

Legend:

- GC
- HC
- I
- OS
- R-30
- R-40
- R-80
- R-80
- VC
- W

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 REVIEWED SITE PLAN APPLICATION #: 22-0000
 DATED: MAY 16 2022
 SEE LETTER OF SAME DATE
Nancy L. Freeman

Notes:

- PER ARTICLE X SECTION 5 OF THE TIVERTON ZONING ORDINANCE, THERE IS NO CHURCH, SCHOOL, PARK OR PLAYGROUND WITHIN 1,500 FEET OF THE SITE.

RI Environmental Management
 APR 12 2022
 Office of Water Resources

Photo Obtained from Nearmap. Date of Photography 03/14/2020.

Scale: 1"=300'
 0 150' 300' 600'

DiPrete Engineering
 Two Stafford Court Cranston, RI 02920
 Tel: 401-943-1000 Fax: 401-464-6066 www.diprete-eng.com

Boston • Providence • Newport

LEONARD R. BRADLEY
 No. 6610
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL

THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS SIGNED AND STAMPED BY THE REGISTERED PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING.

DIPRETE ENGINEERING ONLY WARRANTS PLANS ON A DIPRETE PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING. DIPRETE ENGINEERING DOES NOT WARRANT PLANS BY ANY OTHER PARTY. THE USER ASSUMES ALL LIABILITY FOR THE ACCURACY OF THE INFORMATION, FIELD DATA, SURVEY, METEOROLOGICAL, SAFETY PRECAUTIONS, AND REGULATORY DESIGN. THE USER ASSUMES ALL LIABILITY FOR THE ACCURACY OF THE INFORMATION, FIELD DATA, SURVEY, METEOROLOGICAL, SAFETY PRECAUTIONS, AND REGULATORY DESIGN.

EXISTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE ONLY. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION, FIELD DATA, SURVEY, METEOROLOGICAL, SAFETY PRECAUTIONS, AND REGULATORY DESIGN. SEE UTILITY NOTES ON SHEET 5.

DATE	DESCRIPTION	BY:
04/12/2022	WETLAND DEL. C. SUBMISSION	N.D.K.
05/25/2022	PERMITTING PLAN SUBMISSION	N.D.K.
		BY:
		DESIGN BY: N.D.K.

AERIAL HALF MILE RADIUS

SEASONS CORNER MARKET
 ASSESSOR'S PLAT 19 LOT 624
 TIVERTON, RHODE ISLAND

PREPARED FOR:
COLBEA ENTERPRISES, LLC
 2030 PLAINFIELD PIKE, CRANSTON, RHODE ISLAND
 02921 TEL 401-943-1005 FAX 401-943-5039

RI DEPT. OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES

SHEET 2 OF 12

GENERAL NOTES:

- 1. THE SITE IS LOCATED ON THE TOWN OF TIVERTON ASSESSOR'S PLAT 119 LOT 624.
2. THE SITE IS APPROXIMATELY 1.52± ACRES AND IS ZONED GC.
3. THE OWNER OF AP 119 LOT 624 IS: COLBEA ENTERPRISES, LLC
2050 PLAINFIELD PIKE CRANSTON, RI 02921
4. THIS SITE IS LOCATED IN FEMA FLOOD ZONES X (UNSHADED). REFERENCE FEMA FLOOD INSURANCE RATE MAP 44050C0039J, MAP REVISED SEPTEMBER 4, 2013. (FLOOD PLAIN DESCRIPTIONS SHOWN BELOW).
• ZONE X (UNSHADED) - THIS SITE IS LOCATED IN FEMA FLOOD ZONE X, WHICH ARE AREAS WHERE THERE IS MINIMAL FLOODING.
5. THE BOUNDARY LINES AS SHOWN ON THE ENGINEERING PLAN SET DEPICTS THE RESULTS OF A CLASS I BOUNDARY RETRACEMENT SURVEY AS PERFORMED BY DIPRETE ENGINEERING ASSOCIATES, INC. THIS PLAN IS NOT TO BE CONSTRUED AS A CLASS I BOUNDARY RETRACEMENT SURVEY PLAN AND IS NOT SUITABLE FOR RECORDING AS A CLASS I STANDARD SURVEY PLAN.
6. CONTOUR DATA SHOWN ON THIS PLAN CONFORMS TO A 2-TOPOGRAPHICAL SURVEY STANDARD AS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS BY DIPRETE ENGINEERING.
7. ALL WORK PERFORMED HEREIN IS TO BE GOVERNED BY CURRENT EDITIONS OF THE RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, TOWN OF TIVERTON STANDARD SPECIFICATIONS AND DETAILS AND SPECIFICATIONS INCLUDED AS PART OF THE DRAWINGS. IN AREAS OF CONFLICT BETWEEN THE DIFFERENT SPECIFICATIONS, THE DESIGN PLANS AND PROJECT SPECIFICATIONS WILL TAKE PRECEDENCE OVER THE GENERAL SPECIFICATIONS AND THE DESIGN ENGINEER WILL INTERPRET THE CONSTRUCTION REQUIREMENT. THE CONTRACTOR IS ADVISED TO SUBMIT A REQUEST FOR INFORMATION (RFI) FOR ANY AREAS OF CONFLICT BEFORE COMMITTING TO CONSTRUCTION.
8. THE SITE IS NOT WITHIN A:
GROUNDWATER PROTECTION AREA (RIDEM)
NATURAL HERITAGE AREA (RIDENH)
NARROW RIVER SPECIAL AREA MANAGEMENT PLAN (CRMC)
SALT PONDS SPECIAL AREA MANAGEMENT PLAN (CRMC)
GROUNDWATER PROTECTION OVERLAY DISTRICT (TOWC)
9. THE FOLLOWING DOCUMENTS ARE CONSIDERED PART OF THE PROJECT PLANS AND THE CONTRACTOR/OWNER MUST MAINTAIN THESE DOCUMENTS AS PART OF A FULL PLAN SET:
• SOIL EROSION AND SEDIMENT CONTROL PLAN (SESC). THE SESC CONTAINS THE FOLLOWING:
• EROSION CONTROL MEASURES
• SHORT TERM MAINTENANCE
• ESTABLISHMENT OF VEGETATIVE COVER
• CONSTRUCTION POLLUTION PREVENTION
• SEQUENCE OF CONSTRUCTION
• STORMWATER OPERATION AND MAINTENANCE PLAN (O&M). THE O&M CONTAINS:
• LONG TERM MAINTENANCE
• LONG TERM POLLUTION PREVENTION
10. THIS PLAN SET REFERENCES RIDOT STANDARD DETAILS (DESIGNATED AS RIDOT STD X.X.X.). RIDOT STANDARD DETAILS ARE AVAILABLE FROM RIDOT AND ONLINE AT: HTTP://WWW.DOT.RI.GOV/BUSINESS/CONTRACTORSANDCONSULTANTS.SHP.
11. THE SITE IS TO BE SERVICED BY PUBLIC WATER AND PUBLIC SEWER.
12. THE DRAINAGE SYSTEM IS DESIGNED TO MEET THE TOWN OF TIVERTON SUBDIVISION AND LAND DEVELOPMENT REGULATIONS WITH THE USE OF CATCH BASINS, FOCAL POINT AND UNDERGROUND DRAINAGE SYSTEMS. THE STORMWATER MANAGEMENT SYSTEM MEETS THE RIDEM BEST MANAGEMENT PRACTICES.
13. THE SITE IS PROPOSED TO BE BUILT IN (I) PHASE.
14. SOIL EVALUATIONS WERE COMPLETED BY DIPRETE ENGINEERING ON 7/16/2021.
15. WETLAND EDGE DELINEATED BY DIPRETE ENGINEERING AND SURVEYED BY DIPRETE ENGINEERING USING SUBMETER GPS ON DATE 01/18/2021.
16. ANY PROPRIETARY PRODUCTS REFERENCED IN THIS PLAN SET ARE REPRESENTATIVE OF THE MINIMUM DESIGN REQUIREMENTS FOR THE PURPOSE THEY PROPOSE TO SERVE. ALTERNATIVES TO ANY PROPRIETARY PRODUCT MAY BE SUBMITTED TO THE ENGINEER OF RECORD FOR CONSIDERATION, WHICH MUST BE ACCOMPANIED BY APPROPRIATE SPECIFICATION SHEETS/DESIGN CALCULATIONS THAT DEMONSTRATE THE ALTERNATIVE(S) MEET THE MINIMUM DESIGN PARAMETERS OF THE PRODUCT SHOWN ON THE PLANS. NO ALTERNATIVES MAY BE USED WITHOUT THE WRITTEN APPROVAL OF THE ENGINEER OF RECORD.
17. THIS PLAN SET MAY REFERENCE AND/OR INCLUDE REPRODUCTIONS OF PROPRIETARY PRODUCTS/DETAILS BY OTHERS, AND/OR THEIR ASSOCIATED SPECIFICATIONS. ANY REFERENCED OR REPRODUCED PROPRIETARY PRODUCT OR DETAIL BY OTHERS THAT IS SHOWN ON DIPRETE PLANS IS STRICTLY FOR INFORMATION/SPECIFICATION PURPOSES ONLY. DIPRETE ENGINEERING DOES NOT WARRANT ANY PROPRIETARY PRODUCTS/DETAILS BY OTHERS OR THEIR RESPECTIVE DESIGNS. IF A DIPRETE ENGINEERING PLAN INCLUDES A PROPRIETARY PRODUCT/DETAIL BY OTHERS (EITHER EXPLICITLY OR IMPLIED) AND IS STAMPED BY A REGISTERED PROFESSIONAL ENGINEER AND/OR REGISTERED LANDSCAPE ARCHITECT OF DIPRETE ENGINEERING, SAID STAMP DOES NOT EXTEND TO ANY PORTION OF THE PROPRIETARY PRODUCT/DETAIL BY OTHERS OR ITS DESIGN.

SOIL INFORMATION:

(REFERENCE: SOIL MAPPING OBTAINED FROM RIGIS. SOIL GEOGRAPHIC DATA DEVELOPED BY THE RHODE ISLAND SOIL SURVEY PROGRAM IN PARTNERSHIP WITH THE NATIONAL COOPERATIVE SOIL SURVEY)

Table with 2 columns: Soil Name Description, Soil Characteristics. Includes CbB, NEB*, UD* with descriptions of soil types and slopes.

SOIL EROSION AND SEDIMENT CONTROL NOTES:

- 1. THE CONTRACTOR IS RESPONSIBLE FOR ALL SOIL EROSION AND SEDIMENT CONTROL ON SITE WHICH MUST BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE APPLICABLE REGULATIONS AND AUTHORITY HAVING JURISDICTION. THE CONTRACTOR MUST NOTIFY THE DESIGN ENGINEER, THE DIRECTOR OF PUBLIC WORKS, THE TOWN ENGINEER, AND RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
2. ALL EROSION CONTROL INCLUDING (BUT NOT LIMITED TO) TEMPORARY SWALES, TEMPORARY SEDIMENT TRAP, ETC. MUST BE INSTALLED PER THE LATEST EDITION OF THE RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL (RISESC) HANDBOOK AND THE SOIL EROSION AND SEDIMENT CONTROL PLANS. NOTE THE SOIL EROSION AND SEDIMENT CONTROL SHOWN ON THESE PLANS ARE THE MINIMUM QUANTITY/TYPE OF EROSION CONTROL. DEVICES AND MATERIALS DEEMED REQUIRED BY DIPRETE ENGINEERING TO MEET THE OBJECTIVES OF THE RISESC HANDBOOK, BUT IS CONSIDERED A GUIDE ONLY. ADDITIONAL MEASURES/ALTERNATE CONFIGURATIONS MAY BE REQUIRED IN ORDER TO MEET THE RISESC HANDBOOK BASED ON FACTORS INCLUDING (BUT NOT LIMITED TO) SITE PARAMETERS, WEATHER, INSPECTIONS AND UNIQUE FEATURES. THE SESC WILL CONTINUE TO EVOLVE THROUGHOUT CONSTRUCTION/PHASES. PURSUANT TO NOTE I ABOVE, SESC REMAINS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL THE SITE IS FULLY STABILIZED AND/OR SESC RESPONSIBILITIES ARE ASSUMED BY THE OWNER IN WRITING.
3. TEMPORARY SWALES MUST BE USED TO CONTROL RUNOFF DURING CONSTRUCTION OF THE PROPOSED SITE WORK, AND MUST BE VEGETATED AFTER CONSTRUCTION. EROSION CONTROL MATS MUST BE INSTALLED, IF NECESSARY, TO PREVENT EROSION AND SUPPORT VEGETATION. AFTER CONSTRUCTION IS COMPLETE AND TRIBUTARY AREAS TO THE SWALES HAVE BEEN STABILIZED, THE TEMPORARY SWALES MUST BE CLEARED AND FINAL DESIGN, INCLUDING INSTALLATION OF THE GRASS SWALE MUST BE PER THE DESIGN PLANS.
4. ONCE THE SEDIMENT TRAP IS NO LONGER REQUIRED AND ALL TRIBUTARY AREAS HAVE BEEN STABILIZED, THE TEMPORARY SEDIMENT TRAP MUST BE CLEANED AND BROUGHT TO FINAL DESIGN GRADES.
5. INLET PROTECTION MUST BE INSTALLED ON ALL CATCH BASINS ONCE CONSTRUCTED.
6. FOR SEQUENCE OF CONSTRUCTION, PROJECT PHASING AND CONSTRUCTION PHASING SEE SESC PLAN.
7. CONTRACTOR MAY MODIFY SEQUENCE OF CONSTRUCTION WITH APPROVAL FROM DESIGN ENGINEER AND OWNER.
8. IF CONCRETE TRUCKS ARE WASHED OUT ON SITE, ALL WASHOUT MUST BE PERFORMED IN THE DESIGNATED CONCRETE WASHOUT AREA.

TRAFFIC NOTES:

- 1. ALL TRAFFIC CONTROL MUST CONFORM TO THE FEDERAL HIGHWAY ADMINISTRATION (FHWA) MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) CURRENT EDITION.
2. DURING CONSTRUCTION, TRAFFIC CONES MUST BE USED FOR SEPARATION OF ACTIVE TRAFFIC FROM WORK ZONE PER MUTCD REQUIREMENTS.
3. DURING CONSTRUCTION FLAGGERS MUST BE EMPLOYED TO ENSURE SAFETY FOR INTERACTION OF CONSTRUCTION VEHICLES AND ACTIVE TRAFFIC.
4. ALL SIGNS, FLAGGERS, TRAFFIC CONTROL DEVICES, AND TEMPORARY TRAFFIC ZONE ACTIVITIES MUST MEET THE REQUIREMENTS OF THE MUTCD LATEST EDITION AND SUBSEQUENT ADDENDA.
5. TEMPORARY CONSTRUCTION SIGNS MUST BE MOUNTED ON RIDOT APPROVED SUPPORTS AND MUST BE REMOVED OR COVERED WHEN NOT APPLICABLE.

AS-BUILT NOTES:

ALL COMPONENTS OF THE DRAINAGE, SEWER, AND WATER SYSTEMS MUST BE FIELD LOCATED PRIOR TO COVERING. NOTIFY SURVEYOR A MINIMUM OF SEVENTY-TWO (72) HOURS IN ADVANCE OF NEED FOR FIELD LOCATION OF IMPROVEMENTS. SURVEYOR MUST PROVIDE OWNER AND CONTRACTOR WITH WRITTEN NOTICE OF COMPLETION OF FIELD WORK PRIOR TO CONTRACTOR COVERING IMPROVEMENTS. OWNER/DIPRETE WILL NOT ACCEPT FIELD MEASUREMENTS FROM THE SITE CONTRACTOR.

RIDOT NOTES:

- 1. ALL WORK TO BE DONE WITHIN THE STATE RIGHT OF WAY MUST CONFORM TO RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AMENDED MARCH 2018 WITH ALL REVISIONS AND ADDENDA. STANDARD DETAILS FOR THIS WORK ARE RHODE ISLAND STANDARD DETAILS DATED JUNE 21, 2019 WITH ALL REVISIONS.
2. CONTRACTOR MUST OBTAIN A UTILITY CONNECTION PERMIT FOR WORK WITHIN THE STATE RIGHT-OF-WAY (ROW) PRIOR TO CONSTRUCTION. THE PHYSICAL ALTERATION PERMIT (PAP) IS NOT A SUBSTITUTE FOR THE UTILITY PERMIT AND THE PAP DOES NOT CONSTITUTE AN APPROVAL OF ANY UTILITY WORK.
3. ALL TRAFFIC CONTROL MUST CONFORM TO THE MUTCD, LATEST EDITION, WITH ALL REVISIONS.
4. NO LANE OR SHOULDER CLOSURES ARE ALLOWED TO BE PERFORMED WITHIN THE STATE ROW DURING PEAK TRAFFIC HOURS.
5. SEWER AND WATER CONNECTIONS WITHIN THE STATE ROW WILL REQUIRE A SEPARATE RIDOT UTILITY PERMIT, WHICH CONTRACTOR MUST OBTAIN BEFORE CONSTRUCTION.
6. THE DRAINAGE SYSTEM IS DESIGNED TO DECREASE BOTH STORMWATER RUNOFF RATE, AND STORMWATER RUNOFF VOLUME TO THE STATE ROW FROM PRE-DEVELOPMENT TO POST-DEVELOPMENT.
7. WORK WITHIN THE STATE'S ROW WILL CONFORM TO PROPOSED PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG). WORK ON-SITE WILL CONFORM TO AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG) UNLESS THE WORK IS ON STATE OWNED LAND.

LAYOUT AND MATERIALS:

- 1. DIMENSIONS ARE FROM THE FACE OF CURB, FACE OF BUILDING, FACE OF WALL, AND CENTER LINE OF PAVEMENT MARKINGS, UNLESS OTHERWISE NOTED.
2. CURBING MUST BE PRECAST CONCRETE, OR MONOLITHIC CONCRETE, OR AS LABELED ON THE PLANS.
3. SIDEWALK MUST BE CONCRETE, OR AS LABELED ON THE PLANS.
4. SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THEIR ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR MUST REFER TO THE DETAIL SHEET DIMENSIONS, MANUFACTURERS' LITERATURE, SHOP DRAWINGS AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.
5. SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND DETAILS PERTAINING TO THE BUILDING, INCLUDING SIDEWALKS, RAMPS, BUILDING ENTRANCES, STAIRWAYS, UTILITY PENETRATIONS, CONCRETE DOOR PADS, COMPACTOR PAD, LOADING DOCKS, BOLLARDS, ETC.
6. PROPOSED BOUNDS AND ANY EXISTING PROPERTY LINE MONUMENTATION DISTURBED DURING CONSTRUCTION MUST BE SET OR RESET BY A PROFESSIONAL LICENSED SURVEYOR.
7. CONTRACTOR MUST NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS AND DATA FILES THAT ARE OBTAINED FROM THE DESIGNERS. CONTRACTOR MUST VERIFY LOCATION OF PROJECT FEATURES IN ACCORDANCE WITH THE STAMPED PAPER COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.
8. INFRARED TREATMENT OF PAVEMENT IS REQUIRED AT ALL CURB CUTS, AT ANY DISTURBED PAVEMENT ON ROADWAYS, AND WHERE ANY NEW PAVEMENT MEETS EXISTING PAVEMENT.
9. ALL EXISTING PAVEMENT MARKING REMOVED AS INCIDENTAL DURING CONSTRUCTION MUST BE REPLACED IN-KIND FOLLOWING COMPLETION OF CONSTRUCTION UNLESS OTHERWISE NOTED.
10. NEW PAVEMENT MARKING MUST BE FAST DRYING TRAFFIC PAINT, MEETING THE REQUIREMENTS OF AASHTO M242 TYPE F. PAINT MUST BE APPLIED AS SPECIFIED BY THE MANUFACTURER.

GRADING AND UTILITY NOTES:

- 1. CONSTRUCTION TO COMMENCE SPRING 2022 OR UPON RECEIPT OF ALL NECESSARY APPROVALS.
2. THE CONTRACTOR MUST COORDINATE WITH ALL OF THE APPROPRIATE UTILITY COMPANIES FOR AGREEMENTS TO SERVICE THE PROPOSED BUILDING. THIS MUST BE DONE PRIOR TO CONSTRUCTION. NO REPRESENTATIONS ARE MADE BY DIPRETE ENGINEERING THAT UTILITY SERVICE IS AVAILABLE.
3. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING FINISH GRADING AND DRAINAGE AROUND THE BUILDING TO ENSURE SURFACE WATER AND/OR GROUNDWATER IS DIRECTED AWAY FROM THE STRUCTURE.
4. PRIOR TO START OF CONSTRUCTION, CONTRACTOR MUST VERIFY EXISTING PAVEMENT ELEVATIONS AT INTERFACE WITH PROPOSED PAVEMENTS, AND EXISTING GROUND ELEVATIONS ADJACENT TO DRAINAGE OUTLETS TO ASSURE PROPER TRANSITIONS BETWEEN EXISTING AND PROPOSED FACILITIES. CONTRACTOR MUST NOTIFY DESIGN ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
5. ALL PROPOSED UNDERGROUND UTILITIES SERVING THE SITE AND BUILDINGS MUST BE COORDINATED WITH OWNER, ARCHITECT, AND ENGINEER PRIOR TO INSTALLATION.
6. ALL RETAINING WALLS AND STEEP SLOPES ARE SUBJECT TO FINAL STRUCTURAL DESIGN. DIPRETE ENGINEERING IS NOT PROVIDING THE STRUCTURAL DESIGN OF THESE ITEMS. ALL WALLS AND STEEP SLOPES MUST BE DESIGNED AND BUILT UNDER THE DIRECTION OF A RHODE ISLAND LICENSED PROFESSIONAL ENGINEER SUITABLY QUALIFIED IN GEOTECHNICAL ENGINEERING AND CERTIFIED TO THE OWNER PRIOR TO THE COMPLETION OF THE PROJECT. SHOP DRAWINGS MUST BE SUBMITTED PRIOR TO CONSTRUCTION. FINAL STRUCTURAL DESIGN MUST INCORPORATE THE INTENT OF THE GRADING SHOWN ON THESE PLANS AND ALL WORK MUST BE WITHIN THE LIMIT OF DISTURBANCE SHOWN ON THE PLANS.
7. ALL CUT AND FILL WORK MUST BE DONE UNDER THE DIRECTION OF A PROFESSIONAL GEOTECHNICAL ENGINEER, WITH TESTING AND CERTIFICATION PROVIDED TO THE OWNER AT THE COMPLETION OF THE PROJECT. DIPRETE ENGINEERING IS NOT PROVIDING THE FILL SPECIFICATION, GEOTECHNICAL ENGINEERING, STRUCTURAL ENGINEERING SERVICES, OR SUPERVISION AS PART OF THIS DRAWING.
8. MATERIAL STOCKPILES MUST NOT BE LOCATED IN THE RIGHT-OF-WAY, AND TRENCHES MUST NOT BE LEFT OPEN OVERNIGHT.
9. ALL EXCESS SOIL, TREES, ROCKS, BOULDERS, AND OTHER REFUSE, MUST BE DISCARDED OFF SITE IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS. STUMPS MUST BE GROUND ON SITE OR REMOVED.
10. THE SITE WILL HAVE 6" CONCRETE CURBING. SITE GRADING/CONTOURS SHOWN ON THE PLANS DO NOT NECESSARILY REFLECT THE APPROPRIATE CURBING REVEAL. CONTRACTOR MUST INSTALL CURBING WITH APPROPRIATE REVEAL UNLESS OTHERWISE NOTED.
11. NO STUMP DUMPS ARE PROPOSED ON SITE.
12. ALL DRAINAGE OUTFALLS ARE DESIGNED TO BE INSTALLED AT EXISTING GROUND ELEVATION. CONTRACTOR MUST IMMEDIATELY NOTIFY DIPRETE ENGINEERING OF ANY DISCREPANCIES WHERE EXISTING GROUND IS HIGHER THAN OUTFALL DESIGN ELEVATION. ANY RESOLUTION OF DISCREPANCIES BY THE CONTRACTOR, UNLESS AUTHORIZED IN WRITING IN ADVANCE BY THE OWNER AND DIPRETE ENGINEERING, IS DONE AT THE CONTRACTOR'S RISK.
13. CONTRACTOR MUST PROVIDE SAW CUTTING AND FULL DEPTH PAVEMENT RESTORATION IN AREAS WHERE PAVEMENT AND/OR SIDEWALK IS REMOVED FOR UTILITY INSTALLATION.
14. IF ROADWAY SURFACE PAVEMENT COURSE IS NOT TO BE INSTALLED FOR 12 MONTHS OR MORE AFTER INSTALLATION OF DRAINAGE STRUCTURES, ALL CATCH BASIN RIMS MUST BE SET AT BINDER GRADE AND RAISED TO FINAL PAVEMENT GRADE PRIOR TO PLACEMENT OF SURFACE COURSE.

DRAINAGE

- ALL DRAINAGE PIPING MUST BE HIGH-DENSITY POLYETHYLENE (HDPE) WITH WATERTIGHT JOINTS WHERE INSTALLED WITHIN THE SEASONAL HIGH GROUNDWATER TABLE, UNLESS NOTED OTHERWISE ON THE PLANS OR SPECIFICATIONS. ALL STORMWATER PIPE WITHIN THE STATE'S RIGHT-OF-WAY MUST BE REINFORCED CONCRETE PIPE (RCP).
DRAINAGE STRUCTURES MUST BE AS FOLLOWS (UNLESS OTHERWISE NOTED ON PLANS):
• CATCH BASINS ALONG CURBING: RIDOT STD. 4.4.0, TYPE F, 4" DIAMETER WITH APRON STONE
• CATCH BASINS NOT ALONG CURBING: RIDOT STD. 4.4.0, 4" DIAMETER
• CATCH BASINS MUST HAVE 3 FT SUMP WITHOUT SEEP HOLES
• SINGLE FRAME CATCH BASIN GRATES: RIDOT STD 6.3.2
• MANHOLES: RIDOT STD 4.2.0, 4.2.1 OR 4.2.2 AS REQUIRED
• DRAINAGE MANHOLE COVERS: RIDOT STD 6.2.1
• DROF INLETS: RIDOT STD 4.5.0, 4.5.1 OR 4.5.2

ALL DRAINAGE STRUCTURES MUST BE WATERTIGHT.

DRAINAGE CONNECTIONS FROM ALL YARD DRAINS (YD), AREA DRAINS (AD), TRENCH DRAINS (TD), FRENCH DRAINS (FD), WALL DRAINS (WD), AND DOWNSPUTS (DS) ARE SHOWN FOR SCHEMATIC PURPOSES ONLY. THE LEVEL OF DETAIL SHOWN DOES NOT INCLUDE ALL JOINTS THAT MAY BE REQUIRED FOR CONSTRUCTION. ALL FITTINGS AND PIPE SLOPES THAT TIE INTO MAIN TRUNK LINE MUST BE FIELD FIT BY CONTRACTOR.

SANITARY SEWER

ALL SANITARY SEWER PIPING MUST BE SDR 35 UNLESS NOTED OTHERWISE ON THE PLANS OR IN THE SPECIFICATIONS. ALL SEWER IMPROVEMENTS MUST COMPLY WITH THE TIVERTON WASTEWATER RULES AND REGULATIONS AND ANY APPLICABLE AUTHORITY HAVING JURISDICTION, INCLUDING (BUT NOT LIMITED TO) MATERIALS, DIMENSIONS AND ACCESS COVERS. CONTRACTOR MUST SUBMIT SHOP DRAWINGS FOR APPROVAL BY ENGINEER OF RECORD PRIOR TO CONSTRUCTION. ALL PIPES FROM BUILDING TO GREASE TRAP/INTERCEPTOR AND FROM GREASE TRAP/INTERCEPTOR TO THE NEXT STRUCTURE MUST BE CAST IRON AND IN ACCORDANCE WITH 284.CM.R.
WATER
ALL WATER MAINS MUST BE CEMENT LINED DUCTILE IRON PIPE (CLDIP). ALL WATER MAIN IMPROVEMENTS MUST COMPLY WITH STONE BRIDGE WATER REGULATIONS AND ANY APPLICABLE AUTHORITY HAVING JURISDICTION, INCLUDING (BUT NOT LIMITED TO) MATERIALS, DIMENSIONS AND ACCESS COVERS. CONTRACTOR TO PROVIDE SHOP DRAWINGS AND SUBMITTALS TO THE ENGINEER OF RECORD FOR APPROVAL. FOR ALL WATER IMPROVEMENTS AND APPURTENANCES INCLUDING BUT NOT LIMITED TO PIPES, VALVES, FITTINGS, HEAT ENCLOSURES, AND BACKFLOW PREVENTERS. ALL COMPONENTS OF THE WATER SYSTEM MUST BE ABSULT PER STONE BRIDGE WATER REQUIREMENTS. ALL COMPONENTS OF THE WATER SYSTEM MUST BE INSPECTED BY STONE BRIDGE WATER. CONTRACTOR MUST COORDINATE ALL IMPROVEMENTS WITH STONE BRIDGE WATER TO ENSURE INSPECTOR IS ON SITE.

ELECTRIC/TELECOM/GAS

PROPOSED GAS, ELECTRIC, CABLE AND DATA UTILITIES ARE SHOWN SCHEMATICALLY AND ARE PROPOSED TO BE SET BY THE DESIGNER. OWNER AND CONTRACTOR MUST COORDINATE FINAL DESIGN WITH APPROPRIATE UTILITY COMPANIES. ALL WORK MUST BE IN ACCORDANCE WITH EACH UTILITY COMPANY'S STANDARDS AND DETAILS AS WELL AS LOCAL AND FEDERAL REGULATIONS. THIS INCLUDES BUT IS NOT LIMITED TO POLES, TRANSFORMERS, PULL BOXES, CONCRETE PADS, CONCRETE ENCASUREMENTS AND CONDUITS. CONNECTION POINTS FOR ELECTRIC AND TELECOM UTILITIES, AT THE EXISTING INFRASTRUCTURE, ARE CURRENTLY SHOWN AS UNDERGROUND UTILITIES. THESE UTILITIES MAY BE UNDERGROUND OR OVERHEAD AND MUST BE COORDINATED WITH NATIONAL GRID PRIOR TO CONSTRUCTION.

SITE LIGHTING

SITE LIGHTING (TEMPORARY AND PERMANENT) MUST BE DIRECTED AWAY FROM AND SHIELDED FROM ENVIRONMENTALLY SENSITIVE AREAS AND ABUTTING LANDS. EXACT LOCATIONS OF LIGHT POLES MUST BE COORDINATED WITH THE APPROPRIATE UTILITIES, AND MUST BE LOCATED WITHIN THE STREET RIGHT-OF-WAY. FINAL LIGHTING AND CONDUIT LOCATIONS BY OTHERS.

AMERICANS WITH DISABILITIES ACT (ADA) NOTES:

- 1. ALL IMPROVEMENTS MUST COMPLY WITH THE "AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES" (ADAAG) BY THE US DEPARTMENT OF JUSTICE (CURRENT EDITION).
2. MAXIMUM RUNNING SLOPE ALONG ALL ACCESSIBLE PATHS OF TRAVEL MUST BE 4.5% (0.045 FT/FT), AND MAXIMUM CROSS SLOPE ACROSS ALL ACCESSIBLE PATHS OF TRAVEL MUST BE 1.5% (0.015 FT/FT).
3. ADA PARKING SPACES AND LOADING AREAS: THE STEEPEST SLOPE OF THE SPACE, MEASURED IN ANY DIRECTION (INCLUDING DIAGONALLY), MUST BE LESS THAN OR EQUAL TO 2% (0.02 FT/FT). DIPRETE ENGINEERING GENERALLY RECOMMENDS A MAXIMUM OF 1.4% (0.014 FT/FT) BE USED FOR BOTH RUNNING AND CROSS SLOPES IN ORDER TO COMPLY.
4. A MINIMUM 5'X5' LANDING MUST BE PROVIDED IN FRONT OF ALL PUBLICLY ACCESSIBLE BUILDING ENTRANCES/ EGRESSSES. THE STEEPEST SLOPE OF THE LANDING, MEASURED IN ANY DIRECTION (INCLUDING DIAGONAL), MUST BE LESS THAN OR EQUAL TO 2% (0.02 FT/FT). DIPRETE ENGINEERING GENERALLY RECOMMENDS A MAXIMUM OF 1.4% (0.014 FT/FT) BE USED FOR BOTH RUNNING AND CROSS SLOPES IN ORDER TO COMPLY.
5. FOR EVERY 6 (OR FRACTION OF 6) ADA PARKING SPACES, AT LEAST ONE MUST BE A VAN PARKING SPACE. FOR EXAMPLE, IF 7 ADA PARKING SPACES ARE REQUIRED, A MINIMUM OF 2 MUST BE VAN SPACES.
6. NOTWITHSTANDING THE NOTES LISTED ABOVE, TOWN OR STATE-SPECIFIC STANDARDS MAY BE MORE STRINGENT AND OVERLEAF IT IS THE RESPONSIBILITY OF THE USER OF THIS PLAN SET TO MAINTAIN COMPLIANCE WITH THE CONTROLLING STANDARD.
7. NOTE THAT THE GRADING/PLAN VIEWS AND DETAILS CONTAINED WITHIN THIS PLAN SET MAY NOT SHOW THE DETAIL NECESSARY TO CONSTRUCT WALKWAYS, RAMPS AND SPACES TO COMPLY WITH THE ABOVE REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE LEVEL OF CARE NECESSARY TO BE CERTAIN THAT THE CONSTRUCTED PRODUCT MEETS ADA/CONTROLLING STANDARDS. IN THE EVENT OF ANY NONCOMPLIANCE, THE CONTRACTOR MUST NOTIFY THE DESIGNER BEFORE CONSTRUCTION FOR ADVICE IN FINDING A RESOLUTION.

ABBREVIATIONS LEGEND

Table mapping abbreviations to full names. Includes ADA (Americans with Disability Act), AHJ (Authority Having Jurisdiction), ARCH (Architect), BIT (Bituminous (BERM)), BIRETENTION (Bioretention), BS (Basement Slab Elevation), BW (Finished Grade at Bottom of Wall), CB (Catch Basin), etc.

SITE CALLOUTS LEGEND

Table mapping site callout symbols to descriptions. Includes 7.3.1 (Ridot STD Precast Concrete Curb), 7.6.0 (Ridot STD Curb Setting Detail), 20.1.0 (Pavement Markings Arrows and Only), 4DY (4" Epoxy Resin Pavement Markings- Double Yellow), etc.

