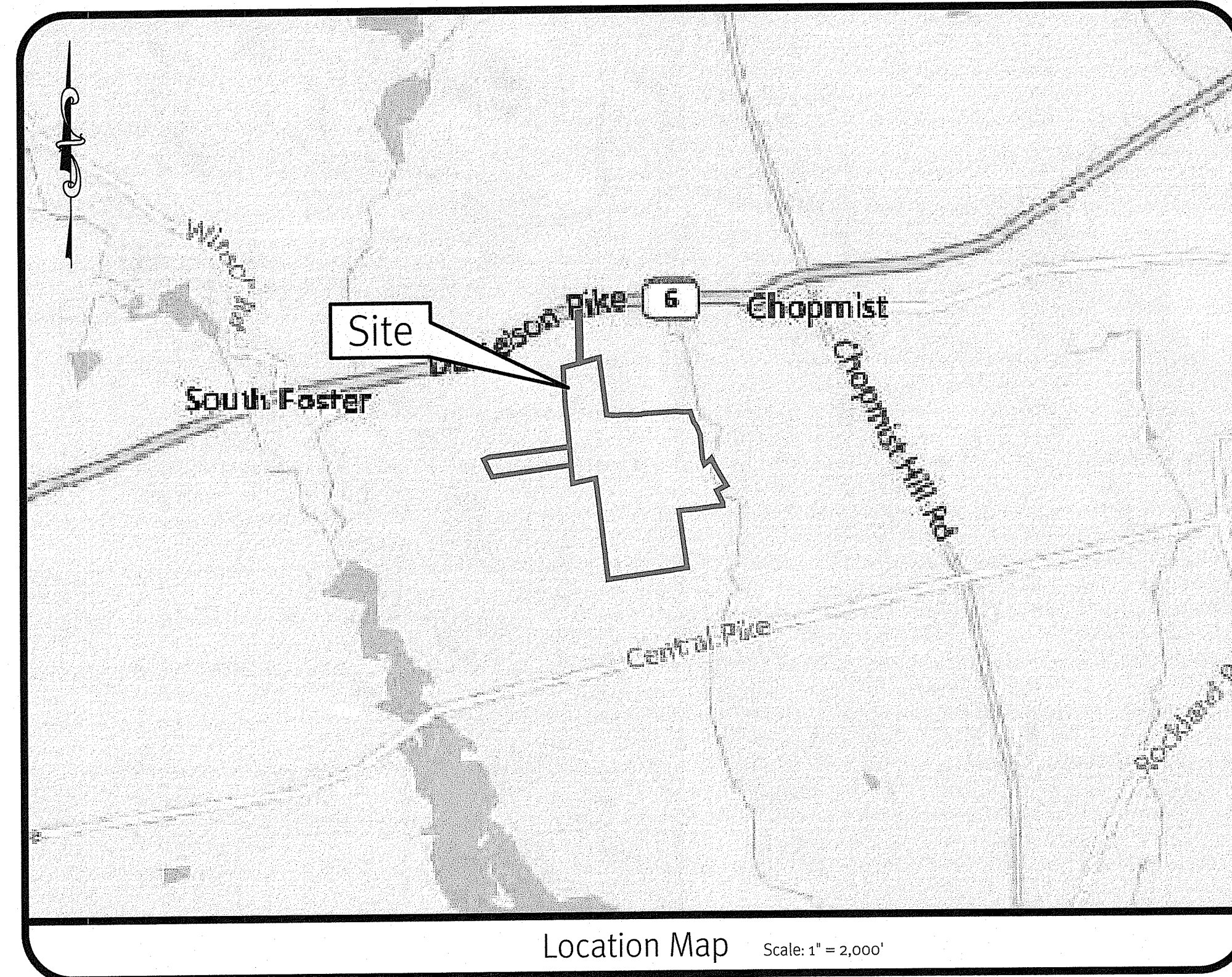


RIDEM Submission

Round Hill Road

Round Hill Road - Foster, Rhode Island
 Danielson Pike - Scituate, Rhode Island

Assessor's Plat 15 Lot 33 and Assessor's Plat 22 Lot 34 - Foster, RI
 Assessor's Plat 36 Lots 11 and 28 - Scituate, RI



Sheet Index

1. Cover Sheet
2. Overall Site Plan
3. Site Plan - 1
4. Site Plan- 2
5. Detail Sheet - 1

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS AS
 SPECIFIED IN THE LETTER OF APPROVAL
 DATED: MAR 26 2025 FILE #: 22-0118
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Signature

