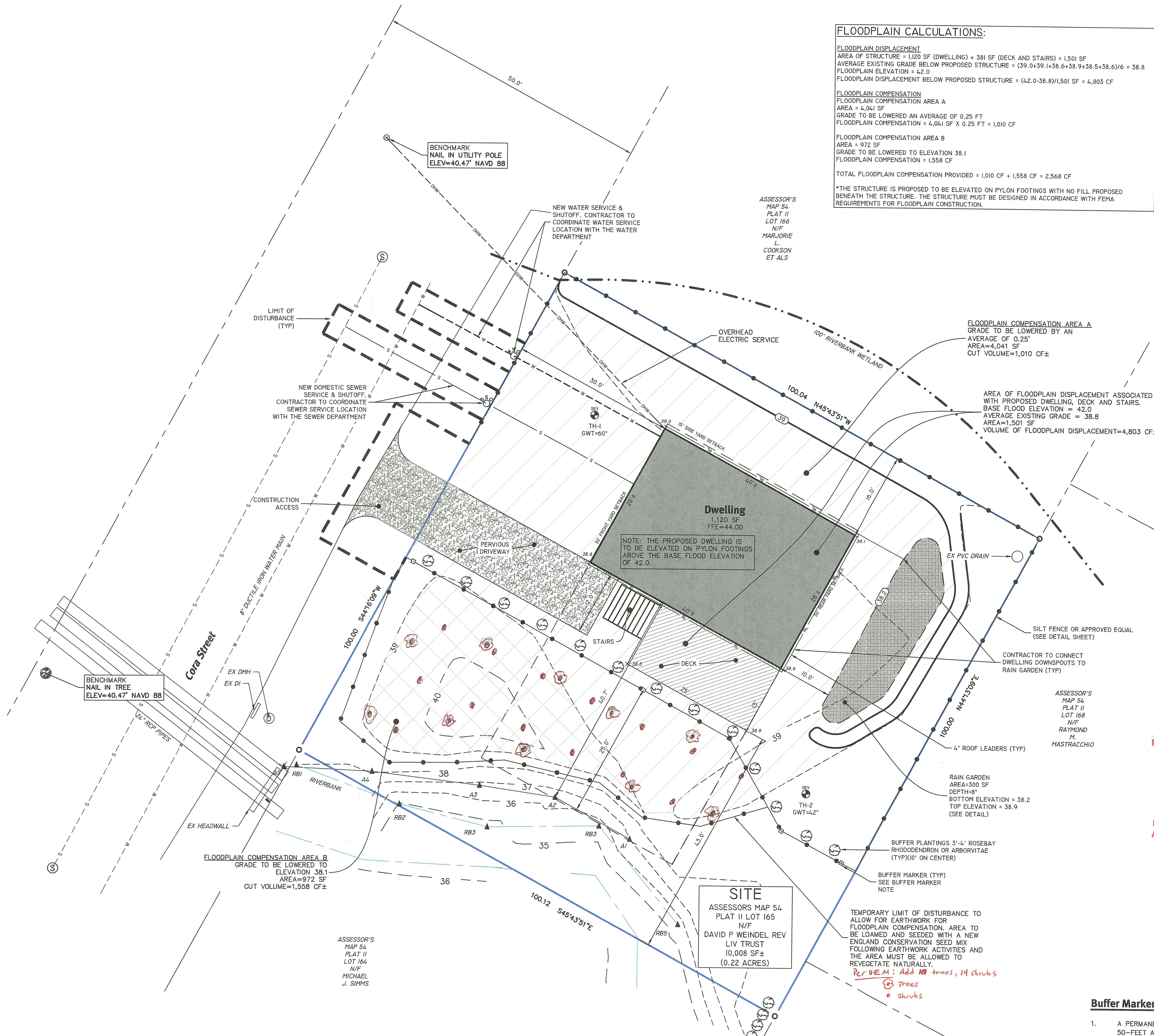


1\DEASTORAGE\IN\DEMAIN\PROJECTS\3\3090-00\CORR STREETS\AUTOLOAD\DRAWINGS\3090-00\PLAN DWG 6.DWG DATE: 8/22/2022



FLOODPLAIN CALCULATIONS:

FLOODPLAIN DISPLACEMENT
 AREA OF STRUCTURE = 1,120 SF (DWELLING) + 381 SF (DECK AND STAIRS) = 1,501 SF
 AVERAGE EXISTING GRADE BELOW PROPOSED STRUCTURE = $(39.0+39.1+38.6+38.9+38.5+38.6)/6 = 38.8$
 FLOODPLAIN ELEVATION = 42.0
 FLOODPLAIN DISPLACEMENT BELOW PROPOSED STRUCTURE = $(42.0-38.8) \times 1,501 \text{ SF} = 4,803 \text{ CF}$

FLOODPLAIN COMPENSATION
FLOODPLAIN COMPENSATION AREA A
 AREA = 4,041 SF
 GRADE TO BE LOWERED AN AVERAGE OF 0.25 FT
 FLOODPLAIN COMPENSATION = $4,041 \text{ SF} \times 0.25 \text{ FT} = 1,010 \text{ CF}$

FLOODPLAIN COMPENSATION AREA B
 AREA = 972 SF
 GRADE TO BE LOWERED TO ELEVATION 38.1
 FLOODPLAIN COMPENSATION = 1,558 CF

TOTAL FLOODPLAIN COMPENSATION PROVIDED = 1,010 CF + 1,558 CF = 2,568 CF

*THE STRUCTURE IS PROPOSED TO BE ELEVATED ON PYLON FOOTINGS WITH NO FILL PROPOSED BENEATH THE STRUCTURE. THE STRUCTURE MUST BE DESIGNED IN ACCORDANCE WITH FEMA REQUIREMENTS FOR FLOODPLAIN CONSTRUCTION.



LOCUS MAP NOT TO SCALE

- GENERAL NOTES:**
- THE PARCEL IS FOUND ON ASSESSOR'S MAP 54 PLAT II, LOT 166 IN THE TOWN OF EAST GREENWICH, RHODE ISLAND.
 - THE OWNER OF MAP 54 PLAT II, LOT 166 IS: DAVID P. WEINDEL TRUSTS
DAVID P. WEINDEL TRUSTEE
1028 FRENCHTOWN ROAD
EAST GREENWICH, RI 02818
 - BASED ON GRAPHICAL PLOTTING ONLY, THE PARCEL IS LOCATED IN ZONE AE (ELEV 4.2) PER FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP 440030103H, DATED OCTOBER 2020. THIS DESIGNATION MAY CHANGE BASED UPON REVIEW BY A FLOOD ZONE SPECIALIST OR BY THE RESULTS OF A COMPREHENSIVE FLOOD STUDY.
 - THERE WERE NO CEMETERIES, GRAVE SITES AND/OR BURIAL GROUNDS OBSERVED WITHIN THE LIMITS OF THE SURVEY.
 - THIS LOT IS PARTIALLY IN A HISTORIC CANDIDATE SITE.
 - FIELD SURVEY PERFORMED BY SCITUATE SURVEYS, INC. ON NOVEMBER 6, 2020. THIS PLAN REFLECTS ON THE GROUND CONDITIONS AS OF THAT DATE.
 - THIS SURVEY WAS PREPARED BY SCITUATE SURVEYS, INC. ON NOVEMBER 6, 2020. DIPRETE ENGINEERING IS NOT RESPONSIBLE FOR ANY UNKNOWN OR UNRECORDED EASEMENTS, DEEDS OR CLAIMS THAT A TITLE REPORT WOULD DISCLOSE.
 - WETLAND DELINEATION WAS CONDUCTED BY NATURAL RESOURCE SERVICES, INC. OF HARRISVILLE, R.I. IN MAY 2019. FLAGS WERE SURVEYED BY SCITUATE SURVEYS, INC.
 - THE RECORDED 'SPRINGBROOK PLAT' INDICATES AN "UNOBSTRUCTED DRAINAGE EASEMENT" THAT EXTENDS FOR 10' ON EACH SIDE OF THE BROOK.
 - THE PARCEL IS ZONED R-10 PER THE ASSESSOR'S ONLINE DATABASE, PLEASE CONTACT THE ZONING DEPARTMENT FOR ANY ADDITIONAL INFORMATION OR FOR A CERTIFICATE OF ZONING.
 - EXISTING SITE FEATURES SHALL REMAIN UNLESS OTHERWISE NOTED ON THESE PLANS.
 - CONTRACTOR TO NOTIFY DESIGN ENGINEER WITH ANY DISCREPANCIES.
 - THE CONTRACTOR SHALL OBTAIN ALL NECESSARY LOCAL PERMITS PRIOR TO CONSTRUCTION.
 - ANY DAMAGE TO PRIVATE PROPERTY CAUSED BY THE CONTRACTOR SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
 - CONTRACTOR TO COMPLY WITH ALL APPLICABLE EROSION CONTROL REQUIREMENTS IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS.
 - UNLESS SPECIFIED OTHERWISE ALL MATERIALS SHALL MEET THE R.I. DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.