Table mapping ADA symbols to descriptions. Includes ADAS (ADA Space Pavement Markings Must Comply with All ADA and MUTCD Regulations and Requirements), ADAR (ADA Curb Ramp Must Comply with All ADA Regulations and Requirements), ADAY (Van ADA Space Pavement Markings Must Comply with All ADA and MUTCD Regulations and Requirements).

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT OFFICE OF WATER RESOURCES FRESHWATER WETLANDS PROGRAM

REVIEWED SITE PLAN APPLICATION #: 22-0660 DATED: MAY 16 2022 SEE LETTER OF SAME DATE

Prepared for: Nancy L. Freeman

EXISTING LEGEND

Table mapping existing features to symbols. Includes PROPERTY LINE, ASSESSORS LINE, BUILDING, BRUSHLINE, TREELINE, GUARDRAIL, FENCE, RETAINING WALL, STONE WALL, MINOR CONTOUR LINE, MAJOR CONTOUR LINE, WATER LINE, SEWER LINE, SEWER FORCE MAIN, GAS LINE, ELECTRIC LINE, OVERHEAD WIRES, DRAINAGE LINE, SOILS LINES, etc.

PROPOSED LEGEND

Table mapping proposed features to symbols. Includes PROPERTY LINE, BUILDING SETBACKS, CHAINLINK FENCE, RETAINING WALL, MINOR CONTOUR LINE, MAJOR CONTOUR LINE, SPOT ELEVATION, EDGE OF PAVEMENT, CONCRETE CURB, MONOLITHIC CONCRETE CURB AND SIDEWALK, BUILDING FOOTPRINT, BUILDING OVERHANG, ASPHALT PAVEMENT, HEAVY DUTY ASPHALT PAVEMENT, HEAVY DUTY CONCRETE, CONCRETE, SAWCUT LINE, SIGN, SINGLE LIGHT, DOUBLE LIGHT, OVERHANGING LIGHT, ACCESSIBLE PARKING SPACE SYMBOLS, BUILDING INGRESS/EGRESS, DRAINAGE LINE, PERFORATED UNDERDRAIN, SWALE, GAS LINE, WATER LINE, HYDRANT ASSEMBLY, WATER SHUT OFF, WATER VALVE, THRUST BLOCK, SEWER LINE, OVERHEAD WIRE, ELECTRIC, TELEPHONE, CABLE LINE, LIMIT OF DISTURBANCE/ LIMIT OF CLEARING, SEDIMENTATION BARRIER, SILT FENCE (RIDOT STD 9.2.0), COMPOST SOCK OR APPROVED EQUAL, SLOPES STEEPER THAN 3:1 (2:1 OR 1:1 SLOPES), UNDERGROUND STORMWATER SYSTEM OUTLINE, POND ACCESS, FOCAL POINT, CATCH BASIN, DOUBLE CATCH BASIN, MANHOLE.

UTILITY NOTE:

ALL UNDERGROUND UTILITIES SHOWN ON THESE PLANS WERE PROVIDED BY OTHERS AND ARE APPROXIMATE ONLY. LOCATIONS MUST BE DETERMINED IN THE FIELD BEFORE EXCAVATION, BLASTING, UTILITY INSTALLATION, BACKFILLING, GRADING, PAVEMENT RESTORATION, AND ALL OTHER SITE WORK. ALL UTILITY COMPANIES, PUBLIC AND PRIVATE, MUST BE CONTACTED INCLUDING THOSE IN CONTROL OF UTILITIES NOT SHOWN ON THESE DOCUMENTS. CONTACT DIG SAFE A MINIMUM OF 72 WORKING HOURS PRIOR TO ANY CONSTRUCTION AT 811. DIG SAFE IS RESPONSIBLE FOR CONTACTING MEMBER UTILITY COMPANIES. DIG SAFE MEMBER UTILITY COMPANIES ARE RESPONSIBLE TO MARK ONLY THE FACILITIES THAT THEY OWN OR MAINTAIN. NON DIG SAFE MEMBER COMPANIES ARE NOT NOTIFIED BY DIG SAFE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INVESTIGATE AND NOTIFY IF ANY PRIVATELY OWNED OR NON DIG SAFE MEMBER UTILITIES ARE IN THE AREA.
PER THE CODE OF FEDERAL REGULATIONS - TITLE 29, PART 1926 IT IS THE SITE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ACCURATE UNDERGROUND UTILITY LINE LOCATIONS FROM THE UTILITY COMPANIES, UTILITY OWNERS AND, OR VIA UNDERGROUND UTILITY LOCATION EQUIPMENT AS NEEDED TO ESTABLISH ACCURATE LOCATIONS PRIOR TO ANY EXCAVATION. THE USE OF PROFESSIONAL UTILITY LOCATION COMPANIES PRIOR TO ANY EXCAVATION IS RECOMMENDED.
DIPRETE ENGINEERING IS NOT A PROFESSIONAL UTILITY LOCATION COMPANY, AND IS NOT RESPONSIBLE FOR UNDERGROUND UTILITIES, DEPICTED OR NOT, EITHER IN SERVICE OR ABANDONED. ANY SIZES, LOCATIONS, EXISTENCE, OR LACK OF EXISTENCE OF UTILITIES SHOWN ON THESE PLANS SHOULD BE CONSIDERED APPROXIMATE UNTIL VERIFIED BY A PROFESSIONAL UTILITY LOCATION COMPANY. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED.

Diprete Engineering logo and contact information: Two Stafford Court, Cranston, RI 02926, Tel: 401-943-6000, Fax: 401-664-0000, www.diprete-eng.com

Professional Engineer stamp for Leonard R. Bradley, No. 6610, Registered Professional Engineer Civil.

RI Environmental Management Office of Water Resources stamp dated APR 12 2022.

UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.




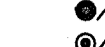



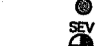

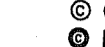
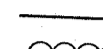
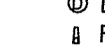
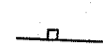
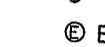

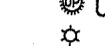








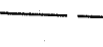

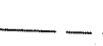

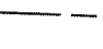









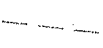

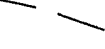








Table with columns: No., Date, Description, Drawn By, N.D.K., Checked By, N.D.K., In Charge, N.D.K.

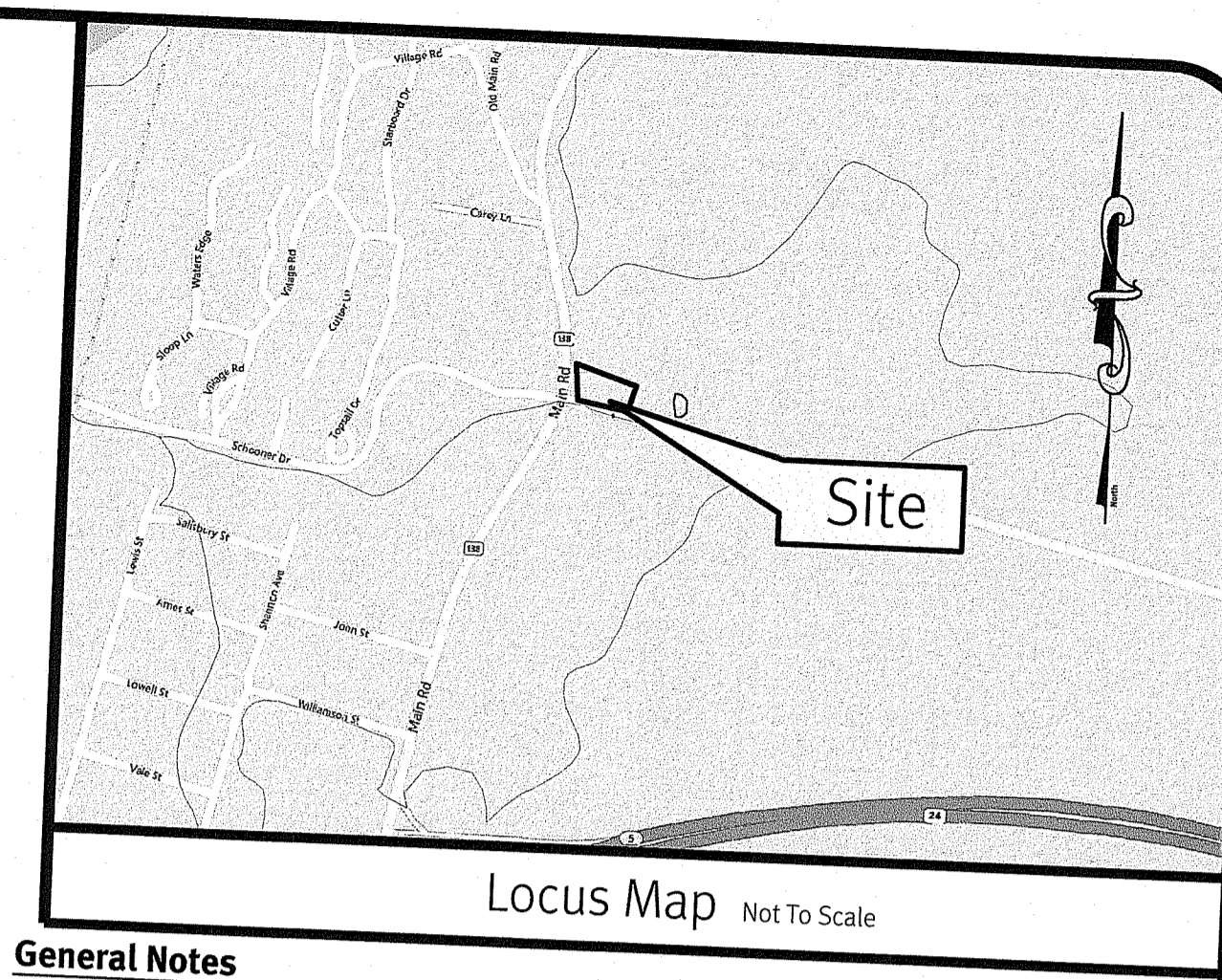
GENERAL NOTES & LEGEND SEASONS CORNER MARKET TIVERTON, RHODE ISLAND COLBEA ENTERPRISES, LLC 2050 PLAINFIELD PIKE CRANSTON, RHODE ISLAND 02921 TEL: 401-943-6005 FAX: 401-943-5309

Utility Notes

- ALL EXISTING UTILITIES DEPICTED ARE SHOWN ACCORDANCE WITH UTILITY QUALITY LEVEL C AS DEFINED IN C/ASCE STANDARD 38-02 (STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA), LATEST REVISION.
- ALL EXISTING UNDERGROUND UTILITIES SHOWN WERE PROVIDED BY OTHERS AND ARE APPROXIMATE ONLY. LOCATIONS MUST BE DETERMINED IN THE FIELD BEFORE EXCAVATION, BLASTING, UTILITY INSTALLATION, BACKFILLING, GRADING, PAVEMENT RESTORATION, AND ALL OTHER SITE WORK. ALL UTILITY COMPANIES, PUBLIC AND PRIVATE, MUST BE CONTACTED INCLUDING THOSE IN CONTROL OF UTILITIES NOT SHOWN ON THESE DOCUMENTS. CONTACT DIG SAFE A MINIMUM OF 72 WORKING HOURS PRIOR TO ANY CONSTRUCTION AT 811. DIG SAFE IS RESPONSIBLE FOR CONTACTING MEMBER UTILITY COMPANIES. DIG SAFE MEMBER UTILITY COMPANIES ARE RESPONSIBLE TO MARK ONLY THE FACILITIES THAT THEY OWN OR MAINTAIN. NON DIG SAFE MEMBER COMPANIES ARE NOTIFIED BY DIG SAFE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INVESTIGATE AND NOTIFY IF ANY PRIVATELY OWNED OR NON DIG SAFE MEMBER UTILITIES ARE IN THE AREA.
- PER THE CODE OF FEDERAL REGULATIONS - TITLE 29, PART 1926 IT IS THE SITE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ACCURATE UNDERGROUND UTILITY LINE LOCATIONS FROM THE UTILITY COMPANIES, UTILITY OWNERS AND, OR VIA UNDERGROUND UTILITY LOCATION EQUIPMENT AS NEEDED TO ESTABLISH ACCURATE LOCATIONS PRIOR TO ANY EXCAVATION. THE USE OF PROFESSIONAL UTILITY LOCATING COMPANIES PRIOR TO ANY EXCAVATION IS RECOMMENDED.
- DIPRETE ENGINEERING IS NOT A PROFESSIONAL UTILITY LOCATION COMPANY, AND IS NOT RESPONSIBLE FOR UNDERGROUND UTILITIES DEPICTED OR NOT, EITHER IN SERVICE OR ABANDONED. ANY SIZES, LOCATIONS, EXISTENCE, OR LACK OF EXISTENCE OF UTILITIES SHOWN ON THESE PLANS SHOULD BE CONSIDERED APPROXIMATE UNTIL VERIFIED BY A PROFESSIONAL UTILITY LOCATION COMPANY. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED.
- UTILITY PLAN REFERENCES
 - WATER INFORMATION OBTAINED FROM PLAN REFERENCE 1
 - SEWER INFORMATION OBTAINED FROM MOUNT HOPE BAY SEWER ASBUILT PLAN BY CIVIL ENGINEERING CONCEPTS, INC DATED OCTOBER 29, 2009
 - GAS INFORMATION OBTAINED FROM NATIONAL GRID GIS MAP
 - DRAINAGE INFORMATION OBTAINED ON THE GROUND BY DIPRETE ENGINEERING. (SEE GENERAL NOTES FOR DATE OF FIELD SURVEY)

Legend
NOT ALL ITEMS SHOWN WILL APPEAR ON THE SURVEY

	ASSESSOR'S PLAT		NAIL FOUND/SET
	NOW OR FORMERLY DEED		DRILL HOLE FOUND/SET
	MEASURED		IRON ROD/PIPE FOUND/SET
	CHORD ANGLE		BOUND FOUND/SET
	HANDICAPPED		SIGN
	PROPERTY LINE		BOLLARD
	ASSESSORS LINE		SOIL EVALUATION
	TREELINE		CATCH BASIN
	GUARDRAIL		DOUBLE CATCH BASIN
	RETAINING WALL		DRAINAGE MANHOLE
	STONE WALL		FLARED END SECTION
	MINOR CONTOUR LINE		GUY POLE
	MAJOR CONTOUR LINE		ELECTRIC MANHOLE/HANDHOLE
	WATER LINE		UTILITY/POWER POLE
	SEWER LINE		LIGHTPOST
	SEWER FORCE MAIN		SEWER/SEPTIC MANHOLE
	GAS LINE		SEWER VALVE
	ELECTRIC LINE		CLEANOUT
	OVERHEAD WIRES		HYDRANT
	DRAINAGE LINE		IRRIGATION VALVE
			WATER VALVE
			WELL
			MONITORING WELL
			UNKNOWN MANHOLE
			GAS VALVE
			WETLAND FLAG
			BENCH MARK
			SHRUB
			TREE



General Notes

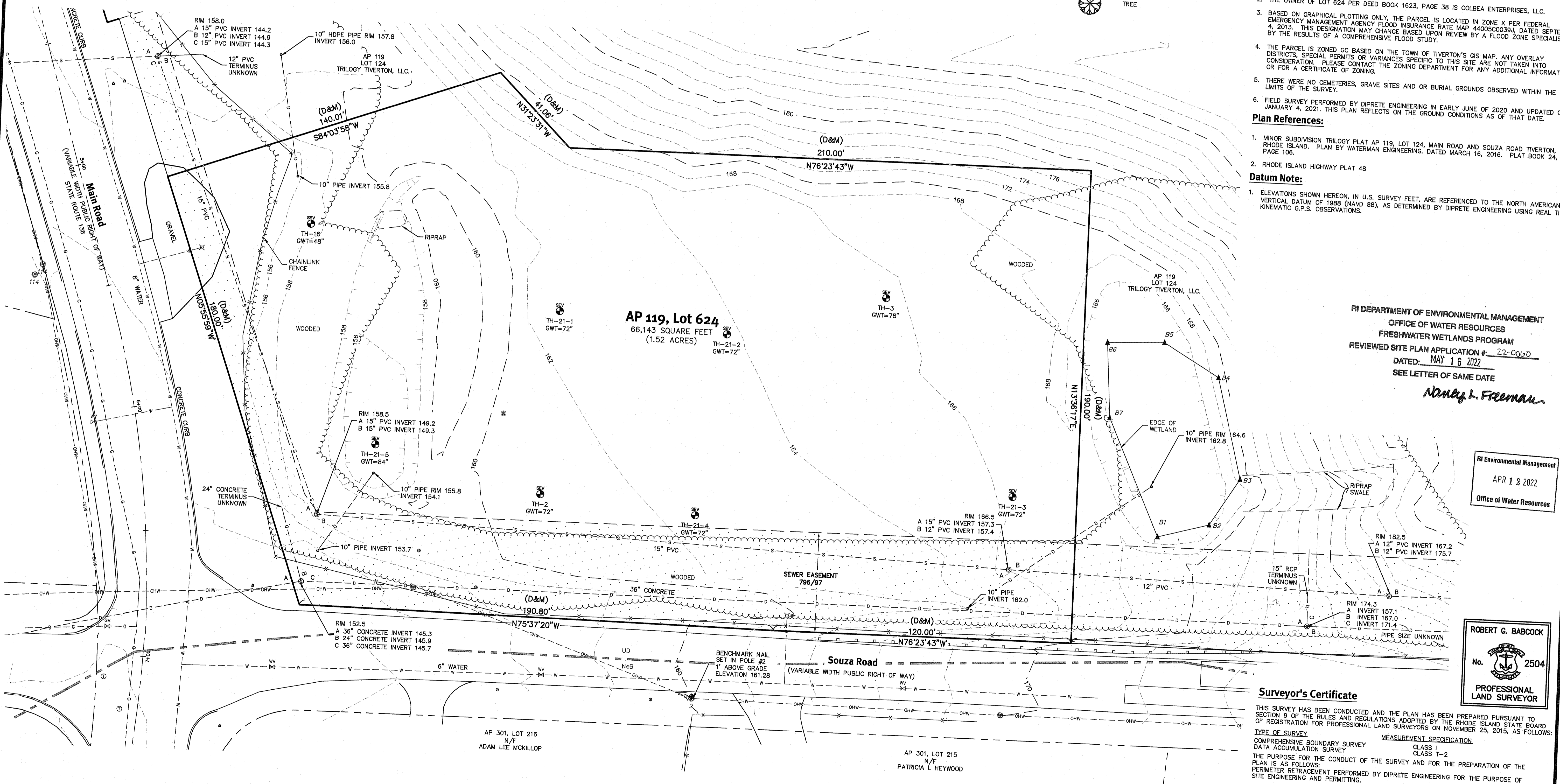
- THE PARCEL IS FOUND ON ASSESSOR'S PLAT 119, LOT 624 IN THE TOWN OF TIVERTON, NEWPORT COUNTY, RHODE ISLAND.
- THE OWNER OF LOT 624 PER DEED BOOK 1623, PAGE 38 IS COLBEA ENTERPRISES, LLC.
- BASED ON GRAPHICAL PLOTTING ONLY, THE PARCEL IS LOCATED IN ZONE X PER FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP 4405050039J, DATED SEPTEMBER 4, 2013. THIS DESIGNATION MAY CHANGE BASED UPON REVIEW BY A FLOOD ZONE SPECIALIST OR BY THE RESULTS OF A COMPREHENSIVE FLOOD STUDY.
- THE PARCEL IS ZONED GC BASED ON THE TOWN OF TIVERTON'S GIS MAP. ANY OVERLAY DISTRICTS, SPECIAL PERMITS OR VARIANCES SPECIFIC TO THIS SITE ARE NOT TAKEN INTO CONSIDERATION. PLEASE CONTACT THE ZONING DEPARTMENT FOR ANY ADDITIONAL INFORMATION OR FOR A CERTIFICATE OF ZONING.
- THERE WERE NO CEMETERIES, GRAVE SITES AND OR BURIAL GROUNDS OBSERVED WITHIN THE LIMITS OF THE SURVEY.
- FIELD SURVEY PERFORMED BY DIPRETE ENGINEERING IN EARLY JUNE OF 2020 AND UPDATED ON JANUARY 4, 2021. THIS PLAN REFLECTS ON THE GROUND CONDITIONS AS OF THAT DATE.

Plan References:

- MINOR SUBDIVISION TRILOGY PLAT AP 119, LOT 124, MAIN ROAD AND SOUZA ROAD TIVERTON, RHODE ISLAND. PLAN BY WATERMAN ENGINEERING. DATED MARCH 16, 2016. PLAT BOOK 24, PAGE 106.
- RHODE ISLAND HIGHWAY PLAT 48

Datum Note:

- ELEVATIONS SHOWN HEREON, IN U.S. SURVEY FEET, ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88), AS DETERMINED BY DIPRETE ENGINEERING USING REAL TIME KINEMATIC G.P.S. OBSERVATIONS.



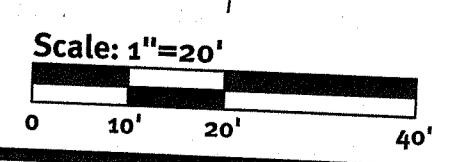
RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
REVIEWED SITE PLAN APPLICATION #: 22-2060
DATED: MAY 16 2022
SEE LETTER OF SAME DATE
Nancy L. Freeman

RI Environmental Management
APR 12 2022
Office of Water Resources

ROBERT G. BABCOCK
No. 2504
PROFESSIONAL LAND SURVEYOR

Surveyor's Certificate

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:
TYPE OF SURVEY: COMPREHENSIVE BOUNDARY SURVEY
MEASUREMENT SPECIFICATION: CLASS T-2
THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS:
PERIMETER RETRACEMENT PERFORMED BY DIPRETE ENGINEERING FOR THE PURPOSE OF SITE ENGINEERING AND PERMITTING.



Robert G. Babcock
ROBERT G. BABCOCK, RIPLS #2504, COA #S.000A160
1/19/22

Diprete Engineering
Two Stafford Court Cranston, RI 02910
tel: 401-949-1000 fax: 401-946-6006 www.diprete-eng.com
Boston • Providence • Newport

LEONARD R. BRADLEY
No. 6610
REGISTERED PROFESSIONAL ENGINEER CIVIL

THIS PLAN SET AND ALL INFORMATION CONTAINED HEREON IS THE PROPERTY OF DIPRETE ENGINEERING, INC. AND IS LOANED TO YOU FOR YOUR CONSTRUCTION PURPOSES ONLY. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF DIPRETE ENGINEERING, INC. THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE MEASUREMENTS AND CALCULATIONS SHOWN ON THIS PLAN. DIPRETE ENGINEERING, INC. ASSUMES NO LIABILITY FOR ANY ERRORS OR OMISSIONS IN THIS PLAN. ONLY DIPRETE ENGINEERING, INC. IS AUTHORIZED TO MAKE ANY CHANGES TO THIS PLAN. SEE UTILITY NOTES ON LOCATIONS OF EXISTING UTILITIES.

NO.	DATE	DESCRIPTION	BY
1	05-11-2022	FIELD SURVEY	N.D.K.
2	05-23-2022	PLAN SUBMISSION	N.D.K.
3	05-23-2022	REVISION	N.D.K.
4	05-23-2022	REVISION	N.D.K.
5	05-23-2022	REVISION	N.D.K.
6	05-23-2022	REVISION	N.D.K.
7	05-23-2022	REVISION	N.D.K.
8	05-23-2022	REVISION	N.D.K.
9	05-23-2022	REVISION	N.D.K.
10	05-23-2022	REVISION	N.D.K.

EXISTING ANALYSIS PLAN
SEASONS CORNER MARKET
ASSESSOR'S PLAT 119 LOT 624
TIVERTON, RHODE ISLAND
PREPARED FOR:
COLBEA ENTERPRISES, LLC
2050 PLAINFIELD PIKE, CRANSTON, RHODE ISLAND
02921 TEL: 401-943-1005 FAX: 401-943-5509
© 2022 BY DIPRETE ENGINEERING ASSOCIATES, INC.

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 REVIEWED SITE PLAN APPLICATION #: 22-00160
 DATED: MAY 16 2022
 SEE LETTER OF SAME DATE

Nancy L. Freeman

DEVELOPMENT DATA:

TOTAL SITE AREA: 1.524 ACRES
 TOTAL NUMBER OF BUILDINGS: 1
 TOTAL LOT AREA: 1.52 ACRES

DIMENSIONAL REGULATIONS:

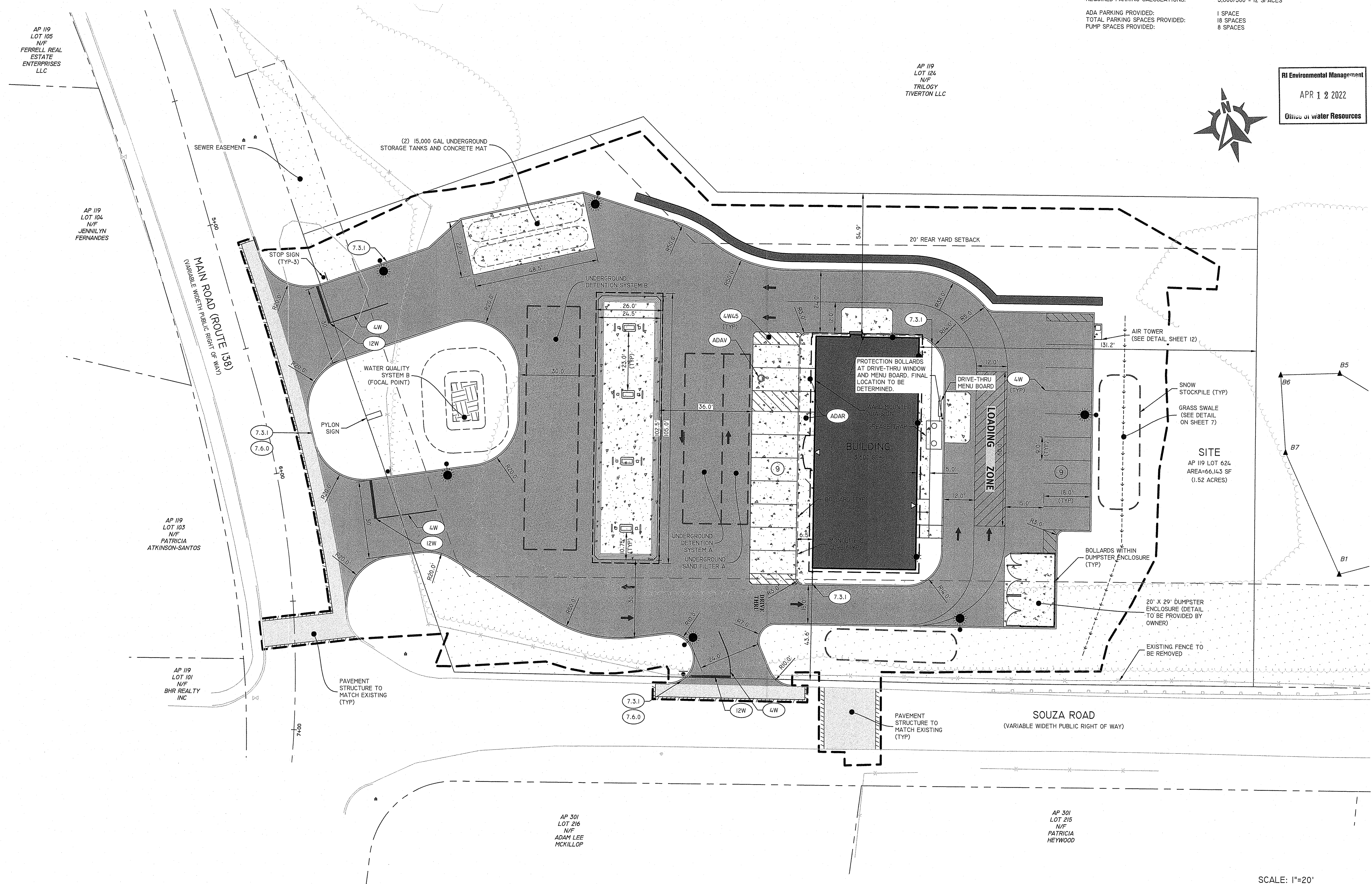
CURRENT ZONING:	GENERAL COMMERCIAL (GC) REQUIRED	PROVIDED
MINIMUM LOT AREA:	12,000 SF	66,143 SF
MINIMUM FRONTAGE AND LOT WIDTH:	100'	180'
MINIMUM FRONT YARD:	0'	43.6'
MINIMUM SIDE YARD:	0'-20'	131.2'
MINIMUM REAR YARD:	20'	54.9'
MINIMUM SIGN SETBACK:	0'	0'
MAXIMUM STRUCTURE HEIGHT:	50'	<50'
MAXIMUM BUILDING COVERAGE:	50%	9.6%**
MAXIMUM LOT COVERAGE:	-	59.1%

*MINIMUM SET BACK ALONG STREET IS 0 FEET; MINIMUM SETBACK WHERE SIDE YARD ABUTS A RESIDENTIAL ZONE IS 20 FEET; MINIMUM SETBACK BETWEEN COMMERCIAL LOTS MUST MEET ALL APPLICABLE BUILDING CODES AS WELL AS THE UNIFORM FIRE CODE OF RI.
 **INCLUDES BUILDING AND CANOPY

PARKING REGULATIONS:

PARKING USE:	RETAIL AND SERVICE BUSINESS
PARKING REQUIREMENT:	1 SPACE PER 300 SF (GFA)
ADA PARKING REQUIRED:	1 SPACE
BUILDING SQUARE FOOTAGE (GFA):	3,600 SF
REQUIRED PARKING CALCULATIONS:	3,600/300 = 12 SPACES
ADA PARKING PROVIDED:	1 SPACE
TOTAL PARKING SPACES PROVIDED:	18 SPACES
PUMP SPACES PROVIDED:	8 SPACES

RI Environmental Management
 APR 12 2022
 Office of Water Resources



LEONARD R. BRADLEY, JR.
 No. 6610
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL

THIS PLAN IS NOT TO BE USED FOR CONSTRUCTION PURPOSES UNLESS IT IS APPROVED BY THE RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT. A REGISTERED PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING HAS REVIEWED THIS PLAN AND WARRANTS THAT IT COMPLIES WITH ALL APPLICABLE REGULATIONS AND STANDARDS. THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE MEANS, METHODS, TECHNIQUES, PROCEDURES, AND SEQUENCES OF CONSTRUCTION IN THE FIELD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AGENCIES. EXISTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE AND NOT TO BE RELIED UPON. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES. SEE UTILITY NOTE ON SHEETS 1 THROUGH 12.

NO.	DATE	DESCRIPTION	BY:
0	04-11-2022	PRELIMINARY PLAN SUBMISSION	N.D.K.
1	05-12-2022	PERMITS PLAN SUBMISSION	N.D.K.
2	05-12-2022	PERMITS PLAN SUBMISSION	N.D.K.

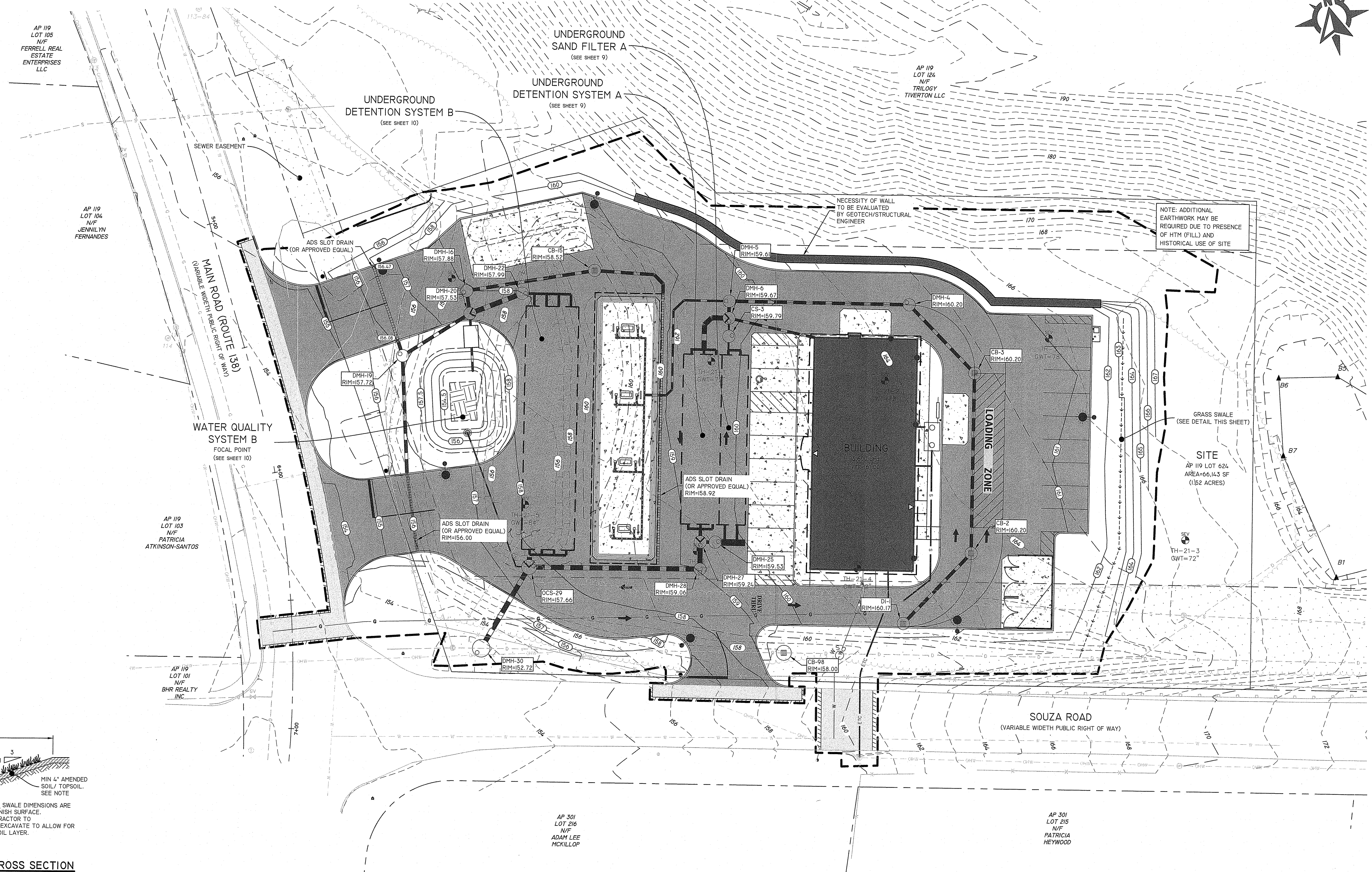
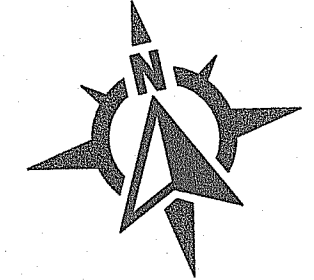
DESIGN BY: N.D.K.
 DRAWN BY: N.D.K.

