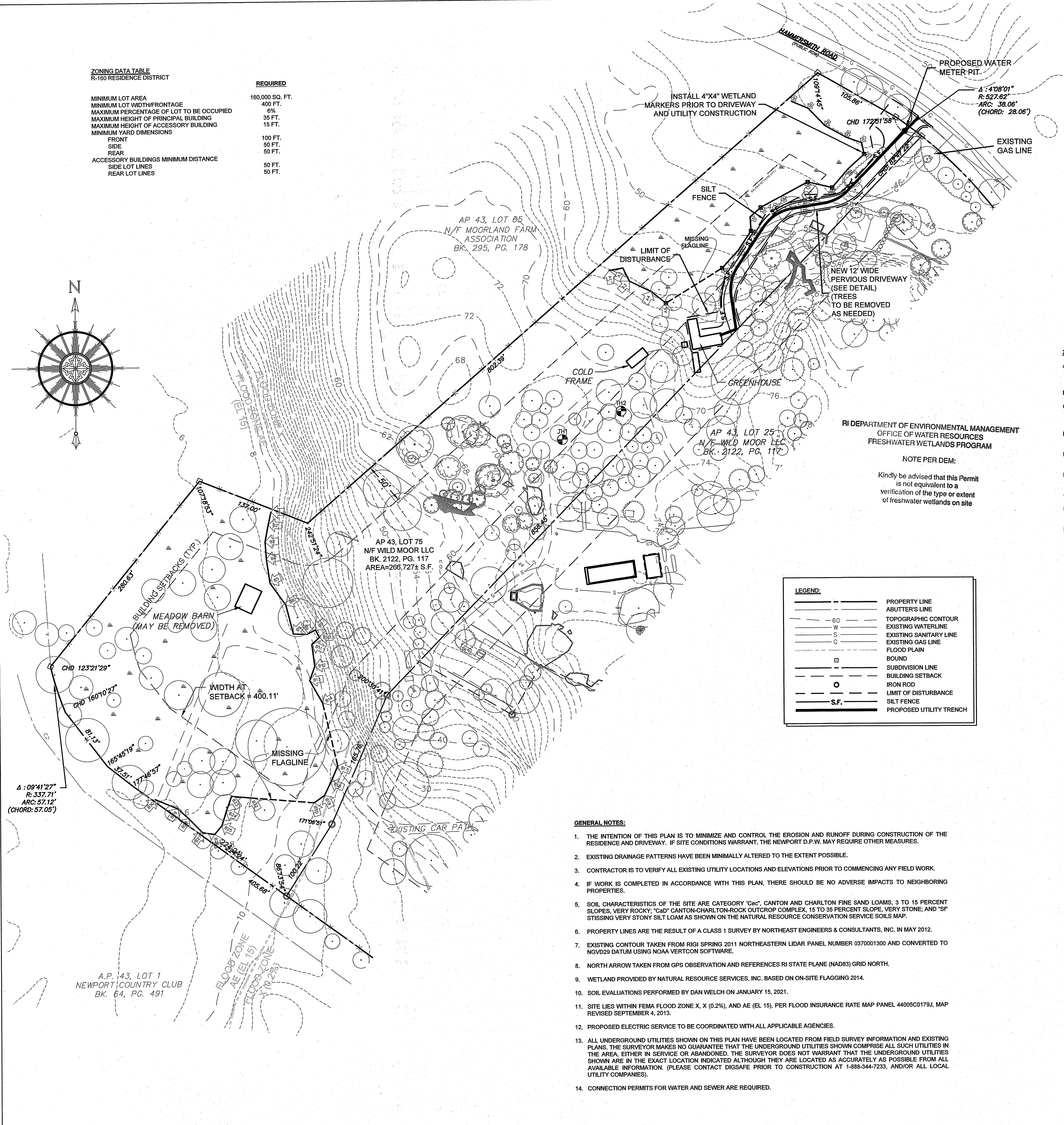
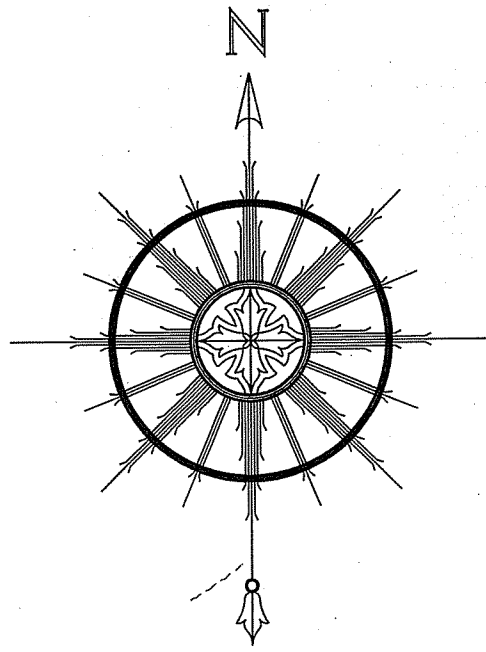