- PLAN REFERENCES:**
- "SPRINGBROOK PLAT EAST GREENWICH, R.I. BELONGING TO PAUL L. WEINDEL ET AL SCALE: 1"=60' DATE: APRIL 1959" RECORDED PLAT 198 B.
- DATUM NOTE:**
- HORIZONTAL DATUM IS THE RHODE ISLAND STATE PLANE COORDINATE SYSTEM, VERTICAL DATUM IS NAVD 88. BOTH WERE ESTABLISHED ON-SITE THROUGH SURVEY GRADE GPS OBSERVATIONS BY SCITUATE SURVEYS, INC.

- UTILITY NOTES:**
- ALL EXISTING UTILITIES DEPICTED ARE SHOWN ACCORDANCE WITH UTILITY QUALITY LEVEL D AS DEFINED IN C/ASCE STANDARD 38-02 STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA, LATEST REVISION.
 - ALL EXISTING UNDERGROUND UTILITIES SHOWN WERE PROVIDED BY OTHERS AND ARE APPROXIMATE ONLY. LOCATIONS MUST BE DETERMINED IN THE FIELD BEFORE EXCAVATION, BLASTING, UTILITY INSTALLATION, BACKFILLING, GRADING, PAVEMENT RESTORATION, AND ALL OTHER SITE WORK. ALL UTILITY COMPANIES, PUBLIC AND PRIVATE, MUST BE CONTACTED INCLUDING THOSE IN CONTROL OF UTILITIES NOT SHOWN ON THESE DOCUMENTS. CONTRACTOR TO CONTACT DIG SAFE A MINIMUM OF 72 WORKING HOURS PRIOR TO ANY CONSTRUCTION AT 811. DIG SAFE IS RESPONSIBLE FOR CONTACTING MEMBER UTILITY COMPANIES. DIG SAFE MEMBER UTILITY COMPANIES ARE RESPONSIBLE TO MARK ONLY THE FACILITIES THAT THEY OWN OR MAINTAIN. NON DIG SAFE MEMBER COMPANIES ARE NOTIFIED BY DIG SAFE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INVESTIGATE AND NOTIFY IF ANY PRIVATELY OWNED OR NON DIG SAFE MEMBER UTILITIES ARE IN THE AREA.
 - PER THE CODE OF FEDERAL REGULATIONS - TITLE 29, PART 1926 IT IS THE SITE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ACCURATE UNDERGROUND UTILITY LINE LOCATIONS FROM THE UTILITY COMPANIES, UTILITY OWNERS AND, OR VIA UNDERGROUND UTILITY LOCATION EQUIPMENT AS NEEDED TO ESTABLISH ACCURATE LOCATIONS PRIOR TO ANY EXCAVATION. THE USE OF PROFESSIONAL UTILITY LOCATING COMPANIES PRIOR TO ANY EXCAVATION IS RECOMMENDED.
 - DIPRETE ENGINEERING IS NOT A PROFESSIONAL UTILITY LOCATION COMPANY, AND IS NOT RESPONSIBLE FOR UNDERGROUND UTILITIES, DEPICTED OR NOT, EITHER IN SERVICE OR ABANDONED. ANY SIZES, LOCATIONS, EXISTENCE, OR LACK OF EXISTENCE OF UTILITIES SHOWN ON THESE PLANS SHOULD BE CONSIDERED APPROXIMATE UNTIL VERIFIED BY A PROFESSIONAL UTILITY LOCATION COMPANY. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED.
 - UTILITY PLAN REFERENCES
 - WATER INFORMATION OBTAINED FROM THE TOWN OF NARRAGANSETT.
 - SEWER INFORMATION OBTAINED FROM FIELD SURVEY PERFORMED BY SCITUATE SURVEYS, INC. ON NOVEMBER 6, 2020.

DIMENSIONAL REGULATIONS:

CURRENT ZONING:	R-10 (RESIDENTIAL)
MINIMUM LOT AREA:	10,000 SF
MINIMUM FRONTAGE AND LOT WIDTH:	100'
MINIMUM FRONT YARD:	30'
MINIMUM SIDE YARD:	15'
MINIMUM REAR YARD:	30'
MINIMUM BUILDING COVERAGE:	25%
MAXIMUM SITE COVERAGE:	60%
MAXIMUM BUILDING HEIGHT:	35'

**RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS AS
 SPECIFIED IN THE LETTER OF APPROVAL
 DATED: APR 07 2022 FILE # 22-0047
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE**

Martin W. Senek

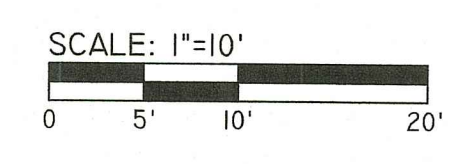
- Buffer Marker Note:**
- A PERMANENT BUFFER MARKER MUST BE INSTALLED EVERY 50-FEET ALONG THE LIMIT OF DISTURBANCE (LOD) WHERE THE LOD IS LOCATED ALONG OR WITHIN THE 100' RIVERBANK WETLAND.
 - ACCEPTABLE PERMANENT TYPE MARKERS INCLUDE 4"x4" PRESSURE TREATED TIMBER POSTS, GALVANIZED FENCE POST WITH CAP, OR GRANITE OR CONCRETE BOUNDS. MARKERS MUST EXTEND A MINIMUM OF TWENTY-FOUR (24) INCHES ABOVE GRADE. A PERMANENT-TYPE TAG OR SIGN LABELED "RIVER BUFFER ZONE" MUST BE PLACED ON EACH MARKER. A PERMANENT-TYPE FENCE AT LEAST TWENTY-FOUR (24) INCHES TALL PLACED ALONG THE LIMITS OF DISTURBANCE AND SIMILARLY LABELED MAY BE SUBSTITUTED WHERE DESIRED.

NOTE PER DEM:

Ten (10) trees and fourteen (14) shrubs must be installed to mitigate for the loss of woody vegetation within Riverbank Wetland resulting from flood plain compensation. Trees shall be installed approximately fifteen (15) feet on center and be a minimum of four (4) feet tall after planting. Any one or combination of the following tree species may be selected: Red Maple (*Acer rubrum*), Red Oak (*Quercus rubra*), or Black Cherry (*Prunus serotina*). Shrubs shall be installed approximately ten (10) feet on center and be a minimum of three (3) feet tall after planting. Any one or combination of the following shrub species may be selected: Sweet Pepperbush (*Clethra alnifolia*), Southern Arrowwood (*Viburnum dentatum*), or Highbush Blueberry (*Vaccinium corymbosum*).