RI Environmental Management
 FEB 7 2024
 Office of Water Resources

Cover Sheet
 Round Hill Road

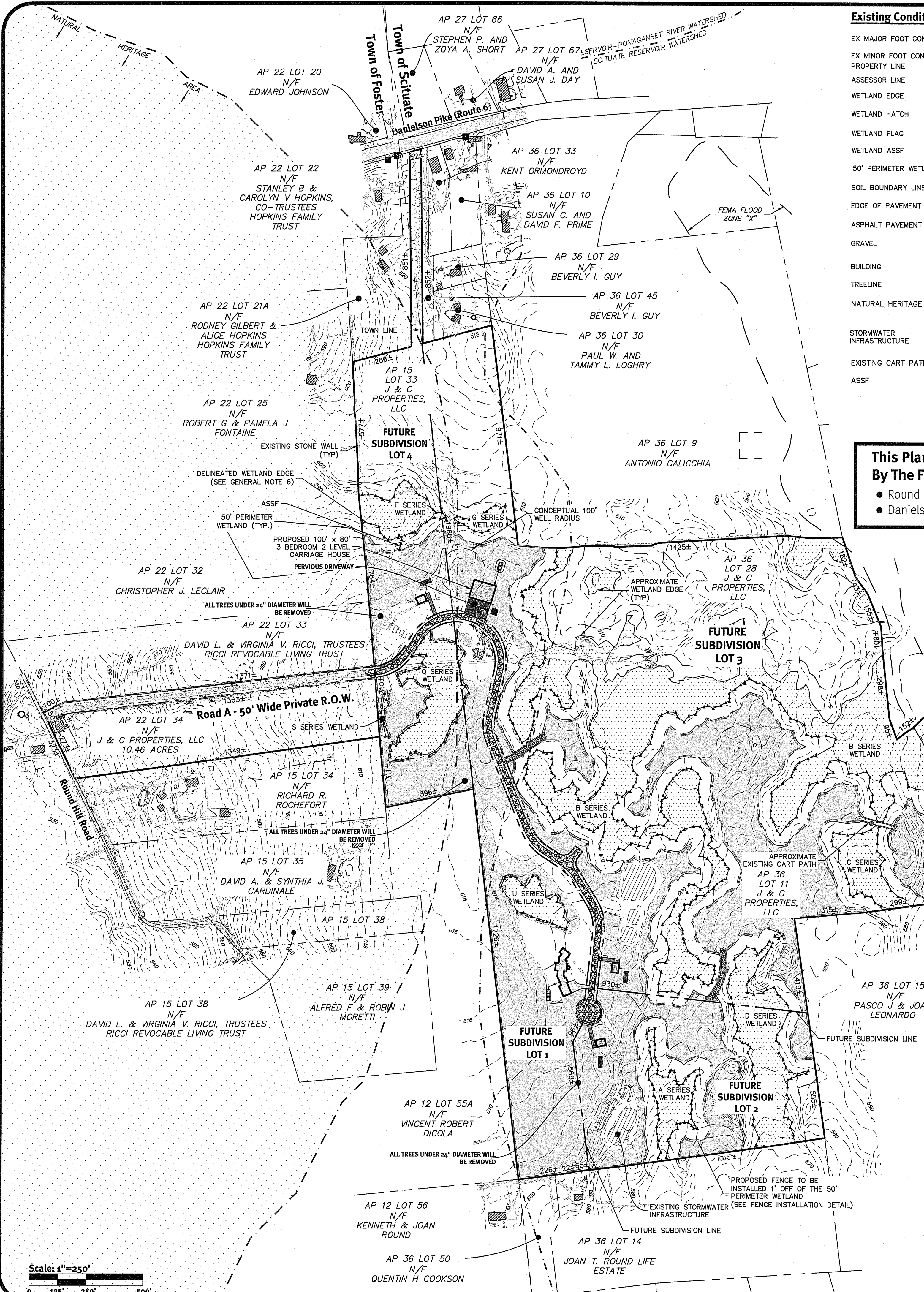
AP 15, Lot 33 & AP 22 Lot 34 (Foster) & AP 36 Lots 11 & 28 (Scituate)
 Scituate, Rhode Island
 Owner
J&C Properties, LLC
 2208 Plainfield Pike, Johnston, Rhode Island 02919
 Tel: 401-943-7100 Fax: (603) 946-7656

| No. | Date | Description | By: |
|-----|------------|-----------------------------|-----|
| 1 | 2-28-2024 | RIDEM Response to Comments | |
| 2 | 03-10-2024 | RIDEM Response to Comments | |
| 3 | 04-09-2024 | RIDEM Response to Comments | |
| 4 | 05-17-2024 | RIDEM Response to Comments | |
| 5 | 05-17-2024 | RIDEM Wetland Determination | |

JASON P. CLOUGH
 No. [Signature]
 REGISTERED
 PROFESSIONAL ENGINEER
 CIVIL

DiPrete Engineering
 Two Stafford Court Cranston, RI 02920
 tel: 401-943-1000 fax: 401-464-6006 www.DiPrete-Eng.com
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PLAN FOR NOISE



Existing Conditions Legend:

- EX MAJOR FOOT CONTOUR: ---160---
- EX MINOR FOOT CONTOUR: ---158---
- PROPERTY LINE: ————
- ASSESSOR LINE: ————
- WETLAND EDGE: [Symbol]
- WETLAND HATCH: [Symbol]
- WETLAND FLAG: A5
- WETLAND ASSF: [Symbol]
- 50' PERIMETER WETLAND: [Symbol]
- SOIL BOUNDARY LINE: [Symbol]
- EDGE OF PAVEMENT: [Symbol]
- ASPHALT PAVEMENT: [Symbol]
- GRAVEL: [Symbol]
- BUILDING: [Symbol]
- TREELINE: [Symbol]
- NATURAL HERITAGE AREA: [Symbol]
- STORMWATER INFRASTRUCTURE: [Symbol]
- EXISTING CART PATH: [Symbol]
- ASSF: [Symbol]

Proposed Conditions Legend:

- PROPOSED RESIDENTIAL DWELLING FOOTPRINT: [Symbol]
- PROPOSED OWTS: [Symbol]
- SHELING: [Symbol]
- FUTURE SUBDIVISION LOT LINE: [Symbol]
- PROPOSED FENCE/LOD (SEE SHEET 1): [Symbol]
- LIMIT OF DISTURBANCE: [Symbol]
- AREA OF TREE CLEARING: [Symbol]
- LIMIT OF DISTURBANCE (WITH SEDIMENT CONTROL): [Symbol]

