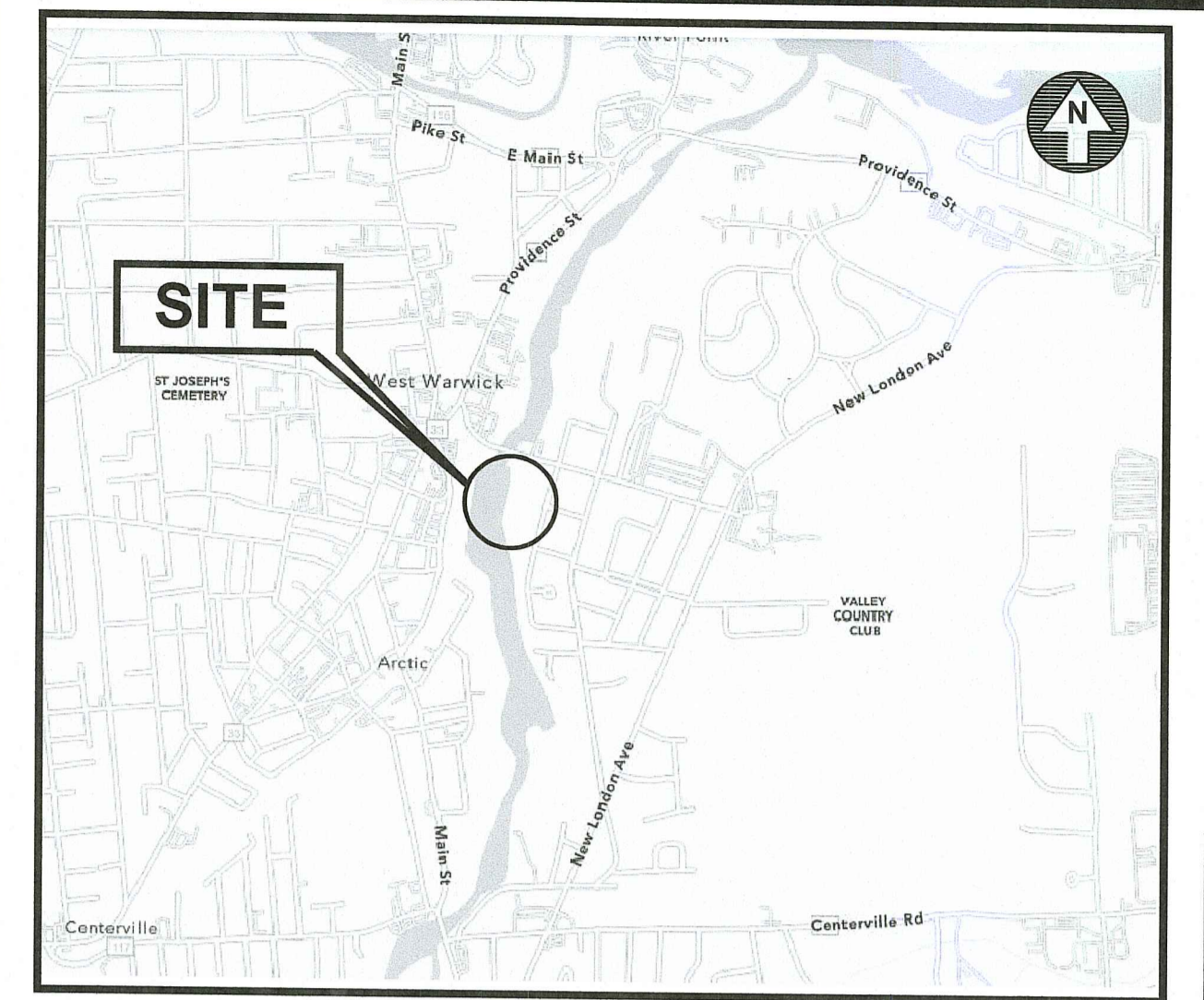


SITE PLANS

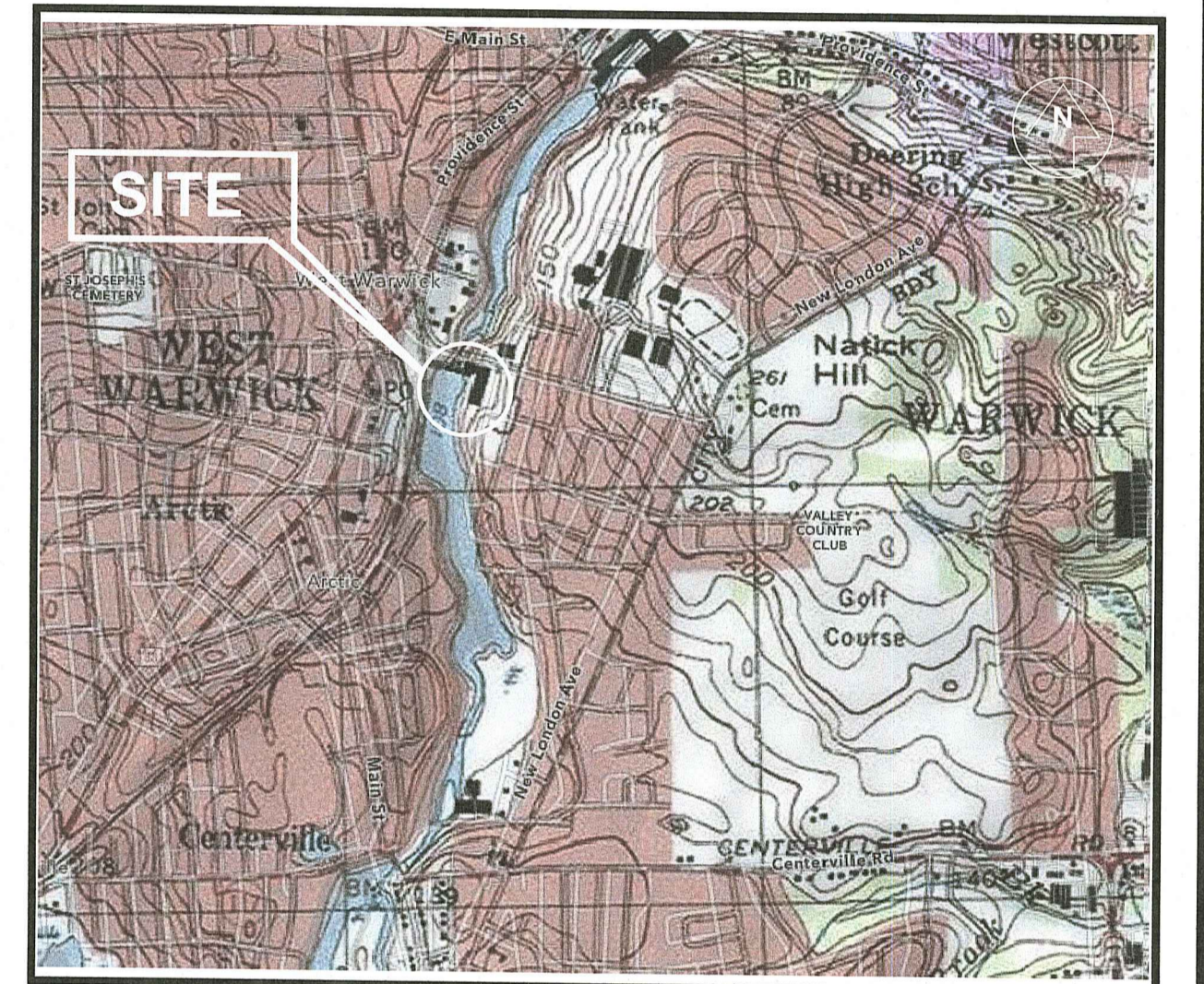
FOR

ARCTIC MILL REDEVELOPMENT

ASSESSOR'S MAP 16, LOT 105
 ZONING DISTRICT: CI
 33 FACTORY STREET
 WEST WARWICK, RHODE ISLAND



LOCATION MAP
NOT TO SCALE



USGS MAP
NOT TO SCALE

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS AS
 SPECIFIED IN THE LETTER OF APPROVAL
 DATED: OCT 11 2022 FILE #: 22-0050
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE
Martin D. Wensek

OWNER:

KNIGHT STREET CAPITAL, LLC.
 334 KNIGHT STREET
 WARWICK, RI 02889
 TEL. (401) 921-3380

CIVIL ENGINEERS AND LAND SURVEYORS:



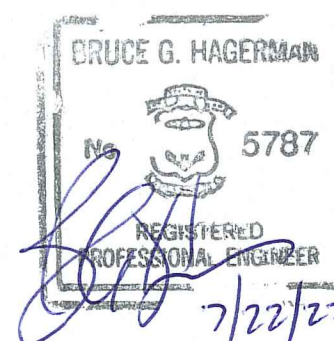
- Civil
- Transportation
- Environmental
- Site Planning
- Surveying
- Permitting
- Landscape Architecture

CROSSMAN ENGINEERING

Rhode Island: 151 Centerville Road, Warwick, RI 02886, Phone: (401) 738-5660
 Massachusetts: 103 Commonwealth Avenue, North Attleboro, MA 02763, Phone: (508) 695-1700

Email: ce@crossmaneng.com

JANUARY 2022
 SHEET 1 of 17



APPLICANT / DEVELOPER:

KNIGHT STREET CAPITAL, LLC.
 334 KNIGHT STREET
 WARWICK, RI 02889
 TEL. (401) 921-3380

INDEX OF DRAWINGS

DRAWING No.	PLAN
	COVER
C1	GENERAL NOTES AND LEGEND
C2	AERIAL MAP
2552	EXISTING CONDITIONS PLAN
C3	SITE PREPARATION PLAN
C4	SITE PLAN
C5	GRADING AND DRAINAGE PLAN
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L2	LANDSCAPE DETAIL PLAN

JUL 23 2022

Office of Water Resources

AGENCY SUBMISSION

REVISIONS:

No.:	DATE:	DESCRIPTION:
1	7/22/2022	RIDEM COMMENTS

GENERAL NOTES

1. THERE MAY BE ADDITIONAL UNKNOWN UTILITIES ON SITE. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING DRAINAGE AND UTILITIES, BOTH UNDERGROUND AND OVERHEAD, BEFORE EXCAVATION BEGINS IN ACCORDANCE WITH "DIG SAFE PROGRAM LAW" ENACTED BY THE R.I. LEGISLATURE AND BY CONTACTING THE INDIVIDUAL UTILITY COMPANIES. EXCAVATION SHALL BE IN ACCORDANCE WITH ALL STATUTES, ORDINANCES, RULES AND REGULATIONS OF ANY CITY, STATE OR FEDERAL AGENCY THAT MAY APPLY. ANY DAMAGE TO EXISTING UTILITIES SHALL BE THE CONTRACTOR'S RESPONSIBILITY. THE PLANS MAY NOT DEPICT ALL UNDERGROUND UTILITY SYSTEMS.
2. FOR ALL EXCAVATION, PLACEMENT OF FILL, BITUMINOUS PAVEMENT, CURB, CONCRETE AND SAWCUTTING, THE CONTRACTOR SHALL PERFORM THE WORK IN FULL COMPLIANCE WITH THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AMENDED MARCH 2018, WITH LATEST REVISIONS UNLESS OTHERWISE SHOWN ON PLANS. THE "METHOD OF MEASUREMENT" AND "BASIS OF PAYMENT" WITHIN THE R.I.D.O.T. SPECIFICATIONS ARE NOT APPLICABLE. THESE SPECIFICATIONS CAN BE OBTAINED ON-LINE AT: [HTTP://WWW.DOT.RI.GOV/BUSINESS/BLUEBOOK.PHP](http://www.dot.ri.gov/business/bluebook.php)
3. FOR ALL EXCAVATION AND PLACEMENT OF FILL, THE CONTRACTOR SHALL PERFORM THE WORK IN FULL COMPLIANCE WITH THE R.I. STANDARD SPECIFICATION SECTION 202.
4. RHODE ISLAND STANDARDS REFERENCED ARE ACCORDING TO THE STATE OF RHODE ISLAND AND PROVIDENCE PLANTATIONS "RHODE ISLAND STANDARD DETAILS" DATED June 21, 2021, WITH ALL REVISIONS AS PREPARED BY THE DEPARTMENT OF TRANSPORTATION.
5. THE CONTRACTOR MUST VERIFY PRIOR TO CONSTRUCTION THAT ALL REQUIRED AUTHORIZATION TO PERFORM WORK HAS BEEN OBTAINED. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION OPERATIONS INCLUDING ALL ACTIONS OR OMISSIONS OF ANY SUBCONTRACTORS, AGENTS OR EMPLOYEES. THE CONTRACTOR MUST ENSURE THAT THE CONDITIONS OF ALL PERMITS, SPECIFICATIONS AND FEDERAL, STATE AND LOCAL REGULATIONS ARE STRICTLY ENFORCED. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ASPECTS OF ON-SITE SAFETY INCLUDING ANY DAMAGE TO EXISTING ITEMS OUTSIDE THE SCOPE OF WORK.
6. WORK SHOWN ON THE PLANS FOR WHICH THERE ARE NO PARTICULAR DETAILS OR SPECIFICATIONS DOES NOT RELIEVE THE CONTRACTOR FROM FURNISHING AND INSTALLING THE WORK. THE CONTRACTOR SHALL THOROUGHLY EXAMINE THE CONTRACT DOCUMENTS AND PLANS AND INSPECT THE SITE. THE BID PRICE SHALL INCLUDE ALL LABOR, INCIDENTALS, TOOLS EQUIPMENT, TESTING, SERVICES AND MATERIALS NECESSARY TO COMPLETE THE PROJECT. ANY CHANGES TO THE PROJECT OR THE INSTALLATION OF AN ITEM FOR WHICH NO PARTICULAR DETAIL OR SPECIFICATION WAS PROVIDED MUST BE REVIEWED BY AND MUST BE ACCEPTABLE TO THE ENGINEER AND OWNER.
7. CONTRACTOR IS RESPONSIBLE TO VERIFY ALL EXISTING CONDITIONS, GRADES AND DIMENSIONS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO ANY WORK.
8. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT PRIOR TO THE INITIATION OF WORK. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS, RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.
9. ALL DISTURBED AREAS SHALL BE REPLACED IN KIND UNLESS OTHERWISE SHOWN.
10. ADDITIONAL CURB AND SIDEWALK REMOVAL AND REPLACEMENT MAY BE REQUIRED WHEN MATCHING NEW CURB AND SIDEWALK TO EXISTING AT EXPANSION JOINTS. IF REQUIRED, THIS TASK SHALL BE INCLUDED IN THE PROJECT SCOPE AT NO ADDITIONAL COST TO THE OWNER.
11. ADA RAMPS SHALL HAVE A DETECTABLE WARNING DEVICE/PAD IN ACCORDANCE WITH LOCAL AND STATE GUIDELINES (R.I. STD. 48.1.0) OR APPROVED EQUAL.

LAYOUT NOTE

THE LAYOUT SHOWN REPRESENTS A GRAPHICAL DESIGN, AND PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL ENGAGE A PROFESSIONAL LAND SURVEYOR (PLS) REGISTERED IN THE STATE TO SET AND VERIFY ALL LINES AND GRADES. ALL EXISTING UTILITY LOCATIONS AND ELEVATIONS ARE TO BE CONFIRMED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ANY ITEM FOUND WHICH DOES NOT MATCH THE PLANS MUST BE BROUGHT TO THE ENGINEER'S ATTENTION PRIOR TO CONSTRUCTION FOR REVIEW. NO WORK SHALL PROCEED UNTIL AUTHORIZED BY THE ENGINEER. THE CONTRACTOR IS RESPONSIBLE TO ACCURATELY LOCATE THE PROPOSED PATIO, STAIRS, RETAINING WALLS, DRIVE-UP WINDOW AND OTHER ITEMS WITHIN THE PROPERTY AS NOTED ON THE PLANS.

EXISTING UTILITY NOTES

1. THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES AND OWNER TO OBTAIN THE LOCATION OF ALL UTILITIES PRIOR TO BEGINNING WORK. THE MARKED LOCATIONS SHALL BE PRESERVED BY THE CONTRACTOR DURING THE COURSE OF THE WORK, UNTIL SUCH TIME AS THE ARE NO LONGER NEEDED.
2. ALL UTILITIES INTERFERED WITH OR DAMAGED BY THE CONTRACTOR SHALL BE IMMEDIATELY AND PROPERLY RESTORED BY THE CONTRACTOR. THE CONTRACTOR SHALL FULLY COMPACT ALL BACKFILL MATERIAL AROUND AND UNDER ALL EXISTING UTILITIES ENCOUNTERED OR CROSSED.
3. THE CONTRACTOR SHALL BE AWARE THAT THERE MAY BE AN UNDERGROUND UTILITIES INCLUDING ELECTRIC ON SITE WITHIN THE SIDEWALK LOCATION. THE CONTRACTOR SHALL CONTACT DIG SAFE AND THE APPLICABLE UTILITY COMPANIES TO COORDINATE DEMOLITION AND CONSTRUCTION OPERATIONS ON SITE.

MAINTENANCE AND PROTECTION OF TRAFFIC NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTENANCE AND PROTECTION OF PEDESTRIAN AND VEHICULAR TRAFFIC INCLUDING POLICE PROTECTION IF REQUIRED. ALL TEMPORARY CONSTRUCTION SIGNS, BARRICADES AND LANE CLOSURES SHALL BE IN CONFORMANCE WITH THE LATEST REVISIONS OF MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.)
2. TEMPORARY CONSTRUCTION SIGNS AND ALL APPLICABLE PEDESTRIAN AND VEHICLE TRAFFIC CONTROL DEVICES SHALL BE IN PLACE PRIOR TO THE START OF WORK IN ANY AREA OPEN TO PEDESTRIAN OR VEHICLE TRAFFIC.
3. THE CONTRACTOR IS REQUIRED TO COORDINATE WORK WITH PCF VENTURES PRIOR TO CONSTRUCTION.
4. ALL MAINTENANCE AND PROTECTION OF TRAFFIC CONTROL SETUPS, SIGNS, CHANNELING DEVICES, ETC., SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, 2009 EDITION, INCLUDING REVISION 2, MAY 2012, AND SUBSEQUENT ADDENDA.
5. SIGN MOUNTINGS SHALL BE IN ACCORDANCE WITH THE STATE D.O.T. SPECIFICATIONS FOR TEMPORARY CONSTRUCTION SIGNS.
6. SPECIAL CARE SHALL BE GIVEN TO THE CONSTRUCTION OF THE SIDEWALK AREAS USED BY PEDESTRIANS. CONTRACTOR SHALL CLOSE OFF SIDEWALKS TO PREVENT POTENTIAL HAZARD CONDITIONS TO PEDESTRIANS UNWARE OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING PROTECTION AROUND WORK AREAS.

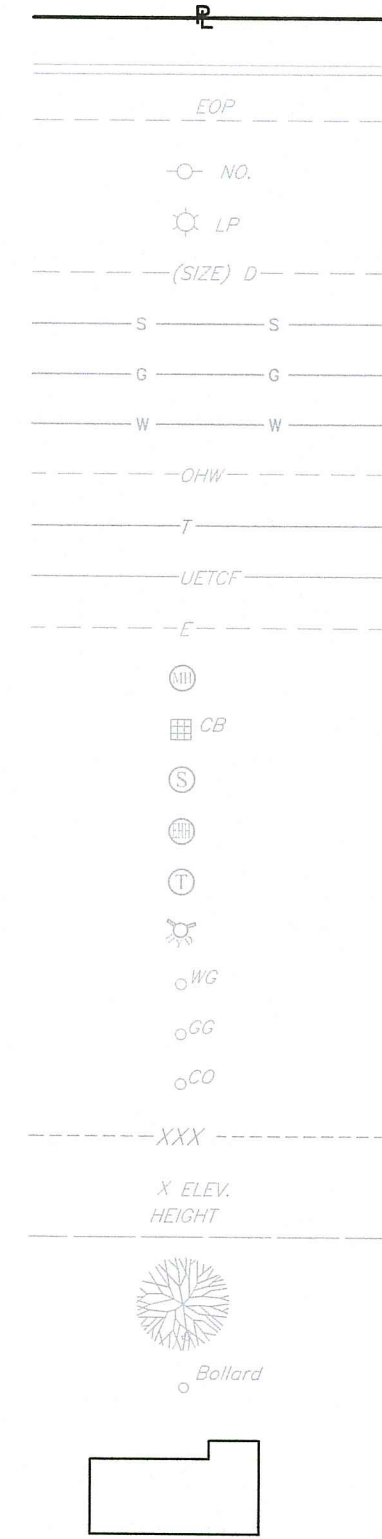
FLOOD ZONE NOTE

THE SITE IS PARTIALLY LOCATED IN FEMA FLOOD ZONE AE (ELEV.=112) AND IN ZONE X (AREAS DETERMINED TO BE AS BEING AREAS OF MINIMAL FLOODING, OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD) AS SHOWN ON THE FLOOD INSURANCE RATE MAP, MAP NUMBER 44003C0109H, EFFECTIVE OCTOBER 2, 2015.

TREE PROTECTION NOTES

1. PRIOR TO CUTTING ANY TREES ON A LOT, BUT AFTER GENERAL BRUSH CUTTING, THE CONTRACTOR SHALL STAKE THE LOCATION OF THE DRAINAGE BASINS AND THE LIMIT OF CONSTRUCTION. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE IN PLACE AND THE LIMIT OF DISTURBANCE SHALL BE CLEARLY DELINEATED IN THE FIELD.
2. UPON THE ESTABLISHMENT OF EROSION AND SEDIMENTATION CONTROL MEASURES AND THE LIMIT OF DISTURBANCE, THE CONTRACTOR SHALL MEET WITH THE LAND CLEARING CONTRACTOR TO IDENTIFY TREES THAT SHALL BE REMOVED AND TREES THAT SHALL BE PRESERVED AND THE GENERAL LIMIT OF LAND CLEARING ACTIVITIES. PRIOR TO THE COMMENCEMENT OF ANY TREE AND/OR LAND CLEARING ACTIVITIES, THE CONTRACTOR AND A REPRESENTATIVE OF THE OWNER SHALL MEET TO REVIEW THE EROSION AND SEDIMENTATION CONTROL MEASURES, THE LIMIT OF DISTURBANCE AND ANY TREES IDENTIFIED TO BE PRESERVED.
3. TREES TO BE PRESERVED, WHICH ARE SUBJECT TO VEHICULAR TRAFFIC DUE TO CONSTRUCTION ACTIVITIES, SHALL HAVE SNOW FENCING OR A SIMILAR BARRIER PLACED AROUND THE TREE AT THAT TREE'S DRIP LINE.
4. ANY TREE THAT IS TO BE PRESERVED, THAT FALLS WITHIN AN AREA TO BE FINAL GRADED AND LANDSCAPED, SHALL BE CLEARLY IDENTIFIED WITH A WEATHER-PROOF RIBBON AROUND THE TRUNK MARKED "DO NOT CUT".
5. THERE SHALL BE NO STOCKPILING OF SOIL, BOULDERS OR SUPPLIES UNDER THE DRIP LINE OF ANY TREE TO BE PRESERVED.
6. THE PLACEMENT OF TOPSOIL FOR FINAL GRADING FOR THE INSTALLATION OF SEEDED AREAS AND OTHER LANDSCAPE TREATMENTS THAT TAKE PLACE WITHIN THE DRIP LINE OF A TREE SHALL BE ACCOMPLISHED WITH A BOB-CAT TYPE OF MACHINERY. NO BACK-HOE OR SIMILAR TYPE OF MACHINERY SHALL OPERATE WITHIN 8' (FEET) OF THE TRUNK OF ANY TREE TO BE PRESERVED.
7. NO EXISTING SOIL SHALL BE REMOVED FROM THE DRIP LINE AREA OF ANY TREE TO BE PRESERVED. A MAXIMUM OF 4" (INCHES) OF SOIL IS TO BE ADDED WITHIN THE DRIP LINE OF A TREE FOR FINAL GRADING.
8. WRITTEN APPROVAL FROM THE OWNER SHALL BE RECEIVED BY THE CONTRACTOR FOR ANY WORK PERFORMED WITHIN THE DRIP LINE PRIOR TO PERFORMING THE WORK.
9. PLANTS LISTED AS SAVE AND PROTECT SHALL BE REVIEWED BY A LICENSED ARBORIST OR AS DIRECTED BY OWNER. CUT BROKEN, DEAD OR INJURED BRANCHES ABOVE THE STEM COLLAR ON THE TRUNK OR LIMB. PRUNE ALL BROKEN ROOTS ON THE PLANT SIDE OF THE BREAK. PAINT CUTS OVER 3/4" IN DIAMETER WITH TREE WOUND PAINT. PRUNING SHALL NOT DEFORM OR OTHERWISE DESTROY THE TYPICAL SHAPE OR SYMMETRY OF THE PLANT, AND SHALL NOT REDUCE THE HEIGHT BY MORE THAN ONE-THIRD.

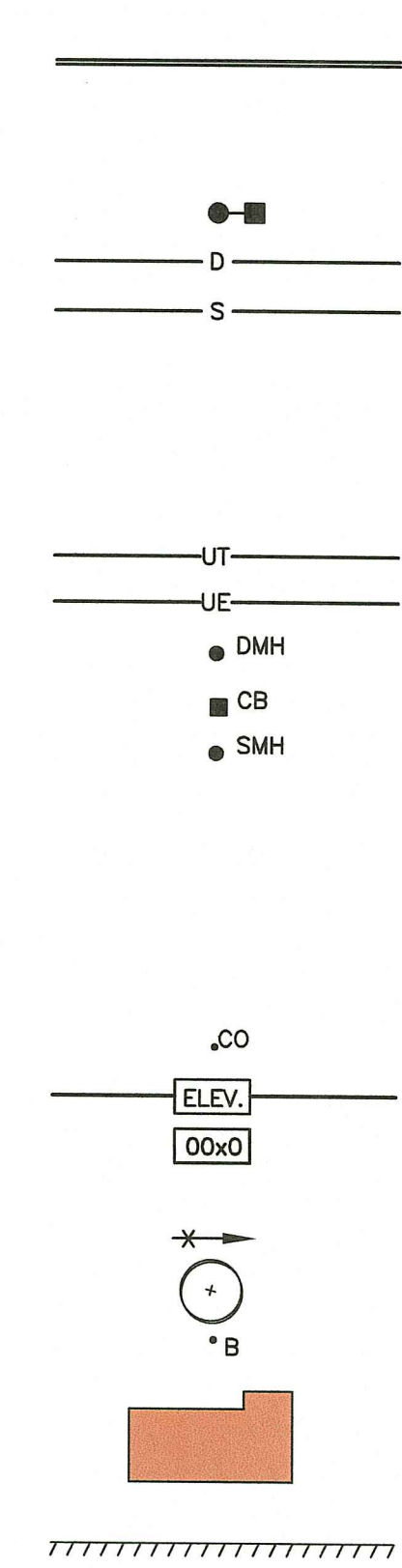
EXISTING



LEGEND

- PROPERTY LINE
- CONCRETE/GRANITE CURB
- EDGE OF PAVEMENT
- UTILITY POLE
- LIGHT POLE
- DRAIN LINE
- SANITARY SEWER
- GAS LINE
- WATER SERVICE
- OVERHEAD WIRES
- TELEPHONE CONDUIT
- TELE/CABLE/FIRE CONDUIT
- ELECTRIC POWER CONDUIT
- DRAINAGE MANHOLE
- CATCH BASIN
- SEWER MANHOLE
- ELECTRIC MANHOLE
- TELEPHONE MANHOLE
- HYDRANT
- WATER GATE
- GAS VALVE
- CLEAN-OUT TO GRADE
- CONTOURS
- SPOT GRADES
- CHAIN LINK FENCE
- GRADE TO DRAIN
- TREE
- BOLLARDS
- BUILDING/STRUCTURE

PROPOSED



SAW CUT AND MATCH PAVEMENT

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESH WATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL
 DATE: OCT 11 2022 FILE #: 22-0050
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE
Martin D. Wemack

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESH WATER WETLANDS PROGRAM
 NOTE PER DEM:
 Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site

Crossman Engineering
 Rhode Island
 151 Centerville Road
 Warwick, RI 02886
 Phone: (401) 738-5660
 Massachusetts
 103 Commonwealth Avenue
 North Attleboro, MA 02763
 Phone: (508) 695-1700
 Email: ce@crosmaneng.com

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PROJECT TITLE:
**ARCTIC MILL REDEVELOPMENT
 PLANT MAP 16, LOT 105
 ZONING DISTRICT: CI**

**33 FACTORY STREET
 WEST WARWICK, R.I.**

PREPARED FOR:
**KNIGHT STREET CAPITAL, LLC.
 334 KNIGHT STREET
 WARWICK, RI 02889**

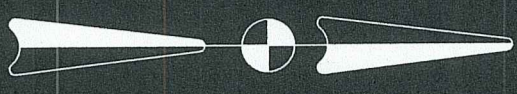


DRAWING TITLE:
**GENERAL NOTES
 and LEGEND**

DATE: JANUARY 2022 SCALE: 1" = 30'
 DWG. NAME: 2552-02-NOTES.dwg

REVISIONS	NUMBER	REMARKS	DATE
△	1	RIDEM COMMENTS	7/22/22

DRAWING NUMBER
C1
 SHEET: 2 OF 17

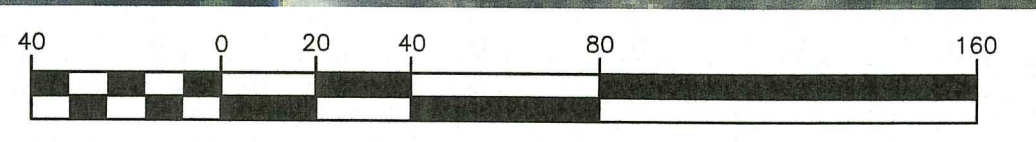


PAWTUXET RIVER

ARCTIC MILL

GATE HOUSE BUILDING

West Warwick Police Youth Center



GRAPHIC SCALE
(IN FEET)
1 inch = 40 ft.

Crossman Engineering
 Rhode Island: 151 Centerville Road, Warwick, RI 02886, Phone: (401) 738-5660
 Massachusetts: 103 Commonwealth Avenue, North Attleboro, MA 02783, Phone: (508) 695-1700
 Email: ce@crosmaneng.com

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED: OCT 11 2022 FILE # 22-0250
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Martin D. Jensen
 5787
 REGISTERED PROFESSIONAL ENGINEER
 7/22/22

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
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PROJECT TITLE:
**ARCTIC MILL REDEVELOPMENT
 PLAT MAP 16, LOT 105
 ZONING DISTRICT: CI**
**33 FACTORY STREET
 WEST WARWICK, R.I.**

PREPARED FOR:
**KNIGHT STREET CAPITAL, LLC.
 334 KNIGHT STREET
 WARWICK, RI 02889**

DRAWING TITLE:
AERIAL MAP

DATE: JANUARY 2022 SCALE: 1" = 30'
 DWG. NAME: 2552-03-AERIAL.dwg

REVISIONS	NUMBER	REMARKS	DATE
△	1	RIDEM COMMENTS	7/22/22

Environmental Management
 JUL 22 2022
 Office of Water Resources

DRAWING NUMBER
C2
 SHEET: 3 OF: 17

Notes:

- Field survey work performed by Crossman Engineering in July of 2021.
- Utility note: Any utilities shown hereon are plotted from field location of visible above ground structures. Any underground utility information shown hereon must be verified in the field prior to any excavation or construction on this site. The contractor or users of this plan should contact digsafe prior to any work. Crossman Engineering assumes no responsibility for the accuracy or completeness of the information shown.
- The horizontal datum is the Rhode Island State Plane coordinate system (NAD83) and the vertical datum is NAVD83 utilizing GPS rtk network control.
- Abutters information taken from the town of West Warwick, RI tax assessors records in July of 2021. This information is not intended to be a certification of title or ownership for the properties shown. Parcels are subject to any easements, restrictions, or conditions of record.

Lot Zoning Information:

Lot 105 is currently zoned CI - Commercial/Industrial

The minimum lot size in the CI zone is 40,000 square feet

The minimum frontage in the CI zone is N/A

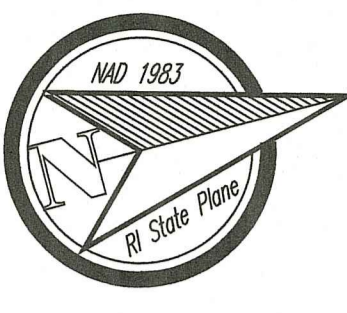
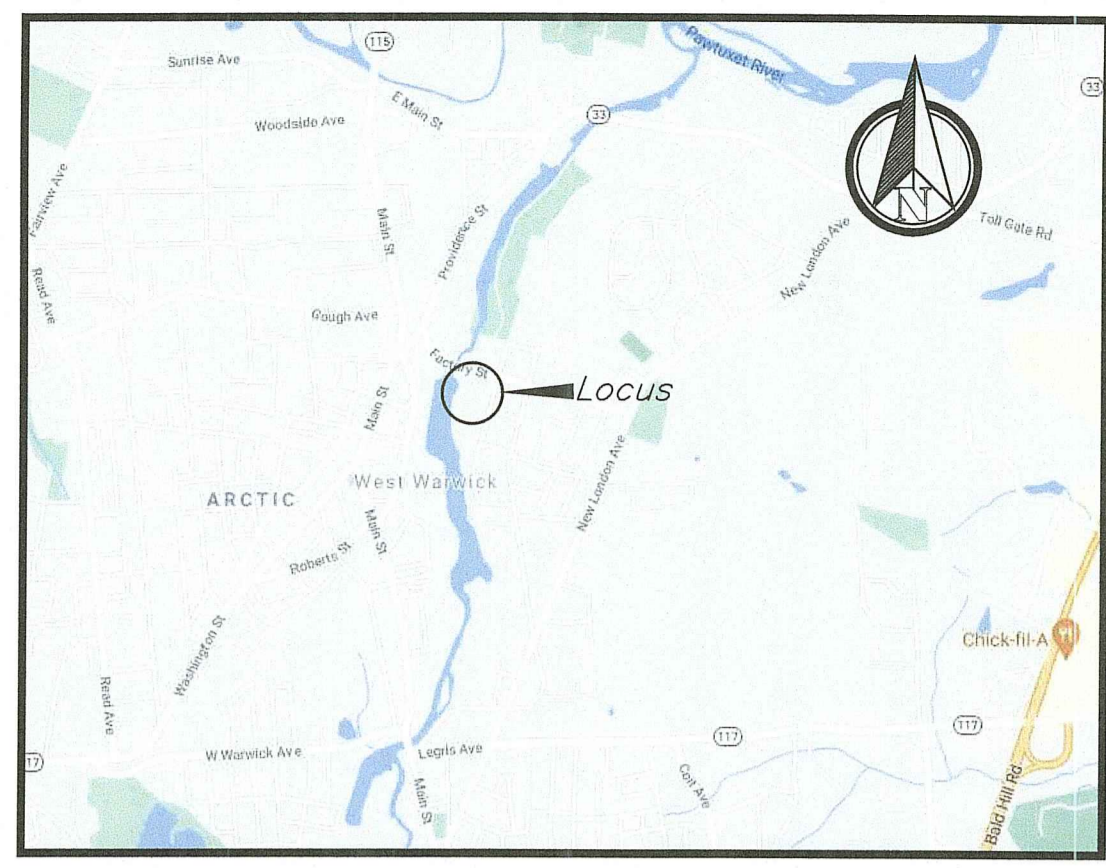
The minimum structure setbacks in the CI zone are 50' front yard, 20' for interior side yard, 50' for corner side yard, and 50' rear yard.

Deed references:

Book 100 Page 947
 Book 198 Page 264
 Book 1636 Page 189
 Book 2207 Page 277
 Book 2486 Page 4108

Plan references:

- Plat No. 972
- See plan entitled "Topographic Plan of Land in West Warwick, RI Assessor's Plat 16 Lot 105, Area 6.36 Acres by A.P., by R.F. Gaiser & Assoc. Consulting Engineers, Date: 6-15-87, Scale: 1"=30' "



LOCUS MAP
1"=1000'+/-

Plat 26 Lot 26
State of Rhode Island

Plat 16 Lot 130
Estate of Anna Pinga

Plat 17 Lot 8
Estate of Anna Pinga

Pawtuxet River

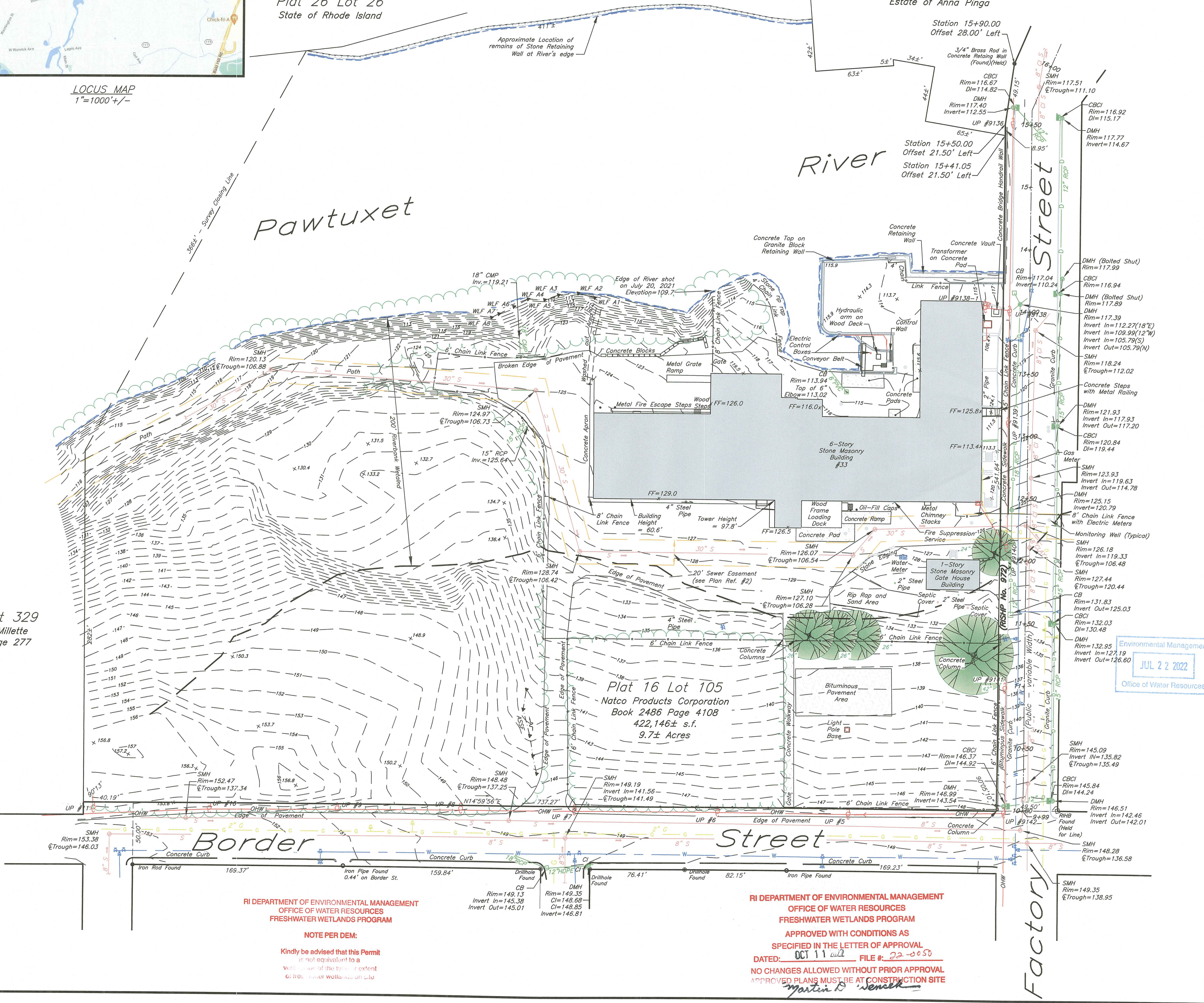
Street

Factory Street

Plat 16 Lot 329
Christiana E. Millette
Book 2207 Page 277

Plat 16 Lot 105
Natco Products Corporation
Book 2486 Page 4108
422,146± s.f.
9.7± Acres

- Legend**
- Ballard
 - - - Contour line
 - xxx Spot Elevation
 - Guard Rail
 - Sign
 - Mailbox
 - Light Pole
 - Signal Pole
 - Drainage Catch Basin
 - Catch Basin w/Curb Inlet
 - Drainage Curb Inlet
 - Drainage Line
 - Drainage Manhole
 - Fiber Optic Line
 - Utility Pole
 - Guy Wire
 - Overhead lines
 - Electric Handhole
 - Electric Lines (underground)
 - Electric Manhole
 - Electric Meter
 - Gas Gate
 - Gas Line
 - Gas Manhole
 - Gas Meter
 - Gas Shutoff
 - Telephone Line (underground)
 - Telephone Box
 - Telephone Handhole
 - Telephone Manhole
 - Sewer Line
 - Sewer Force Main
 - Sewer Manhole
 - Sewer Cleanout
 - Fire Hydrant
 - Water Line
 - Water Gate
 - Water Shutoff
 - Water Manhole
 - Barbed Wire Fence
 - Chain Link Fence
 - Stockade Fence
 - Post and Rail Fence
 - Stone Wall
 - Retaining Wall
 - Tree / Hedge Line
 - Deciduous Tree
 - Evergreen Tree
 - Edge of Water
 - Well
 - Monitoring Well
 - Test Hole
 - WLF #1 Wetland Flag



RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM

NOTE PER DEM:
Kindly be advised that this Permit is not equivalent to a Wetland Use or other permit of the RI Department of Environmental Management.