ASSASSOR'S MAP 54 PLAT II LOT 166 N/F JOANNA M. ACHILLE & ANN M. ACHILLE

SITE
 ASSESSOR'S MAP 54 PLAT II LOT 165 N/F DAVID P. WEINDEL REV LIV TRUST 10,008 SF± (0.22 ACRES)



DiPrete Engineering
 Two Stafford Court, Cranston, RI 02920
 Tel: 401-943-1000 Fax: 401-464-6006 www.diprete-eng.com

Boston • Providence • Newport

JASON P. CLOUGH
 No. [Signature]
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL

THIS PLAN AND ALL INFORMATION HEREON IS THE PROPERTY OF DIPRETE ENGINEERING, INC. AND IS TO BE USED ONLY FOR THE PROJECT AND PURPOSES SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF DIPRETE ENGINEERING, INC. THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE MEANS, METHODS, TECHNIQUES, PROCEDURES, AND SEQUENCES OF CONSTRUCTION AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AGENCIES OF THE STATE OF RHODE ISLAND. DIPRETE ENGINEERING, INC. SHALL NOT BE RESPONSIBLE FOR DAMAGES INCURRED DUE TO LOCATIONS OF EXISTING UTILITIES.

NO.	DATE	DESCRIPTION	J.P.C.	B.F.
08-22-2022		RUBBER RESPONSE TO COMMENTS	J.P.C.	B.F.
12-03-2022		RUBBER APPLICATION TO ALTER	J.P.C.	B.F.
		DESCRIPTION		

DESIGN BY: J.P.C.
 DRAWN BY: S.R.

SITE PLAN
CORA STREET SINGLE FAMILY HOME
 ASSESSOR'S MAP 54 PLAT II LOT 165 EAST GREENWICH, RHODE ISLAND
 PREPARED FOR: DAVID P. WEINDEL REV LIV TRUST C/O ZACHARY WEINDEL 130 CARB STREET, PROVIDENCE, RHODE ISLAND 02905

RI Environmental Management
 OCT 17 2022
 Office of Water Resources

ESTABLISHMENT OF VEGETATIVE COVER

- SLOPES SHALL NOT BE LEFT UNATTENDED OR EXPOSED FOR EXCESSIVE PERIODS OF TIME SUCH AS THE INACTIVE WINTER SEASON. THE CONTRACTOR SHALL INITIATE APPROPRIATE VEGETATIVE PRACTICES ON ALL DISTURBED AREAS AS SOON AS POSSIBLE BUT NOT MORE THAN FOURTEEN (14) DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT AREA HAS TEMPORARILY OR PERMANENTLY CEASED, UNLESS THE ACTIVITY IS TO RESUME WITHIN TWENTY-ONE (21) DAYS.
- ALL DISTURBED SLOPES EITHER NEWLY CREATED OR CURRENTLY EXPOSED SHALL BE SEEDED OR PROTECTED.
- THE TOPSOIL SHALL HAVE A SANDY LOAM TEXTURE RELATIVELY FREE OF SUBSOIL MATERIAL, STONES, ROOTS, LUMPS OF SOIL, TREE LIMBS, TRASH OR CONSTRUCTION DEBRIS AND SHALL CONFORM WITH RHODE ISLAND DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, M.20.
- THE TEMPORARY SEEDING DESIGN MIX SHALL BE COMPRISED OF THE FOLLOWING:

TYPE	% BY WEIGHT
ANNUAL RYEGRASS	40
PERENNIAL RYEGRASS	60

- THE NEW ENGLAND EROSION CONTROL/RESTORATION SEED MIX SHALL BE COMPRISED OF THE FOLLOWING:
- | TYPE | % BY WEIGHT |
|------------------------|-------------|
| UPLAND BENTGRASS | 1.0 |
| CREeping BENTGRASS | 1.0 |
| BIG BLUESTEM | 8.0 |
| NEW ENGLAND ASTER | 1.0 |
| FOX SEDGE | 8.0 |
| VIRGINIA WLD RYE | 28.0 |
| BONESET | 1.0 |
| GRASS LEAVED GOLDENROD | 1.0 |
| CREeping RED FESCUE | 24.0 |
| SOFT RUSH | 0.5 |
| SENSITIVE FERN | 1.0 |
| SWITCH GRASS | 8.0 |
| LITTLE BLUESTEM | 15.0 |
| GREEN BULLRUSH | 1.0 |
| WOOL GRASS | 0.5 |
| BLUE VERVAIN | 1.0 |
- THE GENERAL PURPOSE SEED MIX SHALL BE COMPRISED URI #2 OF THE FOLLOWING:

TYPE	% BY WEIGHT
CREeping RED FESCUE	40
IMPROVED PERENNIAL RYE GRASS	20
IMPROVED KENTUCKY BLUEGRASS	30
KENTUCKY BLUEGRASS	10

EARLY SPRING OR LATE SUMMER SEEDING IS RECOMMENDED. SEEDING SCHEDULE SHOULD CONFORM WITH RHODE ISLAND DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, L-02.03.1 SEEDING DATES. PERMANENT SEEDING SHALL BE DURING THE APRIL 1 TO MAY 31 OR AUGUST 15 TO OCTOBER 15. TEMPORARY SEEDING MAY BE DONE ANYTIME BETWEEN MARCH 15 AND NOVEMBER 15 WITH THE APPROVAL OF THE ENGINEER OF RECORD. FERTILIZE AS REQUIRED BY SOIL TESTING TO COMPLEMENT OR UPGRADE EXISTING CONDITIONS. THE SEED MIX SHALL BE INOCULATED WITHIN 24 HOURS AND BEFORE MIXING AND PLANTING, WITH APPROPRIATE INOCULUMS FOR EACH VARIETY.

- TEMPORARY TREATMENTS SHALL CONSIST OF HAY, STRAW, OR FIBER MULCH OR PROTECTIVE COVERS SUCH AS A MAT OR FIBER LINING. TEMPORARY HAY MULCH TO BE TACKED IN PLACE WITH NYLON MESH NETTING. SIDE SLOPES OF BASINS SHALL BE TREATED WITH NORTH AMERICAN GREEN EROSION CONTROL BLANKETS SUCH AS S150 OR APPROVED EQUAL. THEY SHALL BE INCORPORATED INTO THE WORK AS WARRANTED OR AS ORDERED BY THE ENGINEER. HAY OR STRAW APPLICATIONS SHALL BE IN THE AMOUNT OF 2 TONS/ACRE.
- ALL HAY BALES OR TEMPORARY PROTECTION SHALL REMAIN IN PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED.
- ALL FILL SHALL BE THOROUGHLY COMPACTED UPON PLACEMENT IN STRICT CONFORMANCE WITH RHODE ISLAND DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION PART 200.
- STOCKPILES OF TOPSOIL SHALL NOT BE LOCATED NEAR WATERWAYS. THEY SHALL HAVE SIDE SLOPES NO GREATER THAN 2:1 AND SHALL BE TEMPORARILY SEEDED AND/OR STABILIZED.
- ALL AREAS PROPOSED TO BE VEGETATED THAT ARE DISTURBED BY CONSTRUCTION SHALL BE STABILIZED WITH PERMANENT SEEDING IMMEDIATELY FOLLOWING FINISH GRADING. PERMANENTLY SEEDED AREAS SHALL BE PROTECTED DURING ESTABLISHMENT WITH MULCH. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STANDARD IS MAINTAINED. WELL ESTABLISHED VEGETATION SHALL BE MAINTAINED. BARE OR ERODED AREAS SHALL BE IMMEDIATELY REPAIRED AND RESEEDED BY THE CONTRACTOR. ACTIVITIES SHALL BE CONFINED TO WITHIN THE LIMIT OF WORK AS SHOWN ON THE PLANS.
- MAXIMUM PERMANENT GRADED SLOPE WITHIN THE SITE IS TO BE 3:1 UNLESS NOTED OTHERWISE.
- THE CONSTRUCTION SUPERINTENDENT SHALL HAVE OVERALL RESPONSIBILITY FOR PLAN IMPLEMENTATION AND FOR SEEING THAT THE APPROPRIATE WORKERS ARE AWARE OF THE PROVISIONS OF THE PLAN. THE CONTRACTOR MUST REPAIR AND/OR RESEED ANY AREAS THAT DO NOT DEVELOP WITHIN THE PERIOD OF ONE YEAR AND SHALL DO SO AT NO ADDITIONAL EXPENSE TO THE OWNER.
- REFERENCE THE "RHODE ISLAND SOIL EROSION AND SEDIMENTATION CONTROL HANDBOOK" PREPARED BY THE USDA SOIL CONSERVATION SERVICE, REVISED 2014, AS A GUIDE.