SITE LAYOUT PLAN
 SEASONS CORNER MARKET
 ASSESSOR'S PLAT 119 LOT 624
 TIVERTON, RHODE ISLAND
 PREPARED FOR:
 COLBEA ENTERPRISES, LLC
 2050 PLAINFIELD PIKE, CRANSTON, RHODE ISLAND
 02921 TEL: 401-943-1005 FAX: 401-943-5309

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 REVIEWED SITE PLAN APPLICATION #: 22-0060
 DATED: MAY 16 2022
 SEE LETTER OI

Adam L. Freeman

RI Environmental Management
 APR 12 2022
 Office of Water Resources

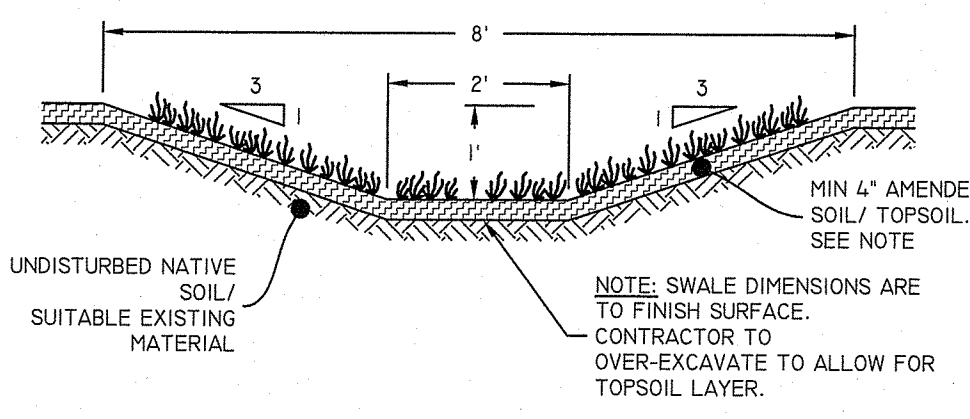


NOTE: ADDITIONAL EARTHWORK MAY BE REQUIRED DUE TO PRESENCE OF HTM (FILL) AND HISTORICAL USE OF SITE

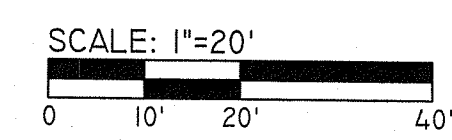
NECESSITY OF WALL TO BE EVALUATED BY GEOTECH/STRUCTURAL ENGINEER

WATER QUALITY SYSTEM B FOCAL POINT (SEE SHEET 10)

SITE AP 119 LOT 024 AREA=66,143 SF (152 ACRES)



GRASS SWALE (WIDE BOTTOM) CROSS SECTION
 NOT TO SCALE



Diprete Engineering
 Two Stafford Court, Cranston, RI 02920
 tel 401-943-1000 fax 401-464-6006 www.diprete-eng.com

LEONARD R. BRADLEY
 No. 6610
 REGISTERED PROFESSIONAL ENGINEER CIVIL

UNLESS OTHERWISE SPECIFIED, ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT'S STANDARD SPECIFICATIONS FOR CONSTRUCTION AND STANDARD SPECIFICATIONS FOR PROFESSIONAL ENGINEERING OF DIPRETE ENGINEERING.

DIPRETE ENGINEERING ONLY WARRANTS PLANS ON A DIPRETE ENGINEERING TITLE BLOCK STAMPED BY REGISTERED PROFESSIONAL ENGINEER. DIPRETE ENGINEERING DOES NOT WARRANT PLANS BY ANY OTHER PARTY. THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE MEANS, METHODS, MATERIALS, AND EQUIPMENT USED IN THE IMPLEMENTATION OF THIS PLAN AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND ANY OTHER AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND ANY OTHER AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND ANY OTHER AGENCIES.

NO.	DATE	DESCRIPTION	BY:	DATE
0	05-11-2022	WETLAND DELIC SUBMISSION	N.D.K.	
1	05-13-2022	FISHING HOLE SUBMISSION	N.D.K.	
2				
3				

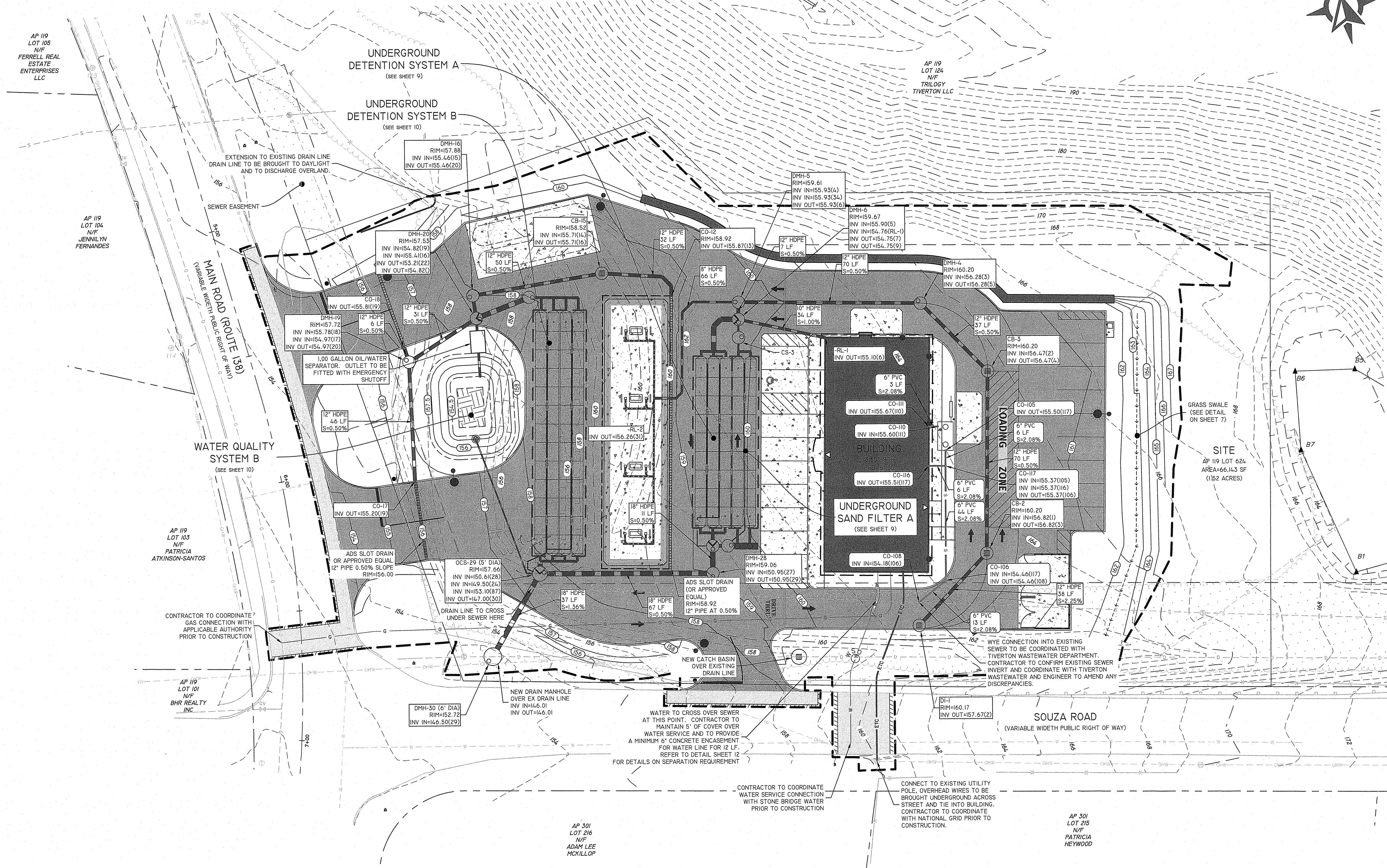
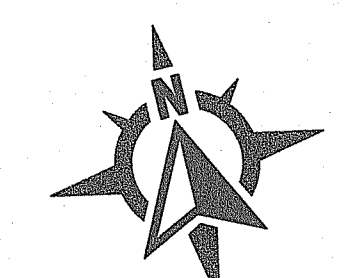
DESIGN BY: N.D.K.
 DRAWN BY: N.D.K.

GRADING & SURFACE DRAINAGE PLAN
SEASONS CORNER MARKET
 ASSESSOR'S PLAT 10 LOT 624
 TIVERTON, RHODE ISLAND

PREPARED FOR:
COLBEA ENTERPRISES, LLC
 2050 PLAINFIELD PIKE, CRANSTON, RHODE ISLAND
 02921 TEL 401-942-1005 FAX 401-943-5309

DE JOB NO. 2546707 COPYRIGHT 2022 BY DIPRETE ENGINEERING ASSOCIATES, INC.

Nancy L. Freeman

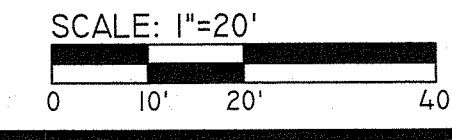


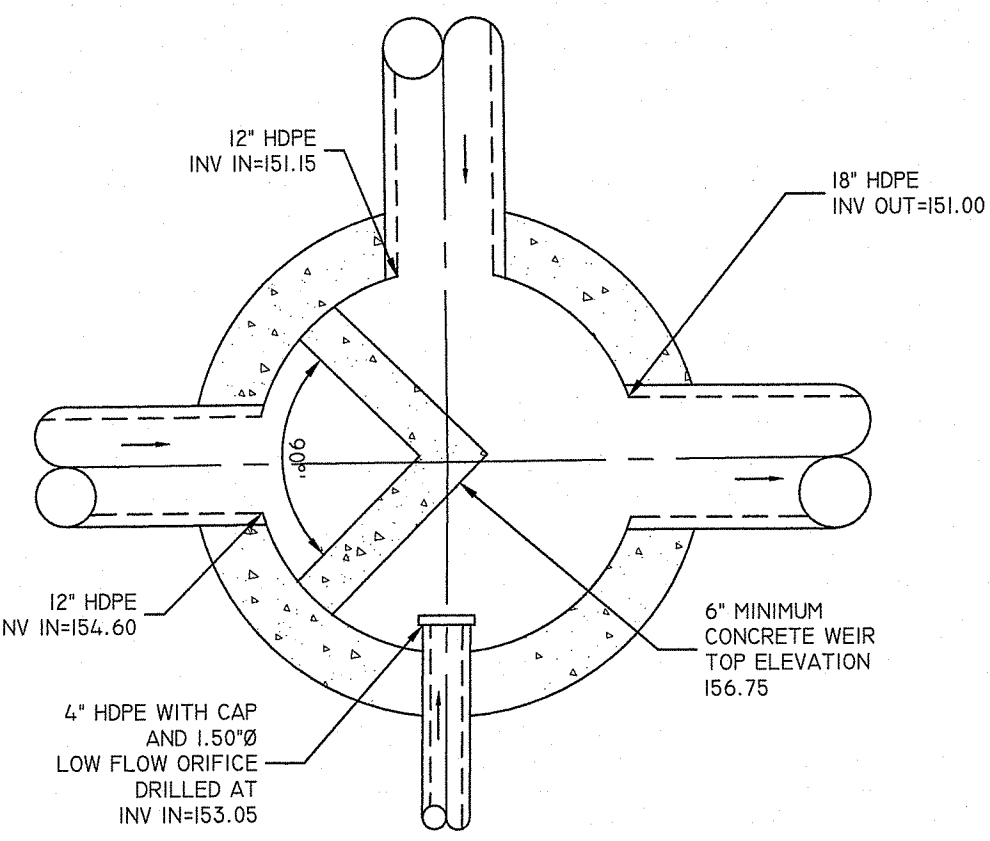
LEONARD R. BRADLEY
 No. 6610
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL

THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS IT IS APPROVED BY A REGISTERED PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING.
 THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE MEANS, METHODS, SAFETY PRECAUTIONS AND REQUIREMENTS, AND OTHER NECESSARY DETAILS IN THE PERFORMANCE OF THIS CONSTRUCTION DESIGN.
 EXISTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE AND DAMAGES INCURRED DUE TO LOCATION OF EXISTING UTILITIES ARE NOT THE RESPONSIBILITY OF DIPRETE ENGINEERING.

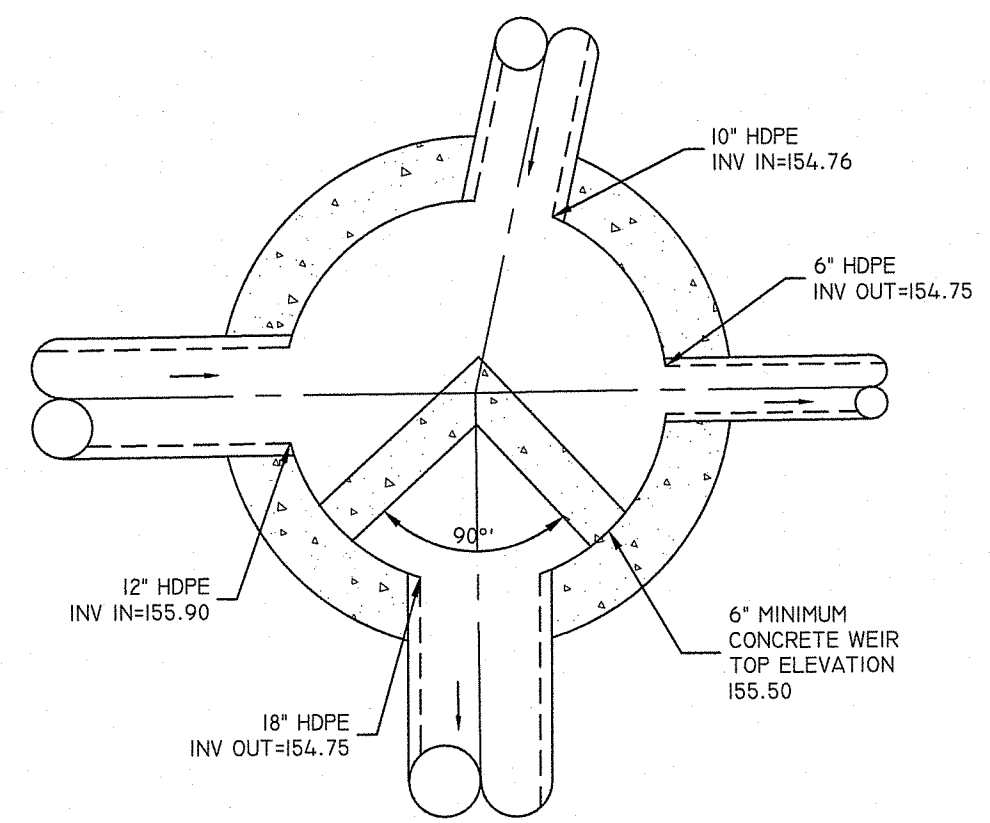
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2	04/12/2022	REVISION	N.D.K.
3	04/12/2022	REVISION	N.D.K.
4	04/12/2022	REVISION	N.D.K.
5	04/12/2022	REVISION	N.D.K.
6	04/12/2022	REVISION	N.D.K.
7	04/12/2022	REVISION	N.D.K.
8	04/12/2022	REVISION	N.D.K.
9	04/12/2022	REVISION	N.D.K.
10	04/12/2022	REVISION	N.D.K.
11	04/12/2022	REVISION	N.D.K.
12	04/12/2022	REVISION	N.D.K.
13	04/12/2022	REVISION	N.D.K.
14	04/12/2022	REVISION	N.D.K.
15	04/12/2022	REVISION	N.D.K.
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19	04/12/2022	REVISION	N.D.K.
20	04/12/2022	REVISION	N.D.K.
21	04/12/2022	REVISION	N.D.K.
22	04/12/2022	REVISION	N.D.K.
23	04/12/2022	REVISION	N.D.K.
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98	04/12/2022	REVISION	N.D.K.
99	04/12/2022	REVISION	N.D.K.
100	04/12/2022	REVISION	N.D.K.

DESIGNED BY: N.D.K.
 DRAWN BY: N.D.K.
 PREPARED FOR:
 SEASONS CORNER MARKET
 TIVERTON, RHODE ISLAND
 ASSESSOR'S PLAT 19 LOT 624
 TIVERTON, RHODE ISLAND
 PREPARED BY:
 COLBEA ENTERPRISES, LLC
 2050 PLAINFIELD PIKE, CRANSTON, RHODE ISLAND
 02921 TEL: 401-943-1000 FAX: 401-943-5309
 SEE JOB NO. 806-001 COPYRIGHT 2022 BY DIPRETE ENGINEERING ASSOCIATES, INC.

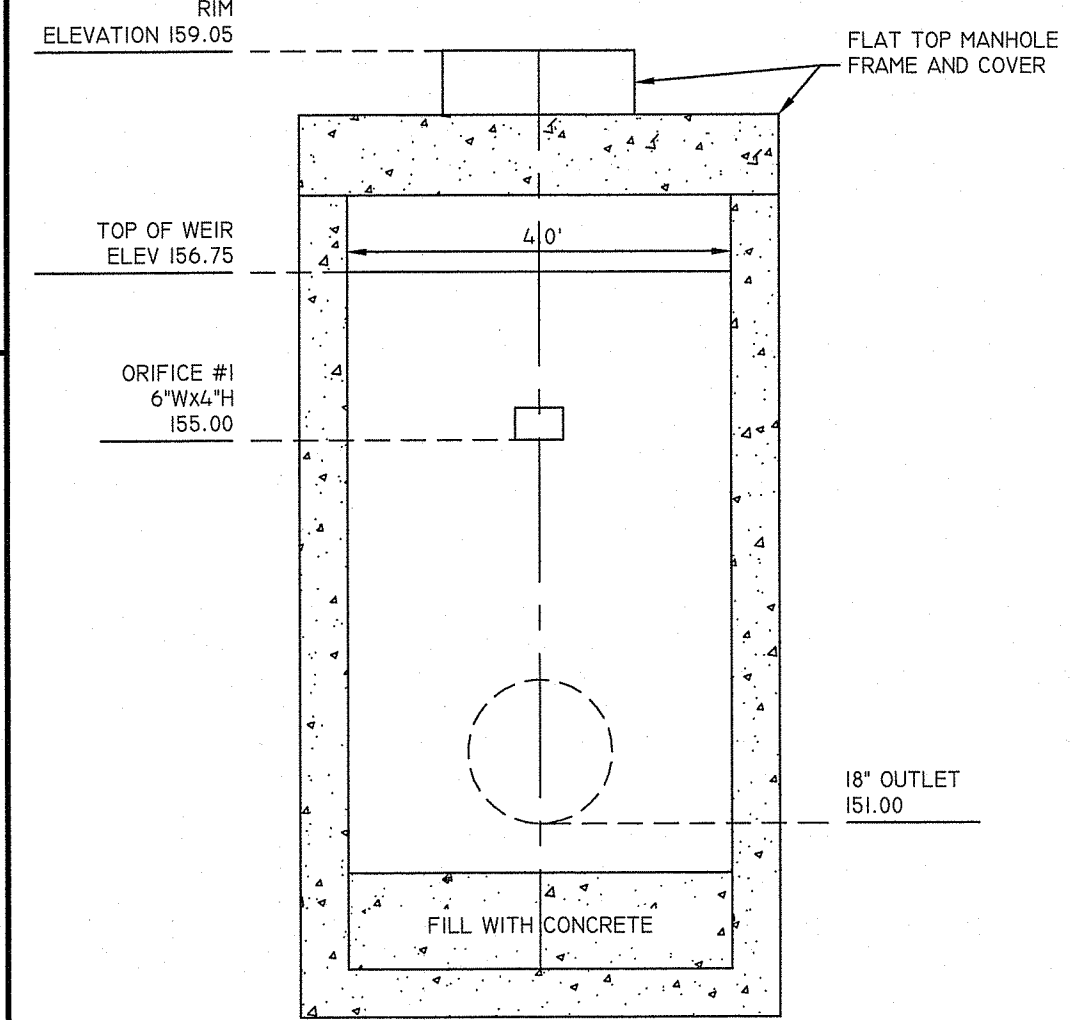




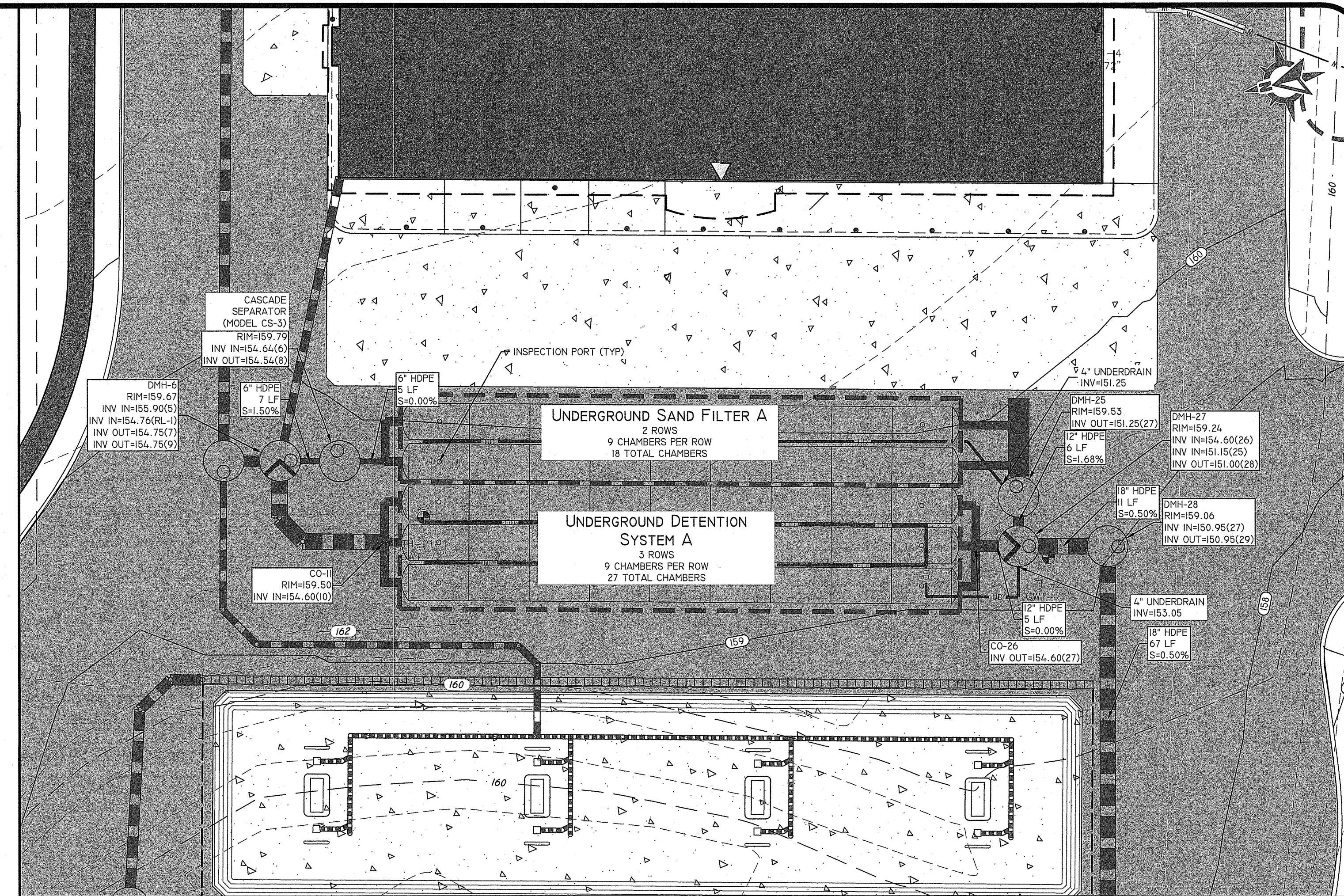
OCS-27 (4' Ø MANHOLE)
SCALE: 1"=2'



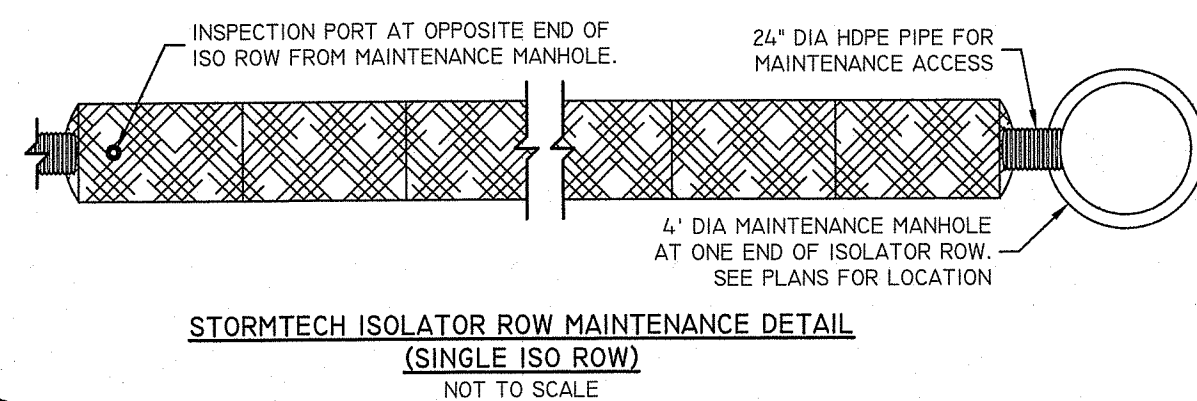
DMH-6 (4' Ø MANHOLE)
SCALE: 1"=2'



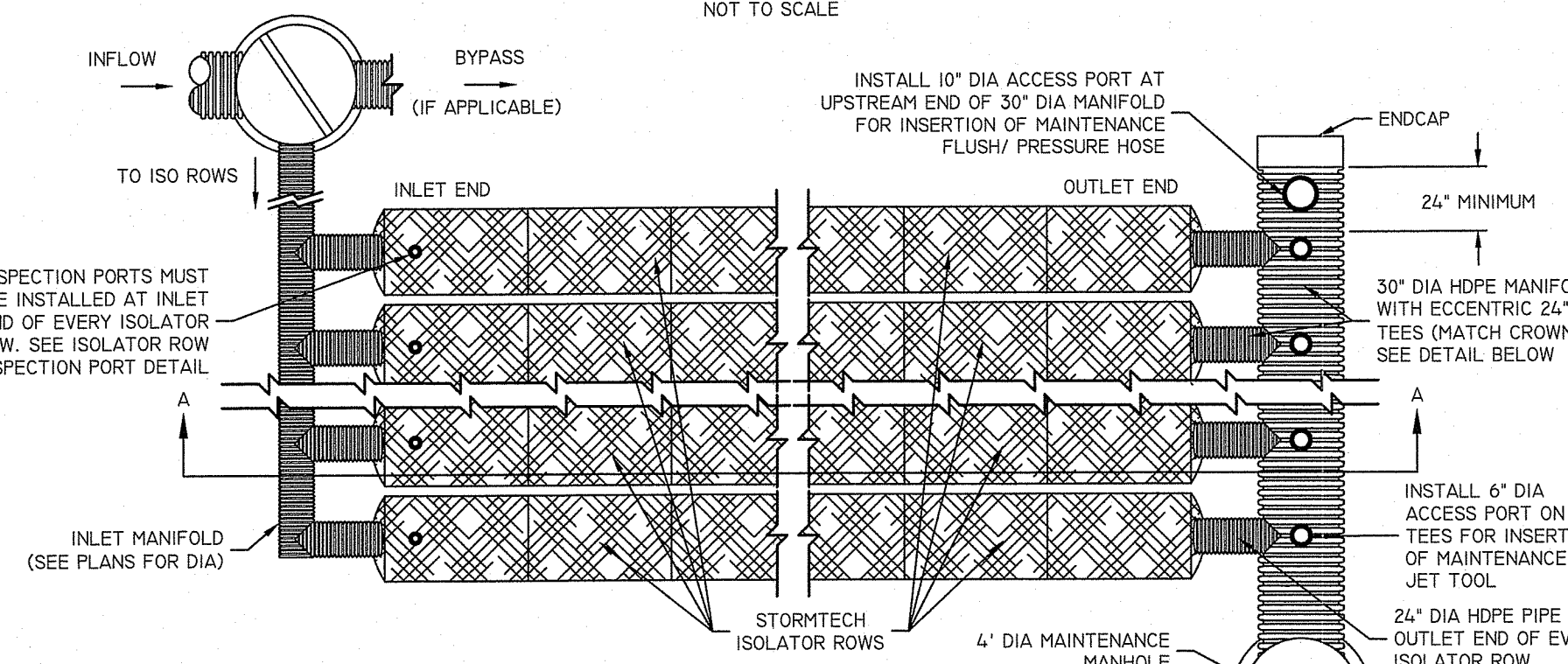
OUTLET CONTROL STRUCTURE
4' DIAMETER MANHOLE (OCS-27)
SCALE: 1"=2'



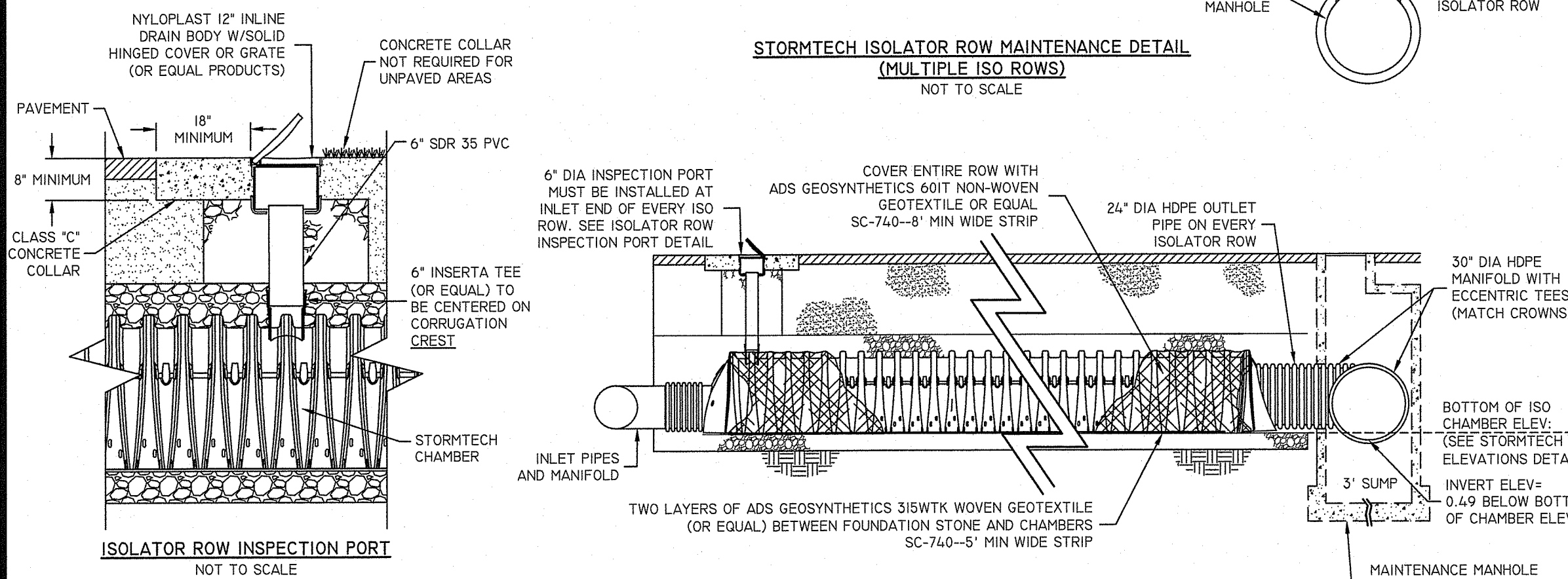
UNDERGROUND STORMTECH SYSTEM A
SCALE: 1"=10'



