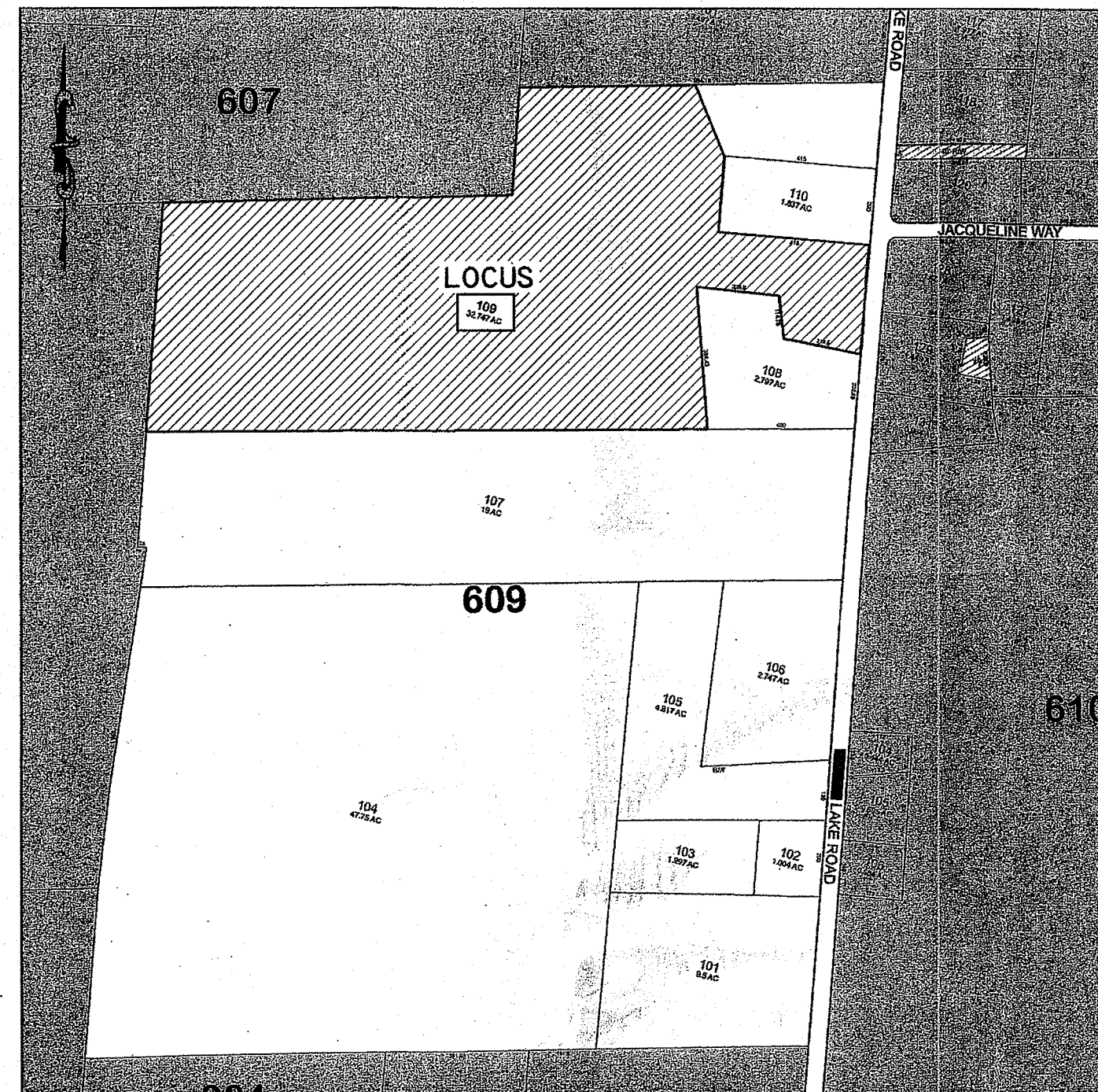


# RURAL COMPOUND SUBDIVISION PRELIMINARY PLAN LAKE ROAD ACRES

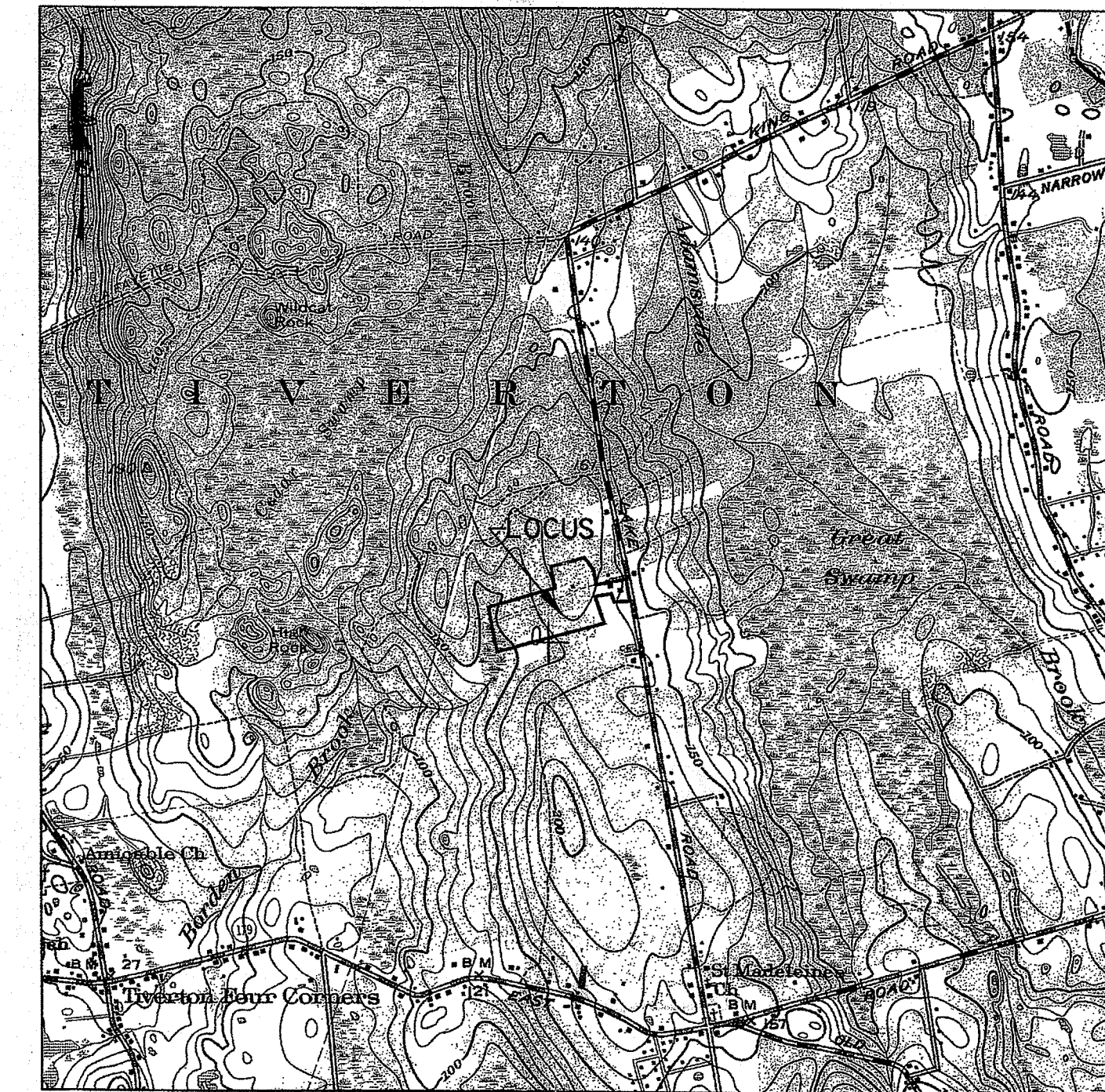
PORTION OF MAP 609 LOT 109  
458 LAKE ROAD  
TIVERTON, RHODE ISLAND

## SHEET INDEX

- SHEET 1 COVER SHEET
- SHEET 2 EXISTING CONDITIONS PLAN
- SHEET 3 OVERALL SITE PLAN
- SHEET 4 50 SCALE SITE PLAN
- SHEET 5 50 SCALE SITE PLAN
- SHEET 6 ROAD PLAN & PROFILE
- SHEET 7 DETAIL SHEET
- SHEET 8 LOT LAYOUT PLAN - OVERALL PLAN
- SHEET 9 LOT LAYOUT PLAN - 50 SCALE PLAN
- SHEET 10 LOT LAYOUT PLAN - 50 SCALE PLAN



ASSESSORS MAP  
NOT TO SCALE



USGS LOCUS MAP  
1" = 2080'±

### NOTES:

- 1) OWNER/APPLICANT: TIVERTON HORIZON DEVELOPMENT CORPORATION  
P.O. BOX 337  
ADAMSVILLE, RHODE ISLAND 02801
- 2) ASSESSOR'S DESIGNATION: PLAT 609 LOT 109
- 3) DEED REFERENCE: BOOK 1739 PAGE 154
- 4) TOTAL PARCEL AREA: 29.456 Acres (1,283,159 SF±) TOTAL [26.305 Acres± (1,145,880 SF± SUITABLE)]
- 5) ZONING REQUIREMENTS: R-80  
MINIMUM LOT SIZE = 80,000 SF  
MINIMUM FRONTAGE = 120 FEET  
MINIMUM FRONT YARD SETBACK = 50 FEET  
MINIMUM SIDE YARD SETBACK = 35 FEET  
MINIMUM REAR YARD SETBACK = 80 FEET  
MAXIMUM BUILDING COVERAGE = 10%
- 6) WETLAND EDGE PRELIMINARY DETERMINATION IS PENDING.
- 7) RIDEM SUBDIVISION SITE SUITABILITY DETERMINATION IS PENDING.
- 8) SITE TO BE SERVICED BY PRIVATE OWITS AND WELLS. ELECTRIC, TELEPHONE AND CATV TO BE PROVIDED TO THE SITE FROM THE EXISTING OVERHEAD WIRES ON LAKE ROAD AND UNDERGROUND ALONG PROPOSED 40' WIDE ROAD (22' WIDE GRAVEL TRAVELLED WAY).
- 9) SITE IS DEPICTED ON FLOOD INSURANCE RATE MAP (FIRM) FOR TOWN OF TIVERTON PANEL 44005C0108J EFFECTIVE DATE 9/4/2013, IN ZONE X, AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
- 10) THIS PLAN IS A PRELIMINARY PLAN OF A RURAL COMPOUND SUBDIVISION, CONSISTING OF 4 MARKET RATE LOTS AND ONE AFFORDABLE LOT (TOTAL OF 5 PROPOSED LOTS). THE SUBDIVISION PROPOSES A NEW PRIVATE ROAD TO CREATE FRONTAGE FOR THE PROPOSED LOTS.
- 11) DENSITY CALCULATIONS:  
1,145,880 SF± SUITABLE LAND / 80,000 SF = 14.3 OR 14 LOTS (5 PROPOSED).
- 12) A PORTION OF THE SITE IS LOCATED WITHIN A WATERSHED PROTECTION OVERLAY DISTRICT.
- 13) A WAIVER IS REQUESTED FROM LAND DEVELOPMENT AND SUBDIVISION REGULATIONS, ARTICLE VIII, SECTION 23-44, PART B, REQUIRING A MINIMUM 100-FOOT UNDISTURBED UPLAND BUFFER IS REQUIRED FROM ALL WETLANDS, AS DEFINED BY STATE LAW, FOR PROPOSED LOT 5 TO ALLOW DISTURBANCE WITHIN 100 FEET OF THE WETLANDS OUTSIDE OF WATERSHED PROTECTION OVERLAY DISTRICT.
- 14) A HOMEOWNER'S ASSOCIATION WILL BE ESTABLISHED FOR THE MAINTENANCE OF THE ROAD AND DRAINAGE SYSTEM, AND DESIGNATING THAT THE OWNER'S OF LOTS 3 & 4 SHALL SHARE EQUALLY IN THE MAINTENANCE OF THE COMMON DRIVEWAY WITHIN THE SHARED EASEMENT.
- 15) OPEN SPACE AREA #1 & OPEN SPACE AREA #2 ARE DESIGNATED AS OPEN SPACE AREAS. A MAXIMUM OF 20% OF THIS OPEN SPACE CAN BE USED FOR ACTIVE RECREATION.
- 16) A 10,000 GALLON FIRE CISTERN IS PROPOSED FOR THE PROJECT. FINAL LOCATION OF THE FIRE CISTERN IS SUBJECT TO THE APPROVAL OF THE TIVERTON FIRE DEPARTMENT.
- 17) LOT 1 TO BE DESIGNATED AS AN AFFORDABLE LOT.
- 18) THE LOTS PROPOSED IN THIS RURAL COMPOUND SUBDIVISION SHALL BE RESTRICTED FROM ANY FURTHER SUBDIVISION.

### RURAL SUBDIVISION: R-80

MINIMUM LOT SIZE = 50,000 SF  
MINIMUM FRONTAGE = 50 FEET  
MINIMUM FRONT YARD SETBACK = 40 FEET  
MINIMUM SIDE YARD SETBACK = 20 FEET  
MINIMUM REAR YARD SETBACK = 40 FEET  
MAXIMUM BUILDING COVERAGE = 4,750 SF  
MINIMUM LOT WIDTH AT BUILDING SETBACK = 120 FEET

### 200' ABUTTOR'S LIST

PLAT 607 LOT 101	N/F RICHARD J. & MARGARET G. BARBOZA 890 SANFORD ROAD WESTPORT, MA 02790	PLAT 608 LOT 131	N/F DEMETRIO COSTA 415 LAKE ROAD TIVERTON, RI 02878
PLAT 608 LOT 117	N/F PATRICK H. & KATHLEEN S. MICKEN 517 LAKE ROAD TIVERTON, RI 02878	PLAT 609 LOT 107	N/F KEVIN V. LOMBARDI P.O. BOX 460 TIVERTON, RI 02878
PLAT 608 LOT 118	N/F STEVEN R. & KAREN D. COX P.O. BOX 392 TIVERTON, RI 02878	PLAT 609 LOT 108	N/F MARC W. & DEBORAH A. PALLASCH 432 LAKE ROAD TIVERTON, RI 02878
PLAT 608 LOT 120	N/F GERALD HILL 22 JACQUELINE WAY TIVERTON, RI 02878	PLAT 609 LOT 110	N/F ROBERT & COLLEEN BARBOZA, JOYCE M. BARBOZA L/E 462 LAKE ROAD TIVERTON, RI 02878
PLAT 608 LOT 128	N/F CHRISTINE F. GORMAN, TRUSTEE JAMES J. GORMAN, TRUSTEE 15 JACQUELINE WAY TIVERTON, RI 02878	PLAT 712 LOT 101	N/F TOWN OF TIVERTON 343 HIGHLAND ROAD TIVERTON, RI 02878
PLAT 608 LOT 129	N/F MARK C. KASAP 437 LAKE ROAD TIVERTON, RI 02878	PLAT 713 LOT 102	N/F TOWN OF TIVERTON 343 HIGHLAND ROAD TIVERTON, RI 02878

JUN 29 2022

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS AS  
SPECIFIED IN THE LETTER OF APPROVAL  
DATED: JUL 08 2022 FILE # 22-0093  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

*Nancy L. Freeman*

RURAL COMPOUND SUBDIVISION PRELIMINARY PLAN  
COVER SHEET

LAKE ROAD ACRES

PORTION OF ASSESSOR'S MAP 609 LOT 109  
458 LAKE ROAD  
TIVERTON, RHODE ISLAND

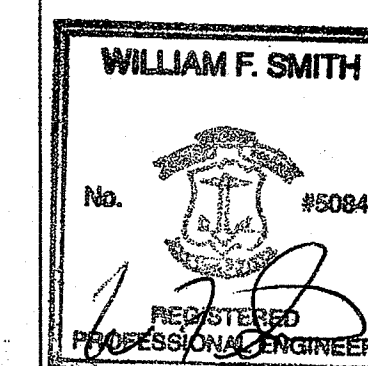
OWNER/APPLICANT:  
TIVERTON HORIZON DEVELOPMENT CORPORATION  
P.O. BOX 337  
ADAMSVILLE, RHODE ISLAND  
SCALE: AS NOTED DATE: OCTOBER 25, 2021

Civil Engineering Concepts, Inc.