ZONING DATA TABLE	REQUIRED
R-160 RESIDENCE DISTRICT	
MINIMUM LOT AREA	160,000 SQ. FT.
MINIMUM LOT WIDTH/FRONTAGE	400 FT.
MAXIMUM PERCENTAGE OF LOT TO BE OCCUPIED	6%
MAXIMUM HEIGHT OF PRINCIPAL BUILDING	35 FT.
MAXIMUM HEIGHT OF ACCESSORY BUILDING	15 FT.
MINIMUM YARD DIMENSIONS	
FRONT	100 FT.
SIDE	50 FT.
REAR	50 FT.
ACCESSORY BUILDINGS MINIMUM DISTANCE	
SIDE LOT LINES	50 FT.
REAR LOT LINES	50 FT.



LEGEND:	
---	PROPERTY LINE
---	ABUTTER'S LINE
---	TOPOGRAPHIC CONTOUR
---	EXISTING WATERLINE
---	EXISTING SANITARY LINE
---	EXISTING GAS LINE
---	FLOOD PLAIN
□	BOUND
---	SUBDIVISION LINE
---	BUILDING SETBACK
○	IRON ROD
---	LIMIT OF DISTURBANCE
---	SILT FENCE
---	PROPOSED UTILITY TRENCH

- GENERAL NOTES:**
- THE INTENTION OF THIS PLAN IS TO MINIMIZE AND CONTROL THE EROSION AND RUNOFF DURING CONSTRUCTION OF THE RESIDENCE AND DRIVEWAY. IF SITE CONDITIONS WARRANT, THE NEWPORT D.P.W. MAY REQUIRE OTHER MEASURES.
 - EXISTING DRAINAGE PATTERNS HAVE BEEN MINIMALLY ALTERED TO THE EXTENT POSSIBLE.
 - CONTRACTOR IS TO VERIFY ALL EXISTING UTILITY LOCATIONS AND ELEVATIONS PRIOR TO COMMENCING ANY FIELD WORK.
 - IF WORK IS COMPLETED IN ACCORDANCE WITH THIS PLAN, THERE SHOULD BE NO ADVERSE IMPACTS TO NEIGHBORING PROPERTIES.
 - SOIL CHARACTERISTICS OF THE SITE ARE CATEGORY 'Cec', CANTON AND CHARLTON FINE SAND LOAMS, 3 TO 15 PERCENT SLOPES, VERY ROCKY; 'cad' CANTON-CHARLTON-ROCK OUTCROP COMPLEX, 15 TO 35 PERCENT SLOPE, VERY STONE; AND 'sf' STISSING VERY STONY SILT LOAM AS SHOWN ON THE NATURAL RESOURCE CONSERVATION SERVICE SOILS MAP.
 - PROPERTY LINES ARE THE RESULT OF A CLASS 1 SURVEY BY NORTHEAST ENGINEERS & CONSULTANTS, INC. IN MAY 2012.
 - EXISTING CONTOUR TAKEN FROM RIGI SPRING 2011 NORTHEASTERN LIDAR PANEL NUMBER 0370001300 AND CONVERTED TO NGVD29 DATUM USING NOAA VERTCON SOFTWARE.
 - NORTH ARROW TAKEN FROM GPS OBSERVATION AND REFERENCES RI STATE PLANE (NAD83) GRID NORTH.
 - WETLAND PROVIDED BY NATURAL RESOURCE SERVICES, INC. BASED ON ON-SITE FLAGGING 2014.
 - SOIL EVALUATIONS PERFORMED BY DAN WELCH ON JANUARY 15, 2021.
 - SITE LIES WITHIN FEMA FLOOD ZONE X, X (0.2%), AND AE (EL. 15), PER FLOOD INSURANCE RATE MAP PANEL 44005C017B3, MAP REVISED SEPTEMBER 4, 2013.
 - PROPOSED ELECTRIC SERVICE TO BE COORDINATED WITH ALL APPLICABLE AGENCIES.
 - ALL UNDERGROUND UTILITIES SHOWN ON THIS PLAN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING PLANS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM ALL AVAILABLE INFORMATION. (PLEASE CONTACT DIGSAFE PRIOR TO CONSTRUCTION AT 1-888-344-7233, AND/OR ALL LOCAL UTILITY COMPANIES).
 - CONNECTION PERMITS FOR WATER AND SEWER ARE REQUIRED.

