTION.
- ALL INSPECTIONS SHALL REQUIRE AT LEAST 1 BUSINESS DAYS NOTICE TO FRISELLA-BALCH & ASSOCIATES
- THE FOLLOWING INSPECTIONS ARE REQUIRED BY FRISELLA-BALCH & ASSOCIATES:
 - PRE-CONSTRUCTION MEETING WITH FRISELLA-BALCH & ASSOCIATES AT THIS MEETING THE START OF CONSTRUCTION WILL BE CALLED IN TO RIDEM.
 - PRIOR TO COVERING ANY COMPONENT OR PIPING.
 - FINAL GRADING AND 10' FILL PERIMETERS.
 - CHECKING OF PUMP(S), CONTROL PANEL AND FLOAT ELEVATIONS (WHERE APPROPRIATE), SUPPLIER OF ORENCO PRODUCTS TO PERFORM THE START-UP IN THE PRESENCE OF A FRISELLA-BALCH & ASSOCIATES REPRESENTATIVE.

CONFINED SPACE SIGNS:

PERMANENT DURABLE CORROSION RESISTANT SIGNS INDICATING "CONFINED SPACE - ENTRY BY PERMIT ONLY" SHALL BE PLACED AT EACH TANK AND PUMP CHAMBER SIDEWALL OF RISER. SIGNS SHALL MEET O.S.H.A. REQUIREMENTS FOR SIZE, MARKINGS AND LOCATION.

CONTRACTOR SHALL PROVIDE THE FOLLOWING TO FRISELLA-BALCH & ASSOCIATES:

- PRODUCT SPECIFICATION SHEETS FOR PRODUCTS USED IF DIFFERENT THAN SPECIFIED ON THE PLANS. CONTRACTOR SHALL OBTAIN PRIOR APPROVAL FROM FRISELLA-BALCH FOR ANY ITEM THAT IS DIFFERENT THAN SHOWN ON APPROVED DESIGN PLANS. THIS WOULD INCLUDE DIFFERENT MANUFACTURERS THAN SPECIFIED BY FRISELLA-BALCH & ASSOCIATES.
- COPY OF DELIVERY SLIPS FOR ALL MATERIALS DELIVERED TO SITE.

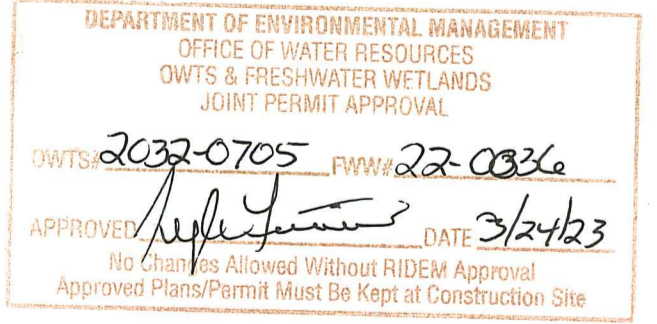
MAINTENANCE:

ALL COMPONENTS OF THE SYSTEM SHALL BE INSPECTED AFTER THE FIRST 4-6 MONTHS OF OPERATION, AND AFTER ONE YEAR OF OPERATION. THE SYSTEM SHALL BE INSPECTED YEARLY THEREAFTER UNLESS ORIGINAL INSPECTIONS DETERMINE MORE FREQUENT INSPECTIONS ARE REQUIRED. THE OWNER SHOULD BE AWARE THAT THIS ONSITE WASTEWATER TREATMENT SYSTEM SHALL HAVE A PERMANENT ROUTINE MAINTENANCE AGREEMENT THAT SHALL BE RECORDED IN THE LAND EVIDENCE RECORDS OF THE TOWN.