MAINTENANCE: SHORT TERM / LONG TERM

- THE STONE STABILIZATION PADS AT THE SITE ENTRANCE SHALL BE MAINTAINED BY THE CONTRACTOR. THE MAINTENANCE SHALL INCLUDE TOP DRESSING WITH ADDITIONAL STONE OR ADDITIONAL LENGTH AS CONDITIONS DEMAND OR AS DIRECTED BY THE ENGINEER. ALL SEDIMENTS SPILLED, DROPPED, WASHED, OR TRACKED ON THE PUBLIC RIGHT OF WAY MUST BE REMOVED IMMEDIATELY BY THE CONTRACTOR.
- ALL SILT FENCE, TEMPORARY TREATMENTS (HAY, STRAW, ETC.), AND TEMPORARY PROTECTION SHALL BE MAINTAINED BY THE CONTRACTOR THROUGHOUT CONSTRUCTION. SILT FENCE SHALL BE INSPECTED BY THE CONTRACTOR WITHIN 24 HOURS AFTER EACH STORM EVENT OR EVERY 7 DAYS, WHICHEVER COMES FIRST, FOR UNDERMINING AND DETRIORATION. A STORM EVENT SHALL BE DEFINED AS 0.25 INCHES OF RAIN WITHIN A 24-HOUR PERIOD. THE SILT FENCE SHALL BE REPAIRED OR REPLACED AS WARRANTED. THE CONTRACTOR SHALL CLEAN THE ACCUMULATED SEDIMENT IF HALF OF THE ORIGINAL HEIGHT OF THE SILT FENCE BECOMES FILLED IN WITH SEDIMENT. THE HAY SILT FENCE SHALL REMAIN IN PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED. FOLLOWING CONFIRMATION FROM THE OWNER AND OR THE PROJECT ENGINEER THAT AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER HAS BEEN ESTABLISHED THE SILT FENCE SHALL BE REMOVED.
- THE CONTRACTOR SHALL MAINTAIN ALL TOPSOIL STOCKPILES AND SEDIMENT BARRIERS THROUGHOUT CONSTRUCTION. EXTREME CARE SHALL BE TAKEN TO ENSURE THAT SEDIMENTS DO NOT SPILL OVER THE SEDIMENT BARRIER. HAY BALES OR SILT FENCE SHALL BE STAKED AROUND THE STOCKPILES.
- ALL DISTURBED SLOPES EITHER NEWLY CREATED OR CURRENTLY EXPOSED SHALL BE SEEDED, PROTECTED, AND MAINTAINED BY THE CONTRACTOR FOLLOWING FINAL GRADING AND CONSTRUCTION. THE CONTRACTOR SHALL CHECK ALL SEEDED AREAS REGULARLY TO SEE THAT A GOOD STAND OF VEGETATION IS MAINTAINED. THE CONTRACTOR MUST REPAIR OR RESEED ANY AREAS THAT DO NOT DEVELOP WITHIN THE PERIOD OF ONE YEAR AND SHALL DO SO AT NO ADDITIONAL EXPENSE TO THE OWNER.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE AND INSPECTION OF THE DRAINAGE BMPs DURING AND UP TO A YEAR AFTER COMPLETION OF CONSTRUCTION AND ACCEPTANCE BY THE OWNER. THE OWNER IS RESPONSIBLE FOR INSPECTIONS AND MAINTENANCE THEREAFTER. THE DRAINAGE BMPs SHALL BE INSPECTED/MAINTAINED AS DETAILED BELOW.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTION, MAINTENANCE AND REPAIR TO ALL DRAINAGE STRUCTURES AND RELATED APPURTENANCES ON SITE DURING CONSTRUCTION AND IMMEDIATELY FOLLOWING CONSTRUCTION FOR A MAXIMUM OF ONE YEAR, OR UNTIL ACCEPTANCE BY THE ENGINEER AND THE OWNER. THE OWNER IS RESPONSIBLE FOR INSPECTIONS AND MAINTENANCE THEREAFTER.
- A LEGALLY BINDING AND ENFORCEABLE MAINTENANCE AGREEMENT SHALL BE EXECUTED BETWEEN THE OWNER AND THE RESPONSIBLE AUTHORITY TO ENSURE THE FOLLOWING MAINTENANCE SCHEDULES ARE FOLLOWED.
- DURING THE FIRST SIX (6) MONTHS OF OPERATIONS, INSPECTIONS SHALL BE ACCOMPLISHED IN EACH DRAINAGE BMP AFTER EVERY RAINFALL EVENT TO CHECK FOR CLOGGING OR, CONVERSELY, TOO RAPID A STORMWATER RELEASE, FOLLOWING THE SIX (6) MONTHS, INSPECTIONS SHALL BE CONDUCTED, AT A MINIMUM, ANNUALLY.
- IF STANDING WATER IS OBSERVED WITHIN THE DRAINAGE BMPs FOR MORE THAN THREE (3) DAYS AFTER A RAINFALL, THEN FAILURE OF THE SYSTEM MAY HAVE OCCURRED AND SHALL BE ADDRESSED THROUGH REPAIR OR REPLACEMENT.
- THE CONSTRUCTION SUPERINTENDENT SHALL HAVE OVERALL RESPONSIBILITY FOR THE MAINTENANCE PROGRAM DURING THE CONSTRUCTION PHASE AND FOR A PERIOD OF ONE YEAR AFTER CONSTRUCTION. THE SUPERINTENDENT SHALL SEE THAT THE APPROPRIATE WORKERS ARE AWARE OF THE PROVISIONS OF THE PLAN.
- AFTER ACCEPTANCE OF THE SITE BY THE OWNER, THE OWNER SHALL HAVE OVERALL RESPONSIBILITY FOR IMPLEMENTING THE MAINTENANCE PROGRAM FOR THE STORMWATER MANAGEMENT PLAN.
- THE RESPONSIBLE PARTY FOR THE STORMWATER MANAGEMENT PROGRAM IS THE OWNER OF THE SITE. THE FUNDING FOR THE STORMWATER MANAGEMENT PROGRAM IS BY THE OWNER. IF THE PROPERTY IS SOLD, THE RESPONSIBILITY OF THE STORMWATER MANAGEMENT PROGRAM WILL BE TRANSFERRED TO THE NEW OWNER.