- SOIL EROSION AND SEDIMENT CONTROL NOTES**
- 1. CONSTRUCTION SEQUENCE**
- DO NOT BEGIN CONSTRUCTION UNTIL ALL LOCAL, STATE, AND FEDERAL PERMITS HAVE BEEN APPLIED FOR AND RECEIVED. CONTRACTOR/OWNER SHALL NOTIFY NEWPORT D.P.W. IN ADVANCE OF HIS INTENT TO BEGIN CONSTRUCTION.
 - CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE LOCATED AS SHOWN ON PLANS. CONSTRUCTION TRAFFIC SHALL ENTER AND EXIT THE SITE VIA THIS ENTRANCE.
 - INSTALL SILT FENCES, SILT SACKS, CHECK DAMS AND/OR HAY BALES AS INDICATED ON THE DRAWINGS TO CONTROL EROSION AND PREVENT SEDIMENT CONTAMINATION OF DOWNSTREAM AREAS PRIOR TO ANY EARTH MOVING ACTIVITIES. EROSION CONTROLS SHALL BE IN PLACE BEFORE ANY OTHER SITE WORK IS UNDERTAKEN.
 - FLAG AREA OF LEACHFIELD SUCH THAT CONSTRUCTION DISTURBANCE IS MINIMAL. REMOVE TREES AND VEGETATION ONLY WHERE NECESSARY. ALL STUMPS TO BE GROUND OR DISPOSED OFF SITE.
 - EXCAVATE AREA OF RESIDENCE IN ACCORDANCE WITH THE PLANS AND NOTES. GRADE ENTRANCE DRIVE AS SHOWN. ONLY THOSE AREAS UNDER CONSTRUCTION WILL BE DISTURBED BY EARTHWORK. THE REMAINDER OF THE LOT WILL NOT BE STRIPPED OR DISTURBED UNTIL CONTRACTOR IS DONE WITH THE RESIDENCE CONSTRUCTION AND IS READY FOR THE FINAL LAWN/LANDSCAPING INSTALLATION.
 - TEMPORARY SOIL STOCKPILES SHALL BE PROTECTED WITH ADDITIONAL EROSION CONTROL MEASURES AS NECESSARY.
 - CONSTRUCT UTILITY SERVICES AND OWTS.
 - COMPLETE STRUCTURE.
 - INSTALL DRIVEWAY SURFACING.
 - ESTABLISH A VEGETATIVE GROWTH THAT MEETS THE APPROVAL OF THE TOWN ENGINEER. COMPLETE AREAS OF LANDSCAPING.
 - UPON COMPLETION OF CONSTRUCTION AND PRIOR TO REMOVAL OF EROSION & SEDIMENT CONTROLS, CONTRACTOR SHALL CONTACT NEWPORT D.P.W. FOR A FINAL INSPECTION.
 - MAINTAIN SITE IN ACCORDANCE WITH THE MAINTENANCE NOTES. EROSION CONTROLS MUST BE MAINTAINED AND REMAIN IN PLACE UNTIL THE LAWN HAS RECEIVED TWO (2) MOWINGS.

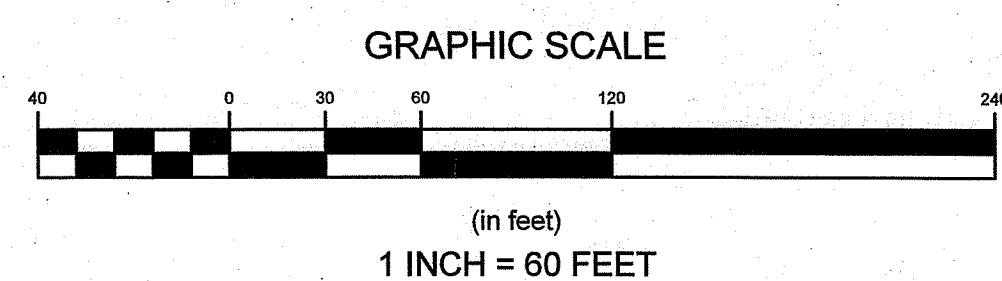
- 2. EARTHWORK NOTES:**
- DURING CONSTRUCTION AND THEREAFTER, EROSION CONTROL MEASURES ARE TO BE IMPLEMENTED AS NOTED. ONLY THE SMALLEST PRACTICAL AREA OF LAND SHOULD BE EXPOSED AT ANY ONE TIME DURING DEVELOPMENT. WHEN LAND IS EXPOSED DURING DEVELOPMENT, THE EXPOSURE SHOULD BE KEPT TO THE SHORTEST PRACTICAL PERIOD OF TIME.
 - NO DRAINAGE OR OWTS AREA SHALL BE USED FOR STOCKPILES OR STORAGE OF MATERIALS OR EQUIPMENT.
 - ANY DISTURBED AREAS WHICH ARE TO BE LEFT TEMPORARILY AND WHICH WILL BE REGRADED LATER DURING CONSTRUCTION SHALL BE STABILIZED WITHIN FOURTEEN DAYS IN ACCORDANCE WITH TEMPORARY MEASURES IN THE VEGETATIVE PRACTICE NOTES.
 - AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED, AND STRIPPED OF TOP SOIL TO REMOVE VEGETATION, ROOTS, AND ANY OTHER OBJECTIONABLE MATERIAL.
 - ALL FILL SHALL BE COMPACTED TO 95% MAX. DENSITY TO REDUCE EROSION, SLIPPAGE, SETTLEMENT SUBSIDENCE, OR OTHER RELATED PROBLEMS.
 - FILL INTENDED TO SUPPORT BUILDING STRUCTURES AND CONDUITS, ETC., SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL CODES AND SPECIFICATIONS.
 - ALL FILL SHALL BE PLACED IN LAYERS NOT TO EXCEED 12" IN THICKNESS.
 - FILL MATERIAL SHALL BE FREE OF BRUSH, RUBBISH, ROCKS, LOGS, STUMPS, BUILDING DEBRIS, AND OTHER OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
 - FROZEN, SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIAL SHALL NOT BE INCORPORATED INTO FILLS.
 - FILL SHALL NOT BE PLACED ON A FROZEN FOUNDATION SUBGRADE.
 - SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER.
 - ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 14 DAYS OF FINISH GRADING IN ACCORDANCE WITH THE VEGETATIVE PRACTICE NOTES.
 - EXCESS QUANTITIES OF SOIL WILL BE REMOVED FROM SITE BY CONTRACTOR AND DISPOSED OF IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.