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM

APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL
DATED: OCT 11 2022 FILE #: 22-0050
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Crossman Engineering

Rhode Island: 151 Centerville Road, Warwick, RI 02886, Phone (401) 738-5860
 Massachusetts: 103 Commonwealth Avenue, North Attleboro, MA 02763, Phone (508) 695-1700

Email: cel@crossmaneng.com

These drawings are the property of Crossman Engineering and have been prepared for their client for a specific site and project. These drawings are not to be modified, copied or used for any other purpose without the written consent of Crossman Engineering.



Certification

This survey has been conducted and the plan has been prepared pursuant to 435-RICR-00-00-1.9 of the Rules and Regulations adopted by the Rhode Island State Board of Registration for Professional Land Surveyors on November 25, 2015 as follows:

Comprehensive Boundary Survey Measurement Specification I
 East of the Pawtuxet River

Limited Content Boundary Survey Measurement Specification II
 West of the Pawtuxet River

Data Accumulation Survey-Topographic Measurement Specification III

The purpose for the conduct of the survey and for the preparation of this plan is to delineate the boundaries of the parcel and determine encroachments, if any.

Ronald N. Tjerman, PLS # 1939
 Certificate of Authorization # A257

Existing Conditions Plan
Plat 16 Lot 105

33 Factory Street
West Warwick, RI

Lot Owner:
Natco Products Corporation

155 Brookside Avenue
West Warwick, RI 02893

Applicant:
Knight Street Capitol, LLC
334 Knight Street
Warwick, RI 02889

Date: October 22, 2021 Scale: 1" = 40'

File Name: 2552 Working 20211022

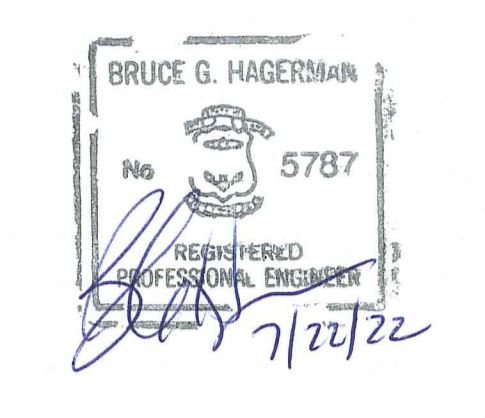
Field: NW & BC Drawn By: TH Checked By: RT

Revisions: Number, Remarks, Date

Project Number: 2552 Sheet 1 of 1

Environmental Management
Office of Water Resources
JUL 2 2 2022

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PROJECT TITLE:
**ARCTIC MILL REDEVELOPMENT
 PLAT MAP 16, LOT 105
 ZONING DISTRICT: CI**

**33 FACTORY STREET
 WEST WARWICK, R.I.**

PREPARED FOR:
**KNIGHT STREET CAPITAL, LLC.
 334 KNIGHT STREET
 WARWICK, RI 02889**

DRAWING TITLE:
SITE PREPARATION PLAN

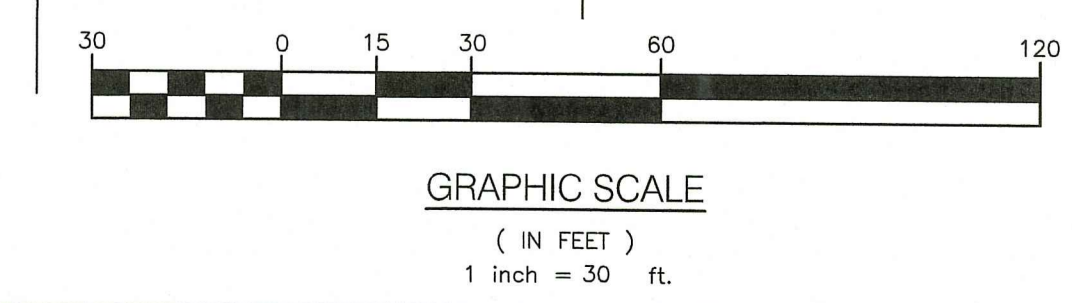
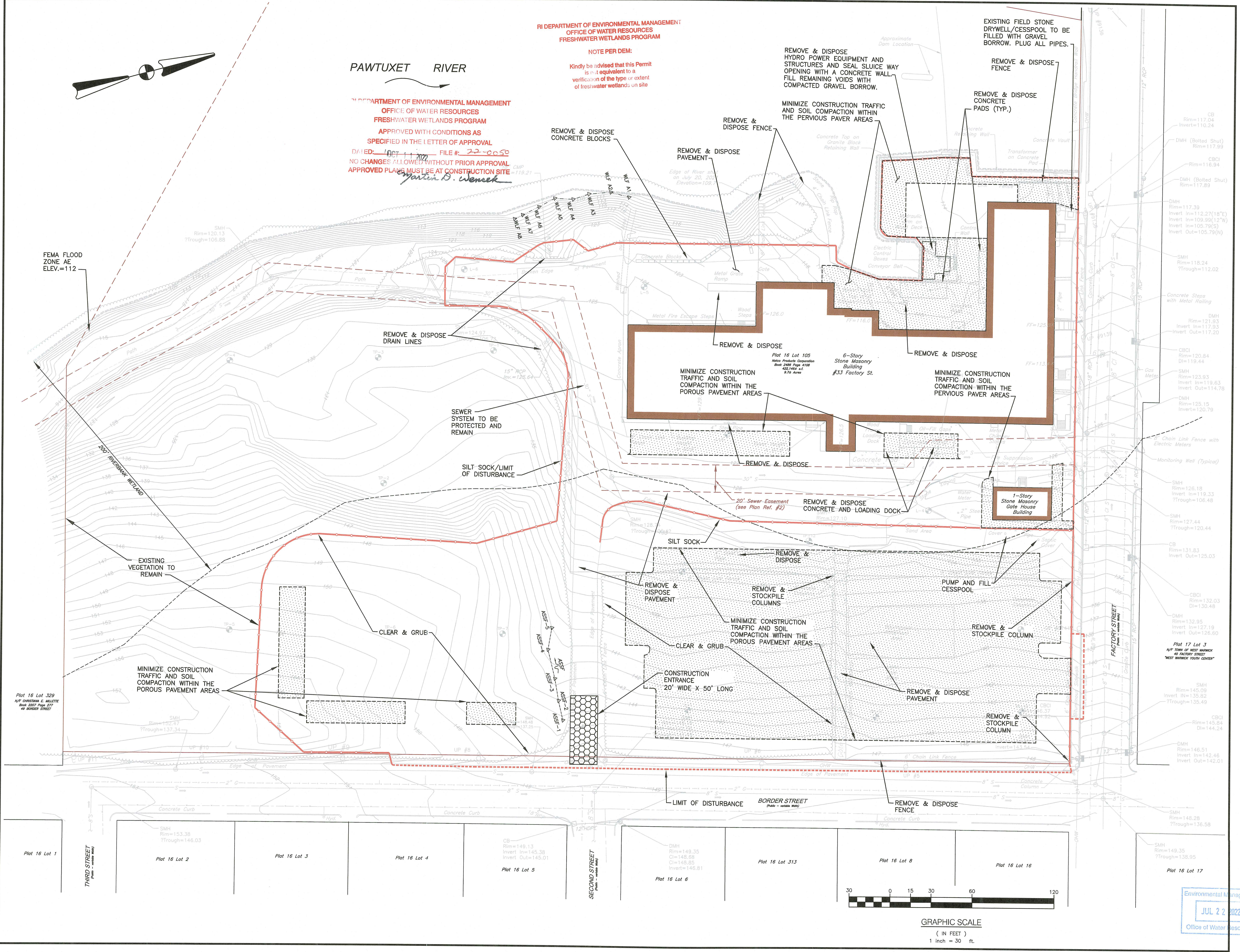
DATE: JANUARY 2022 SCALE: 1" = 30'
 DWG. NAME: 2552-04-SITE PREP.dwg

REVISIONS	NUMBER	REMARKS	DATE
△	1	RIDEM COMMENTS	7/22/22

Environmental Management
 JUL 22 2022
 Office of Water Resources
C3
 SHEET: 5 OF 17

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 NOTE PER DEM:
 Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED: 07/22/22 FILE #: 22-0059
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE
Martin D. Wenczek



Environmental Management
 JUL 22 2022
 Office of Water Resources

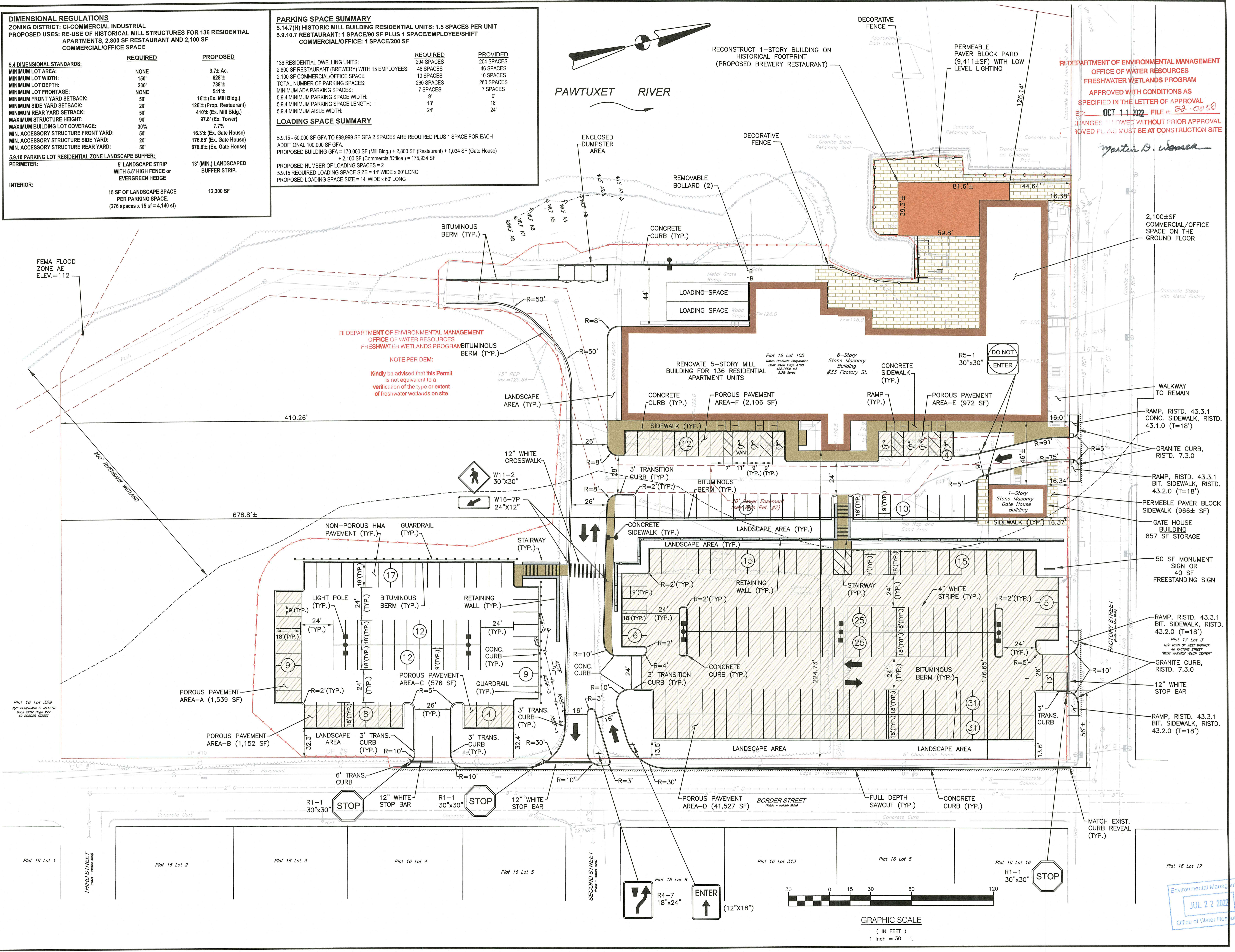
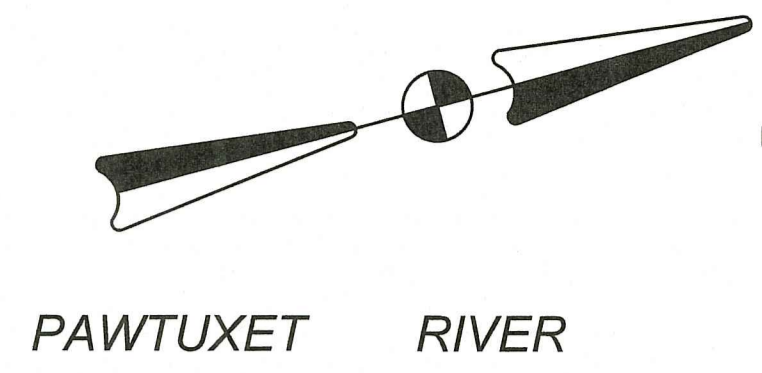
DIMENSIONAL REGULATIONS
ZONING DISTRICT: CI-COMMERCIAL INDUSTRIAL
PROPOSED USES: RE-USE OF HISTORICAL MILL STRUCTURES FOR 136 RESIDENTIAL APARTMENTS, 2,800 SF RESTAURANT AND 2,100 SF COMMERCIAL/OFFICE SPACE

	REQUIRED	PROPOSED
5.4 DIMENSIONAL STANDARDS:		
MINIMUM LOT AREA:	NONE	9.7± Ac.
MINIMUM LOT WIDTH:	150'	925±
MINIMUM LOT DEPTH:	200'	735±
MINIMUM LOT FRONTAGE:	NONE	541±
MINIMUM FRONT YARD SETBACK:	50'	16'± (Ex. Mill Bldg.)
MINIMUM SIDE YARD SETBACK:	20'	128'± (Prop. Restaurant)
MINIMUM REAR YARD SETBACK:	50'	410'± (Ex. Mill Bldg.)
MAXIMUM STRUCTURE HEIGHT:	90'	97.8' (Ex. Tower)
MAXIMUM BUILDING LOT COVERAGE:	30%	7.7%
MIN. ACCESSORY STRUCTURE FRONT YARD:	50'	16.3'± (Ex. Gate House)
MIN. ACCESSORY STRUCTURE SIDE YARD:	20'	176.65' (Ex. Gate House)
MIN. ACCESSORY STRUCTURE REAR YARD:	50'	678.8± (Ex. Gate House)
5.9.10 PARKING LOT RESIDENTIAL ZONE LANDSCAPE BUFFER:		
PERIMETER:	5' LANDSCAPE STRIP WITH 5.3' HIGH FENCE OR EVERGREEN HEDGE	13' (MIN.) LANDSCAPED BUFFER STRIP.
INTERIOR:	15 SF OF LANDSCAPE SPACE PER PARKING SPACE. (276 spaces x 15 sf = 4,140 sf)	12,300 SF

PARKING SPACE SUMMARY
5.14.7(H) HISTORIC MILL BUILDING RESIDENTIAL UNITS: 1.5 SPACES PER UNIT
5.9.10.7 RESTAURANT: 1 SPACE/90 SF PLUS 1 SPACE/EMPLOYEE/SHIFT
COMMERCIAL/OFFICE: 1 SPACE/200 SF

	REQUIRED	PROVIDED
136 RESIDENTIAL DWELLING UNITS:	204 SPACES	204 SPACES
2,800 SF RESTAURANT (BREWERY) WITH 15 EMPLOYEES:	46 SPACES	46 SPACES
2,100 SF COMMERCIAL/OFFICE SPACE:	10 SPACES	10 SPACES
TOTAL NUMBER OF PARKING SPACES:	260 SPACES	260 SPACES
MINIMUM ADA PARKING SPACES:	7 SPACES	7 SPACES
5.9.4 MINIMUM PARKING SPACE WIDTH:	9'	9'
5.9.4 MINIMUM PARKING SPACE LENGTH:	18'	18'
5.9.4 MINIMUM AISLE WIDTH:	24'	24'

LOADING SPACE SUMMARY
5.9.15 - 50,000 SF GFA TO 999,999 SF GFA 2 SPACES ARE REQUIRED PLUS 1 SPACE FOR EACH ADDITIONAL 100,000 SF GFA.
PROPOSED BUILDING GFA = 170,000 SF (Mill Bldg.) + 2,800 SF (Restaurant) + 1,034 SF (Gate House) + 2,100 SF (Commercial/Office) = 175,934 SF
PROPOSED NUMBER OF LOADING SPACES = 2
5.9.15 REQUIRED LOADING SPACE SIZE = 14' WIDE x 60' LONG
PROPOSED LOADING SPACE SIZE = 14' WIDE x 60' LONG



RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
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ED: OCT 11 2022 FILE #: 22-0050
CHANGES ALLOWED WITHOUT PRIOR APPROVAL
REVISED PLANS MUST BE AT CONSTRUCTION SITE

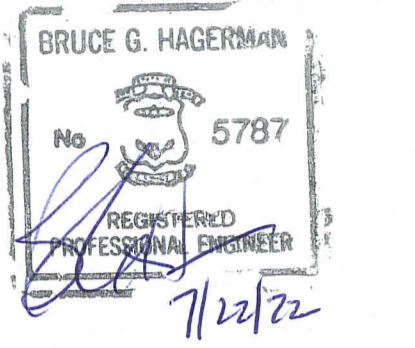
Martin D. Wemmer

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM

NOTE PER DEM:
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Crossman Engineering
Rhode Island: 151 Centerville Road, Warwick, RI 02886, Phone: (401) 738-5660
Massachusetts: 103 Commonwealth Avenue, North Attleboro, MA 02763, Phone: (508) 695-1700
Email: cel@crossmaneng.com

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PROJECT TITLE:
**ARCTIC MILL REDEVELOPMENT
PLAT MAP 16, LOT 105
ZONING DISTRICT: CI**

**33 FACTORY STREET
WEST WARWICK, R.I.**

PREPARED FOR:
**KNIGHT STREET CAPITAL, LLC.
334 KNIGHT STREET
WARWICK, RI 02889**

DRAWING TITLE:
SITE PLAN

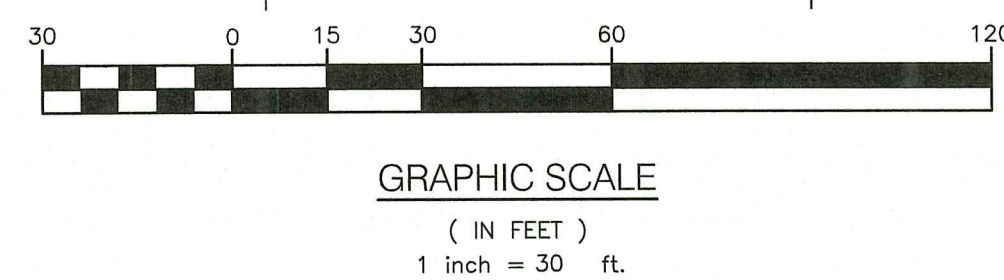
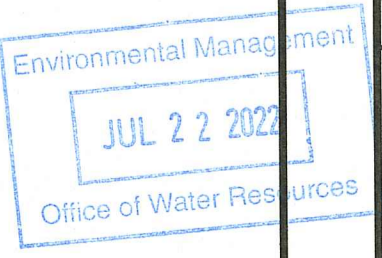
DATE: JANUARY 2022 SCALE: 1" = 30'

DWG. NAME: 2552-04-SITE.dwg

REVISIONS

NUMBER	REMARKS	DATE
1	RIDEM COMMENTS	7/22/22

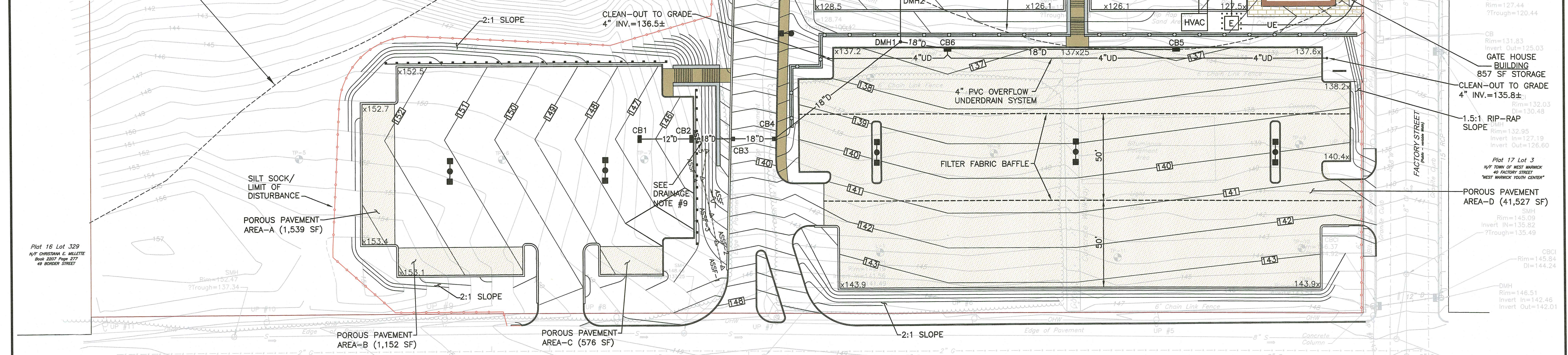
DRAWING NUMBER
C4
SHEET: 6 OF 17



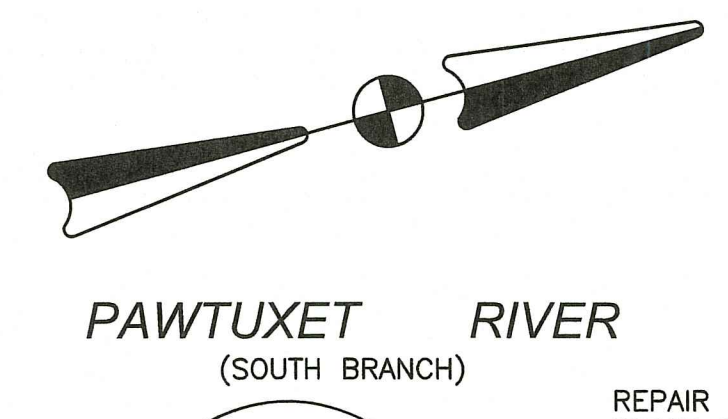
DRAINAGE STRUCTURE SCHEDULE					
STRUCTURE NO.	STRUCTURE TYPE	FRAME & GRATE/COVER	RIM	INV.(IN)	INV.(OUT)
CB1	4.4.0(4"DIA.)	6.3.0(2)	146.40	---	142.90(12")
CB2	4.4.0(4"DIA.)	6.3.0(2)	145.50	142.00(12")	141.90(18")
CB3	4.4.0(4"DIA.)	6.3.4	138.50	135.00(18")	134.90(18")
CB4	4.4.0(4"DIA.)	6.3.4	138.50	134.50(18")	134.40(18")
CB5	4.4.0(4"DIA.)	6.3.0(2)	136.70	---	133.20(18")
CB6	4.4.0(4"DIA.)	6.3.0(2)	136.50	134.7(4") 131.31(18")	131.21(18")
CB7	4.4.0(4"DIA.)	6.3.4	130.10	---	127.10(12")
CB8	4.4.0(4"DIA.)	6.3.0(2)	125.40	122.50(10")	122.40(18")
CB9	4.4.0(4"DIA.)	6.3.0(2)	125.40	121.60(18")	121.50(18")
CB10	4.4.0(4"DIA.)	6.3.4	127.31	125.30(18")	125.30(18")
CB11	4.4.0(4"DIA.)	6.3.4	127.31	123.91(12"-CB10) 120.32(30"-DMH6)	120.22(30")
CB12	4.4.0(4"DIA.)	6.3.0	125.40	119.55(30")	119.45(30")
CB13	4.4.0(4"DIA.)	6.3.0	121.80	---	118.80(12")
CB14	4.4.0(4"DIA.)	6.3.0	124.57	---	121.35(12")
CB15	4.4.0(4"DIA.)	6.3.0	113.90	---	110.90(10")
CB16	4.4.0(5"DIA.)	6.3.0	126.79	122.56(18"-DMH2) 121.19(18"-CB9)	120.86(24")
CB17	4.4.0(4"DIA.)	6.3.0	126.18	---	123.60(10")
DMH1	4.2.0	6.2.1	137.30	132.50(18"-CB4) 130.70(18"-CB6)	124.50(18")
DMH2	4.2.0	6.2.1	127.36	123.86(12") 123.86(18")	123.76(18")
DMH3	4.2.0	6.2.1	127.00	123.50(10")	123.50(10")
DMH4	4.2.0	6.2.1	126.44	122.75(10")	122.75(10")
DMH5	4.2.0	6.2.1	126.40	---	123.40(10")
DMH6	4.2.0	6.2.1	127.06	122.64(10"-DMH5) 120.76(24"-CB16)	120.66(30")
DMH7	4.2.2	6.2.1	124.80	118.32(12"-CB13) 118.00(30"-CB12)	117.90(30")
DIV1	SEE DETAIL	6.2.1	124.70	120.35(12"-CB14) 117.74(30"-DMH7)	117.60(18") 117.60(30")
WQS1	SEE DETAIL	SEE DETAIL	124.40	117.40(18")	116.95(18")
DMH8	4.2.0	6.2.1	124.10	116.85(18")	116.75(18")
DMH9	4.2.2	6.2.1	125.30	117.00(30")	116.90(30")
DMH10	4.2.2	6.2.1	124.00	116.15(18") 116.15(30")	116.00(30")

SOIL TEST HOLE SUMMARY							
TEST HOLE NO.	EXISTING GRADE	DEPTH TO SHWT	SHWT ELEV.	DEPTH TO LEDGE	LEDGE ELEV.	DEPTH TO BOT. OF HOLE	BOT. OF HOLE ELEV.
TP-1	132.6	12"	131.6	6"-12"	132.1-131.6	12"	131.6
TP-2	134.7	10"	133.87	10"	133.87	10"	133.87
TP-3	131.5	28"	129.17	28"	129.17	28"	129.17
TP-4	129.8	48"	125.8	48"	125.8	48"	125.8
TP-5	152.0	76"	145.67	76"	145.67	76"	145.67
TP-6	150.8	70"	144.97	70"	144.97	70"	144.97
TP-7	145.5	34"	142.67	34"-48"	142.67-141.5	48"	141.5
TP-8	138.8	108"	129.8	108"	129.8	108"	129.8
TP-9	138.8	144"	126.8	144"	126.8	144"	126.8
TP-10	143.7	125"	133.28	125"	133.28	125"	133.28
TP-11	143.7	96"	135.7	96"	135.7	96"	135.7
TP-12	131.6	60"	126.6	60"	126.6	60"	126.6

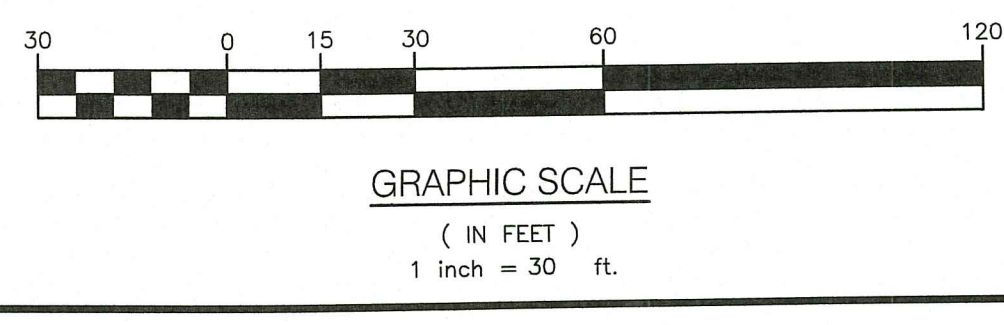
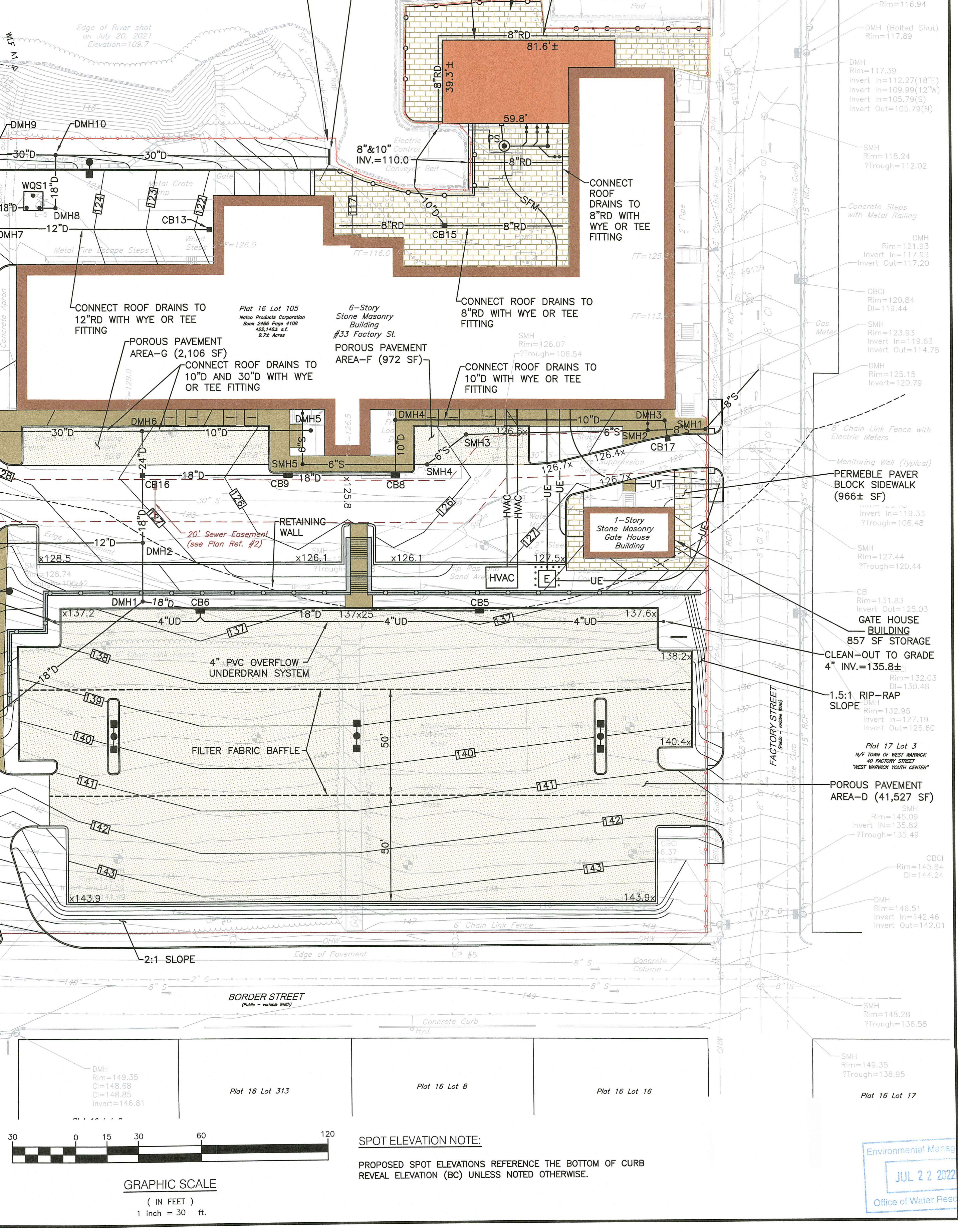
LEDGE TEST HOLE SUMMARY				
TEST HOLE NO.	EXISTING GRADE	DEPTH TO LEDGE	LEDGE ELEV.	
L-1	144.0	72"	138.0	
L-2	135.5	60"	130.5	
L-3	126.5	60"	121.5	
L-4	129.8	72"	123.8	
L-5	124.1	84"	117.1	
L-6	124.2	75"	117.9	



- DRAINAGE NOTES**
- CONTRACTOR TO VERIFY THAT ALL STRUCTURES ARE COMPATIBLE WITH FRAME AND GRATE, OR FRAME AND COVER.
 - CONTRACTOR IS RESPONSIBLE TO PROVIDE SHOP DRAWINGS AND SPECIFICATIONS FOR ALL DRAINAGE RELATED ITEMS FOR REVIEW AND APPROVAL BY THE ENGINEER, PRIOR TO ORDERING. CONCRETE MANUFACTURER SHALL REVIEW RIM TO TOP OF PIPE ELEVATIONS AND PROVIDE SPECIFIC DETAILS.
 - ALL STRUCTURES SHALL BE DESIGNED FOR H=20 LOADING.
 - ALL CATCH BASINS, MANHOLES AND DROP INLETS SHALL BE PRECAST CONCRETE WATER TIGHT STRUCTURES, UNLESS NOTED OTHERWISE. (NO WEEP HOLES)
 - GRADES WITHIN HANDICAP ACCESSIBLE PARKING SPACES AND AISLES SHALL NOT BE LESS THAN 1% OR GREATER THAN 2%.
 - ALL DRAIN LINES SHALL BE ADS N-12 (OR EQUAL) OR AS NOTED.
 - HDPE (CPP) PIPE OR PVC PIPE AND CONCRETE STRUCTURE JOINTS SHALL BE SEALED WITH NON-SHRINK GROUT OR SHALL BE A FLEXIBLE SLEEVE WITH HDPE ADAPTER.
 - THERE SHALL BE NO WEEP HOLE IN THE R.I. STD. 4.4.0 CATCHBASIN.
 - DRAIN LINE FROM CB2 TO CB3 SHALL BE CONSTRUCTED USING BENDS. THE TOP OF PIPE SHALL BE AT LEAST 1' BELOW THE RETAINING WALL FOUNDATION.



PAWTUXET RIVER
(SOUTH BRANCH)



SPOT ELEVATION NOTE:
PROPOSED SPOT ELEVATIONS REFERENCE THE BOTTOM OF CURB REVEAL ELEVATION (BC) UNLESS NOTED OTHERWISE.

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
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DATED: OCT 11 2022 FILE #: 22-0058
CHANGES ALLOWED WITHOUT PRIOR APPROVAL PROVIDED PLANS MUST BE AT CONSTRUCTION SITE
Martin D. Womack

Crossman Engineering
Rhode Island
151 Centerville Road
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103 Commonwealth Avenue
North Attleboro, MA 02763
Phone: (508) 695-1700
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BRUCE G. HAGERMAN
No. 5787
REGISTERED PROFESSIONAL ENGINEER
[Signature]
7/22/22

PROJECT TITLE:
**ARCTIC MILL REDEVELOPMENT
PLAT MAP 16, LOT 105
ZONING DISTRICT: CI**

**33 FACTORY STREET
WEST WARWICK, R.I.**

PREPARED FOR:
**KNIGHT STREET CAPITAL, LLC.
334 KNIGHT STREET
WARWICK, RI 02889**

DRAWING TITLE:
GRADING AND DRAINAGE PLAN

DATE: JANUARY 2022 SCALE: 1" = 30'
DWG. NAME: 2552-C4-GRADING.dwg

REVISIONS		
NUMBER	REMARKS	DATE
1	RIDEM COMMENTS	7/22/22

DRAWING NUMBER
C5
SHEET: 7 OF 17



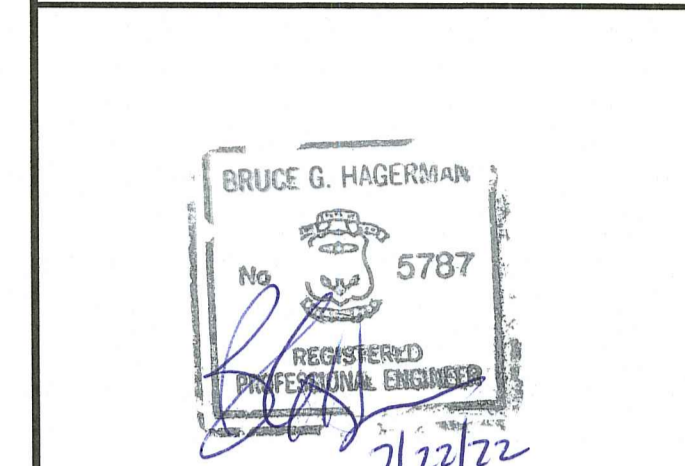
CROSSMAN ENGINEERING

Rhode Island
151 Centerville Road
Warwick, RI 02886
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PLAT MAP 16, LOT 105
ZONING DISTRICT: CI**

**33 FACTORY STREET
WEST WARWICK, R.I.**

PREPARED FOR:
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334 KNIGHT STREET
WARWICK, RI 02889**

DRAWING TITLE:
UTILITY PLAN

DATE: JANUARY 2022 SCALE: 1" = 30'

DWG. NAME: 2552-06-UTIL.dwg

REVISIONS	NUMBER	REMARKS	DATE
△	1	RIDEM COMMENTS	7/22/22

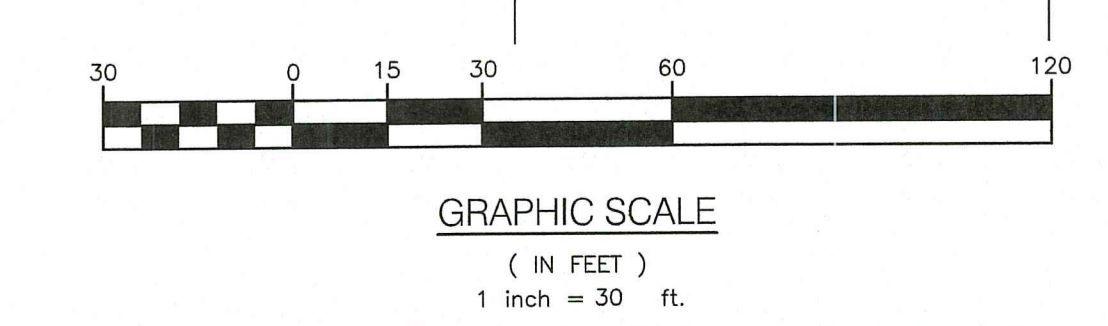
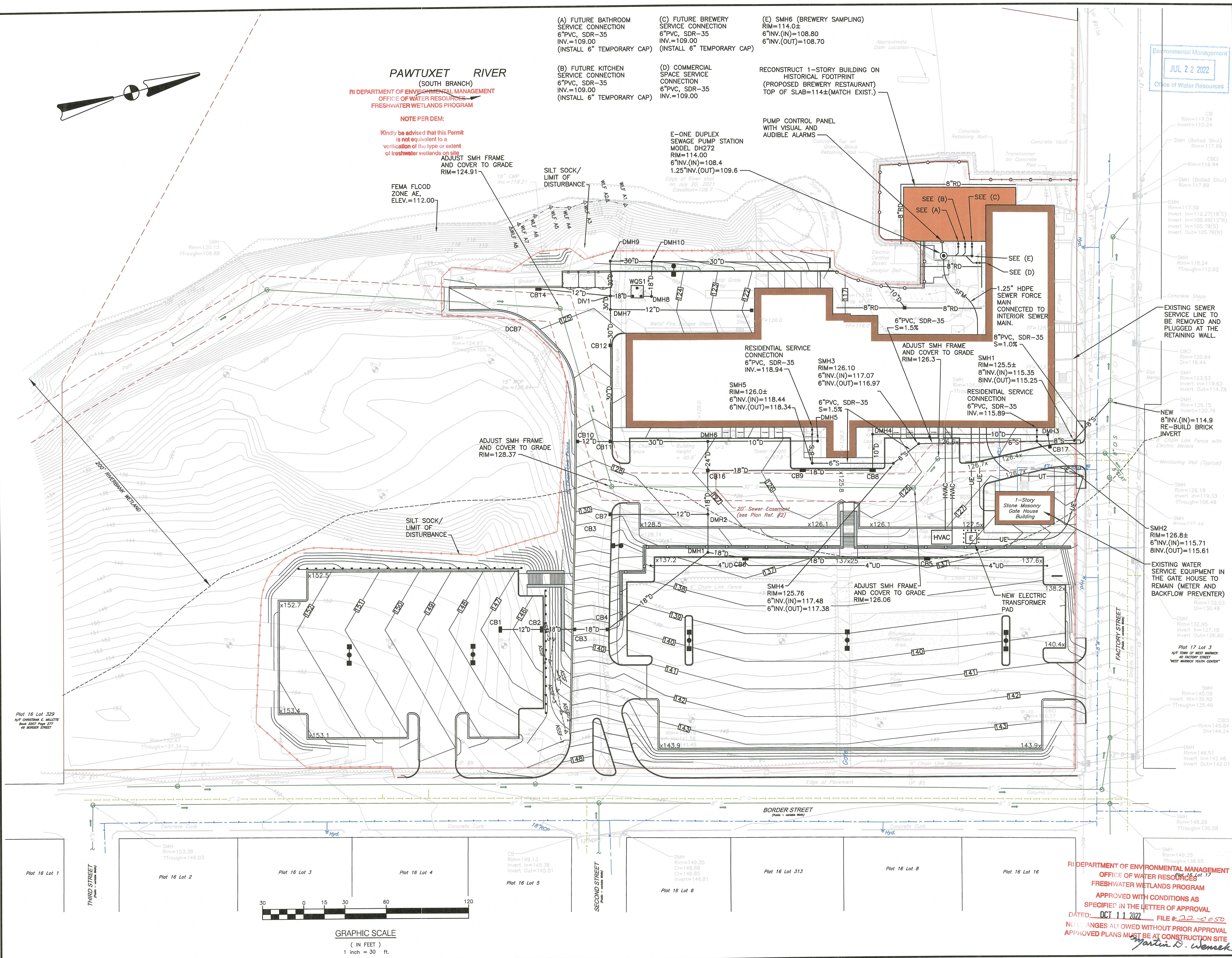
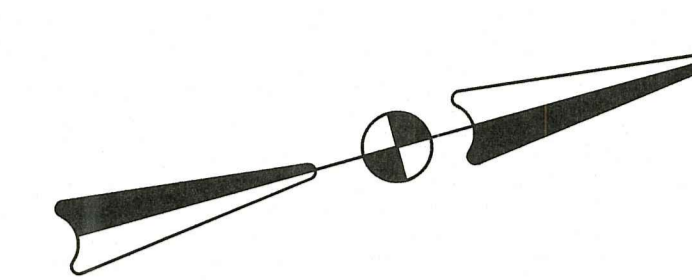
DRAWING NUMBER
C6
SHEET: 8 OF 17