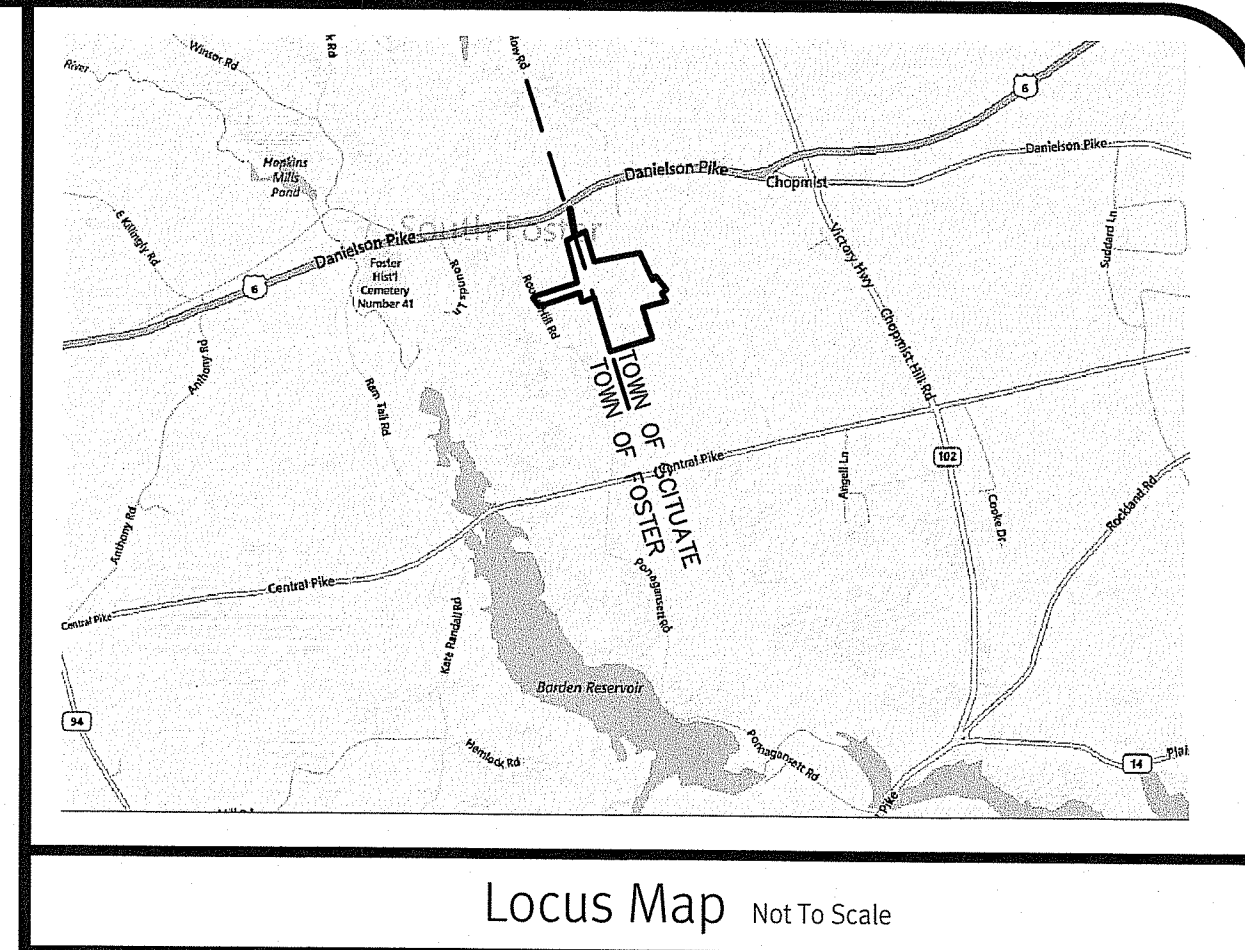
Abbreviations:

- AREA SUBJECT TO STORM FLOWAGE: ASSF
- ASSESSORS PLAT: AP
- NOW OR FORMERLY: N/F
- EXISTING: EX
- PROPOSED: PR

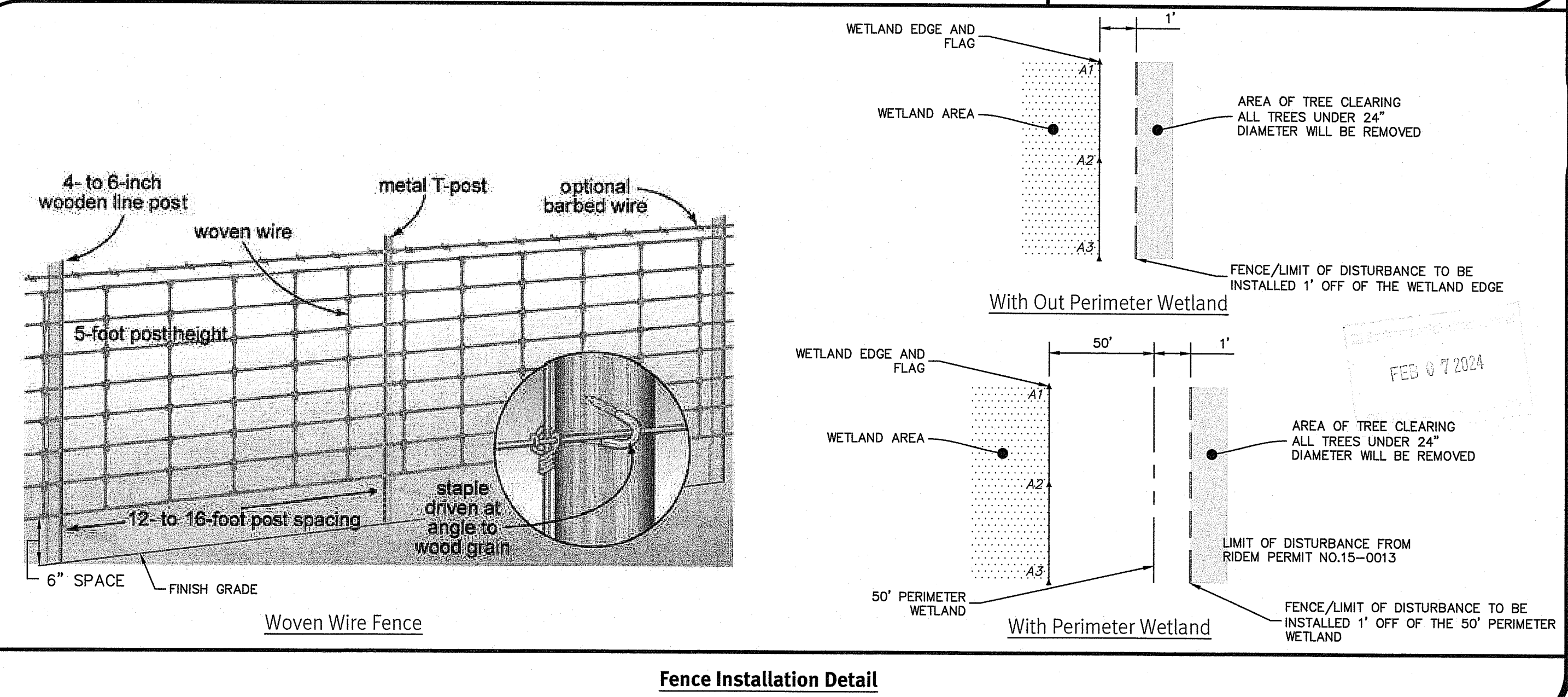
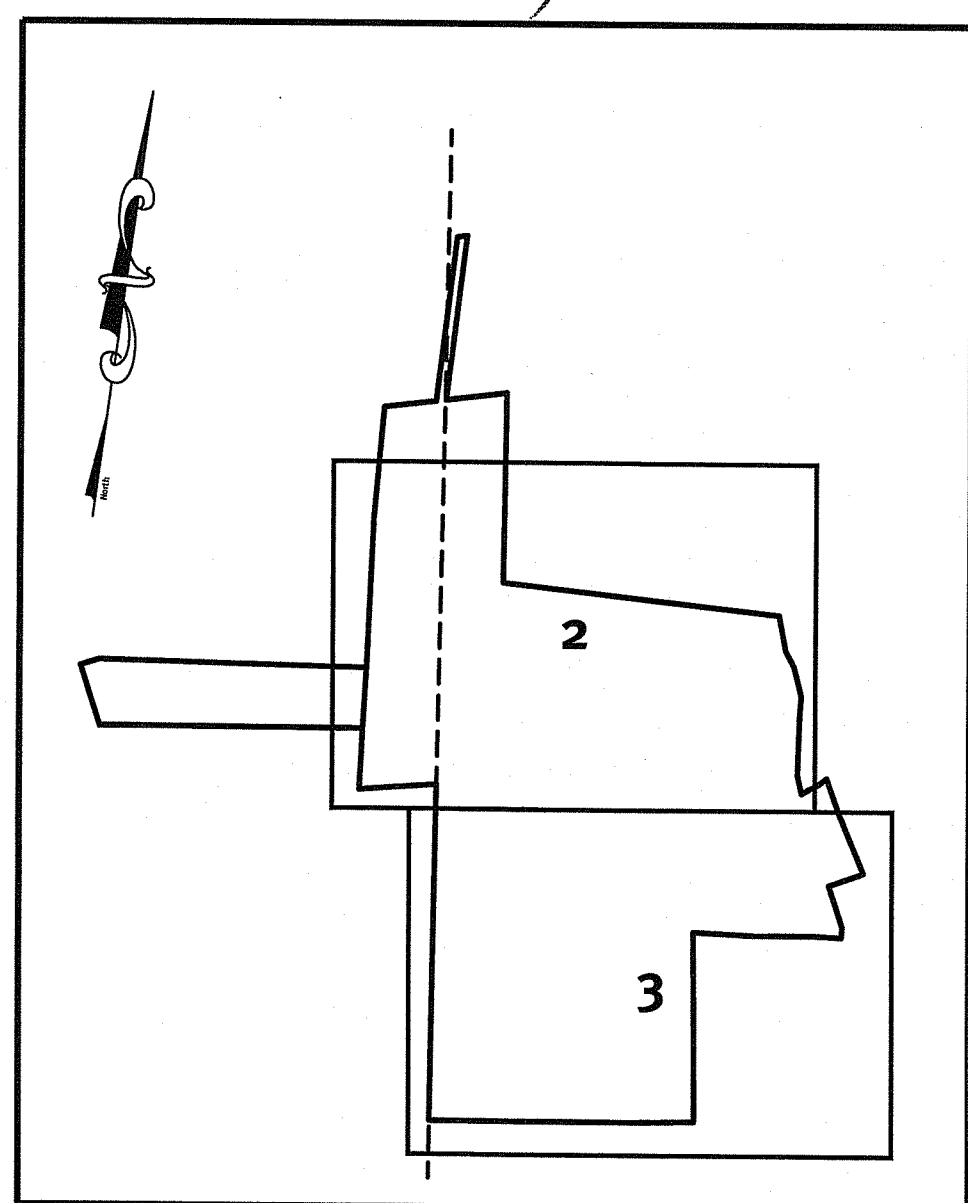
- General Notes**
- THE SITE IS LOCATED ON THE TOWN OF FOSTER, ASSESSOR'S PLAT 15 LOT 33 & ASSESSOR'S PLAT 22 LOT 34 AND ON THE TOWN OF SQTUATE ASSESSOR'S PLAT 36 LOTS 11 AND 28 (130.98 ACRES TOTAL). THE SITE IS ZONED RR120-SINGLE FAMILY RESIDENCE PER SQTUATE ZONING REGULATIONS AND AR-AGRICULTURAL/RESIDENTIAL PER FOSTER ZONING REGULATIONS.
 - GRAVEL ROADWAY AND STORMWATER IMPROVEMENTS COMPLETED AS PART OF RIDEM PERMIT NO. 15-0013 AND RIPDES RR101235 AND NOTICE OF PROJECT COMPLETION SUBMITTED ON JUNE 22, 2020. DWELLINGS SHOWN AS PART OF REFERENCED PERMIT NUMBER ARE ANTICIPATED TO BE CONSTRUCTED ONCE APPROVAL IS RECEIVED FROM TOWN OF SQTUATE AND TOWN OF FOSTER.
 - ONSITE WASTEWATER TREATMENT SYSTEM APPROVED FOR AP 36 LOT 11 UNDER APPLICATION NO.1930-1179. OWTS/DWELLING HAS NOT YET BEEN CONSTRUCTED.
 - THE TOPOGRAPHY ON THIS PLAN WAS PREPARED BY COL-EAST, INC AERIAL PHOTOGRAPHY COMPANY USING AERIAL PHOTOGRAPHS. THE MAP HAS BEEN PREPARED TO CONFORM TO THE ASPRS STANDARDS FOR A CLASS 2 MAP (ACCURACY TO 2/3 RDS THE CONTOUR INTERVAL) AS STATED IN THE PROCEDURAL AND TECHNICAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE STATE OF RHODE ISLAND AND PROVIDENCE PLANTATIONS, EFFECTIVE DATE: APRIL 1, 1994. AFTER SITE CLEARING BUT PRIOR TO CONSTRUCTION, THE GRADES ELEVATION AND LOCATION WILL BE FIELD VERIFIED BY THE CONTRACTOR AND ANY DIFFERENCES PRESENTED TO DIPRETE ENGINEERING. IT IS ESSENTIAL THAT ANY DISCREPANCIES IN THE MAPPING BE DEALT WITH PRIOR TO CONSTRUCTION COMMENCEMENT.
 - THIS SITE IS LOCATED IN FEMA FLOOD ZONE K. REFERENCE FEMA FLOOD INSURANCE RATE MAP 44007C02356 AND MAP 44007C02806, MAPS REVISED MARCH 02, 2009.
 - WETLANDS DELINEATED BY ECOSYSTEM SOLUTIONS INC USING GPS TECHNOLOGY. WETLAND FLAGS WERE LOCATED WITH TRIMBLE GEO7X GPS WITH MONOPOLE & ANTENNA WITH REAL-TIME CORRECTIONS IN CENTIMETER MODE SET TO A MINIMUM 30 READINGS WITH MINIMUM ACCEPTABLE ACCURACY OF 1.0 FEET. LOCATIONS WERE TAKEN ON 5/13, 5/14, 5/19, 5/20, 5/21, 5/22, 5/25, 5/27, 5/28, AND 6/24/2021.
- Datum Note:**
- ELEVATIONS SHOWN HEREON, IN U.S. SURVEY FEET, ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88), AS DETERMINED BY DIPRETE ENGINEERING USING REAL TIME KINEMATIC G.P.S. OBSERVATIONS.
- Plan References:**
- "SURVEY PLAN SHOWING LAND IN TOWN'S OF SQTUATE & FOSTER AP 22 & LOT 28 SQTUATE, AP 15 LOT 33 & 35 FOSTER AP 22 LOT 34 FOSTER." PLAN BY FLYNN SURVEYS INC. DATED MARCH 8, 2002