THE FOLLOWING MAINTENANCE PROCEDURES SHALL BE FOLLOWED FOR THE RAIN GARDEN:

- RAIN GARDENS SHALL BE INSPECTED FOLLOWING AT LEAST THE FIRST TWO PRECIPITATION EVENTS OF AT LEAST 1.0 INCH TO ENSURE THAT THE SYSTEM IS FUNCTIONING PROPERLY. THEREAFTER, THE RAIN GARDEN SHALL BE MONITORED AND MAINTAINED TO ASSURE PROPER FUNCTIONING, PLANT GROWTH, AND SURVIVAL. PLANTS SHALL BE REPLACED ON AS-NEEDED BASIS DURING THE GROWING SEASON.
- SILT/SEDIMENT SHALL BE REMOVED FROM THE RAIN GARDEN WHEN THE ACCUMULATION EXCEEDS ONE INCH, OR WHEN WATER PONDS ON THE SURFACE OF THE RAIN GARDEN FOR MORE THAN 48 HOURS. THE TOP FEW INCHES OF MATERIAL SHALL BE REMOVED AND SHALL BE REPLACED WITH FRESH SOIL MIXTURE AND MULCH.
- PRUNING OR REPLACEMENT OF WOODY VEGETATION SHALL OCCUR WHEN DEAD OR DYING VEGETATION IS OBSERVED.
- SOIL EROSION GULLIES SHALL BE REPAIRED WHEN THEY OCCUR.
- FERTILIZER OR PESTICIDES SHALL NOT BE APPLIED TO PLANTS WITHIN RAIN GARDENS.
- PERENNIAL PLANTS AND GRASS COVERS SHALL BE REPLACED AS NECESSARY TO MAINTAIN AN ADEQUATE VEGETATED GROUND COVER. ANNUAL PLANTS MAY ALSO BE USED TO MAINTAIN GROUND COVER.
- USE OF SAND AND SALT ON PEROUS ASPHALT DRIVEWAYS SHALL BE MINIMIZED.

SEQUENCE OF CONSTRUCTION OF CONSTRUCTION AND STAGING OF LAND DISTURBING ACTIVITIES

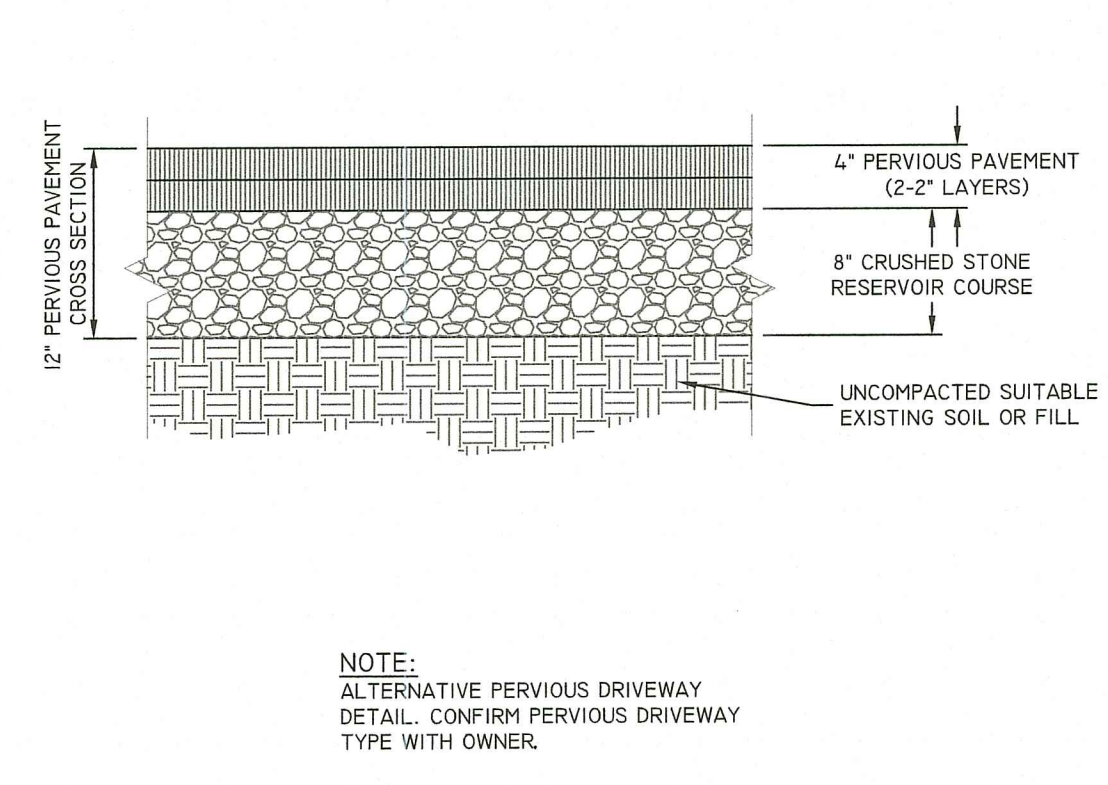
- CONTRACTOR IS RESPONSIBLE FOR SOIL EROSION AND SEDIMENT CONTROL (SE & S) ONSITE. SEQUENCE OF CONSTRUCTION PROVIDED MAY BE MODIFIED AS FIELD CONDITIONS WARRANT WITH PRIOR APPROVAL FROM OWNER OR THEIR REPRESENTATIVE.
- CONSTRUCTION TO BEGIN IN THE SPRING 2022 OR UPON RECEIPT OF ALL NECESSARY APPROVALS.
- SURVEY AND STAKE THE DRAINAGE BMPs (DRYWELLS AND/OR OTHER DRAINAGE FEATURES), DRAIN LINES, AND LIMIT OF SEDIMENTATION BARRIERS/LIMIT OF DISTURBANCE.
- PLACE SEDIMENTATION BARRIERS (SILT FENCE OR APPROVED EQUAL) AS SHOWN ON THE PLANS AND STAKED OUT IN THE FIELD. IN NO CASE IS THE LIMIT OF WORK TO EXTEND BEYOND THE SEDIMENTATION BARRIERS. PLACE BARRIERS AROUND VEGETATED SWALE. NO CONSTRUCTION TRAFFIC IS PERMITTED IN THESE AREAS.
- INSTALL TEMPORARY SEDIMENTATION CONTROL MEASURES AND DEVICES AS WARRANTED. ALL TEMPORARY CONTROL DEVICES SHALL BE INSTALLED PER THE RHODE ISLAND SOIL EROSION AND SEDIMENTATION CONTROL HANDBOOK.
- BEGIN DEMOLITION AND CLEARING AND GRUBBING IN AREA OF THE BUILDING, DRAINAGE BMPs, AND OTHER AREAS AS INDICATED ON THE PLANS. TOPSOIL IS TO BE STRIPPED AND STOCKPILED IN APPROVED LOCATIONS. TOPSOIL STOCKPILES ARE TO BE PROTECTED BY A ROW OF SEDIMENTATION BARRIERS AND COVERED OR TEMPORARILY SEEDED.
- BEGIN CONSTRUCTION OF THE BUILDING FOUNDATION AND STRUCTURE.
- BEGIN CONSTRUCTION OF DRAINAGE BMP'S.
- ONCE THE SITE IS STABILIZED THE DRAINAGE BMPs AND DRAINAGE NETWORK MAY BE BROUGHT ONLINE WITH THE APPROVAL OF THE DESIGN ENGINEER.
- REMOVE ALL TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROL MEASURES FOLLOWING VEGETATIVE ESTABLISHMENT OF ALL DISTURBED AREAS.