- (A) FUTURE BATHROOM SERVICE CONNECTION
6" PVC, SDR-35
INV.=109.00
(INSTALL 6" TEMPORARY CAP)
- (B) FUTURE KITCHEN SERVICE CONNECTION
6" PVC, SDR-35
INV.=109.00
(INSTALL 6" TEMPORARY CAP)
- (C) FUTURE BREWERY SERVICE CONNECTION
6" PVC, SDR-35
INV.=109.00
(INSTALL 6" TEMPORARY CAP)
- (D) COMMERCIAL SPACE SERVICE CONNECTION
6" PVC, SDR-35
INV.=109.00
- (E) SMH6 (BREWERY SAMPLING)
RIM=114.0±
6" INV.(IN)=108.80
6" INV.(OUT)=108.70

PAWTUXET RIVER (SOUTH BRANCH)

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
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FRESHWATER WETLANDS PROGRAM

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Garten D. Weneck

Plot 16 Lot 329
W/F CROSSMAN E. MILLETTE
Sheet 2007 Page 277
OF 2008 STREET

Plot 16 Lot 1

Plot 16 Lot 2

Plot 16 Lot 3

Plot 16 Lot 4

Plot 16 Lot 5

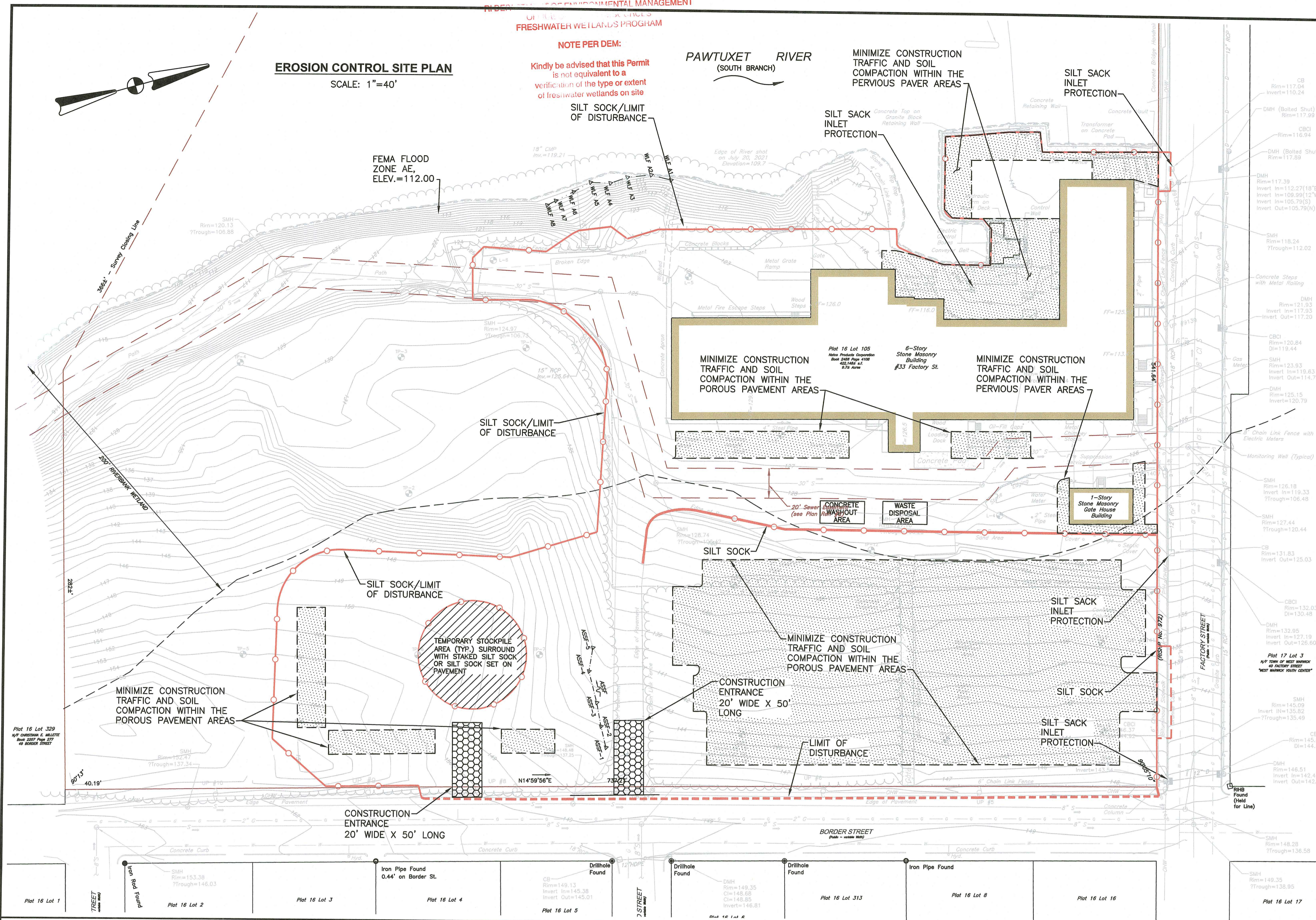
Plot 16 Lot 6

Plot 16 Lot 313

Plot 16 Lot 8

Plot 16 Lot 16

Plot 16 Lot 17



DUST CONTROL NOTES:

ON AN AS-NEEDED BASIS OR AS DIRECTED BY THE ENGINEER OR OWNER, THE CONTRACTOR SHALL UTILIZE ONE OF THE FOLLOWING METHODS (AS RECOMMENDED BY THE "R.I. SOIL EROSION AND SEDIMENT CONTROL HANDBOOK") TO CONTROL DUST:

A. THE EXPOSED SOIL SURFACE SHOULD BE MOISTENED PERIODICALLY WITH ADEQUATE WATER TO CONTROL DUST.

THE METHODS SHOULD BE REPEATED AS NEEDED, AND SPECIAL ATTENTION MUST BE GIVEN TO THE ACCESS DRIVES.

INSPECTION/MAINTENANCE NOTES:

1. EXTREME CARE SHALL BE EXERCISED SO AS TO PREVENT ANY UNSUITABLE MATERIAL FROM ENTERING DRAINAGE SYSTEMS, WETLANDS AND WATERWAYS.

2. ALL DISTURBED AREAS WHICH BECOME SUBJECT TO EROSION TENDENCIES WHETHER THEY BE NEWLY FILLED OR EXCAVATED SHALL RECEIVE SLOPE PROTECTION - SUCH AS RIP-RAP.

3. DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING DRAINAGE AND RUNOFF FLOW DURING PERIODS OF RAINFALL.

4. DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EROSION CONTROL MAINTENANCE AND SHALL INSPECT / REPAIR / REPLACE DAILY DURING CONSTRUCTION, FOLLOWING RAINFALL AND WEEKLY DURING NON CONSTRUCTION PERIODS.

5. ADDITIONAL EROSION CONTROLS SHALL BE LOCATED AS CONDITIONS WARRANT OR AS DIRECTED BY THE OWNER, MUNICIPAL REPRESENTATIVES, STATE AGENCIES OR ENGINEER.

6. THE "R.I. SOIL EROSION AND SEDIMENT CONTROL HANDBOOK" PREPARED BY THE U.S. DEPARTMENT OF AGRICULTURE, SOIL CONSERVATION SERVICE, REVISED 2014 (LATEST REVISION), MUST BE UTILIZED BY THE CONTRACTOR AS A GUIDE.

7. THE CONTRACTOR IS RESPONSIBLE FOR ALL DUST CONTROL AND FOR THE ENTIRE PROJECT DURATION, INCLUDING TEMPORARY SHUT-DOWN PERIODS, MUST MONITOR AND REPAIR, AS NEEDED, ALL SLOPES TO ENSURE THE SITE IS STABLE.

GENERAL PROJECT WIDE NOTES:

1. SILT SOCK AND SILT SACK IN CATCH BASINS SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, MAINTAINED ON A REGULAR BASIS, AND SHALL BE PLACED TO PREVENT SEDIMENTATION ONTO ADJACENT PROPERTY, ROADWAYS, WETLANDS AND WATERWAYS.

2. THE CONTRACTOR MUST REPLACE AND/OR RESEED ANY VEGETATION THAT DOES NOT DEVELOP/SURVIVE WITHIN THE PERIOD OF ONE YEAR AND HE SHALL DO SO AT NO ADDITIONAL EXPENSE TO THE OWNER.

3. ALL SILT SOCK OR TEMPORARY PROTECTION SHALL REMAIN IN PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED AND POTENTIAL SEDIMENTATION SOURCES ARE REMOVED.

4. TREES AND OTHER EXISTING VEGETATION SHALL BE RETAINED WHENEVER FEASIBLE; THE AREA BEYOND THE DRIPLINE SHALL BE FENCED OR ROPED OFF TO PROTECT TREES FROM CONSTRUCTION EQUIPMENT.

5. AREAS DAMAGED DURING CONSTRUCTION SHALL BE RESODDED, RESEED, OR OTHERWISE RESTORED AT THE CONTRACTOR'S EXPENSE.

6. STOCKPILES SHALL HAVE NO SLOPE STEEPER THAN 2:1 AND SHALL BE SURROUNDED BY STAKED SILT SOCK OR COVERED.

7. STOCKPILES EXPOSED FOR EXCESSIVE PERIODS SHALL RECEIVE TEMPORARY TREATMENT CONSISTING OF HAY, STRAW, FIBER MATTING, COVERED WITH TARPS, OR APPROVED EQUAL.

8. SILT FENCE MAY BE USED IN LIEU OF THE SILT SOCK WHERE APPROVED BY THE ENGINEER.

EROSION CONTROL AND SOIL STABILIZATION PROGRAM:

1. EXTREME CARE SHALL BE EXERCISED SO AS TO PREVENT ANY UNSUITABLE MATERIAL FROM ENTERING THE DRAINAGE SYSTEM, EXISTING RACEWAY, ADJACENT PROPERTY, AND ROADWAYS.

2. TEMPORARY TREATMENTS SHALL CONSIST OF A HAY, STRAW, RIPRAP OR FIBER MULCH PROTECTIVE COVERS, SUCH AS A MAT OR FIBER LINING (BURLAP, JUTE, FIBERGLASS NETTING, EXCELSIOR BLANKETS). THEY SHALL BE INCORPORATED INTO THE WORK AS WARRANTED OR AS ORDERED BY THE OWNER.

3. HAY OR STRAW APPLICATIONS SHALL BE IN THE AMOUNT OF 3,000-4,000 LBS/ACRE.

4. STOCKPILES SHALL HAVE NO SLOPE STEEPER THAN 2:1 AND SHALL BE SURROUNDED BY STAKED SILT SOCKS OR COVERED.

5. STOCKPILES EXPOSED FOR EXCESSIVE PERIODS SHALL RECEIVE TEMPORARY TREATMENT CONSISTING OF HAY, STRAW, FIBER MATTING OR COVERED WITH TARPS.

6. DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EROSION CONTROL MAINTENANCE AND SHALL INSPECT/REPLACE AS NEEDED.

7. ADDITIONAL EROSION CONTROLS SHALL BE LOCATED AS CONDITIONS WARRANT OR AS DIRECTED BY THE ENGINEER, OWNER, MUNICIPAL REPRESENTATIVES OR STATE AGENCIES.

8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING DUST CONTROL AT NO ADDITIONAL COST TO THE OWNER.

9. THE CATCH BASINS ADJACENT TO THE CONSTRUCTION AREA SHALL BE PROTECTED USING SILT SOCKS OR SILT SOCK INLET PROTECTION, AS NOTED.

10. ALL PROPOSED CATCH BASINS SHALL BE PROTECTED BY SILT SOCKS OR SILT SACKS.

11. SILT SOCK MAY BE INSTALLED ON THE EXISTING PAVEMENT/IMPERVIOUS AREAS WITH OUT STAKES. CONTRACTOR SHALL INSPECT DAILY, IF SOIL EROSION OR SEDIMENT IS OBSERVED IN THESE AREAS, THE CONTRACTOR SHALL RELOCATE OR INSTALL ADDITIONAL FILTREXX FILTER SOXX IN LOCATIONS THAT CAN BE STAKED. THIS WORK IS INCLUDED IN THE PROJECT SCOPE.

12. POLYMERS, FLOCCULANTS, OR OTHER TREATMENT CHEMICALS MUST NOT BE USED ON THIS PROJECT FOR DUST, SEDIMENTATION AND EROSION CONTROL. WATER WILL BE USED FOR DUST CONTROL AND EROSION WILL BE CONTROLLED USING THE PROPOSED EROSION CONTROLS, AND TEMPORARY STABILIZATION TECHNIQUES.

NOTES:

- CONTRACTOR SHALL INSTALL TEMPORARY MEASURES SUCH AS: FIBER MATTING, CRUSHED STONE, HAY OR STRAW IN AREAS WHERE SLOPES OR STABILIZATION HAS FAILED.
- CONTRACTOR SHALL INSTALL SILT SOCK INLET PROTECTION OR APPROVED EQUAL UNDER THE EXISTING CATCH BASIN GRATE ON THE SITE IN ADJACENT STREETS DOWN GRADIENT OF THE SITE. REMOVE AFTER CONSTRUCTION.
- SILT SOCK SHALL BE INSTALLED AROUND THE PERIMETER OF THE AREA TO BE DISTURBED BY CONSTRUCTION AS NOTED ON THE PLANS. ADDITIONAL APPLICATIONS OF THESE CONTROLS MEASURES MAY BE REQUIRED DURING THE CONSTRUCTION PROCESS. THE CONTRACTOR SHALL INSPECT THE SITE AT A MINIMUM OF ONCE PER WEEK OR WITHIN 24 HOURS AFTER A STORM EVENT.
- IF EROSION OR EROSION TENDENCIES ARE APPARENT ON THE SITE, THE CONTRACTOR IS RESPONSIBLE TO INSTALL ADDITIONAL CONSTRUCTION BMP'S SUCH AS SAND BAGS AS DIRECTED BY THE OWNER, LOCAL MUNICIPALITY, STATE AGENCIES OR ENGINEER DURING CONSTRUCTION.
- IF SEDIMENT OR DEBRIS IS TRACKED ONTO EXISTING ROADWAYS AREAS ADJACENT TO THE CONSTRUCTION AREA, THE CONTRACTOR IS REQUIRED TO SWEEP THE PAVEMENT ON A DAILY BASIS. THE AREA SHALL BE INSPECTED DAILY.
- THE CONTRACTOR IS RESPONSIBLE TO KEEP THE SITE CLEAN OF TRASH. RECOMMENDED DAILY PATROL OF THE CONSTRUCTION SHOULD BE CONDUCTED TO PICK-UP TRASH. THE OPERATOR SHALL REQUIRE THE CONTRACTOR TO HAVE PORTABLE SANITARY FACILITIES ON SITE. ROUTING CLEANING AND WASTE DISPOSAL OF THESE PORTABLE SANITARY FACILITIES IS REQUIRED.
- THE CONTRACTOR MUST REFERENCE AND FOLLOW THE REQUIREMENTS AND RECOMMENDATIONS CONTAINED IN THE PROJECT'S STORM WATER POLLUTION PREVENTION PLAN (SWAPP). A COPY OF THE SWAPP SHOULD BE KEPT ON-SITE AT ALL TIMES DURING CONSTRUCTION.

RECEIVING WATER DATA:

- WATERSHED BODY NAME - SOUTH BRANCH PAWTUXET RIVER (SOURCE: R.I.D.E.M.)
- GROUNDWATER CLASSIFICATION - GB

PROJECT DATA:

- LIMIT OF UPLAND DISTURBANCE AREA = 4.34± ACRES
- THE SITE IS NOT LOCATED WITHIN OR ADJACENT TO A RIDEM NATURAL HERITAGE AREA. (SOURCE: RIDEM)
- THE SITE IS NOT LOCATED WITHIN A WELLHEAD PROTECTION AREA. (SOURCE: R.I.D.E.M.)

ADDITIONAL CONTROLS:

- ALL TYPES OF WASTE GENERATED AT THE SITE SHALL BE DISPOSED OF IN A MANNER CONSISTENT WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
- THE CONTRACTOR IS REQUIRED TO NOTIFY LOCAL AUTHORITIES AND THE RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL MANAGEMENT, OFFICE OF WASTE MANAGEMENT, OF ANY HAZARDOUS MATERIAL SPILL.
- THE CONTRACTOR IS REQUIRED TO MAINTAIN THE SITE IN AN ORDERLY AND CLEAN STATE. ALL CONSTRUCTION WASTE SHALL BE STORED IN APPROPRIATE CONTAINERS PRIOR TO REMOVAL AND CONTACT WITH PRECIPITATION SHALL BE KEPT TO A MINIMUM.
- GENERAL MAINTENANCE PROCEDURES ARE OUTLINED IN THE ACCOMPANYING SITE PLANS. IN ADDITION, THE OPERATOR AND CONTRACTOR ARE REQUIRED TO INSPECT ALL EROSION CONTROLS ON THE SITE AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN TWENTY-FOUR (24) HOURS AFTER A RAIN EVENT, WHICH GENERATES 0.25 INCHES OF RAIN IN A TWENTY-FOUR (24) HOUR PERIOD AND/OR AFTER A SIGNIFICANT AMOUNT OF RUNOFF.
- CONCRETE WASHOUT SHALL BE PERFORMED USING ONE OF THE METHODS LISTED IN SECTION 3 OF THE RI SOIL EROSION AND SEDIMENT CONTROL HANDBOOK. THE WASHOUT AREAS ARE DESIGNATED ON THE SOIL EROSION AND SEDIMENT CONTROL PLAN.
- VEHICLE AND EQUIPMENT WASHING ON-SITE DURING CONSTRUCTION IS NOT ALLOWED.
- A SPILL RESPONSE KIT SHALL BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION.

SITE CONSTRUCTION SEQUENCE AND SCHEDULE:

- INSTALL ALL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO ANY SOIL DISTURBANCE.
- PRIOR TO CONSTRUCTION CLEARLY MARK AREAS TO BE LEFT UNDISTURBED.
- CLEARING OF TREES AND VEGETATION AS SHOWN ON THE SITE PLANS.
- TOP SOIL TO BE STRIPPED AND STOCKPILED.
- ESTABLISH EROSION CONTROLS AROUND STOCKPILES (SILT SOCK). COVER STOCKPILES THAT WILL REMAIN FOR LONGER THAN ONE MONTH.
- BUILDING RENOVATION AND CONSTRUCTION.
- REMOVE AND DISPOSE EXISTING PAVEMENT AND ROUGH GRADING.
- INSTALL NEW DRAINAGE AND UTILITY SYSTEMS.
- INSTALL NEW CURBING AND SIDEWALKS.
- FINAL GRADING AND INSTALL FINAL PAVING AND LANDSCAPING.
- ESTIMATED DURATION OF SOIL EXPOSURE SEPTEMBER 2022 TO DECEMBER 2023.

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM

APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL

DATED: OCT 11 2022 FILE #: 22-0050

NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL

APPROVED PLANS MUST BE AT CONSTRUCTION SITE

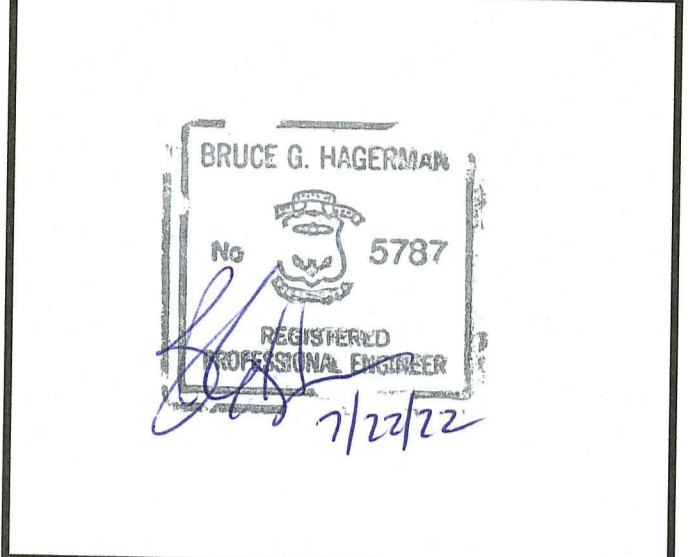
Martin D. Wencsek

Crossman Engineering
Rhode Island
151 Centerville Road
Warwick, RI 02886
Phone: (401) 738-5660
Email: cel@crossmaneng.com

Massachusetts
103 Commonwealth Avenue
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Phone: (508) 695-1700

• Civil
• Transportation
• Environmental
• Site Planning
• Permitting
• Landscape Architecture

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PROJECT TITLE:
ARCTIC MILL REDEVELOPMENT
PLAT MAP 16, LOT 105
ZONING DISTRICT: CI

33 FACTORY STREET
WEST WARWICK, R.I.

PREPARED FOR:
KNIGHT STREET CAPITAL, LLC.
334 KNIGHT STREET
WARWICK, RI 02889

DRAWING TITLE:
SOIL EROSION and SEDIMENT CONTROL PLAN

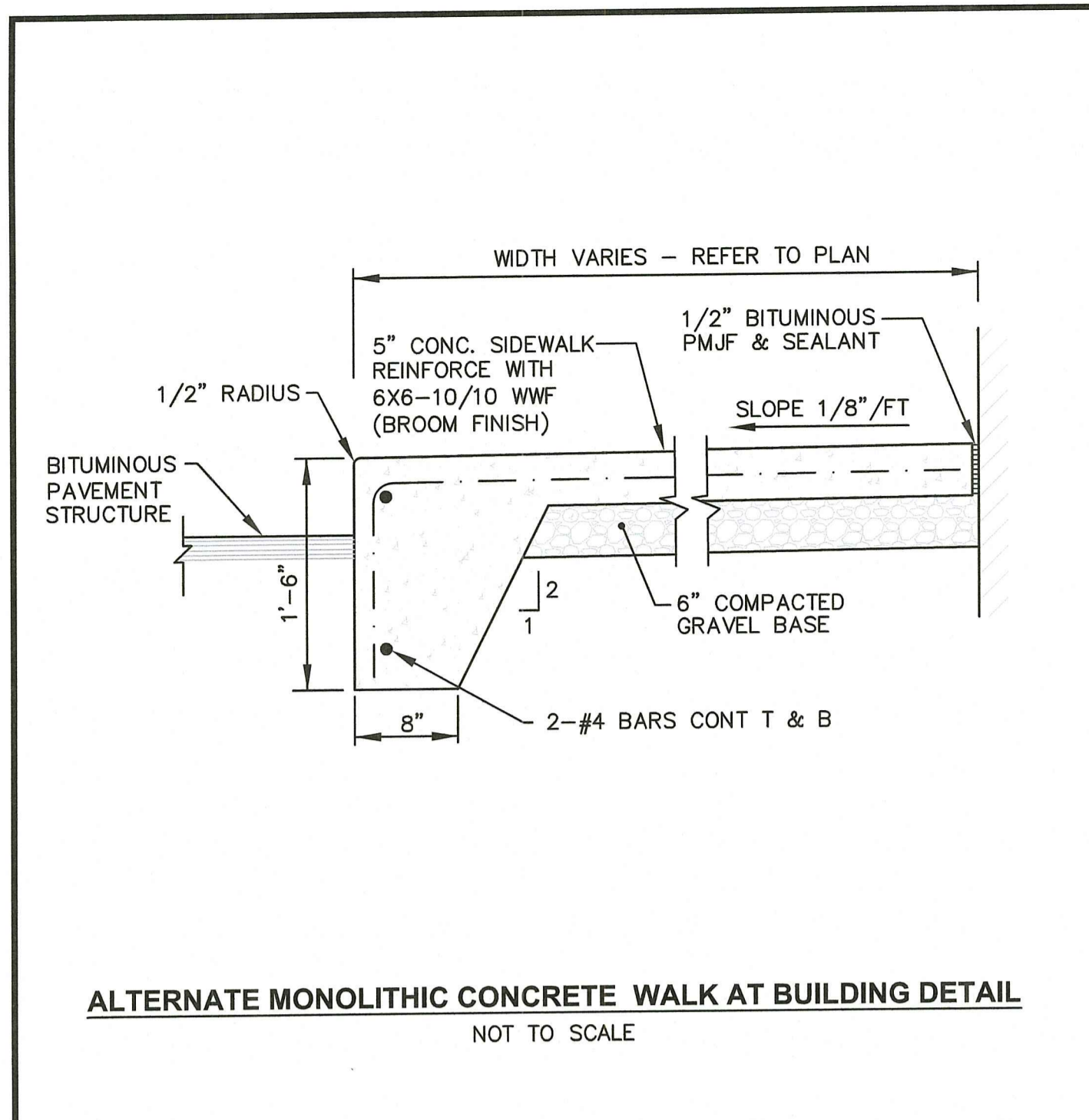
DATE: JANUARY 2022 SCALE: AS NOTED

DWG. NAME: 2552-07-SOIL.dwg

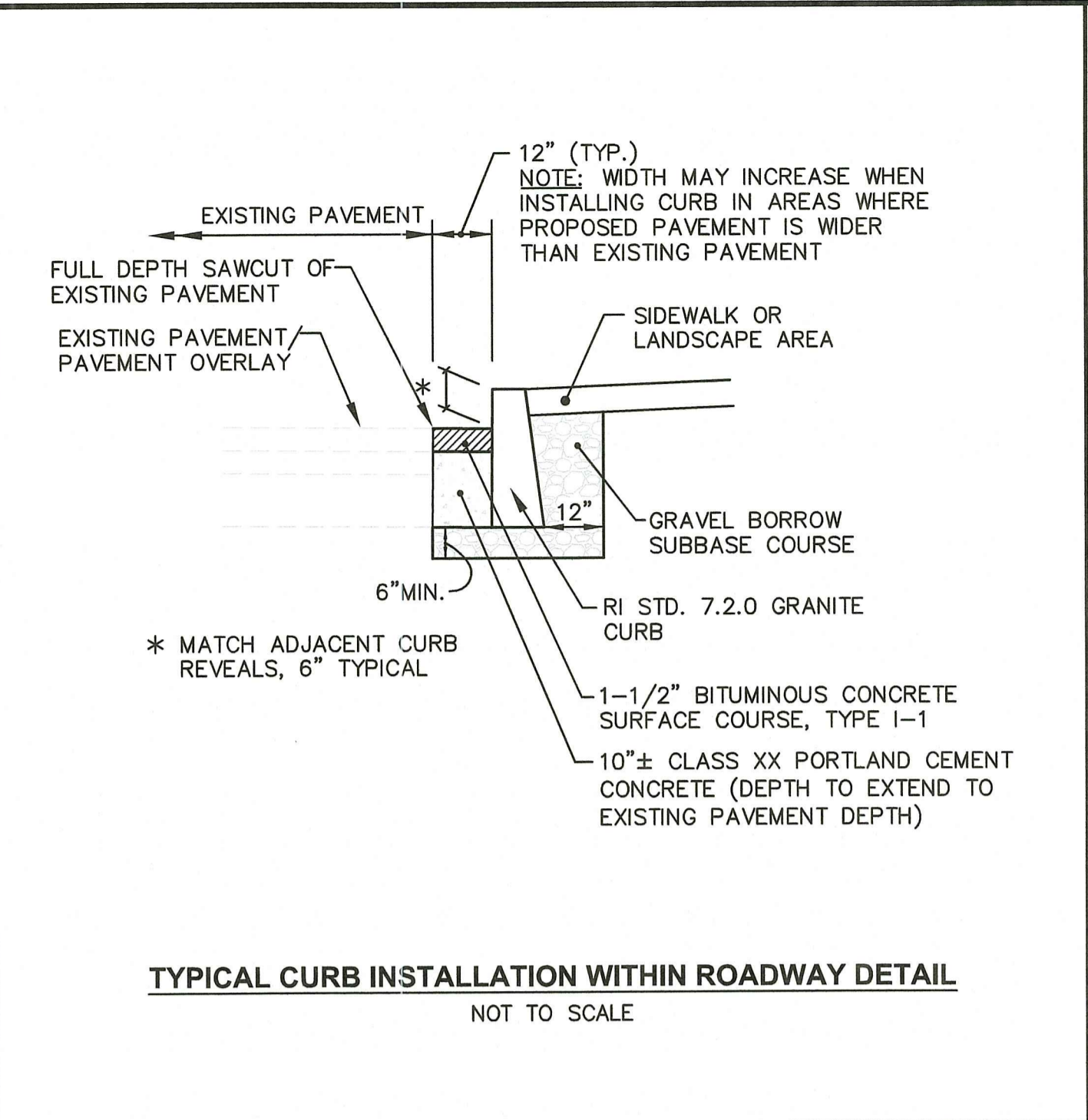
NUMBER	REMARKS	DATE
1	RIDEM COMMENTS	7/22/22