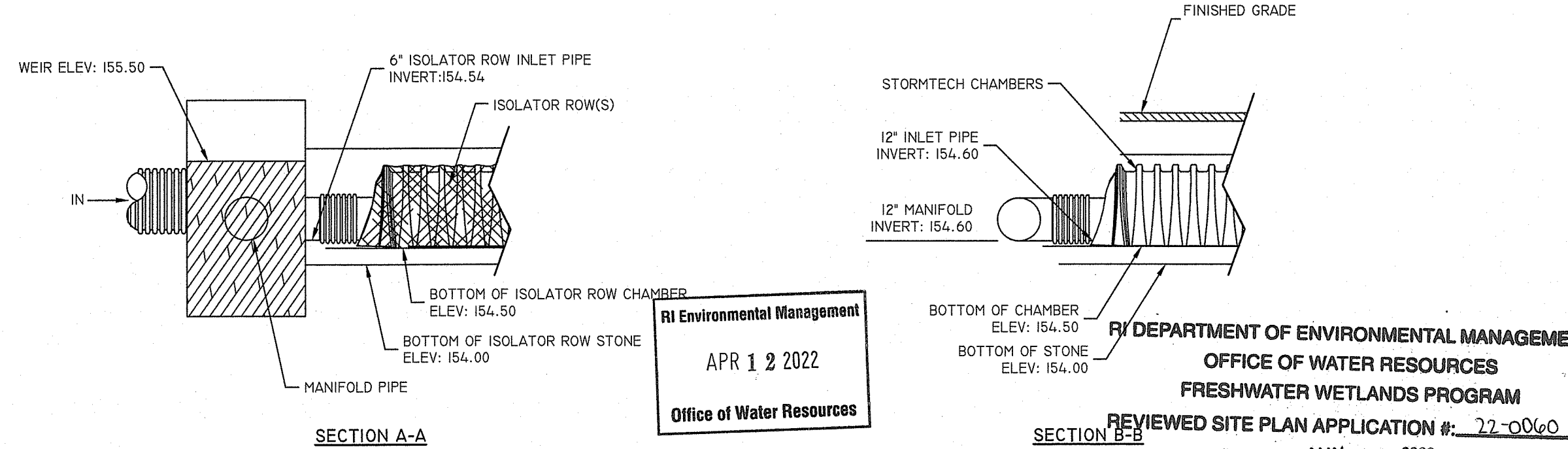
STORMTECH ISOLATOR ROW MAINTENANCE DETAIL
(SINGLE ISO ROW)
NOT TO SCALE



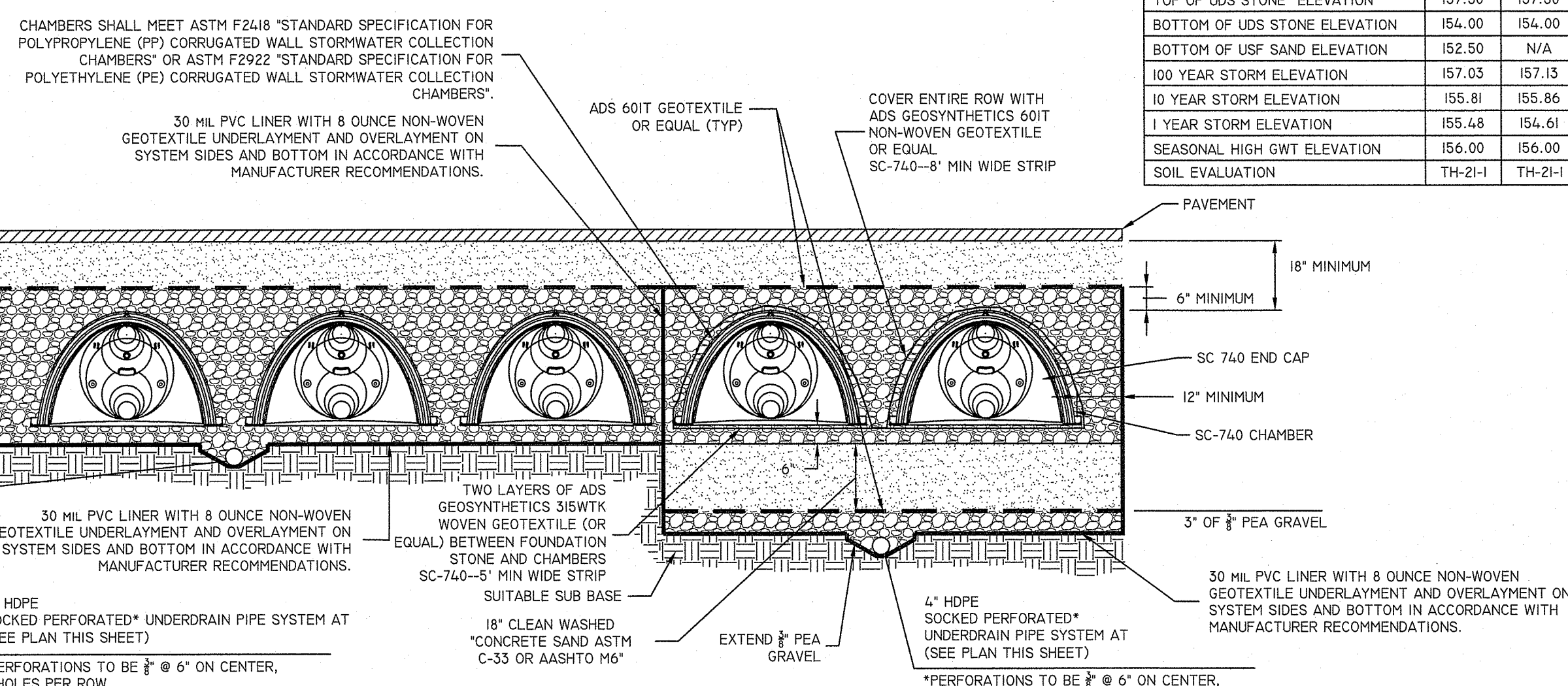
STORMTECH ISOLATOR ROW MAINTENANCE DETAIL
(MULTIPLE ISO ROWS)
NOT TO SCALE



STORMTECH ISOLATOR ROW DETAIL (SC-740)
NOT TO SCALE

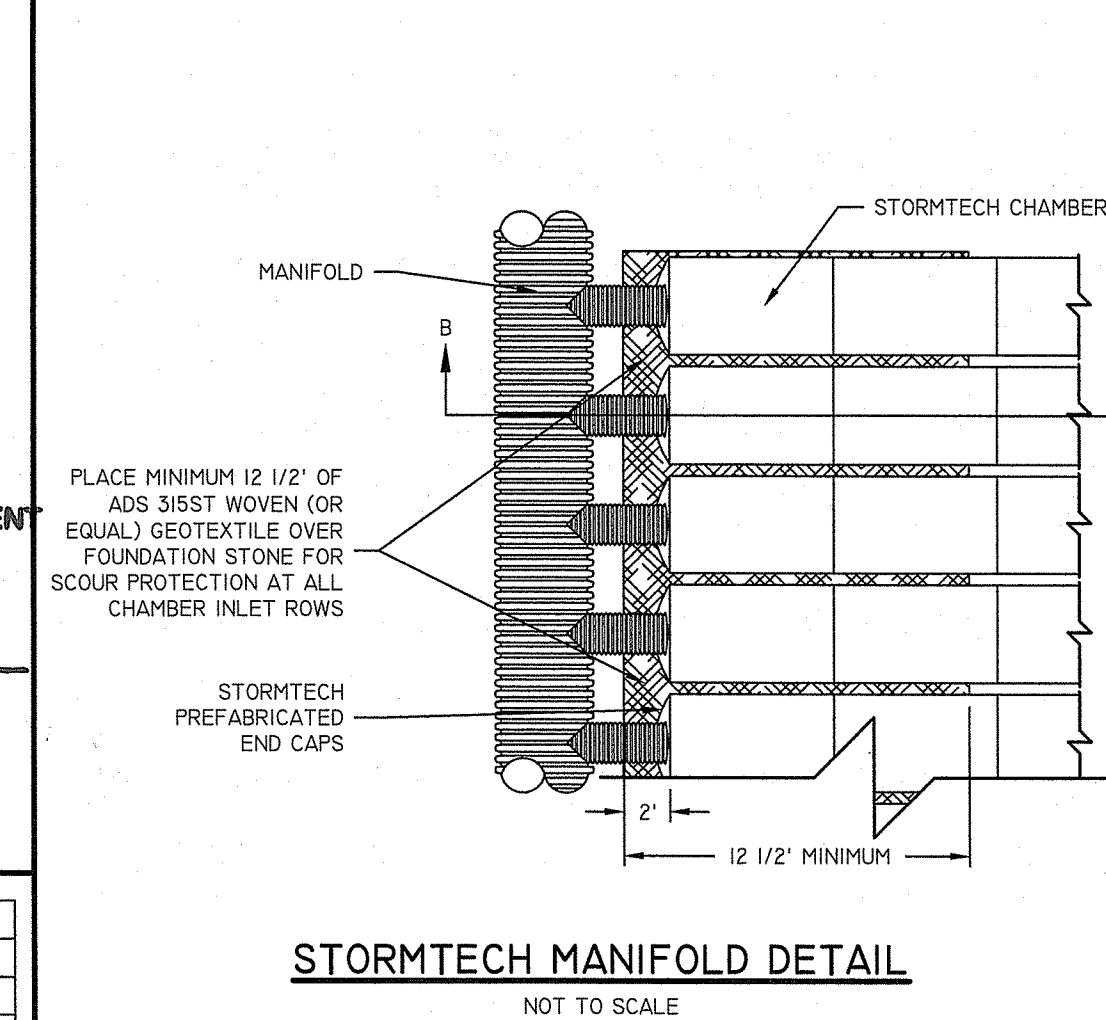


STORMTECH ELEVATIONS
NOT TO SCALE

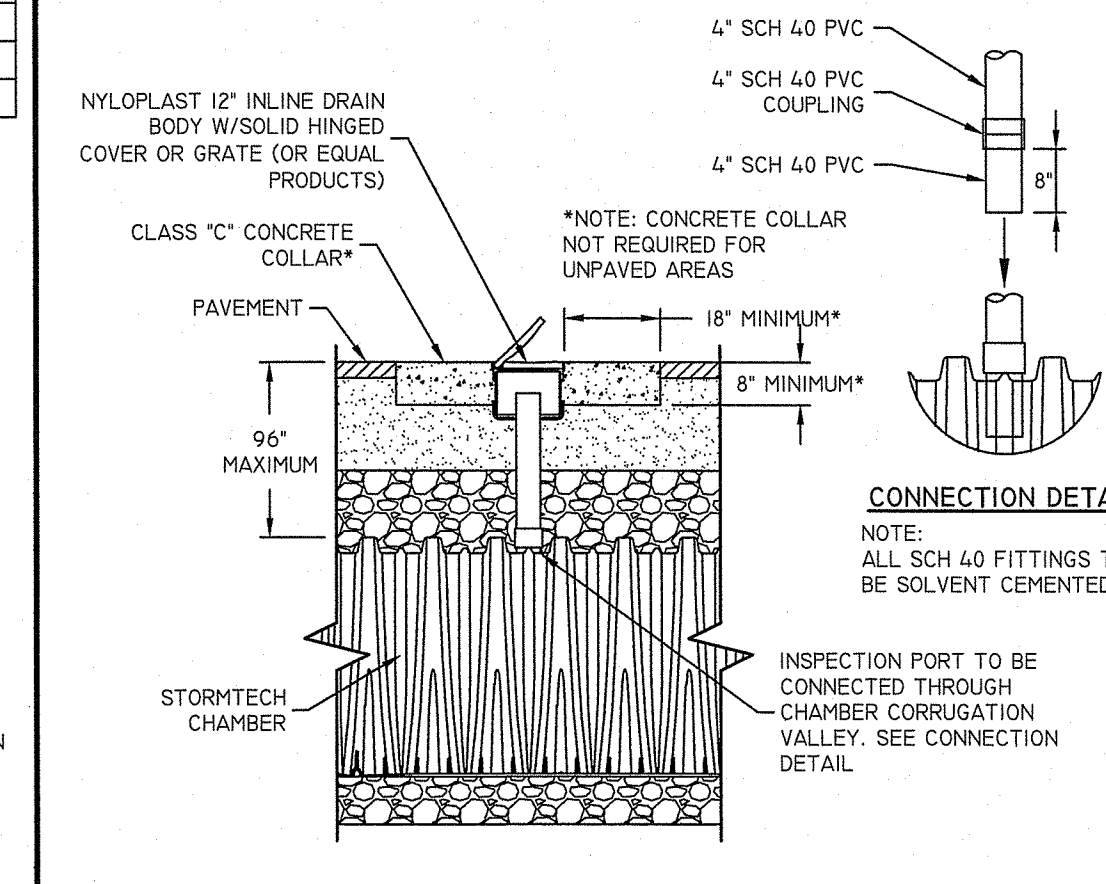


UNDERGROUND DETENTION SYSTEM A DETAIL (SC-740)
NOT TO SCALE

UNDERGROUND SAND FILTER A DETAIL (SC-740)
NOT TO SCALE



STORMTECH MANIFOLD DETAIL
NOT TO SCALE



STORMTECH GENERAL INSPECTION PORT DETAIL
NOT TO SCALE

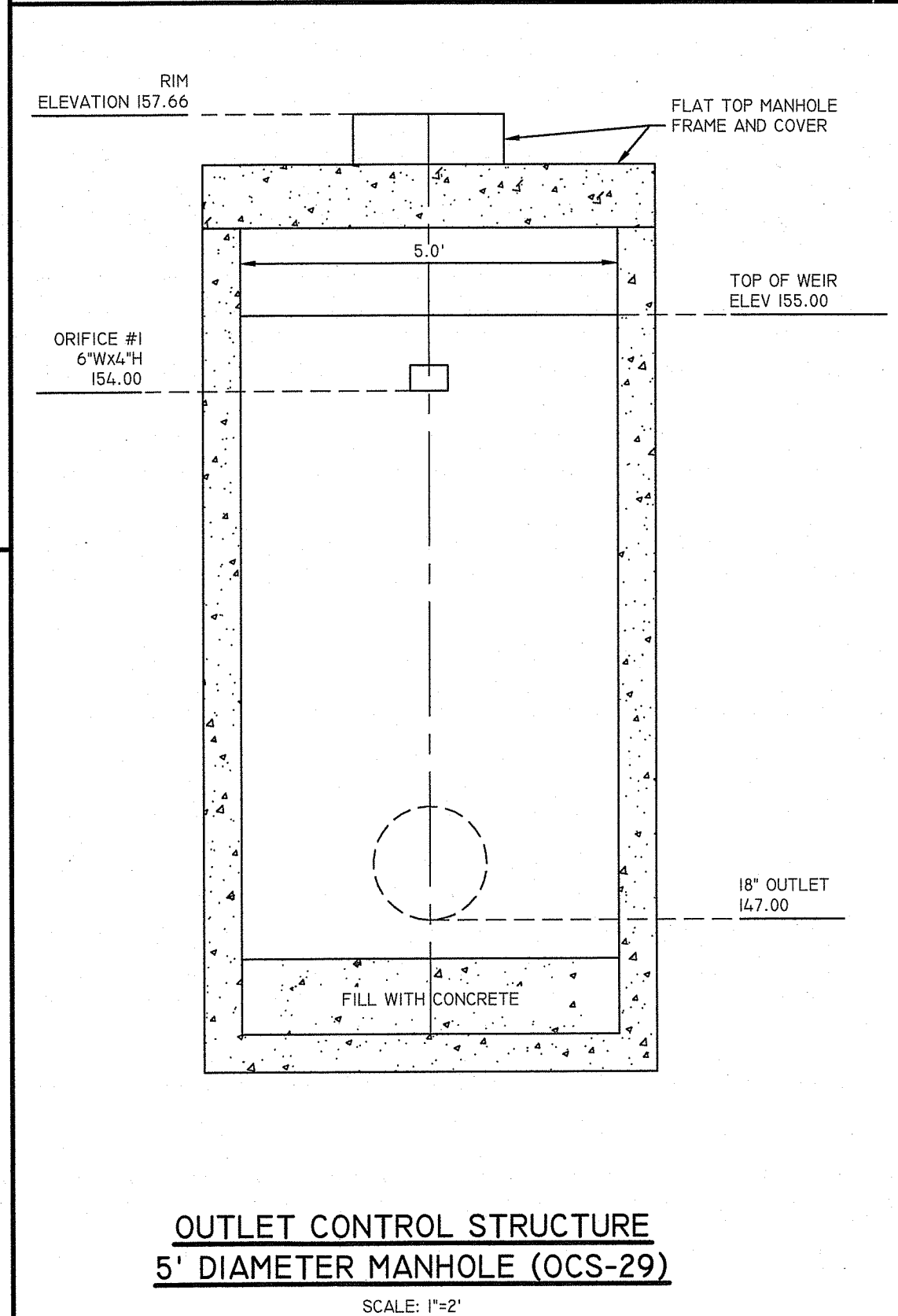
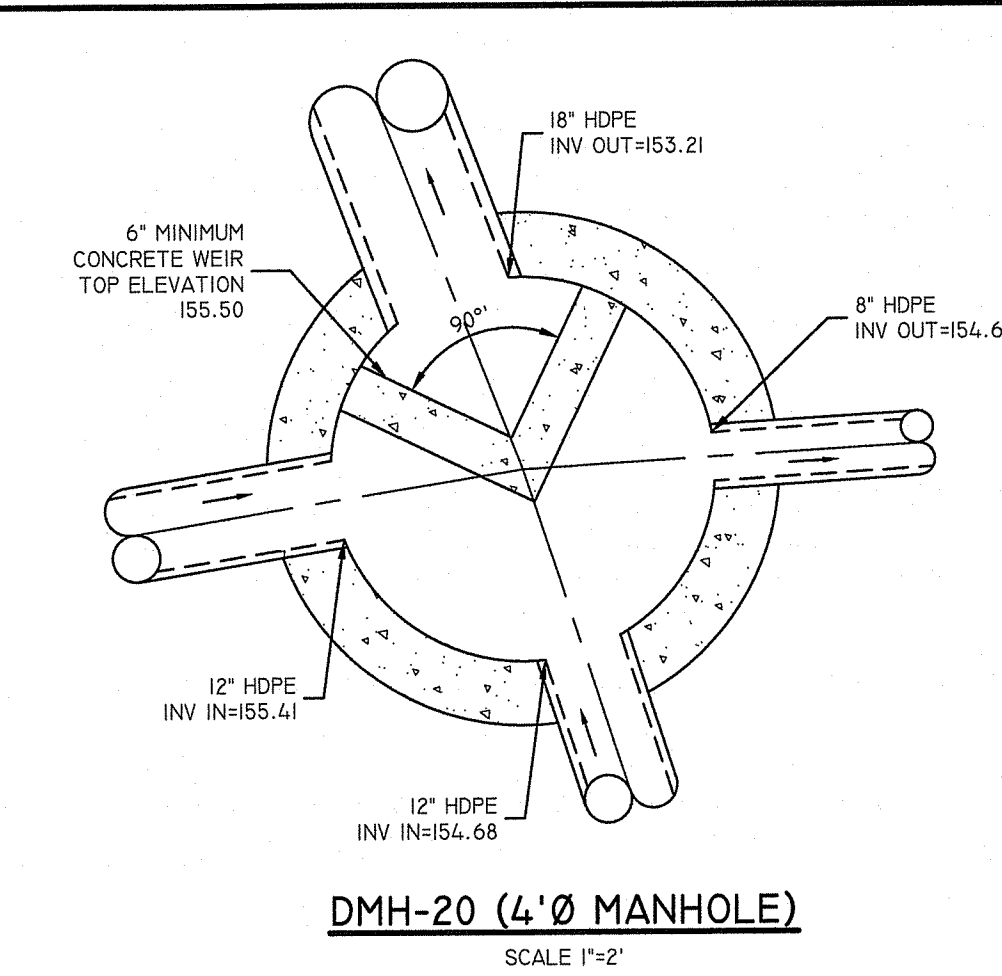
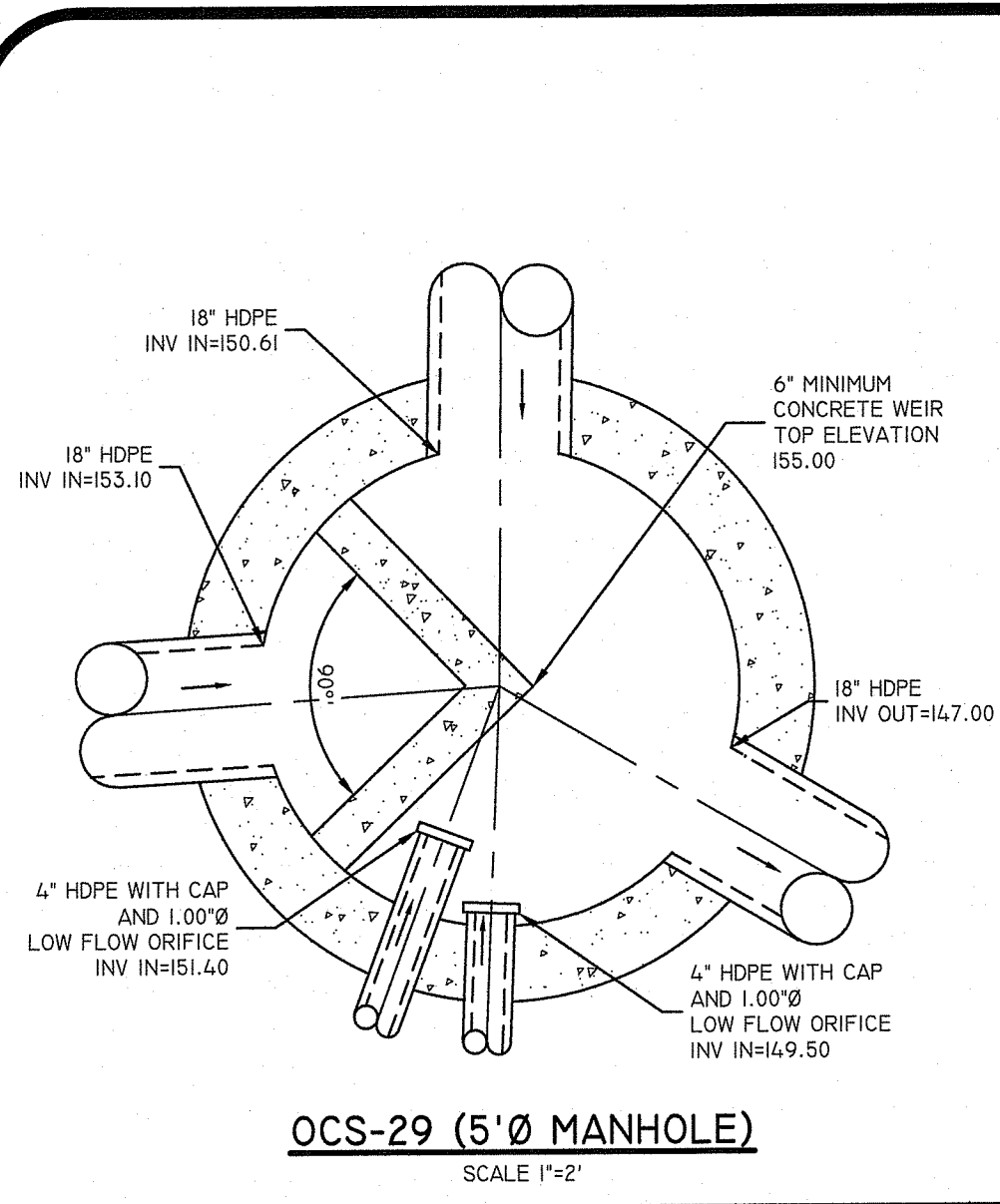
DESCRIPTION	USF-A	UDS-A
TOP OF UDS STONE ELEVATION	157.50	157.50
BOTTOM OF UDS STONE ELEVATION	154.00	154.00
BOTTOM OF USF SAND ELEVATION	152.50	N/A
100 YEAR STORM ELEVATION	157.03	157.13
10 YEAR STORM ELEVATION	155.81	155.86
1 YEAR STORM ELEVATION	155.48	154.61
SEASONAL HIGH GW ELEVATION	156.00	156.00
SOIL EVALUATION	TH-2-1	TH-2-1

Diprete Engineering
Two Stafford Court, Cranston, RI 02920
tel: 401-943-1000 fax: 401-664-6006 www.diprete-eng.com
Boston • Providence • Newport

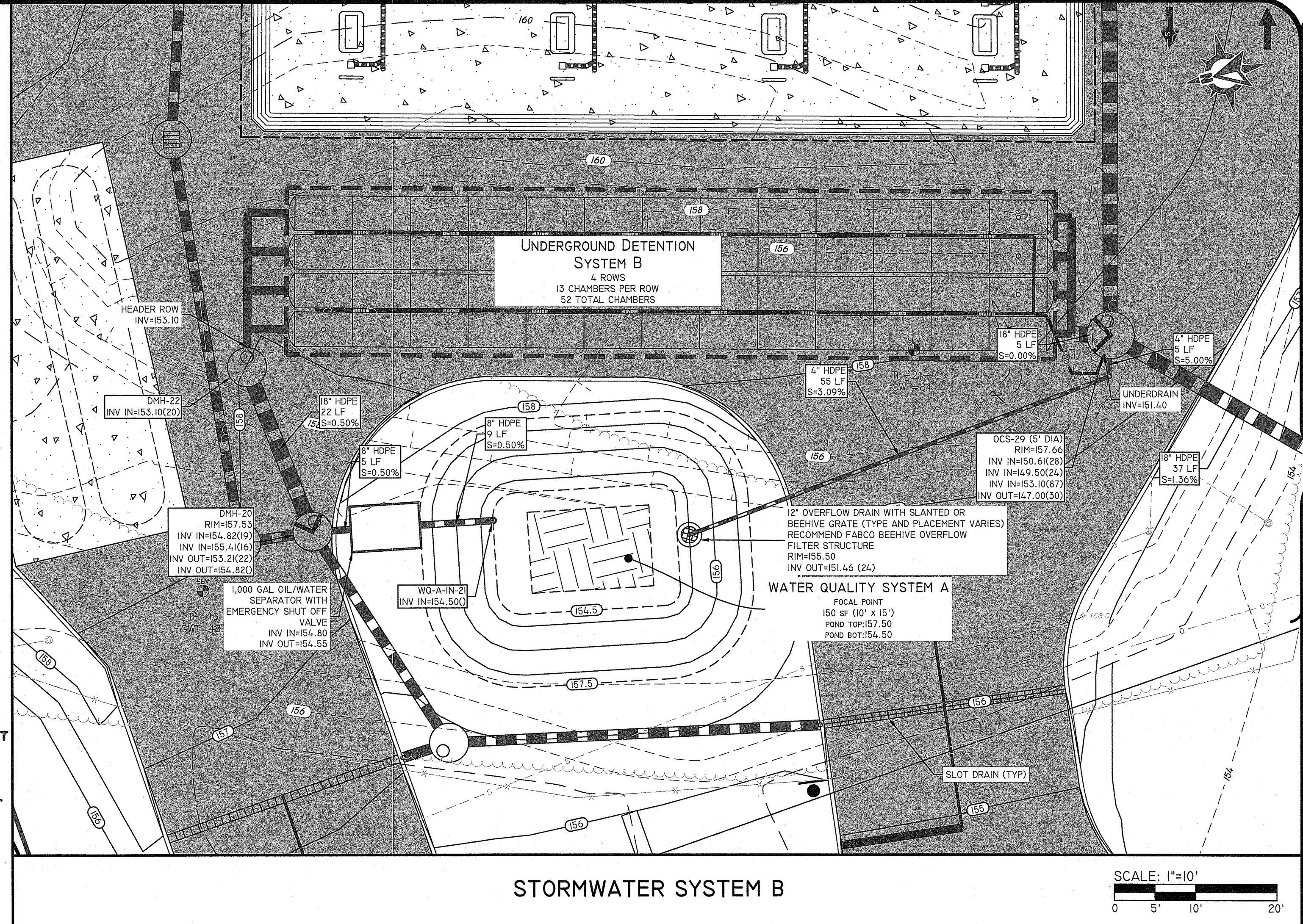
LEONARD R. BRADLEY
No. 6610
REGISTERED PROFESSIONAL ENGINEER
CIVIL

THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS STAMPED FOR CONSTRUCTION AND STAMPED BY THE REGISTERED PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING.
DIPRETE ENGINEERING ONLY WARRANTS PLANS ON A DIPRETE ENGINEERING PROJECT. DIPRETE ENGINEERING DOES NOT WARRANT PLANS BY ANY OTHER PARTY.
THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE MEANS, METHODS, MATERIALS, UTILITY LOCATIONS, AND APPROXIMATE DEPTHS OF EXISTING UTILITIES.
SEE UTILITY NOTE ON SHEET A.
DESIGN BY: N.D.K.
DRAWN BY: N.D.K.
DATE: 01-11-2022
NO. 01-11-2022
DESCRIPTION: WETLAND DETAIL SUBMISSION
PROJECT: SEASONS CORNER MARKET