34A MAIN STREET  
LITTLE COMPTON, RI 02857  
PH: (401) 592-0177  
FAX: (401) 592-0178  
EMAIL: wsmithccc@aol.com

RALPH URBAN, PLS

P.O. BOX 1494  
WESTPORT, MA 02790  
(508) 636-8397



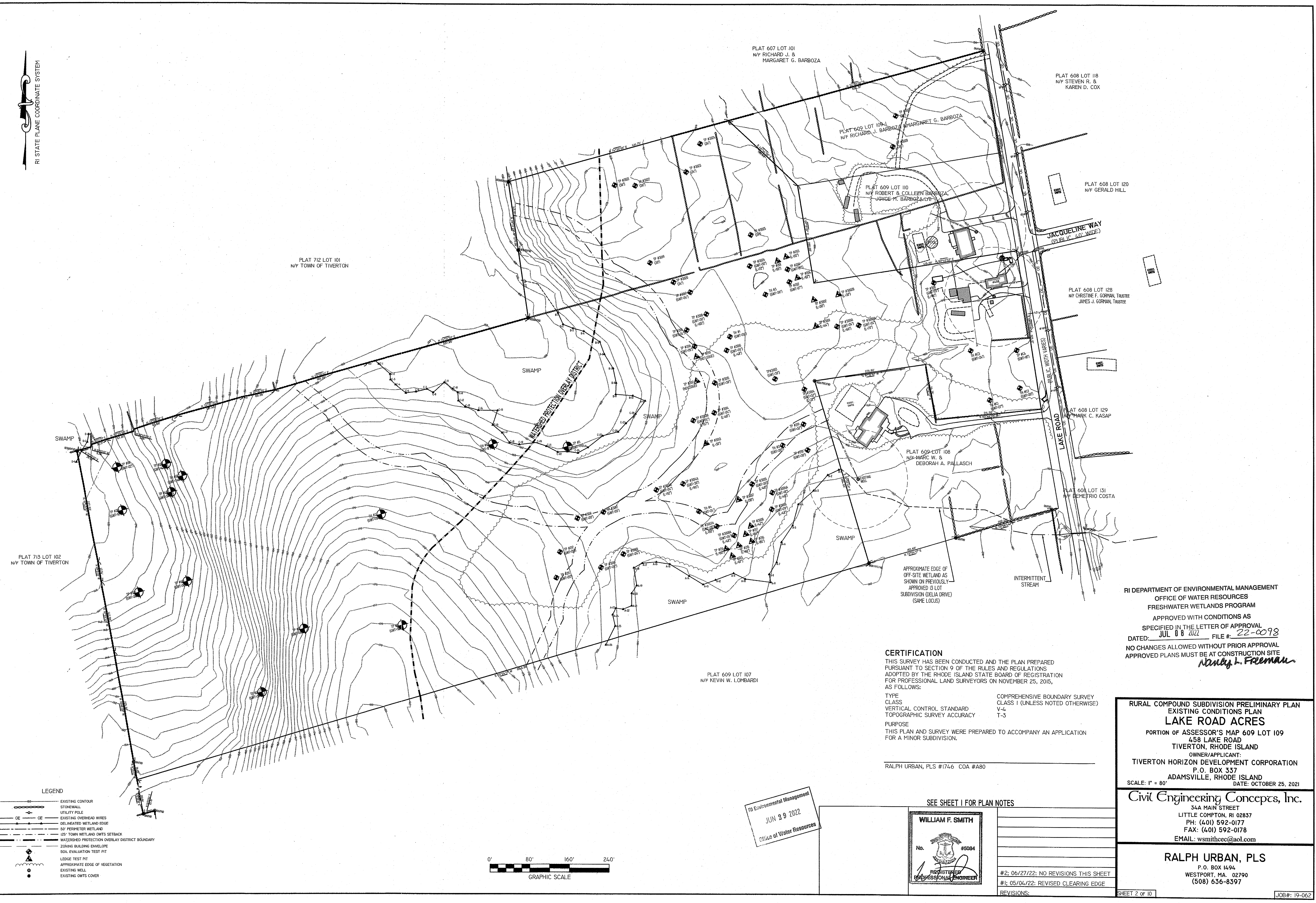
#2: 06/27/22: NO REVISIONS THIS SHEET  
#1: 05/04/22: NO REVISIONS THIS SHEET

REVISIONS:

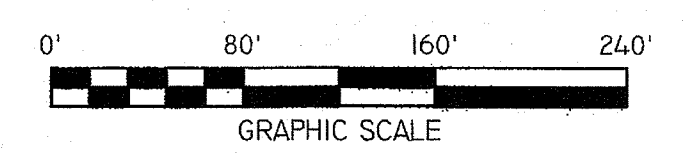
SHEET 1 of 10

JOB#: 19-062

RI STATE PLANE COORDINATE SYSTEM



- LEGEND**
- EXISTING CONTOUR
  - STOREWALL
  - UTILITY POLE
  - CE — CE — EXISTING OVERHEAD WIRES
  - DELINEATED WETLAND EDGE
  - 50' PERIMETER WETLAND
  - 120' TOWN WETLAND OWS SETBACK
  - WATERSHED PROTECTION OVERLAY DISTRICT BOUNDARY
  - ZONING BUILDING ENVELOPE
  - SOIL EVALUATION TEST PIT
  - LEDGE TEST PIT
  - APPROXIMATE EDGE OF VEGETATION
  - EXISTING WELL
  - EXISTING OWS COVER



**CERTIFICATION**

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:

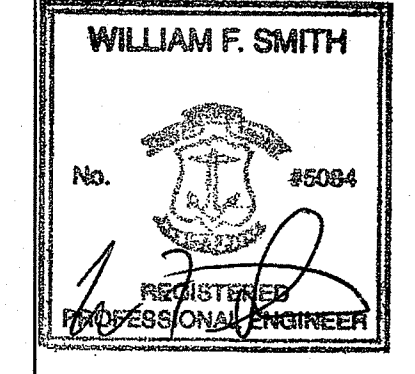
TYPE: COMPREHENSIVE BOUNDARY SURVEY  
 CLASS: CLASS 1 (UNLESS NOTED OTHERWISE)  
 VERTICAL CONTROL STANDARD: V-4  
 TOPOGRAPHIC SURVEY ACCURACY: T-3

PURPOSE: THIS PLAN AND SURVEY WERE PREPARED TO ACCOMPANY AN APPLICATION FOR A MINOR SUBDIVISION.

RALPH URBAN, PLS #1746 COA #A80

RI Environmental Management  
 JUN 9 9 2022  
 Office of Water Resources

SEE SHEET 1 FOR PLAN NOTES



#2; 06/27/22: NO REVISIONS THIS SHEET  
 #1; 05/04/22: REVISED CLEARING EDGE  
 REVISIONS:

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
 OFFICE OF WATER RESOURCES  
 FRESHWATER WETLANDS PROGRAM  
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RURAL COMPOUND SUBDIVISION PRELIMINARY PLAN  
 EXISTING CONDITIONS PLAN  
**LAKE ROAD ACRES**  
 PORTION OF ASSESSOR'S MAP 609 LOT 109  
 458 LAKE ROAD  
 TIVERTON, RHODE ISLAND  
 OWNER/APPLICANT:  
 TIVERTON HORIZON DEVELOPMENT CORPORATION  
 P. O. BOX 337  
 ADAMSVILLE, RHODE ISLAND  
 SCALE: 1" = 80' DATE: OCTOBER 25, 2021

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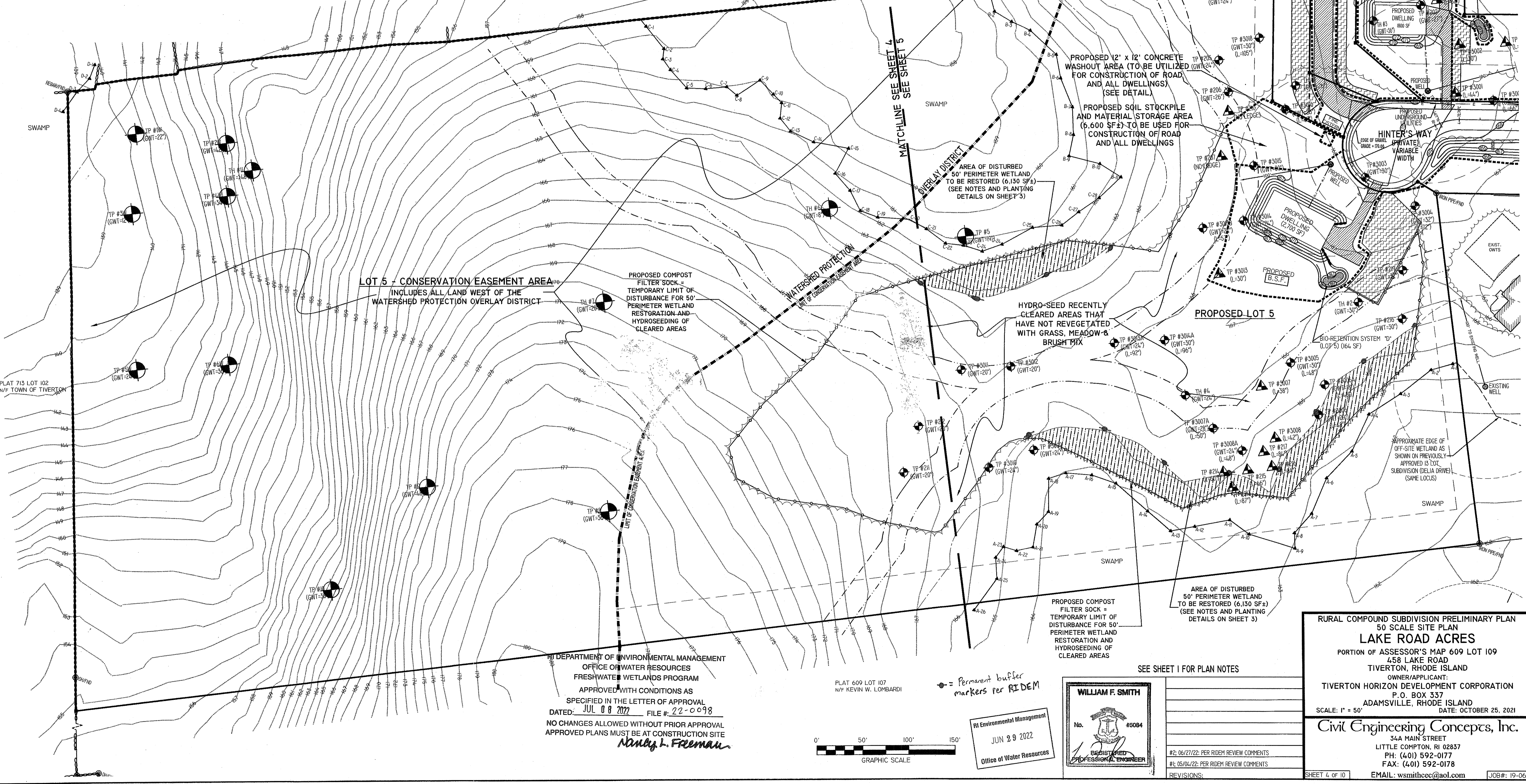
**LEGEND**

- EXISTING CONTOUR
- STONEWALL
- UTILITY POLE
- EXISTING OVERHEAD WIRES
- DELINEATED WETLAND EDGE
- 50' PERIMETER WETLAND
- 125' TOWN WETLAND OWT'S SETBACK
- 100' TOWN UNDISTURBED WETLAND BUFFER
- WATERSHED PROTECTION OVERLAY DISTRICT BOUNDARY
- ZONING BUILDING ENVELOPE
- SOIL EVALUATION TEST PIT
- LEDGE TEST PIT
- APPROXIMATE EDGE OF VEGETATION
- EXISTING WELL
- EXISTING OWT'S COVER
- PROPOSED CONTOUR
- PROPOSED ROOF DRAIN
- PROPOSED CONSTRUCTION ENTRANCE
- PROPOSED UNDERGROUND UTILITIES
- PROPOSED COMPOST FILTER SOCK OR SILT FENCE EROSION CONTROL - LIMITS OF DISTURBANCE
- PROPOSED OPA (QUALIFIED PERVIOUS AREA)
- PROPOSED RIPRAP

**LOT AREA CHART**

LOT	TOTAL LOT AREA	SUITABLE AREA	UNSUITABLE AREA	NOTES
LOT 1	37,692 SF±	37,692 SF±	0 SF	
LOT 2	37,903 SF±	37,903 SF±	0 SF	
LOT 3	61,033 SF±	56,825 SF±	4,208 SF±	UNSUITABLE AREA = COMMON DRIVEWAY EASEMENT
LOT 4	72,709 SF±	70,023 SF±	2,686 SF±	UNSUITABLE AREA = COMMON DRIVEWAY/FIRE CISTERN EASEMENT
LOT 5	430,080 SF±	356,095 SF±	73,985 SF±	UNSUITABLE AREA = WETLAND, EXCLUDES CONSERVATION EASEMENT AREA
CONSERVATION EASEMENT AREA	581,442 SF±	518,168 SF±	62,274 SF±	UNSUITABLE AREA = WETLAND
HINTER'S WAY (ROAD)	62,297 SF±	62,297 SF±	0 SF±	VARIABLE WIDTH ROAD

- PROPOSED GRAVEL DRIVEWAY
- PROPOSED MONUMENT
- LIMIT OF CONSERVATION EASEMENT AREA
- PROPOSED TEMPORARY COMPOST FILTER SOCK - TEMPORARY LIMIT OF DISTURBANCE FOR 50' PERIMETER WETLAND RESTORATION AND HYDROSEEDING