DRAWING NUMBER: **C7**

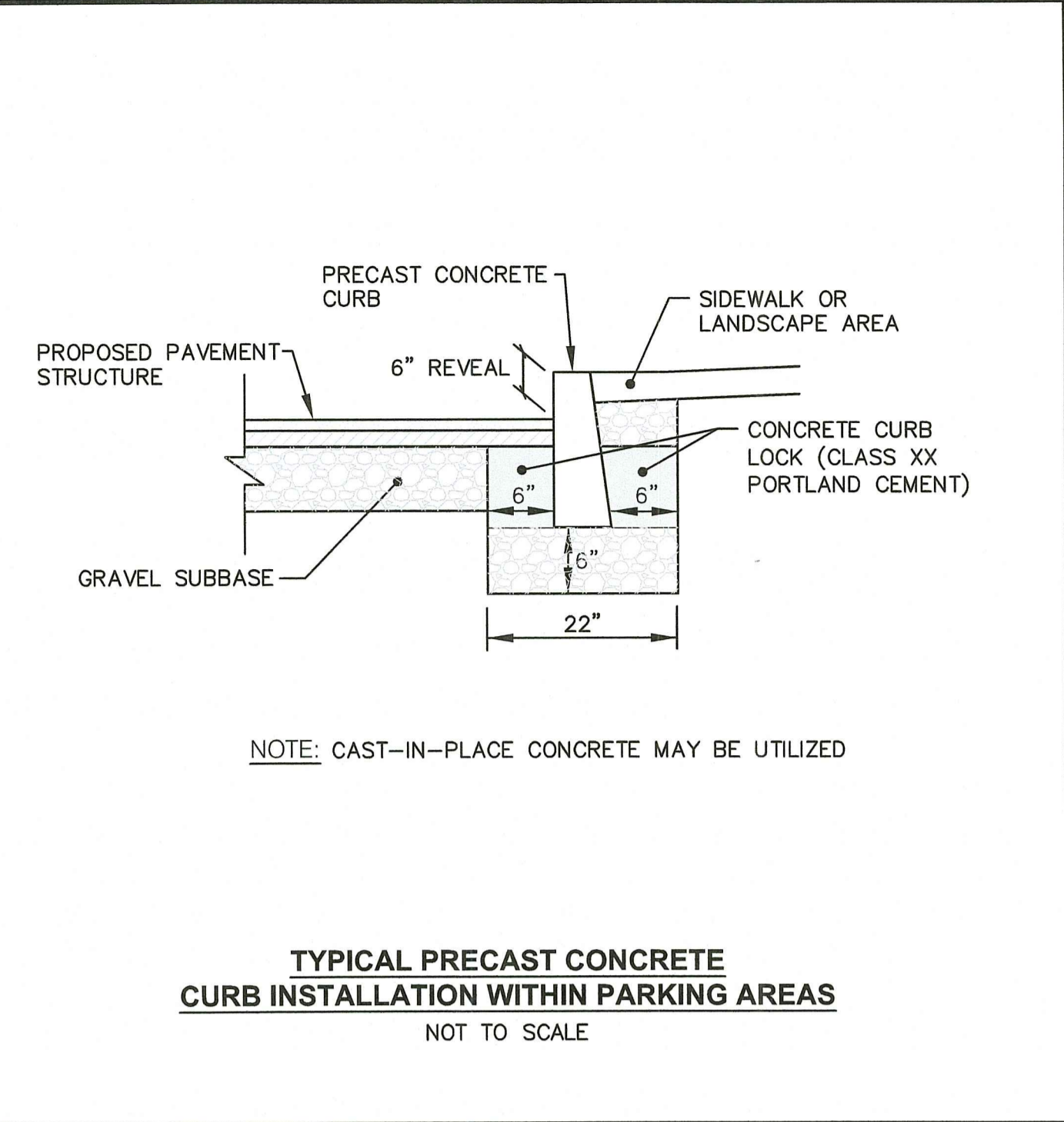
SHEET: 9 OF 17



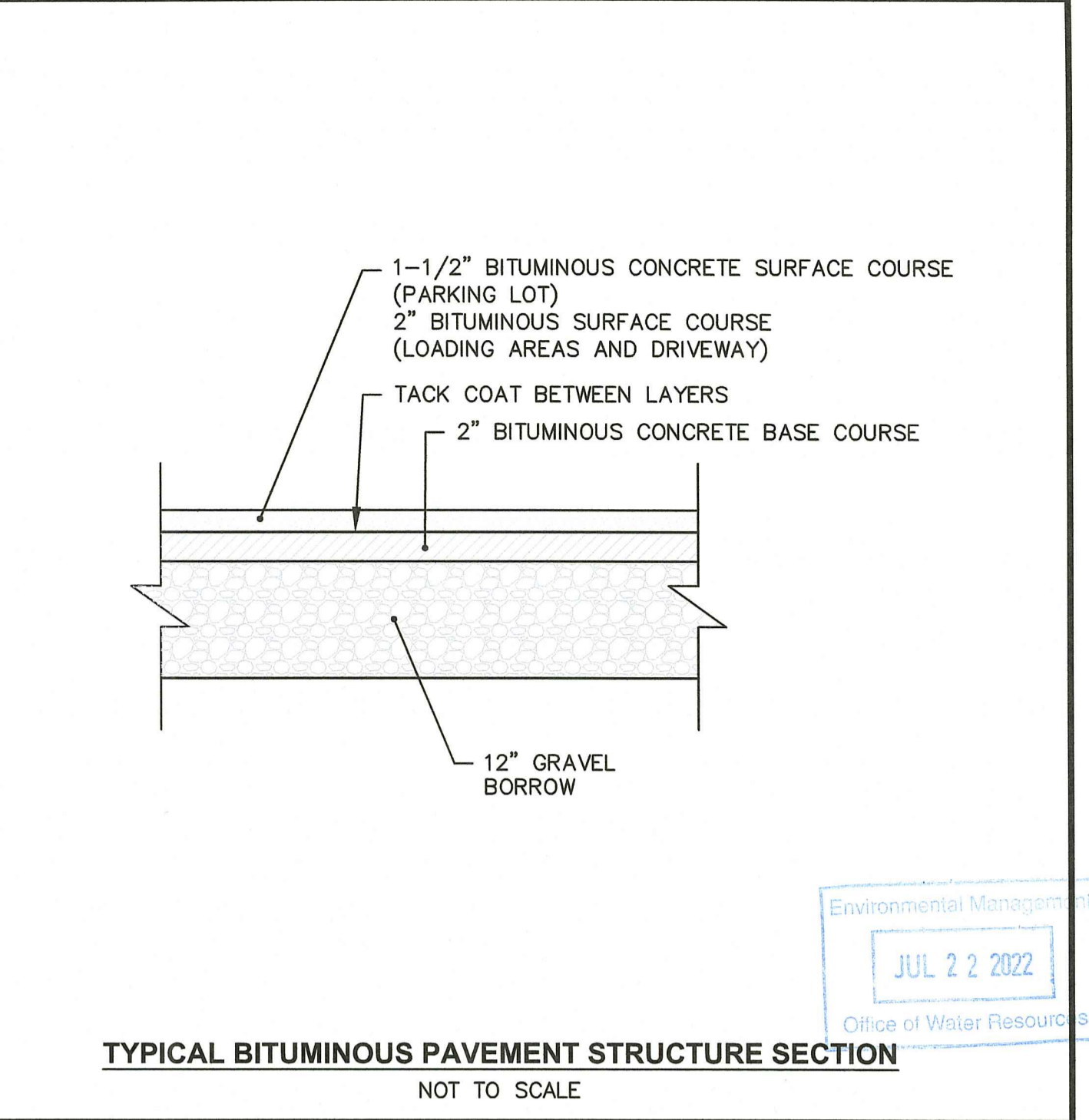
ALTERNATE MONOLITHIC CONCRETE WALK AT BUILDING DETAIL
NOT TO SCALE



TYPICAL CURB INSTALLATION WITHIN ROADWAY DETAIL
NOT TO SCALE

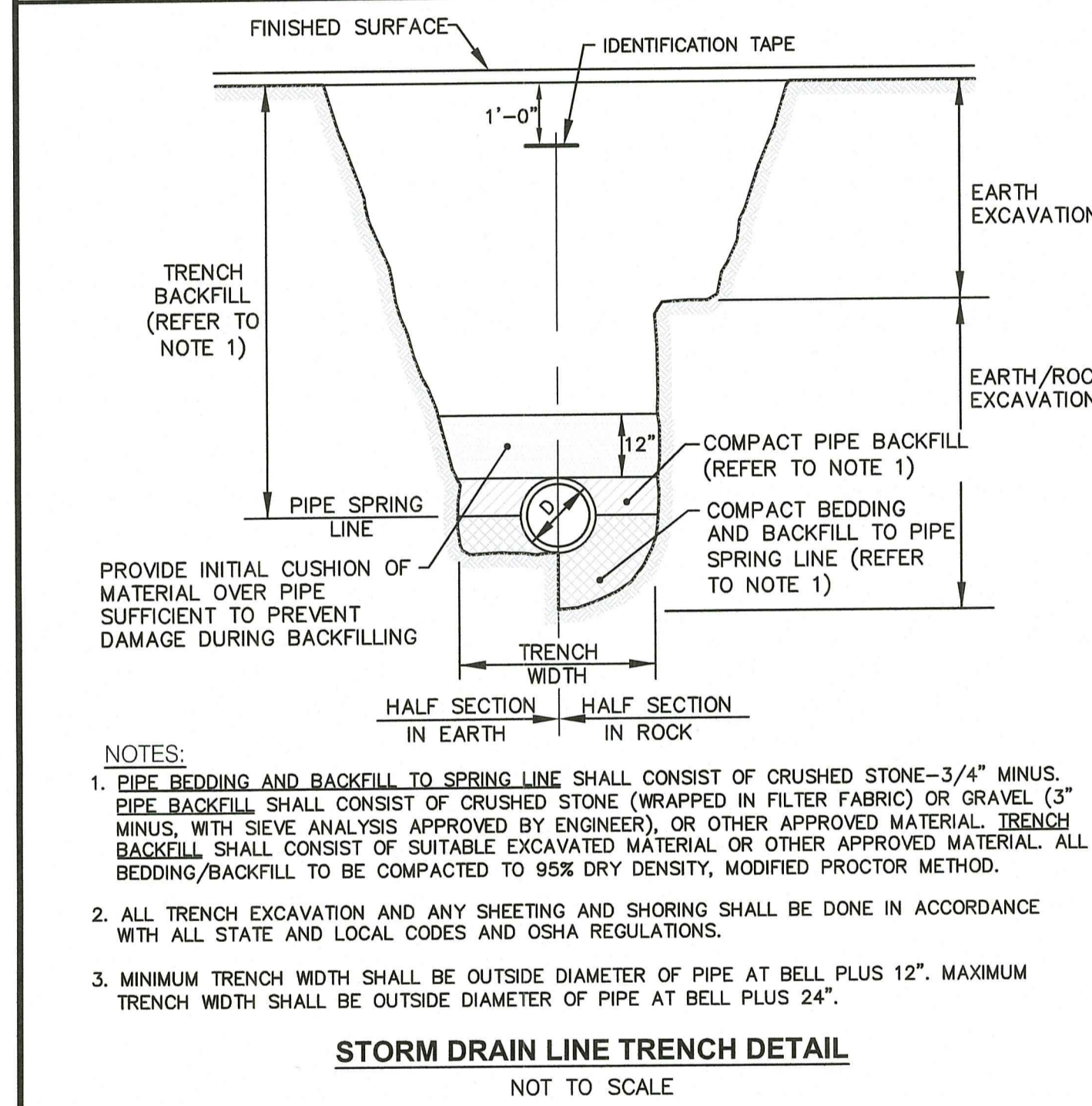


TYPICAL PRECAST CONCRETE CURB INSTALLATION WITHIN PARKING AREAS
NOT TO SCALE

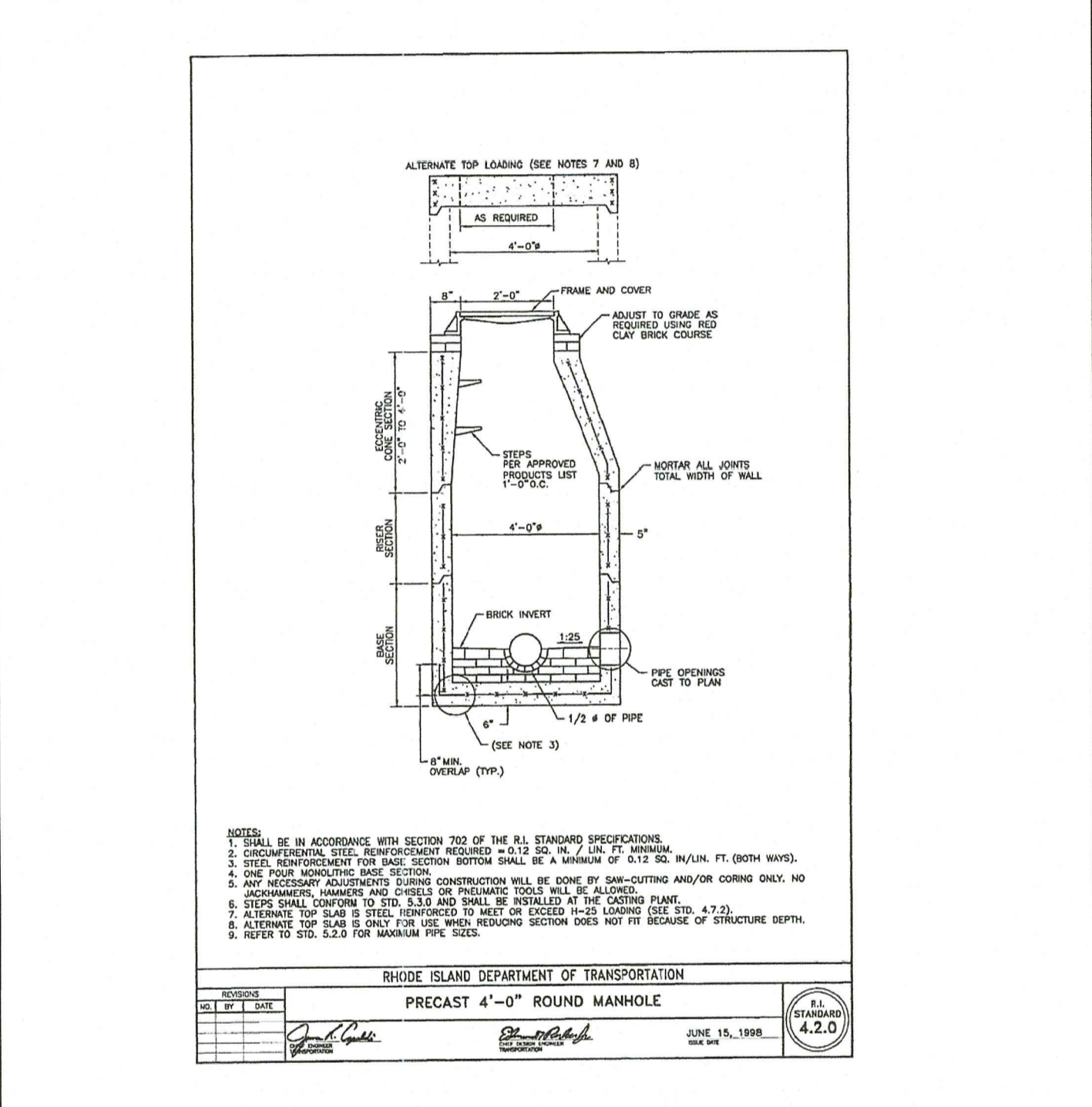


TYPICAL BITUMINOUS PAVEMENT STRUCTURE SECTION
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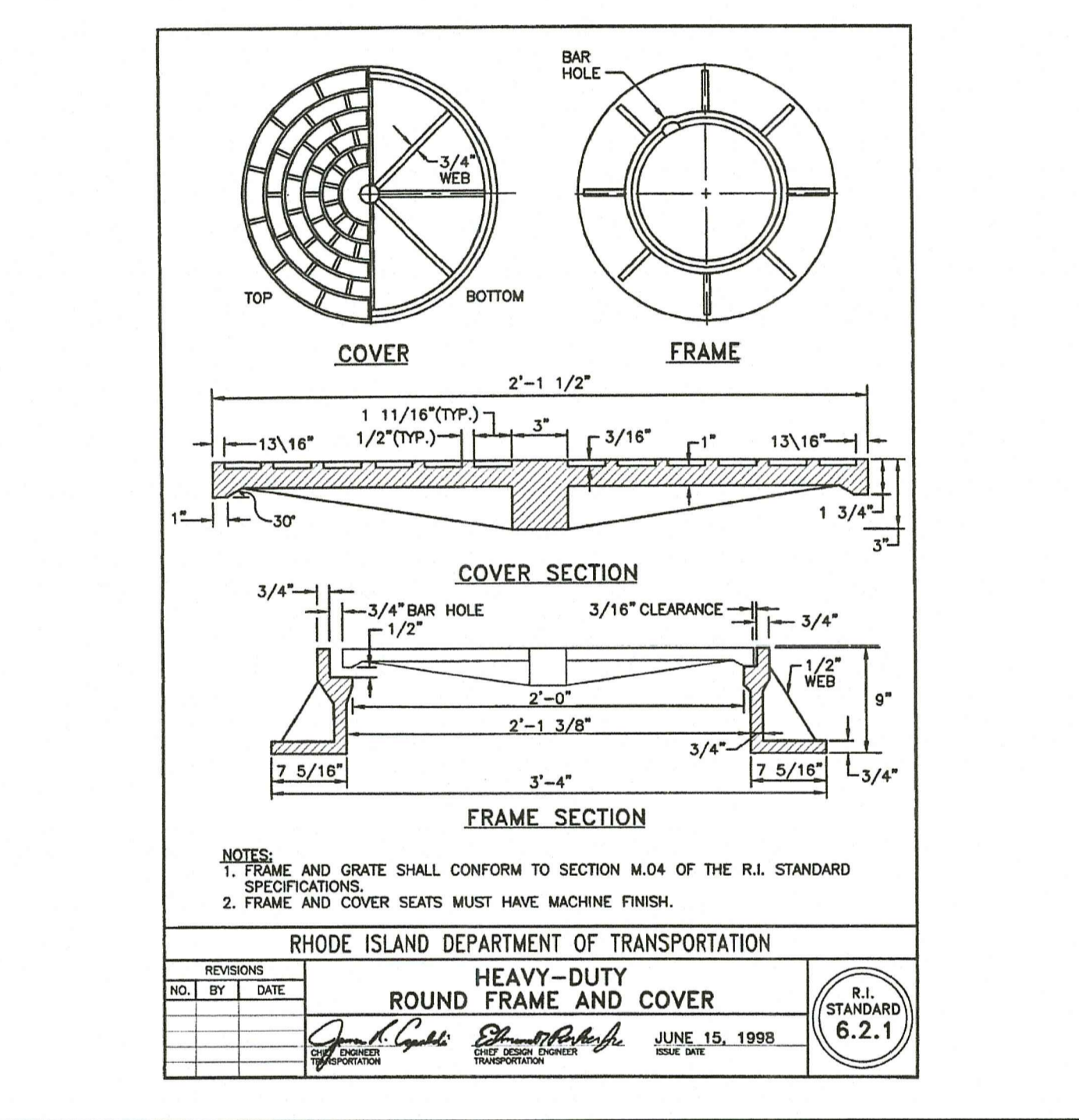
Environmental Management
JUL 22 2022
Office of Water Resources



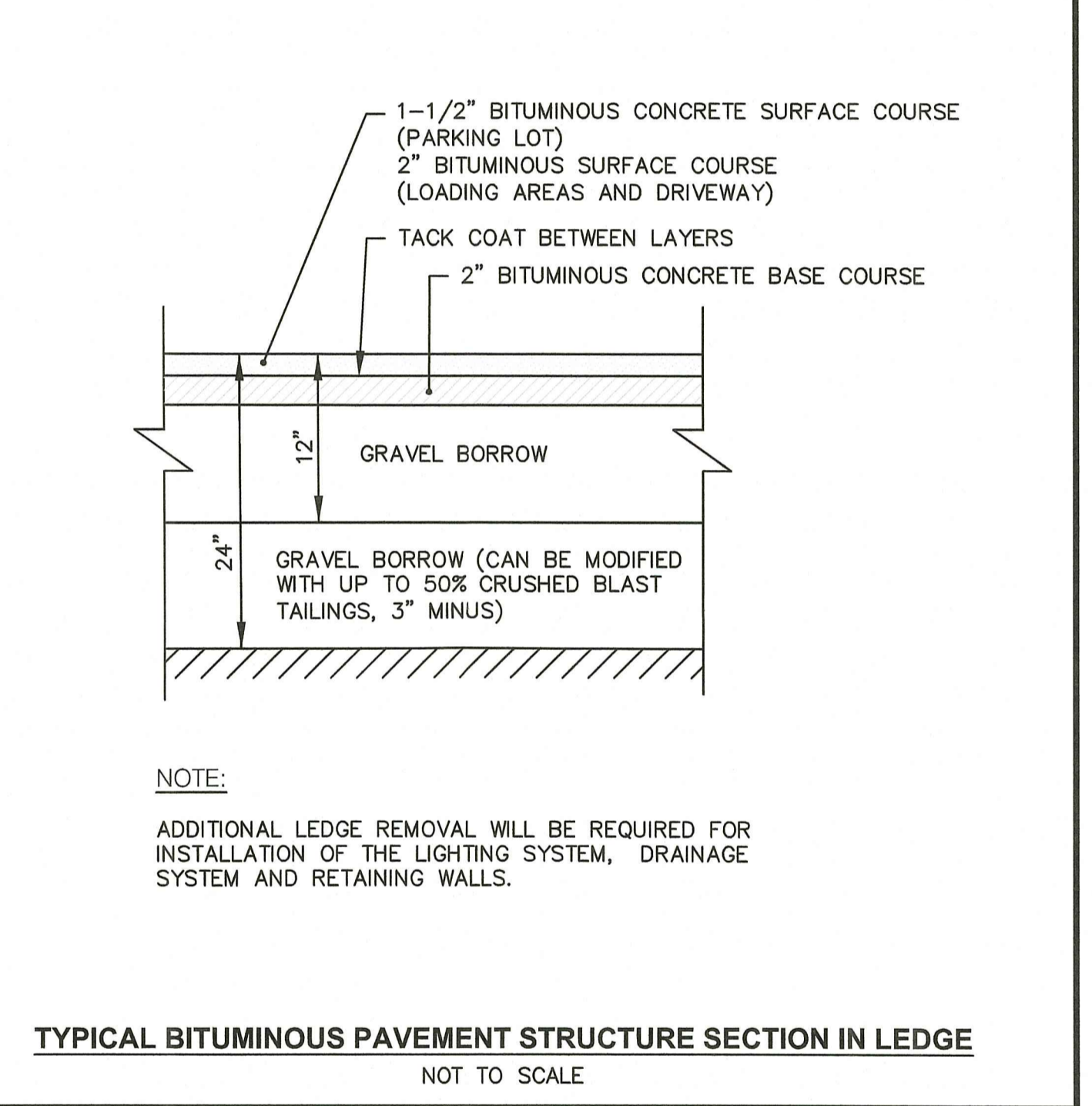
STORM DRAIN LINE TRENCH DETAIL
NOT TO SCALE



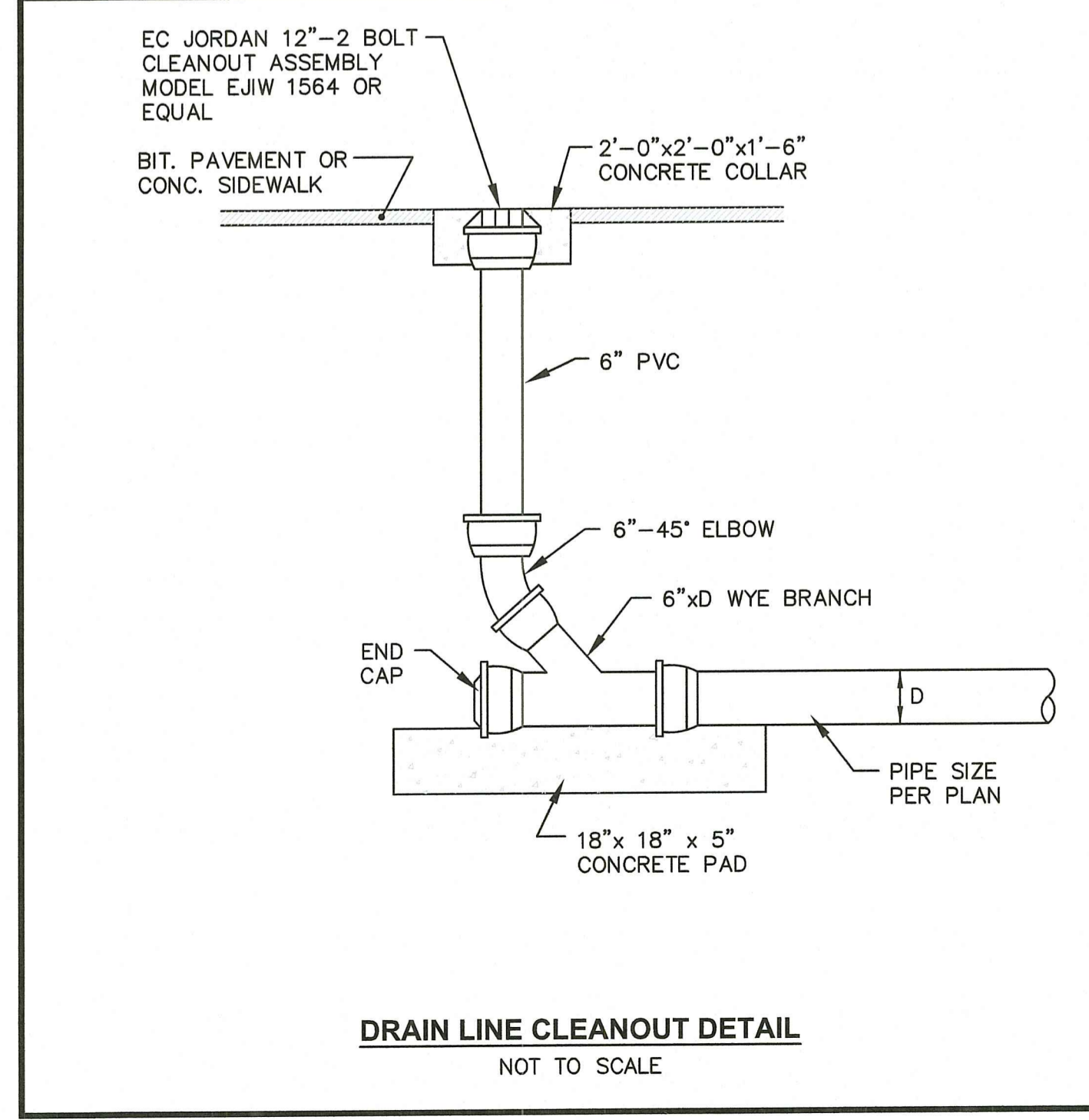
RHODE ISLAND DEPARTMENT OF TRANSPORTATION
PRECAST 4"-Ø ROUND MANHOLE
JUNE 15, 1998
R.I. STANDARD 6.2.1



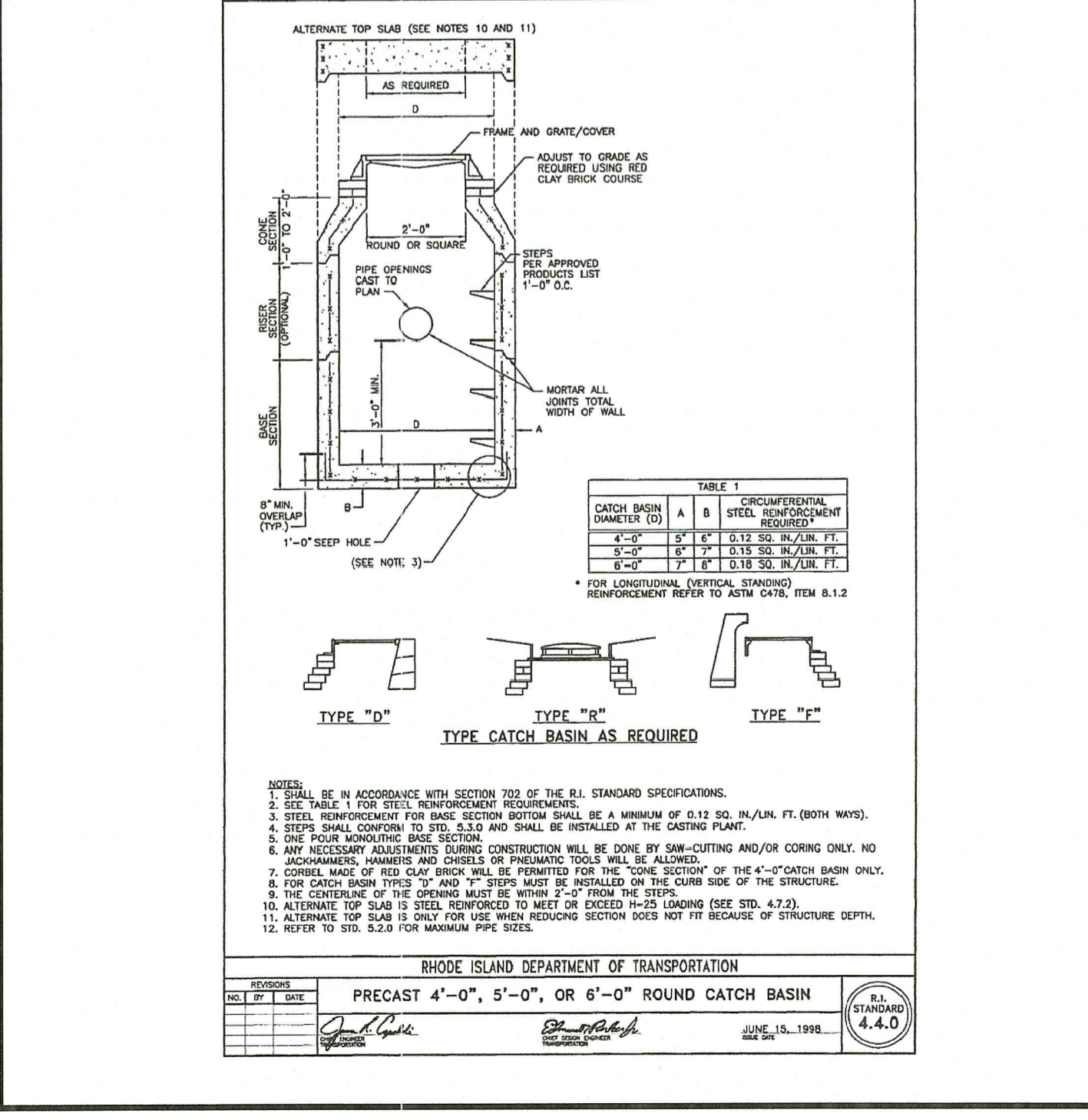
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HEAVY-DUTY ROUND FRAME AND COVER
JUNE 15, 1998
R.I. STANDARD 6.2.1



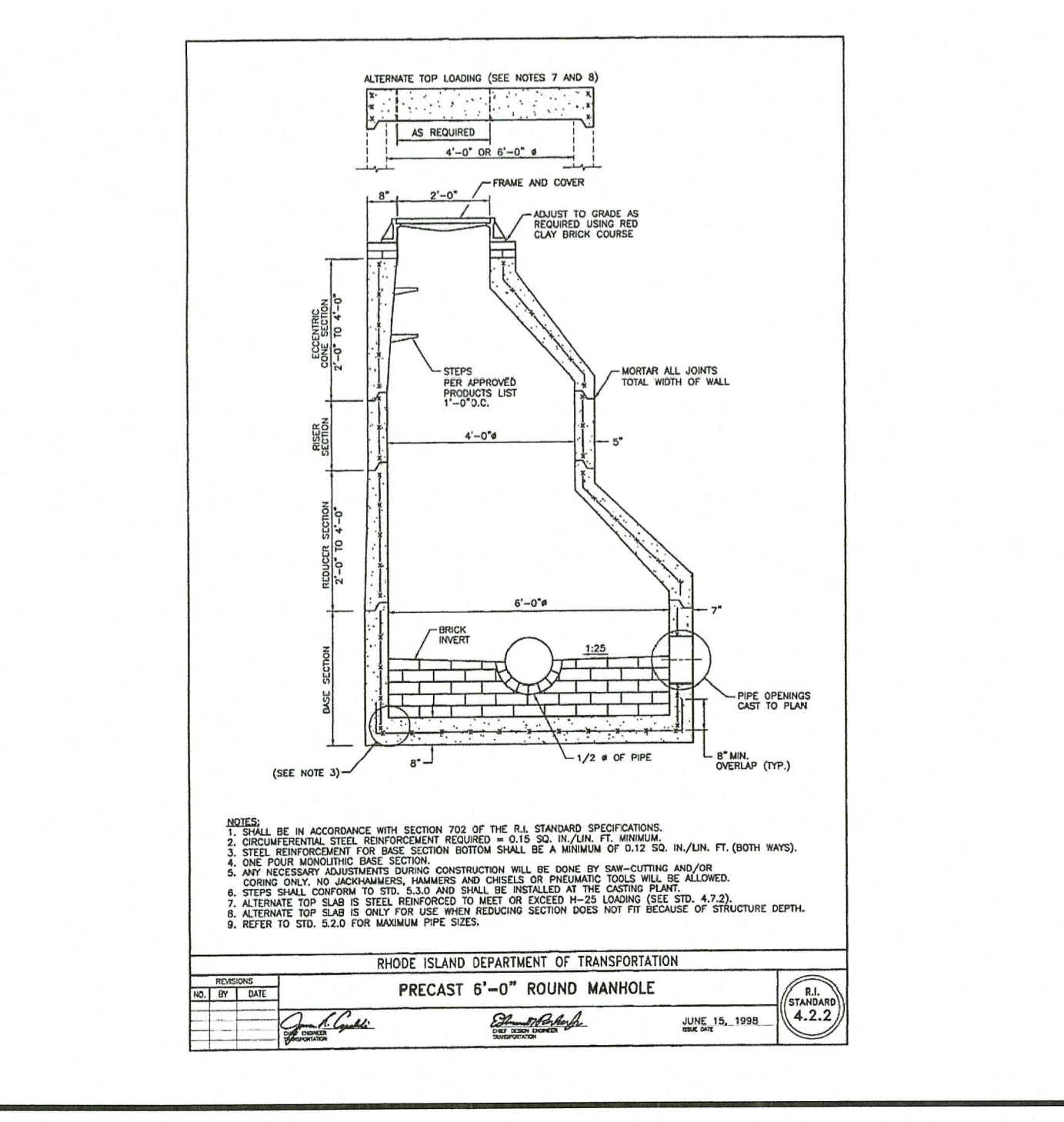
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NOT TO SCALE



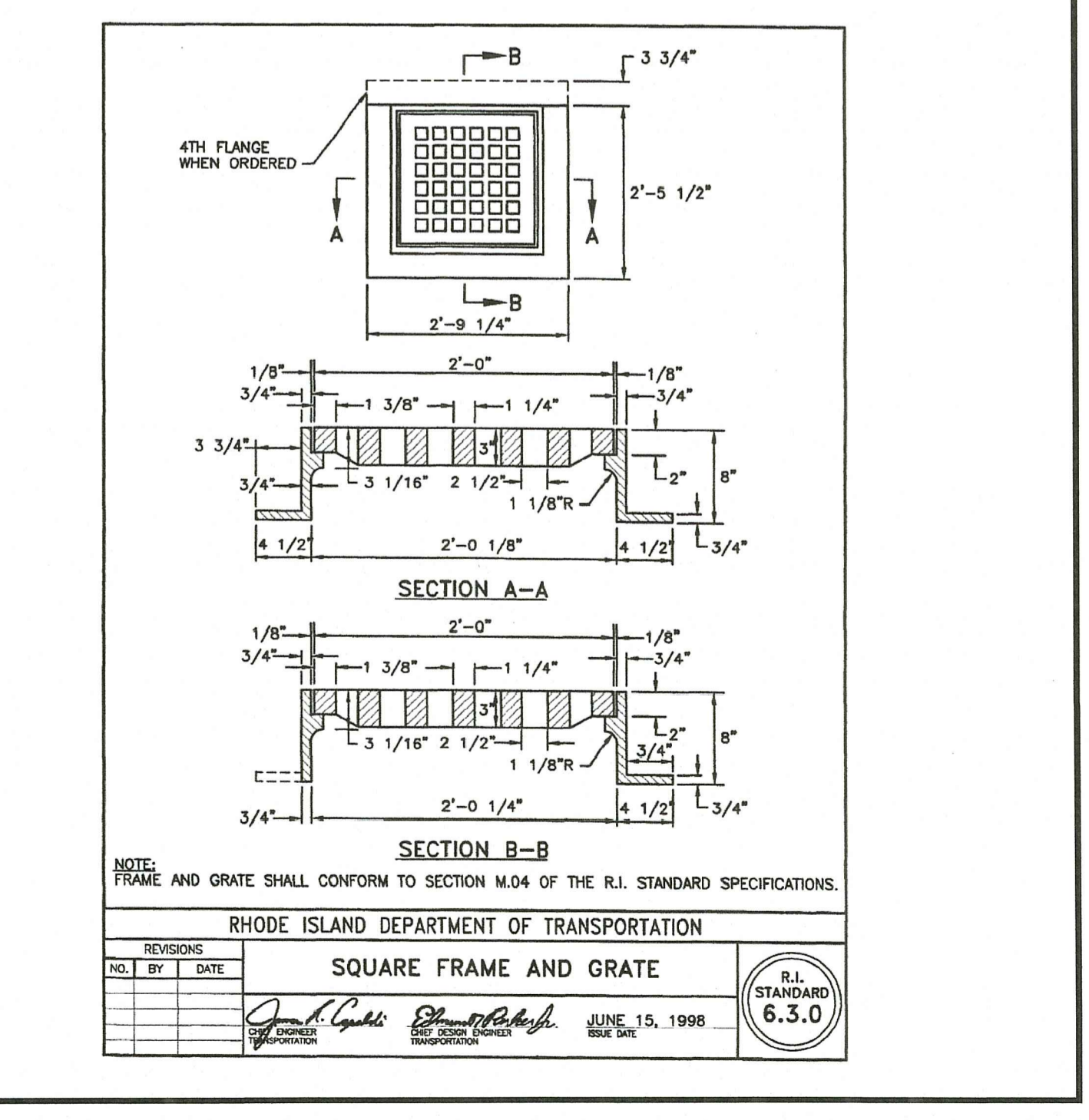
DRAIN LINE CLEANOUT DETAIL
NOT TO SCALE



RHODE ISLAND DEPARTMENT OF TRANSPORTATION
PRECAST 5"-Ø ROUND CATCH BASIN
JUNE 15, 1998
R.I. STANDARD 4.4.0



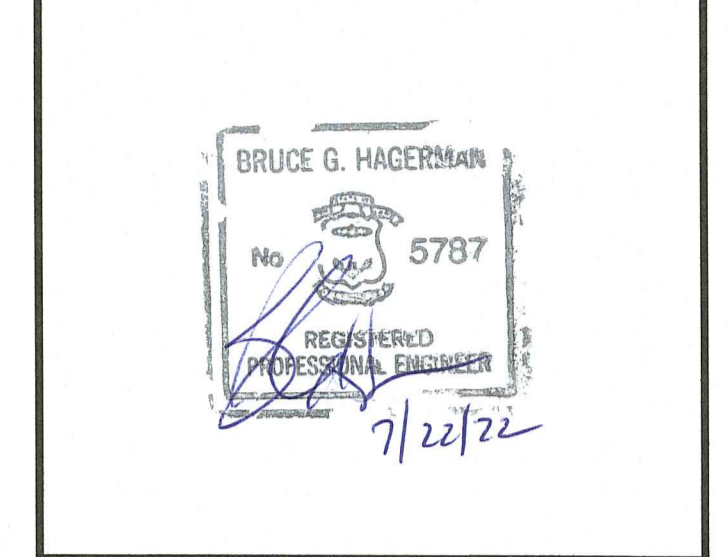
RHODE ISLAND DEPARTMENT OF TRANSPORTATION
PRECAST 6"-Ø ROUND MANHOLE
JUNE 15, 1998
R.I. STANDARD 4.2.2



RHODE ISLAND DEPARTMENT OF TRANSPORTATION
SQUARE FRAME AND GRATE
JUNE 15, 1998
R.I. STANDARD 6.3.0

Crossman Engineering
Rhode Island: 151 Centerville Road, Warwick, RI 02886, Phone: (401) 738-5660
Massachusetts: 103 Commonwealth Avenue, North Attleboro, MA 02763, Phone: (508) 695-1700
Email: cei@crossmaneng.com

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DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL
DATED: OCT 11 2022 FILE # 22-0050
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE
Martin D. Wemack

PROJECT TITLE:
ARCTIC MILL REDEVELOPMENT
PLAT MAP 16, LOT 105
ZONING DISTRICT: CI

33 FACTORY STREET
WEST WARWICK, R.I.

PREPARED FOR:
KNIGHT STREET CAPITAL, LLC.
334 KNIGHT STREET
WARWICK, RI 02889

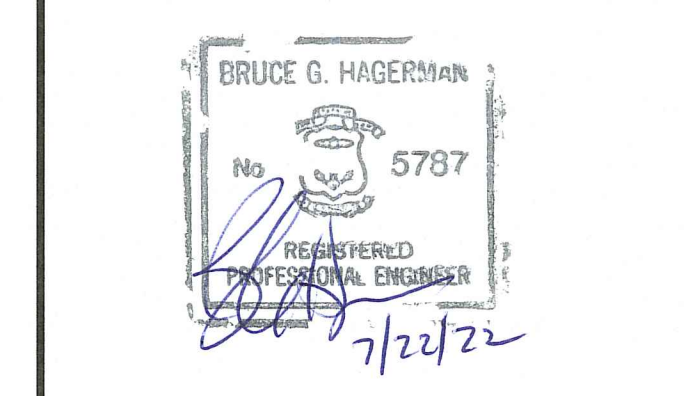
DRAWING TITLE:
MISCELLANEOUS DETAIL
PLAN No. 2