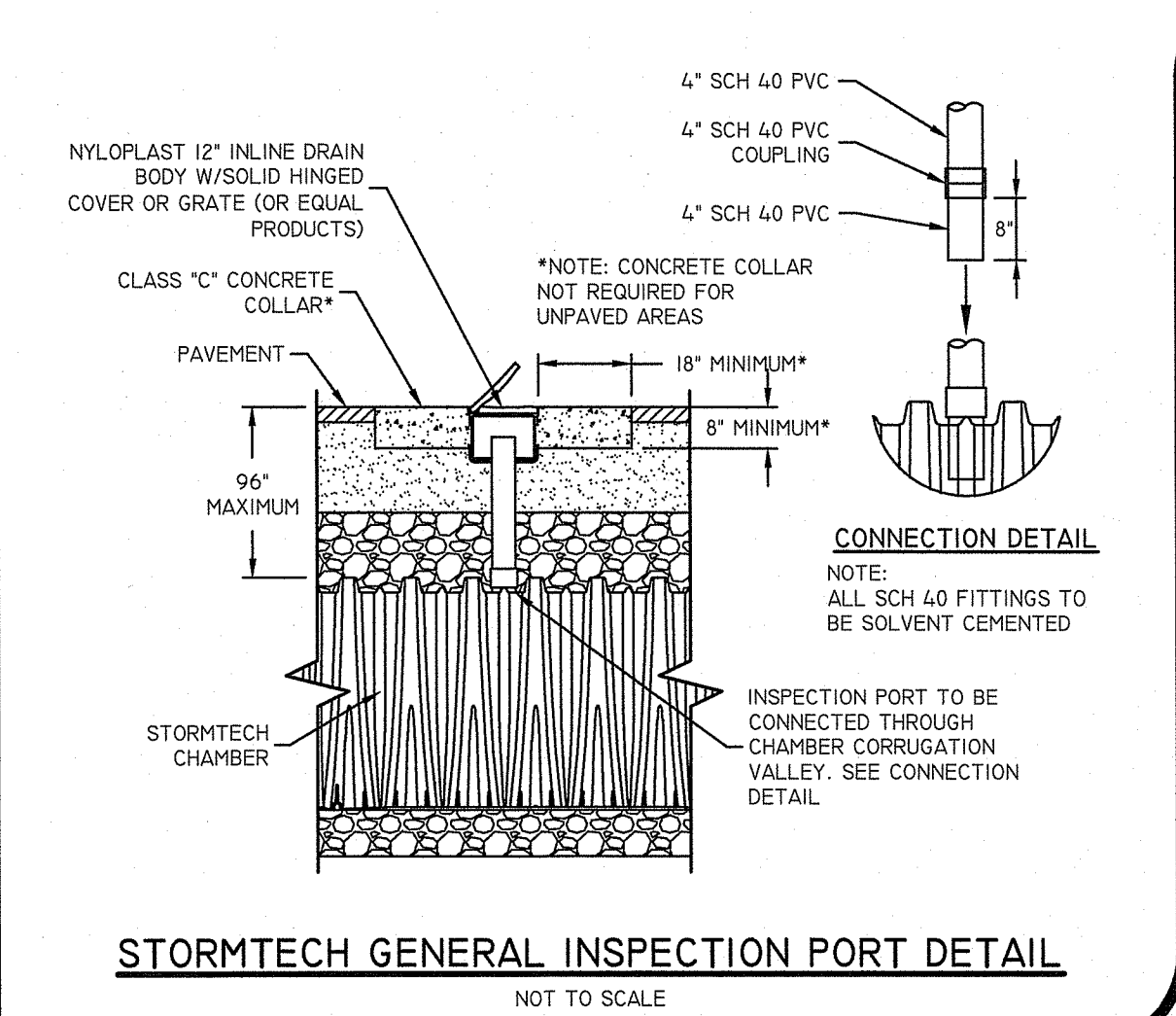
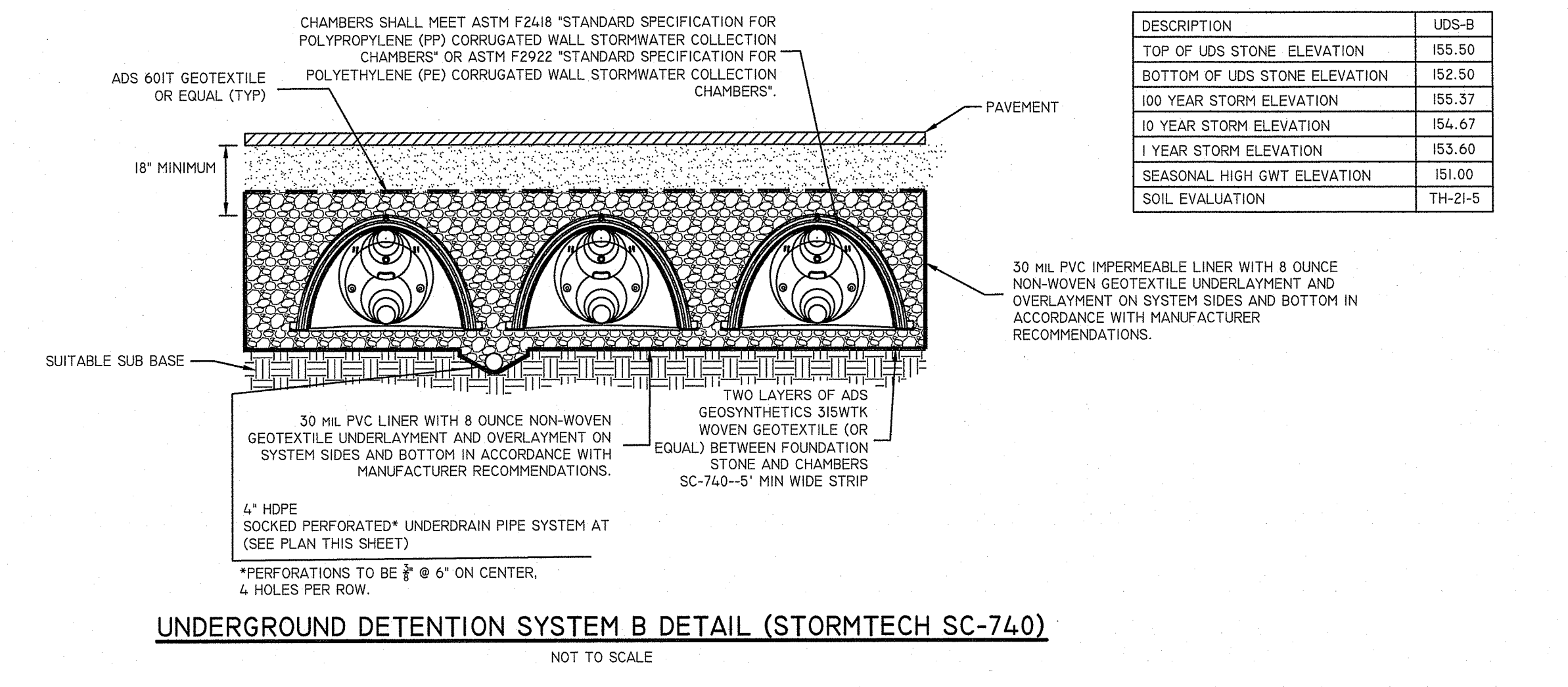
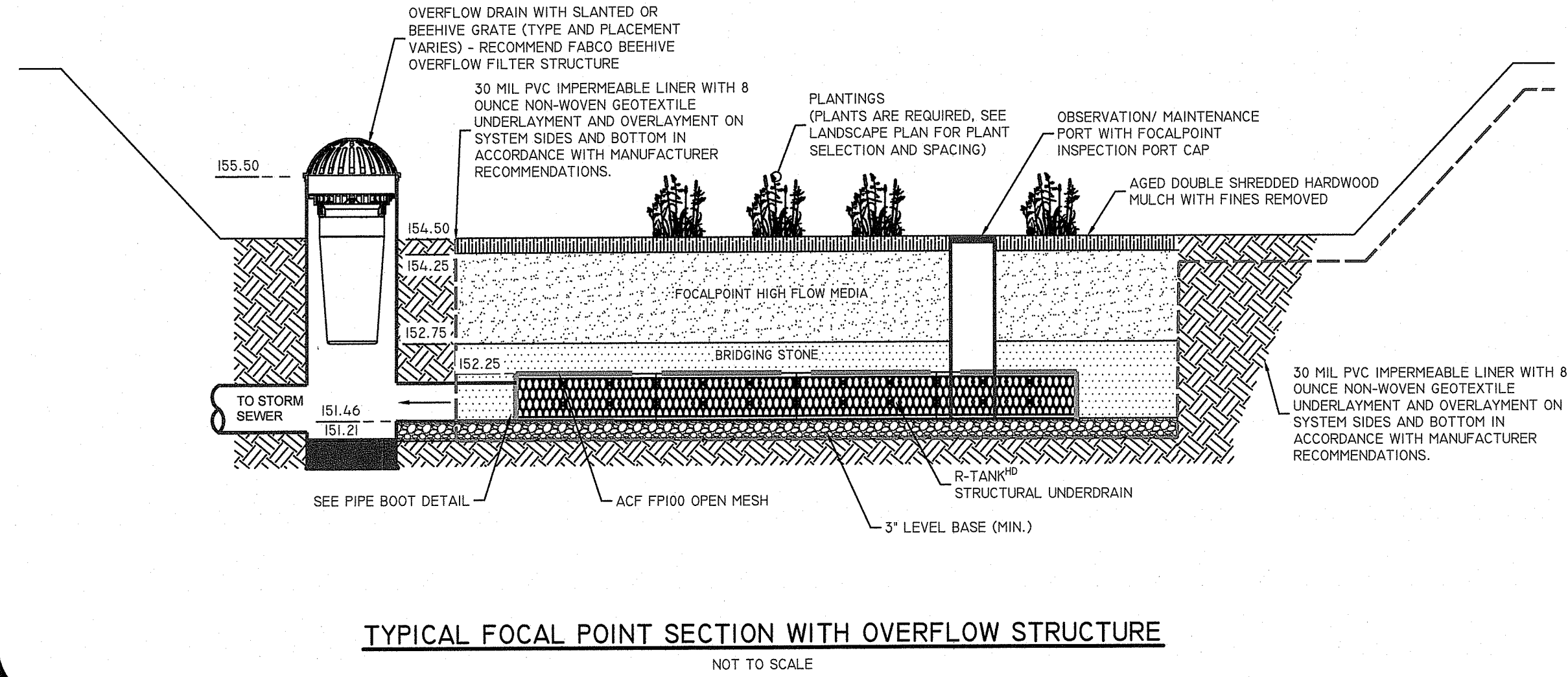
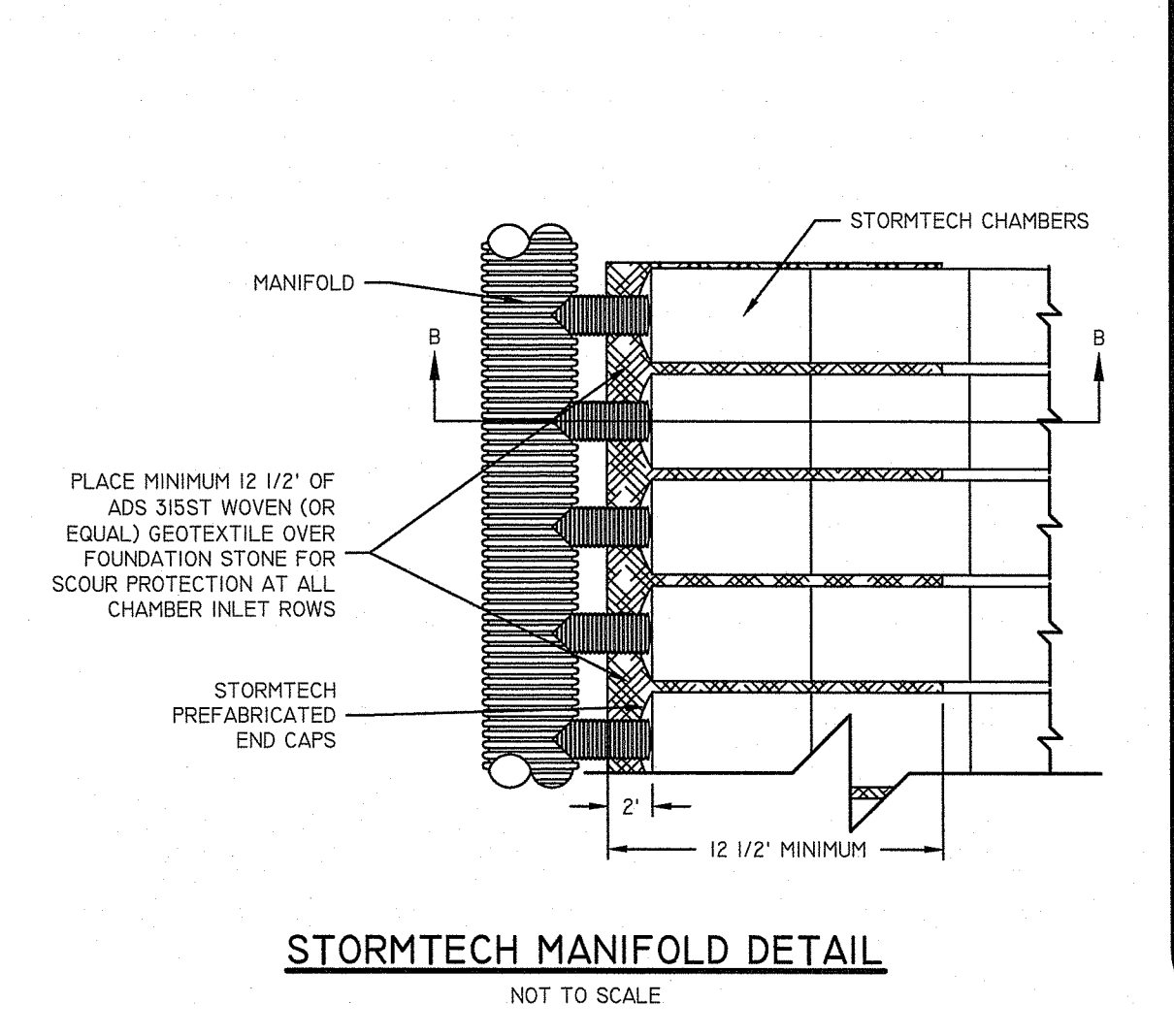
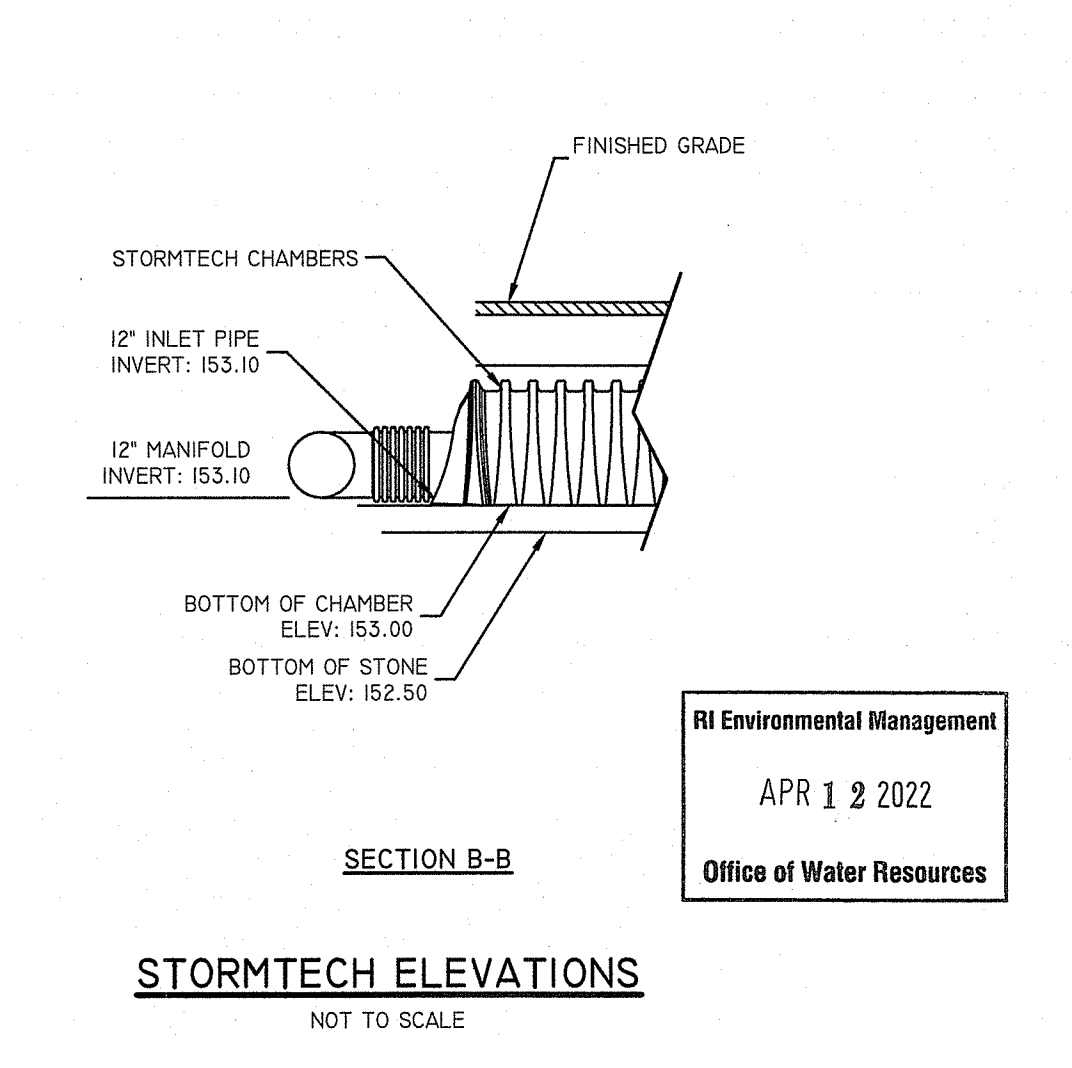
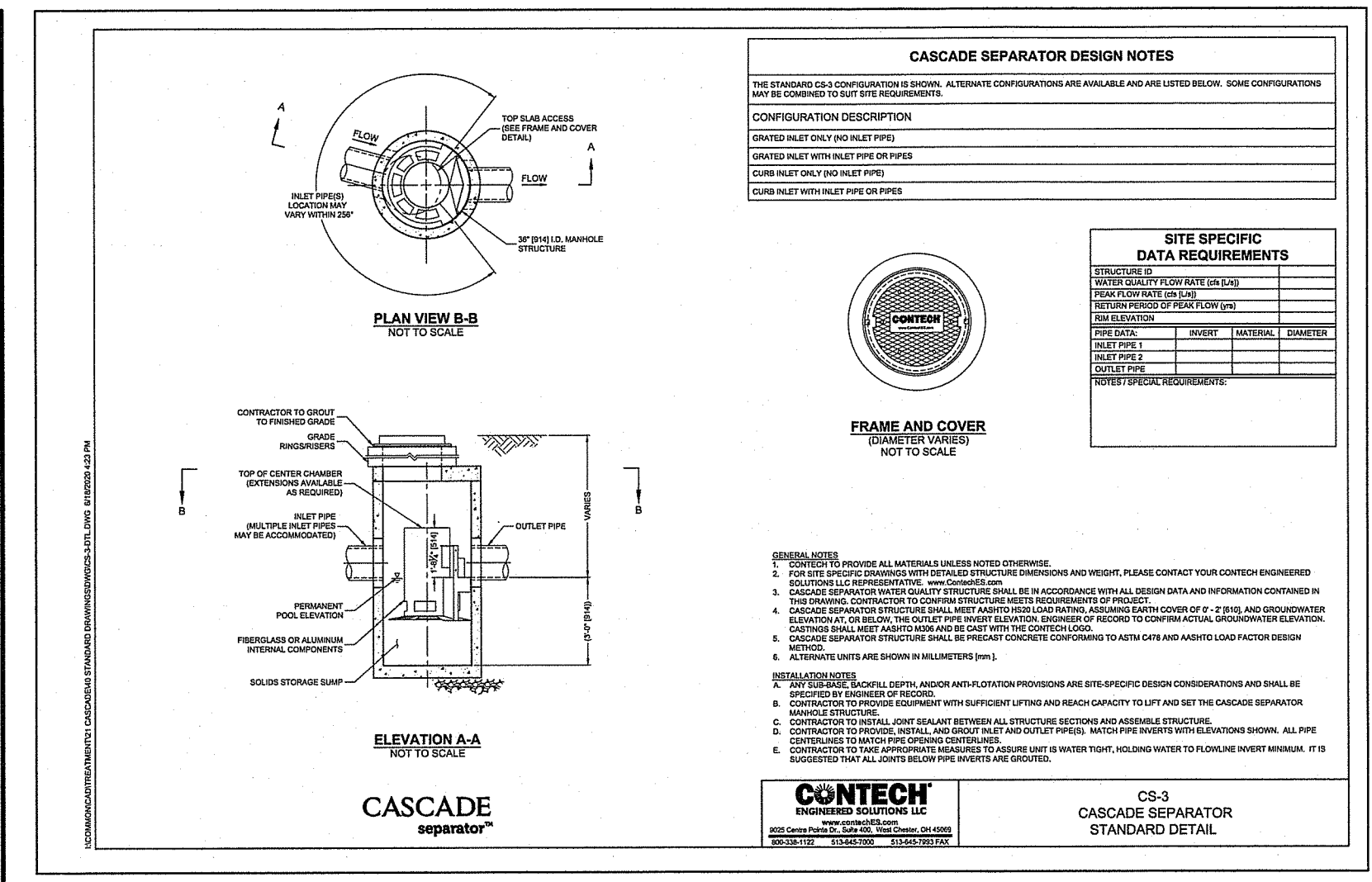
STORMWATER SYSTEM A
SEASONS CORNER MARKET
ASSESSOR'S PLAT 119 LOT 624
TIVERTON, RHODE ISLAND
PREPARED FOR:
COLBEA ENTERPRISES, LLC
2050 PLAINFIELD PIKE, CRANSTON, RHODE ISLAND
02921 TEL: 401-943-1005 FAX: 401-943-5309
SHEET 9 OF 12



RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
REVIEWED SITE PLAN APPLICATION #: 22-0060
DATED: MAY 16 2022
SEE LETTER OF SAME DATE
Nancy L. Freeman



DESCRIPTION	FOCAL POINT
TOP OF FOCAL POINT ELEVATION	157.50
BOTTOM OF FOCAL POINT ELEVATION	152.25
100 YEAR STORM ELEVATION	156.00
10 YEAR STORM ELEVATION	155.81
1 YEAR STORM ELEVATION	155.63
SEASONAL HIGH GWT ELEVATION	148.26
SOIL EVALUATION	TH-16



Diprete Engineering
Two Stafford Court Cranston, RI 02920
Tel: 401-943-1000 Fax: 401-664-6006 www.diprete-eng.com
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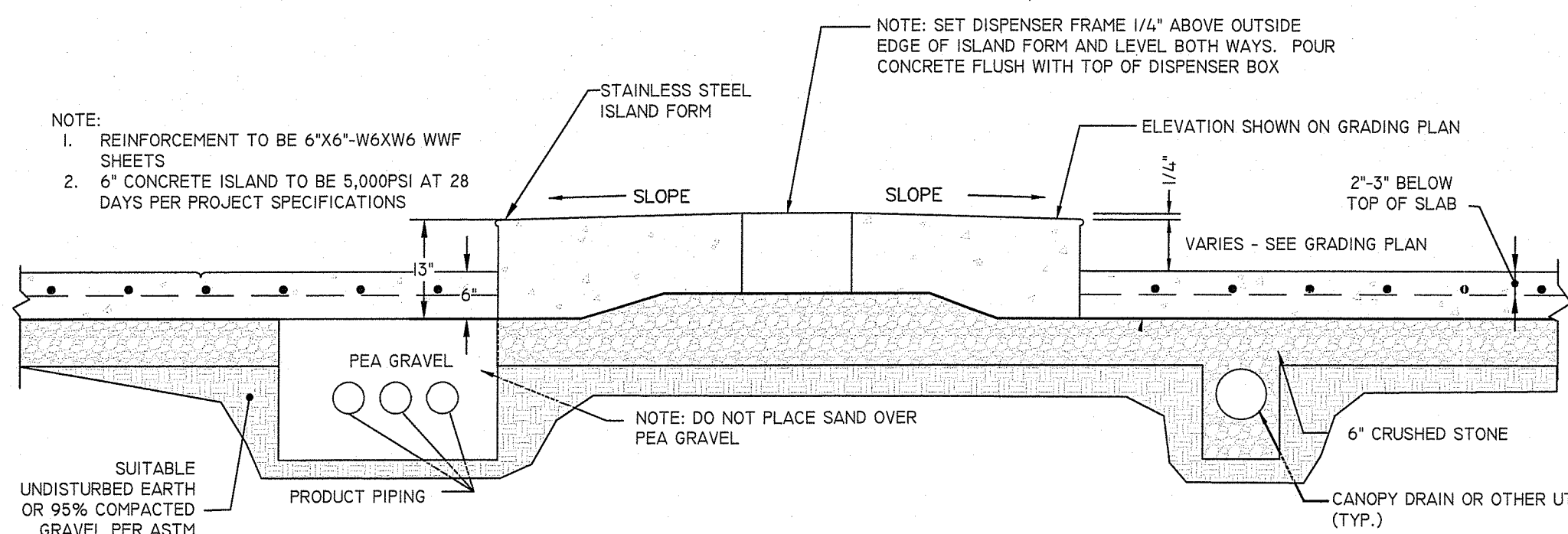
LEONARD R. BRADLEY
No. 6610
REGISTERED PROFESSIONAL ENGINEER CIVIL

THIS PLAN SET HAS NOT BEEN USED FOR CONSTRUCTION PURPOSES BY ANY OTHER PARTY.
THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF DIPRETE ENGINEERING, INC. AND ARE NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF DIPRETE ENGINEERING, INC.
THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE MEANS, METHODS, SAFETY PRECAUTIONS AND REQUIREMENTS, AND OSHA COMPLIANCE IN THE IMPLEMENTATION OF THIS PLAN AND DESIGN.
EXISTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE. ALL UTILITIES SHALL BE LOCATED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
SEE UTILITY NOTE ON SHEET 3.

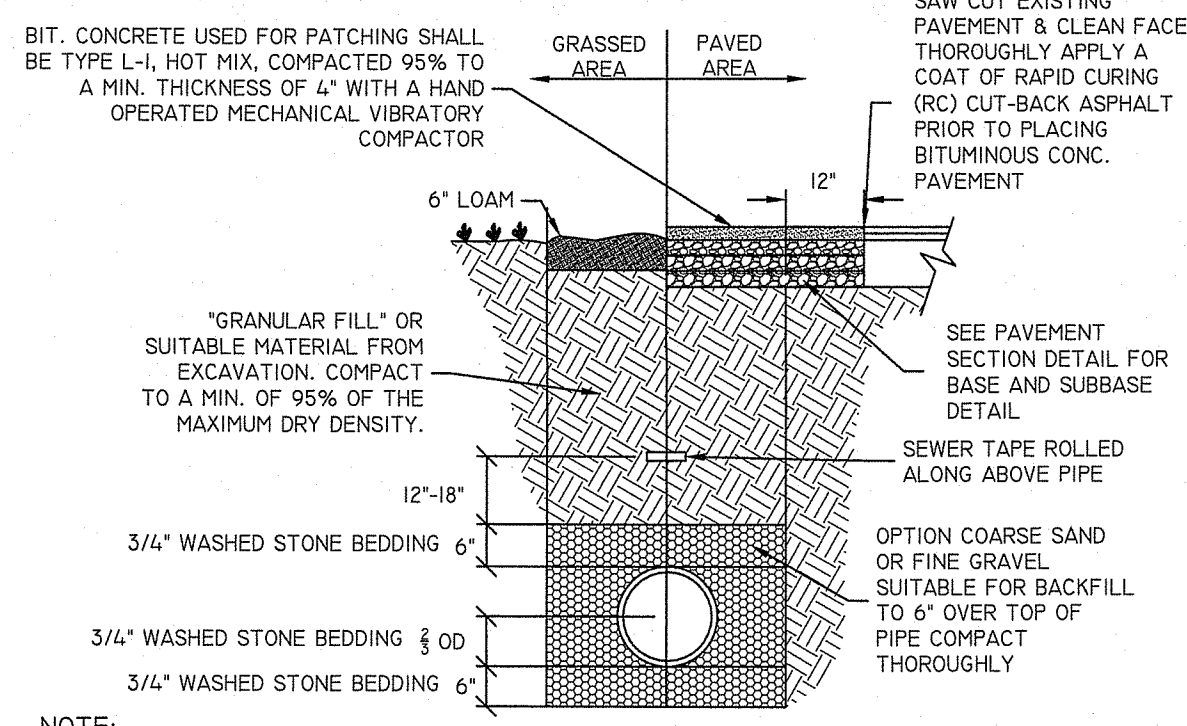
NO.	DATE	DESCRIPTION	BY	CHK.
1	04-11-2022	WETLAND DEL. SUBMISSION	N.L.K.	N.L.K.
2	05-13-2022	FINAL PLAN SUBMISSION	N.L.K.	N.L.K.
3	05-13-2022	DESIGNATION	N.L.K.	N.L.K.

DESIGN BY: N.D.K.

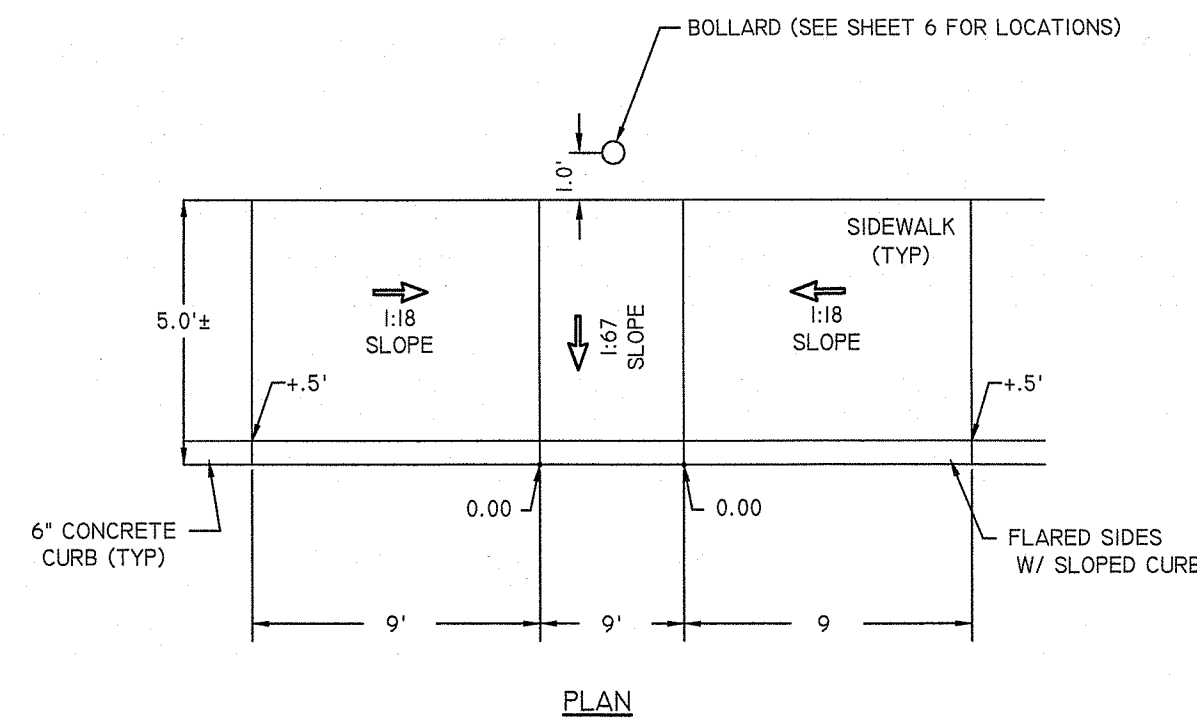
STORMWATER SYSTEM B
SEASONS CORNER MARKET
SEASONS'S PLAT (19 LOT 424)
TIVERTON, RHODE ISLAND
COLBEA ENTERPRISES, LLC
2650 PLAINFIELD PIKE, CRANSTON, RHODE ISLAND
02929 TEL: 401-943-1005 FAX: 401-943-5309
DE JOB NO: 2454907 COPYRIGHT 2022 BY DIPRETE ENGINEERING ASSOCIATES, INC.