STRUCTURAL MEASURES

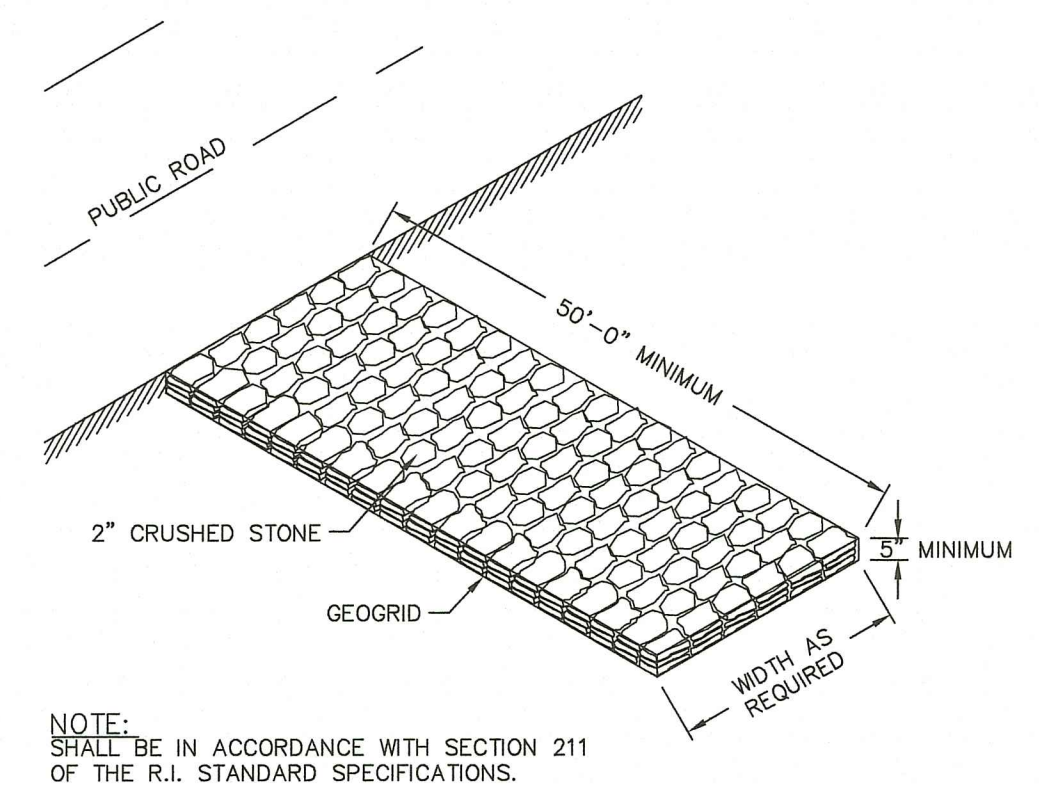
- RUNOFF WATER QUALITY IS IMPROVED UTILIZING RAIN GARDENS. CONSTRUCTION OF THE BMPs SHALL BE SUPERVISED BY THE PROJECT ENGINEER.
- A STONE STABILIZATION PAD IS LOCATED AT THE SITE ENTRANCE TO REDUCE THE TRACKING OR FLOWING OF SEDIMENT ONTO THE PUBLIC RIGHT OF WAY.
- HAY BALES OR SILT FENCE SHALL BE INSTALLED DOWNSTREAM OUTSIDE THE LIMITS OF ANY PROPOSED CONSTRUCTION AS SHOWN ON THE SITE PLANS AND PRIOR TO THE COMMENCEMENT OF THE PROPOSED ALTERATION.
- TEMPORARY BERMS AND / OR SWALES SHALL BE USED DURING CONSTRUCTION TO DIRECT SURFACE TO TEMPORARY SEDIMENTATION BASINS TO CAPTURE AND TREAT THE MAXIMUM AMOUNT OF STORM WATER.
- THE RAIN GARDEN AREAS ARE NOT TO BE USED AS SEDIMENTATION BASINS DURING CONSTRUCTION AND SHALL BE PROTECTED FROM CONSTRUCTION ACTIVITIES (I.E. HEAVY MACHINERY) TO PREVENT COMPACTION. THE CONTRACTOR SHALL CONSTRUCT ANY SEDIMENTATION BASINS WHICH ARE REQUIRED TO MEET ALL GUIDELINES IN THE RHODE ISLAND SOIL EROSION SEDIMENT CONTROL HANDBOOK.
- THE CONSTRUCTION SUPERINTENDENT SHALL HAVE THE OVERALL RESPONSIBILITY FOR STRUCTURAL MEASURE IMPLEMENTATION AND FOR SEEING THAT THE APPROPRIATE WORKERS ARE AWARE OF THE PROVISIONS OF THE PLAN.
- REFERENCE THE "RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK" PREPARED BY THE USDS SOIL CONSERVATION SERVICE, REVISED 2014, AS A GUIDE.
- INSTALL ROOF LEADERS TO DIRECT STORMWATER TOWARDS RAIN GARDENS.

NON-STRUCTURAL MEASURES

- CONSTRUCTION TRAFFIC SHALL BE LIMITED TO THE ACCESS ROAD, UTILITY EASEMENTS AND AREAS TO BE GRADED.
- TOPSOIL SHALL BE STRIPPED FROM AREAS TO BE GRADED AND STOCKPILED FOR LATER USE. STOCKPILE LOCATION SHALL BE SUBJECT TO APPROVAL BY THE PROJECT ENGINEER. A SEDIMENT BARRIER SHALL SURROUND ALL TOPSOIL STOCKPILES.
- ALL TYPES OF WASTE GENERATED AT THE SITE SHALL BE DISPOSED OF IN A MANNER CONSISTENT WITH STATE LAW AND TOWN REGULATIONS. CONSTRUCTION DEBRIS SHALL BE DISPOSED OF DAILY TO AVOID EXPOSURE TO PRECIPITATION.
- THE CONSTRUCTION SUPERINTENDENT SHALL HAVE OVERALL RESPONSIBILITY FOR PLAN IMPLEMENTATION OF NON-STRUCTURAL MEASURES AND FOR SEEING THAT THE APPROPRIATE WORKERS ARE AWARE OF THE PROVISIONS OF THE PLAN.
- REFERENCE THE "RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK" PREPARED BY THE USDA SOIL CONSERVATION SERVICE, REVISED 2014, AS A GUIDE.



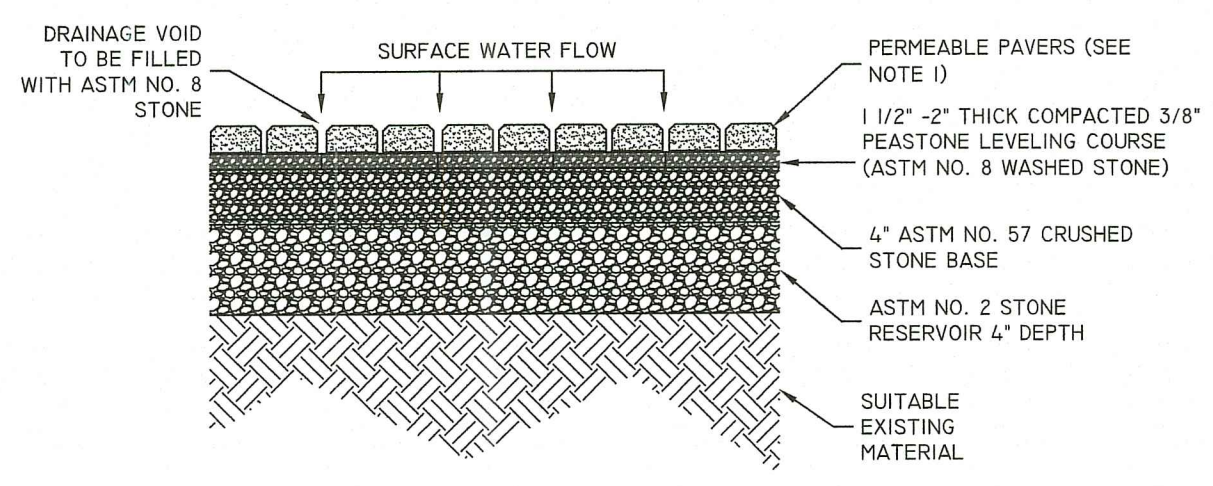
TYPICAL PERVIOUS PAVEMENT CROSS SECTION (RESIDENTIAL USE)
NOT TO SCALE



Construction Access
NOT TO SCALE

NOTE:
ALTERNATIVE PERVIOUS DRIVEWAY
DETAIL. CONFIRM PERVIOUS DRIVEWAY
TYPE WITH OWNER.