- 3. VEGETATIVE PRACTICE NOTES:**
- PERMANENT MEASURES:**
- EROSION CONTROL BLANKET SHALL BE INSTALLED ON ANY SLOPES STEEPER THAN 3:1 (SEE PLAN).
 - A MINIMUM OF 4" OF LOAM SHALL BE INSTALLED. THE LOAM SHALL BE GRADED TO A SMOOTH CONDITION AND STONES AND OTHER OBJECTS LARGER THAN 2" SHALL BE REMOVED.
 - THE FOLLOWING SEEDING MIXTURE SHALL BE APPLIED AT THE INDICATED RATE UNLESS OTHERWISE APPROVED BY THE NEWPORT D.P.W.

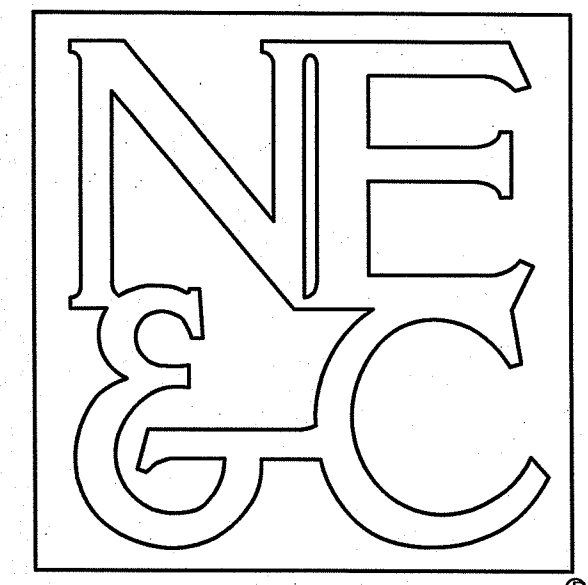
RED FESCUE:	40 LBS/ACRE
KENTUCKY BLUEGRASS:	40 LBS/ACRE
PERENNIAL RYEGRASS:	20 LBS/ACRE
 - HAY MULCH SHALL BE APPLIED AT THE RATE OF 1.5 TONS/ACRE
- TEMPORARY MEASURES (FOR TEMPORARY PROTECTION OF DISTURBED AREAS)**
- LIMESTONE AND FERTILIZER SHALL BE APPLIED AT THE FOLLOWING RATE:
LIMESTONE: 3 TONS/ACRE
FERTILIZER: (10-10-10); 600 LBS/ACRE
 - SEED SHALL BE APPLIED AT THE FOLLOWING RATE:
WINTER RYE: 100 LB/ACRE
 - HAY MULCH SHALL BE APPLIED AT THE RATE OF 1.5 TONS/ACRE.