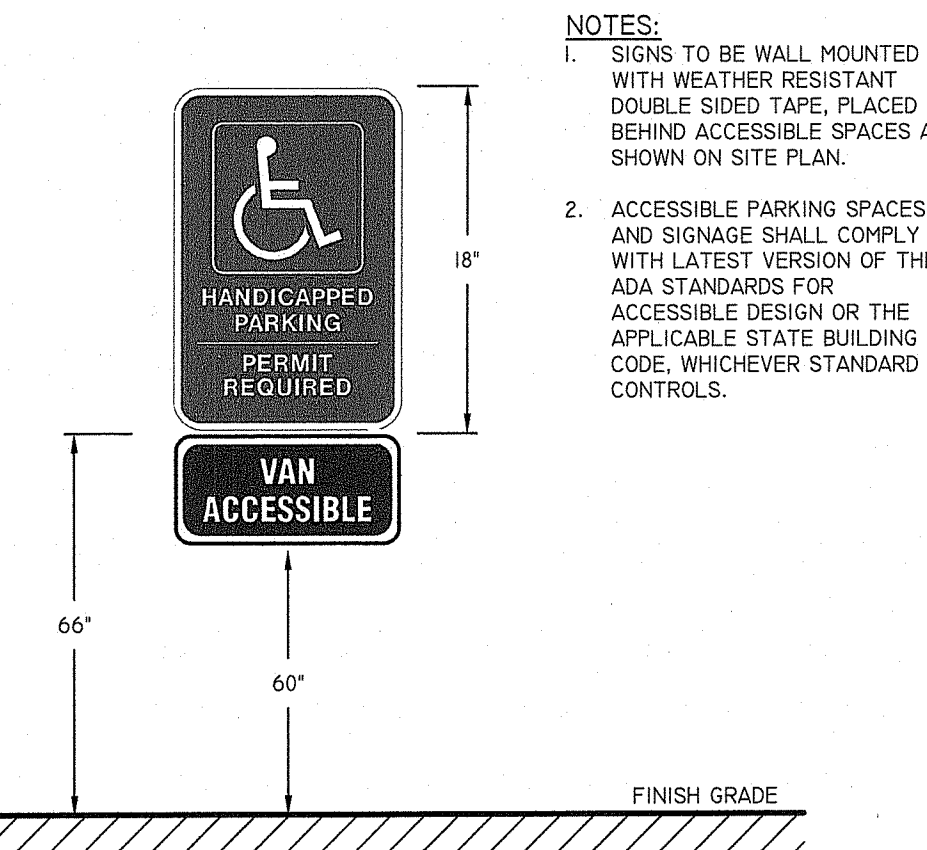
SECTION THRU PUMP ISLAND



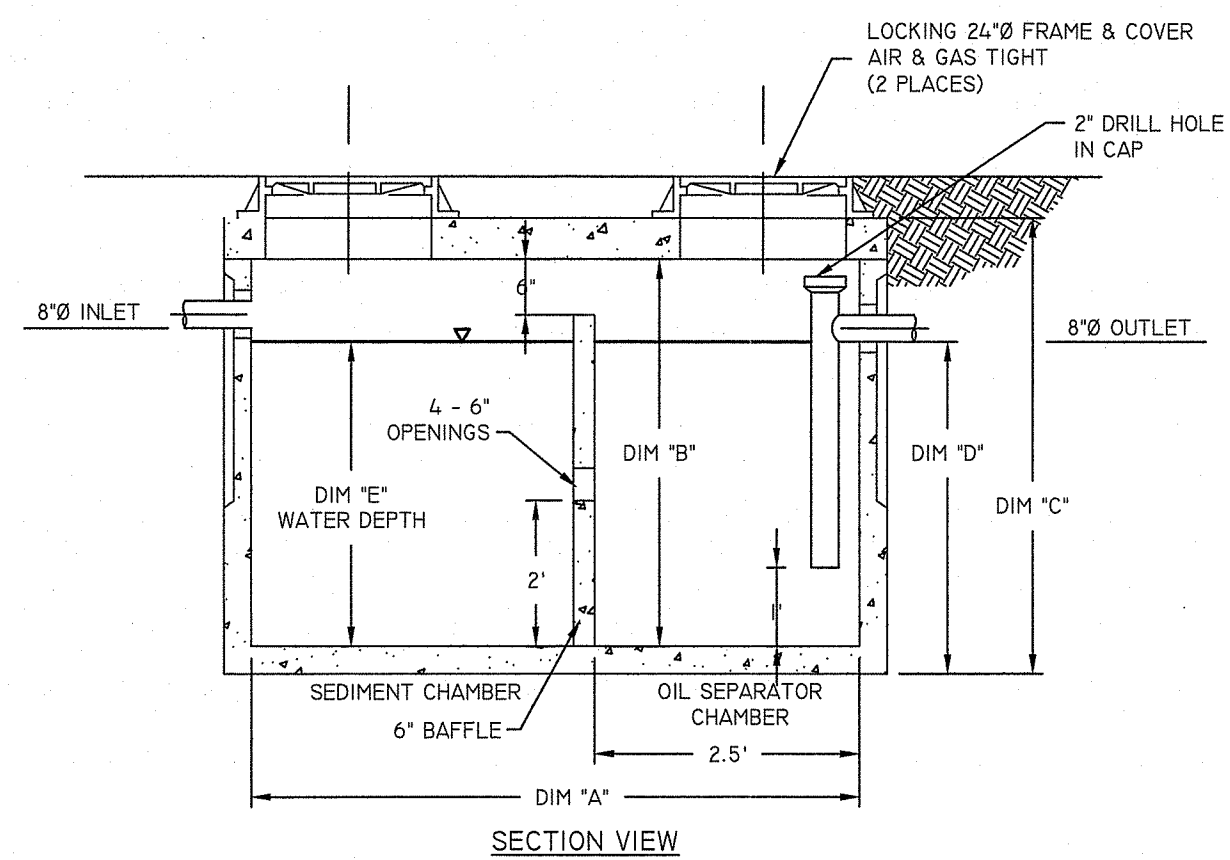
SEWER TRENCH DETAIL



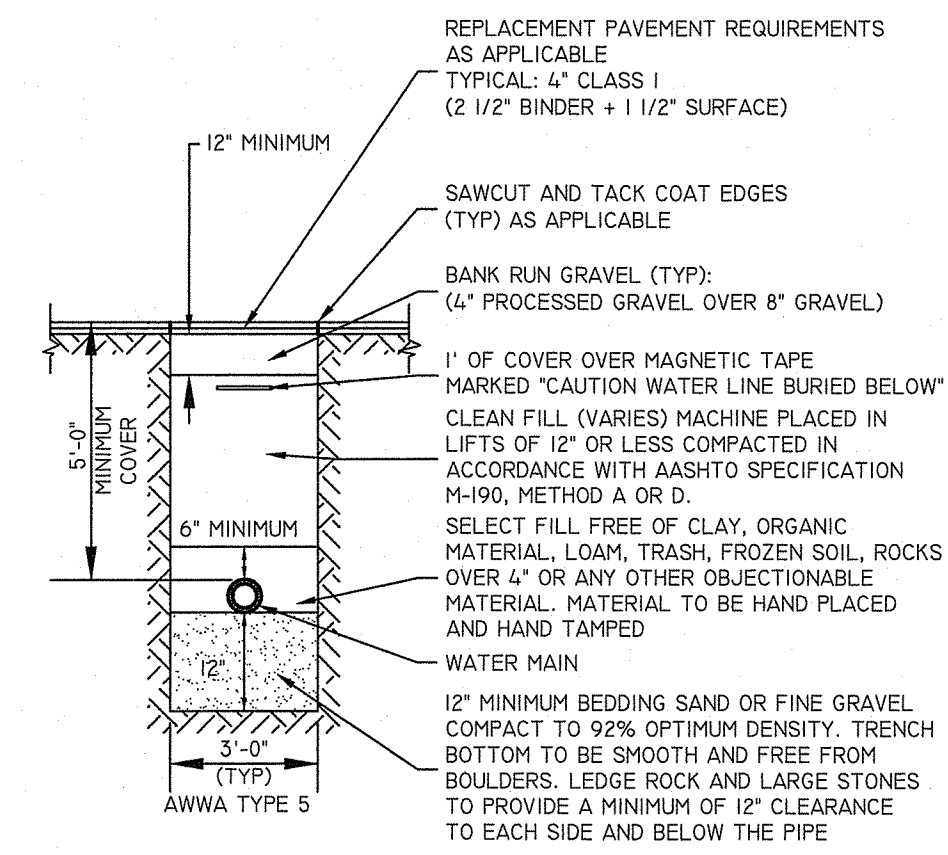
ACCESSIBLE RAMP AT BUILDING



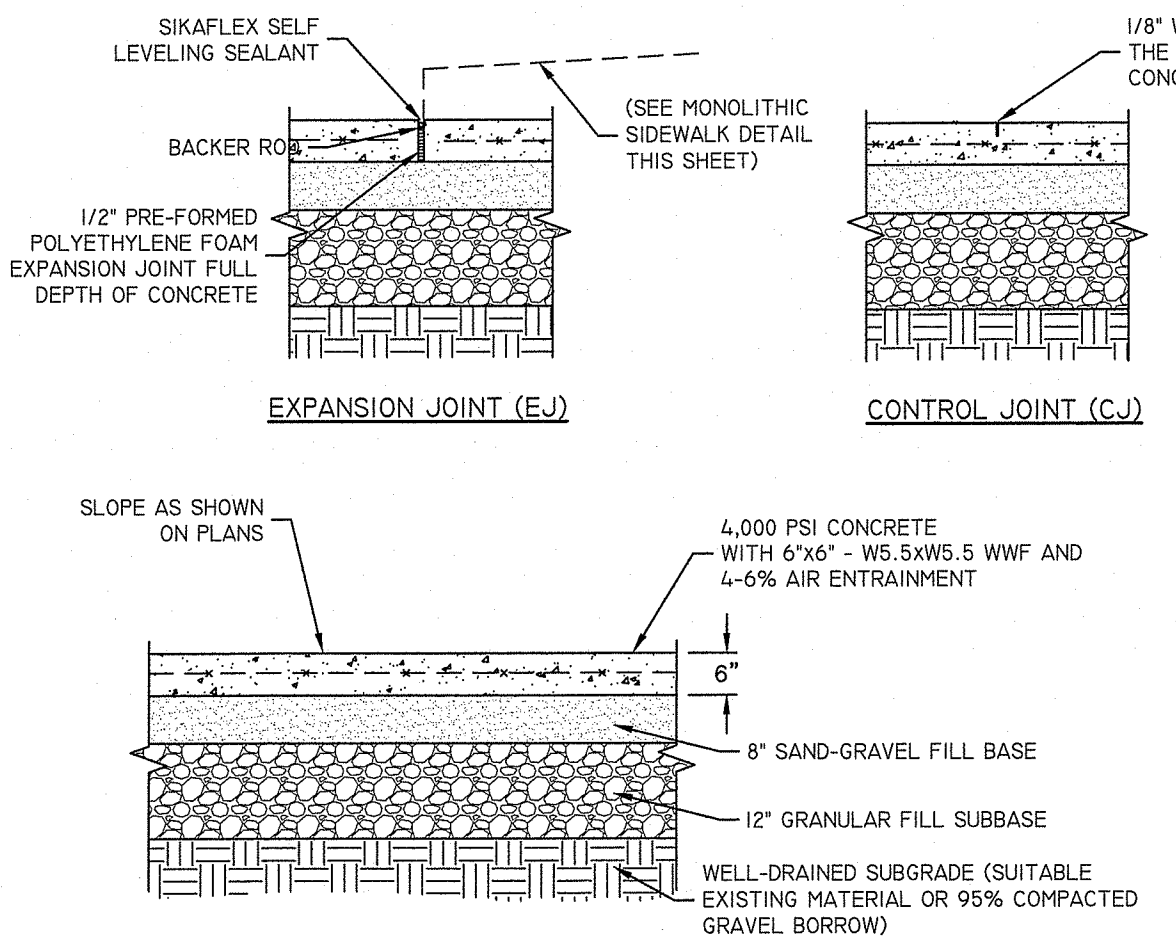
ADA SIGN DETAIL



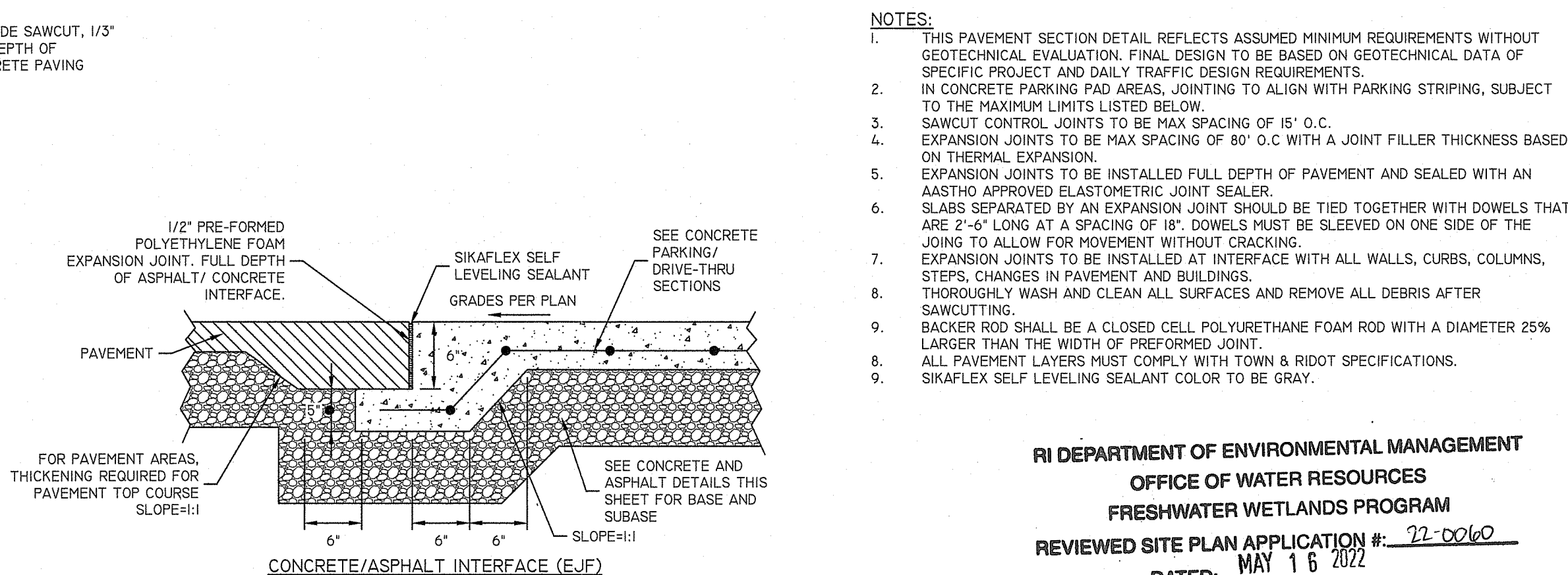
1,000 GALLON OIL/WATER SEPARATOR (OLD CASTLE PRECAST OR APPROVED EQUAL)



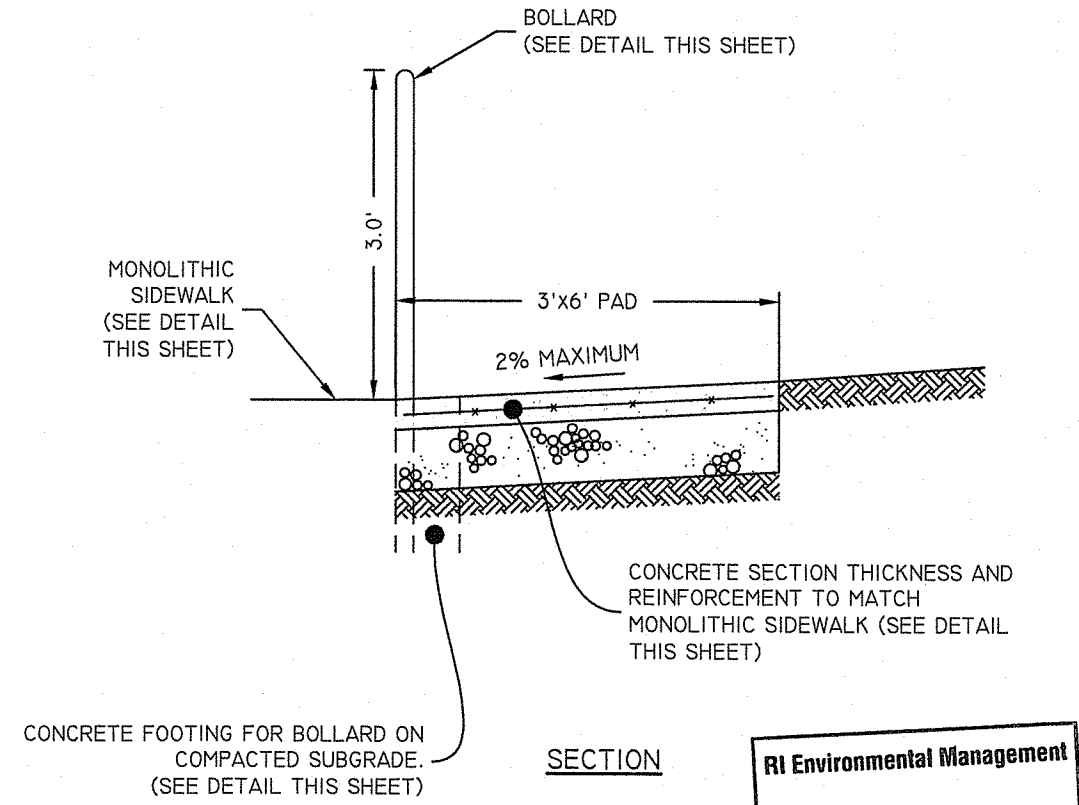
WATER TRENCH DETAIL



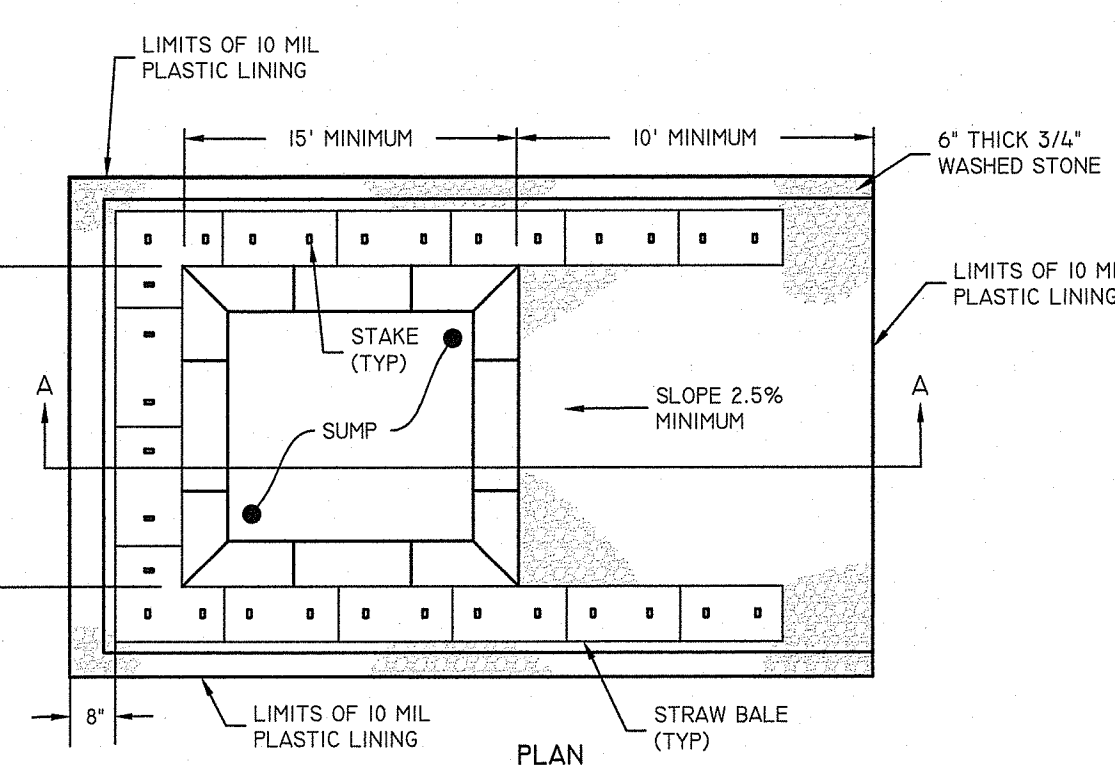
CONCRETE PARKING/DRIVE THRU PAD DETAILS



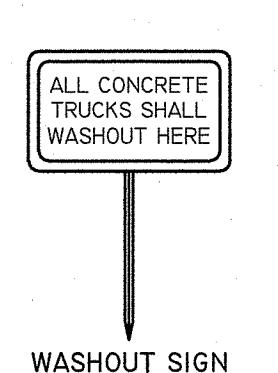
UTILITY SEPARATION



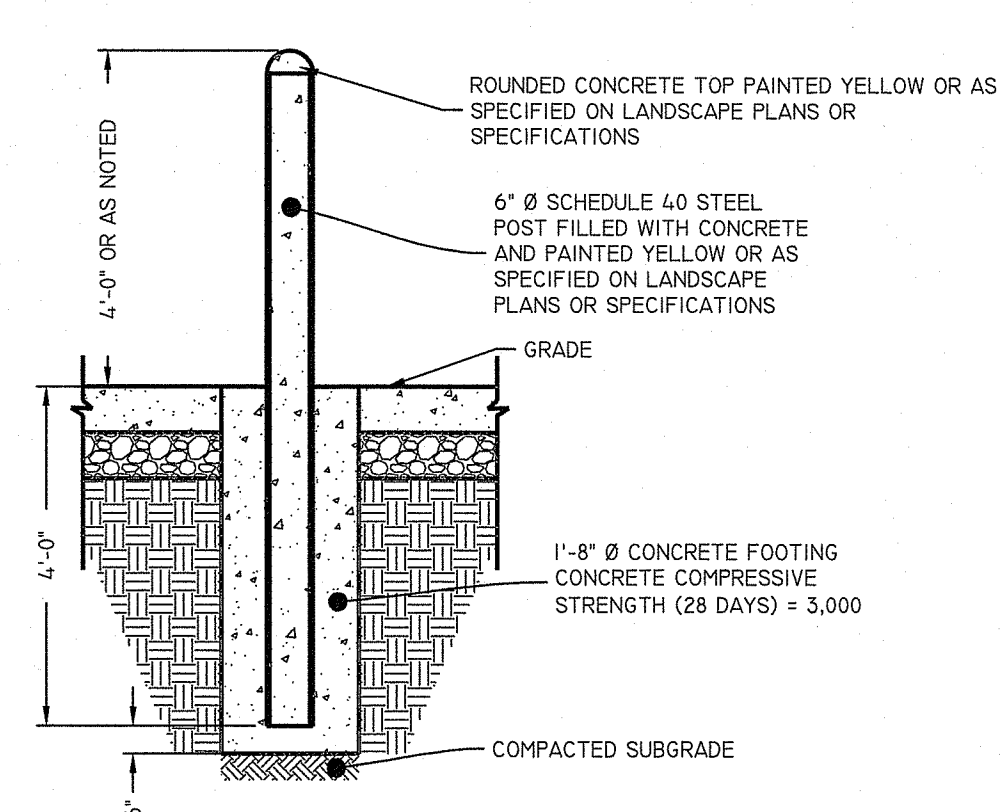
AIR TOWER FOUNDATION DETAIL



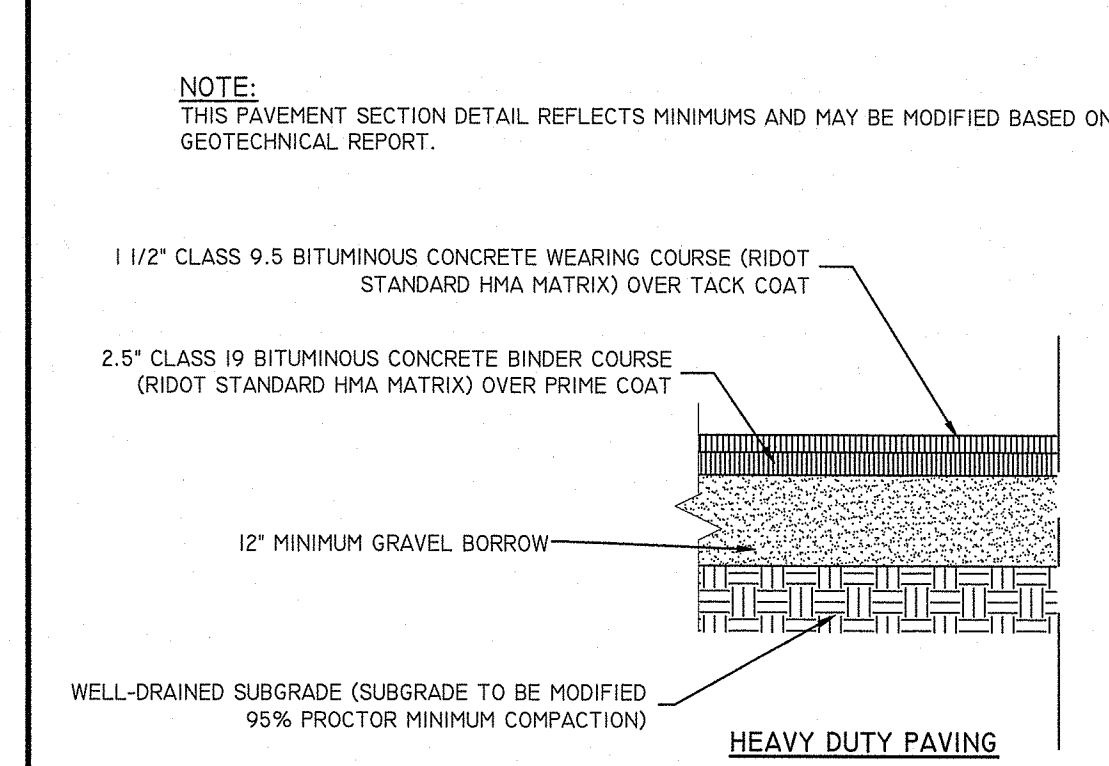
CONCRETE WASHOUT AREA



- NOTES:
- PIT IS SPECIFICALLY DESIGNATED, DIKED AND IMPERVIOUS CONTAINMENT TO PREVENT CONTACT BETWEEN CONCRETE WASH AND STORMWATER.
 - WASH WATER SHALL NOT BE ALLOWED TO FLOW TO SURFACE WATER.
 - FACILITY MUST HOLD SUFFICIENT VOLUME TO CONTAIN CONCRETE WASTE WITH A MINIMUM FREEBOARD OF 12".
 - FACILITY SHALL NOT BE FILLED BEYOND 95% CAPACITY UNLESS A NEW FACILITY IS CONSTRUCTED.
 - SAWCUT PORTLAND CEMENT CONCRETE, RESIDUE FROM SAWCUT AND GRINDING TO BE DISPOSED OF IN THE PIT.
 - CONCRETE WASHOUTS SHALL BE LOCATED A MINIMUM OF 100' FROM DRAINAGE WAYS, INLETS, AND SURFACE WATERS.
 - MANUFACTURED CONCRETE WASHOUT DEVICES MAY BE USED IF REMOVED FROM THE SITE WHEN 95% FULL CAPACITY.



BOLLARD DETAIL



TYPICAL PAVEMENT SECTION

DiPrete Engineering
Two Stafford Court Cranston, RI 02920
Tel: 401-943-1000 Fax: 401-664-6006 www.diprete-eng.com

Boston • Providence • Newport

LEONARD R. BRADLEY
No. 6610
REGISTERED PROFESSIONAL ENGINEER
CIVIL

THIS PLAN IS NOT TO BE USED FOR CONSTRUCTION PURPOSES UNLESS IT IS APPROVED BY A REGISTERED PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING.

THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE MEASUREMENTS, SURVEYING, PRELIMINARY AND FINAL DESIGN, METHODS, SAFETY PRECAUTIONS AND REQUIREMENTS, AND OSHA REGULATIONS INCURRED DUE TO LOCATIONS OF EXISTING UTILITIES. SEE UTILITY NOTE ON SHEET 3.

DESIGN BY: N.D.K.
DRAWN BY: N.D.K.
CHECKED BY: N.D.K.
DATE: APR 12 2022

RI Environmental Management
Office of Water Resources

DETAIL SHEET - 1

SEASONS CORNER MARKET
ASSESSOR'S PLAT 119 LOT 624
TIVERTON, RHODE ISLAND

PREPARED FOR:
COLBEA ENTERPRISES, LLC
100 W. FIELD ST., SUITE 100
02921 TEL: 401-943-1005 FAX: 401-943-5309

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SHEET 11 OF 12

SEWER LINE/WATER MAIN SEPARATION POLICY FOR DESIGN OF SANITARY SEWERS

A. LATERAL PLACEMENT OF SEWERS AND WATER MAINS

SEWERS SHALL BE LAID AT LEAST 10' HORIZONTALLY FROM ANY EXISTING OR PROPOSED WATER MAIN. THE DISTANCE SHALL BE MEASURED OUTSIDE EDGE-TO-OUTSIDE EDGE. THERE IS NO MINIMUM VERTICAL SEPARATION REQUIRED PROVIDED THE 10' HORIZONTAL SEPARATION IS MAINTAINED. STRUCTURES, OTHER THAN PIPELINES OR CONDUITS, THROUGH WHICH SANITARY WASTEWATER FLOWS SUCH AS, BUT NOT LIMITED TO, MANHOLES, VALVE VAULTS, METER FITS AND PUMP STATION WET WELLS SHALL ALSO BE CONSTRUCTED AT LEAST 10 FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED WATER LINE, MEASURED EDGE-TO-EDGE.

IN CASES WHERE IT IS NOT POSSIBLE TO MAINTAIN A 10' HORIZONTAL SEPARATION, THE AUTHORITY HAVING JURISDICTION, MAY ALLOW DEVIATION ON A CASE BY CASE BASIS, IF SUPPORTED BY DATA FROM THE DESIGN ENGINEER. SUCH DEVIATION MAY ALLOW INSTALLATION OF THE SEWER CLOSER TO A WATER MAIN, PROVIDED THAT:

1. THE SEWER AND WATER MAIN ARE LAID IN SEPARATE TRENCHES, OR
2. THE SEWER AND WATER MAIN MAY BE INSTALLED IN THE SAME TRENCH WITH THE WATER MAIN PLACED ON A BENCH OF UNDISTURBED EARTH, AND
3. IN EITHER CASE, THE CROWN OF THE SEWER SHALL BE AT LEAST 18" BELOW THE INVERT OF THE WATER MAIN.

IN SITUATIONS WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER HORIZONTAL AND VERTICAL SEPARATION AS STIPULATED ABOVE, THE FOLLOWING PROTECTION SHALL BE PROVIDED:

1. ENCASUREMENT OF THE SEWER PIPE IN CONCRETE (MINIMUM 6" THICKNESS) OR A CARRIER PIPE FOR AT LEAST 10' EITHER SIDE OF THE AREA NOT COMPLYING WITH THE MINIMUM HORIZONTAL AND VERTICAL SEPARATION, OR
2. DESIGN AND CONSTRUCTION OF THE SEWER EQUAL TO WATER MAIN PIPE (CEMENT-LINED DUCTILE IRON OR OTHER AWWA-APPROVED MATERIAL FOR POTABLE WATER CONVEYANCE), AND PRESSURE TESTED IN ACCORDANCE WITH AWWA SPECIFICATIONS.
3. IN INSTANCES OF CONFLICT WITH SANITARY WASTEWATER STRUCTURES MENTIONED ABOVE, RELOCATE THE WATER LINE TO ACHIEVE EITHER A 10 FOOT HORIZONTAL OR 18 INCH VERTICAL SEPARATION.

B. SEWERS CROSSING WATER MAINS

SEWERS CROSSING OVER WATER MAINS SHOULD BE AVOIDED, BUT IF CONDITIONS WARRANT THIS SITUATION, THEN ADEQUATE STRUCTURAL SUPPORT SHALL BE PROVIDED FOR THE SEWER TO MAINTAIN LINE AND GRADE. SEWERS CROSSING UNDER WATER MAINS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL SEPARATION OF 18" BETWEEN THE INVERT OF THE WATER MAIN AND THE CROWN OF THE SEWER. RELOCATION OF AN EXISTING WATER LINE MAY BE NECESSARY TO ACHIEVE THIS VERTICAL SEPARATION. RELOCATED WATER LINES SHALL BE CONSTRUCTED OF AN AWWA-APPROVED MATERIAL FOR POTABLE WATER CONVEYANCE AND DESIGNED FOR THE REQUIRED WATER SERVICE PRESSURE FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE CROSSING, MEASURED PERPENDICULAR TO THE SEWER. THE CROSSING SHALL BE ARRANGED SO THAT SEWER JOINTS WILL BE EQUIDISTANT AND AS FAR AS POSSIBLE FROM THE WATER MAIN JOINTS.

WHERE CONDITIONS PREVENT AN 18" VERTICAL SEPARATION FROM BEING MAINTAINED, THE FOLLOWING METHODS SHALL BE SPECIFIED:

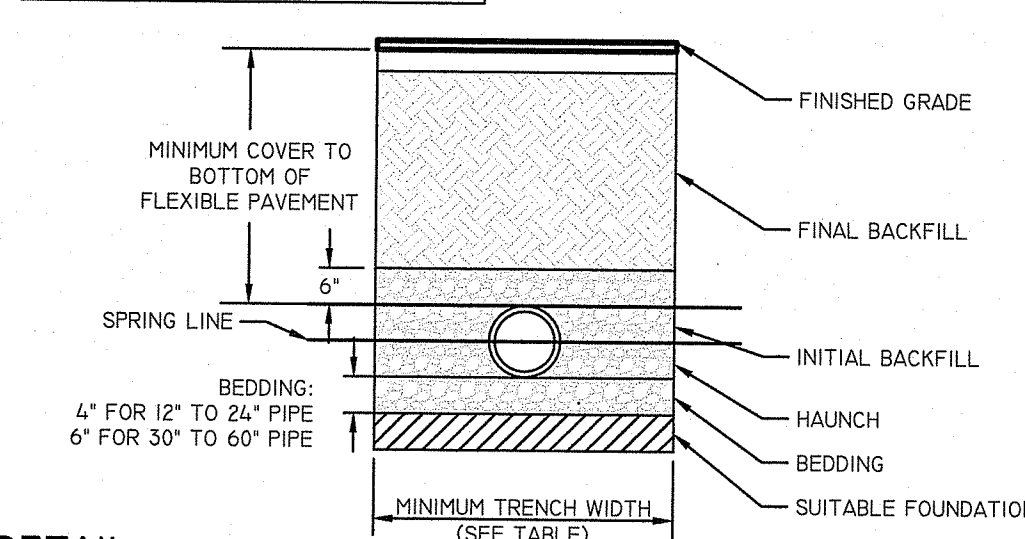
- A. THE SEWER SHALL BE DESIGNED AND CONSTRUCTED EQUAL TO WATER MAIN PIPE (CEMENT-LINED DUCTILE IRON PIPE, PVC OR OTHER AWWA APPROVED MATERIAL FOR POTABLE WATER CONVEYANCE) FOR A DISTANCE OF 12' ON EACH SIDE OF THE CROSSING, MEASURED PERPENDICULAR TO THE WATER MAIN AND PRESSURE TESTED IN ACCORDANCE WITH AWWA SPECIFICATIONS, OR
- B. EITHER THE WATER MAIN OR THE SEWER MAY BE ENCASED IN CONCRETE (MINIMUM 6" THICKNESS) OR A CARRIER PIPE FOR A DISTANCE OF 12' ON EACH SIDE OF THE CROSSING, MEASURED PERPENDICULAR TO THE WATER MAIN. THE CARRIER PIPE SHALL BE DESIGNED AND CONSTRUCTED OF MATERIALS WHICH ARE SATISFACTORY TO THE AUTHORITY HAVING JURISDICTION, OR
- C. ANY OTHER METHODS, IF SUPPORTED BY DATA FROM THE DESIGN ENGINEER, WHICH ENSURE ADEQUATE WATER TIGHTNESS AND ARE SATISFACTORY TO THE AUTHORITY HAVING JURISDICTION.

WATER LINES ARE DEFINED AS ANY CONDUITS OR PIPELINES THAT CONVEY POTABLE WATER.

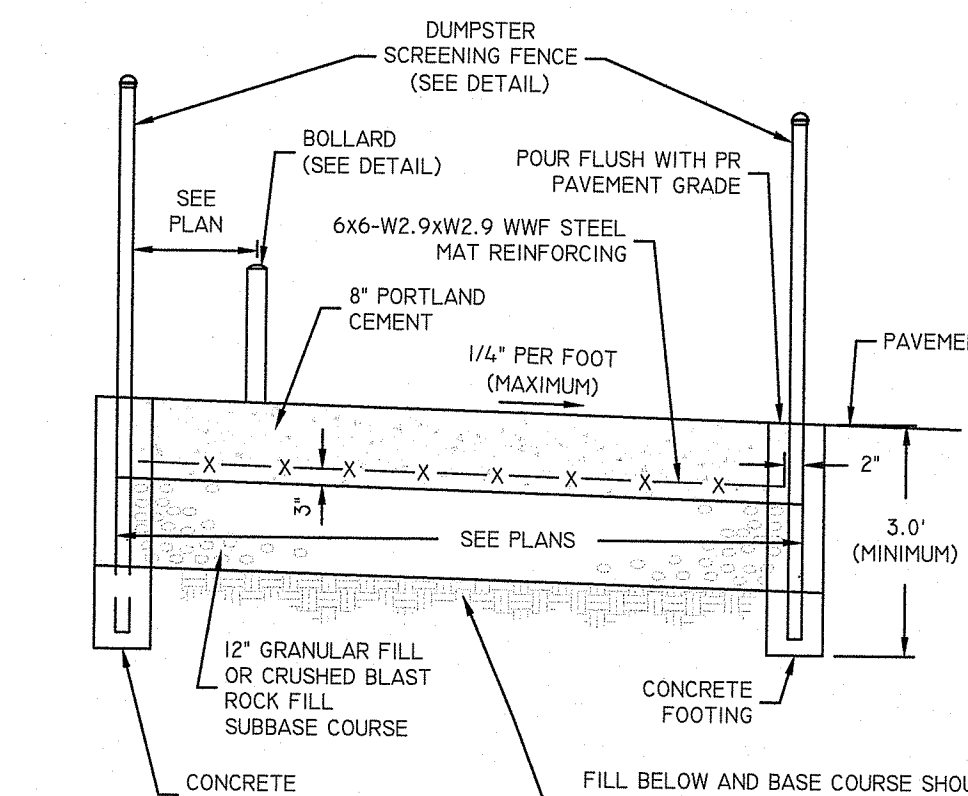
PIPE Ø	MIN. TRENCH WIDTH	PIPE Ø	MIN. TRENCH WIDTH
4"	21"	24"	48"
6"	23"	30"	56"
8"	26"	36"	64"
10"	28"	42"	72"
12"	30"	48"	80"
15"	34"	60"	96"
18"	39"		

INSTALLATION NOTES:

1. ALL PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS, LATEST EDITION.
2. MEASURES SHOULD BE TAKEN TO PREVENT MIGRATION OF NATIVE FINES INTO BACKFILL MATERIAL, WHEN REQUIRED.
3. FOUNDATION: WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE ENGINEER. AS AN ALTERNATIVE AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL.
4. BEDDING: SUITABLE MATERIAL SHALL BE CLASS I, II OR III. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER, UNLESS OTHERWISE NOTED BY THE ENGINEER. MINIMUM BEDDING THICKNESS SHALL BE 4" (100MM) FOR 4"-24" (100MM-600MM); 6" (150MM) FOR 30"-60" (750MM-1500MM).
5. INITIAL BACKFILL: SUITABLE MATERIAL SHALL BE CLASS I, II OR III IN THE PIPE ZONE EXTENDING NOT LESS THAN 6' ABOVE CROWN OF PIPE. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. MATERIAL SHALL BE INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION.
6. MINIMUM COVER: MINIMUM COVER, H, IN NON-TRAFFIC APPLICATIONS (GRASS OR LANDSCAPE AREAS) IS 12" FROM THE TOP OF PIPE TO GRADE SURFACE. ADDITIONAL COVER MAY BE REQUIRED TO PREVENT FLOTATION. FOR TRAFFIC APPLICATIONS, MINIMUM COVER, H, IS 12" UP TO 48" Ø PIPE AND 24" OF COVER FOR 60" Ø PIPE, MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT.