This Plan Should Be Indexed By The Following Streets:

- Round Hill Road
- Danielson Pike (Route 6)



RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL
DATED: MAR 26 2025 FILE #: 25-0188
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

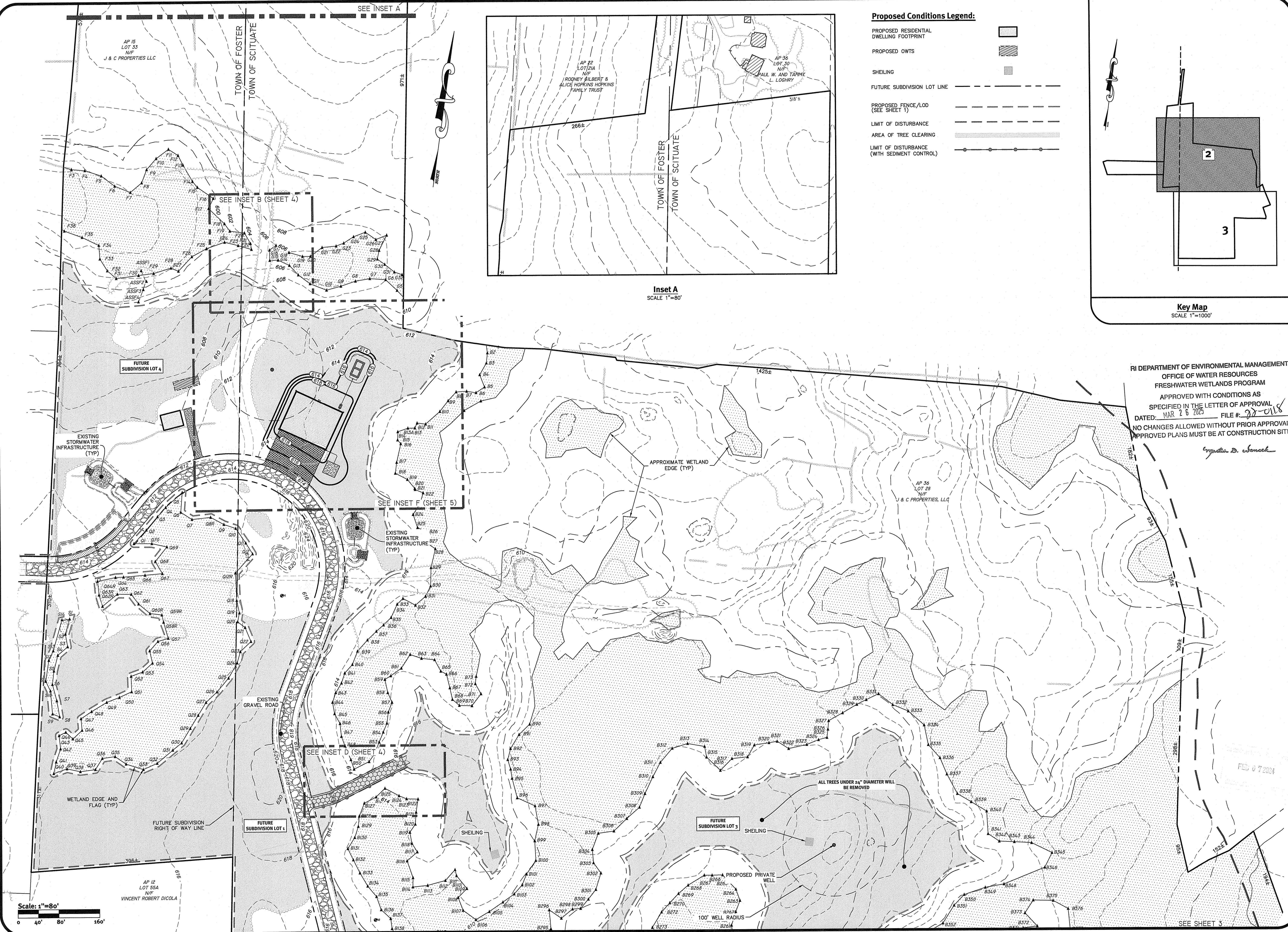


DiPrete Engineering
Two Stafford Court Cranston, RI 02920
tel 401-943-1000 fax 401-464-6006 www.DiPrete-Eng.com
Engineers - Planners - Surveyors