- 4. SHORT-TERM MAINTENANCE**
- DURING THE PERIOD OF CONSTRUCTION AND/OR UNTIL LONG TERM VEGETATION IS ESTABLISHED, THE EROSION CONTROL MEASURES SHALL BE INSPECTED.
- SILT FENCES SHALL BE INSPECTED AS INDICATED IN THE PLAN DETAILS. AT A MINIMUM THE SILT FENCING SHALL BE INSPECTED AND REPAIRED ONCE A WEEK AND/OR IMMEDIATELY FOLLOWING A SIGNIFICANT RAINFALL OR SNOWMELT. SEDIMENT TRAPPED BEHIND THE BARRIERS SHALL BE EXCAVATED WHEN IT REACHES A DEPTH OF 6" AND REGRADED ON THE SITE.
 - ANY EROSION CONTROL BLANKETS SHALL BE INSPECTED ON A WEEKLY BASIS.
 - STONE ENTRANCE SHALL BE INSPECTED MONTHLY FOR EXCESSIVE ACCUMULATION OF SEDIMENT. IT MAY BE NECESSARY TO REMOVE STONES, EXCAVATE SEDIMENT, AND REPLACE STONES.
 - THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE REMOVED PRIOR TO FINAL SURFACING. DURING CONSTRUCTION THE ENTRANCE SHALL BE INSPECTED WEEKLY, AND RE-ESTABLISHED AS NECESSARY.
 - SEEDED AREAS SHALL BE FERTILIZED AND RESEEDED AS NECESSARY TO INSURE ESTABLISHMENT OF A VEGETATIVE GROWTH THAT MEETS THE APPROVAL OF REVIEWING ENTITIES.

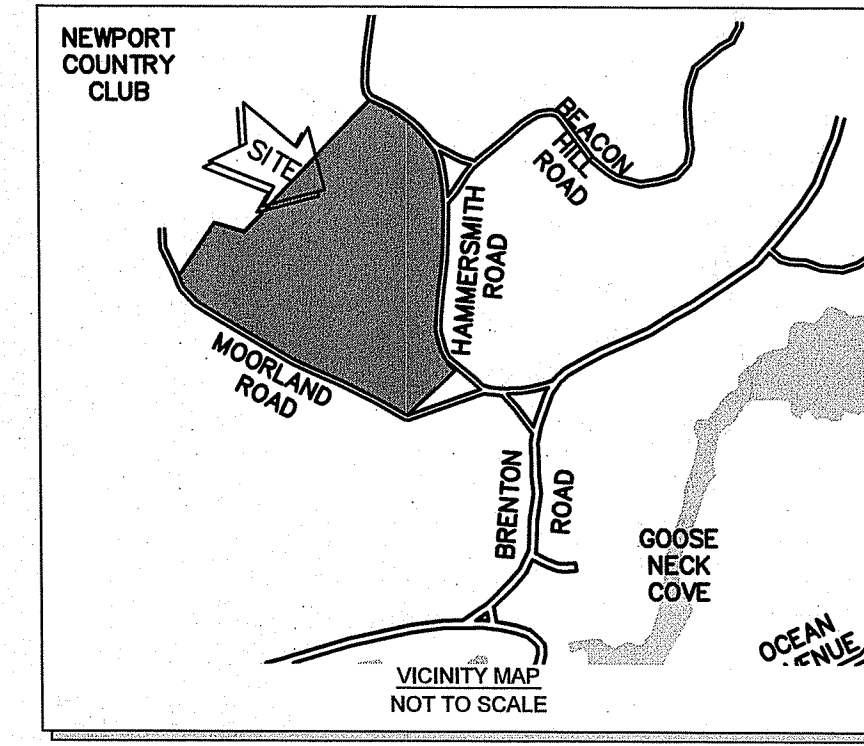
- 5. DRAINAGE NOTES:**
- ALL DRAIN PIPES ARE TO BE SCH. 40 PVC PIPE OR ADS N-12 TYPE IB (SOILTIGHT) UNLESS OTHERWISE SPECIFIED.
 - NO FOUNDATION DRAINS SHALL BE INSTALLED WITHIN 25' OF THE OWTS.
 - ROOF OVERHANGS SHALL BE GUTTERED.



NORTHEAST ENGINEERS & CONSULTANTS, INC.



A KNOWLEDGE CORPORATION®
6 VALLEY ROAD MIDDLETOWN RHODE ISLAND 02842
PHONE (401) 849-0810 FAX (401) 846-4169
WWW.NORTHEASTENGINEERS.COM



RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
REVIEWED SITE PLAN APPLICATION #: 22-0028
DATED: 4/19/2022
SEE LETTER OF SAME DATE
Nancy Freeman

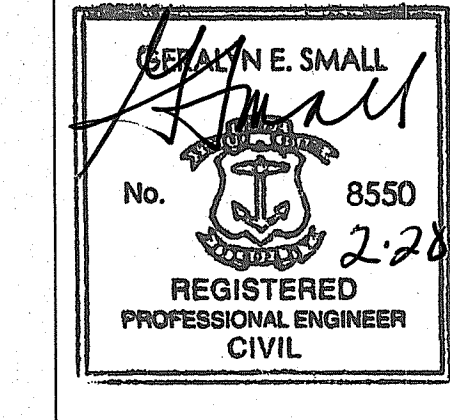
No.	Revision	Date	App.
4	REVISED LIMIT OF DISTURBANCE	28FEB22	
3	REVISED PROPOSED DRIVEWAY LOCATION	17FEB22	
2	REVISED PROPOSED DRIVEWAY LOCATION	03JAN22	
1	ADDED PROPOSED UTILITY TRENCH	16DEC21	