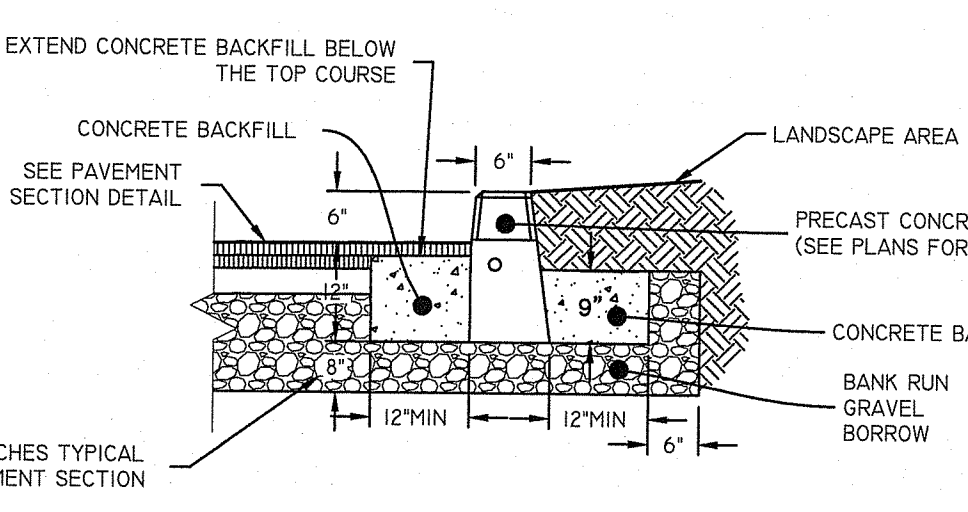


HDPE TRENCH DETAIL
NOT TO SCALE

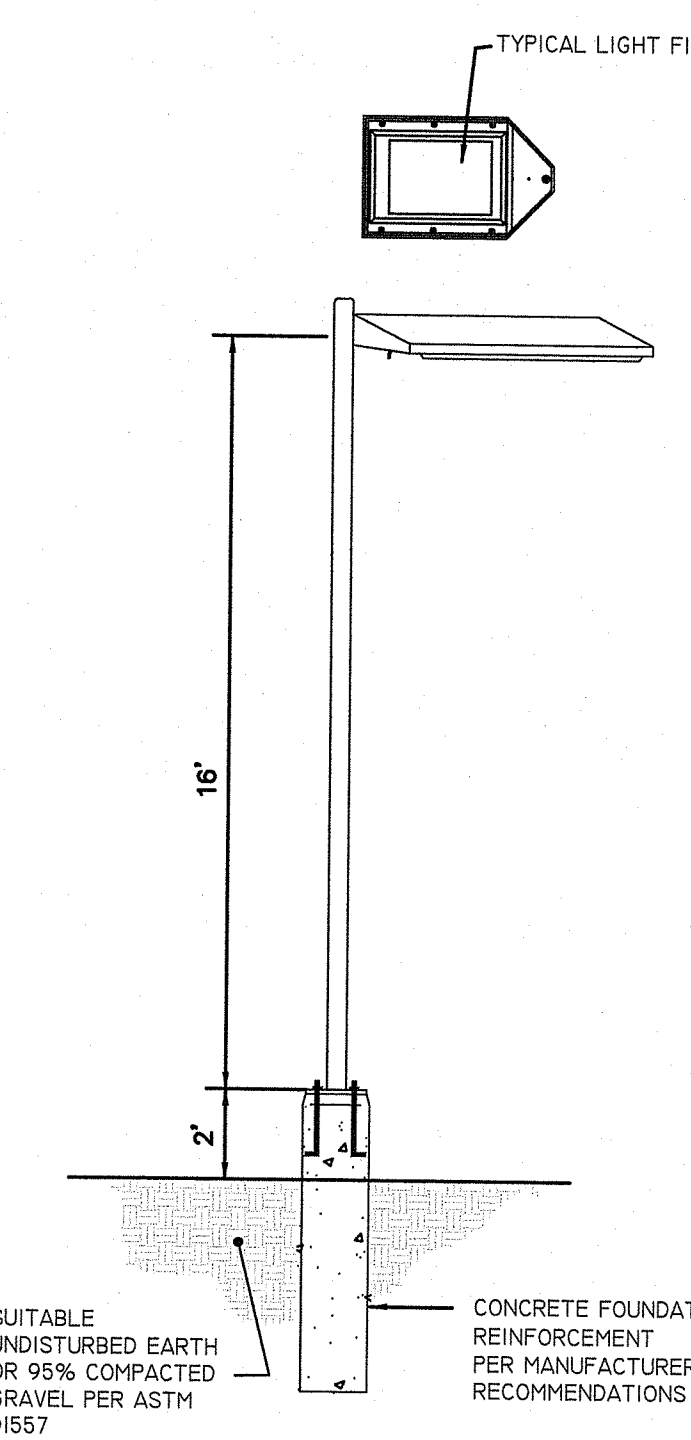


CONCRETE DUMPSTER PAD WITH BOLLARDS AND FENCE
NOT TO SCALE

- NOTES:**
1. PRECAST CONCRETE CURBING TO BE INSTALLED AT SPECIFIED ELEVATIONS ON PLANS PRIOR TO POURING OF CONCRETE BACKFILL.
 2. ALL LOCATIONS SPECIFIED IN PLAN SET AS PRECAST CURBING TO HAVE CONCRETE BACKFILL A MINIMUM WIDTH OF 12" AND DEPTH OF 9" POURED BEHIND PRECAST CURBING.
 3. ALL CONCRETE BACKFILL TO BE 4,000 PSI.
 4. PROVIDE EXPANSION JOINTS @ 20' O.C. MAX.

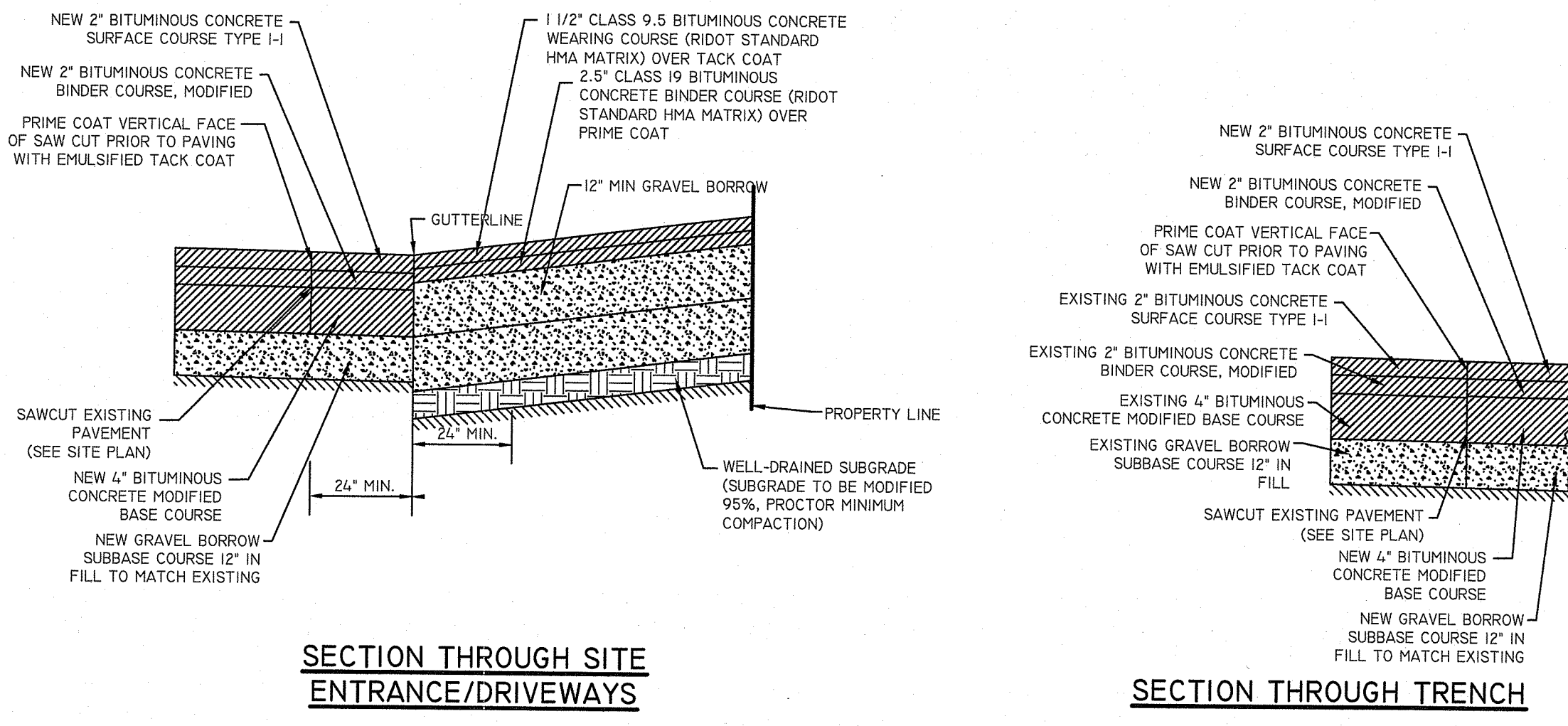


ON-SITE PRECAST CURB SETTING DETAIL
NOT TO SCALE



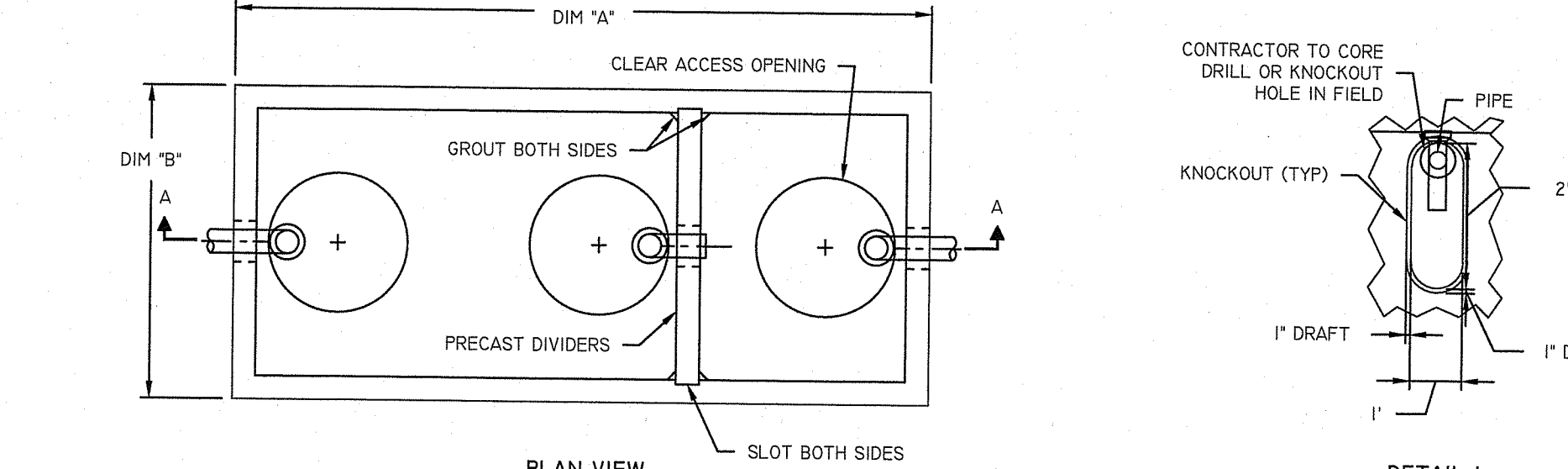
SITE LIGHT
NOT TO SCALE

NOTE:
PROPOSED THICKNESS IS MINIMUM, AND IF EXISTING THICKNESS IS FOUND TO BE GREATER, THE RESTORATION MUST FOLLOW AND MATCH THE EXISTING PAVEMENT STRUCTURE TO ENSURE SIMILAR STRUCTURAL CAPACITIES. IF A CONCRETE BASE IS FOUND IN THE ROADWAY, RESTORATION SHALL INCLUDE CLASS XX CONCRETE BASE IN-KIND THICKNESS IN ACCORDANCE WITH RI STANDARD SPECIFICATIONS.

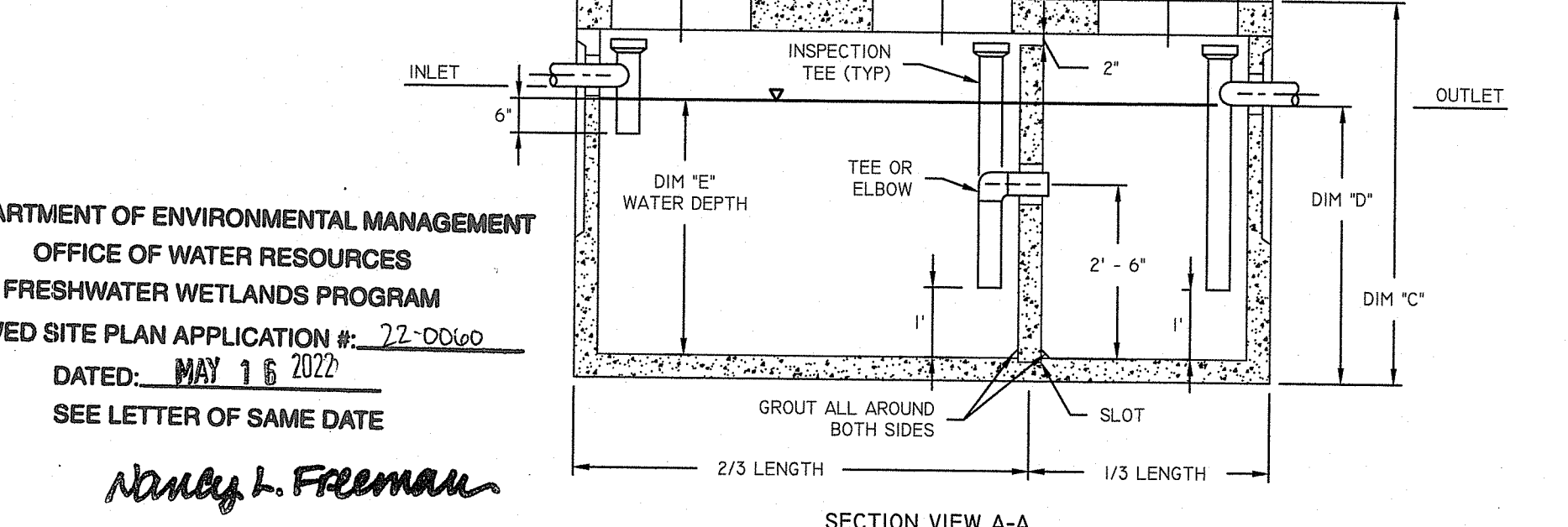


SECTION THROUGH SITE ENTRANCE/DRIVEWAYS

SECTION THROUGH TRENCH



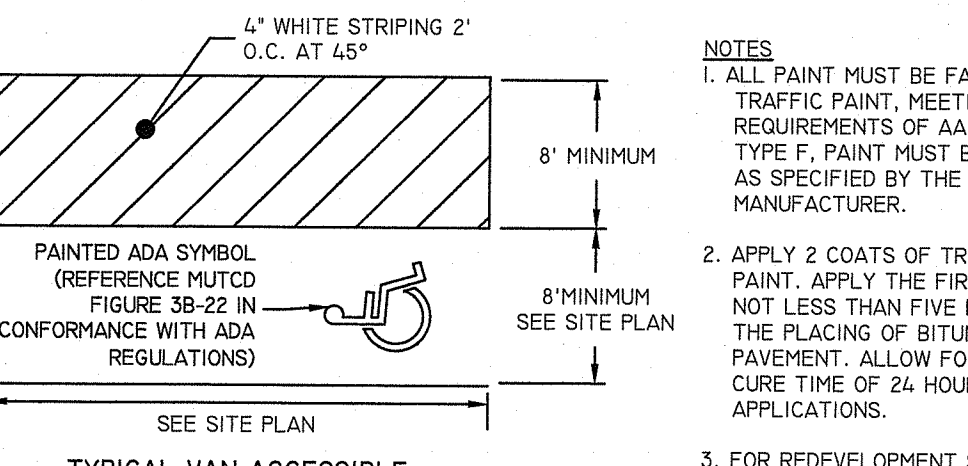
PLAN VIEW
DETAIL I



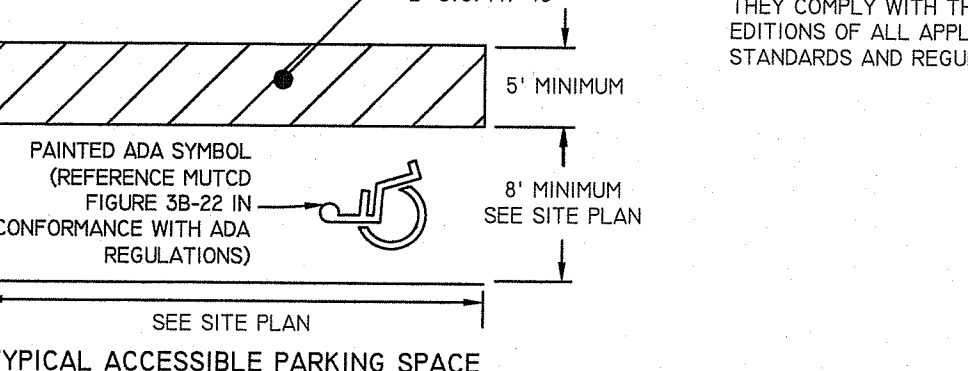
GALLON CAPACITY	600	800	1000	1500	2000	2500	3000	4000	5000	6000	7000
UV MODEL NO.	577-GA	577-GA	448L-GA	5106-GA	612-GA	612-GA	712-GA	712-GA	816-GA	816-GA	816-GA
DIM 'A'	7'-7"	7'-7"	9'-0"	11'-2"	12'-8"	12'-8"	13'-1"	15'-7"	19'-11"	19'-11"	19'-11"
DIM 'B'	4'-8"	4'-8"	5'-0"	5'-8"	6'-8"	6'-8"	8'-0"	9'-7"	9'-11"	9'-11"	9'-11"
DIM 'C'	7'-0"	7'-0"	7'-2"	7'-2"	8'-0"	8'-0"	8'-7"	8'-7"	10'-0 1/2"	10'-5"	10'-5"
DIM 'D'	3'-7"	4'-8"	4'-2"	4'-3"	4'-7"	5'-6 1/2"	5'-1"	6'-8"	7'-4"	7'-1"	8'-0"
WATER DEPTH DIM 'E'	3'-5"	4'-4"	3'-10"	3'-11"	3'-9 1/2"	4'-9"	4'-8"	6'-3"	6'-1"	5'-8"	6'-7"

- NOTE:**
1. CONCRETE: 28 DAY COMPRESSIVE STRENGTH F'C = 4500 PSI
 2. REBAR: ASTM A-615 GRADE 60
 3. MESH: ASTM A-185 GRADE 65
 4. DESIGN: ACI-318-02 BUILDING CODE. ASTM C-657 MINIMUM STRUCTURAL DESIGN LOADING FOR UNDERGROUND PRECAST CONCRETE UTILITY STRUCTURES*
 5. LOADS: H-20 TRUCK WHEEL WITH 30% IMPACT PER AASHTO
 6. FILL WITH CLEAN WATER PRIOR TO START-UP OF SYSTEM
 7. CONTRACTOR TO SUPPLY AND INSTALL ALL PIPING AND SAMPLING TEES
 8. GRAY WATER ONLY. BLACK WATER SHALL BE CARRIED BY SEPARATE SIDE SEWER
 9. FOR MASSACHUSETTS PROJECTS THE PIPES FROM BUILDING TO GREASE TRAP AND FROM GREASE TRAP TO NEXT DOWNSTREAM STRUCTURE MUST BE CAST IRON AND IN ACCORDANCE WITH 284CMR.

GREASE INTERCEPTOR
NOT TO SCALE



TYPICAL VAN ACCESSIBLE PARKING SPACE

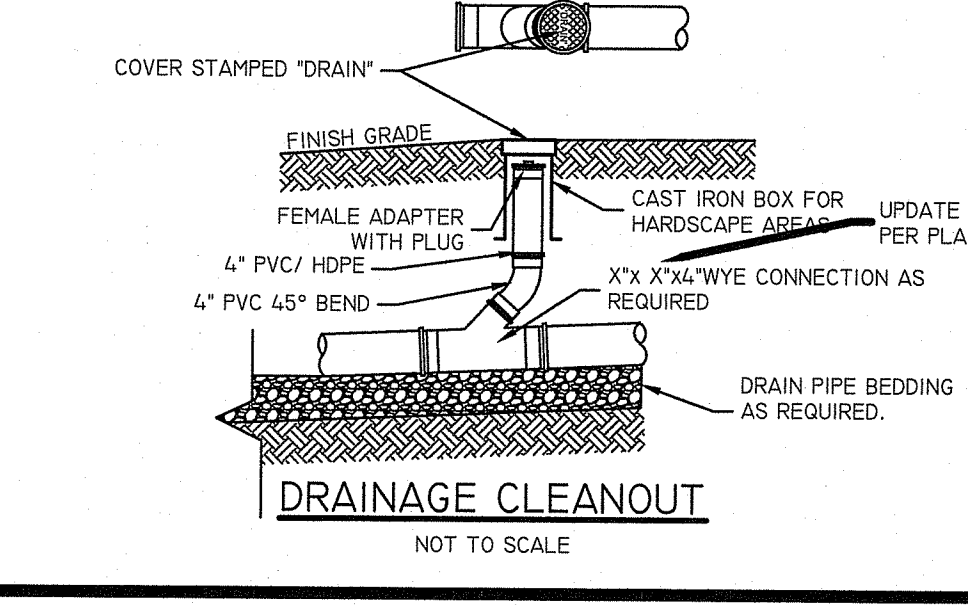


TYPICAL ACCESSIBLE PARKING SPACES
NOT TO SCALE

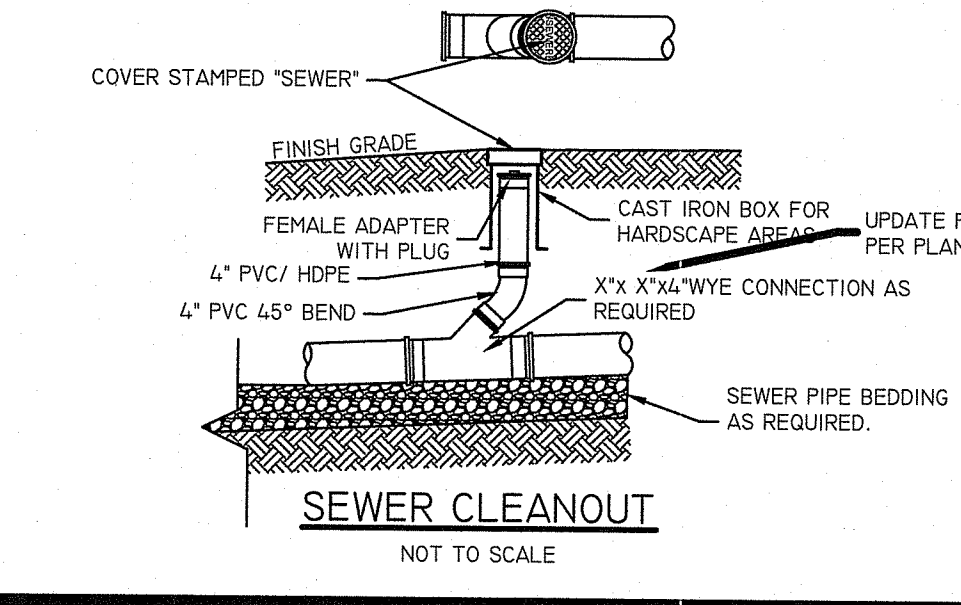
- NOTES:**
1. ALL PAINT MUST BE FAST DRYING TRAFFIC PAINT, MEETING THE REQUIREMENTS OF AASHTO M248 TYPE F. PAINT MUST BE APPLIED AS SPECIFIED BY THE MANUFACTURER.
 2. APPLY 2 COATS OF TRAFFIC PAINT. APPLY THE FIRST COAT NOT LESS THAN FIVE DAYS AFTER THE PLACING OF BITUMINOUS PAVEMENT. ALLOW FOR MINIMUM CURE TIME OF 24 HOURS BETWEEN APPLICATIONS.
 3. FOR REDEVELOPMENT SITES, PAINT COLOR AND SIZE/ STENCILING OF PAINTED ADA SYMBOL MUST MATCH ADJACENT SPACES, SO LONG AS THEY COMPLY WITH THE CURRENT EDITIONS OF ALL APPLICABLE STANDARDS AND REGULATIONS.

SAW CUT AND MATCH DETAIL CROSS SECTIONS (MAIN ROAD & SOUZA ROAD)

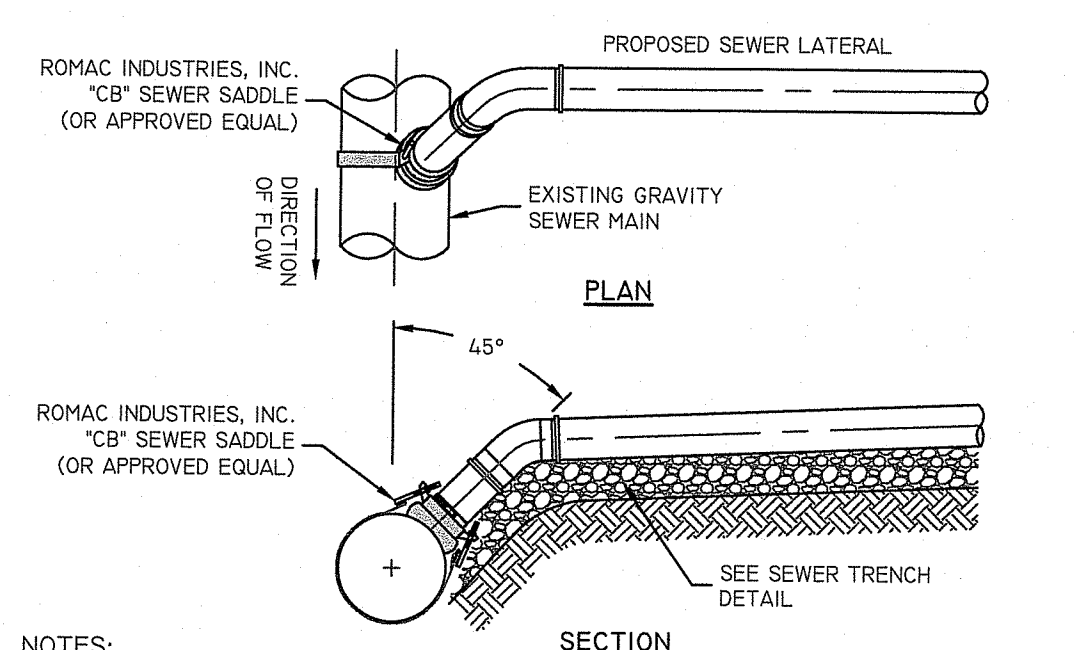
- NOTES:**
1. ALL PIPE AND FITTINGS SHALL BE SCH-40 PVC.
 2. PIPE BEDDING AND BACKFILL FOR CLEANOUTS SHALL MEET APPLICABLE SEWER SPECIFICATIONS UNLESS OTHERWISE NOTED BY ENGINEER.
 3. FOR SEPTIC APPLICATIONS, CLEANOUTS ARE REQUIRED AT INTERVALS NOT GREATER THAN 75'. FOR ALL OTHER APPLICATIONS, A MINIMUM OF ONE CLEANOUT SHALL BE PLACED ON EACH LATERAL, 5' FROM THE STRUCTURE, AND FOR LONGER RUNS, CLEANOUTS SHALL BE LOCATED EVERY 100'.
 4. FOR PAVED/ ROADWAY/ HARDSCAPE AREAS, ALL CLEANOUTS SHALL BE SLEEVED WITH A CAST-IRON BOX SET FLUSH WITHIN THE FINAL GRADE. FOR TRAFFICABLE APPLICATIONS, THE CAST-IRON BOX MUST MEET H-20 LOADING. FOR SOFTSCAPE AREAS, CLEANOUT ACCESS COVER SHALL BE SET FLUSH WITH FINAL GRADE (CAST-IRON BOX NOT REQUIRED). ALL COVERS SHALL BE INSCRIBED WITH THE WORD "SEWER."



DRAINAGE CLEANOUT
NOT TO SCALE



SEWER CLEANOUT
NOT TO SCALE



- NOTES:**
1. SADDLE MUST BE INSTALLED IN ACCORDANCE WITH ALL MANUFACTURER SPECIFICATIONS AND INSTRUCTIONS.
 2. ALL PIPE AND FITTINGS MUST BE GASKETED SDR-35 PVC (OR) SCH-40 PVC.
 3. SEWER SERVICE AND CONNECTION INTO EXISTING SEWER MAIN MUST BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE WATER AUTHORITY RULES AND REGULATIONS.
 4. CONTRACTOR TO ENSURE EXISTING SEWER MAIN IS NOT DAMAGED DURING CONSTRUCTION/ INSTALLATION OF SERVICE

SEWER SADDLE CONNECTION DETAIL
NOT TO SCALE

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
REVIEWED SITE PLAN APPLICATION # 22-00060
DATED: MAY 15 2022
SEE LETTER OF SAME DATE

Nancy L. Freeman

RI Environmental Management
APR 12 2022
Office of Water Resources

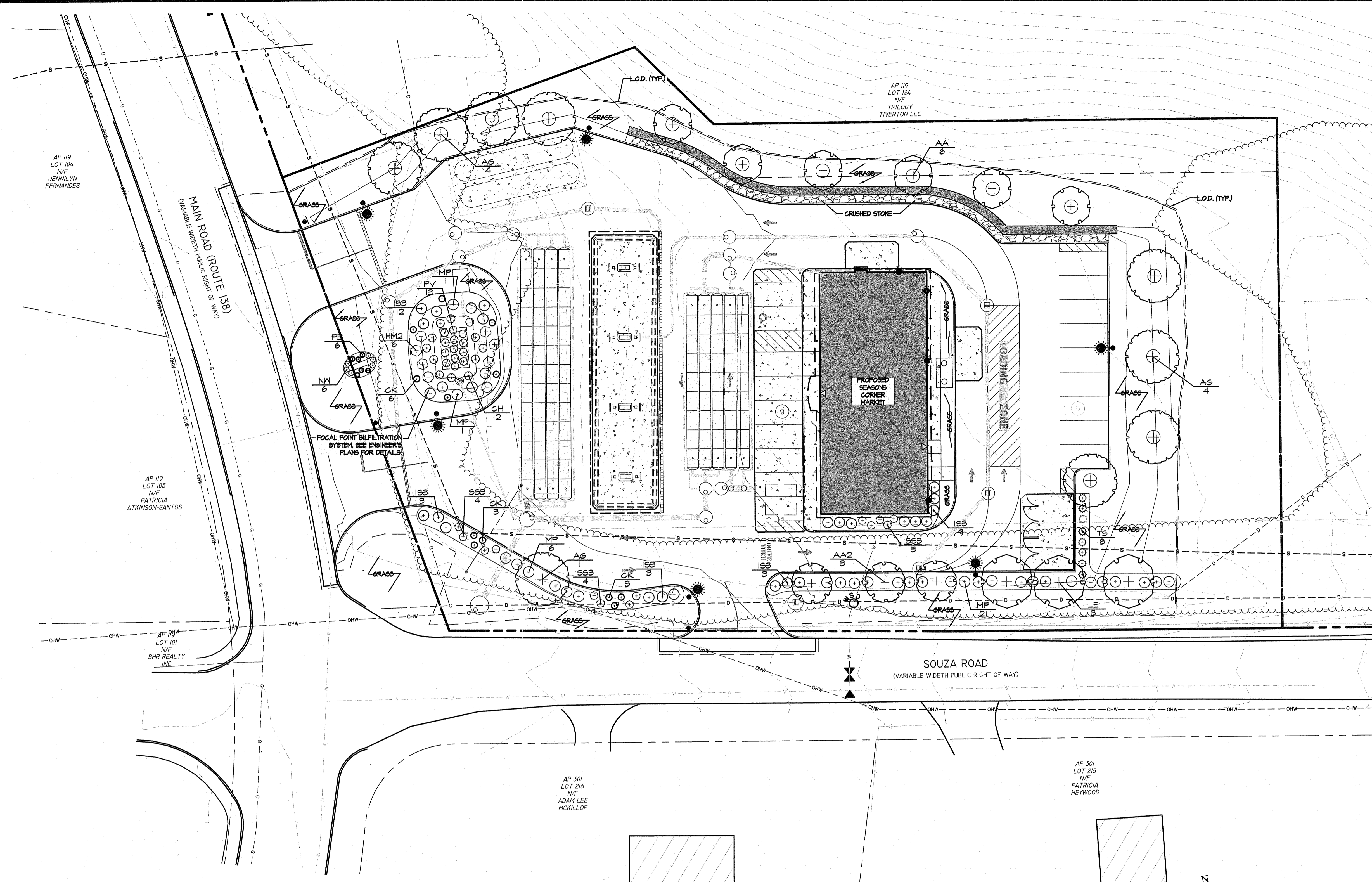
DETAIL SHEET - 2

SEASONS CORNER MARKET
ASSESSOR'S PLAT 119 LOT 424
TIVERTON, RHODE ISLAND

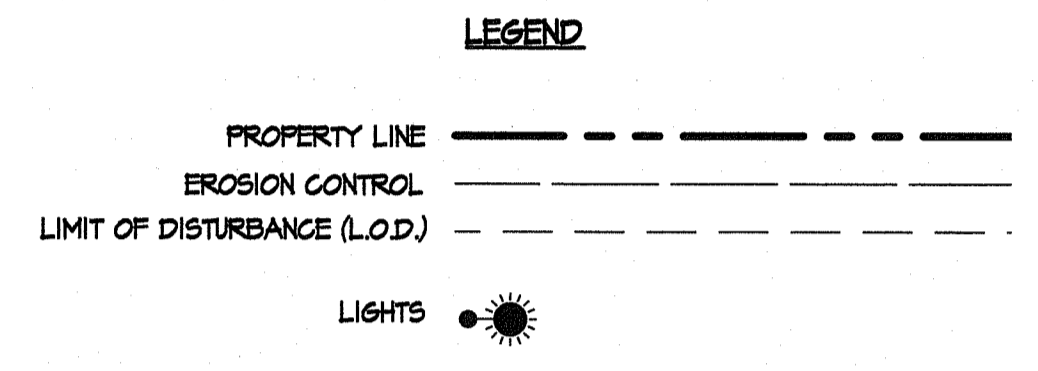
PREPARED FOR:
COLBERT ENTERPRISES, LLC
2050 PLAINFIELD PIKE, CRANSTON, RHODE ISLAND 02924
TEL: 401-942-0065 FAX: 401-943-5309

LEONARD R. BRADLEY
No. 6610
REGISTERED PROFESSIONAL ENGINEER
CIVIL

Diprete Engineering
Two Stafford Court Cranston, RI 02920
Tel: 401-943-1000 Fax: 401-464-6006 www.diprete-eng.com
Boston • Providence • Newport



- NOTES:**
- GENERAL:**
1. THE EXISTING SITE INFORMATION WAS TAKEN FROM A PLAN PREPARED BY DIPRETE ENGINEERING, TITLED DRAINAGE & UTILITY PLAN, AT A SCALE OF 1" = 20', DATED DECEMBER 17, 2021, AND FROM MEASUREMENTS PERFORMED BY JOHN C. CARTER & CO.
 2. ANY PROPERTY LINES DEPICTED ON THIS PLAN ARE PICTORIAL ONLY. THIS PLAN IS TO BE USED FOR THE SELECTION, LOCATION AND INSTALLATION OF LANDSCAPE MATERIALS ONLY AND IS NOT TO BE USED FOR ANY OTHER PURPOSE. ALL FOUNDATIONS, RETAINING WALLS AND DRAINAGE COMPONENTS SHALL BE STAKED OUT BY THE ENGINEER OR SURVEYOR.
 3. WRITTEN DIMENSIONS AND SPECIFICATIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.
 4. THE LOCATION OF UTILITIES IF SHOWN ON THIS PLAN ARE APPROXIMATE ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY THE LOCATION OF ALL UTILITIES BEFORE ANY EXCAVATION. DIG-SAFE SHALL BE CONTACTED AT LEAST 72 HOURS BEFORE EXCAVATION. DIG-SAFE CAN BE REACHED AT 1-888-344-1233.