JASON P. CLOUGH
No. [Signature]
REGISTERED PROFESSIONAL ENGINEER
CIVIL

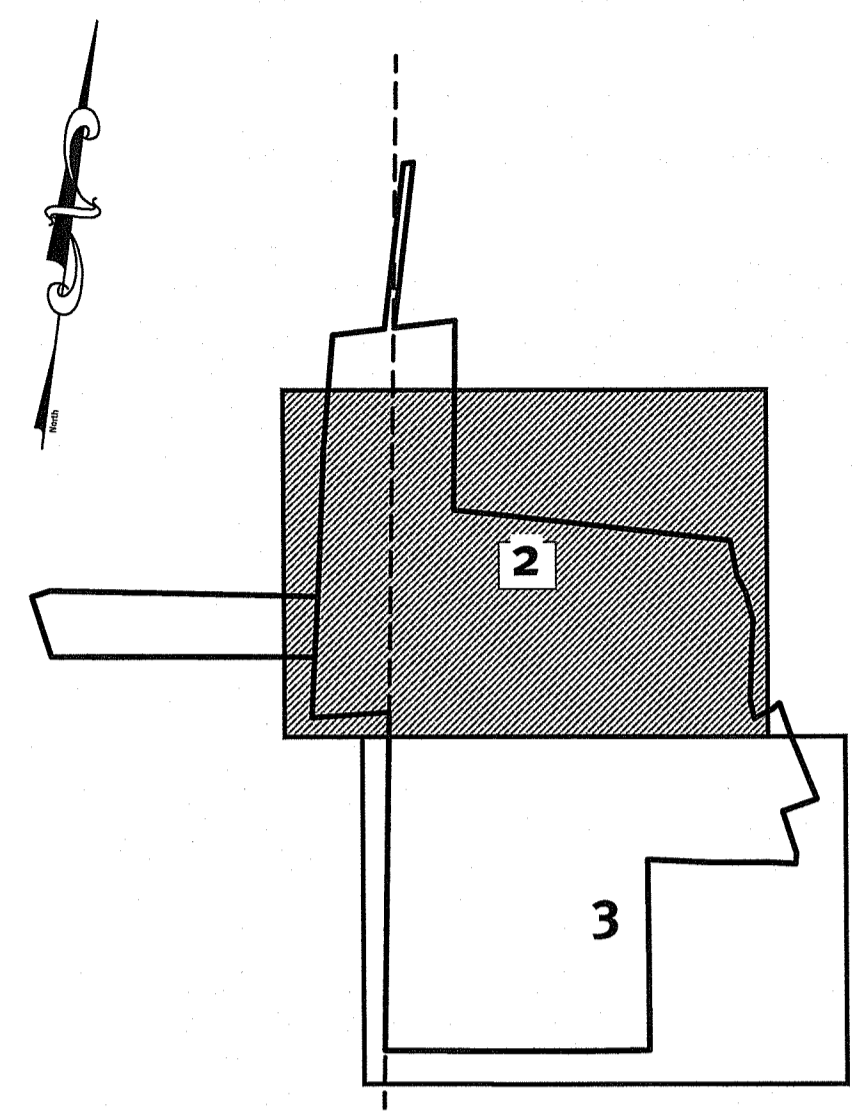
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| 2 | 3-10-2024 | RIDEM Response to Comments | J.C. | J.P. |
| 3 | 04-19-2024 | RIDEM Response to Comments | J.C. | J.P. |
| 4 | 05-21-2024 | RIDEM Response to Comments | J.C. | J.P. |
| 5 | 05-21-2024 | RIDEM Response to Comments | J.C. | J.P. |
| 6 | 05-21-2024 | RIDEM Response to Comments | J.C. | J.P. |

Overall Site Plan
Round Hill Road
AP 15, Lot 33 & AP 22 Lot 34 (Foster) & AP 36 Lots 11 & 28 (Squate)
Squate, Rhode Island
Owner: **J&C Properties, LLC**
2208 Plainfield Pike, Johnston, Rhode Island 02919
Tel: 401-943-7200 Fax: (401) 943-7666
DE Job No: 1579-015 Copyright 2019 by DiPrete Engineering Associates, Inc.



Proposed Conditions Legend:

- PROPOSED RESIDENTIAL DWELLING FOOTPRINT
- PROPOSED OWTS
- SHEILING
- FUTURE SUBDIVISION LOT LINE
- PROPOSED FENCE/LOD (SEE SHEET 1)
- LIMIT OF DISTURBANCE
- AREA OF TREE CLEARING
- LIMIT OF DISTURBANCE (WITH SEDIMENT CONTROL)



Key Map
SCALE 1"=1000'

Inset A
SCALE 1"=80'

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL
DATED: MAR 26 2025 FILE # 25-018
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL.
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