Designed By: GES Drawn by: VAL/JBS Checked by:
Scale: 1"=60 Date: 05NOV2021
Project Title:
A.P. 43, LOT 75
21 HAMMERSMITH ROAD
NEWPORT, RHODE ISLAND

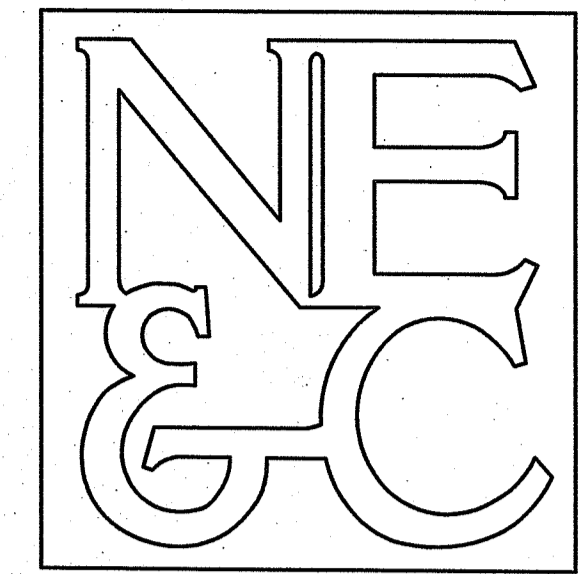
Client/Owner:
WILD MOOR LLC c/o RALPH J. ISHAM
1045 FIRST AVE., SUITE 120
KING OF PRUSSIA, PA 19406
Issued to:
RIDEM WETLANDS
Drawing Title:

SOIL EROSION & SEDIMENT CONTROL PLAN

Drawing Number:
SESC-1
Sheet 1 of 2
Project Number:
12051.6
Survey Index:
14 - 43 - 75