RI Environmental Management
 APR 12 2022
 Office of Water Resources

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 REVIEWED SITE PLAN APPLICATION #: 22-0060
 DATED: MAY 16 2022
 SEE LETTER OF SAME DATE
Nancy L. Freeman

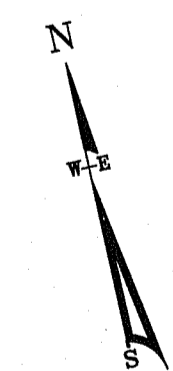
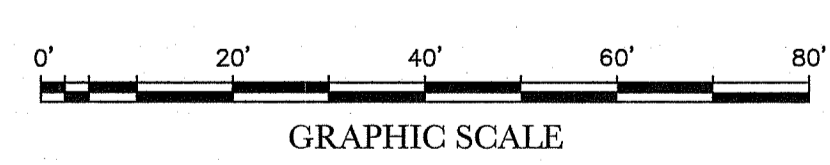
PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE
AA2	3	ACER RUBRUM 'ARMSTRONGS'	ARMSTRONGS RED MAPLE	2-2-1/2" CAL.
AG	4	ACER RUBRUM 'OCTOBER GLORY' TM	OCTOBER GLORY MAPLE	2-2-1/2" CAL.
AA	6	AMELANCHIER CANADENSIS 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	1.5-2" CAL.
LE	3	LIQUIDAMBAR STYRACIFLUA HAPPIDAZE	SWEET GUM	2-2-1/2" CAL.

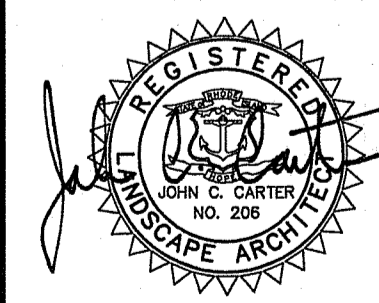
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE
CH	12	CLETHRA ALNIFOLIA 'HUMMINGBIRD'	SUMMERSWEET	18-24" HT
HM2	6	HIBISCUS MOSCHEUTOS	ROSE MALLOW	15-18" HT
ISB	30	ILEX GLABRA 'SHAMROCK'	INKBERRY	18-24" HT
MP	24	MORELLA PENNSYLVANICA	NORTHERN BAYBERRY	18-24" HT.
SSB	15	SPIRAEA JAPONICA 'SHIROBANA'	SHIROBANA SPIREA	15-18" HT
TS	0	THUJA OCCIDENTALIS 'SMARAGD'	EMERALD GREEN ARBORVITAE	4-5' HT

GRASSES	QTY	BOTANICAL NAME	COMMON NAME	SIZE
CK	12	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	2 GAL
PV	15	PANICUM VIRGATUM	SWITCH GRASS	2 GAL
PB	6	PENNISETUM ALOPECUROIDES 'LITTLE BUNNY'	LITTLE BUNNY FOUNTAIN GRASS	2 GAL

ANNUALS/PERENNIALS	QTY	BOTANICAL NAME	COMMON NAME	SIZE
NM	6	NEPETA X FAASSENII 'WALKERS LOW'	WALKERS LOW CATMINT	2 GAL



1	03/25/22	PLANTS W/IN FOCALPOINT SYSTEM	J.C.C
NO.	DATE	DESCRIPTION	BY



LANDSCAPE PLAN
SEASONS CORNER MARKET
 MAIN ROAD
 ASSESSOR'S PLAT 119 LOT 624
 TIVERTON, RHODE ISLAND
 PREPARED BY
JOHN C. CARTER & COMPANY, INC.
 LANDSCAPE ARCHITECTURE
 960 Boston Neck Road
 Narragansett, RI 02882
 (401)783-3500 Fax: (401) 792-1327
 PREPARED FOR
Colbea Enterprises, LLC
 2050 Plainfield Pike
 Cranston, RI 02921

JANUARY 21, 2022
 DWN. BY: L.M.W.

SHEET 1

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NOTES:

GENERAL:

1. THE EXISTING SITE INFORMATION WAS TAKEN FROM A PLAN PREPARED BY DIPRETE ENGINEERING, TITLED DRAINAGE & UTILITY PLAN, AT A SCALE OF 1" = 20', DATED DECEMBER 17, 2021, AND FROM MEASUREMENTS PERFORMED BY JOHN C. CARTER & CO.
2. ANY PROPERTY LINES DEPICTED ON THIS PLAN ARE PICTORIAL ONLY. THIS PLAN IS TO BE USED FOR THE SELECTION, LOCATION AND INSTALLATION OF LANDSCAPE MATERIALS ONLY AND IS NOT TO BE USED FOR ANY OTHER PURPOSE. ALL FOUNDATIONS, RETAINING WALLS AND DRAINAGE COMPONENTS SHALL BE STAKED OUT BY THE ENGINEER OR SURVEYOR.
3. WRITTEN DIMENSIONS AND SPECIFICATIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.
4. THE LOCATION OF UTILITIES IF SHOWN ON THIS PLAN ARE APPROXIMATE ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY THE LOCATION OF ALL UTILITIES BEFORE ANY EXCAVATION. DIG-SAFE SHALL BE CONTACTED AT LEAST 72 HOURS BEFORE EXCAVATION. DIG-SAFE CAN BE REACHED AT 1-888-344-1293.

PLANTING BED PREPARATION:

ALL PLANTING BEDS ARE TO BE TREATED AS FOLLOWS:

1. ALL PLANTING BEDS ARE TO BE EXCAVATED TO A DEPTH OF 8" BELOW FINISHED GRADE.
2. THE BOTTOM OF THE PLANTING BEDS ARE TO BE SCARIFIED TO ENCOURAGE DRAINAGE AND PREVENT COMPACTION.
3. ALL PLANTING BEDS ARE TO BE BACKFILLED WITH 8" OF LOOSE, FRIABLE, ORGANIC LOAM OR COMPOST.

PLANTING:

1. PROVIDE QUALITY PLANTS IN THE GENUS, SPECIES AND VARIETY INDICATED IN THE PLANT SCHEDULE, COMPLYING WITH APPLICABLE REQUIREMENTS OF 'ANSI Z601 AMERICAN STANDARD FOR NURSERY STOCK.'
2. PROVIDE PLANTS IN THE SIZE AND NUMBER INDICATED IN THE PLANT SCHEDULE. PLANTS SHALL BE GROWN IN NURSERIES LOCATED IN THE NORTHEASTERN U.S.
3. DELIVER FRESH DUG TREES WHICH ARE BALLED AND BURLAPPED, AND SHRUBS WHICH ARE BALLED AND BURLAPPED OR IN NURSERY CONTAINERS. ALL PLANTS ARE TO BE HEALTHY, VIGOROUS AND FREE OF INSECTS AND DISEASE.
4. PLANTS ARE TO BE INSTALLED AS SPECIFIED IN THE PLANTING DETAILS WITH ADEQUATE WATER PROVIDED DURING PLANTING TO ALL ON COMPACTION OF THE PLANTING SOIL TO PREVENT ANY AIR POCKETS OR SETTLEMENT AFTER PLANTING.
5. ALL PLANTING BEDS ARE TO BE COVERED WITH 2" SHREDDED PINE BARK MULCH.
6. AFTER THE TREES AND SHRUBS ARE PLANTED, THE DISTURBED AREAS BETWEEN THE PLANTING BEDS SHALL BE LOAMED AND SEEDED WITH A SEED MIX AS SPECIFIED IN THE LOAMING AND SEEDING NOTES.
7. ALL DECIDUOUS AND EVERGREEN TREES OVER 5' TALL ARE TO BE STAKED AS SHOWN IN THE PLANTING DETAILS. TREES ARE TO REMAIN PLUMB AND SHALL BE ADJUSTED AS NEEDED. ALL STAKES AND ARBOR TREES ARE TO BE MAINTAINED AND ADJUSTED TO PREVENT GIRDLING OF THE TRUNK AND REMOVED WHEN NO LONGER NEEDED.
8. PLANT SUBSTITUTIONS SHALL BE ALLOWED BASED ON AVAILABILITY AND SITE CONDITIONS. SUBSTITUTIONS MAY BE MADE ONLY WITH DIRECT APPROVAL FROM THE LANDSCAPE ARCHITECT OR OWNER.

LAYOUT:

1. AFTER THE PLANTING BEDS ARE PREPARED, THE PLANTS SHALL BE PLACED ON THE GROUND WHERE SHOWN ON THE PLAN.
2. THE PLANTS SHALL BE ORIENTED IN SUCH A MANNER TO RESULT IN THE MOST UNIFORM AND VIGOROUS SIDE OF THE PLANT FACING THE FRONT.
3. THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED AND MAY INSPECT AND APPROVE THE LOCATIONS BEFORE THEY ARE PLANTED.

MAINTENANCE & WARRANTY:

1. THE CONTRACTOR SHALL WARRANT ALL PLANTS FOR A PERIOD OF ONE YEAR AFTER THE DATE OF SUBSTANTIAL COMPLETION AGAINST DEFECTS INCLUDING DEATH AND UNSATISFACTORY GROWTH.
2. AFTER PLANTING IS COMPLETED, THE OWNER SHALL BE RESPONSIBLE TO PROVIDE ADEQUATE WATER TO ENSURE HEALTHY AND VIGOROUS GROWTH.
3. ANY PLANT WHICH IS NOT HEALTHY AND GROWING VIGOROUSLY AFTER ONE YEAR SHALL BE REPLACED BY THE CONTRACTOR IN CONFORMANCE WITH THE PLANTING SPECIFICATIONS.
4. IF NECESSARY, THE CONTRACTOR SHALL OVERSEED OR SOD ANY AREAS WHICH ARE NOT SUBSTANTIALLY COVERED BY ADEQUATE GRASS GROWTH FOR ONE YEAR AFTER THE INITIAL SEED APPLICATION.

LOAMING & SEEDING:

1. AREAS LABELED AS 'GRASS' ARE TO BE SEEDED OR SODDED AS DIRECTED BY THE OWNER.
2. AFTER ROUGH GRADING IS COMPLETED, ALL DISTURBED AREAS WHICH ARE LABELED AS "GRASS", ARE TO BE BROUGHT TO AN ELEVATION OF 6" BELOW THE PROPOSED FINISHED GRADE. IF COMPACTION, THE SUBGRADE IS TO BE SCARIFIED TO A DEPTH OF 12" WITH THE TEETH OF A BACKHOE TO RESULT IN AN UNCOMPACTED SUBSOIL. THEN 6" OF GOOD QUALITY TOPSOIL IS TO BE APPLIED AND RAKED TO FINISHED GRADE.
3. THE TOPSOIL IS TO BE GOOD QUALITY LOAM, FERTILE AND FREE OF WEEDS, STICKS AND STONES OVER 3/4" IN SIZE AND OTHERWISE COMPLYING WITH SECTION M.10.01 OF THE RI DOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
4. LIME IS TO BE APPLIED AT A RATE OF ONE TON PER ACRE AND UNIFORMLY INCORPORATED INTO THE TOP 1-2" OF TOPSOIL.
5. AFTER THE SEED BED IS PREPARED, THE AREA IS TO BE HYDRO-SEEDED. THE HYDRO-SEED SHALL BE APPLIED EVENLY OVER THE SURFACE WITH A BONDED 100% MOOD FIBER MATRIX USING ACCEPTED HORTICULTURAL PRACTICES. THE SLURRY SHALL INCLUDE WATER, SEED, MOOD FIBER AND A HIGH PHOSPHORUS STARTER FERTILIZER.
6. RATHER THAN HYDRO-SEEDED AS DESCRIBED ABOVE, WITH PERMISSION FROM THE OWNER, THE CONTRACTOR MAY BROADCAST SEED. PRIOR TO SEEDING, FERTILIZE WITH A HIGH PHOSPHORUS STARTER FERTILIZER, APPLIED AT THE MANUFACTURER'S RECOMMENDED RATES. SEED SHALL BE BROADCAST EVENLY OVER THE PREPARED SURFACE AND WORKED INTO THE TOP 1" OF SOIL.

SEED MIXES:

- PROVIDE QUALITY SEED DERIVED FROM THE VARIETY INDICATED UNDER 'SEEDING'.
- ALL SEED IS TO BE VIABLE, HEALTHY AND FREE OF INSECTS AND DISEASE.
- SEED IS TO BE INSTALLED AS SPECIFIED IN THE SEEDING NOTES WITH ADEQUATE WATER PROVIDED TO ESTABLISH A HEALTHY GRASS CATCH.
- RECOMMENDED SEEDING DATES ARE APRIL 1 TO JUNE 30 AND AUGUST 15 TO NOVEMBER 15. LATE FALL AND WINTER DORMANT SEEDING REQUIRE AN INCREASE IN THE SEEDING RATE.
- SEED SUBSTITUTIONS SHALL BE ALLOWED BASED ON AVAILABILITY ONLY WITH DIRECT APPROVAL FROM THE LANDSCAPE ARCHITECT OR OWNER.

SEED MIX SHALL BE AS FOLLOWS:

- 50% TRI-FLEX PERENNIAL RYEGRASS BLEND CONSISTING OF APPLAUD II, SOPRANO & 16 SQUARED
- 50% DARK & DURABLE
 - 27% FURY TALL FESCUE
 - 27% CORONADO TALL FESCUE
 - 26% ENDEAVOR TALL FESCUE
 - 10% 1Q PERENNIAL RYEGRASS
 - 10% BROOKLAWN KENTUCKY BLUEGRASS

SODDING:

IF THE AREAS THAT ARE LABELED 'GRASS' ARE TO BE SODDED:

1. SOD SHALL BE LIVE, FRESH, AND OF SUITABLE CHARACTER FOR THE PURPOSE INTENDED AND FOR THE SOIL ON WHICH IT WILL BE PLACED. SODS SHALL BE AT LEAST 2-SQUARE FEET IN AREA AND SHALL BE THICK ENOUGH TO CONTAIN ALL NATURAL ROOTS WITHOUT MUTILATION. IN NO CASE WILL SODS BE PERMITTED TO BE UNDER 3/4" THICK OR OVER 1" THICK, UNLESS EXPRESS WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT IS PROCURED. SOD STORED LONGER THAN 36 HOURS WILL NOT BE ALLOWED UNDER ANY CIRCUMSTANCES.
2. RECOMMENDED SODDING DATES ARE APRIL 1 TO JUNE 30 AND AUGUST 15 TO NOVEMBER 15.
3. SOD INSTALLATION: THE SOD BED SHALL BE MOIST AND BE WATERED CONTINUOUSLY DURING THE SODDING OPERATION. SOD SHALL BE LAID IN THE LONGEST DIMENSION PARALLEL TO THE CONTOUR. THE FIRST ROW OF SOD SHALL BE LAID A STRAIGHT LINE WITH THE SUBSEQUENT ROWS PLACED PARALLEL TO AND TIGHTLY AGAINST EACH OTHER. LATERAL/VERTICAL JOINTS SHALL BE STAGGERED BY A MINIMUM OF 12" TO PROMOTE UNIFORM GROWTH AND STRENGTH. SOD SHALL NOT BE STRETCHED OR OVERLAPPED AND ALL JOINTS SHALL BE BUTTED TIGHT.
4. AFTER THE SOD IS PLACED, IT SHALL BE PRESSED FIRMLY INTO CONTACT WITH THE SOD BED BY TAMPING OR HAND ROLLING. THIS PROCEDURE SHALL NOT DEFORM THE SOD. THE CONTRACTOR SHALL CUT THE SOD TO LINE AS INDICATED ON THE PLAN OR AS DIRECTED BY THE LANDSCAPE ARCHITECT.

NOTE:

A FOCALPOINT HIGH FLOW BIOFILTRATION SYSTEM HAS BEEN PROPOSED FOR THIS SITE. PLANTS ON THIS PLAN THAT HAVE BEEN SPECIFIED FOR THIS AREA HAVE BEEN SELECTED TO CONFORM WITH FOCALPOINT PLANT SELECTION CRITERIA. SEE ENGINEER'S PLAN FOR FURTHER DETAILS.

TOWN OF TIVERTON:

CODE OF ORDINANCES - APPENDIX A - ZONING

ARTICLE X - SPECIAL PROVISIONS

SECTION 1. PARKING REGULATIONS

F. OFF-STREET PARKING AREAS SHALL CONFORM TO THE FOLLOWING SITE, LIGHTING, SCREENING AND LANDSCAPE REQUIREMENTS.

LANDSCAPE REQUIREMENTS (ALL OTHER ZONES):

(2) WHERE A PARKING AREA FRONTS ON A PUBLIC STREET, IT SHALL BE, AS A MINIMUM, SCREENED FROM THE STREET BY EITHER A WALL OR FENCE NOT LESS THAN THREE FEET IN HEIGHT, OR A TEN-FOOT WIDE LANDSCAPE STRIP PLANTED WITH SHADE TREES, WITH A MINIMUM OF ONE TREE FOR EVERY 30 FEET OF FRONTAGE. ADDITIONAL SCREENING AND LANDSCAPING, AS DETERMINED BY THE BUILDING OFFICIAL WITH THE CONCUERRE OF THE PLANNING BOARD MAY BE REQUIRED.

A LANDSCAPE STRIP GREATER THAN TEN-FOOT WIDE IS PROVIDED WHERE THE PARKING AREAS FRONT ON SOUZA ROAD AND MAIN ROAD. EXISTING AND PROPOSED UNDERGROUND UTILITIES IN THIS AREA LIMIT THE PLANTING OF TREES DUE TO POTENTIAL CONFLICTS. WHEREVER POSSIBLE, TREES HAVE BEEN PROPOSED AND SHRUBS HAVE BEEN ADDED FOR ADDITIONAL SCREENING.

230 FEET EXISTS WHERE THE PARKING AREA FRONTS ON SOUZA ROAD
230 / 30 = 7.6 (8)

160 FEET EXISTS WHERE THE PARKING AREA FRONTS ON MAIN ROAD.
160 / 30 = 5.3 (5)

TREES REQUIRED	TREES PROVIDED
13	8

(8) ANY PARKING AREA USED FOR OTHER THAN RESIDENTIAL PURPOSES SHALL BE, AS A MINIMUM, PROVIDED WITH INTERIOR LANDSCAPING OF AN AREA NOT LESS THAN FIVE PERCENT OF THE TOTAL PARKING AREA, INCLUDING AT ALL AISLE ENDS AND CORNER AREAS, AND SHALL BE, AS A MINIMUM, PLANTED WITH FIVE-FOOT WIDE BUFFER AROUND THE PERIMETER, WITH A MINIMUM OF ONE TREE FOR EVERY 30 FEET. FOR SUCH AREAS, PROVISIONS SHALL BE MADE FOR ACCESS BETWEEN COMMERCIAL USES. ADDITIONAL SCREENING AND LANDSCAPING, AS DETERMINED BY THE BUILDING OFFICIAL WITH THE CONCUERRE OF THE PLANNING BOARD, MAY BE REQUIRED.

PROPOSED PARKING AREA	5% INTERIOR LANDSCAPING REQUIRED	INTERIOR LANDSCAPING PROVIDED
24,818 SQ. FT.	1,445 SQ. FT.	3,025 SQ. FT.

A PLANTED BUFFER IS PROPOSED AT LEAST FIVE-FOOT IN WIDTH AROUND THE PERIMETER OF THE PARKING AREA WITH A MINIMUM OF ONE TREE FOR EVERY 30 FEET OF PERIMETER.

PERIMETER AROUND PARKING AREA = 340' +/- / 30 = 11

TREES REQUIRED	TREES PROVIDED
11	11

(4) SELECTED PLANT AND TREE SPECIES USED TO MEET THE ABOVE LANDSCAPING REQUIREMENTS SHALL BE DIVERSE IN HEIGHT, FORM AND COLOR, AND SHALL BE DISEASE RESISTANT AND SUITABLE FOR THE AREAS IN WHICH THEY ARE TO BE PLANTED.

TREES AND SHRUBS HAVE BEEN SELECTED TO MEET THE ABOVE LANDSCAPING REQUIREMENTS AND ARE SUITABLE FOR THE AREAS IN WHICH THEY ARE PROPOSED TO BE PLANTED.

ARTICLE XX - DEVELOPMENT PLAN REVIEW

SECTION 6. - REVIEW GUIDELINES

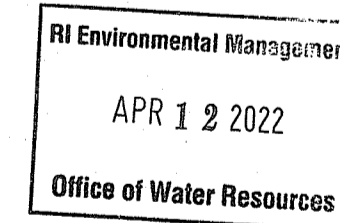
LANDSCAPING STANDARDS:

(1) BUFFERING IN THE FORM OF WALLS, FENCING, SHRUBS, TREES OR OTHER APPROPRIATE SCREENING TECHNIQUES MAY BE REQUIRED TO SHIELD NEIGHBORING PROPERTIES, PARTICULARLY RESIDENTIAL AREAS, FROM ADVERSE EFFECTS.

A 15-60' WIDE VEGETATIVE BUFFER CONTAINING SHRUBS AND TREES IS PROVIDED TO SHIELD NEIGHBORING RESIDENTIAL PROPERTIES FROM ADVERSE EFFECTS.

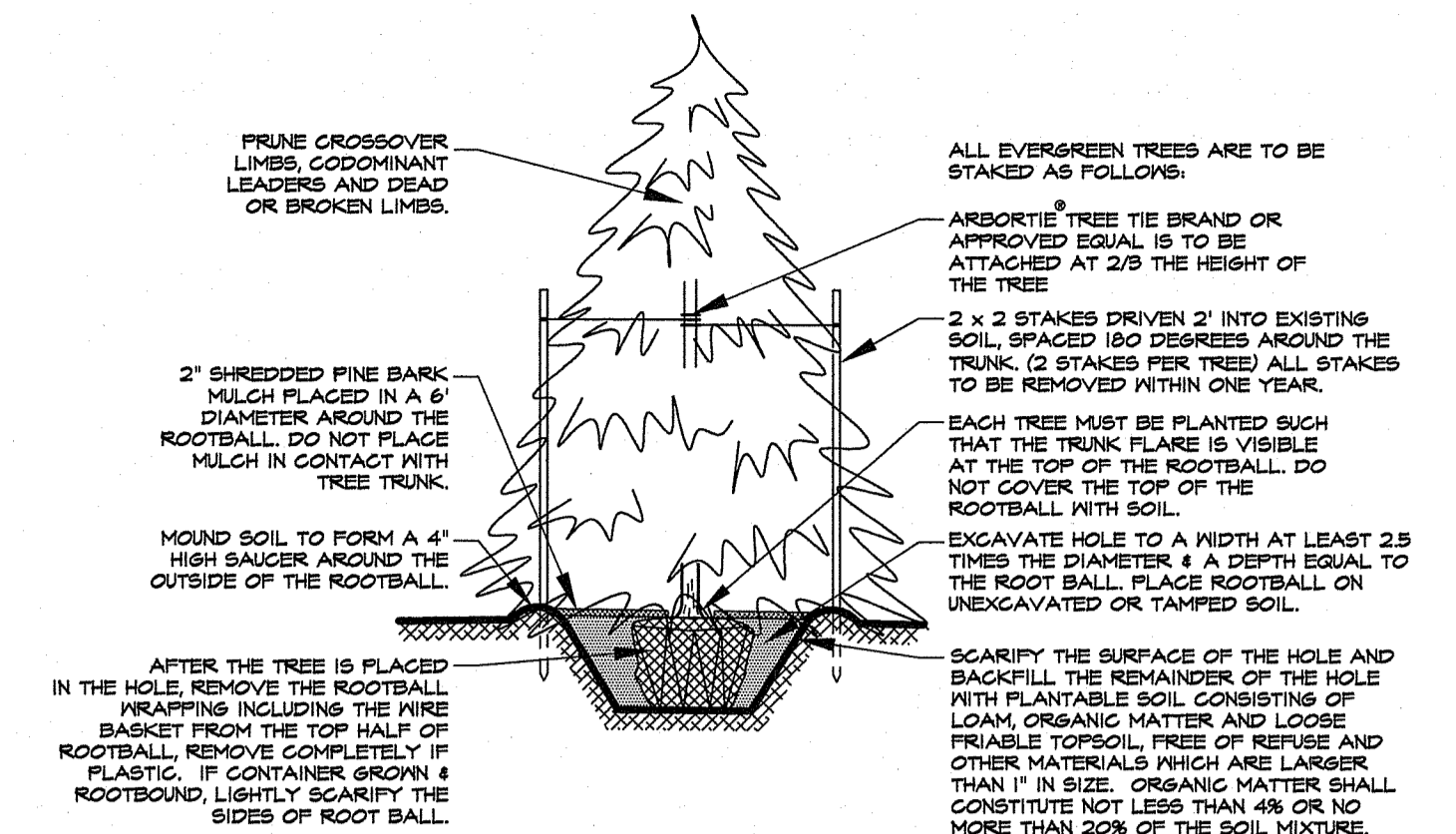
(2) VISUAL SCREENING OF REFUSE AREAS, SERVICE AND STORAGE YARDS AND EXTERIOR WORK AREAS SHALL BE ACCOMPLISHED BY USE OF WALLS, APPROPRIATE FENCINGS, PLANTINGS, VISUALLY COMPATIBLE OUTBUILDINGS OR A COMBINATION OF THESE.

A FENCE IS PROPOSED TO SCREEN THE DUMPSTER AREA. EVERGREEN AND DECIDUOUS PLANTINGS ARE PROPOSED TO SOFTEN THE FENCE.



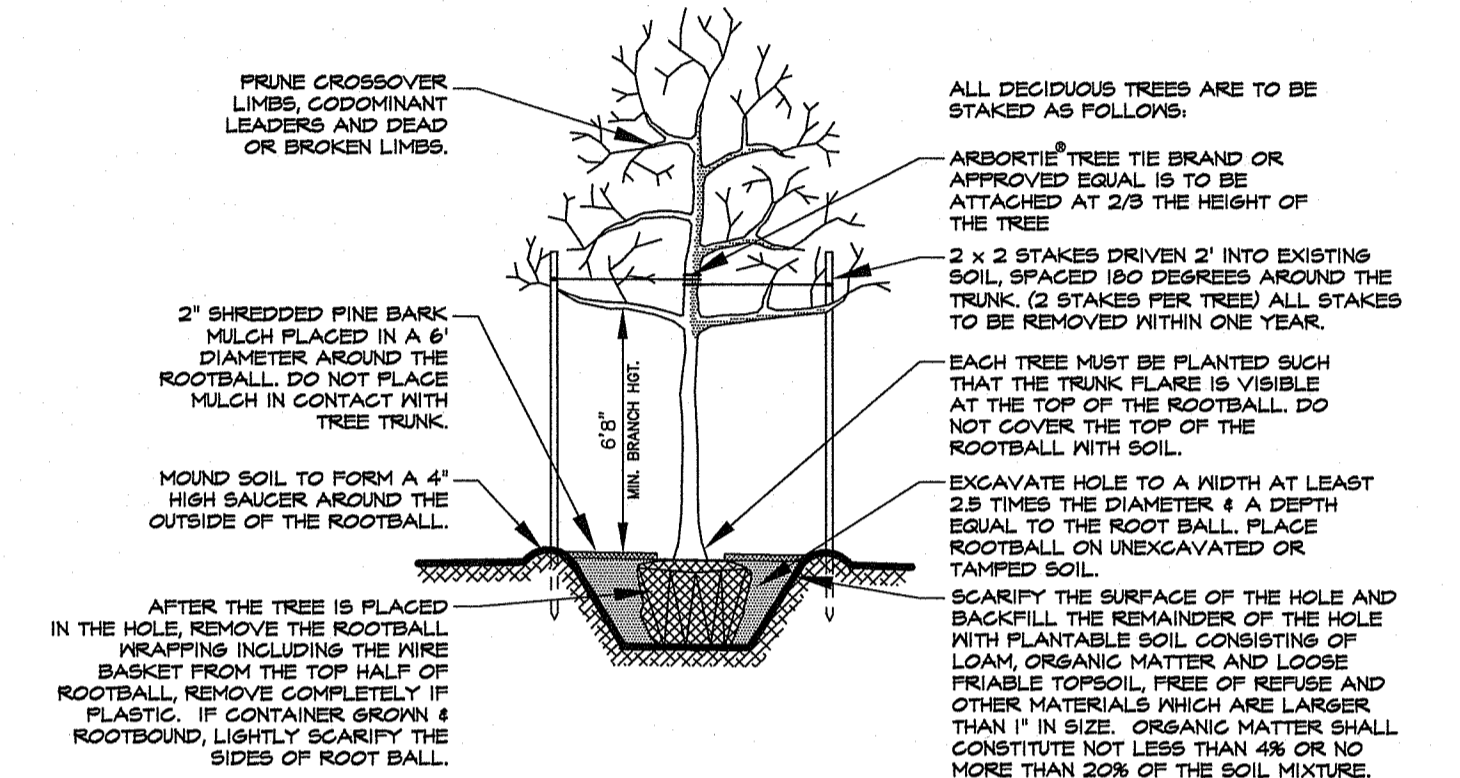
RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
REVIEWED SITE PLAN APPLICATION #: 22-00060
DATED: MAY 16 2022
SEE LETTER OF SAME DATE

Dorothy L. Freeman



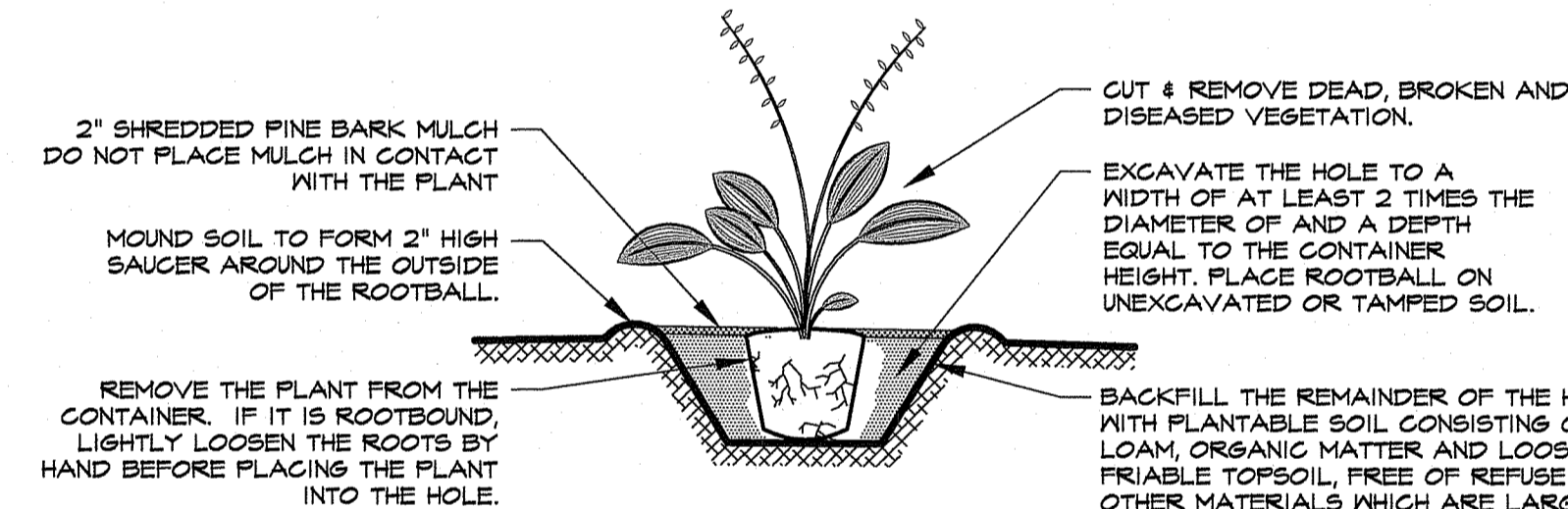
EVERGREEN TREE PLANTING DETAIL NOT TO SCALE

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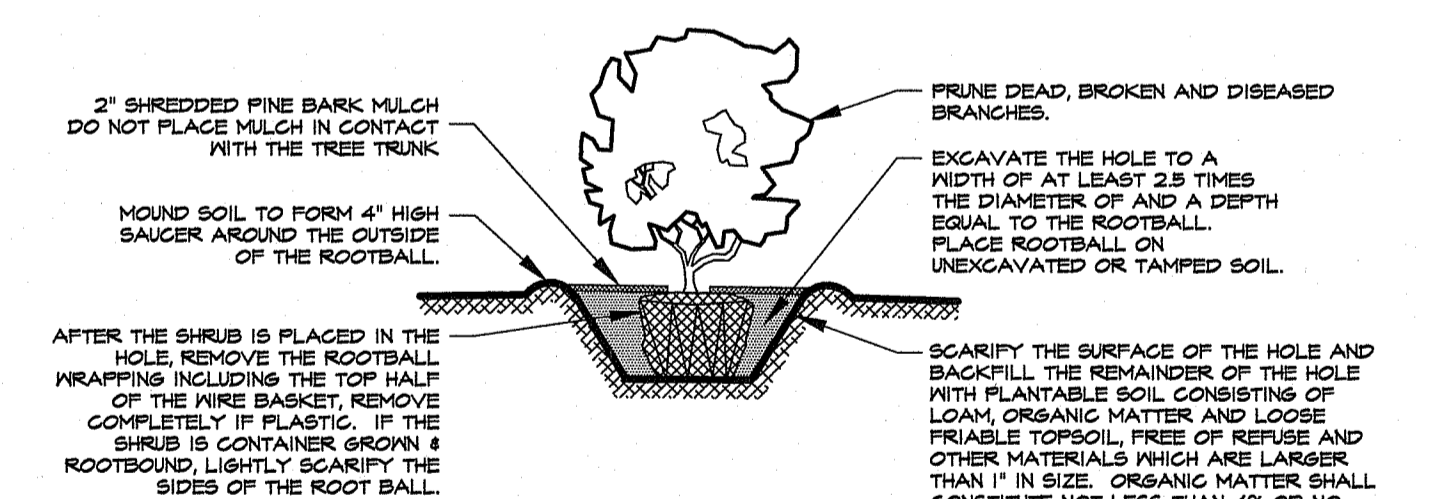
TREE PLANTING DETAIL NOT TO SCALE

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PERENNIAL PLANTING DETAIL NOT TO SCALE

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SHRUB PLANTING DETAIL NOT TO SCALE

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LANDSCAPE NOTES & DETAILS

SEASONS CORNER MARKET

MAIN ROAD
ASSESSOR'S PLAT 119 LOT 624
TIVERTON, RHODE ISLAND

PREPARED BY
JOHN C. CARTER & COMPANY, INC.
LANDSCAPE ARCHITECTURE

960 Boston Neck Road
Narragansett, RI 02882
(401)783-3500 Fax: (401) 792-1327

PREPARED FOR
Colbea Enterprises, LLC

2050 Plainfield Pike
Cranston, RI 02921

JANUARY 21, 2022
DWN. BY: L.M.W.

SHEET **2**