DATE: JANUARY 2022 SCALE: 1" = 30"
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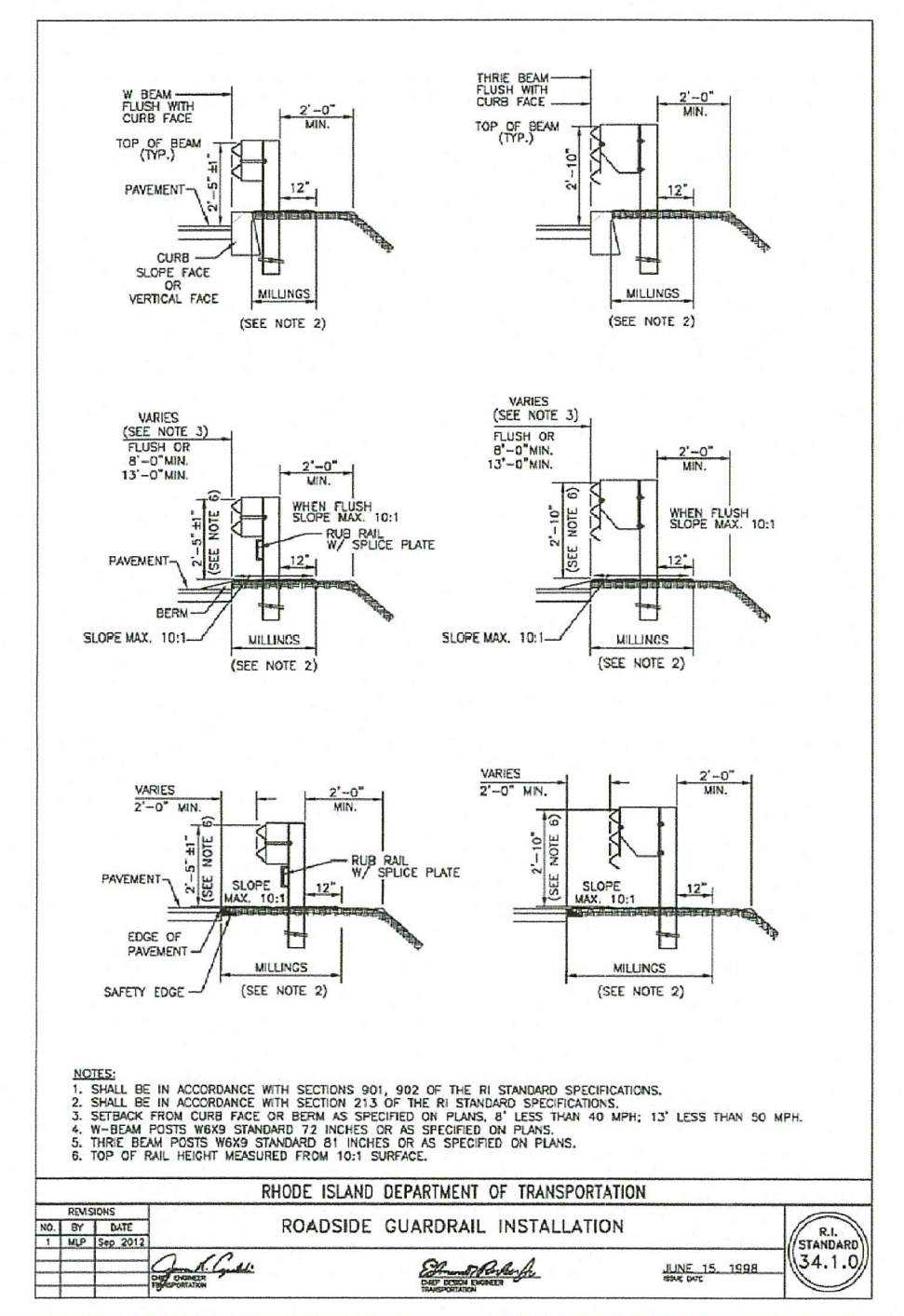
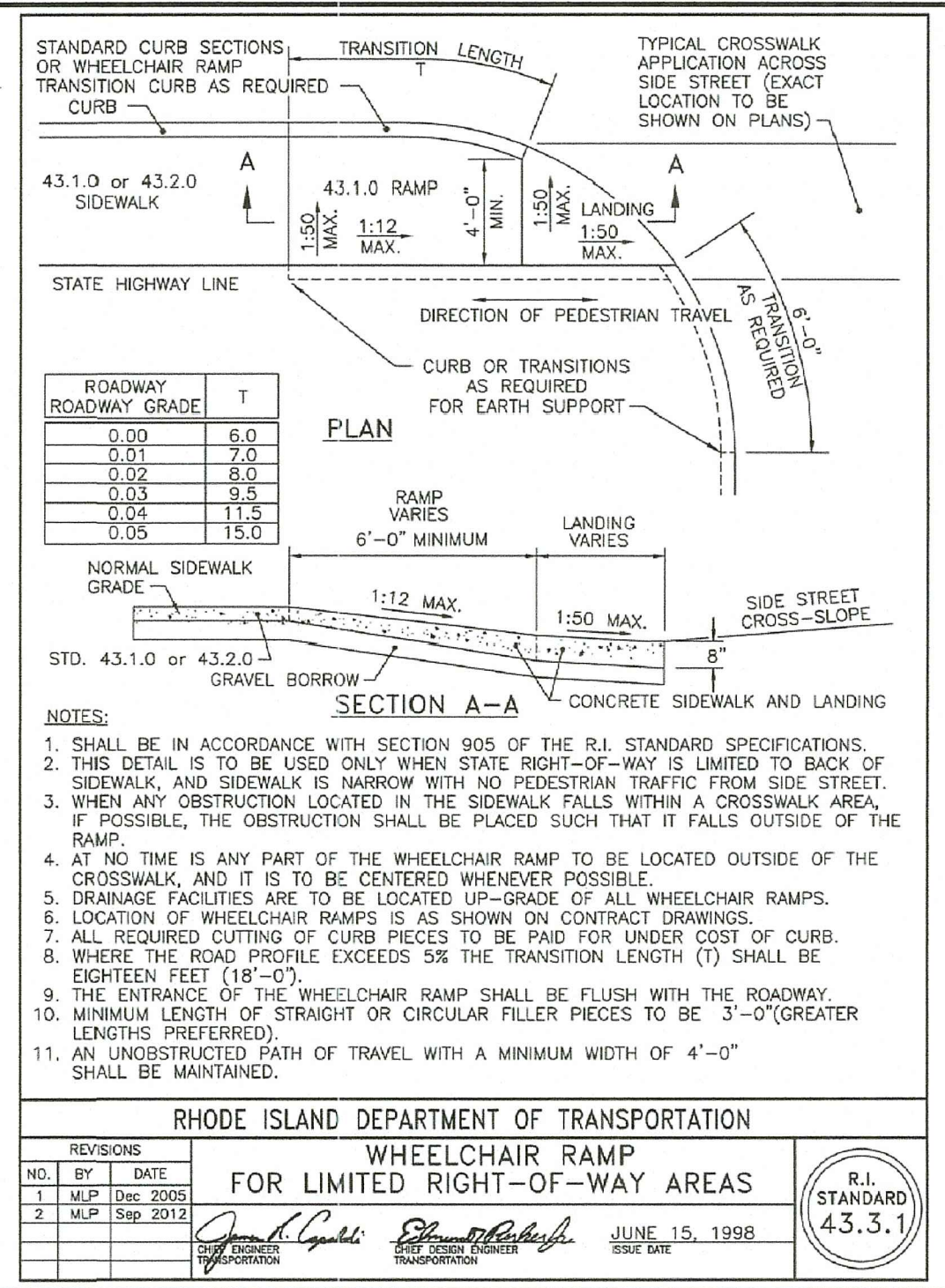
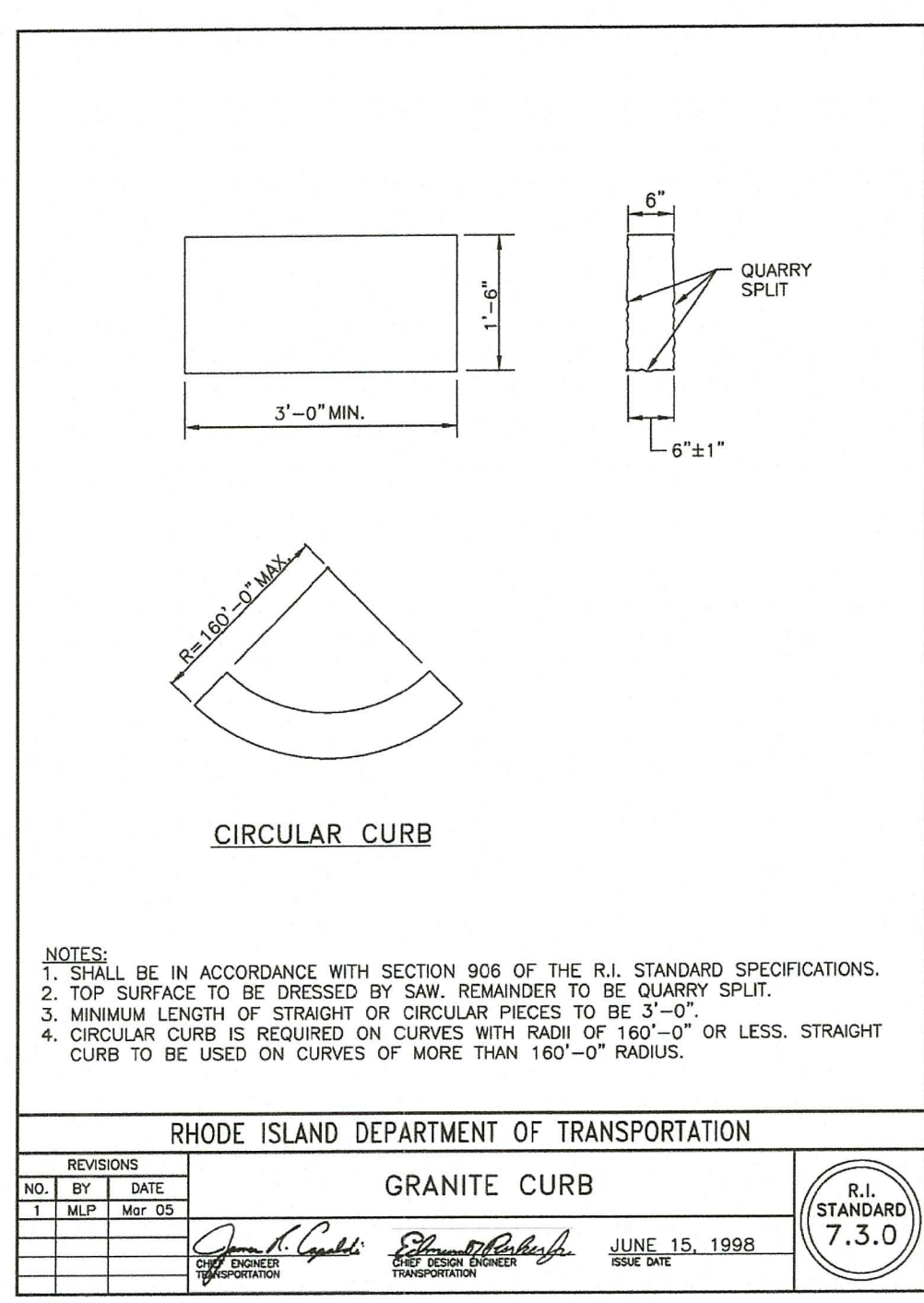
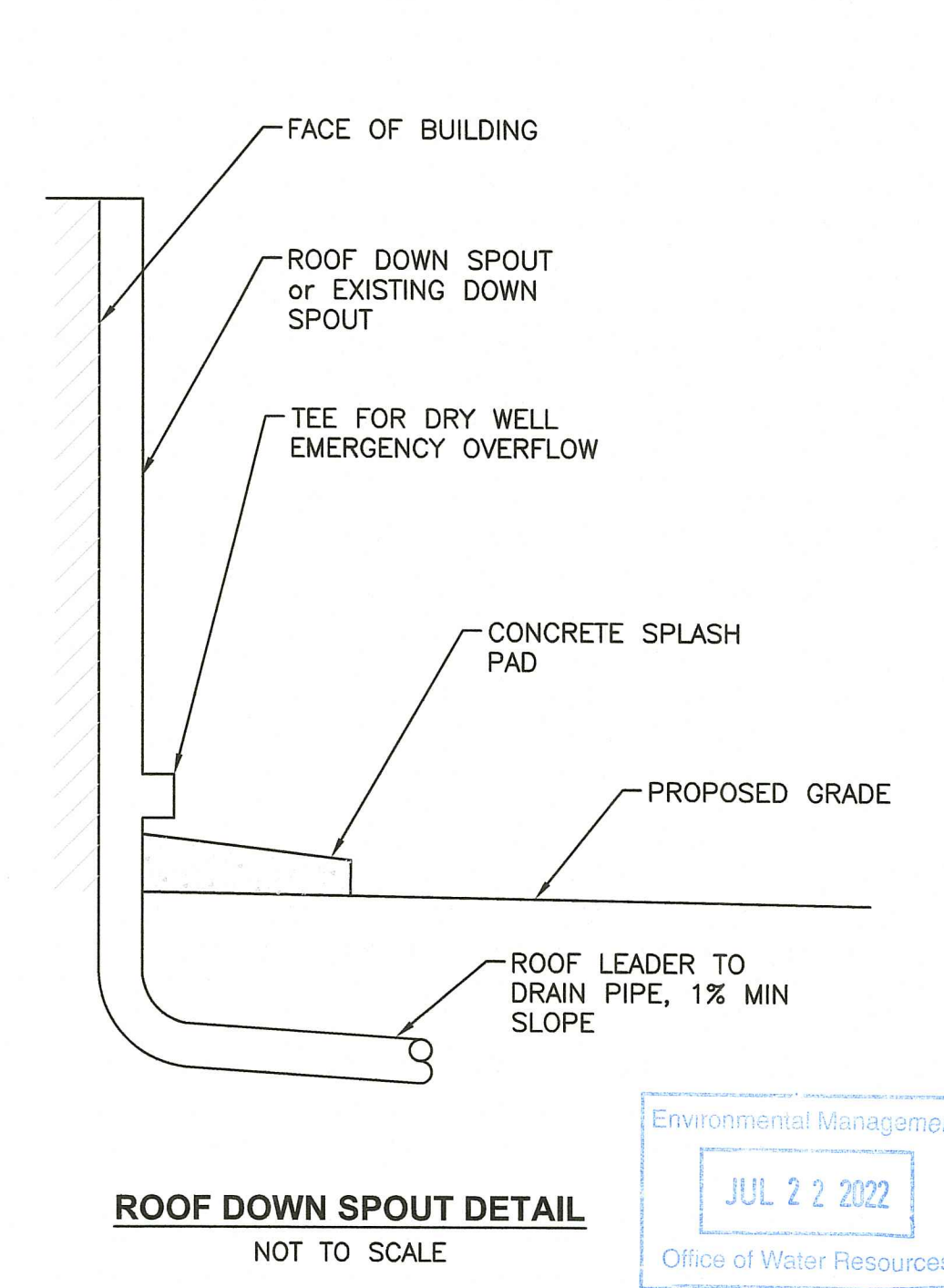
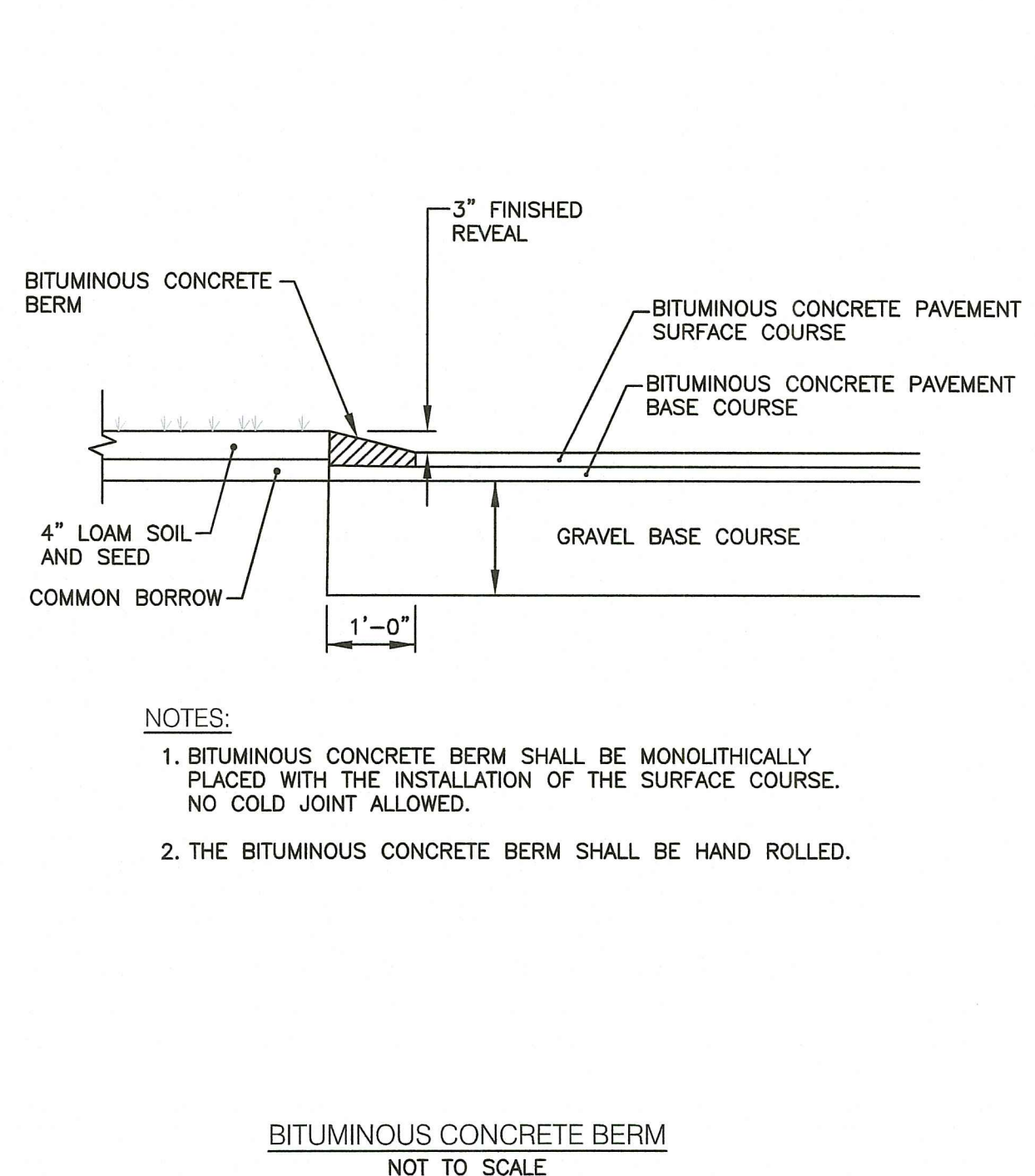
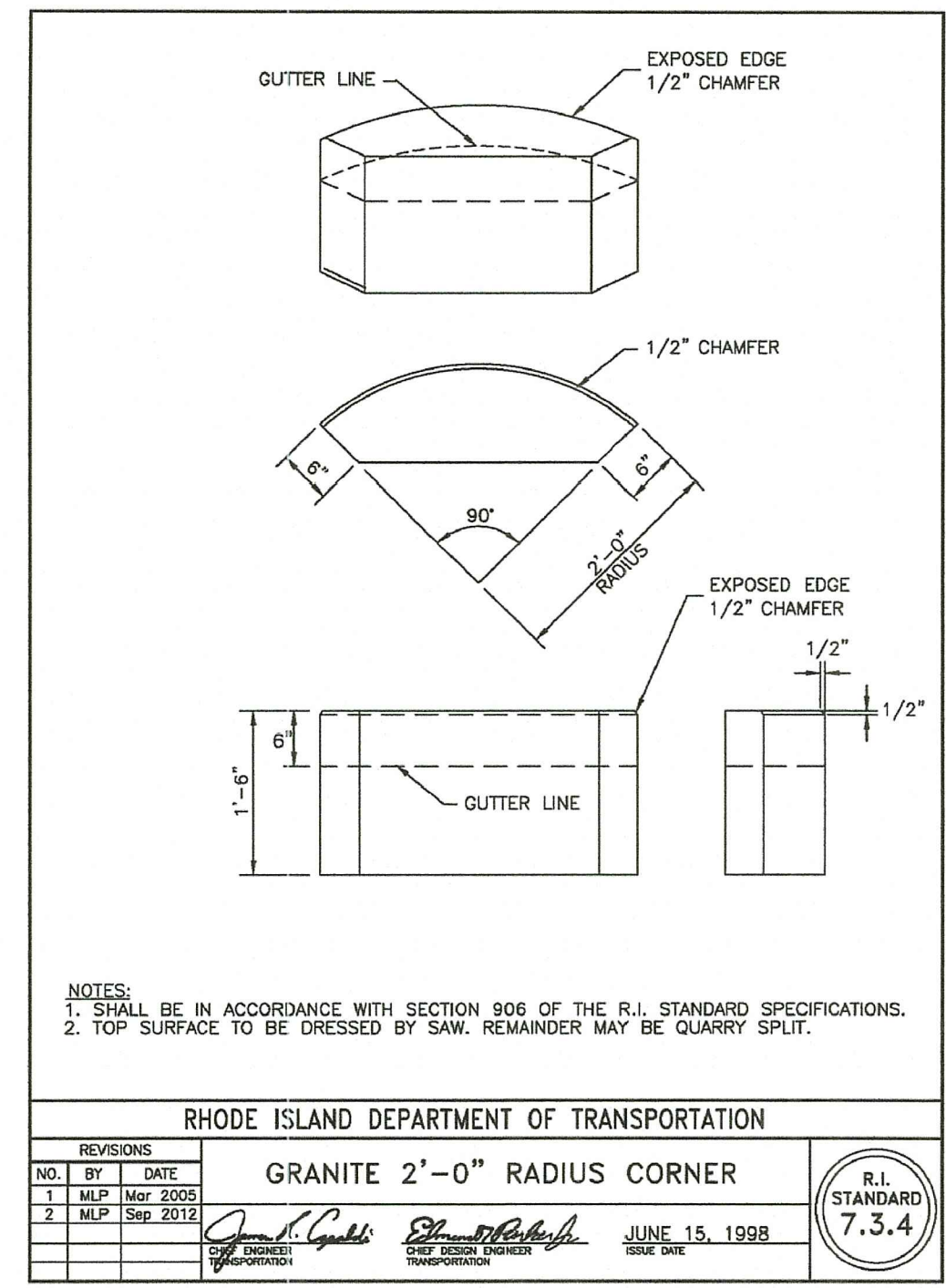
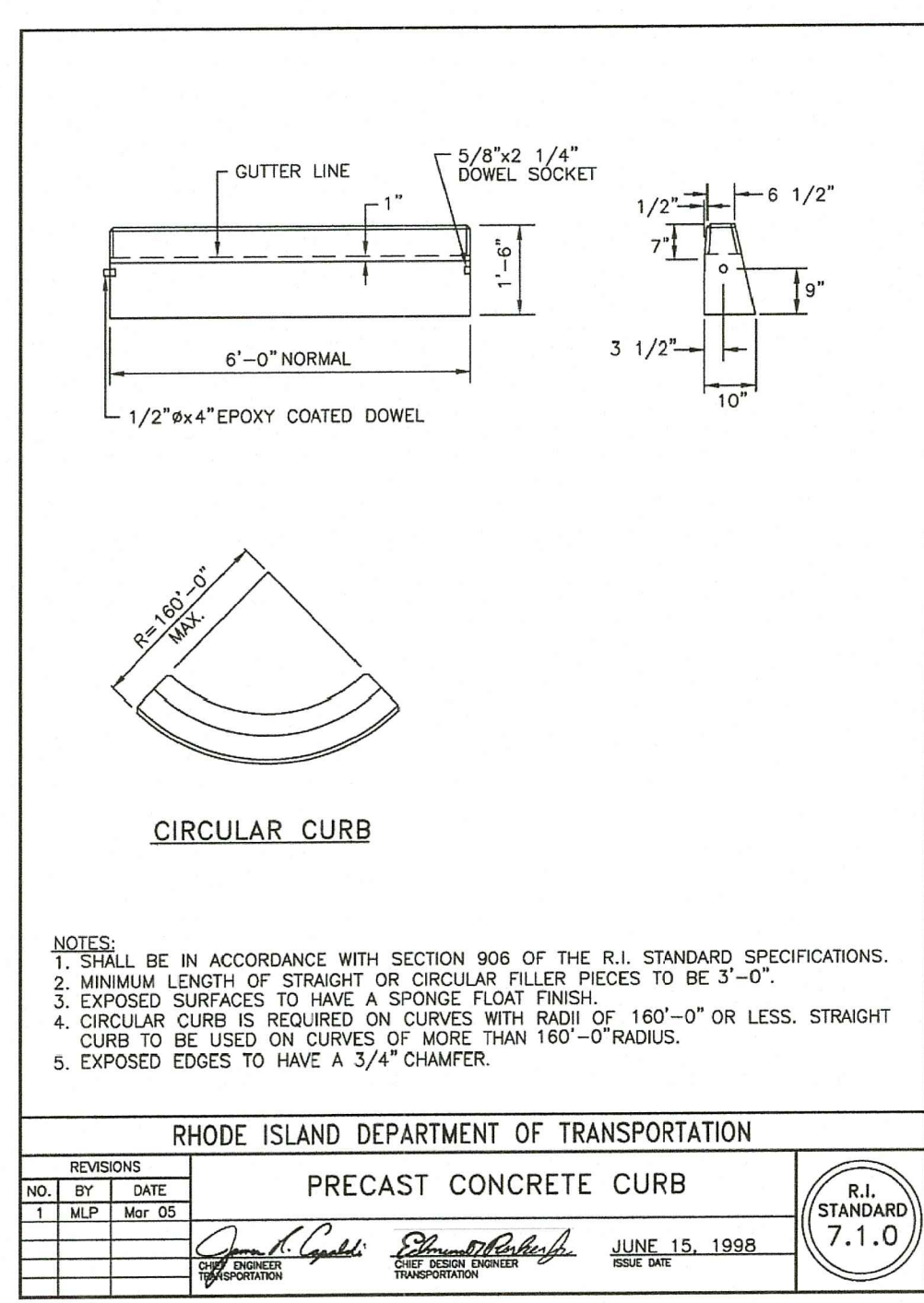
REVISIONS	NUMBER	REMARKS	DATE
1		RIDEM COMMENTS	7/22/22

DRAWING NUMBER:
C10
SHEET: 12 OF: 17

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Environmental Management
 Office of Water Resources
 JUL 22 2022



R.I. DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED: OCT 11 2022 FILE #: 22-052B

RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 NOTE PER DEM: Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.

APPROVED: Martin D. Wenzel

PROJECT TITLE:
ARCTIC MILL REDEVELOPMENT
 PLAT MAP 16, LOT 105
 ZONING DISTRICT: CI

33 FACTORY STREET
 WEST WARWICK, R.I.

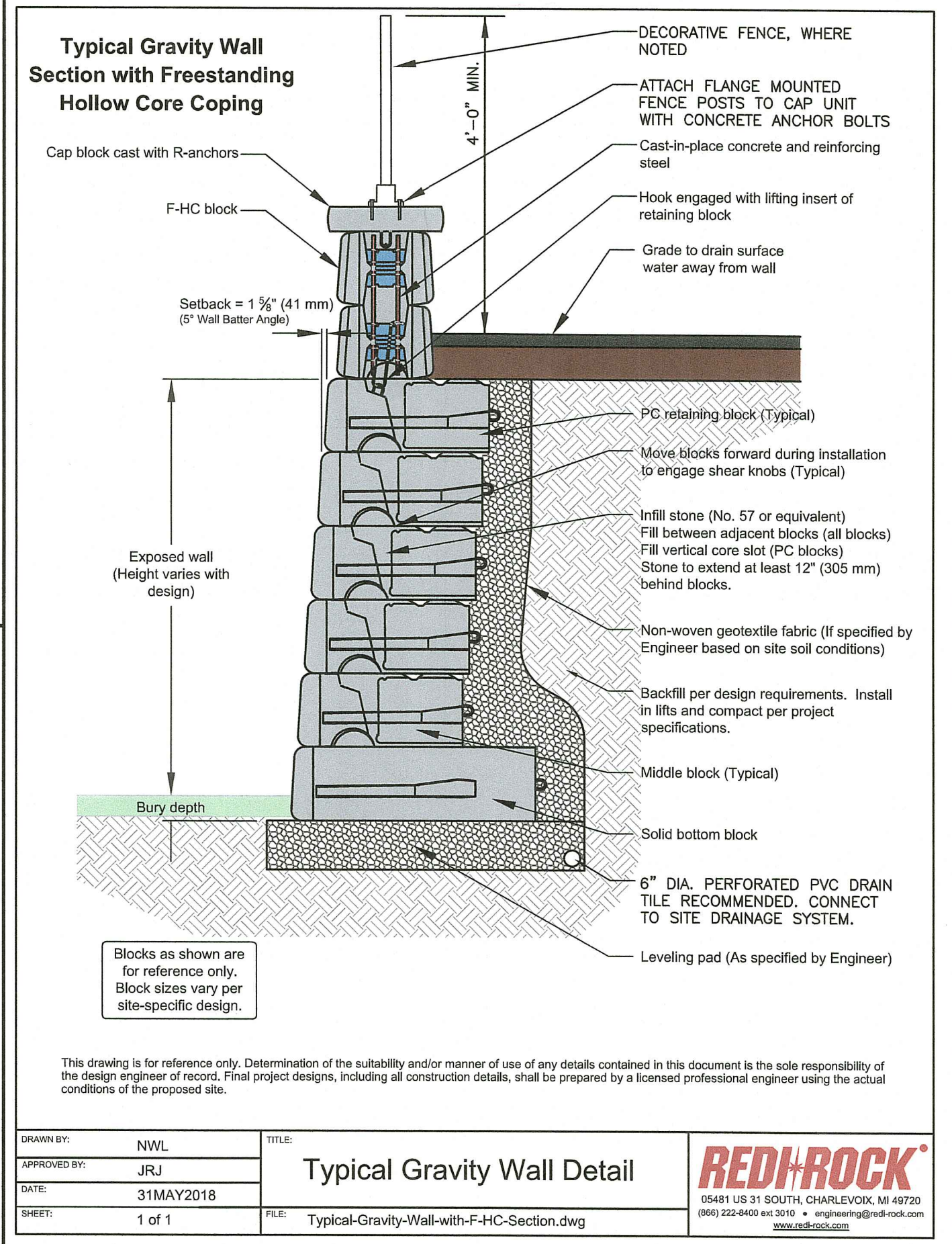
PREPARED FOR:
KNIGHT STREET CAPITAL, LLC.
 334 KNIGHT STREET
 WARWICK, RI 02889

DRAWING TITLE:
MISCELLANEOUS DETAIL
 PLAN No. 3

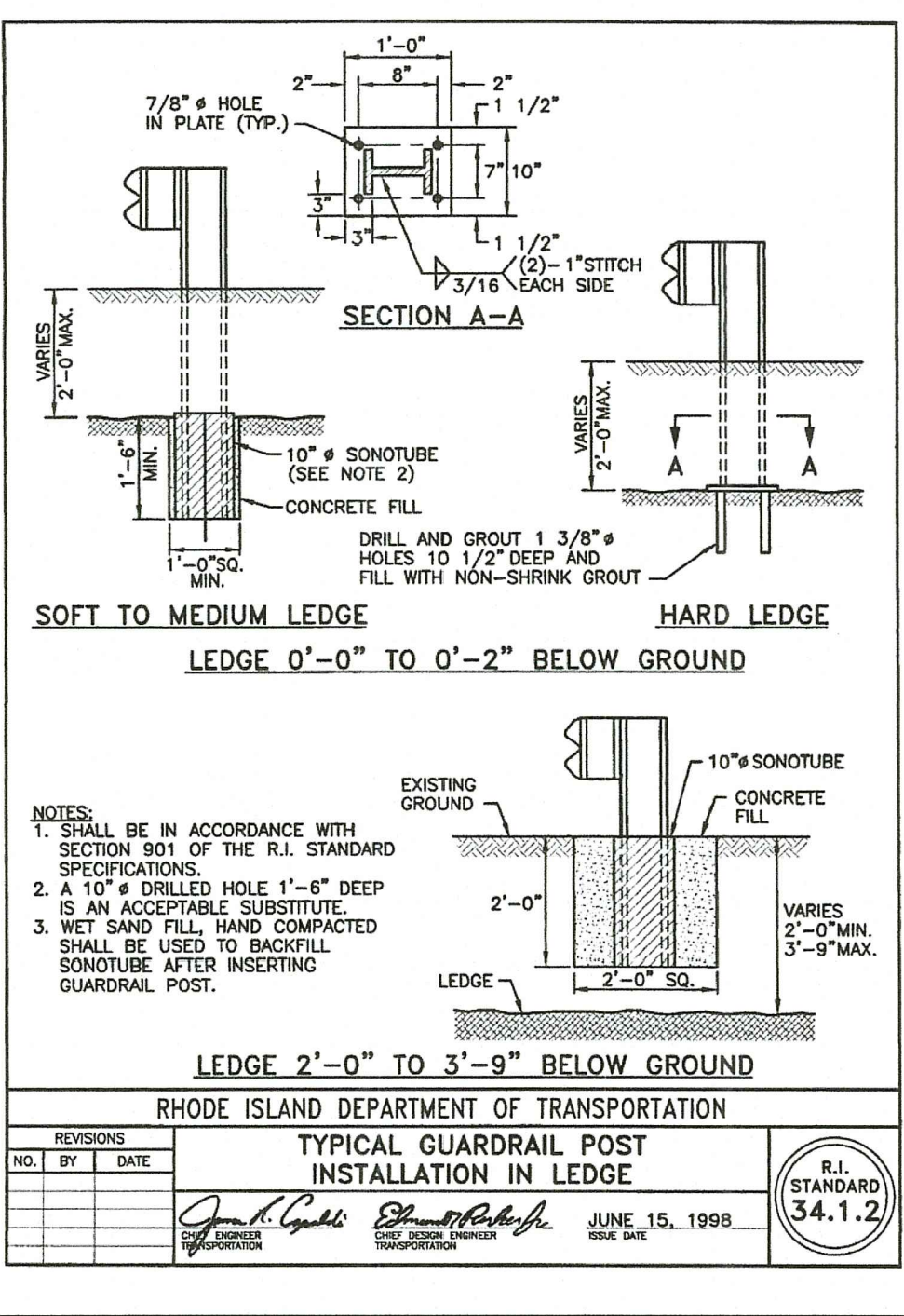
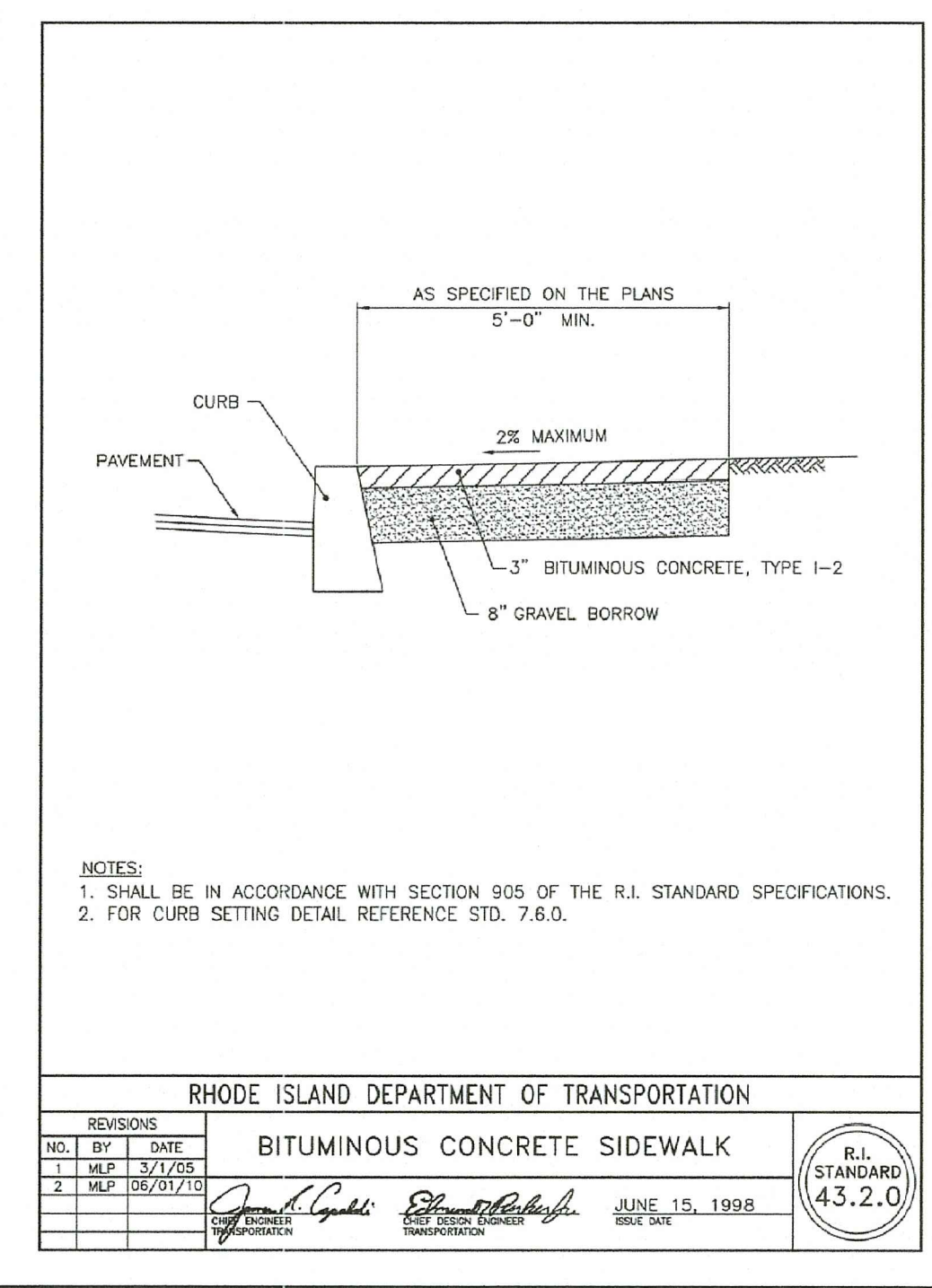
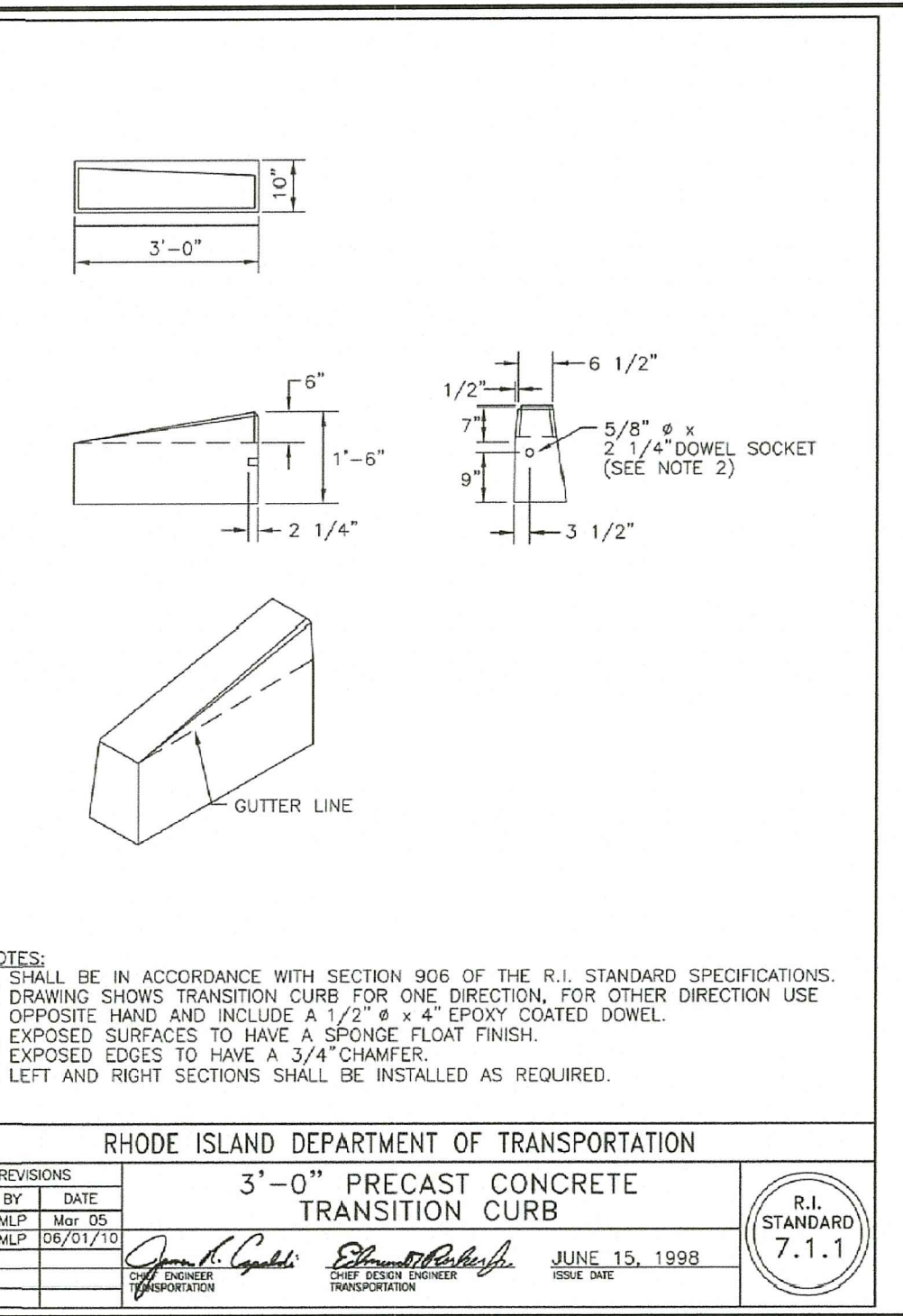
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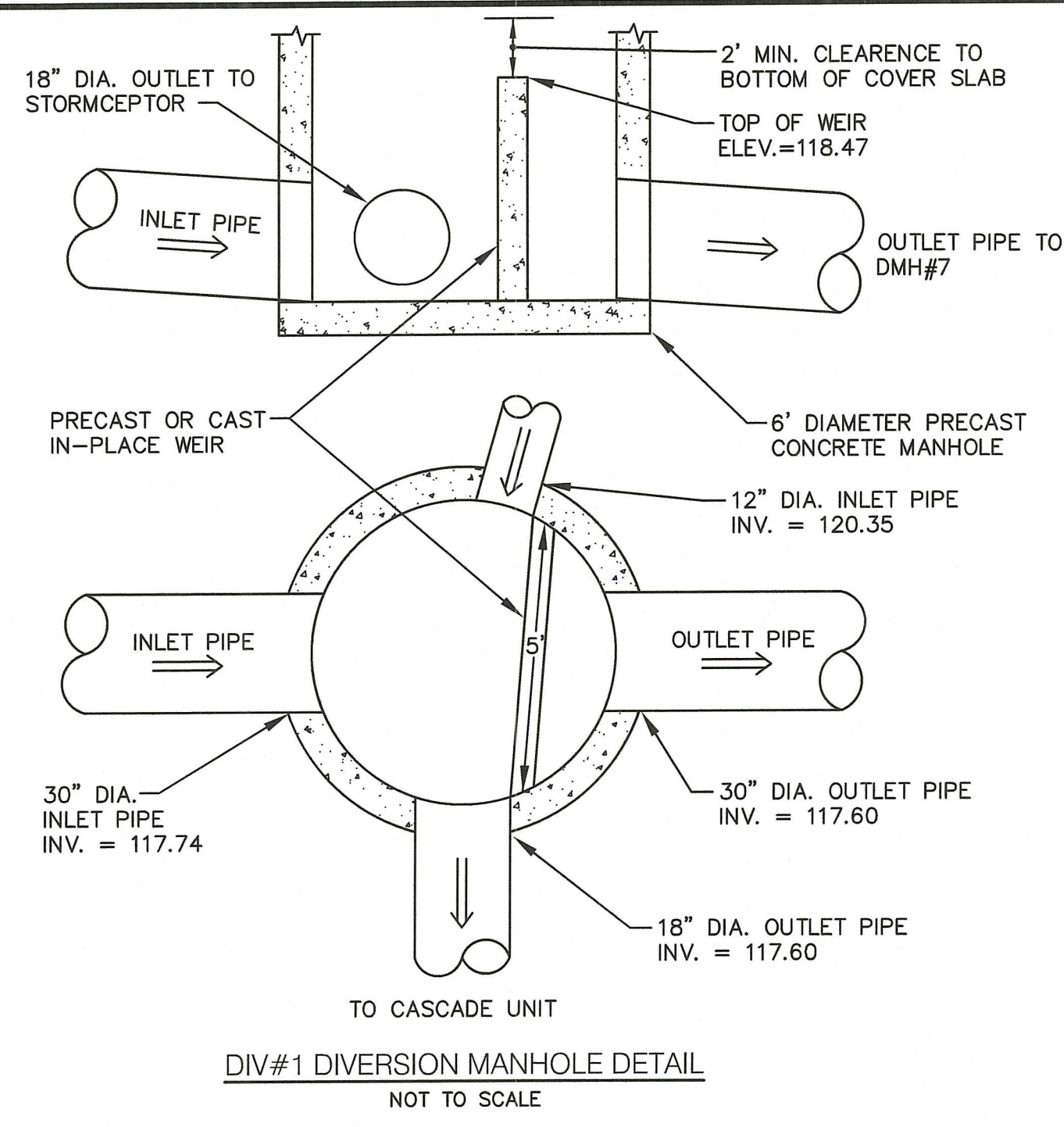
REVISIONS	NUMBER	REMARKS	DATE
	1	RIDEM COMMENTS	7/22/22