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*Nancy L. Freeman*

PLAT 609 LOT 07  
 N/F KEVIN W. LOMBARDI

Permanent buffer markers per RIDEM

RI Environmental Management  
 JUN 29 2022  
 Office of Water Resources

0' 50' 100' 150'  
 GRAPHIC SCALE

**WILLIAM F. SMITH**  
 No. #5084  
 REGISTERED PROFESSIONAL ENGINEER

SEE SHEET 1 FOR PLAN NOTES

REVISIONS:
#2: 06/27/22: PER RIDEM REVIEW COMMENTS
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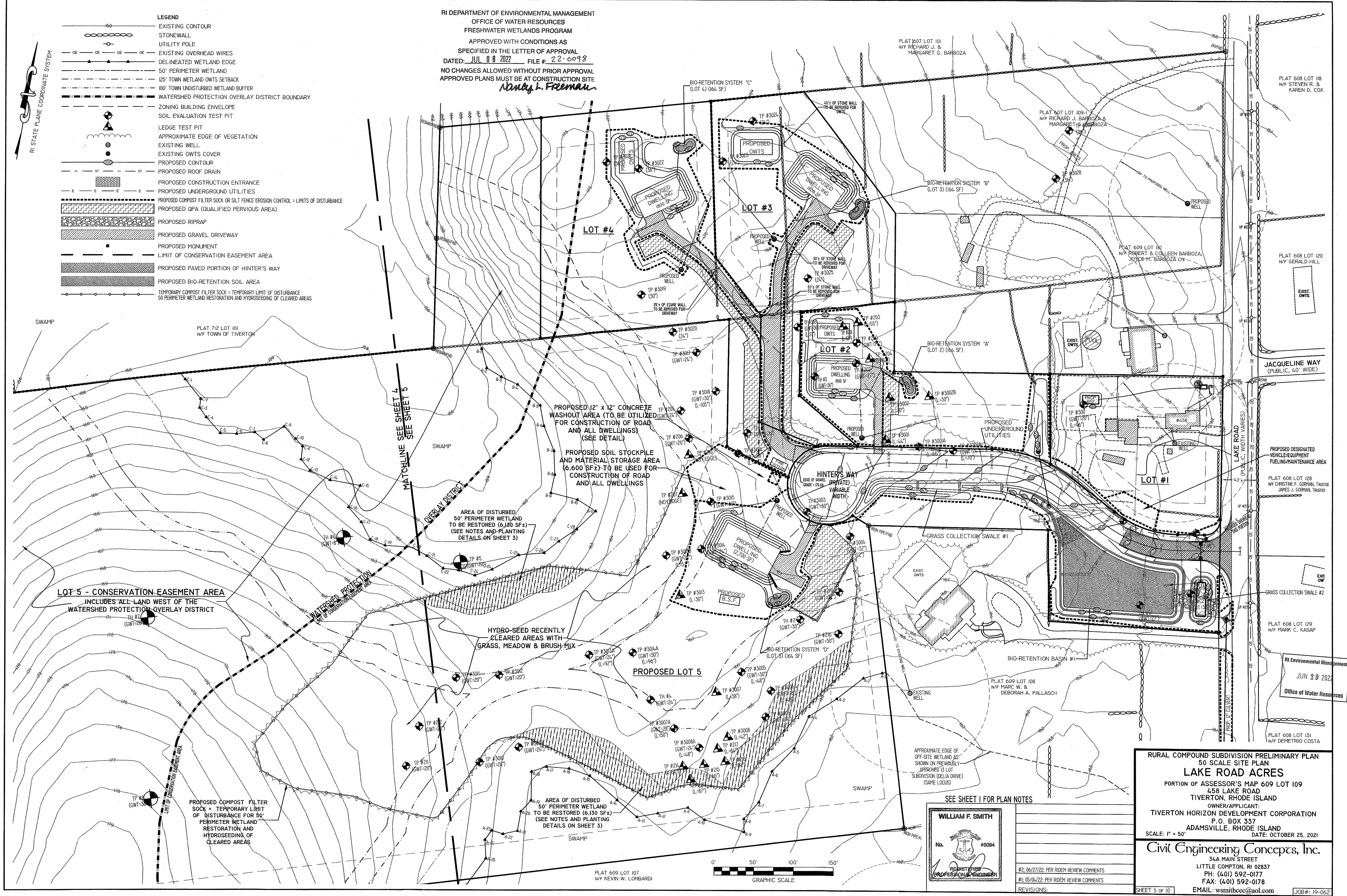
RURAL COMPOUND SUBDIVISION PRELIMINARY PLAN  
 50 SCALE SITE PLAN  
**LAKE ROAD ACRES**  
 PORTION OF ASSESSOR'S MAP 609 LOT 109  
 458 LAKE ROAD  
 TIVERTON, RHODE ISLAND  
 OWNER/APPLICANT:  
 TIVERTON HORIZON DEVELOPMENT CORPORATION  
 P.O. BOX 337  
 ADAMSVILLE, RHODE ISLAND  
 SCALE: 1" = 50'  
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 34A MAIN STREET  
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SHEET 4 OF 10 JOB#: 19-062

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  - PROPOSED GRAVEL DRIVEWAY
  - PROPOSED MONUMENT
  - LIMIT OF CONSERVATION EASEMENT AREA
  - PROPOSED PAVED PORTION OF HINTER'S WAY
  - PROPOSED BIO-RETENTION SOIL AREA
  - TEMPORARY COMPOST FILTER SOCK - TEMPORARY LIMIT OF DISTURBANCE
  - 50 PERIMETER WETLAND RESTORATION AND HYDROSEEDING OF CLEARED AREAS



PLAT 608 LOT 118  
 N/F STEVEN R. &  
 KAREN D. COX

PLAT 608 LOT 120  
 N/F GERALD HILL

JACQUELINE WAY  
 (PUBLIC, 40' WIDE)

PROPOSED DESIGNATED  
 VEHICLE/EQUIPMENT  
 FUELING/MAINTENANCE AREA

PLAT 608 LOT 128  
 N/F CHRISTINE F. GORMAN, TRUSTEE  
 JAMES J. GORMAN, TRUSTEE

PLAT 608 LOT 129  
 N/F MARK C. KASAP

PLAT 609 LOT 108  
 N/F MARC W. &  
 DEBORAH A. PALLASCH

PLAT 609 LOT 109-1  
 N/F RICHARD J. BARBOZA &  
 MARGARET P. BARBOZA

PLAT 609 LOT 110  
 N/F ROBERT & CALEEN BARBOZA,  
 VOYCE M. BARBOZA TR

PLAT 607 LOT 101  
 N/F RICHARD J. &  
 MARGARET G. BARBOZA

PLAT 609 LOT 107  
 N/F KEVIN W. LOMBARDI

PLAT 608 LOT 131  
 N/F DEMETRIO COSTA

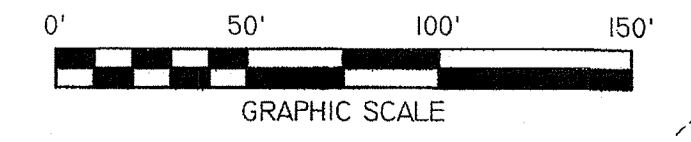
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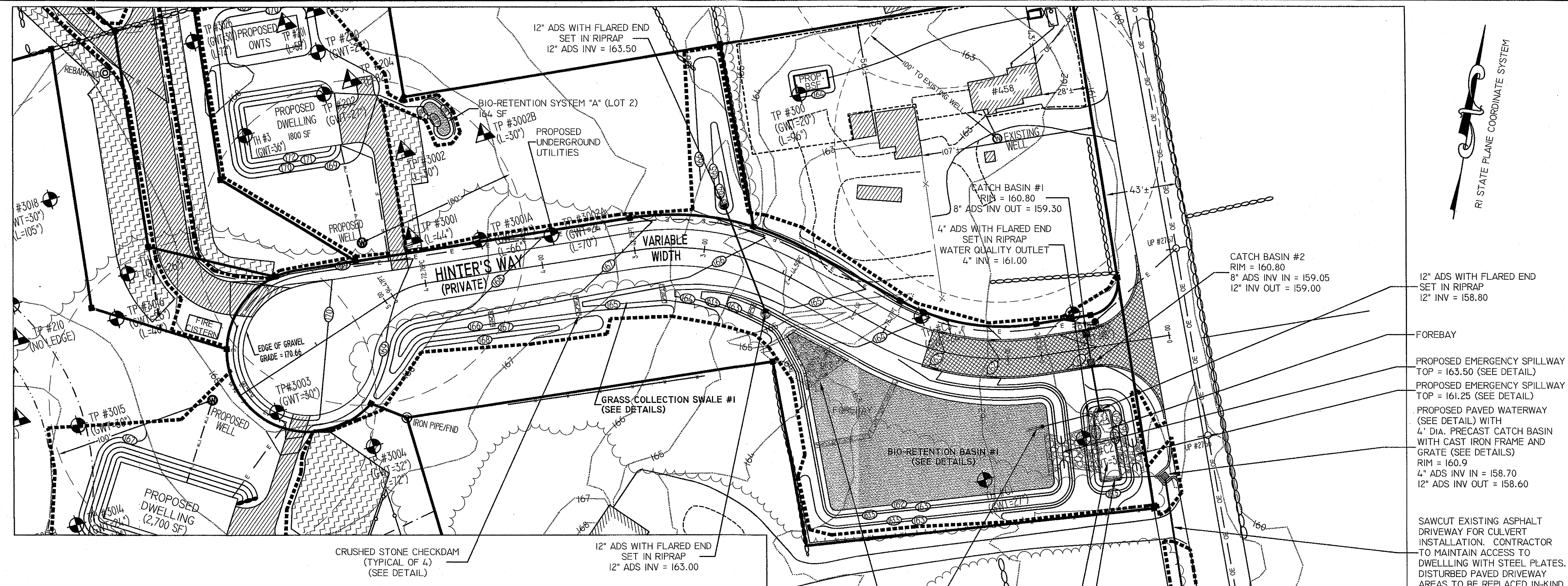
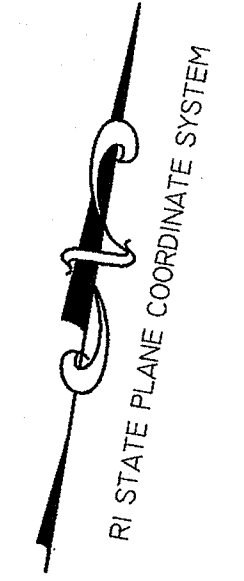
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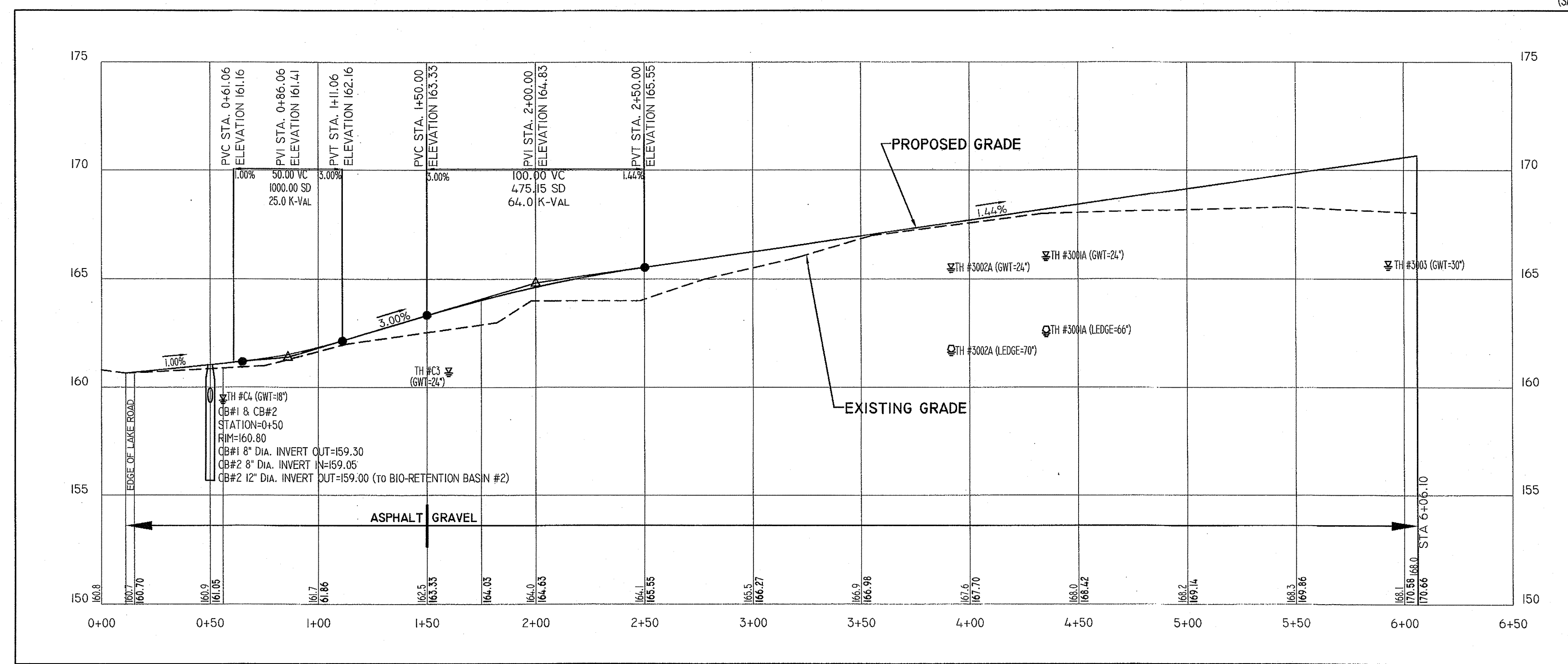


PROPOSED HINTER'S WAY ROAD PLAN VIEW



4" DIA. WATER QUALITY PIPE SEE BIO-RETENTION BASIN #1 & GRASS COLLECTION SWALE #2 CROSS SECTION FOR FURTHER INFORMATION

12" ADS WITH FLARED END SET IN RIPRAP 12" INV = 158.80  
FOREBAY  
PROPOSED EMERGENCY SPILLWAY TOP = 163.50 (SEE DETAIL)  
PROPOSED EMERGENCY SPILLWAY TOP = 161.25 (SEE DETAIL)  
PROPOSED PAVED WATERWAY (SEE DETAIL) WITH 4" DIA. PRECAST CATCH BASIN WITH CAST IRON FRAME AND GRATE (SEE DETAILS) RIM = 160.9 4" ADS INV IN = 158.70 12" ADS INV OUT = 158.60  
SAWCUT EXISTING ASPHALT DRIVEWAY FOR CULVERT INSTALLATION. CONTRACTOR TO MAINTAIN ACCESS TO DWELLINGS WITH STEEL PLATES. DISTURBED PAVED DRIVEWAY AREAS TO BE REPLACED IN-KIND (EXISTING SPOT GRADE AT DRIVEWAY CULVERT CROSSING = 160.9  
PROPOSED 12" DIA. ADS CULVERT LENGTH = 260.5' SLOPE = 0.5%



PROPOSED HINTER'S WAY ROAD PROFILE

HORIZONTAL SCALE: 1" = 40'  
VERTICAL SCALE: 1" = 4'

- LEGEND
- EXISTING CONTOUR
  - STONEWALL
  - UTILITY POLE
  - EXISTING OVERHEAD WIRES
  - DELINEATED WETLAND EDGE
  - 50' PERIMETER WETLAND
  - 125' TOWN WETLAND OWTS SETBACK
  - WATERSHED PROTECTION OVERLAY DISTRICT BOUNDARY
  - ZONING BUILDING ENVELOPE
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  - APPROXIMATE EDGE OF VEGETATION
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  - PROPOSED GRAVEL DRIVEWAY
  - PROPOSED MONUMENT
  - PROPOSED PAVED PORTION OF PROPOSED ROAD
  - PROPOSED BIO-RETENTION SOIL AREA

APPROXIMATE EDGE OF OFF-SITE WETLAND AS SHOWN ON PREVIOUSLY APPROVED IS LOT SUBDIVISION (DELA DRIVE) (SAME LOCUS)  
EXISTING 18" RCP CULVERT 18" INV IN = 157.30 18" INV OUT = 156.83  
INTERMITTENT STREAM  
A.S.S.F.