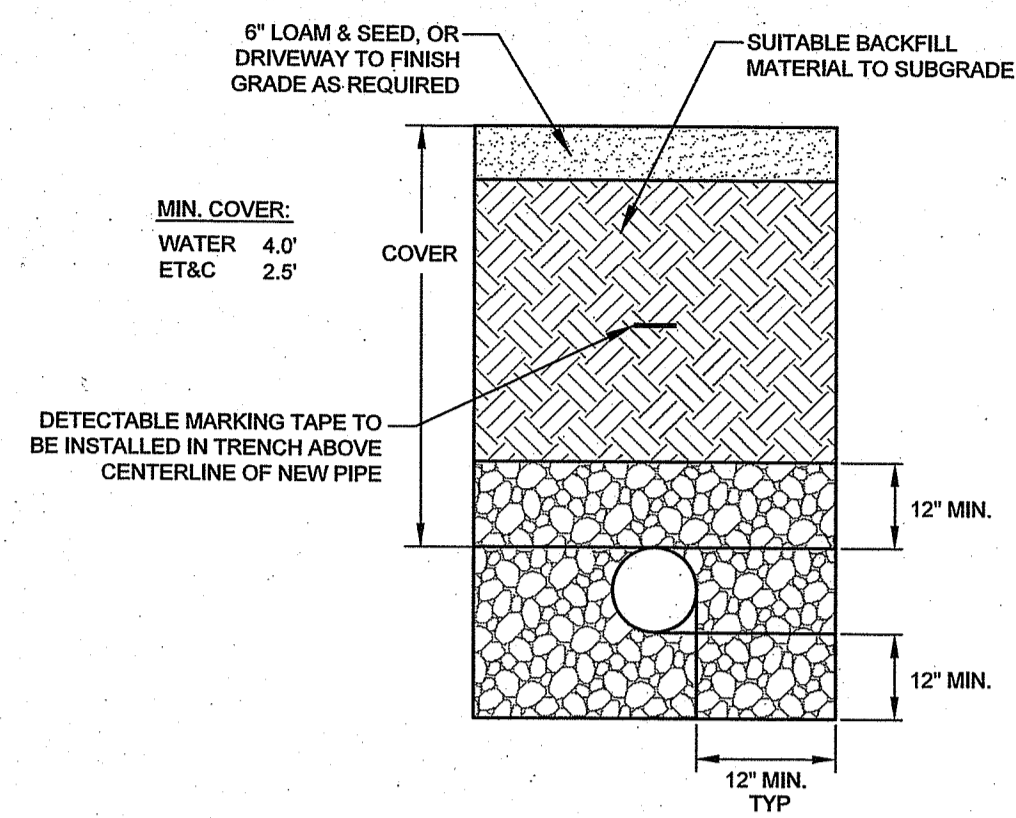


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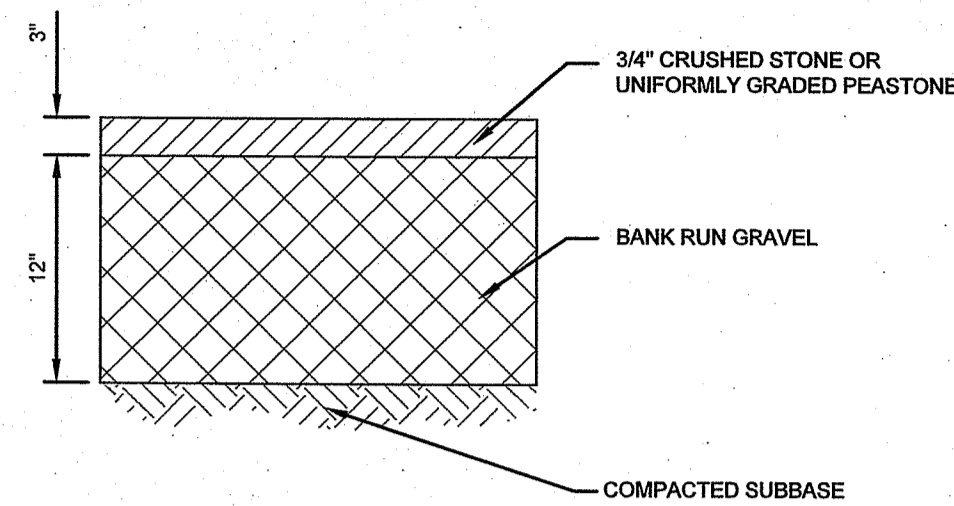
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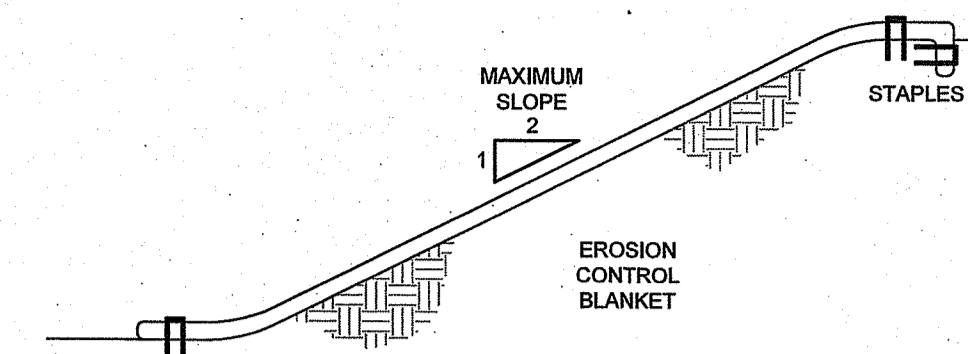
UTILITY TRENCH DETAIL
SCALE: NOT TO SCALE

TRENCH NOTES:

1. UNSUITABLE MATERIAL SHALL BE EXCAVATED TO A MINIMUM DEPTH OF 12-INCHES BELOW THE DESIGN INVERT ELEVATION.
2. TRENCH PROTECTION SHALL BE REQUIRED IN ACCORDANCE WITH OSHA REGULATIONS, AND AS OTHERWISE REQUIRED TO PROTECT UTILITIES, ROADWAYS, AND ADJACENT STRUCTURES.
3. DRAIN PIPES SHALL BE LAID BEGINNING AT THE DOWNSTREAM END OF THE PIPE LINE.
4. BACKFILL MATERIAL SHALL BE PLACED IN LAYERS NOT TO EXCEED 12" IN HEIGHT WHEN INSTALLED UNDER LANDSCAPED AREAS ONLY. INSTALLATIONS UNDER PAVEMENT REQUIRE BACKFILL MATERIAL TO BE PLACED IN LAYERS NOT TO EXCEED 6" IN HEIGHT. THESE LAYERS SHALL BE COMPACTED TO 90% MAXIMUM DENSITY (AASHTO T180). SUITABLE BACKFILL SHALL BE FREE OF LOAM, CLAY, ORGANIC MATTER AND PARTICLES LARGER THAN 2 INCHES IN DIAMETER.
5. UTILITY INSTALLATIONS SHALL CONFORM TO ALL REQUIREMENTS OF THE CITY OF NEWPORT PUBLIC WORKS DEPARTMENT RULES AND REGULATIONS.