- NOTES:
- THE STONE USED IN THE LEACHFIELD SHALL CONSIST OF CLEAN, WASHED STONE RANGING FROM THREE QUARTER (3/4) INCH TO NOT MORE THAN TWO (2) INCHES IN SIZE AND FREE OF FINES, SOILS, STONE DUST OR DEBRIS.
 - THE STONE SHALL BE COVERED WITH A LAYER OF NON-WOVEN SYNTHETIC FILTER FABRIC THAT SHALL HAVE ADEQUATE TENSILE STRENGTH TO PREVENT RIPPING DURING INSTALLATION AND BACKFILLING. ADEQUATE AIR PERMEABILITY TO ALLOW FREE PASSAGE OF GASES, AND ADEQUATE PARTICLE RETENTION TO PREVENT DOWNWARD MIGRATION OF SOIL PARTICLES.
 - THE GRAVEL BASE MATERIAL AND, WHERE APPLICABLE, THE GRAVEL BETWEEN THE TRENCHES SHALL CONSIST OF CLEAN SAND AND GRAVEL FREE OF ORGANIC MATTER AND FOREIGN SUBSTANCES.
 - THE GRAVEL SHALL NOT CONTAIN ANY MATERIAL LARGER THAN THREE (3) INCHES AND UP TO TEN PERCENT (10%) MAY BE SIZED BETWEEN THREE-QUARTERS (3/4) AND THREE (3) INCHES

BOUYANCY:

WATER TABLE BELOW SYSTEM, NO BOUYANCY OCCURRING. BOUYANCY CALCULATIONS NOT REQUIRED



EROSION AND SEDIMENTATION CONTROL NOTES:

TEMPORARY AND/OR PERMANENT EROSION CONTROL DEVICES SUCH AS BALED HAY, SILT FENCING, ETC. SHALL BE INSTALLED PRIOR TO ANY CLEARING OR EXCAVATION. HAY BALES OR SILT FENCING SHALL BE PLACED IMMEDIATELY DOWN SLOPE AND ADJOINING AREAS OF SOIL DISTURBANCE AND STOCKPILES. INSTALLATION OF ALL EROSION CONTROL DEVICES SHALL BE CONDUCTED IN ACCORDANCE TO DETAIL SPECIFICATIONS.

CLEARING OF EXISTING VEGETATION SHALL BE DONE IN A CONTROLLED MANNER SO AS TO AVOID EXTENSIVE AREAS OF DEFOLIATED TERRAIN SUBJECT TO EROSION. AREAS SO DISTURBED SHALL BE BROUGHT TO FINAL GRADES AND STABILIZED AS SOON AS POSSIBLE.

DURING CONSTRUCTION THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING DRAINAGE AND RUNOFF FLOW DURING STORMS AND PERIODS OF RAINFALL.

ALL EROSION CONTROL DEVICES SHALL BE INSPECTED AND MAINTAINED ON A REGULAR BASIS DURING CONSTRUCTION, ESPECIALLY AFTER EACH RAINFALL.

DUE TO CHANGING CHARACTERISTICS OF THE SITE CAUSED BY AND DURING CONSTRUCTION ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED AS SITE CONDITIONS WARRANT.

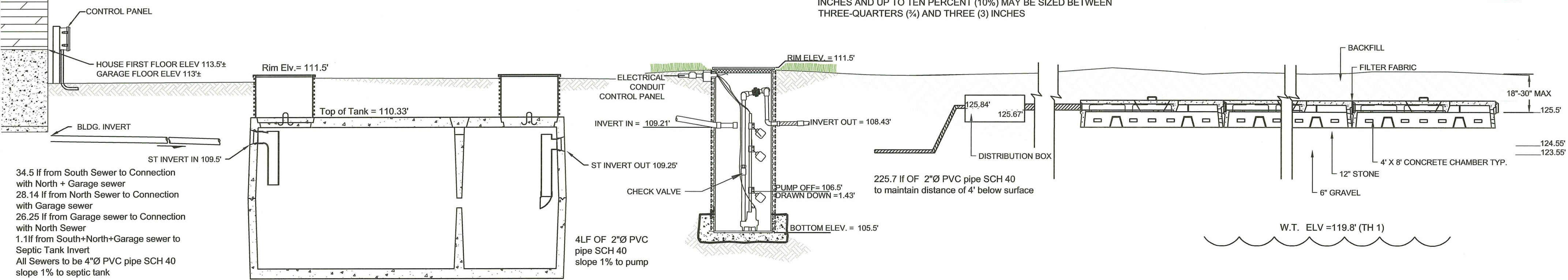
IF CONSTRUCTION IS SUSPENDED, ALL DISTURBED AREAS SHALL BE SEEDED AND ALL NECESSARY EROSION CONTROL DEVICES SHALL BE IN PLACE AND IN GOOD WORKING ORDER. IF SEEDING IS NOT POSSIBLE THEN EROSION CONTROL MATS SHALL BE PLACED OVER ALL DISTURBED SOIL. EROSION CONTROL BLANKETS (MATS) SHALL BE INSTALLED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS. EROSION CONTROL BLANKETS (MATS) SHALL BE MANUFACTURED BY NORTH AMERICAN GREEN OR APPROVED EQUIVALENT AND INSTALLED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.