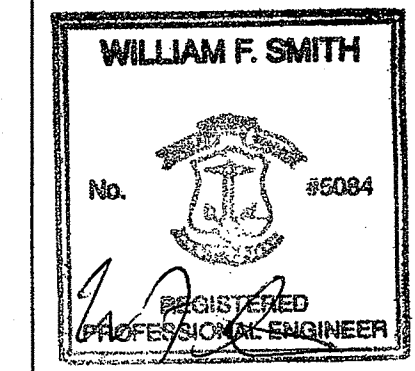
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SEE SHEET I FOR PLAN NOTES

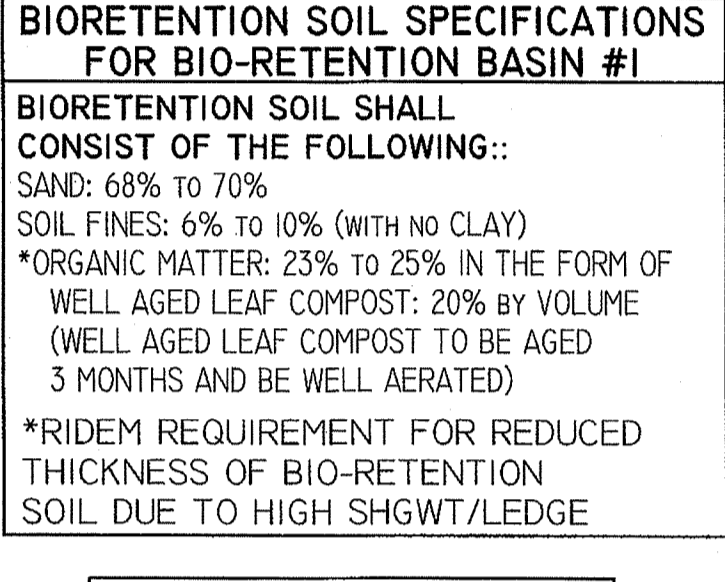
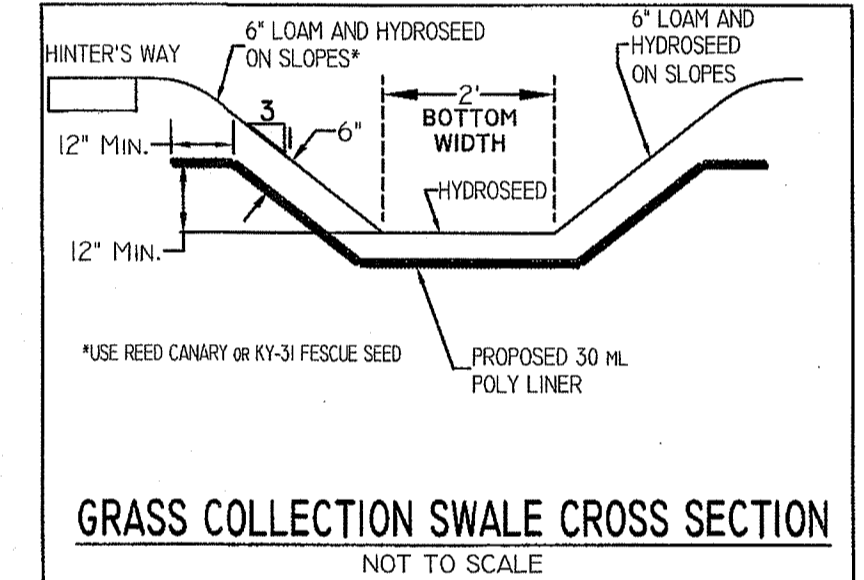
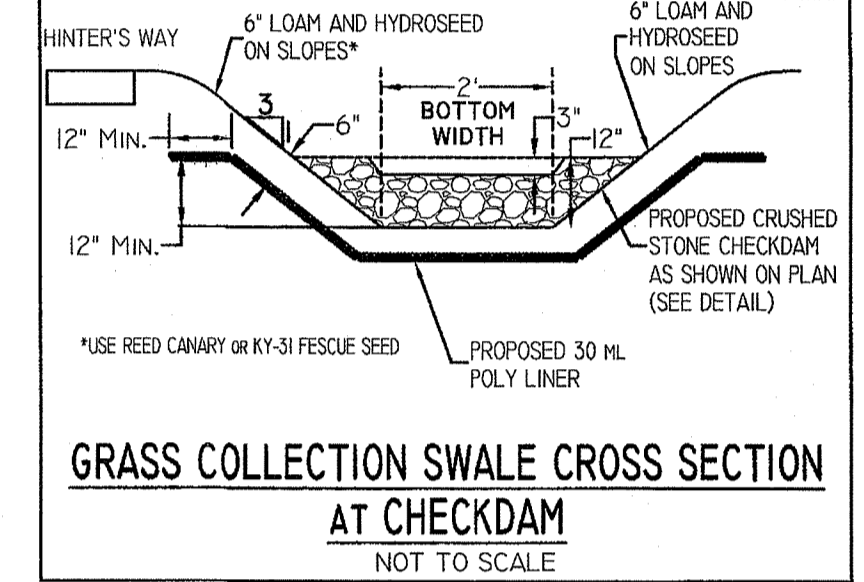
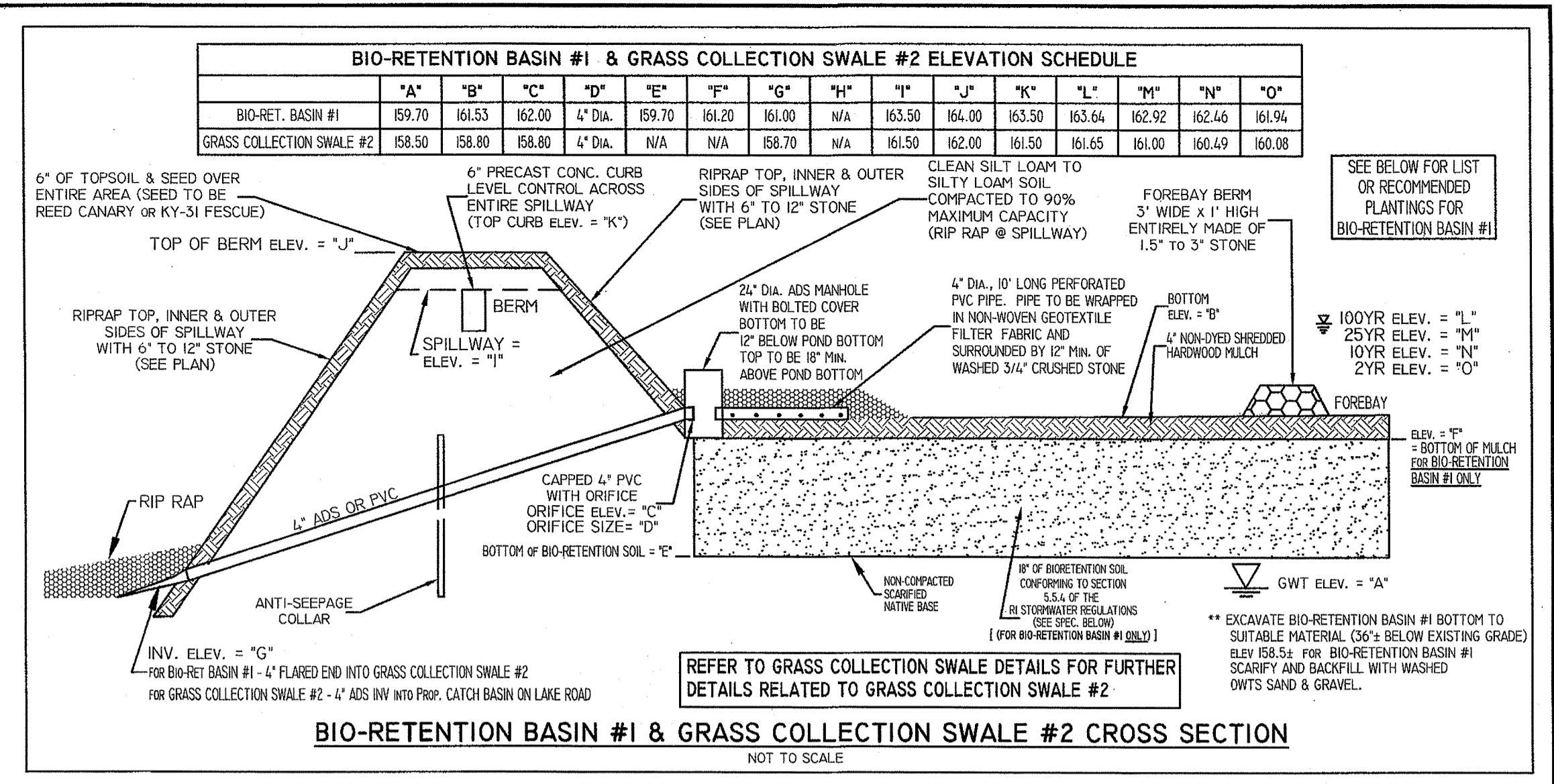
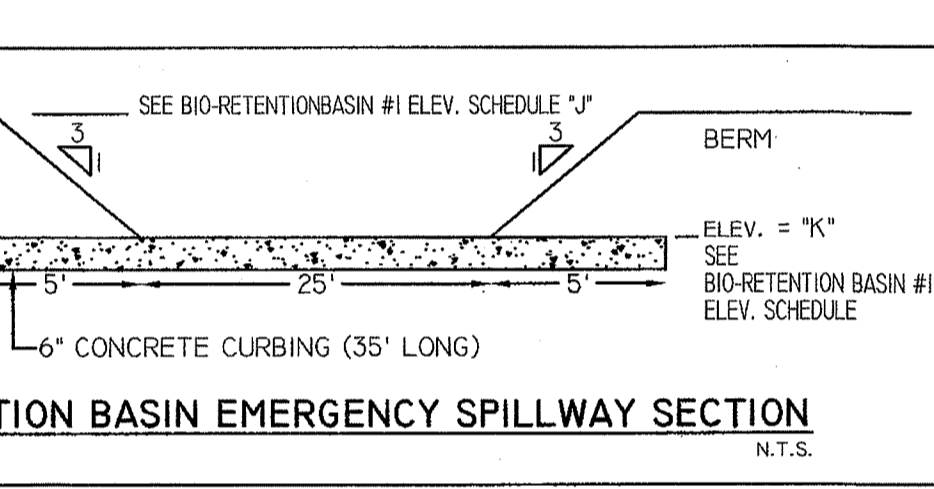
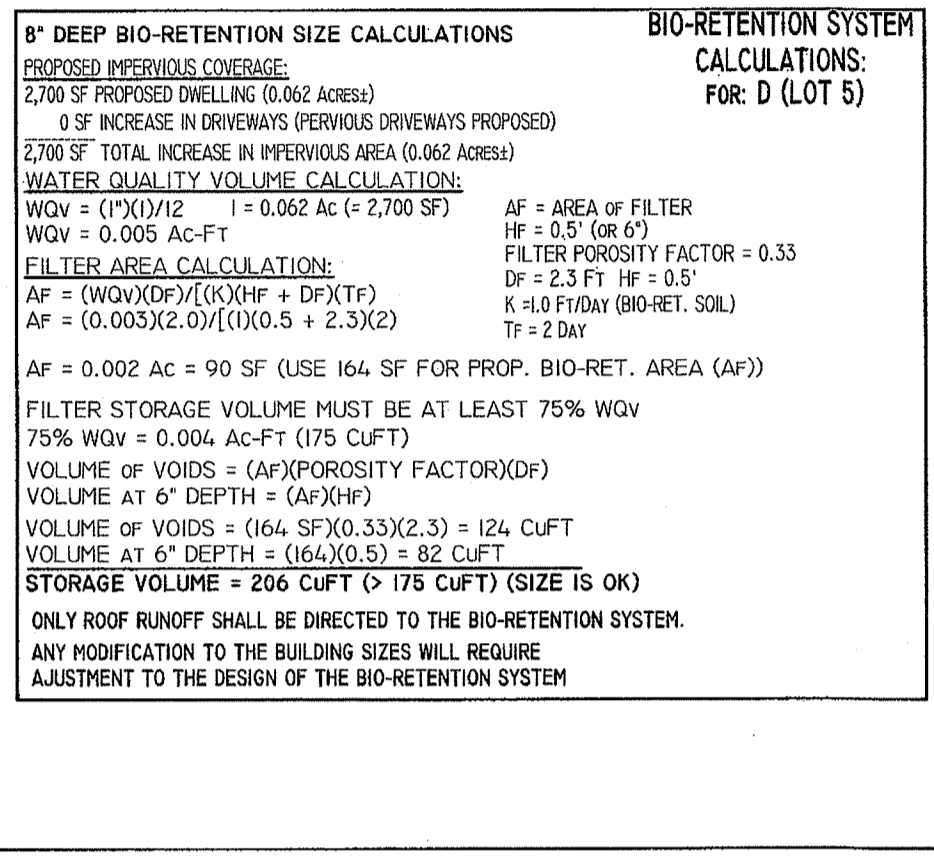
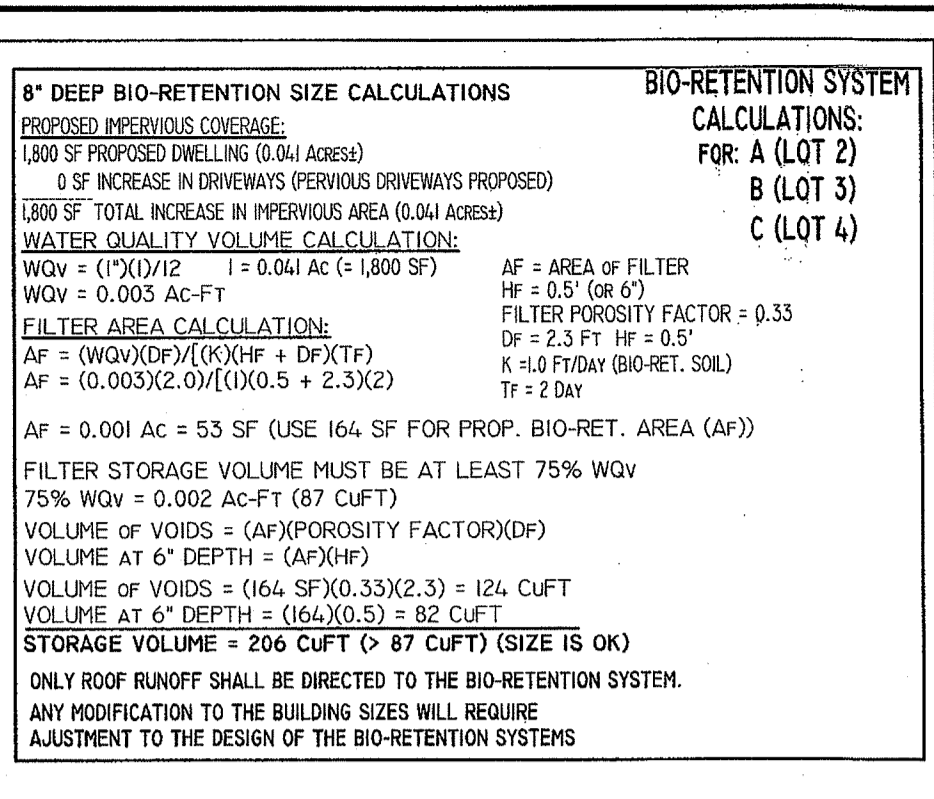
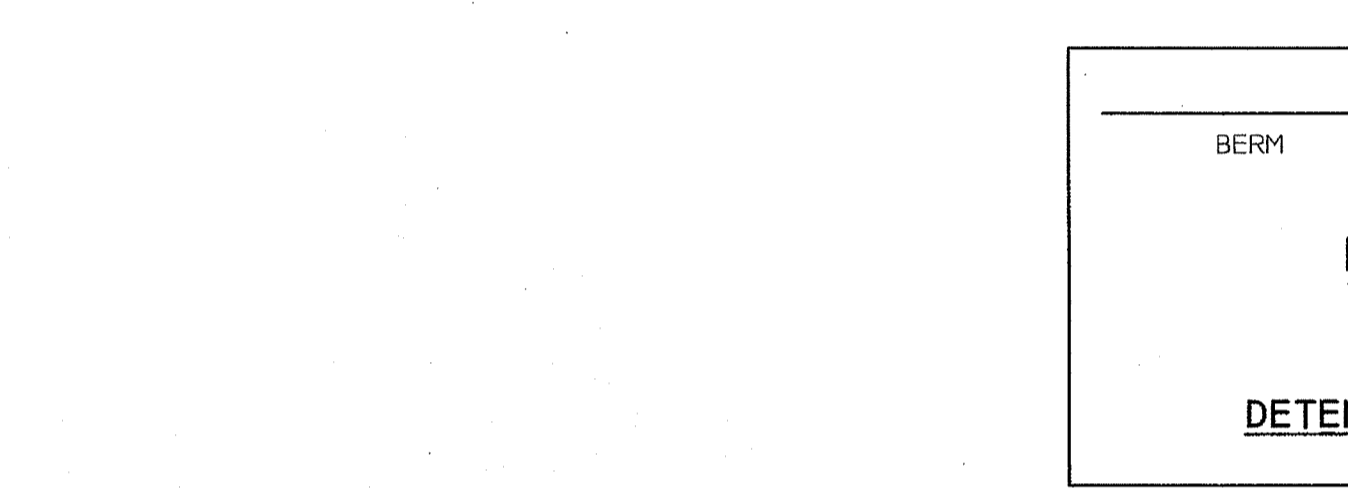
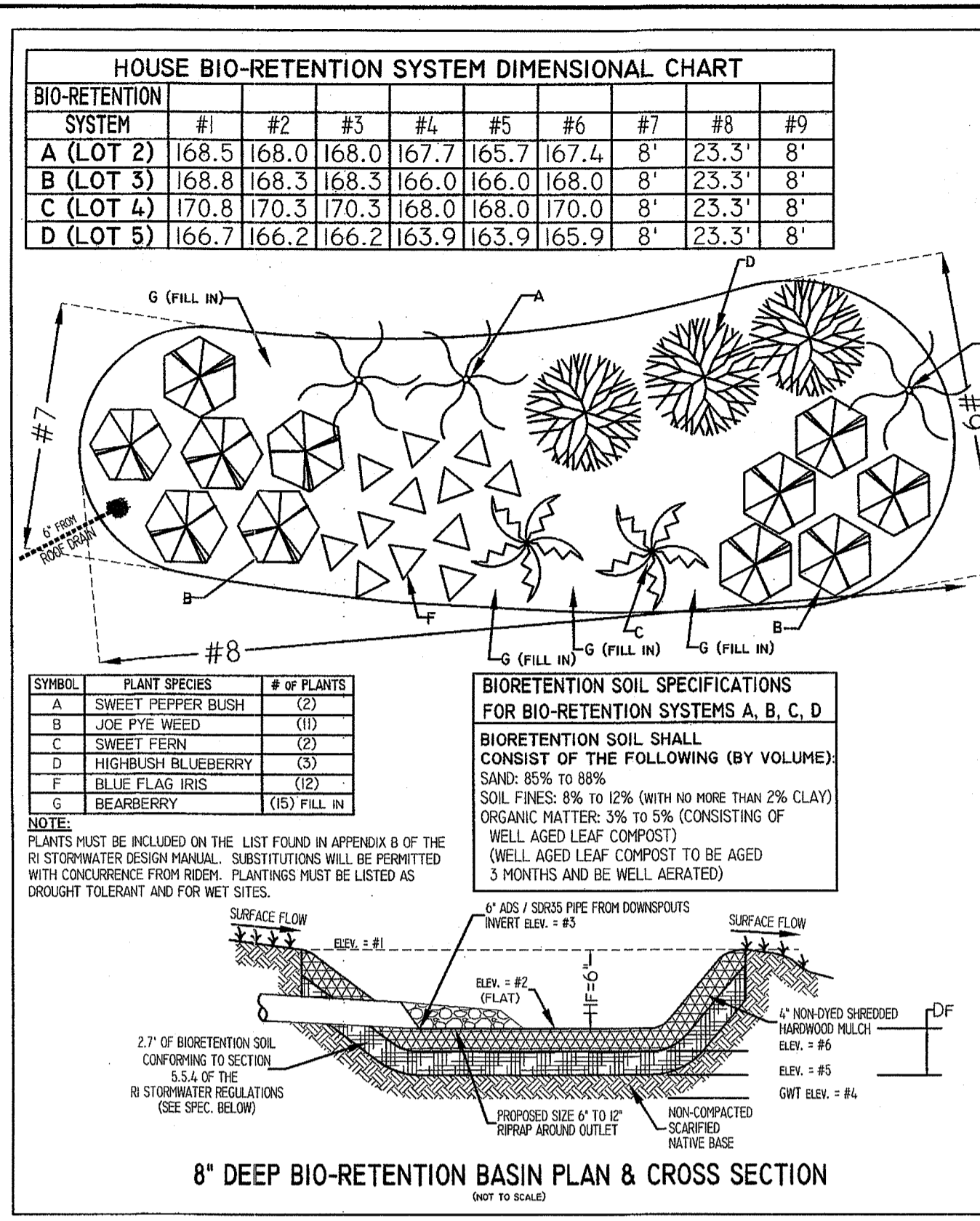
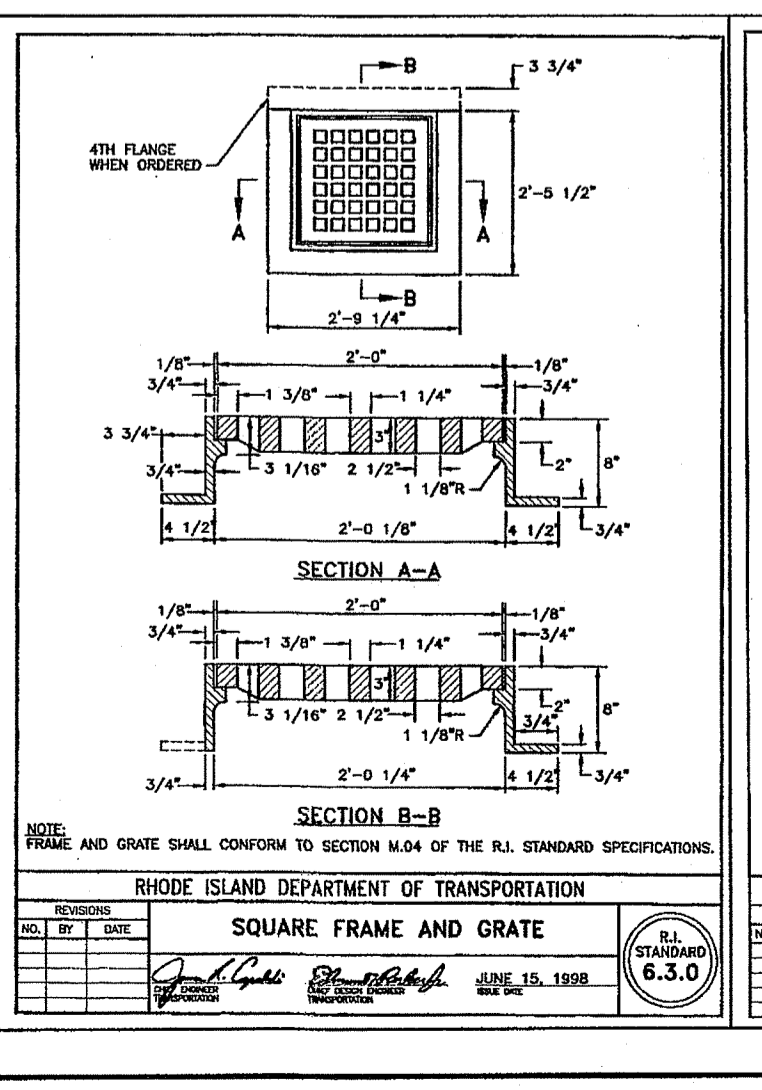