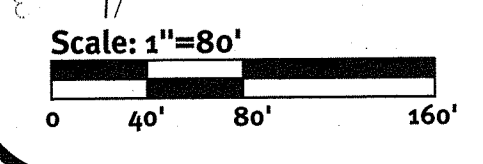
Gregory D. Somers

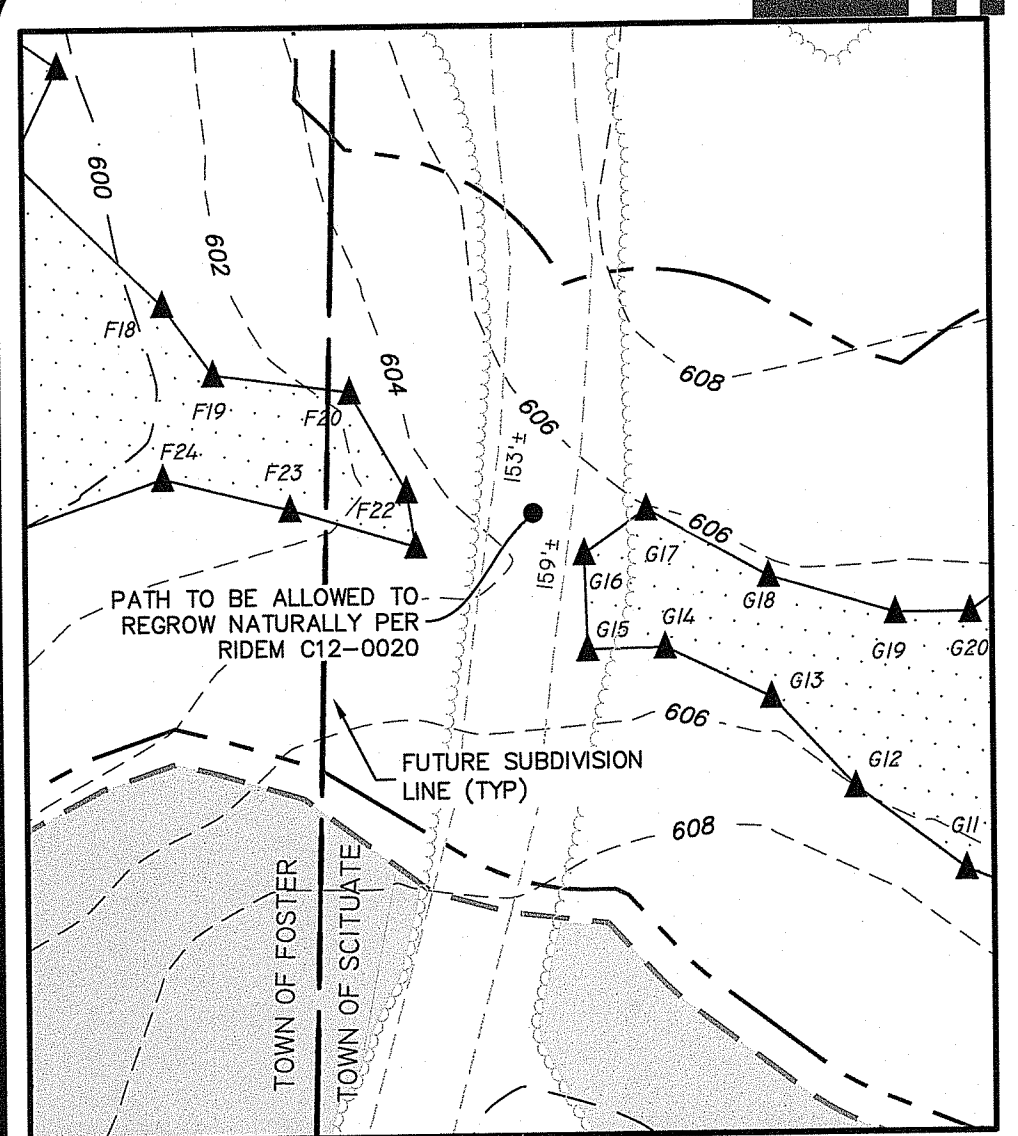
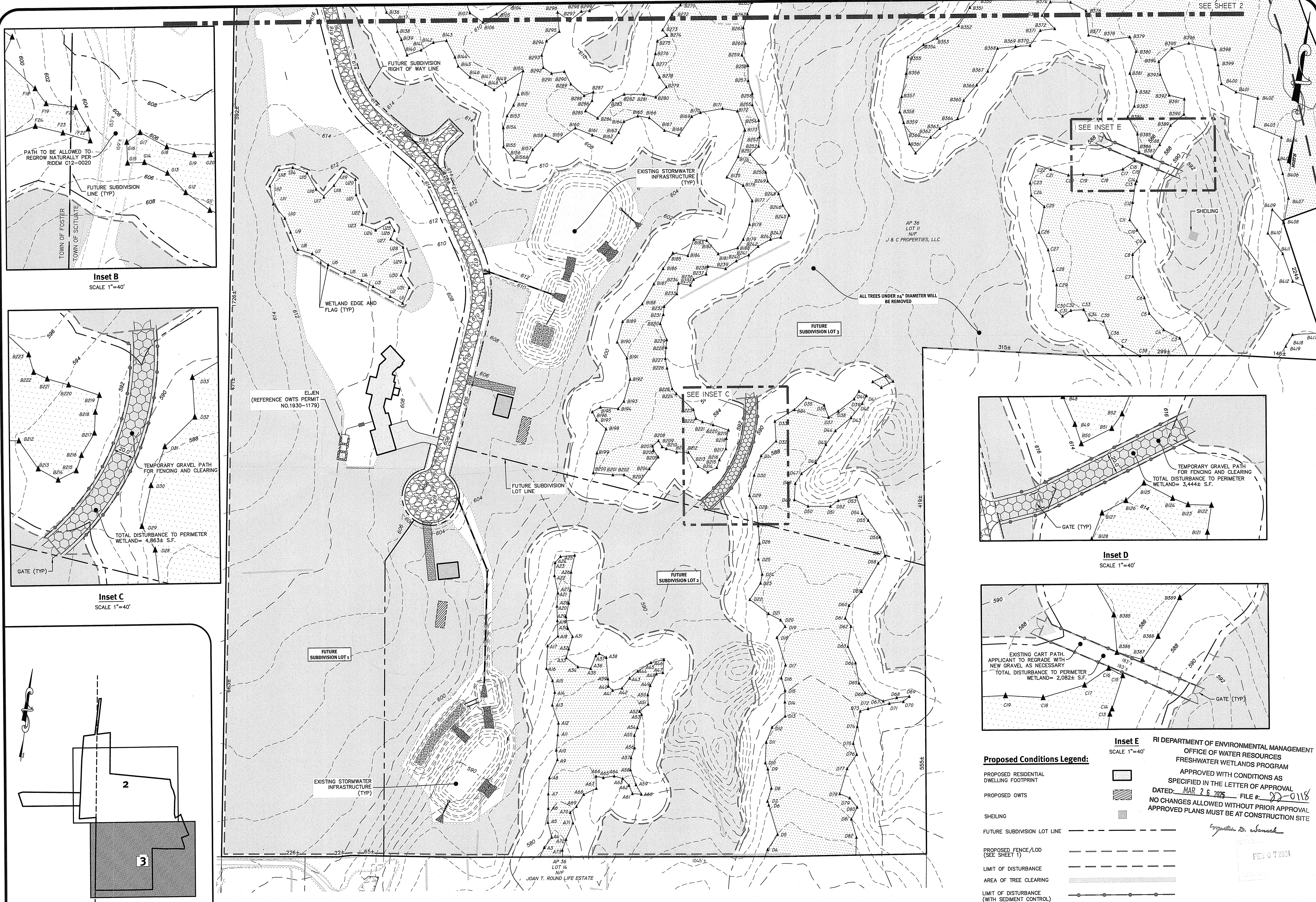
DiPrete Engineering
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tel: 401-943-1000 fax: 401-464-6606 www.DiPrete-Eng.com