TYPICAL STONE DRIVEWAY SECTION
SCALE: NOT TO SCALE

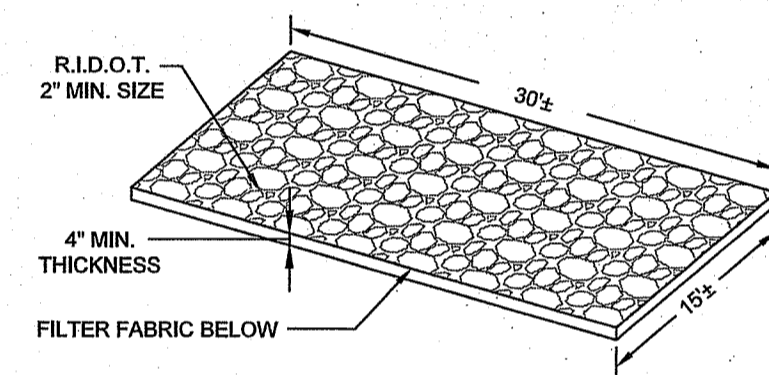


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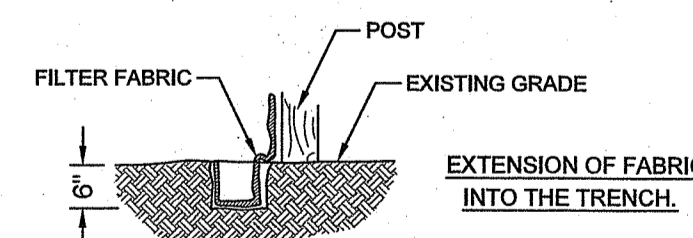
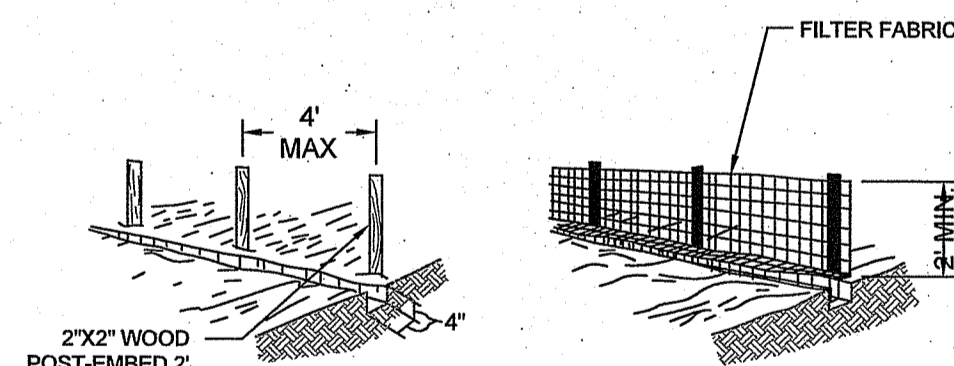
1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF LIME, FERTILIZER AND SEED. NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
3. ROLL THE BLANKETS DOWN THE SLOPE IN THE DIRECTION OF THE WATER FLOW.
4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2" OVERLAP.
5. WHEN BLANKETS MUST BE SPICED DOWN THE SLOPE, PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH APPROXIMATELY 6" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12' APART.

EROSION CONTROL BLANKET
SCALE: NOT TO SCALE

RI Environmental Management
MAR 7 2022
Office of Water Resources



CONSTRUCTION ENTRANCE
SCALE: NOT TO SCALE



NOTES:

1. SET POSTS AND EXCAVATE A 6" X 6" TRENCH UPSLOPE ALONG THE LINE OF POSTS.
2. STAPLE FILTER FABRIC TO THE POSTS AND EXTEND INTO TRENCH.
3. BACK FILL AND COMPACT THE EXCAVATED SOIL INTO THE TRENCH.

SILT FENCE
SCALE: NOT TO SCALE

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
REVIEWED SITE PLAN APPLICATION # 22-0088
DATED: 4/19/2022
SEE LETTER OF SAME DATE

Nancy L. Freeman

No.	Revision	Date	App.
3	REVISED PROPOSED DRIVEWAY LOCATION	17FEB22	
2	REVISED PROPOSED DRIVEWAY LOCATION	03JAN22	
1	ADDED PROPOSED UTILITY TRENCH	16DEC21	

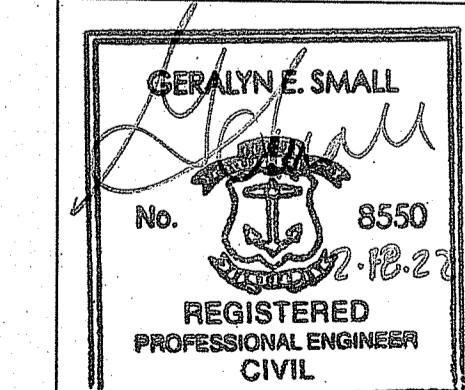
Designed By: GES | Drawn by: VAL/JBS | Checked by:
Scale: AS SHOWN | Date: 05NOV2021

A.P. 43, LOT 75
21 HAMMERSMITH ROAD
NEWPORT, RHODE ISLAND

Client/Owner:
WILD MOOR LLC c/o RALPH J. ISHAM
1045 FIRST AVE., SUITE 120
KING OF PRUSSIA, PA 19406

Issued to:
RIDEM WETLANDS

SESC DETAILS



Drawing Number:
D-1
Sheet 2 of 2
Project Number:
12051.6
Survey Index:
14 - 43 - 75

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