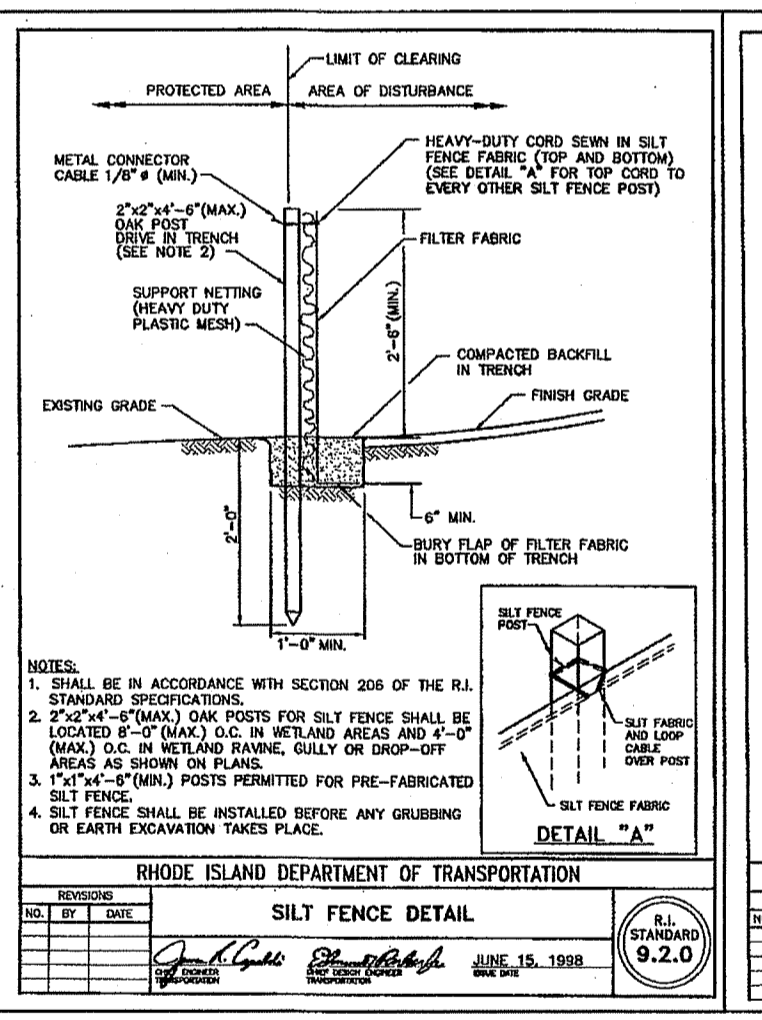
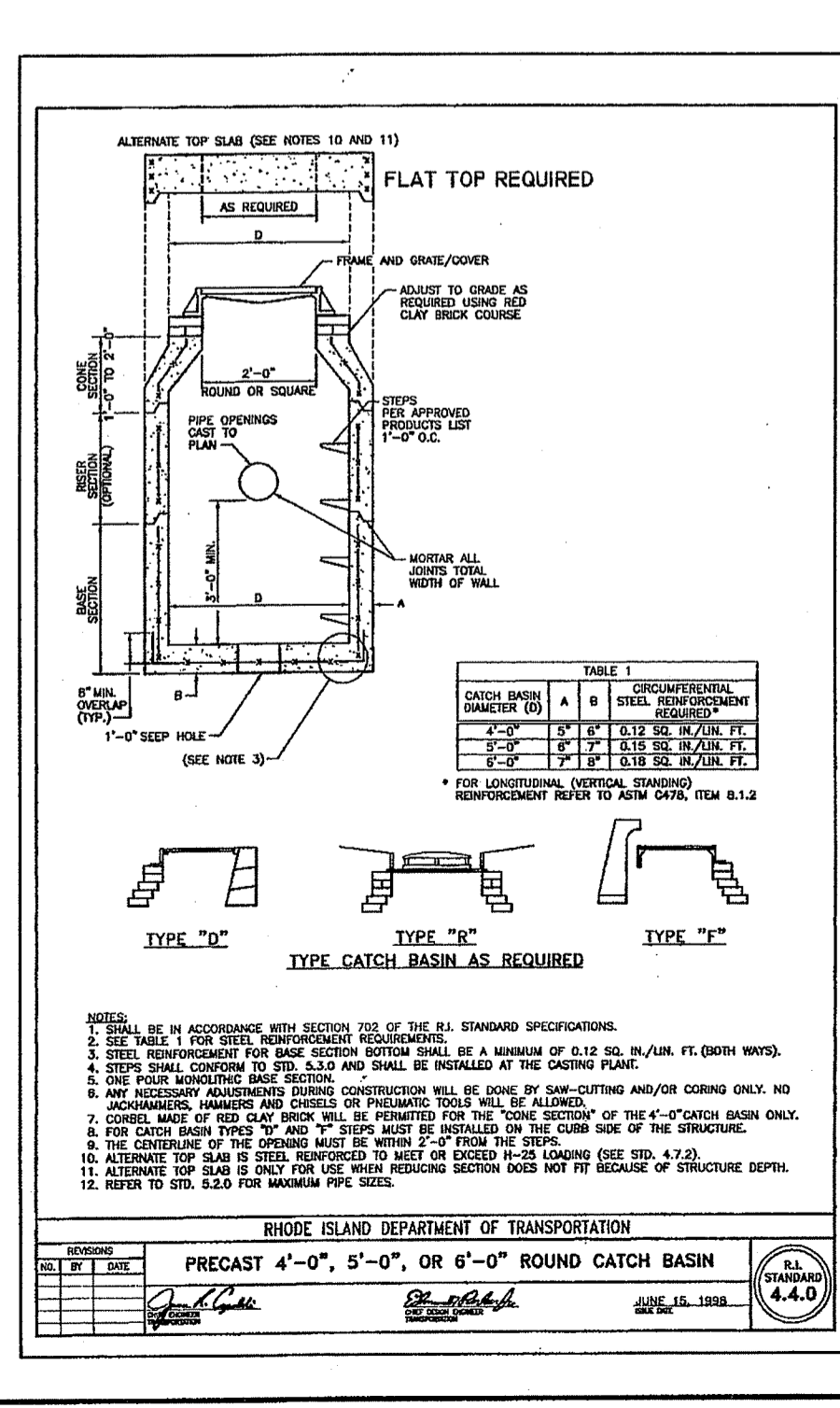
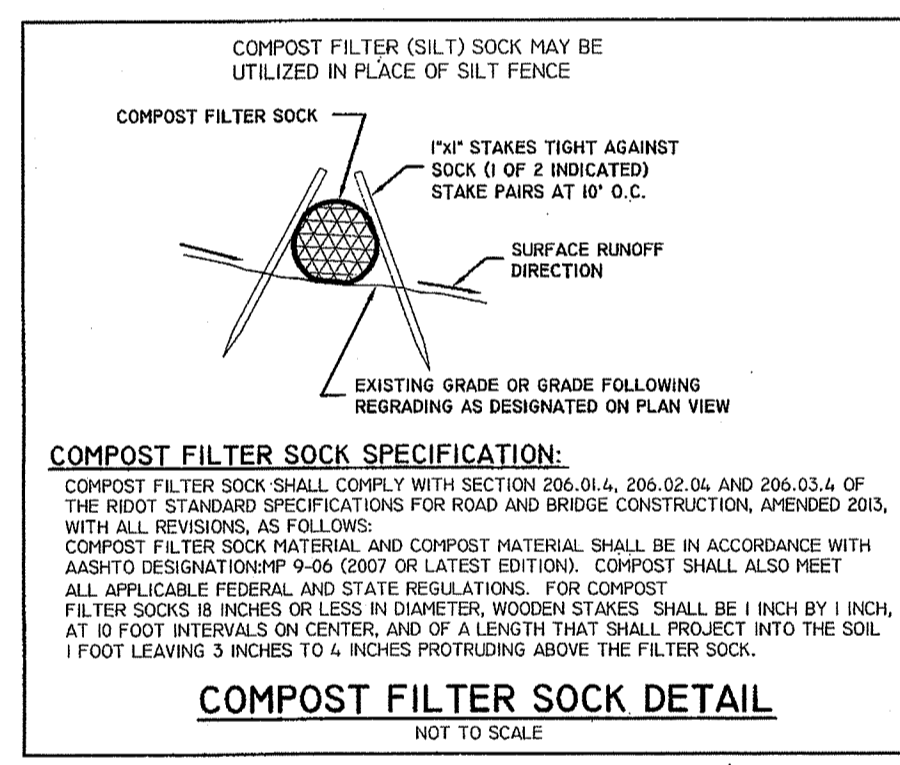
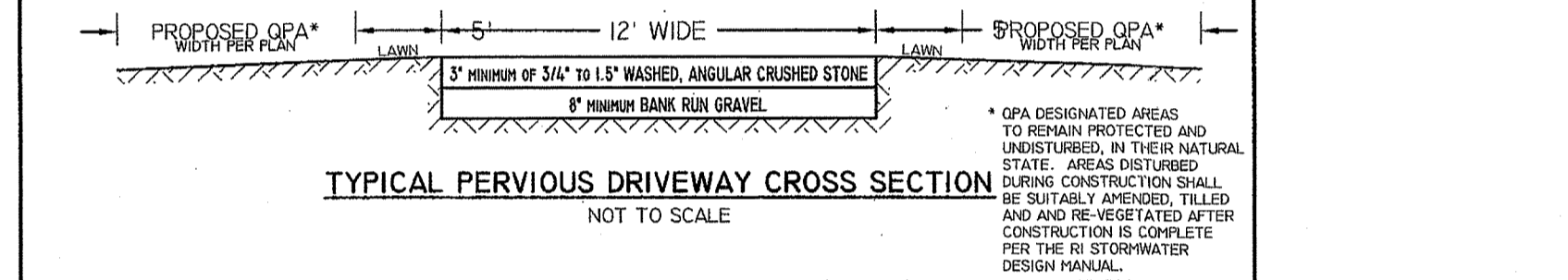
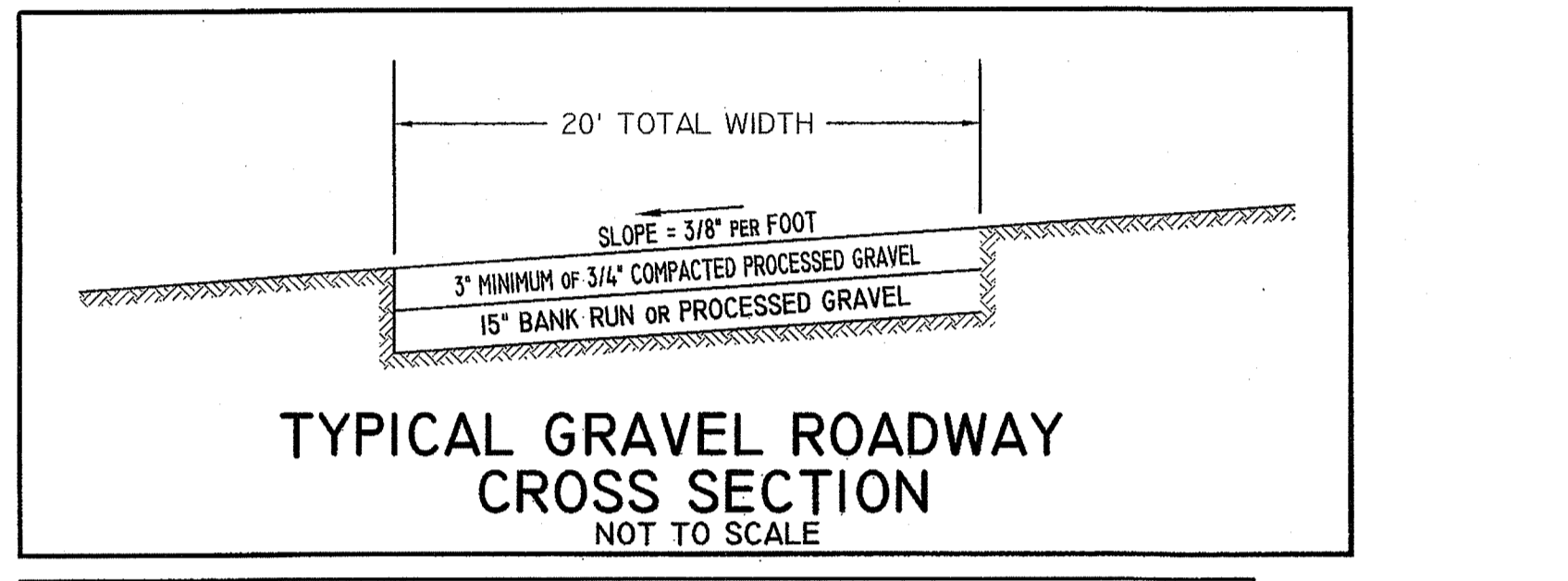
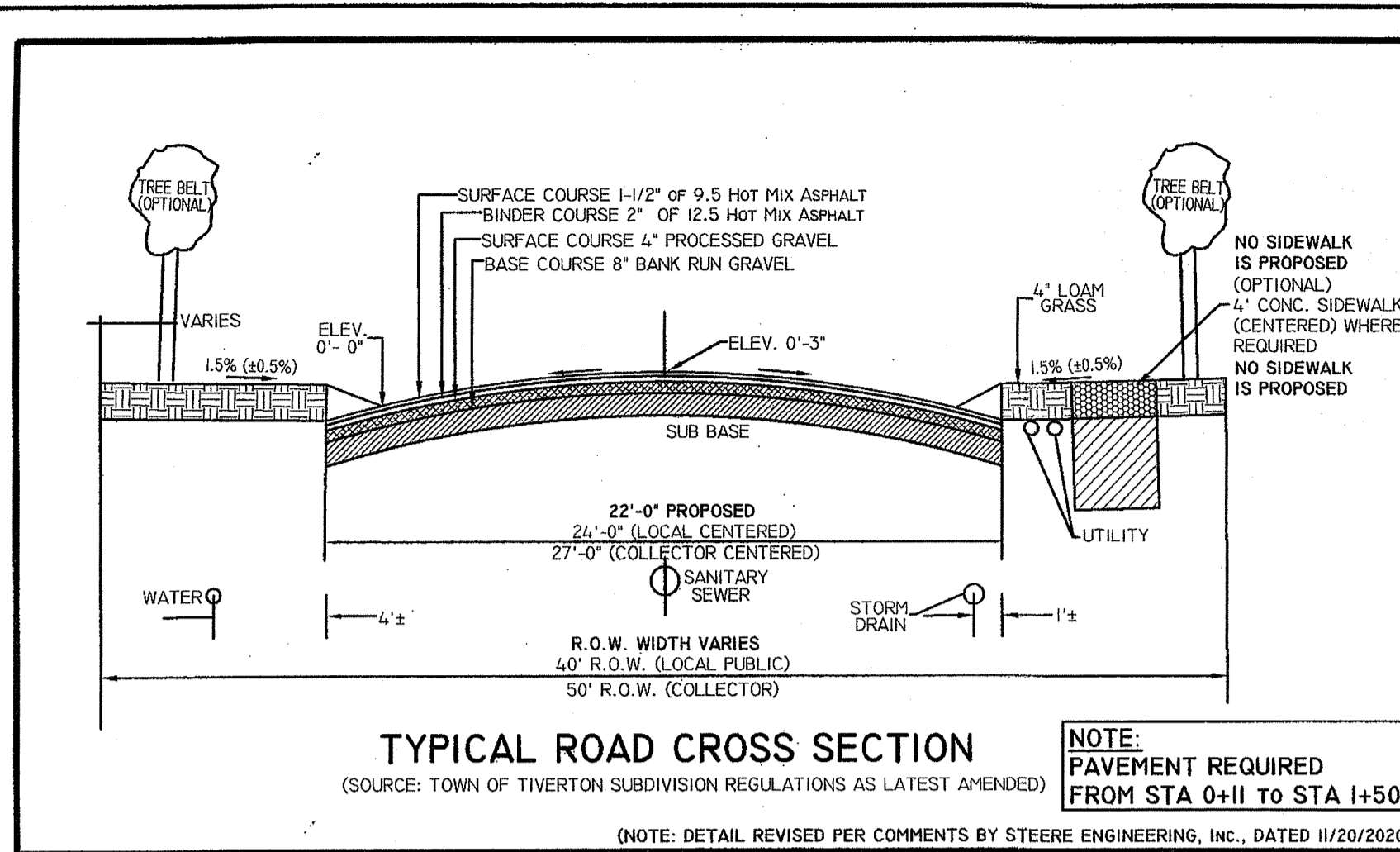
RURAL COMPOUND SUBDIVISION PRELIMINARY PLAN  
ROAD PLAN & PROFILE  
LAKE ROAD ACRES  
PORTION OF ASSESSOR'S MAP 609 LOT 109  
458 LAKE ROAD  
TIVERTON, RHODE ISLAND  
OWNER/APPLICANT:  
TIVERTON HORIZON DEVELOPMENT CORPORATION  
P.O. BOX 337  
ADAMSVILLE, RHODE ISLAND  
SCALE: AS NOTED DATE: OCTOBER 25, 2021