NOTE:
SHALL BE IN ACCORDANCE WITH SECTION 211
OF THE R.I. STANDARD SPECIFICATIONS.

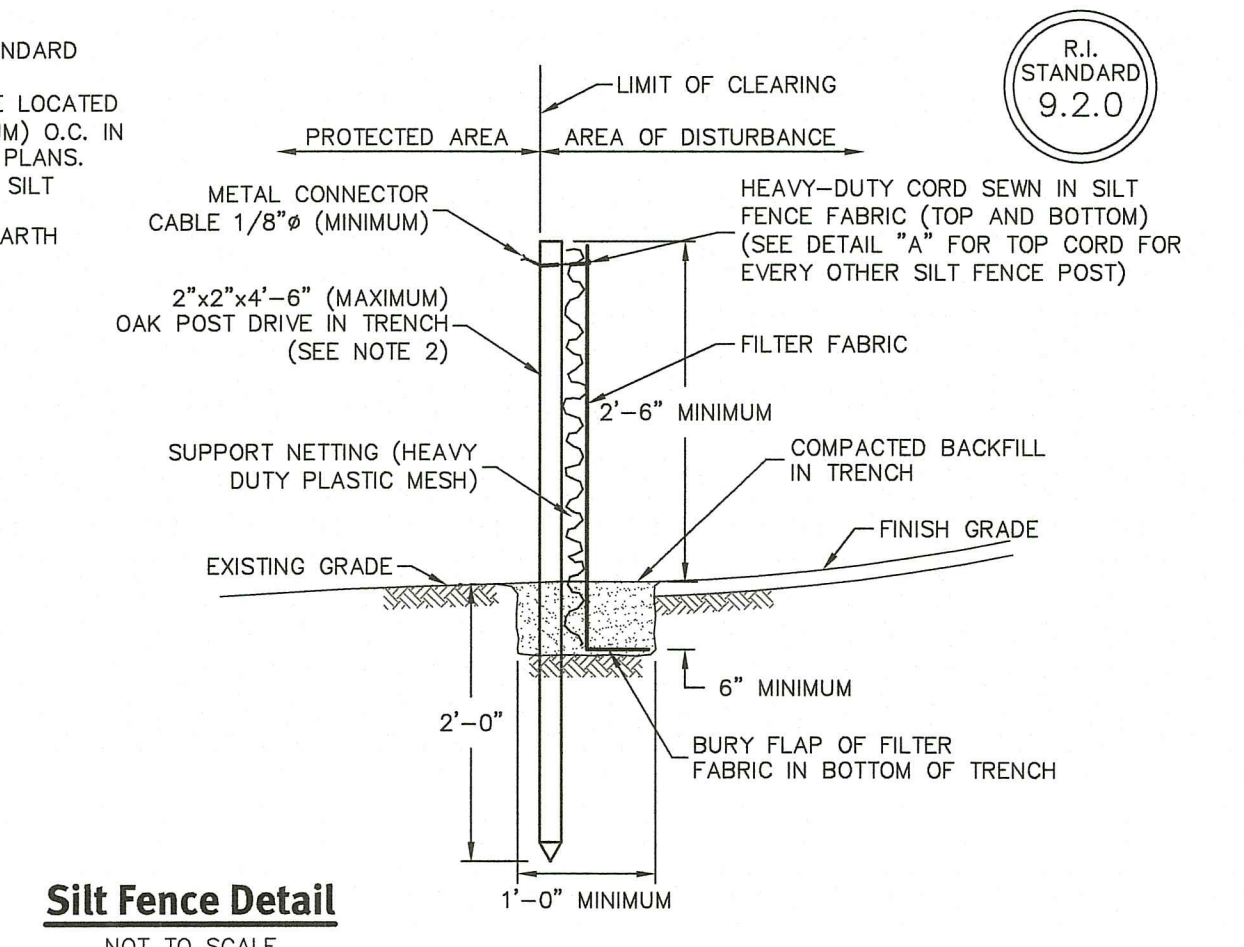
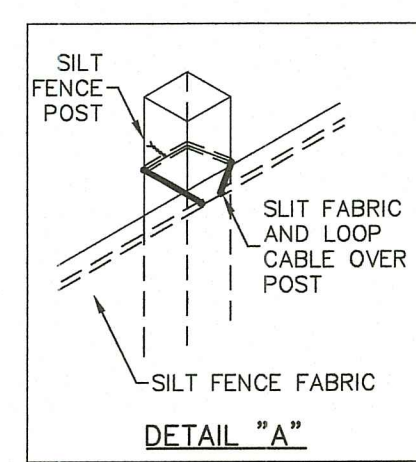


PERMEABLE PAVER DETAIL
NOT TO SCALE

- NOTE:
- PERMEABLE PAVERS CAN BE ANY OF THE FOLLOWING:
 - PERMEABLE SOLID BLOCK WITH A MINIMUM VOID RATIO OF 15% WITH OPEN-CELL GRIDS
 - SOLID BLOCK WITH OPEN-CELL JOINTS >15% OF SURFACE
 - ALL PERMEABLE PAVERS ARE TO BE INSTALLED PER THE MANUFACTURER'S SPECIFICATIONS.

STANDARD SIEVE SIZE (INCHES)	AASHTO NO. 57	AASHTO NO. 8	AASHTO NO. 2
3			100
2 1/2			90-100
2			35-70
1 1/2	100		0-15
1	95-100		
3/4			
1/2	25-60	100	
3/8		85-100	
#4	0-10	10-30	
#8	0-5	0-10	
#16		0-5	
#200	0	0-2	

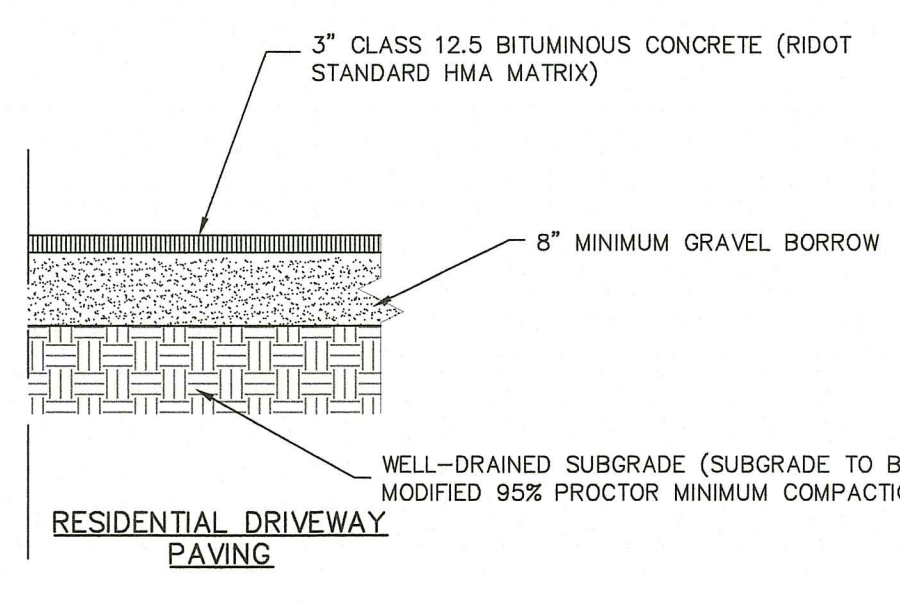
- NOTES:
- SHALL BE IN ACCORDANCE WITH SECTION 206 OF THE R.I. STANDARD SPECIFICATIONS.
 - 2"x2"x4"-6" (MAXIMUM) OAK POSTS FOR SILT FENCE SHALL BE LOCATED 8'-0" (MAXIMUM) O.C. IN WETLAND AREAS AND 4'-0" (MAXIMUM) O.C. IN WETLAND RAINE, GULLY OR DROP-OFF AREAS AS SHOWN ON PLANS.
 - 1"x1"x4"-6" (MINIMUM) POSTS PERMITTED FOR PRE-FABRICATED SILT FENCE.
 - SILT FENCE SHALL BE INSTALLED BEFORE ANY GRUBBING OR EARTH EXCAVATION TAKES PLACE.