DRAWING NUMBER
C11
 SHEET: 13 OF 17

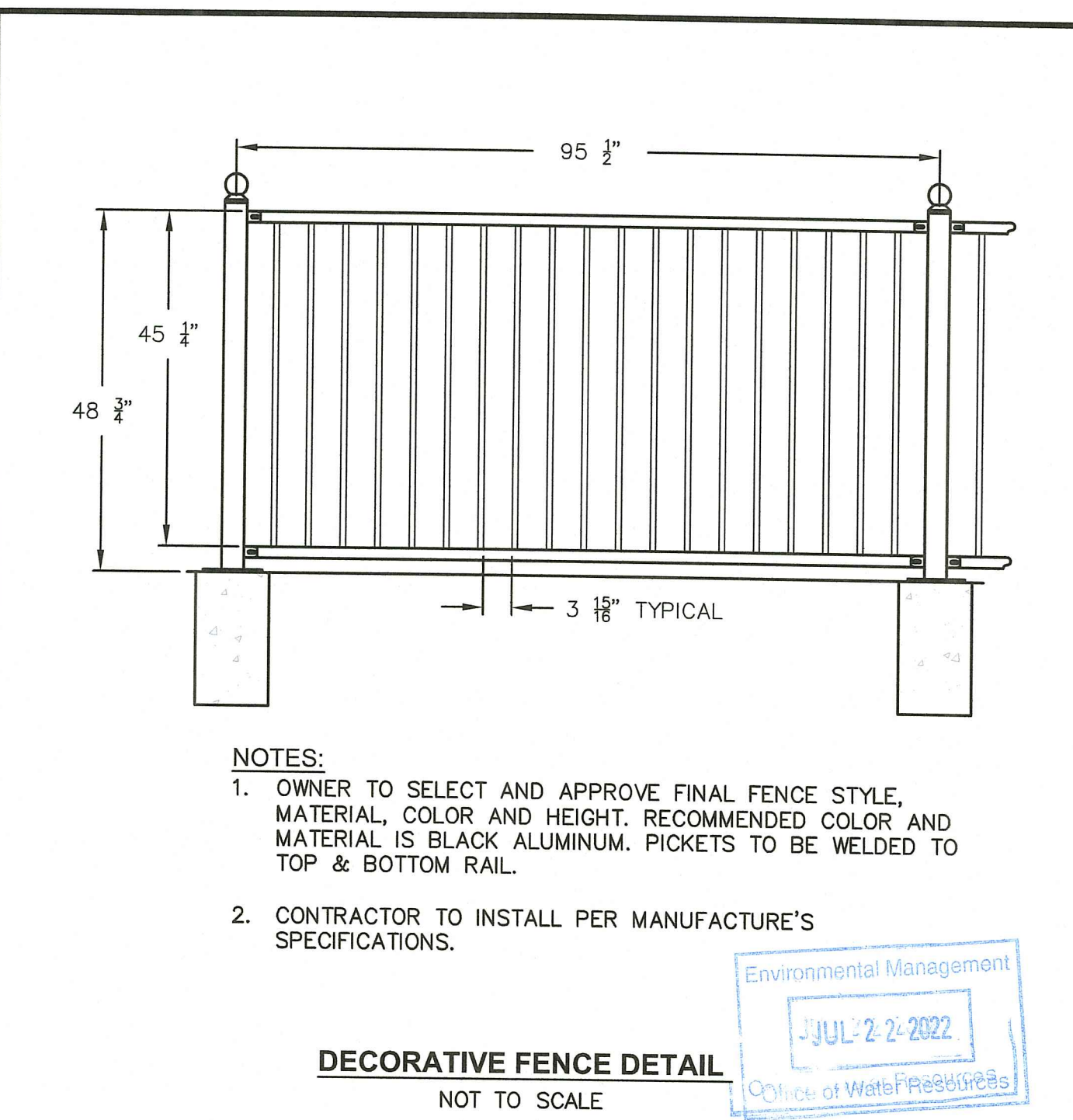
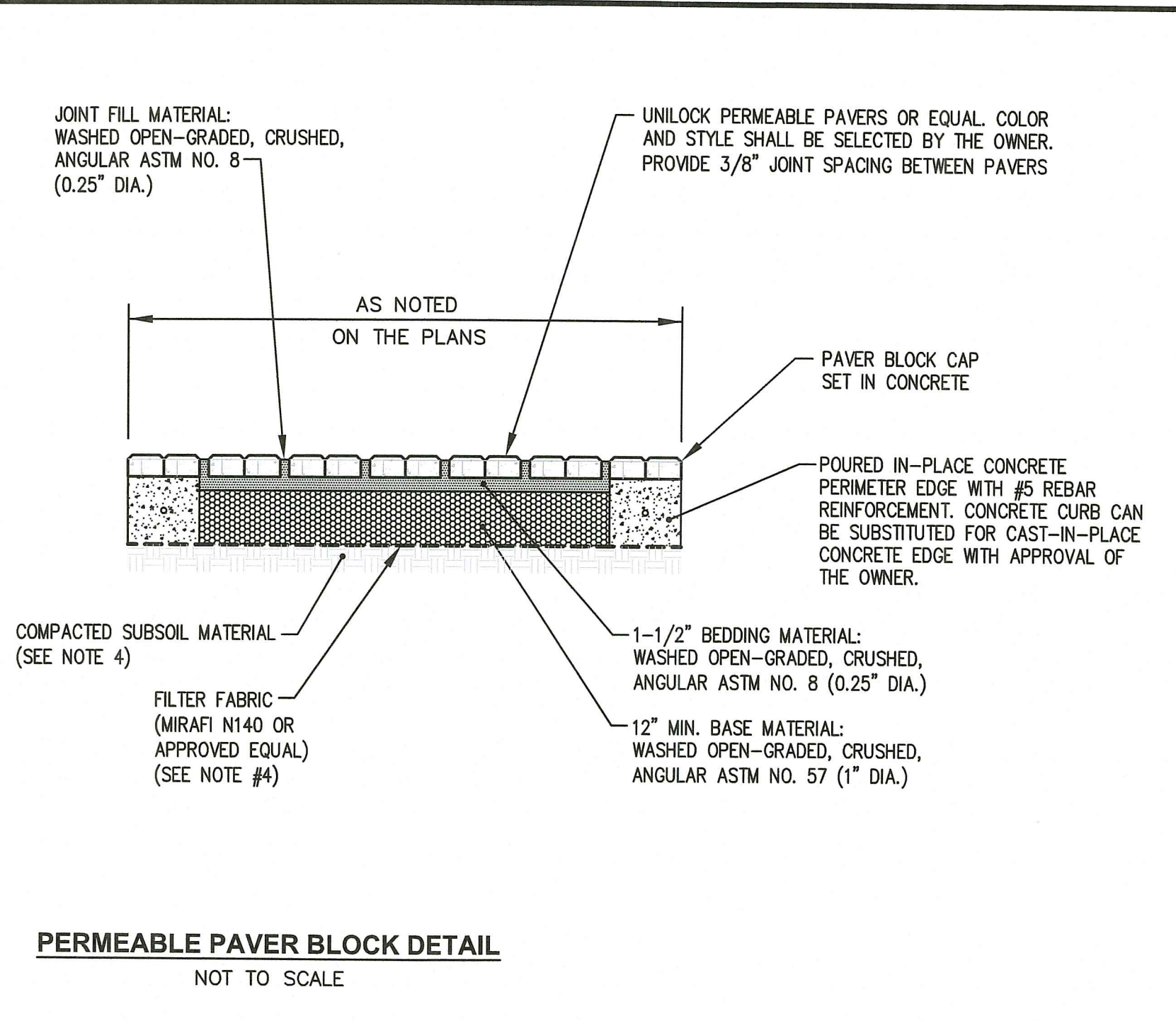


SCHEMATIC RETAINING WALL DETAIL
 NOT TO SCALE



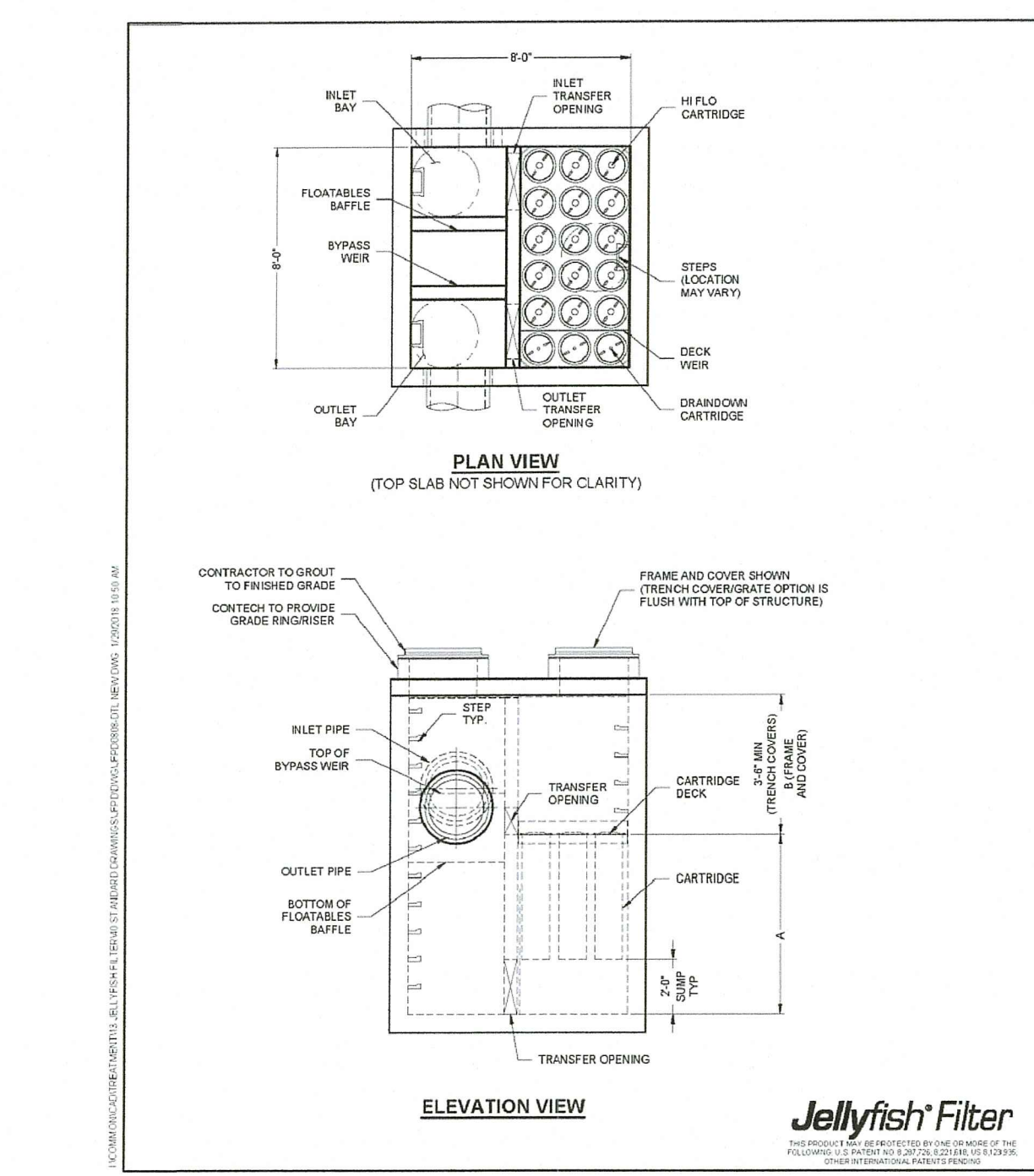
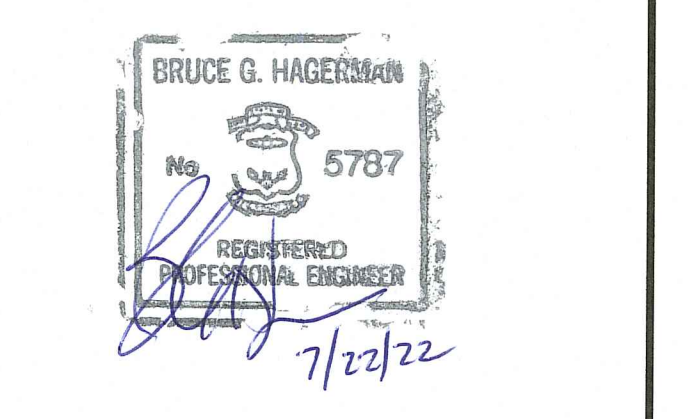


- NOTES:**
- 1) ALL INSTALLATION SHALL MEET MANUFACTURERS RECOMMENDATIONS/STANDARDS.
 - 2) ALL AGGREGATE MATERIAL SHALL BE WASHED, CRUSHED, ANGULAR STONE AND FREE OF FINES.
 - 3) COMPACT SUBSOIL TO 95% MAXIMUM DENSITY
 - 4) REMOVE ALL FILL AND ORGANIC MATERIAL TO NATIVE SOILS, REPLACE WITH GRAVEL BORROW (GRAVEL BORROW - 40% PASSING 200 SIEVE) IF POSSIBLE. IF ALL OF THE EXISTING FILL MATERIAL CAN NOT BE REMOVED, THE MIRAFI FILTER FABRIC SHALL BE DELETED, A 6\"/>



CROSSMAN ENGINEERING
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 Massachusetts: 103 Commonwealth Avenue, North Attleboro, MA 02763, Phone: (508) 695-1700
 Email: ce@crosmaneng.com

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JELLYFISH DESIGN NOTES

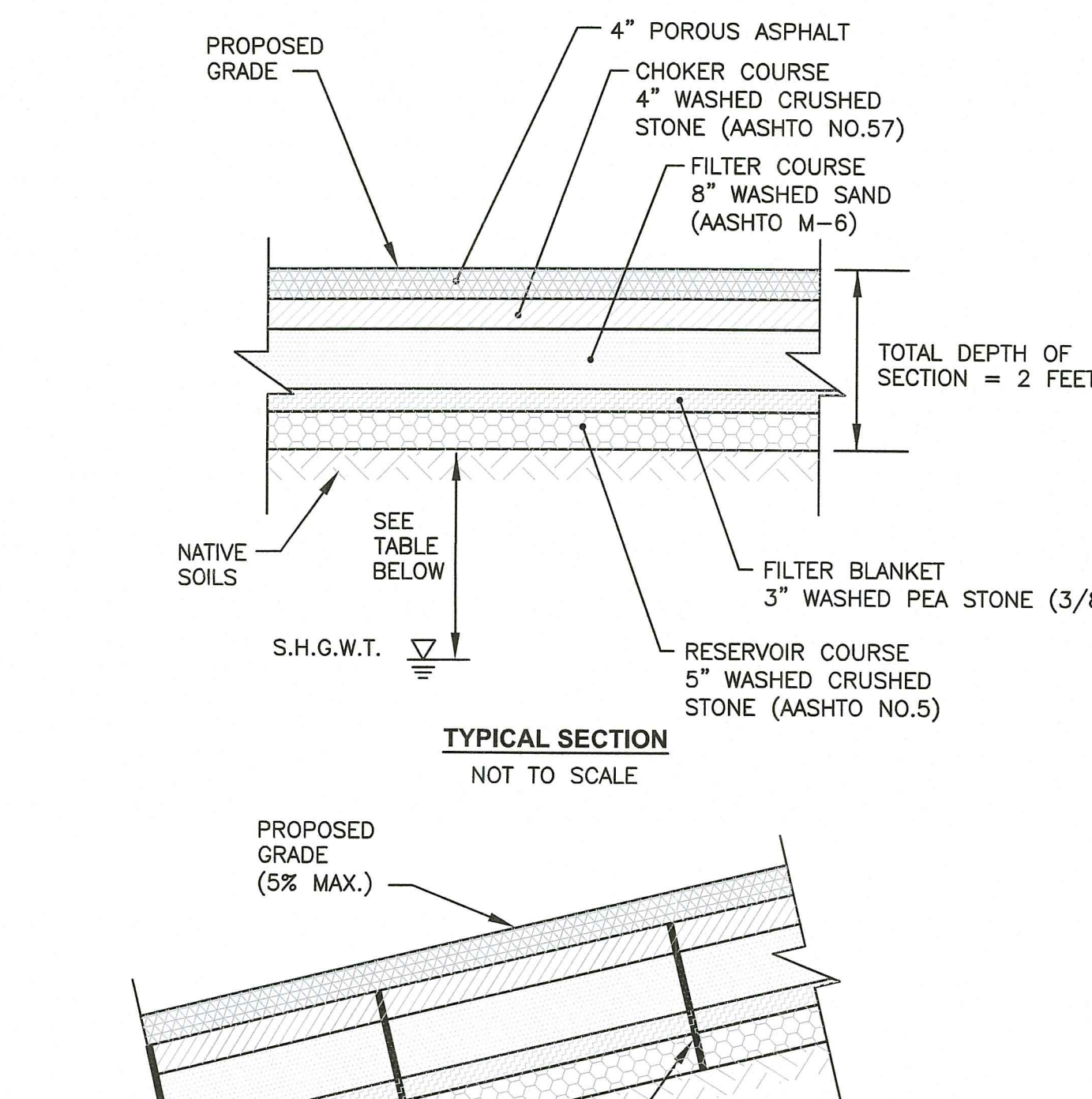
JELLYFISH TREATMENT CAPACITY IS A FUNCTION OF THE CARTRIDGE LENGTH AND THE NUMBER OF CARTRIDGES. THE STANDARD PEAK DIVERSION STATION PRESSURE FOR SLAB IS 8.0 PSI. ALTERNATE OPERATING PRESSURES ARE AVAILABLE. PEAK DIVERSION CAPACITY TO BE DETERMINED BY ENGINEER OF RECORD.

CARTRIDGE SELECTION	24"	30"	36"	42"
CARTRIDGE LENGTH	24"	30"	36"	42"
FLOW RATE (GAL/DIVERSION INVERT (G))	0.75	1.00	1.25	1.50
FLOW RATE (GAL/DIVERSION (FEET CART))	0.75	1.00	1.25	1.50
PEAK TREATMENT CAPACITY	1.50	2.00	2.50	3.00
DECK TO INVERT TOP (INCHES)	1.00	1.00	1.00	1.00

INSTALLATION NOTE:
STRUCTURE SHALL BE PLACED ON A 12" THICK CRUSHED STONE BEDDING.

WQS#1 STANDARD DETAIL
NOT TO SCALE

TEST HOLE NO.	S.H.G.W.T. ELEV.	LEDGE ELEV.	PROPOSED SURFACE ELEV. AT TEST HOLE	PROPOSED PP BOTTOM ELEV. AT TEST HOLE	PROPOSED SETBACK TO S.H.G.W.T. AND LEDGE
5	145.67	145.67	152.00	150.00	4.33
6	144.97	144.97	150.00	148.00	3.03
7	142.67	142.67	148.00	146.00	3.33
8	129.8	129.8	139.28	137.28	7.48
9	126.8	126.8	139.85	137.85	11.05
10	133.28	133.28	142.83	140.83	7.55
11	135.70	135.70	142.44	140.44	4.74
L-2	--	130.5	137.80	135.80	5.3
L-3	--	121.5	126.8	124.8	3.3



GRADATIONS AND COMPACTION OF CHOKER AND RESERVOIR COURSE MATERIAL

US STANDARD SIEVE SIZE (INCHES)	PERCENT PASSING			
	CHOKER COURSE (AASHTO No. 57)	FILTER COURSE (AASHTO M-6)	RESERVOIR COURSE (AASHTO No. 3)	ALTERNATE RESERVOIR COURSE (AASHTO No. 5)
6	--	--	--	--
2 1/2	--	--	100	--
2	--	--	90-100	--
1 1/2	100	--	35-70	100
1	95-100	--	0-15	90-100
3/4	--	--	--	20-55
1/2	25-60	--	0-5	0-10
3/8	--	100	--	0-5
#4	0-10	70-100	--	--
#8	0-5	--	--	--
#200	--	0-6*	--	--
% COMPACTION ASTM D698 /AASHTO T99	95	95	95	95

*PREFERREBLY LESS THAN 4% FINES.

PERMEABLE PAVEMENT NOTES

1. PERMEABLE PAVEMENT (POROUS ASPHALT) MATERIALS SHALL CONFORM TO RHODE ISLAND STORMWATER DESIGN AND INSTALLATION STANDARDS MANUAL, DECEMBER 2010, APPENDIX F.4, CONSTRUCTION STANDARDS/SPECIFICATIONS FOR ALTERNATIVE PAVING SURFACES.
2. THE CONTRACTOR IS REQUIRED TO SUBMIT THE LIST OF MATERIALS, GRADATIONS AND THE NAME AND ADDRESS OF THE SUPPLIERS TO THE ENGINEER FOR APPROVAL PRIOR TO BRINGING MATERIAL ON SITE. MATERIAL CERTIFICATIONS WILL ALSO BE REQUIRED AS REFERENCED IN THE RHODE ISLAND STORMWATER DESIGN AND INSTALLATION STANDARDS MANUAL, DECEMBER 2010, APPENDIX F.4.
3. THE CONTRACTOR IS RESPONSIBLE TO BECOME FAMILIAR WITH THE ABOVE REFERENCED MANUAL. THE MANUAL CAN BE FOUND AT: <http://www.dem.ri.gov/pubs/regs/water/swmanual.pdf>.
4. THE CONTRACTOR IS REQUIRED TO CONTACT THE OWNER AND ENGINEER DURING CONSTRUCTION TO CONDUCT THE FOLLOWING INSPECTIONS:
 - SOIL REMOVAL WITHIN POROUS PAVEMENT AREA WHEN COMPLETED AND PRIOR TO STONE PLACEMENT
 - STONE RESERVOIR AND CHOKER COURSE INSTALLATION.
 - POROUS PAVEMENT INSTALLATION - VOID CONTENT 16-19%.

CONTRACTOR TO COORDINATE SCHEDULE WITH OWNER AND ENGINEER FOR INSPECTIONS DURING PLACEMENT.

5. THE CONTRACTOR IS REQUIRED TO PROVIDE THE FOLLOWING SUBMITTALS TO THE OWNER AND ENGINEER:

- SIEVES ANALYSIS
- GRAVEL BORROW
- CHOKER STONE (DOUBLE WASHED)
- FILTER COURSE (DOUBLE WASHED)
- FILTER BLANKET (DOUBLE WASHED)
- RESERVOIR STONE (DOUBLE WASHED)
- POROUS ASPHALT MIX
- ROLLER TO BE USED FOR PAVEMENT INSTALLATION (8 TON MIN./10 TON MAX.)
- COMPACTION TEST COMPANY
- PAVEMENT INSTALLATION COMPANY

6. CONTRACTOR SHALL PROVIDE PAVEMENT MIX RESULTS (INCLUDING VOID CONTENT) FOR MIX ON DAY OF PAVING.

7. OPEN GRADED FRICTION COURSES WILL NOT BE ACCEPTED AS AN ALTERNATIVE SPECIFICATION.

PERVIOUS PAVEMENT SOIL PREPARATION NOTE

1. ANY UNSUITABLE SOILS PRESENT WITHIN THE BOTTOM BED OF THE PERVIOUS PAVEMENT SHALL BE REPLACED WITH WASHED CONCRETE SAND, SEE NOTE #2 BELOW.
2. FILL BENEATH THE PERVIOUS PAVEMENT SHALL BE WASHED CONCRETE SAND WITH AN INSITU INFILTRATION RATE OF AT LEAST 2.41 IN/HOUR. PRIOR TO PLACEMENT, A GRAVEL BORROW SIEVE ANALYSIS SHALL BE SUBMITTED TO ENGINEER FOR APPROVAL.

PROJECT TITLE:
ARCTIC MILL REDEVELOPMENT
PLAT MAP 16, LOT 105
ZONING DISTRICT: CI

**33 FACTORY STREET
WEST WARWICK, R.I.**

PREPARED FOR:
KNIGHT STREET CAPITAL, LLC.
334 KNIGHT STREET
WARWICK, RI 02889

DRAWING TITLE:
MISCELLANEOUS DETAIL
PLAN No. 4

DATE: JANUARY 2022
SCALE: 1" = 30'
DWG. NAME: 2552-12-DET04.dwg

REVISIONS

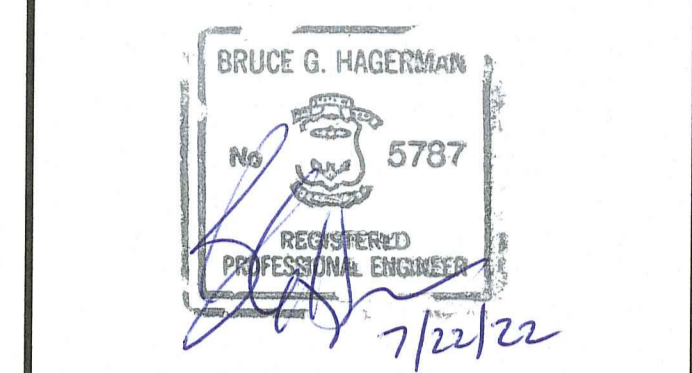
NUMBER	REMARKS	DATE
1	RIDEM COMMENTS	7/22/22

DRAWING NUMBER:
C12
SHEET: 14 OF 17

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL
DATED: OCT 11 2022 FILE #: 22-0050
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE
Martin B. Wozniak

TYPICAL PERMEABLE PAVEMENT (POROUS PAVEMENT) STRUCTURE DETAILS
NOT TO SCALE

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JUL 22 2022
Office of Water Resources

PROJECT TITLE:
**ARCTIC MILL REDEVELOPMENT
 PLAT MAP 16, LOT 105
 ZONING DISTRICT: CI**

33 FACTORY STREET
 WEST WARWICK, R.I.

PREPARED FOR:
**KNIGHT STREET CAPITAL, LLC.
 334 KNIGHT STREET
 WARWICK, RI 02889**

DRAWING TITLE:
**MISCELLANEOUS DETAIL
 PLAN No. 5**

DATE: JANUARY 2022 SCALE: 1" = 30'
 DWG. NAME: 2552-12-DET01.dwg

REVISIONS

NUMBER	REMARKS	DATE
1	RIDEM COMMENTS	7/22/22

DRAWING NUMBER:
C13
 SHEET: 15 OF 17

GENERAL SEWER NOTES

- INSTALLATION OF THE SEWERAGE FACILITIES SHALL BE IN ACCORDANCE WITH THE WEST WARWICK SEWER AUTHORITY REGULATIONS AND SPECIFICATIONS.
- PRIOR TO RECEIVING AUTHORIZATION TO CONSTRUCT, ALL MATERIALS SHALL MEET THE STANDARDS AND RECEIVE THE WRITTEN APPROVAL, BASED ON MANUFACTURER'S DRAWINGS AND OTHER DATA, OF THE WEST WARWICK SEWER AUTHORITY.
- ALL SEWERAGE FACILITIES SHALL MEET TESTING AND CLEANING REQUIREMENTS PRIOR TO ACCEPTANCE.
- THE CONTRACTOR IS RESPONSIBLE TO COORDINATE AS-BUILT LOCATIONS PRIOR TO PIPE BACKFILL. AS-BUILT DRAWINGS SHALL BE FURNISHED AS A CONDITION FOR ACCEPTANCE OF THE NEW SEWERAGE FACILITIES. PLANS SHALL INCLUDE LOCATION OF WYES.
- NO FLOW WILL BE ACCEPTED UNTIL ALL ABOVE STEPS ARE COMPLETED AND COMPLETION CERTIFICATE IS ISSUED.
- AFTER THE CONTRACTOR HAS "STAKED OUT" THE FACILITIES TO BE CONSTRUCTED AND HAS THE APPROVED MATERIALS ON THE JOB, THE WEST WARWICK SEWER AUTHORITY SHALL BE NOTIFIED IN ADVANCE OF CONSTRUCTION IN ORDER FOR THEM TO ARRANGE FOR THEIR INSPECTOR. THE NOTIFICATION MUST MEET THE WEST WARWICK SEWER AUTHORITY NOTIFICATION REQUIREMENTS.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE APPROVED PLANS AND MATERIALS, STANDARDS AND SPECIAL DETAILS, AND STANDARD SPECIFICATIONS, ANY WORK NOT MEETING THE APPROVED STANDARDS SHALL BE IMMEDIATELY REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL CONFINE HIS OPERATIONS AND ACTIVITIES FOR CONSTRUCTION WITHIN THE LIMITS OF WORK AS SHOWN ON THE DRAWINGS.
- ALL AREAS DISTURBED BY THE CONTRACTOR SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT NO EXTRA COST TO THE OWNER. ALL GRASSED AREAS DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE LOAMED AND SEEDED.
- LOCATION AND DEPTHS OF EXISTING UTILITIES ARE APPROXIMATE AND HAVE BEEN PLOTTED FROM THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY LOCATIONS OF ALL EXISTING UTILITIES AND NOTIFY THE APPROPRIATE UTILITY AUTHORITIES INCLUDING "DIG-SAFE" PRIOR TO STARTING WORK. ANY DAMAGE TO UTILITIES CAUSED BY THE CONTRACTOR'S OPERATIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND THE COST OF REPAIRS SHALL BE BORNE BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.

11. RELATION TO WATER LINES:

- HORIZONTAL SEPARATION:** WHENEVER POSSIBLE, SEWERS SHOULD BE LAID AT A MINIMUM OF 10 FEET (3.0 m), HORIZONTALLY, FROM ANY EXISTING OR PROPOSED WATER LINE. SHOULD LOCAL CONDITIONS PREVENT A LATERAL SEPARATION OF 10 FEET, A SEWER MAY BE LAID CLOSER THAN 10 FEET TO A WATER LINE IF:
 - IT IS LAID IN A SEPARATE TRENCH, OR IF
 - IT IS LAID IN THE SAME TRENCH WITH THE WATER LINE LOCATED AT ONE SIDE ON A BENCH OF UNDISTURBED EARTH, AND IF
 - IN EITHER CASE THE ELEVATION OF THE TOP (CROWN) OF THE SEWER IS AT LEAST 18 INCHES (46 cm) BELOW THE BOTTOM (INVERT) OF THE WATER LINE.
 - VERTICAL SEPARATION:** WHENEVER A SEWER MUST CROSS UNDER WATER LINES, THE SEWER SHALL BE LAID AT SUCH AN ELEVATION THAT THE TOP OF THE SEWER IS AT LEAST 18 INCHES (46 cm) BELOW THE BOTTOM OF THE WATER LINE. WHEN THE ELEVATION OF THE SEWER CANNOT BE VARIED TO MEET THE ABOVE REQUIREMENTS, THE WATER LINE SHALL BE RELOCATED TO PROVIDE THIS SEPARATION OR RECONSTRUCTED WITH MECHANICAL-JOINT PIPE FOR A DISTANCE OF 10 FEET (3.0 m) ON EACH SIDE OF THE SEWER. ONE FULL LENGTH OF WATER LINE SHOULD BE CENTERED OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE.
 - WHEN IT IS IMPOSSIBLE TO OBTAIN HORIZONTAL AND/OR VERTICAL SEPARATION AS STIPULATED ABOVE, BOTH THE WATER LINE AND SEWER SHALL BE CONSTRUCTED OF MECHANICAL-JOINT CEMENT LINED DUCTILE IRON PIPE OR OTHER EQUIVALENT BASED ON WATER TIGHTNESS AND STRUCTURAL SOUNDNESS. BOTH PIPES SHALL BE PRESSURE TESTED BY AN APPROVED METHOD TO ASSURE WATER TIGHTNESS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DEWATERING REQUIRED IN THE SEWER INSTALLATION.
 - THE PROPOSED GRAVITY SANITARY SEWER PIPE SHALL BE PVC ASTM 3034 SDR 35, UNLESS OTHERWISE SHOWN ON PLANS. PIPE SIZE TO MATCH UTILITY PLAN.
 - THE CONTRACTOR IS RESPONSIBLE TO VERIFY THE ELEVATION OF EXISTING SEWER LINE PRIOR TO INSTALLATION.

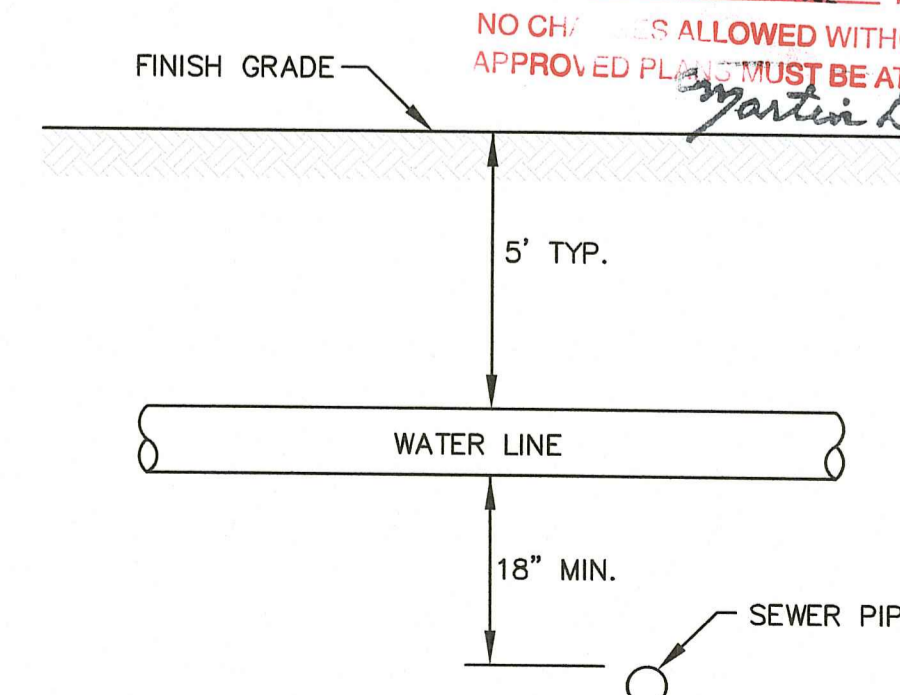
SEWER TRENCH NOTES

- MINIMUM WIDTH (W) OF TRENCH IS EQUAL TO THE INSIDE DIAMETER OF THE PIPE PLUS 12" EACH SIDE.
- SOIL UNDER CRUSHED STONE FOUNDATION SHALL BE UNDISTURBED AND COMPACTED MATERIAL WITH SEVERAL PASSES OF A VIBRATORY PLATE COMPACTOR TO ATTAIN 95% MAX. DENSITY (MOD. METHOD).
- CRUSHED STONE FOUNDATION 3/4" MAXIMUM SIZE, SHALL BE PLACED 6" UNDER THE PIPE AND UP TO THE PIPE LAID THEREON, CRUSHED STONE PULLED AGAINST THE PIPE SIDES TO FIRMLY HOLD THE PIPE IN PLACE.
- CRUSHED STONE HAUNCHING 3/4" MAXIMUM SIZE SHALL BE BROUGHT LEVEL TO THE TOP OF THE PIPE AND OUT TO THE TRENCH WALL AT THIS ELEVATION FOR ALL PIPE.

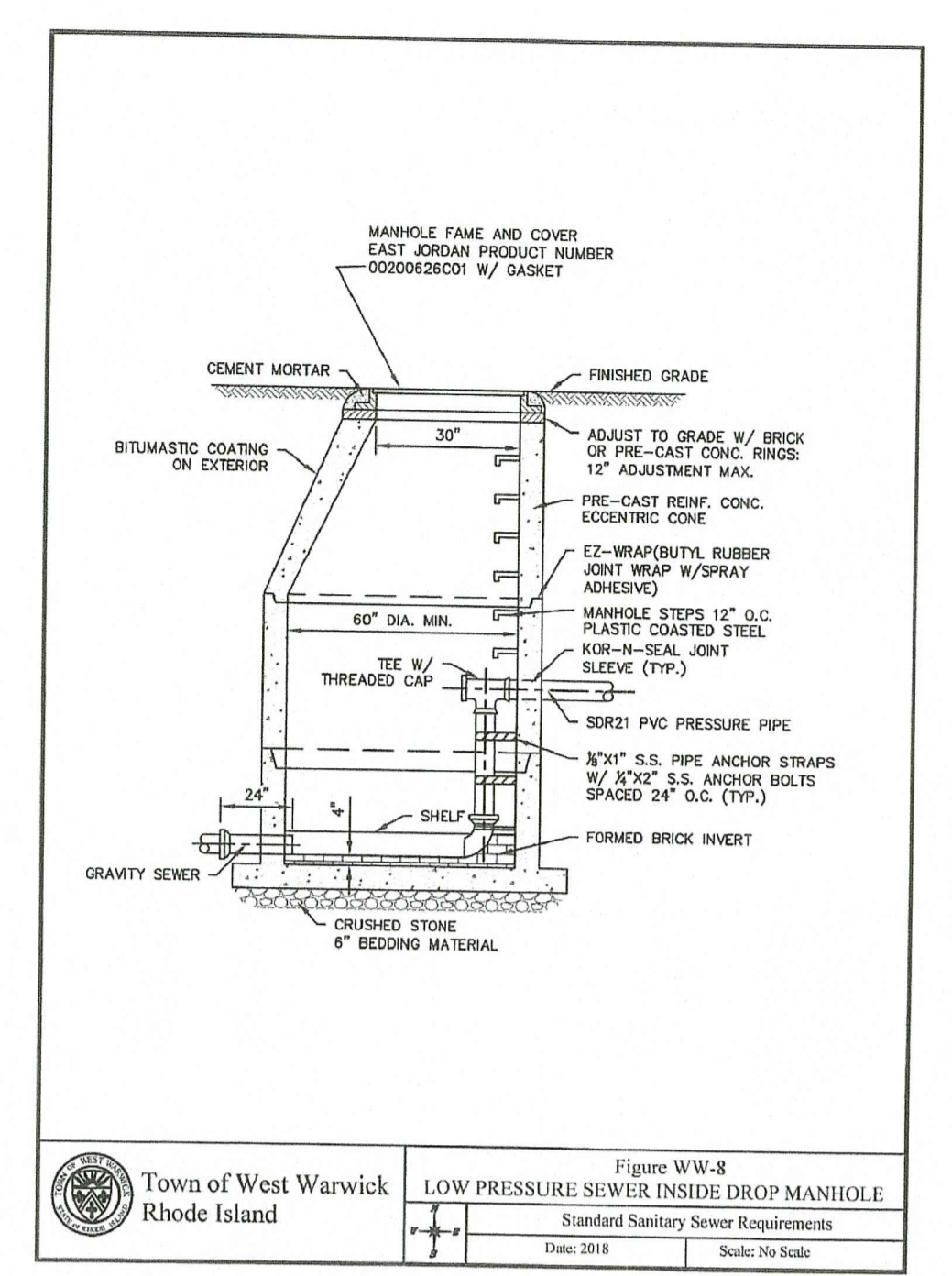
RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM

APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL
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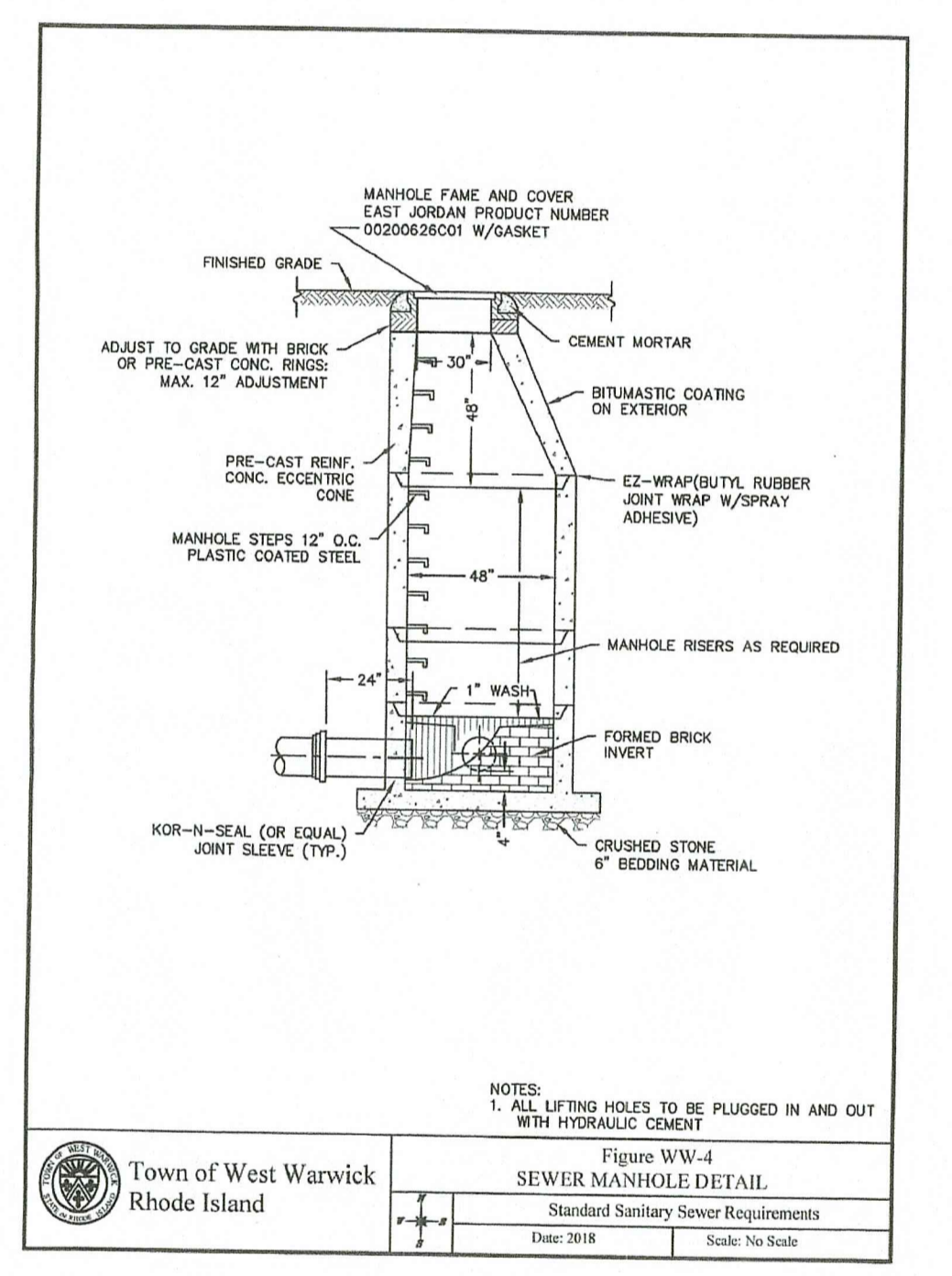
Martin B. Wenssek



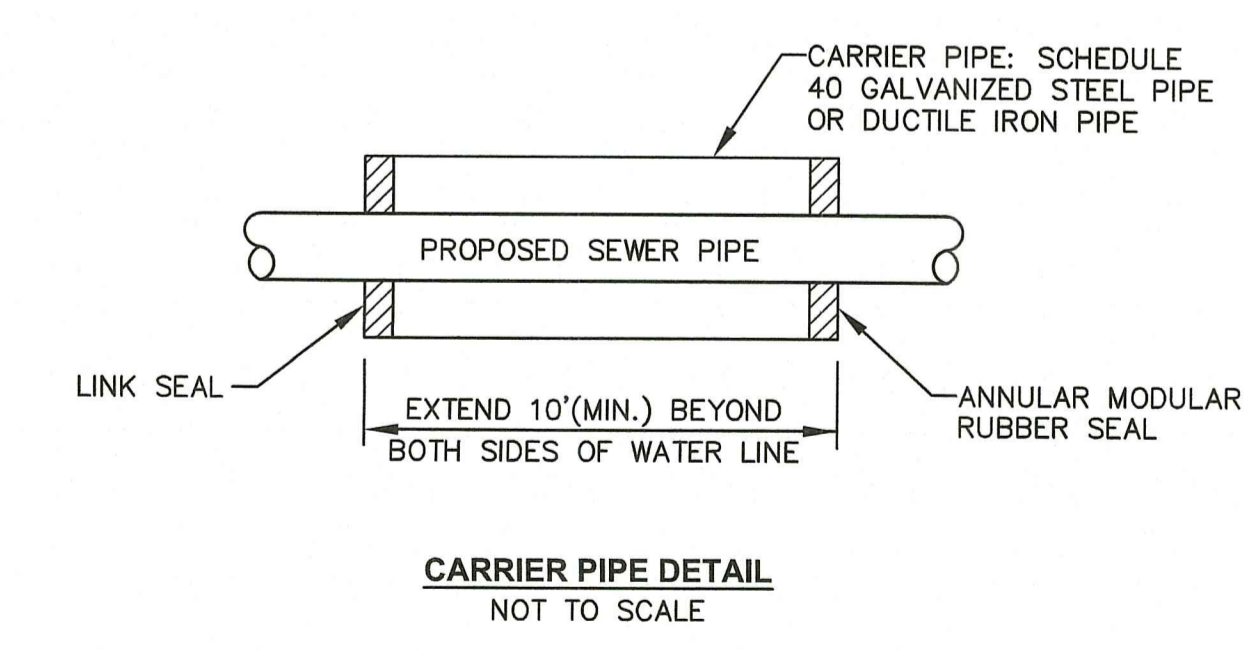
UTILITY SEPARATION
NOT TO SCALE



Town of West Warwick Rhode Island
 Figure WW-8
 LOW PRESSURE SEWER INSIDE DROP MANHOLE
 Standard Sanitary Sewer Requirements
 Date: 2018 Scale: No Scale