Civil Engineering Concepts, Inc.  
34A MAIN STREET  
LITTLE COMPTON, RI 02887  
PH: (401) 592-0177  
FAX: (401) 592-0178  
EMAIL: wsmithccc@aol.com

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
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Nancy L. Freeman



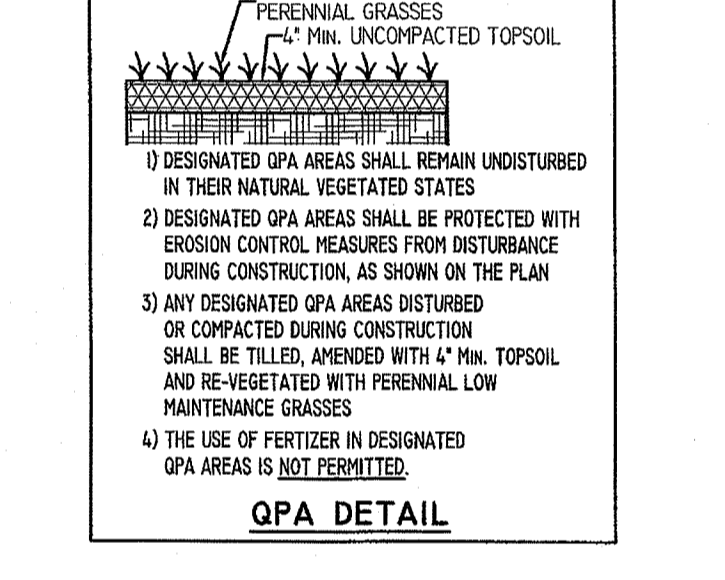
#2: 06/27/22: PER RIDEM REVIEW COMMENTS  
#5: 05/04/22: PER RIDEM REVIEW COMMENTS  
REVISIONS:



**BIO-RETENTION BASIN #1 PLANTING LIST**

PLANT SPECIES	SIZE	# OF PLANTS	SPACING
SWEET PEPPER BUSH	3\"/>		

NOTE: PLANTS MUST BE INCLUDED ON THE LIST FOUND IN APPENDIX B OF THE RI STORMWATER DESIGN MANUAL. SUBSTITUTIONS WILL BE PERMITTED WITH CONCURRENCE FROM RIDEM. PLANTINGS MUST BE LISTED AS DROUGHT TOLERANT AND FOR NET SITES. TREES ARE NOT PERMITTED WITHIN THE BIO-RETENTION BASIN.