ALL EROSION CONTROL METHODS, MATERIALS AND MAINTENANCE SHALL BE DONE IN ACCORDANCE WITH THE "RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK".

ALL AREAS WHICH ARE DISTURBED DURING CONSTRUCTION ARE TO BE BROUGHT TO FINISHED GRADE WITH AT LEAST 6" MINIMUM DEPTH OF GOOD QUALITY LOAM AND ALL SOIL AMENDMENTS DEEMED NECESSARY. THE AREA SHALL BE SEEDED WITH A QUICK GERMINATING GRASS SEED SUCH AS URI #2 OR APPROVED EQUIVALENT.

THE CONTRACTOR SHALL PROVIDE FOR ALL SEEDED AREAS TO BE WATERED AND IN GOOD CONDITION UNTIL A GOOD HEALTHY AND UNIFORM GRASS IS ESTABLISHED OVER THE ENTIRE AREA.

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FRISELLA
 LAND SURVEYORS

FRISELLA - BALCH & ASSOCIATES
 LAND SURVEYORS
 33 NORTH RD, SUITE C-201
 PEACE DALE, RI
 PHONE (401) 783-5949
 FAX (401) 783-5997
 www.frisella.com

NO.	DATE	DESCRIPTION	BY
1	8-19-20	ADDED SCO DETAIL	IB

DRAWING TITLE:
Detail Sheet Proposed OWTS

LOCATED ON:
 LOTS 22 & 23 OF ASSESSORS MAP 46

PREPARED FOR:
Jonathan N. Savage

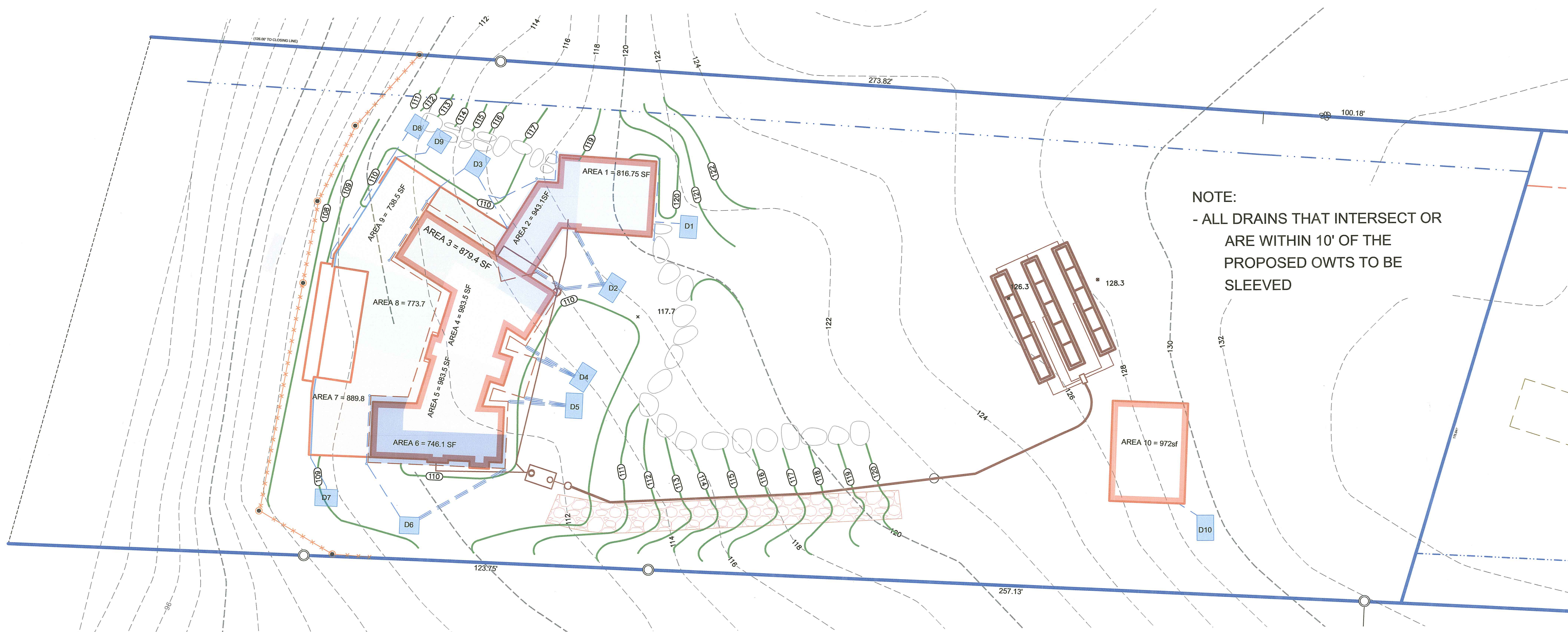
ADDRESS:
 1872 Ministerial Rd.
 IN THE TOWN OF South Kingstown, RI