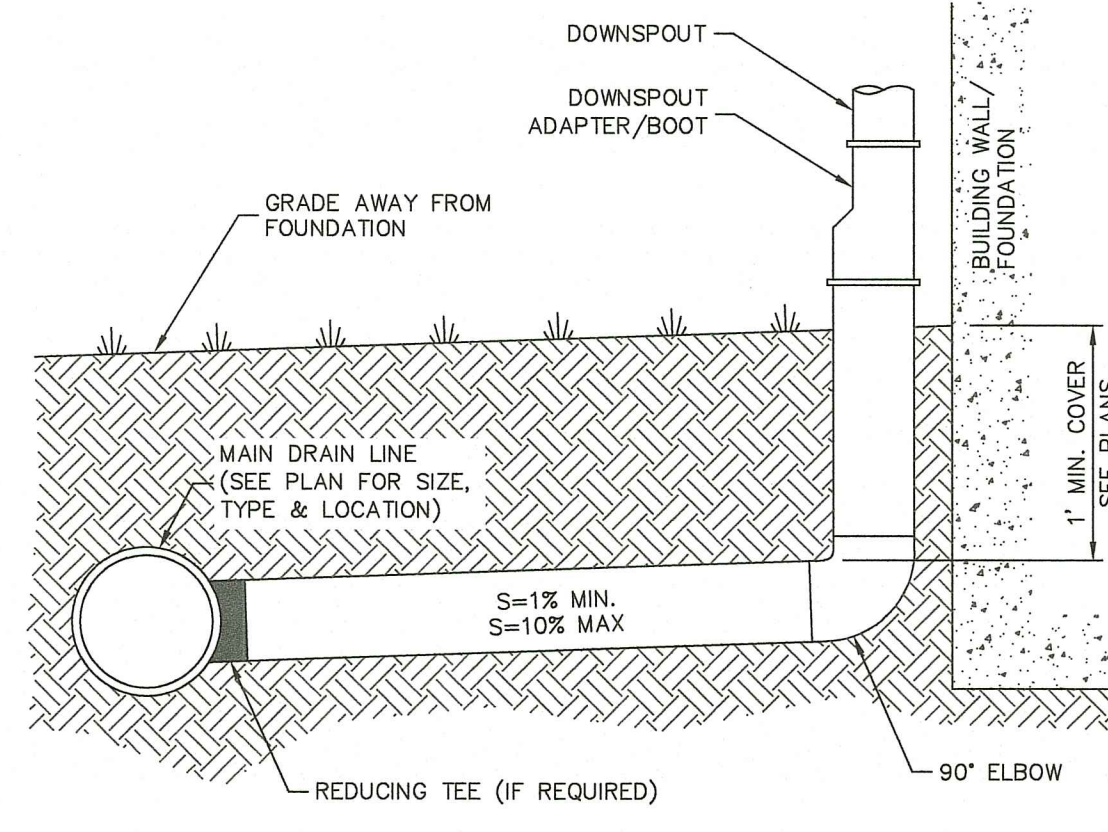
Silt Fence Detail
NOT TO SCALE



NOTE:
THIS PAVEMENT SECTION DETAIL REFLECTS ASSUMED MINIMUM REQUIREMENTS WITHOUT GEOTECHNICAL EVALUATION.



Typical Residential Driveway Section
NOT TO SCALE



Downspout Connection Detail
NOT TO SCALE

SIZING NOTE:

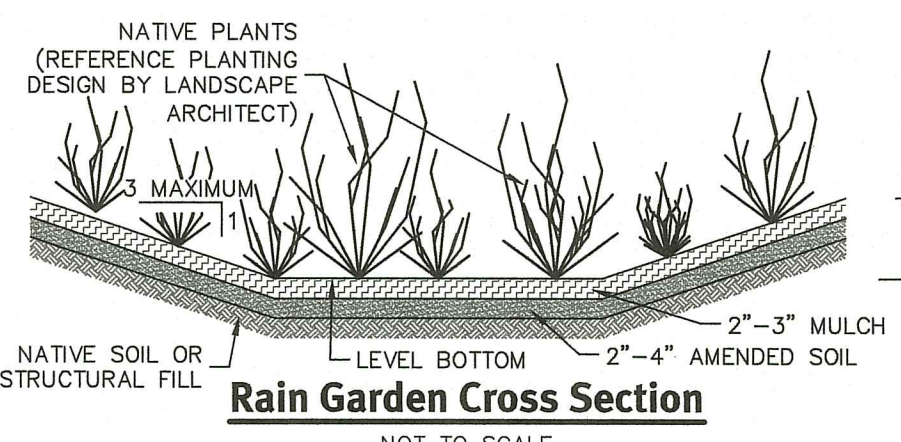
1. RAIN GARDENS SIZED USING TABLE 7 OF THE STATE OF RHODE ISLAND STORMWATER MANAGEMENT GUIDANCE FOR INDIVIDUAL SINGLE-FAMILY RESIDENTIAL LOT DEVELOPMENT

SIZING DATA
SOIL CONDITIONS: SANDY
RAIN GARDEN DEPTH: 8 INCHES

RAIN GARDEN SIZING CALCULATION:
TOTAL ROOF IMPERVIOUS AREA = 1,120 SF
RAIN GARDEN SIZING RATIO = 80 SF (RAIN GARDEN SURFACE AREA)
X SF = 1,000 SF (IMPERVIOUS SURFACE AREA)
1,120 = 89.6 SF RAIN GARDEN REQUIRED

RAIN GARDEN AREA PROVIDED = 300 SF*

*RAIN GARDEN OVERSIZED TO MEET LOCAL STORMWATER REQUIREMENTS FOR THE 25-YEAR STORM.



Rain Garden Cross Section
NOT TO SCALE

DiPrete Engineering
Two Stafford Court, Cranston, RI 02920
tel 401-943-1000 fax 401-464-6606 www.diprete-eng.com
Boston • Providence • Newport

JASON P. CLOUGH
No. [Signature]
REGISTERED PROFESSIONAL ENGINEER
CIVIL

Environmental Management
OCT 17 2022
Office of Water Resources

THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS IT IS APPROVED BY A REGISTERED PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING. ENGINEERS ONLY WARRANT PLANS ON A SPECIFIC ENGINEERING TITLE BLOCK STAMPED BY REGISTERED ENGINEERS. ENGINEERS DO NOT WARRANT PLANS BY ANY OTHER PARTY. THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE MEANS, METHODS, MATERIALS, AND TECHNIQUES AND REQUIREMENTS AND OSHA COMPLIANCE WITH THE REGULATION OF THIS PLAN AND EXISTING UTILITIES SHOWN ON THE PLAN ARE APPROXIMATE. DAMAGES INCURRED DUE TO LOCATING OF EXISTING UTILITIES.

DESIGN BY: J.P.C.
BY: [Signature]
DATE: 08-22-2022
NO. 102-20-2022

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL
DATED: APR 07 2023 FILE # 22-0004
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Detail Sheet
CORR STREET SINGLE FAMILY HOME
ASSESSOR'S MAP 54 PLAT 11 LOT 165
EAST GREENWICH, RHODE ISLAND
PREPARED FOR:
DAVID P. WEINDEL REV LIVE TRUST C/O ZACHARY WEINDEL
130 CARR STREET, PROVIDENCE, RHODE ISLAND 02905

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SHEET 2 OF 2