RI Environmental Management  
JUN 29 2022  
Office of Water Resources

**EROSION AND SEDIMENT CONTROL NOTES:**

- ELEMENTS OF THE EROSION AND SEDIMENT CONTROL PLAN ARE AS FOLLOWS:**
- A COMPOST FILTER SOCK OR SILT FENCE WILL BE INSTALLED ALONG THE PERIMETER OF THE PROPERTY/AREA OF DISTURBANCE. THIS WILL PREVENT SEDIMENT TRANSPORT TO ADJACENT PROPERTIES AND ROADWAYS. (AS DEPICTED ON PLAN)
  - A STONE CONSTRUCTION ENTRANCE WILL BE INSTALLED AT THE SITE AND ONTO EXISTING STREETS, FOR BOTH PROPOSED DRIVEWAYS.
  - LAWN AND LANDSCAPE RELATED WORK WOULD COMMENCE AS SOON AS PRACTICAL AFTER CONSTRUCTION OF THE HOUSES, SEPTIC SYSTEMS AND DRIVEWAYS. NEWLY SEEDING LAWNS WILL BE MULCHED TO MINIMIZE RUNOFF. WATER TO BE APPLIED AS NECESSARY TO MINIMIZE DUST AND TO ESTABLISH STAND OF TURF. IT IS ESTIMATED THAT THE DISTURBED AREAS WILL REMAIN EXPOSED FOR NO LONGER THAN 8 MONTHS UNLESS UNFORESEEN CONDITIONS ARISE.
  - THE OWNER AGREES TO ALLOW THE BUILDING INSPECTOR TO INITIATE ANY ADDITIONAL EROSION OR SEDIMENT CONTROL MEASURES NECESSARY TO MINIMIZE EROSION OR SEDIMENTATION.
- SEQUENCE OF OPERATIONS: (FOR ALL LOTS & COMMON DRIVEWAY)**
- CONTRACTOR SHALL NOTIFY DESIGNER AND TOWN THAT WORK IS TO BE STARTED.
  - CONTRACTOR SHALL INSTALL SILT FENCE OR COMPOST FILTER SOCK.
  - CONSTRUCTION ENTRANCE WILL BE PLACED.
  - LOAM WILL BE STRIPPED AND STOCKPILED. STOCKPILE WILL BE HYDROSEED FOR DUST CONTROL AND EROSION CONTROL PURPOSES.
  - SUBSOIL WILL BE EXCAVATED FOR FOUNDATION AND RAMPED AROUND FOUNDATION FOR ACCESS BY CONCRETE TRUCK AND FOR FOUNDATION BACKFILL WHEN FOUNDATION HAS CURED.
  - CONSTRUCTION OF THE FOUNDATION, DWELLING, SEPTIC SYSTEM, WELL LINE, DRIVEWAY, ETC. WILL TAKE PLACE.
  - THE LOAM WILL BE SPREAD, SITE WILL BE GRADED, RAKED, SEED, MULCHED AND WATERED UNTIL STAND OF TURF IS ESTABLISHED.
  - COMPOST FILTER SOCK OR SILT FENCING WILL BE REMOVED.
- DAILY OPERATIONS: (FOR ALL LOTS)**
- CONTRACTOR WILL ENSURE INTEGRITY OF COMPOST FILTER SOCK LINE OR SILT FENCE. REPAIR OR REPLACE AS NECESSARY.
  - CONTRACTOR SHALL KEEP THE SITE CLEAN AND REASONABLY FREE OF POTENTIAL AIRBORNE DEBRIS.
  - CONTRACTOR SHALL ENSURE THAT CONSTRUCTION ENTRANCE IS EFFECTIVE AND NOT CLOGGED WITH SOIL ACCUMULATIONS. REPLACE STONE AS NEEDED.
  - CONTRACTOR SHALL INSURE THAT STREETS ARE KEPT REASONABLY FREE OF SOIL ACCUMULATION.
  - CONTRACTOR SHALL INSURE THAT SILTATION CONTROL IS PROVIDED DOWNSTREAM OF ANY AREAS OF DISTURBANCE. AREAS SUBJECT TO HIGH POTENTIAL FOR EROSION WILL BE MULCHED WITH HAY OR GRASS DURING NON-GROWING SEASON.
  - CONTRACTOR SHALL ESTABLISH LAWN AS SOON AS POSSIBLE AFTER COMPLETION OF THE STRUCTURE TO MINIMIZE POTENTIAL EROSION IMPACTS.
  - UNDER NO CIRCUMSTANCES SHALL FUELING OR GREASING OF VEHICLES OR MACHINES TAKE PLACE WITHIN 100' OF ANY WETLANDS.

**LONG TERM OPERATIONS AND MAINTENANCE PLAN**

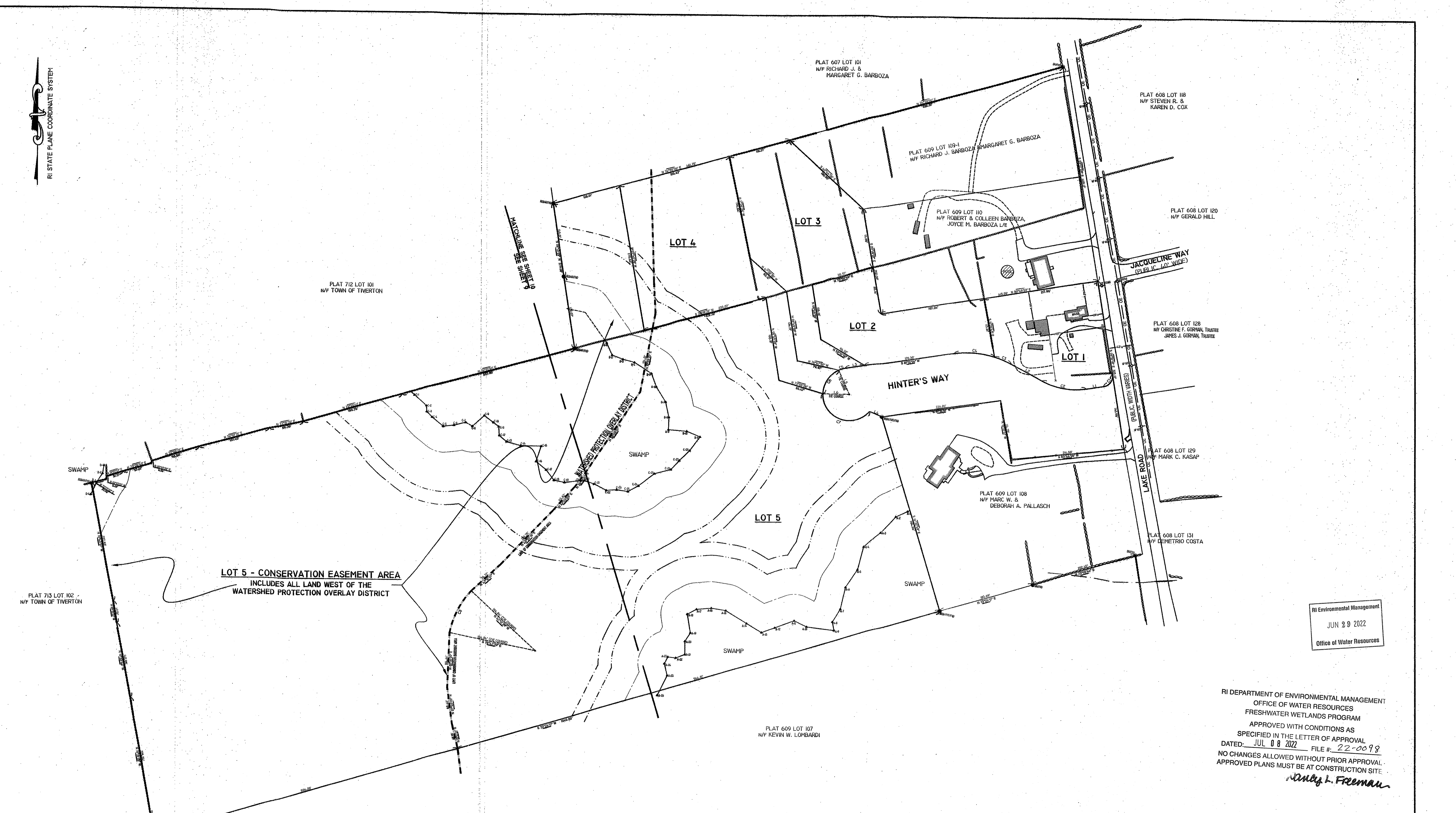
- THE STORMWATER MAINTENANCE REQUIREMENTS SHALL BE PART OF THE HOMEOWNER'S DOCUMENTS AND SHALL BE LEGALLY BINDING ON THE SUBDIVISION. SHOULD REQUIRED MAINTENANCE NOT BE PERFORMED, THE TOWN OF TIVERTON SHALL HAVE THE RIGHT TO CONDUCT THE WORK AND CHARGE THE RESIDENTS OF THE SUBDIVISION.
- SWALES, BIO-RETENTION BASINS AND PERMANENT STORMDRAINAGE BMP'S SHALL BE INSPECTED EVERY 6 MONTHS.
  - TRASH AND DEBRIS SHALL BE REMOVED FROM THE SWALES, BIO-RETENTION BASINS AND DRAINAGE STRUCTURES AND DISPOSED OF PROPERLY.
  - CATCH BASINS SHALL BE CLEANED OF ACCUMULATED SEDIMENT ON A YEARLY BASIS.
  - SEDIMENTS WITHIN THE GRASS SWALE/CHECKDAM AND FOREBAY TO THE BIO-RETENTION BASIN SHALL BE REMOVED WHEN 6\"/>
- 10) THE RESPONSIBILITY FOR THE LONG TERM OPERATION AND MAINTENANCE SHALL BE AS FOLLOWS:  
GRASS COLLECTION SWALES #1 AND #2, BIO-RETENTION BASIN #1 AND ALL OTHER STORMWATER BMP'S WITHIN THE HINTER WAY ROAD LAYOUT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER UNTIL AT LEAST 50% OF THE LOTS ARE SOLD AND THEN IT WILL BE THE RESPONSIBILITY OF THE HOMEOWNER'S ASSOCIATION. THE RESPONSIBILITY FOR THE LONG TERM MAINTENANCE AND OPERATION FOR THE BIO-RETENTION BASINS SERVING THE INDIVIDUAL HOUSE LOTS SHALL BE THE RESPONSIBILITY OF THE INDIVIDUAL OWNERS. THE RESPONSIBILITY FOR THE CATCH BASIN AND DRAINAGE SYSTEM WITHIN THE LAKE ROAD LAYOUT WILL BE WITH THE TOWN OF TIVERTON DEPARTMENT OF PUBLIC WORKS.

WILLIAM F. SMITH  
No. #9064  
REGISTERED PROFESSIONAL ENGINEER

RURAL COMPOUND SUBDIVISION PRELIMINARY PLAN  
DETAIL SHEET  
**LAKE ROAD ACRES**  
PORTION OF ASSESSOR'S MAP 609 LOT 109  
458 LAKE ROAD  
TIVERTON, RHODE ISLAND  
OWNER/APPLICANT:  
TIVERTON HORIZON DEVELOPMENT CORPORATION  
P.O. BOX 337  
ADAMSVILLE, RHODE ISLAND  
SCALE: AS NOTED DATE: OCTOBER 25, 2021  
*Nancy L. Freeman*  
Civil Engineering Concepts, Inc.  
36A MAIN STREET  
LITTLE COMPTON, RI 02837  
PH: (401) 592-0177  
FAX: (401) 592-0178  
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#2: 06/27/22: PER RIDEM REVIEW COMMENTS  
#1: 05/04/22: PER RIDEM REVIEW COMMENTS  
REVISIONS:  
SHEET 7 of 10

RI STATE PLANE COORDINATE SYSTEM



LOT 5 - CONSERVATION EASEMENT AREA  
INCLUDES ALL LAND WEST OF THE  
WATERSHED PROTECTION OVERLAY DISTRICT

PLAT 715 LOT 102 -  
N/F TOWN OF TIVERTON

PLAT 712 LOT 101  
N/F TOWN OF TIVERTON

PLAT 607 LOT 101  
N/F RICHARD J. &  
MARGARET G. BARBOZA

PLAT 608 LOT 118  
N/F STEVEN R. &  
KAREN D. COX

PLAT 609 LOT 109-1  
N/F RICHARD J. BARBOZA & MARGARET G. BARBOZA

PLAT 609 LOT 110  
N/F ROBERT & COLLEEN BARBOZA,  
JOYCE M. BARBOZA L/E

PLAT 608 LOT 120  
N/F GERALD HILL

PLAT 608 LOT 128  
N/F CHRISTINE F. GORVAN, TRUSTEE  
JAMES J. GORVAN, TRUSTEE

PLAT 608 LOT 129  
N/F MARK C. KASAP

PLAT 609 LOT 108  
N/F MARC W. &  
DEBORAH A. PALLASCH

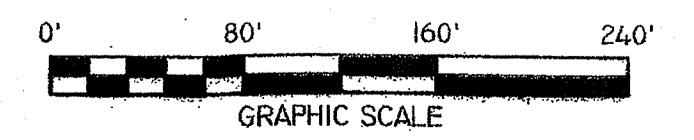
PLAT 608 LOT 131  
N/F DEMETRIO COSTA

PLAT 609 LOT 107  
N/F KEVIN W. LOMBARDI

RI Environmental Management  
JUN 29 2022  
Office of Water Resources

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
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*Douglas L. Freeman*

**CERTIFICATION**  
THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN PREPARED  
PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS  
ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION  
FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015,  
AS FOLLOWS:  
TYPE: COMPREHENSIVE BOUNDARY SURVEY  
CLASS: CLASS 1 (UNLESS NOTED OTHERWISE)  
VERTICAL CONTROL STANDARD: V-4  
TOPOGRAPHIC SURVEY ACCURACY: T-3  
PURPOSE: THIS PLAN AND SURVEY WERE PREPARED TO ACCOMPANY AN APPLICATION  
FOR A MINOR SUBDIVISION.  
*Ralph Urban*  
RALPH URBAN, PLS #1746 COA #A80