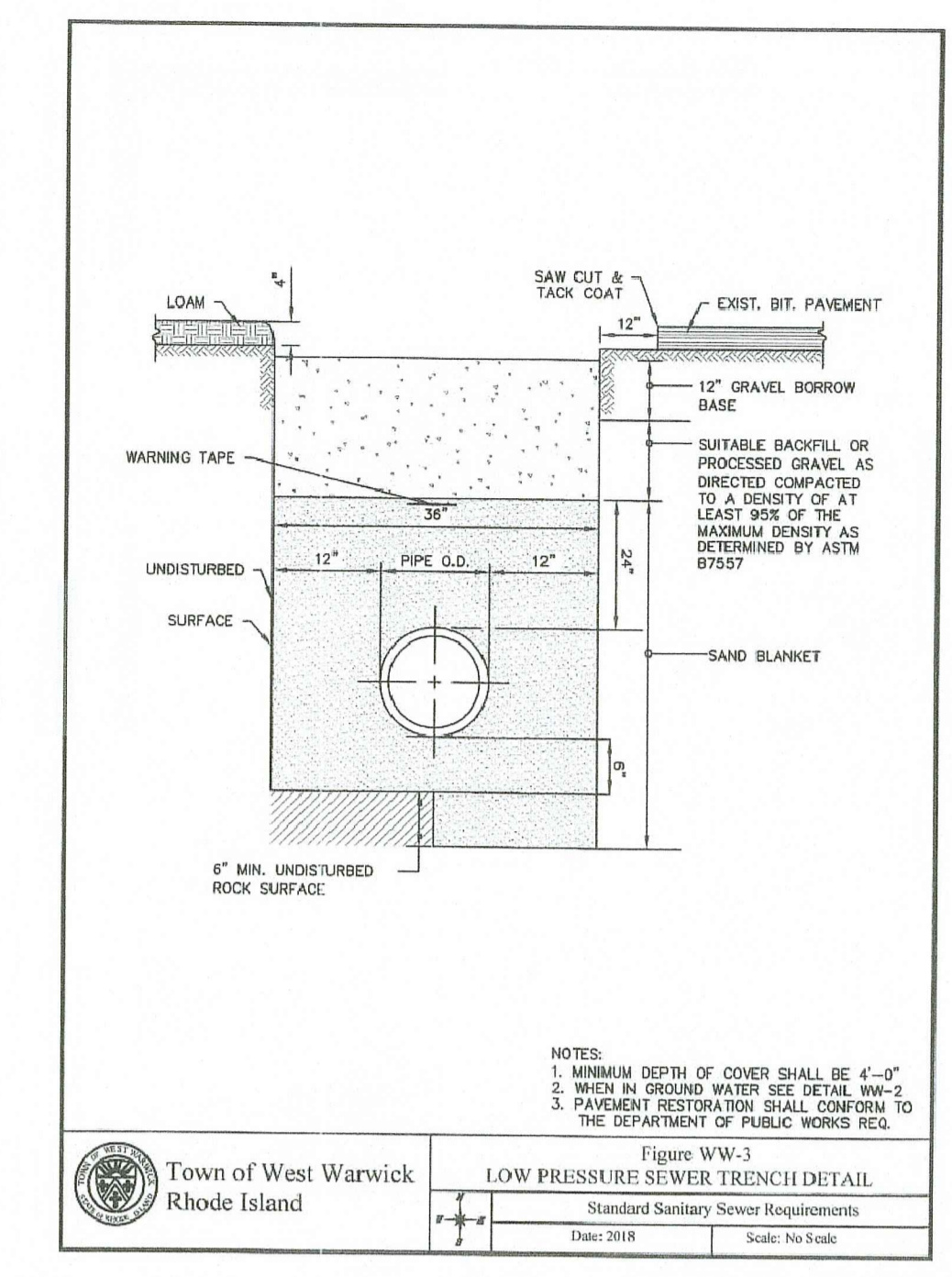


Town of West Warwick Rhode Island
 Figure WW-4
 SEWER MANHOLE DETAIL
 Standard Sanitary Sewer Requirements
 Date: 2018 Scale: No Scale

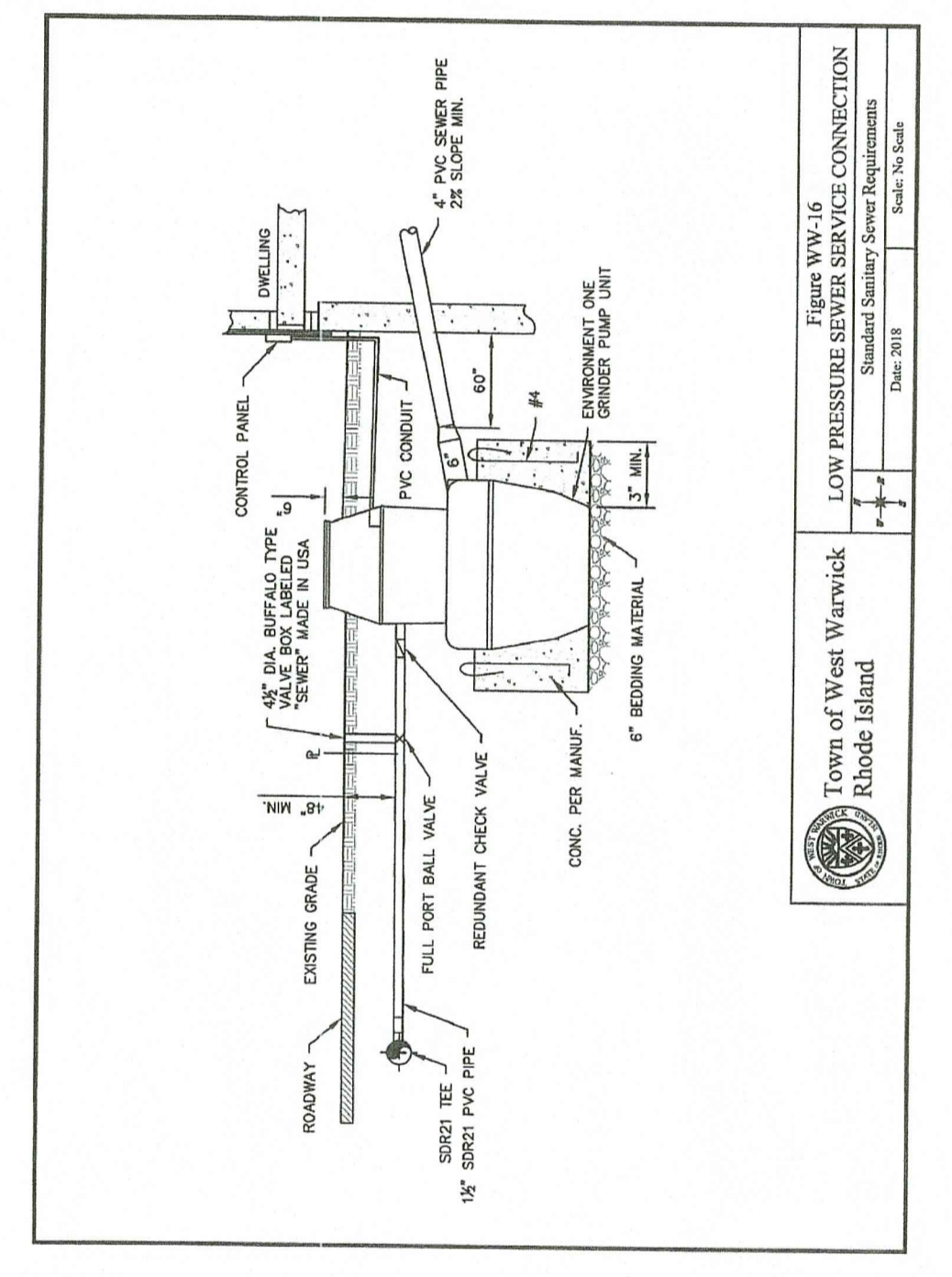


SANITARY SEWER LINE RELATION TO WATER LINES:

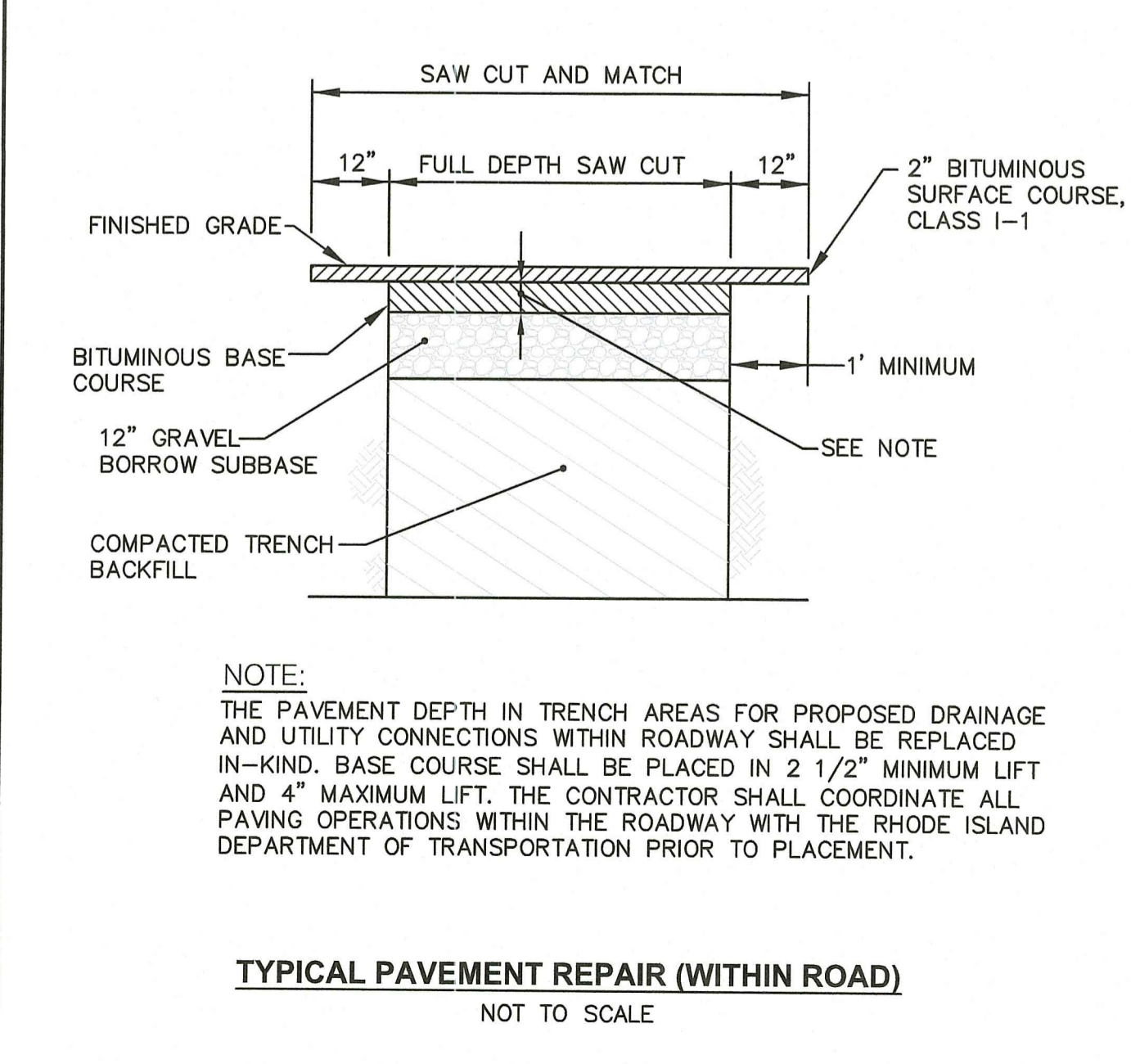
- THE VERTICAL SEPARATION BETWEEN WATER LINES AND SEWER LINES SHALL BE A MINIMUM OF 18 INCHES.
- THE MINIMUM HORIZONTAL SEPARATION BETWEEN WATER LINES AND SEWER LINES SHALL BE A MINIMUM OF TEN (10) FEET.
- IF 1 OR 2 CANNOT BE MAINTAINED THEN THE SEWER LINE SHALL BE CONSTRUCTED USING AWWA APPROVED WATER PIPE AND PRESSURE TESTED TO 150 PSI; OR ENCASE THE SEWER PIPE IN CONCRETE (MIN. 8 INCHES THICK) OR PLACE IN A SLEEVE (CARRIER PIPE).
- SEWER MAIN AND SERVICES ARE NOT ALLOWED TO CROSS OVER THE WATER MAIN.



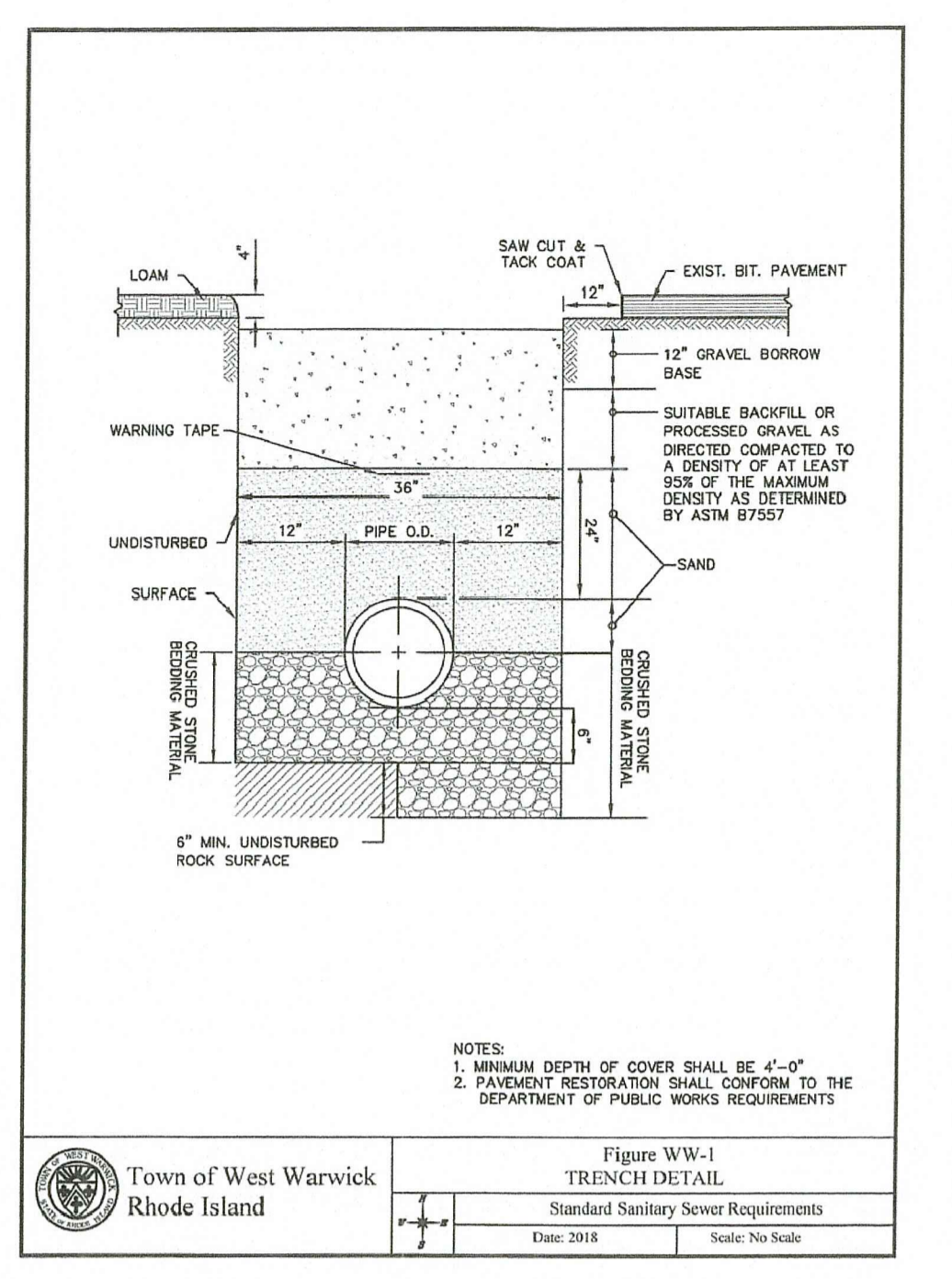
Town of West Warwick Rhode Island
 Figure WW-1
 TRENCH DETAIL
 Standard Sanitary Sewer Requirements
 Date: 2018 Scale: No Scale



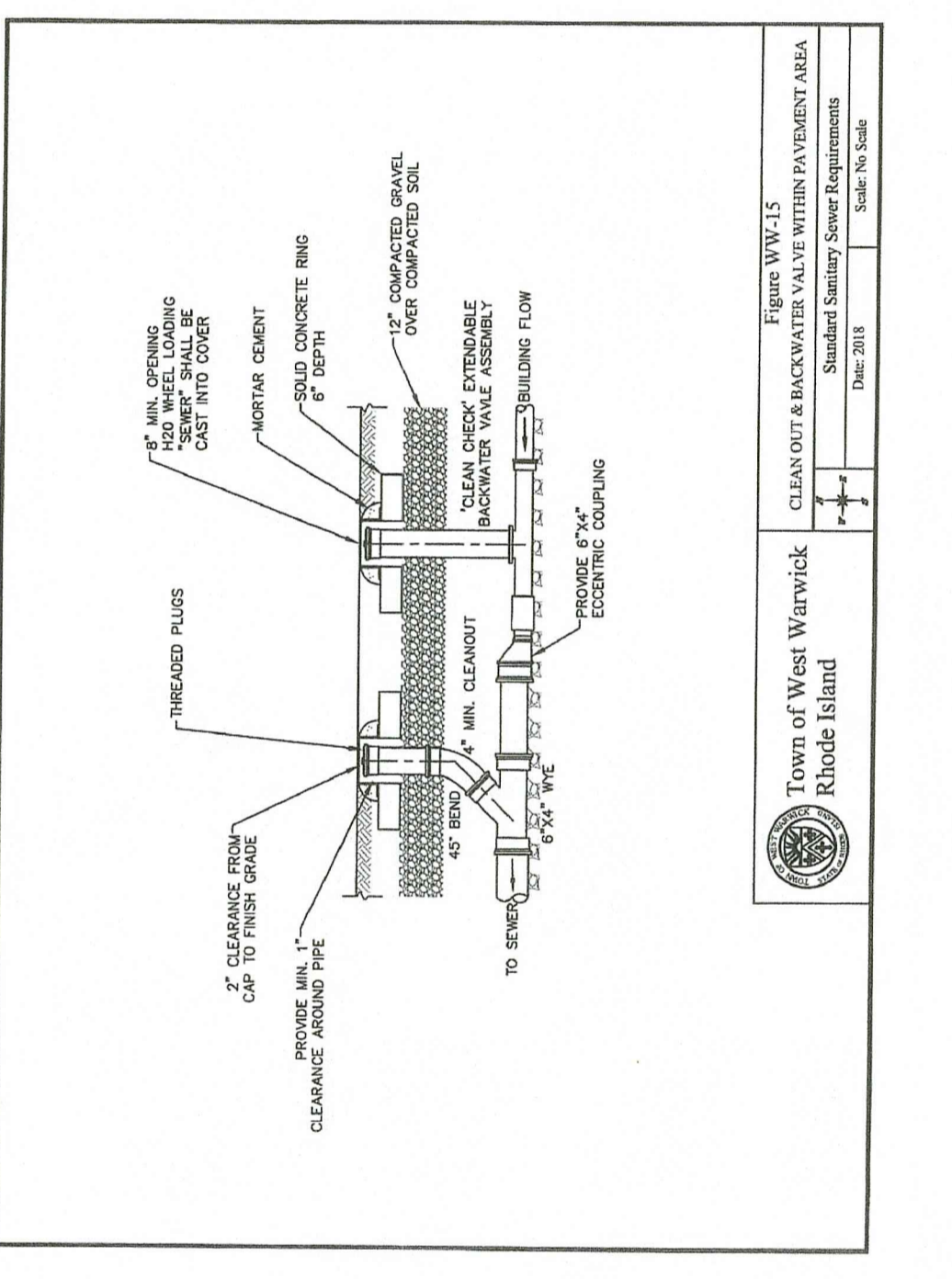
Town of West Warwick Rhode Island
 Figure WW-16
 LOW PRESSURE SEWER TRENCH CONNECTION
 Standard Sanitary Sewer Requirements
 Date: 2018 Scale: No Scale



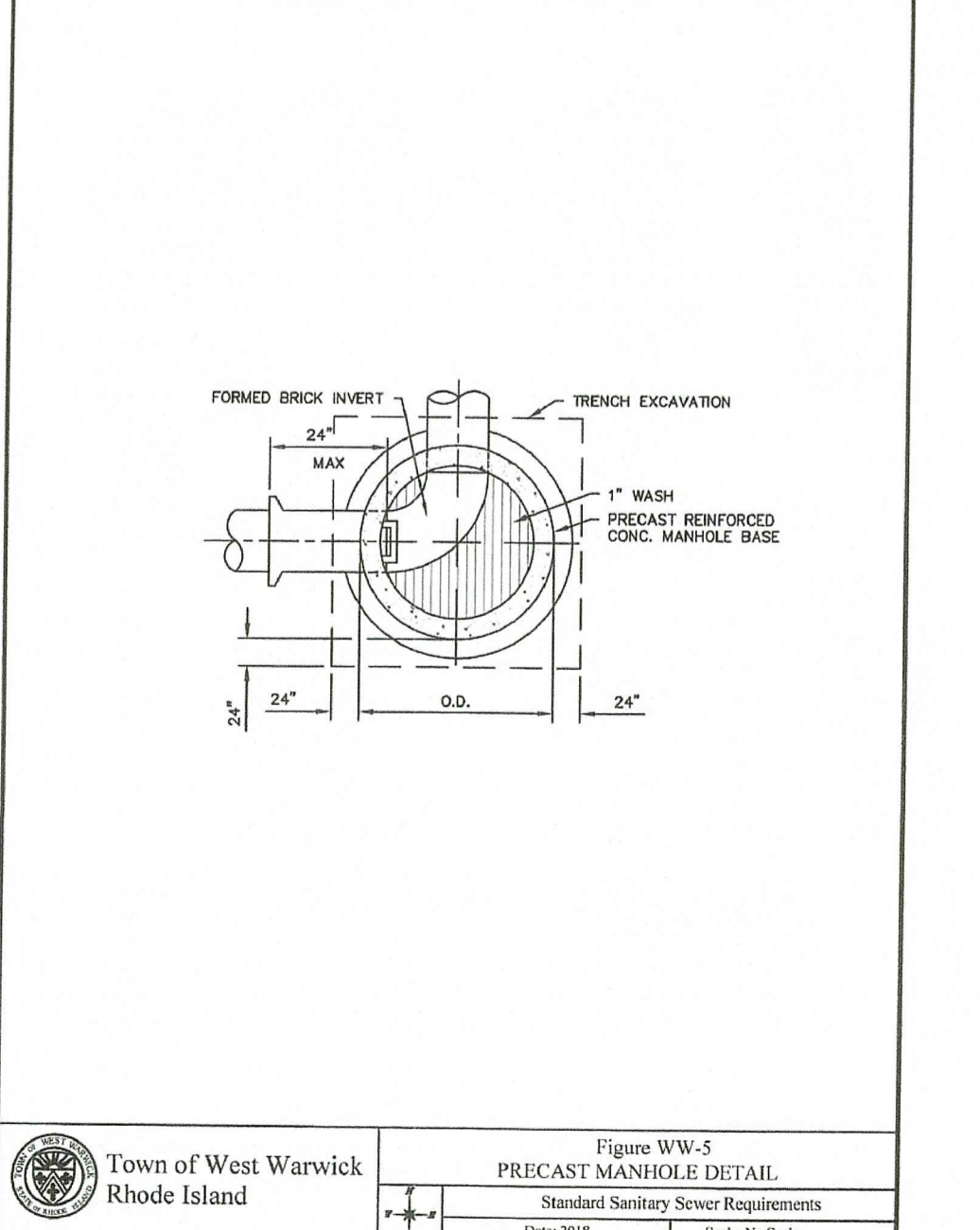
TYPICAL PAVEMENT REPAIR (WITHIN ROAD)
NOT TO SCALE



Town of West Warwick Rhode Island
 Figure WW-1
 TRENCH DETAIL
 Standard Sanitary Sewer Requirements
 Date: 2018 Scale: No Scale



Town of West Warwick Rhode Island
 Figure WW-15
 CLEAN OUT & BACKFLOW PREVENTER VALVE WITHIN PAVEMENT AREA
 Standard Sanitary Sewer Requirements
 Date: 2018 Scale: No Scale



Town of West Warwick Rhode Island
 Figure WW-5
 PRECAST MANHOLE DETAIL
 Standard Sanitary Sewer Requirements
 Date: 2018 Scale: No Scale

PLANTING SCHEDULE

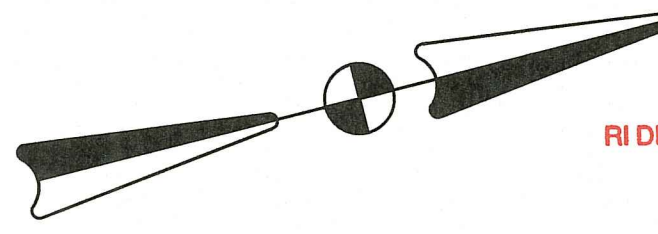
TREES			
Key	Botanical Name <i>Common Name</i>	Remarks	Size
AS	<i>Acer saccharum</i> 'Green Mountain' <i>Sugar Maple</i>	2 - 2 1/2" cal.	B & B
CB	<i>Carpinus betulus</i> 'Frans Fontaine' <i>Columnar Hornbeam</i>	2 - 2 1/2" cal.	B & B
CC	<i>Cercis canadensis</i> <i>Eastern Redbud</i>	2 - 2 1/2" cal.	B & B
FSP	<i>Fagus sylvatica</i> 'Pendula' <i>Weeping European Beech</i>	2 - 2 1/2" cal.	B & B
GB	<i>Ginkgo biloba</i> 'Princeton Sentry' <i>Columnar Ginkgo</i>	2 - 2 1/2" cal.	B & B
JT	<i>Juniperus virginiana</i> 'Taylor' <i>Columnar Eastern Red Cedar</i>	5 - 6' ht.	B & B
MS	<i>Magnolia soulangiana</i> <i>Saucer Magnolia</i>	2 - 2 1/2" cal.	B & B
PA	<i>Platanus acerifolia</i> 'Morton Circle' <i>London Plane Tree</i>	2 - 2 1/2" cal.	B & B
PL	<i>Pinus flexilis</i> 'Wanderwolf's Pyramid' <i>Blue Limber Pine</i>	5 - 6' ht.	B & B
PS	<i>Pinus strobus</i> <i>Eastern White Pine</i>	5 - 6' ht.	B & B
TG	<i>Thuja plicata</i> 'Green Giant' <i>Green Giant Arborvitae</i>	5 - 6' ht.	B & B
UA	<i>Ulmus americana</i> 'Princeton' <i>American Elm</i>	2 - 2 1/2" cal.	B & B
SHRUBS			
CA	<i>Clethra alnifolia</i> <i>Summersweet</i>	#3	Cont.
CAF	<i>Cornus sericea</i> <i>Redtwig Dogwood</i>	#3	Cont.
HL	<i>Hydrangea p.</i> 'Little Lime' <i>Green Hydrangea</i>	#3	Cont.
HM	<i>Hydrangea macrophylla</i> 'Endless Summer' <i>Blue Hydrangea</i>	#5	Cont.
IVF	<i>Ilex verticillata</i> 'Sparkleberry' Female <i>Sparkleberry Winterberry</i>	#5	Cont.
IVM	<i>Ilex verticillata</i> 'Sparkleberry' Male <i>Sparkleberry Winterberry</i>	#3	Cont.
MD	<i>Microbiota decussata</i> <i>Russian Cypress</i>	#2	Cont.
RM	<i>Rhododendron mucronulatum</i> <i>Rosebay Rhododendron</i>	#5	Cont.
TD	<i>Taxus x media</i> 'Densiformis' <i>Dense Yew</i>	#5	Cont.
VD	<i>Viburnum dentatum</i> 'Blueberry Muffin' <i>Arrowwood Viburnum</i>	#5	Cont.
GROUND COVER/PERENNIALS/GRASSES			
AU	<i>Arctostaphylos uva-ursi</i> <i>Bearberry</i>	#1	Cont.
HF	<i>Hemerocallis fulva</i> <i>Native Orange Daylily</i>	#1	Cont.
JBH	<i>Juniperus horizontalis</i> 'Blue Rug' <i>Blue Rug Juniper</i>	#2	Cont.
SS	<i>Schizachyrium scoparium</i> <i>Little Bluestem</i>	#2	Cont.

PLANTING NOTES:

1. PLANT LOCATIONS AND NUMBERS APPROXIMATE. EXACT LOCATIONS AND NUMBERS SHALL BE REVISED AS NECESSARY DUE TO THE PRESENCE OF LEDGE AT SHALLOW DEPTHS ACROSS THE SITE. THE LANDSCAPE CONTRACTOR SHALL DIG TEST PITS ACROSS THE SITE AFTER ROUGH GRADING TO DETERMINE WHERE LEDGE WILL CONFLICT WITH THE PROPOSED PLANTINGS. AFTERWARDS THE LANDSCAPE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT TO DISCUSS THE NECESSARY REVISIONS.
2. INSTALL DEEP ROOT BARRIERS ON THE RETAINING WALL SIDE OF THE COLUMNAR HORNBEAM (CB) PLANTING.

PLANTER NOTE:

1. FINAL SIZE, STYLE, TYPE, NUMBER AND LOCATION OF THE PROPOSED PLANTERS SHALL BE SELECTED BY THE OWNER.

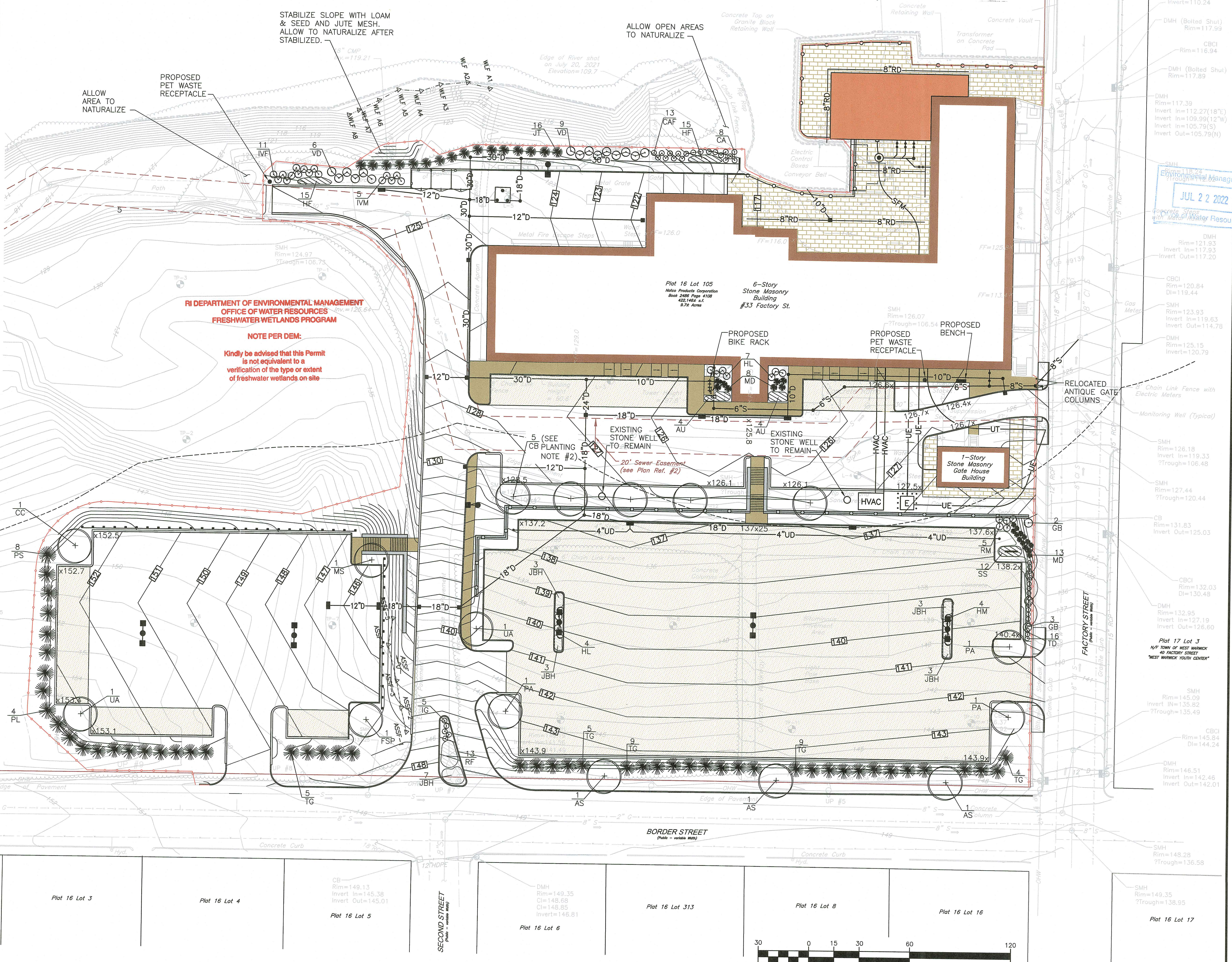


RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM

NOTE PER DEM:
Kindly be advised that this permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.

APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL DATED: 10/11/2022 FILE #: 22-0050
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Martin D. Wenzel



CB	Rim=117.04 Invert=110.24
DMH (Boiled Shut)	Rim=117.99
CBCI	Rim=116.94
DMH (Boiled Shut)	Rim=117.89
DMH	Rim=117.39 Invert In=112.27(18") Invert In=109.99(12") Invert In=105.79(S) Invert Out=105.79(N)
SMH	Rim=116.24 Invert In=112.27(18") Invert In=109.99(12") Invert In=105.79(S) Invert Out=105.79(N)
DMH	Rim=121.93 Invert In=117.93 Invert Out=117.20
CBCI	Rim=120.84 DI=119.44
SMH	Rim=123.93 Invert In=119.63 Invert Out=114.78
DMH	Rim=125.15 Invert=120.79
SMH	Rim=126.18 Invert In=119.33 Invert Out=106.48
SMH	Rim=127.44 Invert=120.44
CB	Rim=131.83 Invert Out=125.03
CBCI	Rim=132.03 DI=130.48
DMH	Rim=132.95 Invert In=127.19 Invert Out=126.60
Plot 17 Lot 3 N/F TOWN OF WEST WARWICK 60 FACTORY STREET WEST WARWICK YOUTH CENTER	SMH Rim=145.09 Invert In=135.82 Invert Out=135.49
CBCI	Rim=145.84 DI=144.24
DMH	Rim=146.31 Invert In=142.46 Invert Out=142.01
SMH	Rim=148.28 Invert=136.58
SMH	Rim=149.25 Invert=138.95

- Civil
- Transportation
- Environmental
- Site Planning
- Surveying
- Permitting
- Landscape Architecture

CROSSMAN ENGINEERING
Rhode Island: 151 Centerville Road, Warwick, RI 02886, Phone: (401) 738-5680
Massachusetts: 103 Commonwealth Avenue, North Attleboro, MA 02763, Phone: (508) 695-1700
Email: cel@crossmaneng.com

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BRUCE G. HAGERMAN
REGISTERED PROFESSIONAL ENGINEER
7/2/22

PROJECT TITLE:
**ARCTIC MILL REDEVELOPMENT
PLAT MAP 16, LOT 105
ZONING DISTRICT: CI**

33 FACTORY STREET
WEST WARWICK, R.I.

PREPARED FOR:
**KNIGHT STREET CAPITOL, LLC.
334 KNIGHT STREET
WARWICK, RI 02889**

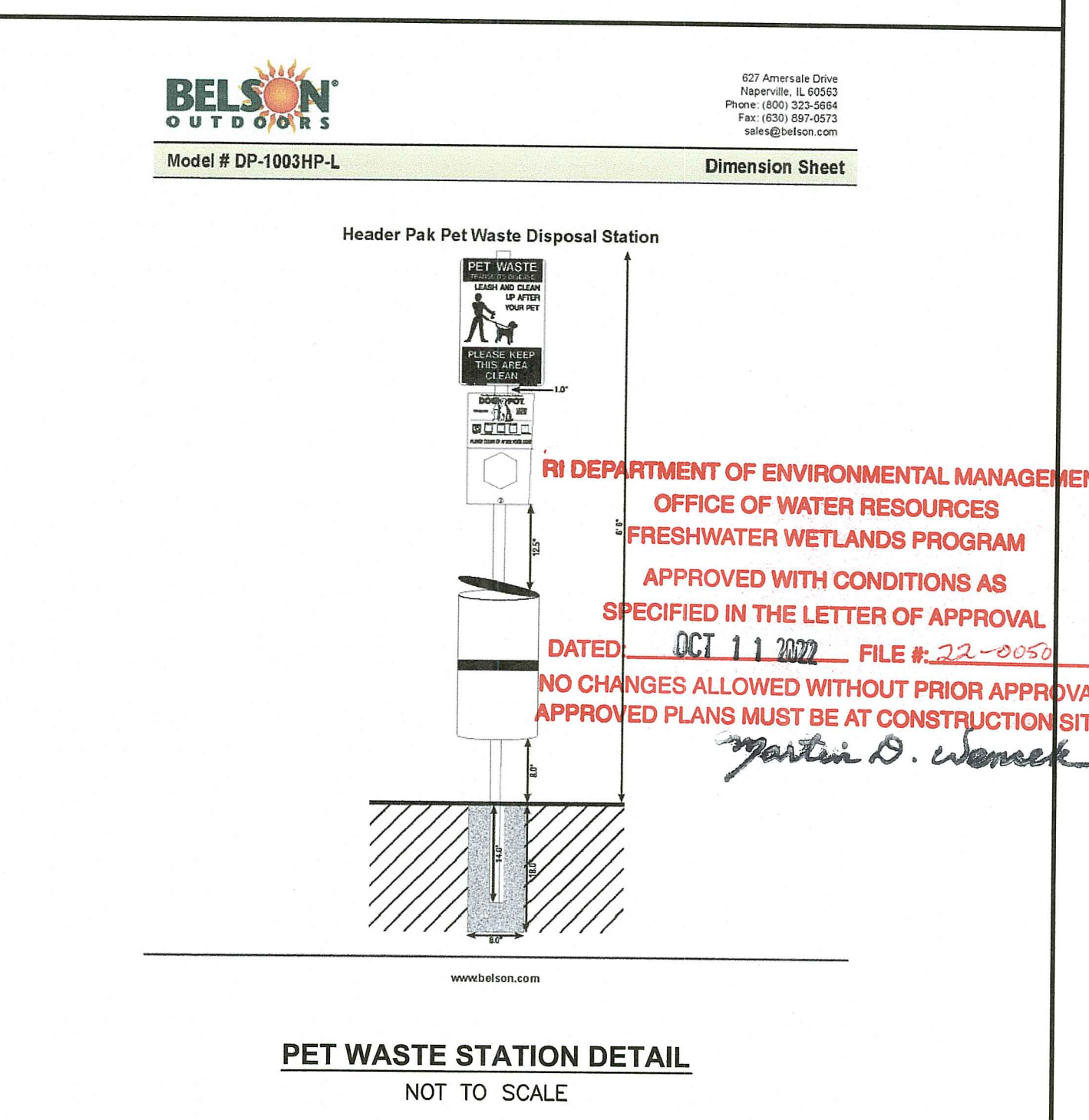
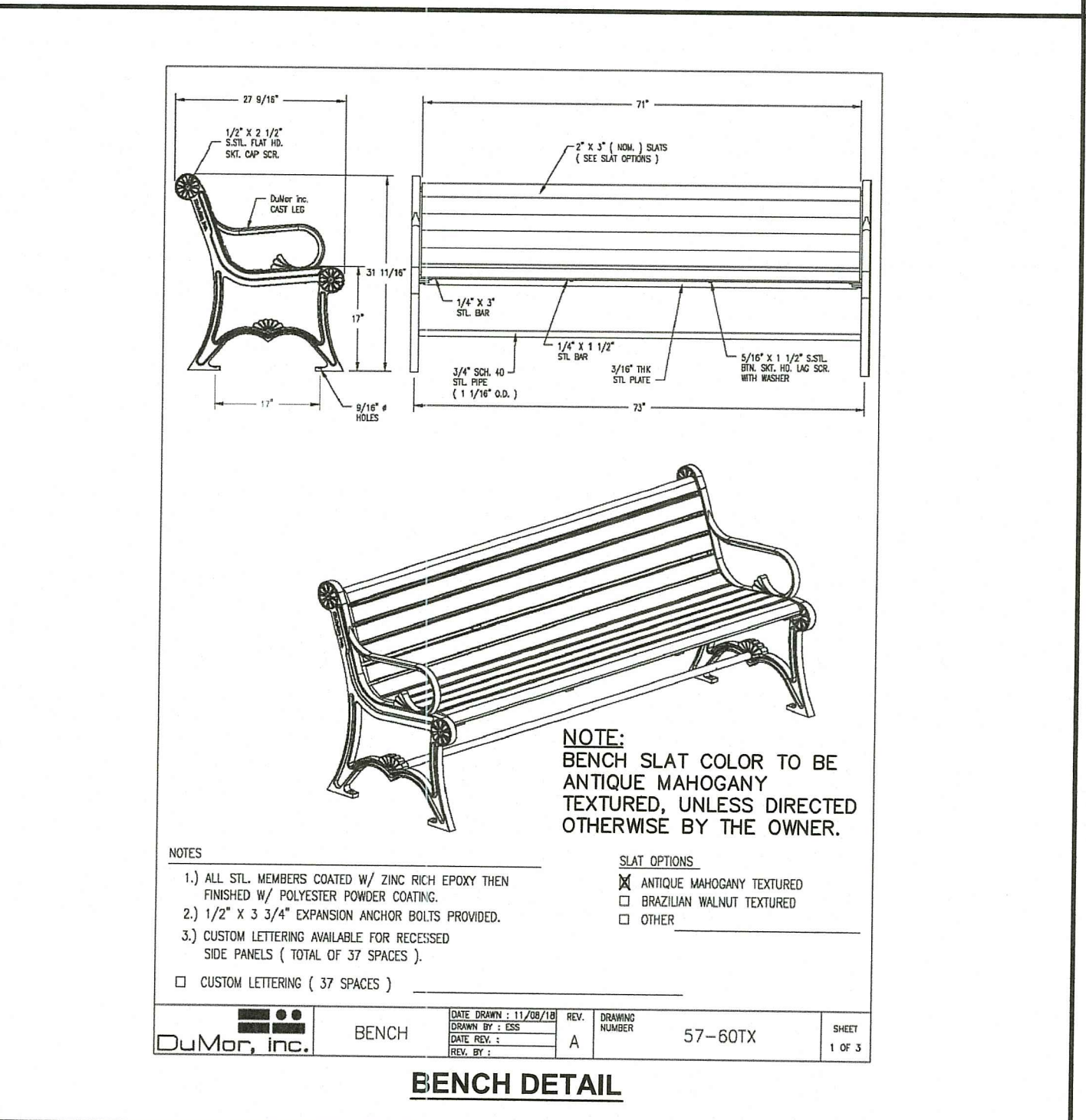
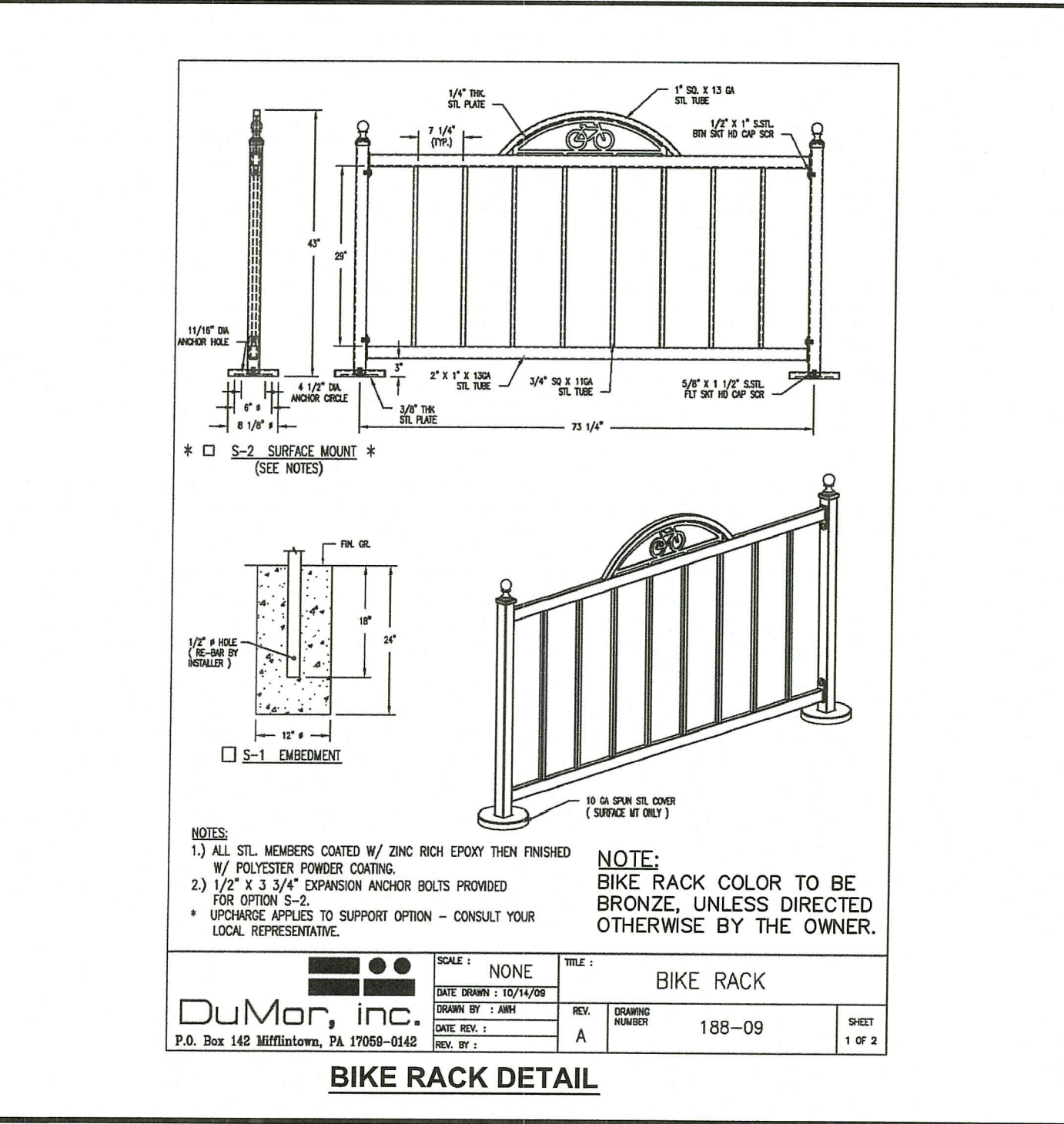
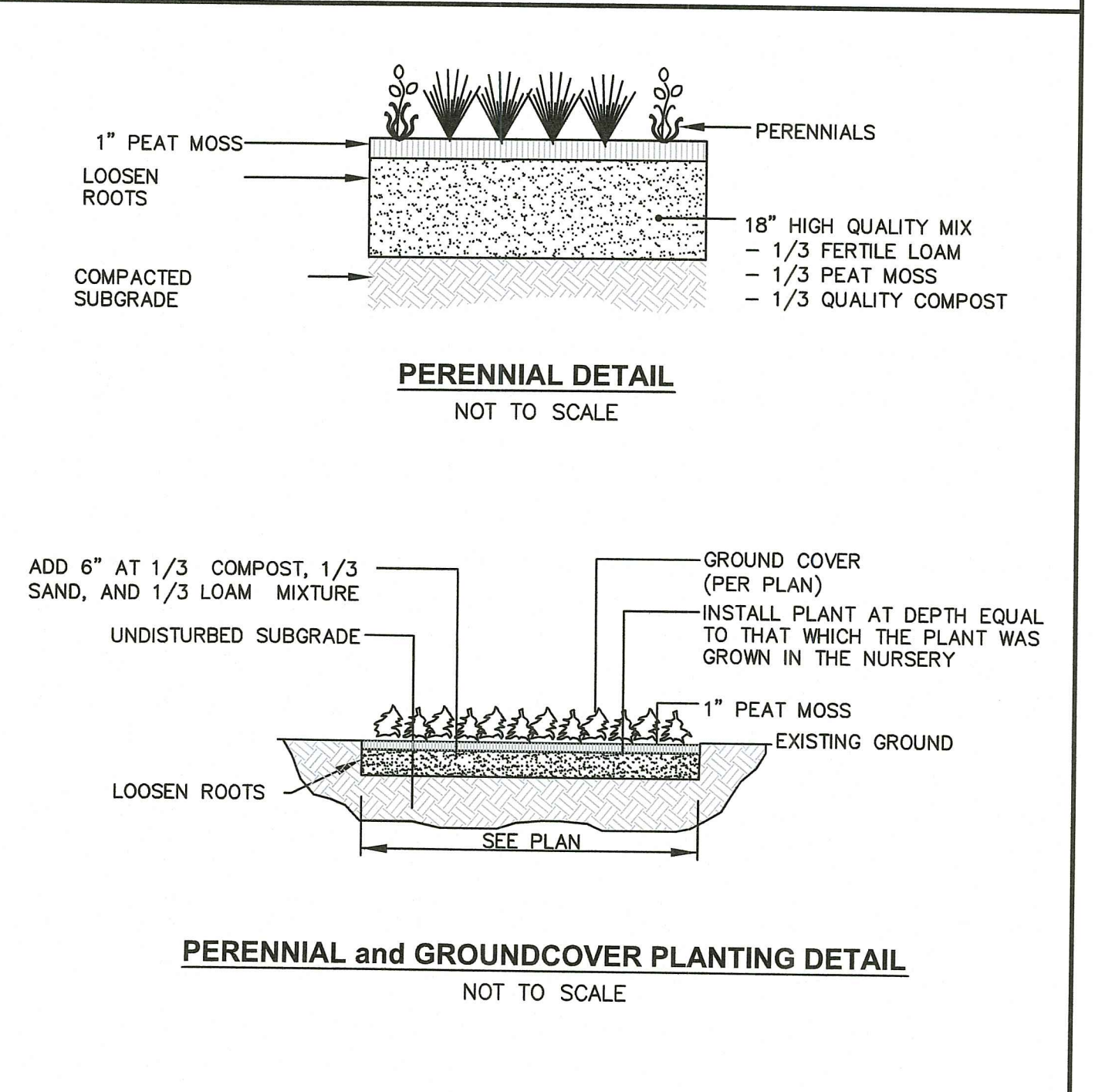
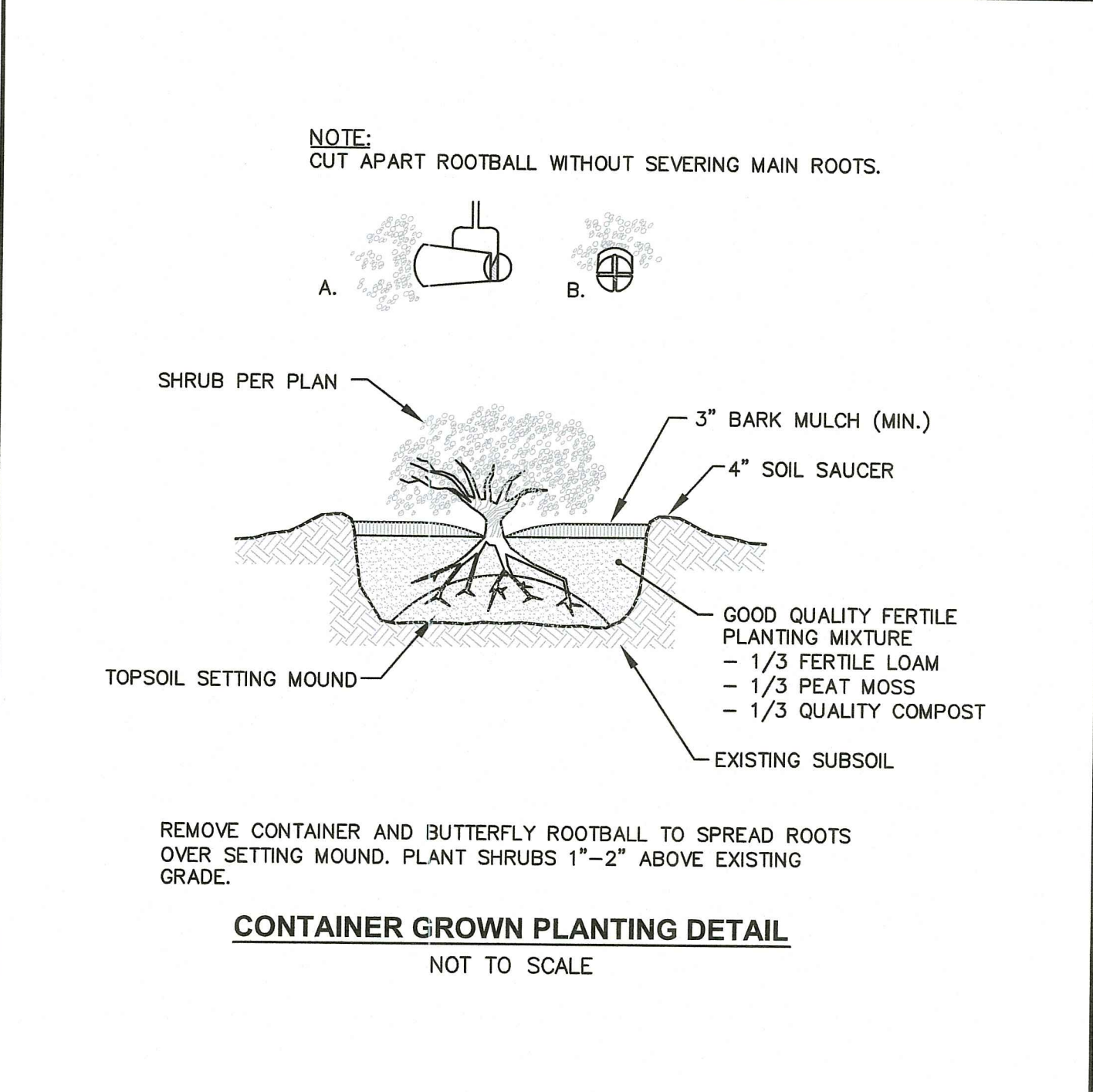
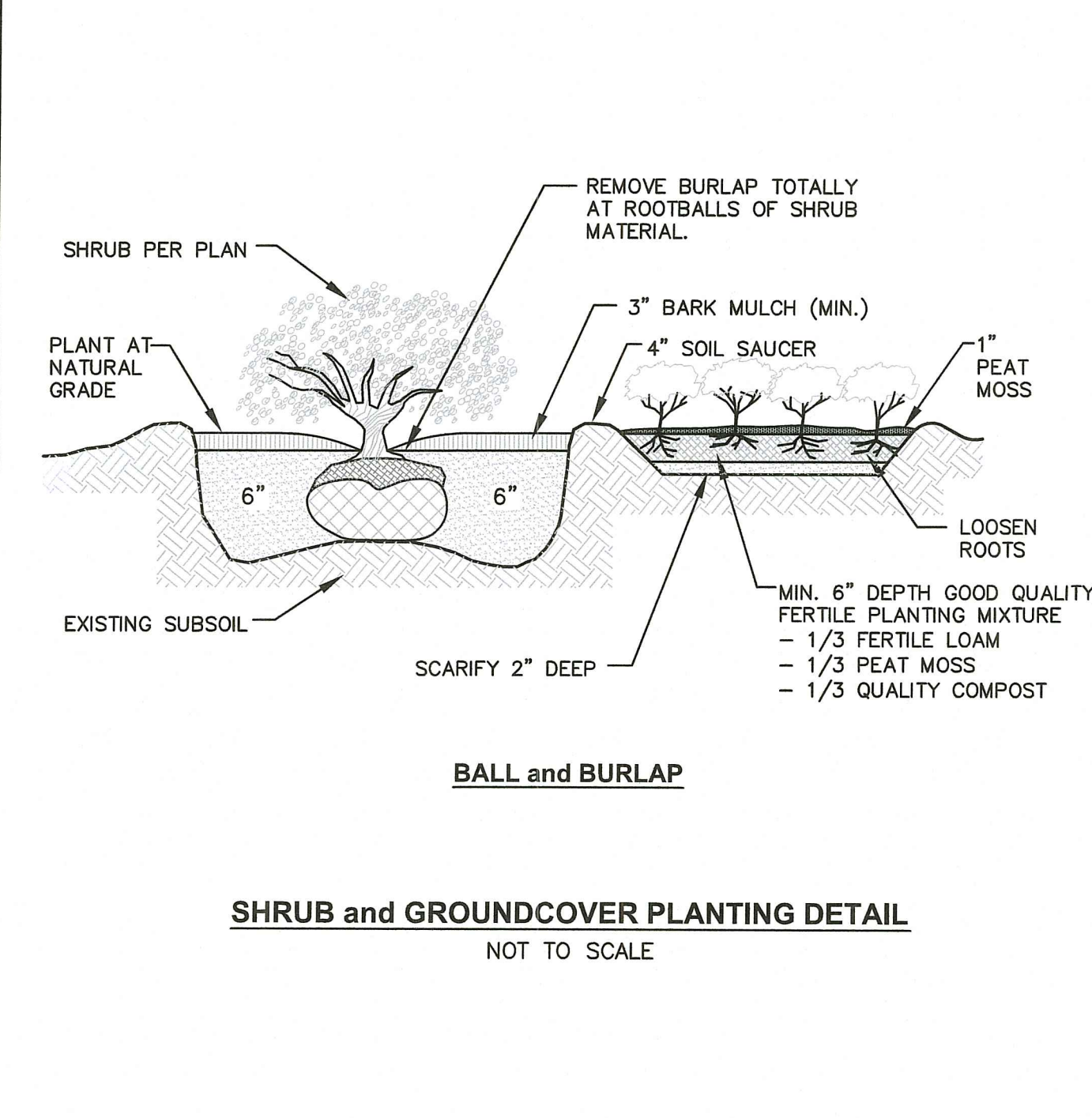
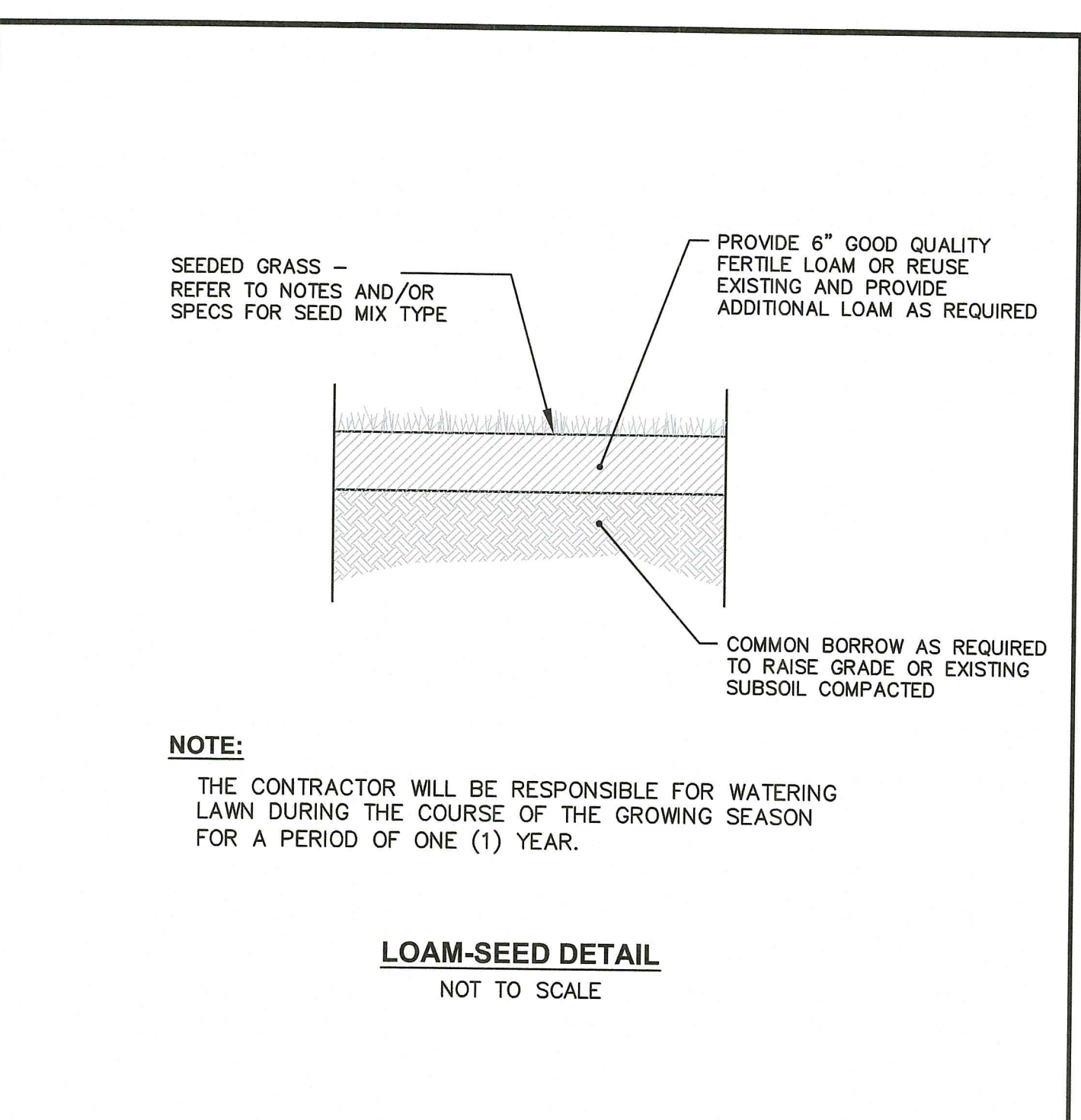
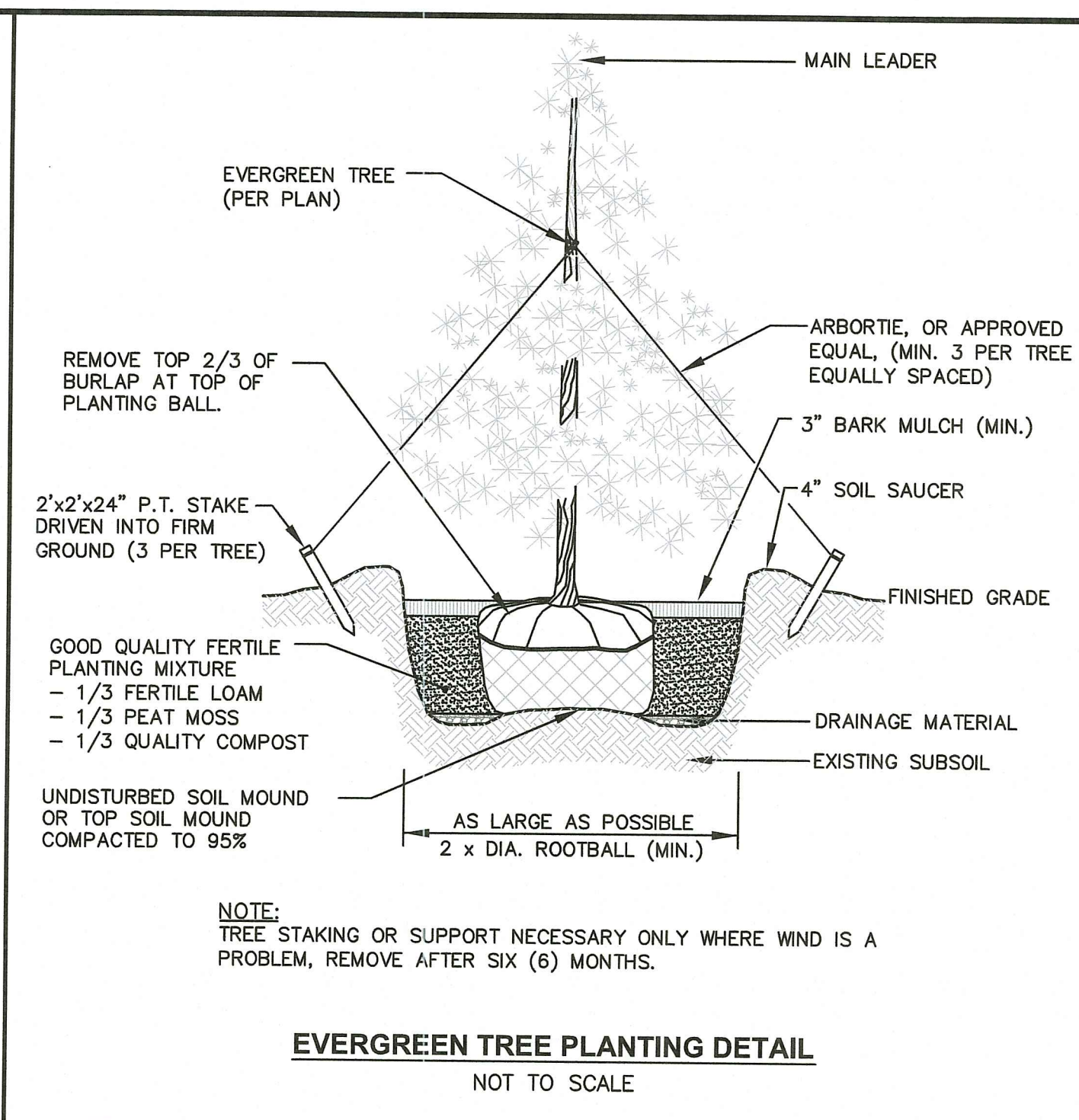
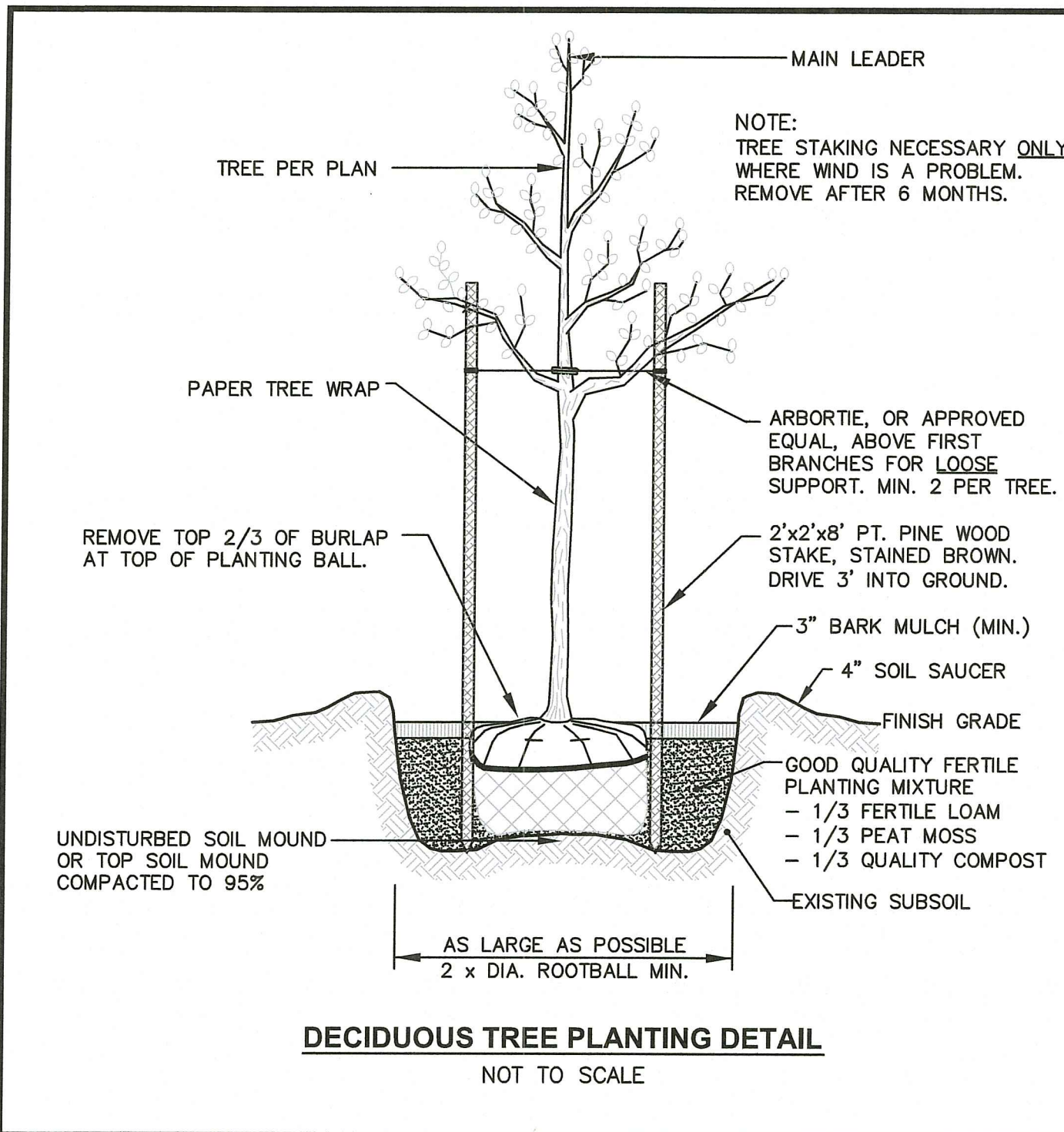
DRAWING TITLE:
LANDSCAPE PLAN

DATE: JANUARY 2022 SCALE: 1" = 30'

DWG. NAME:
2552 Concept Site Plan-5.dwg

REVISIONS	NUMBER	REMARKS	DATE
△	1	RIDEM COMMENTS	7/22/22

DRAWING NUMBER
L1
SHEET: 16 OF 17



LANDSCAPE CONSTRUCTION NOTES

- FURNISH AND INSTALL ALL PLANTS SHOWN ON THE DRAWINGS SPECIFIED HEREIN, AND IN THE QUANTITIES LISTED ON THE PLANT LIST. NO SUBSTITUTIONS WILL BE PERMITTED, UNLESS APPROVED BY THE LANDSCAPE ARCHITECT.
- LOAM TO BE SCREENED, GOOD QUALITY, FERTILE, FREE OF WEEDS, STICKS, STONES OVER 3/4", AND ROOTS. SPREAD TO A MINIMUM OF 6" OVER ALL PLANTED AREAS.
- WHERE APPLICABLE, BIO-RETENTION AREAS-PLANTING SOIL AND MULCH SHALL BE: LOAMY SAND TO A SANDY LOAM-60% SAND <20% SILT, <2% CLAY. WELL AGED GRADED COMPOST (25% OF SOIL MIX). WELL AGED, AERATED DARK BROWN HARD-WOOD MULCH (AGED 6 MONTHS).
- NURSERY STOCK SHALL MEET THE STANDARDS OF THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION AS TO GRADING AND QUALITY.
- ONLY NURSERY-GROWN PLANTS, GROWN IN ACCORDANCE WITH ACCEPTED HORTICULTURAL PRACTICES, AND GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST TWO (2) YEARS, WILL BE ACCEPTED.
- CALIPER MEASUREMENTS FOR ALL NEW PLANT STOCK SHALL BE TAKEN SIX (6) INCHES ABOVE GRADE FOR TREES UNDER FOUR (4) INCHES AND TWELVE (12) INCHES ABOVE GRADE FOR TREES OVER FOUR (4) INCHES.
- ALL TREES SHALL BE A MINIMUM OF SEVEN (7) FEET ABOVE FINISHED GRADE WHEN TREES ARE LOCATED WITHIN VEHICULAR AND PEDESTRIAN TRAVEL WAYS.
- SET PLANTS PLUMB AND AT A LEVEL THAT AFTER SETTLEMENT THEY BEAR THE SAME RELATION TO THE SURROUNDING GROUND AS THEY BORE TO THE GROUND FROM WHICH THEY WERE DUG. SETTLE BACKFILL MATERIAL FOR PLANTS, THOROUGHLY AND PROPERLY BY FIRING OR TAMPING. FORM SAUCERS, CAPABLE OF HOLDING WATER ABOUT INDIVIDUAL PLANTS, BY PLACING RIDGES OF PLANTING SOIL AROUND EACH.
- STAKE ALL TREES OVER 5 FEET AS SHOWN ON PLANS. REMOVE STAKES AT THE END OF THE GUARANTEE PERIOD.
- WATERING: WATER ALL PLANTS WITHIN 48 HOURS AFTER PLANTING. IF CONDITIONS WARRANT, AND AS MANY TIMES THEREAFTER TO SUSTAIN HEALTHY CONDITIONS UNTIL LANDSCAPE INSTALLATION IS COMPLETED. SATURATE THE SOIL AROUND EACH PLANT THOROUGHLY AT EACH WATERING.
- PRUNING: PRUNE PLANTS, AS DIRECTED BY OWNER, AT THE PROJECT SITE BEFORE OR IMMEDIATELY AFTER PLANTING IN ACCORDANCE WITH THE BEST HORTICULTURAL PRACTICE. CUT BROKEN, DEAD OR INJURED BRANCHES IMMEDIATELY ABOVE THE STEM COLLAR ON THE TRUNK OR LIMB. PRUNE ALL BROKEN ROOTS ON THE PLANT SIDE OF THE BREAK. PAINT CUTS OVER 3/4" IN DIAMETER WITH TREE WOUND PAINT. PRUNING SHALL NOT DEFORM OR OTHERWISE DESTROY THE TYPICAL SHAPE OR SYMMETRY OF THE PLANT, AND SHALL NOT REDUCE THE HEIGHT BY MORE THAN ONE-THIRD. DO NOT CUT BACK THE LEADER OF THE PLANT UNLESS DIRECTED BY THE LANDSCAPE ARCHITECT.
- FERTILIZING: FERTILIZE SHRUB BEDS WITH 10-10-10 FERTILIZER BROADCAST PER MANUFACTURER'S RATE. APPLY THE FERTILIZER UNIFORMLY TO THE SURFACE BEDS AND WORK INTO THE UPPER TWO INCHES OF SOIL. FERTILIZE INDIVIDUAL TREES AS PER MANUFACTURER'S INSTRUCTIONS. APPLY A SECOND APPLICATION OF FERTILIZER TO ALL PLANT ITEMS AT THE SAME SPECIFIED RATES OVER THE MULCH AT THE END OF A SIX (6) WEEK PERIOD (WITH AVERAGE RAINFALL).
- LIMING: ADD POWDERED LIME EVERY SIX MONTHS - OR SLOW RELEASE GRANULAR LIME-AS PER MANUFACTURER'S INSTRUCTION.
- MULCHING: WITHIN A 72 HOUR PERIOD AFTER PLANTING, COVER ALL PLANTED AREAS WITH TREFLAN HERBICIDE OR EQUIVALENT GRANULAR PRE-EMERGENT HERBICIDE IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. COVER WITH 3" DEPTH OF NATURAL BROWN SHREDDED BARK MULCH. NO RED OR DYED MULCH IS TO BE USED. MULCH SHOULD BE PULLED ONE INCH AWAY FROM PLANT TRUNK OR STEM, AND NOT ALLOWED TO REST DIRECTLY AGAINST THE TRUNK OR STEM.
- GUARANTEE: ALL PLANTS FURNISHED BY THE CONTRACTOR SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR AFTER PRELIMINARY INSPECTION AND SHALL BE ALIVE AND IN SATISFACTORY GROWTH AT THE END OF THE GUARANTEE PERIOD. ALL DEAD OR DYING PLANT MATERIAL SHALL BE REPLACED AT ONCE BY THE CONTRACTOR, AT NO ADDITIONAL COST TO THE OWNER.

SEEDING NOTES

- LOAM SHALL BE SPREAD TO A MINIMUM DEPTH OF 4" OVER ALL AREAS DESIGNATED ON PLANS.
- SHAPE AND SMOOTH THE SURFACE TO THE LINES AND GRADES AS SHOWN ON PLANS.
- FERTILIZE WITH 10-10-10 OR EQUIVALENT ANALYSIS FOR ONLY ESTABLISHMENT OF THE GRASS. AT LEAST 40% OF THE FERTILIZER NITROGEN SHALL BE IN A SLOW RELEASE FORM. INCORPORATE THE FERTILIZER INTO THE TOP 3 TO 4 INCHES OF THE PLANTING SOIL. APPLY AT THE RATE OF 8 POUNDS PER 1,000 SQUARE FEET AT SEEDING.
- LIME: SPREAD EVENLY AND WORK INTO THE SOIL DURING PREPARATION OF SEED BED AT THE RATE OF ONE TON PER ACRE. INCORPORATE INTO THE SOIL BY DICING OR OTHER APPROVED METHOD. DISTRIBUTE LIME UNIFORMLY AND WORK INTO TOP 4 INCHES OF TOP SOIL (MINIMUM) AND UNIFORMLY BLEND BY DICING OR ROTOTILLING.
- THE CONTRACTOR SHALL RESEED ANY BARE OR BARREN AREAS AND REPAIR GULLIES AS NECESSARY UNTIL THE ENTIRE SITE HAS A STABLE COVER OF VEGETATION.
- APPLICATION OF SEED:
 - RATE OF APPLICATION OF SEED SHALL BE 5-7 POUNDS PER 1,000 SQUARE FEET OR AS INDICATED ON PLANS.
 - SEEDING SHALL BE DONE IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND INSTRUCTIONS, AND ONLY DURING THE FOLLOWING DATES: SPRING SEEDING: MARCH 15 TO MAY 31; FALL SEEDING: AUGUST 15 TO OCTOBER 15
 - THE CONTRACTOR SHALL KEEP ALL SEEDED AREAS WATERED AND IN GOOD CONDITION, RESEEDING IF AND WHEN NECESSARY FOR AN 8 WEEK PERIOD OR UNTIL A GOOD, HEALTHY, UNIFORM GROWTH IS ESTABLISHED OVER THE ENTIRE AREA. THE CONTRACTOR SHALL ALSO MAINTAIN THESE AREAS IN AN APPROVED CONDITION UNTIL PROVISIONAL ACCEPTANCE.
 - DURING THIS PERIOD, WATER TURF AS NECESSARY TO MAINTAIN AN ADEQUATE SUPPLY OF MOISTURE WITHIN THE ROOT ZONE. AN ADEQUATE SUPPLY OF MOISTURE IS EQUIVALENT OF ONE INCH OF ABSORBED WATER PER WEEK THAT IS DELIVERED AT WEEKLY INTERVALS IN THE FORM OF NATURAL RAIN OR IS AUGMENTED AS REQUIRED BY PERIODIC WATERING.
 - OVERSEED WHEN NECESSARY TO PROMOTE GRASS GROWTH.
 - REPLANT AREAS VOID OF TURF ONE SQUARE FOOT OR LARGER.
- SEED: SEED ALL AREAS DESIGNATED ON PLAN AS WELL AS ALL DISTURBED EXISTING AREAS WITH THE FOLLOWING SEED MIX: URI#2 SEED MIX AS AVAILABLE FROM ALLEN'S SEED STORE OR EQUAL. APPLICATION RATE = 200 lbs. / ACRE

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PROJECT TITLE:
**ARCTIC MILL REDEVELOPMENT
PLAT MAP 16, LOT 105
ZONING DISTRICT: CI**

33 FACTORY STREET
WEST WARWICK, R.I.

PREPARED FOR:
**KNIGHT STREET CAPITAL, LLC.
334 KNIGHT STREET
WARWICK, RI 02889**

DRAWING TITLE:
**LANDSCAPE
DETAIL PLAN**

DATE: JANUARY 2022 SCALE: 1" = 30'

DWG. NAME: 2552-17-LAND DET.dwg

REVISIONS:

NUMBER	REMARKS	DATE
1	RIDEM COMMENTS	7/22/22

DRAWING NUMBER: **L2**
SHEET: 17 OF 17