August 1, 2020
 DESIGNED BY:
 JEFFREY K. BALCH, P.L.S.

SCALE: 1" = 20'

DRAWN BY: IVB CHECKED BY: JKB
 DRAWING NO. SHEET 2 OF 3

JEFFREY K. BALCH
 3/2/23
 No. 1839
 PROFESSIONAL LAND SURVEYOR



DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
OWTS & FRESHWATER WETLANDS
JOINT PERMIT APPROVAL

2022-0705 FWW 22-0036

APPROVED: [Signature] DATE: 3/24/23

No Changes Allowed Without RIDEM Approval
Approved Plans/Permit Must Be Kept at Construction Site

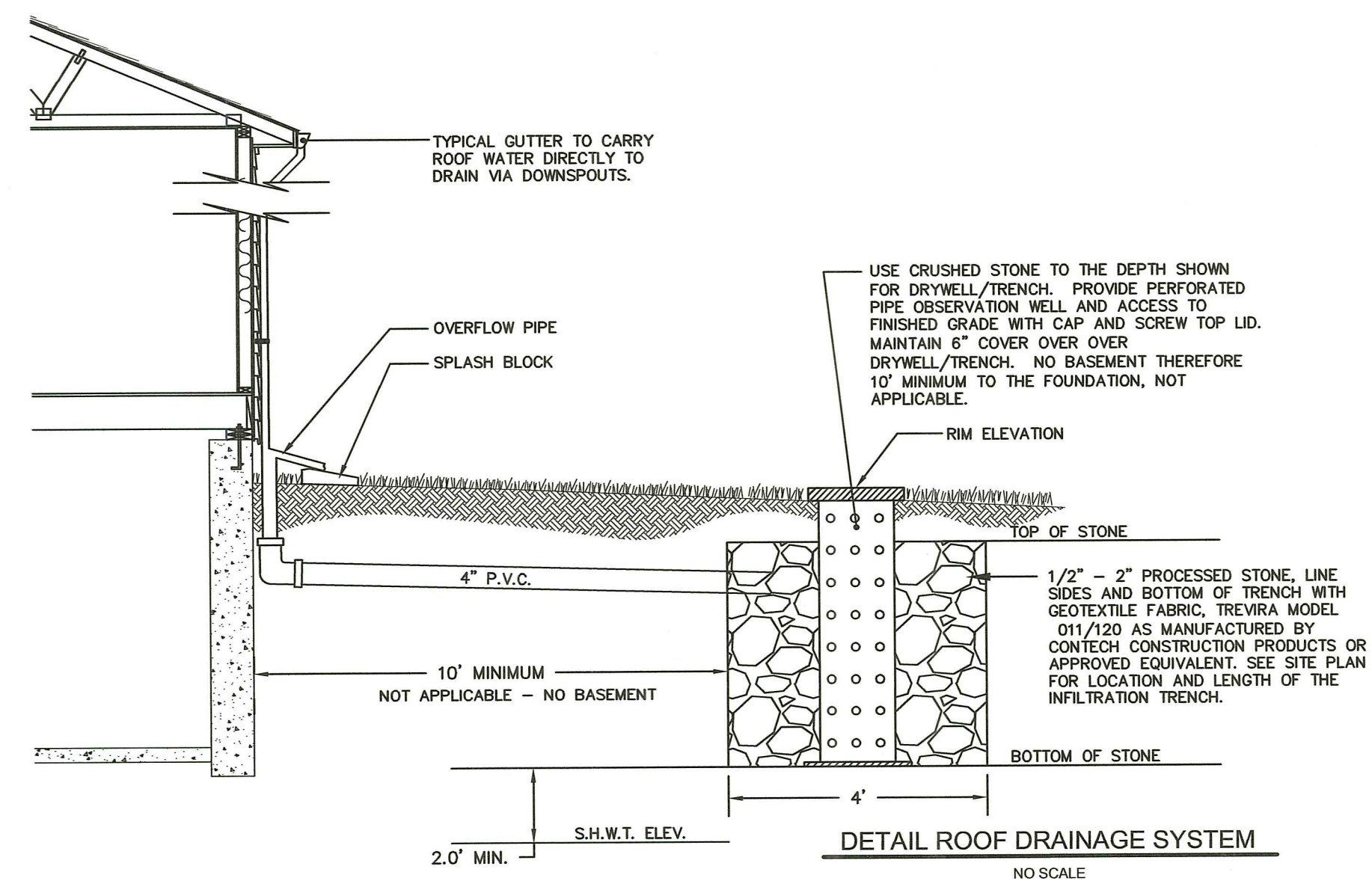
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DRY WELL SIZING (48" DEEP)

AREA #	SIZE	PROP	REQ'D
1	816.8'	48.0 sf	44.1 sf
2	967.6'	54.0 sf	52.3 sf
3	879.4'	48.0 sf	47.5 sf
4	983.5'	54.0 sf	53.1 sf
5	983.5'	54.0 sf	53.1 sf
6	746.1'	42.0 sf	40.3 sf
7	889.8'	48.0 sf	48.0 sf
8	773.7'	42.0 sf	41.8 sf
9	738.5'	42.0 sf	39.9 sf
10	972.0'	54.0 sf	52.5 sf