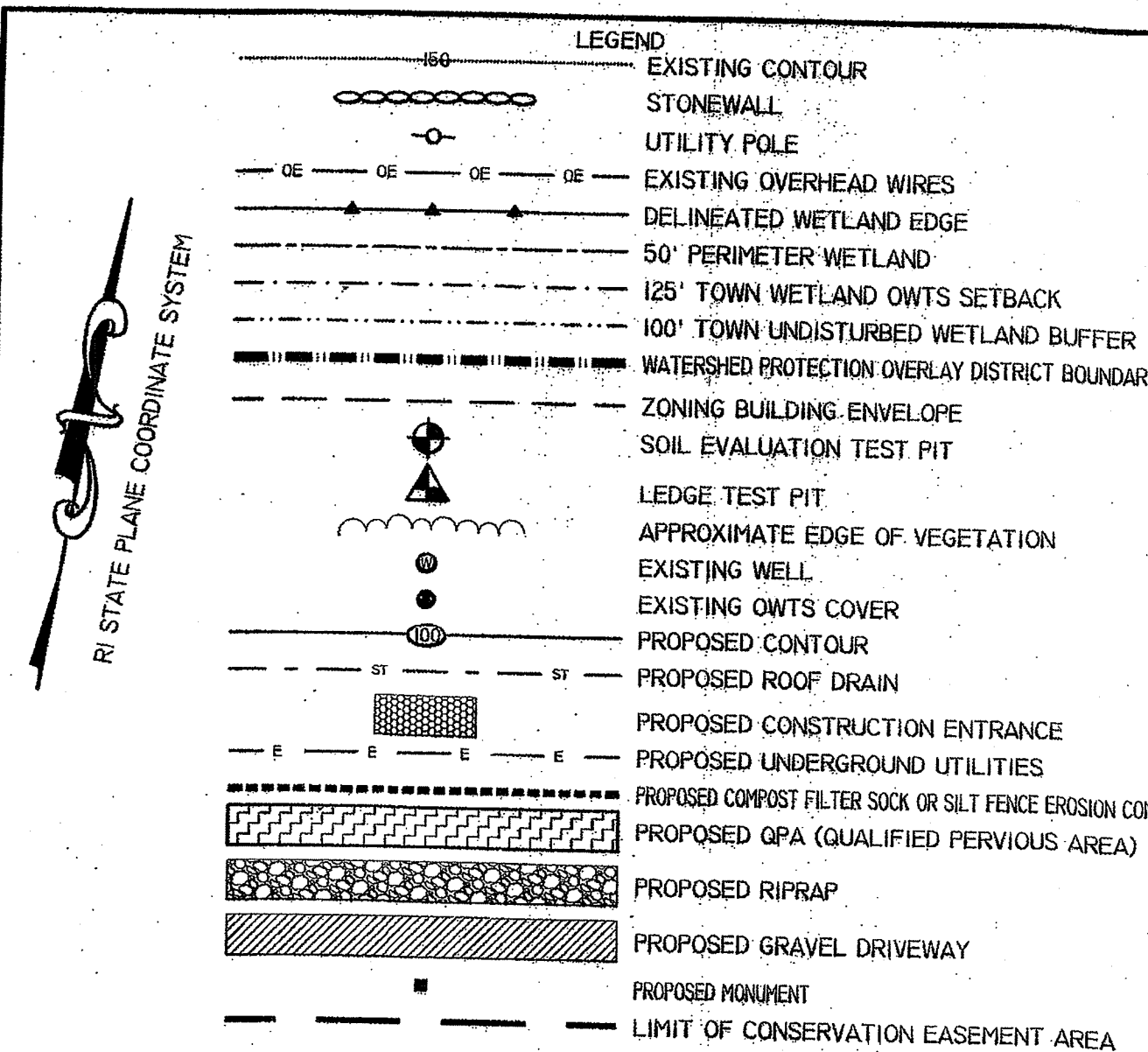


- LEGEND**
- EXISTING CONTOUR
  - STONEWALL
  - UTILITY POLE
  - EXISTING OVERHEAD WIRES
  - DELIMITED WETLAND EDGE
  - 50' PERIMETER WETLAND
  - 100' TOWN WETLAND OWS'S SETBACK
  - WATERSHED PROTECTION OVERLAY DISTRICT BOUNDARY
  - ZONING BUILDING ENVELOPE
  - SOIL EVALUATION TEST PIT
  - LEDGE TEST PIT
  - APPROXIMATE EDGE OF VEGETATION
  - EXISTING WELL
  - EXISTING OWTS COVER

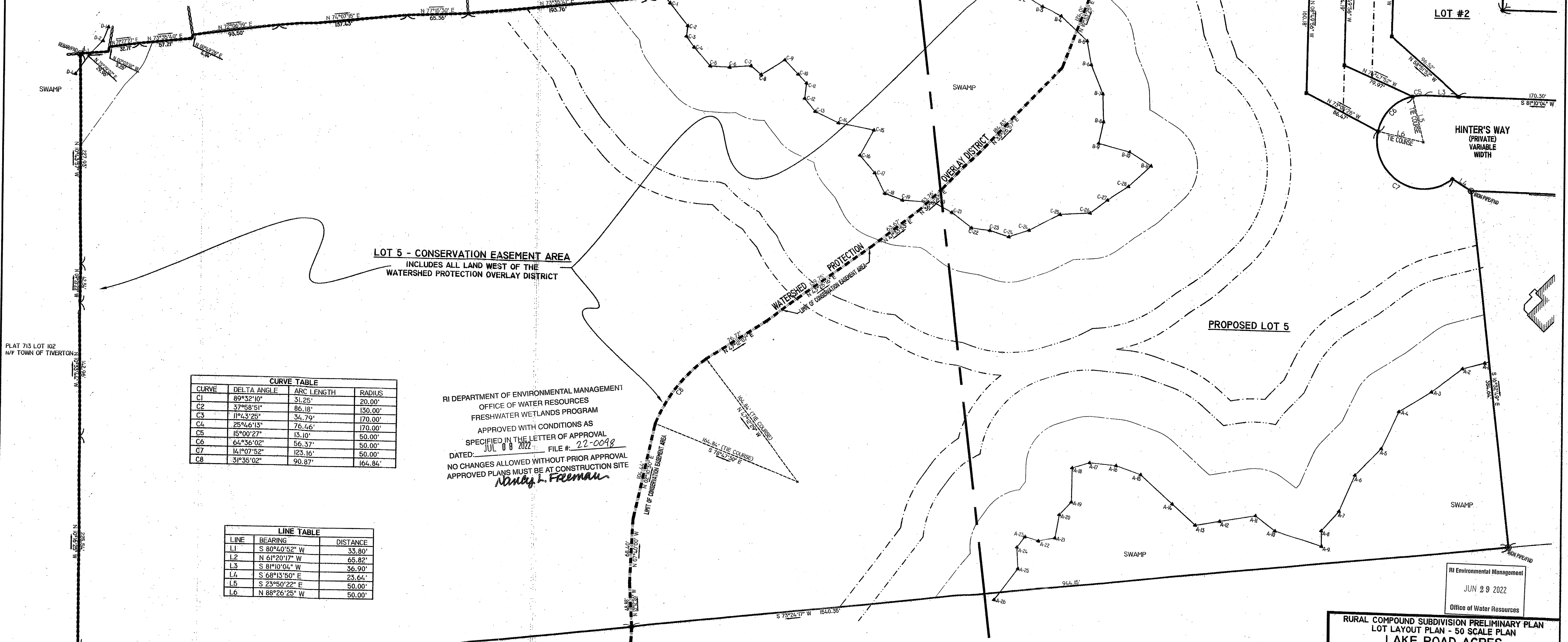
SEE SHEET 1 FOR PLAN NOTES

<b>RALPH URBAN</b> No. 1746 PROFESSIONAL LAND SURVEYOR	REVISIONS:
---	------------

**RURAL COMPOUND SUBDIVISION PRELIMINARY PLAN  
LOT LAYOUT PLAN - OVERALL PLAN  
LAKE ROAD ACRES**  
PORTION OF ASSESSOR'S MAP 609 LOT 109  
458 LAKE ROAD  
TIVERTON, RHODE ISLAND  
OWNER/APPLICANT:  
TIVERTON HORIZON DEVELOPMENT CORPORATION  
P.O. BOX 337  
ADAMSVILLE, RHODE ISLAND  
SCALE: 1" = 80' DATE: OCTOBER 25, 2021  
**RALPH URBAN, PLS**  
P.O. BOX 1494  
WESTPORT, MA 02790  
(508) 636-8397



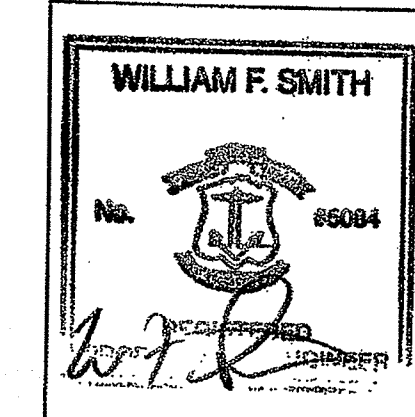
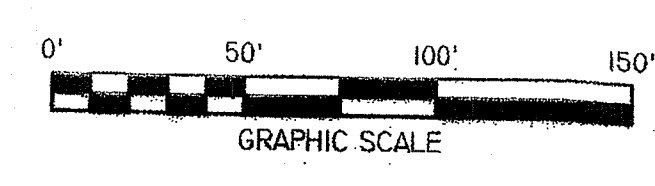
LOT AREA CHART				
LOT	TOTAL LOT AREA	SUITABLE AREA	UNSUITABLE AREA	NOTES
LOT 1	37,692 SF±	37,692 SF±	0 SF	
LOT 2	37,903 SF±	37,903 SF±	0 SF	
LOT 3	61,033 SF±	56,825 SF±	4,208 SF±	UNSUITABLE AREA = COMMON DRIVEWAY EASEMENT
LOT 4	72,709 SF±	70,023 SF±	2,686 SF±	UNSUITABLE AREA = COMMON DRIVEWAY/FIRE CISTERN EASEMENT
LOT 5	430,080 SF±	356,095 SF±	73,985 SF±	UNSUITABLE AREA = WETLAND, EXCLUDES CONSERVATION EASEMENT AREA
CONSERVATION EASEMENT AREA	581,442 SF±	518,168 SF±	62,274 SF±	UNSUITABLE AREA = WETLAND
HINTER'S WAY (ROAD)	62,297 SF±	62,297 SF±	0 SF±	VARIABLE WIDTH ROAD



CURVE TABLE			
CURVE	DELTA ANGLE	ARC LENGTH	RADIUS
C1	89°32'10"	31.25'	20.00'
C2	37°58'51"	86.18'	130.00'
C3	114°3'25"	34.79'	170.00'
C4	25°46'13"	76.46'	170.00'
C5	15°00'27"	13.10'	50.00'
C6	64°36'02"	56.37'	50.00'
C7	141°07'52"	123.16'	50.00'
C8	31°35'02"	90.87'	164.84'

LINE TABLE		
LINE	BEARING	DISTANCE
L1	S 80°40'52" W	33.80'
L2	N 61°20'17" W	65.82'
L3	S 81°10'04" W	36.90'
L4	S 68°13'50" E	23.64'
L5	S 23°50'22" E	50.00'
L6	N 88°26'25" W	50.00'

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*Nancy L. Freeman*



SEE SHEET 1 FOR PLAN NOTES

REVISIONS:

#2: 1/12/22: NO CHANGE THIS SHEET  
 #1: 5/14/22: NO CHANGE THIS SHEET

RI Environmental Management  
 JUN 29 2022  
 Office of Water Resources

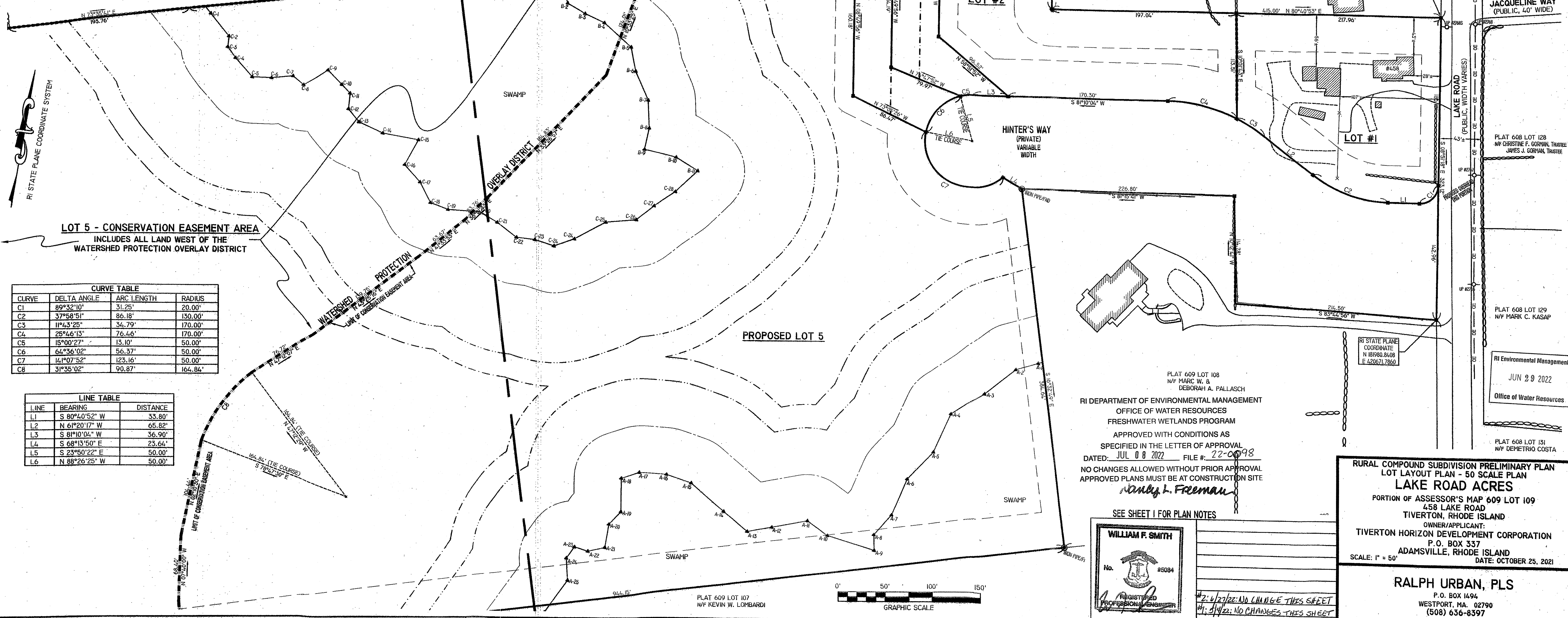
**RURAL COMPOUND SUBDIVISION PRELIMINARY PLAN**  
**LOT LAYOUT PLAN - 50 SCALE PLAN**  
**LAKE ROAD ACRES**  
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**RALPH URBAN, PLS**  
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SHEET 9 OF 10  
 JOB#: 19-062

LOT AREA CHART				
LOT	TOTAL LOT AREA	SUITABLE AREA	UNSUITABLE AREA	NOTES
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  - 100' TOWN UNDISTURBED WETLAND BUFFER
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  - SOIL EVALUATION TEST PIT
  - LEDGE TEST PIT
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  - EXISTING WELL
  - EXISTING OWS COVER
  - PROPOSED CONTOUR
  - PROPOSED ROOF DRAIN
  - PROPOSED CONSTRUCTION ENTRANCE
  - PROPOSED UNDERGROUND UTILITIES
  - PROPOSED COMPOST FILTER SOCK OR SILT FENCE EROSION CONTROL - LIMITS OF DISTURBANCE
  - PROPOSED QPA (QUALIFIED PERVIOUS AREA)
  - PROPOSED RIPRAP
  - PROPOSED GRAVEL DRIVEWAY
  - PROPOSED MONUMENT
  - LIMIT OF CONSERVATION EASEMENT AREA
  - PROPOSED PAVED PORTION OF HINTER'S WAY



**LOT 5 - CONSERVATION EASEMENT AREA**  
INCLUDES ALL LAND WEST OF THE WATERSHED PROTECTION OVERLAY DISTRICT

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PLAT 609 LOT 108  
N/F MARC W. & DEBORAH A. PALLASCH

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM

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*William F. Freeman*

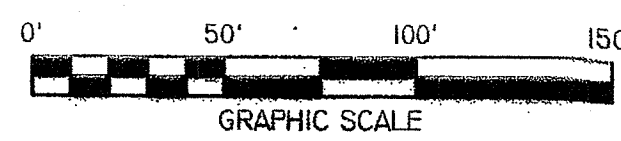
SEE SHEET 1 FOR PLAN NOTES

**WILLIAM F. SMITH**  
No. 86084  
REGISTERED PROFESSIONAL ENGINEER

**RURAL COMPOUND SUBDIVISION PRELIMINARY PLAN**  
LOT LAYOUT PLAN - 50 SCALE PLAN  
**LAKE ROAD ACRES**  
PORTION OF ASSESSOR'S MAP 609 LOT 109  
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RI Environmental Management  
JUN 29 2022  
Office of Water Resources

PLAT 608 LOT 151  
N/F DEMETRIO COSTA