TOTAL	8750.9 sf	486.0sf	472.5 sf

DRY WELL CALCULATION:

- PROPOSED IMPERVIOUS AREA = 6028.7 SF - Roofs only
- REQ. AREA FOR 48" DEEP DRYWELL = 54 SF/1,000 SF OF IMPERVIOUS AREA
- 7771.9 SF ÷ 1,000 SF x 54 SF + 419.7 SF OF DRYWELL AREA REQUIRED



NO.	DATE	DESCRIPTION	BY
1	3-13-23	REVISE DRAINAGE CALCULATIONS	IB

Site Plan
Proposed Drainage

LOCATED ON:
LOTS 22 & 23 OF ASSESSORS MAP 46

PREPARED FOR:
Jonathan N. Savage

ADDRESS:
1872 Ministerial Rd.
IN THE TOWN OF South Kingstown, RI

August 1, 2020
DESIGNED BY:
JEFFREY K. BALCH, P.L.S.

SCALE: 1" = 20'

DRAWN BY:
IVB

CHECKED BY:
JKB

DRAWING NO.
SHEET 3 OF 3

21 Environmental Management
MAR 17 2023
Office of Water Resources

JEFFREY K. BALCH
3/23/23
No. [Signature]
PROFESSIONAL
LAND SURVEYOR

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OWTS APPLICATION #: 2032-0705