JASON P. CLOUGH
No. [Signature]
REGISTERED PROFESSIONAL ENGINEER
CIVIL

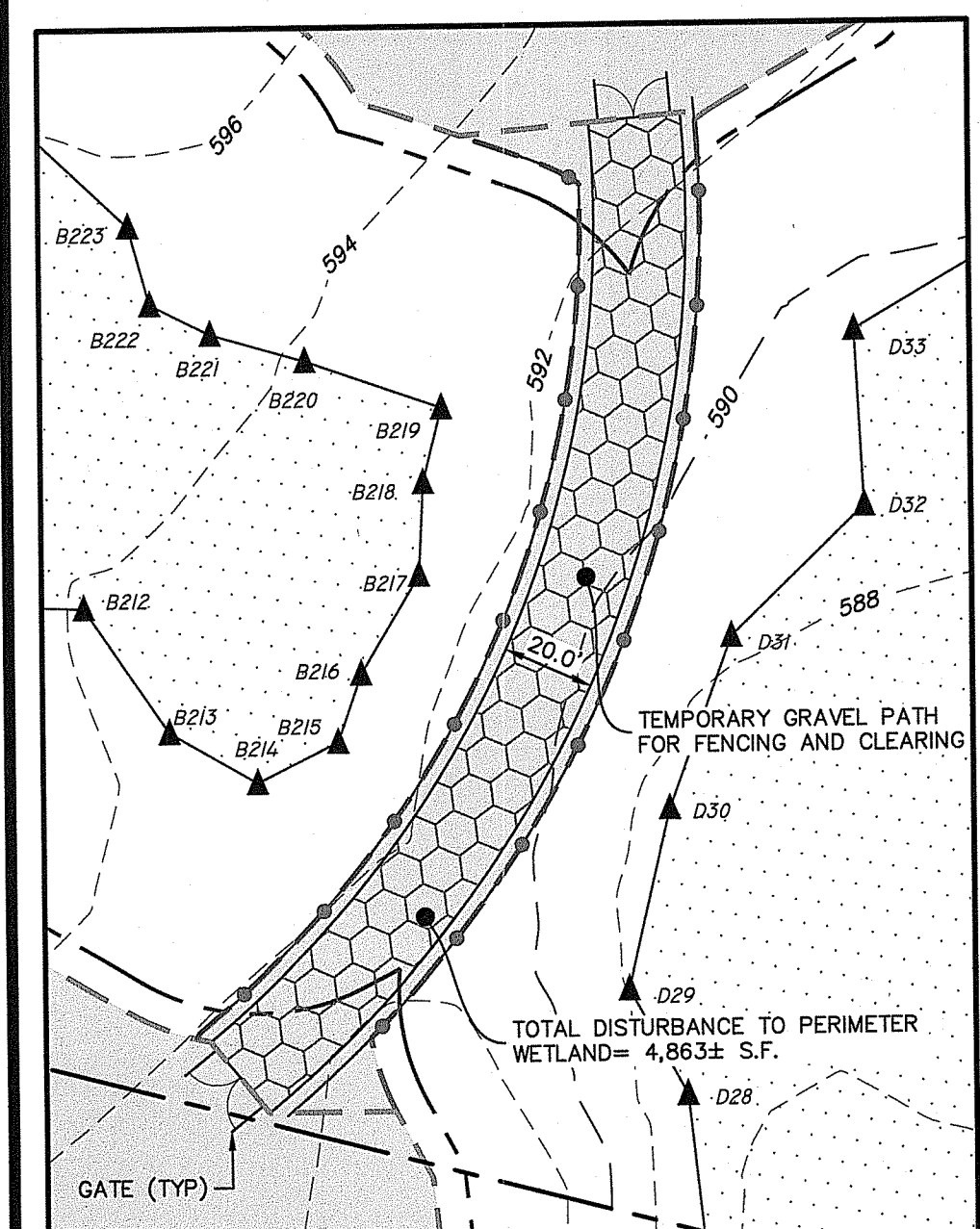
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| 2 | 09-12-2024 | RIEMA Response to Comments | J.P.C. |
| 3 | 09-12-2024 | RIEMA Response to Comments | J.P.C. |
| 4 | 09-12-2024 | RIEMA Response to Comments | J.P.C. |
| 5 | 05-21-2024 | RIEMA Response to Comments | J.P.C. |

Site Plan - 1
Round Hill Road
AP 15 Lot 33 & AP 21 Lot 34 (Foster) & AP 36 Lots 11 & 28 (Scituate)
Scituate, Rhode Island
J&C Properties, LLC
2208 Plainfield Pike, Johnston, Rhode Island 02919
tel: 401-943-7100 fax: (401) 946-7666
DE Reg No: 1579-012 Copyright 2019 by DiPrete Engineering Associates, Inc.

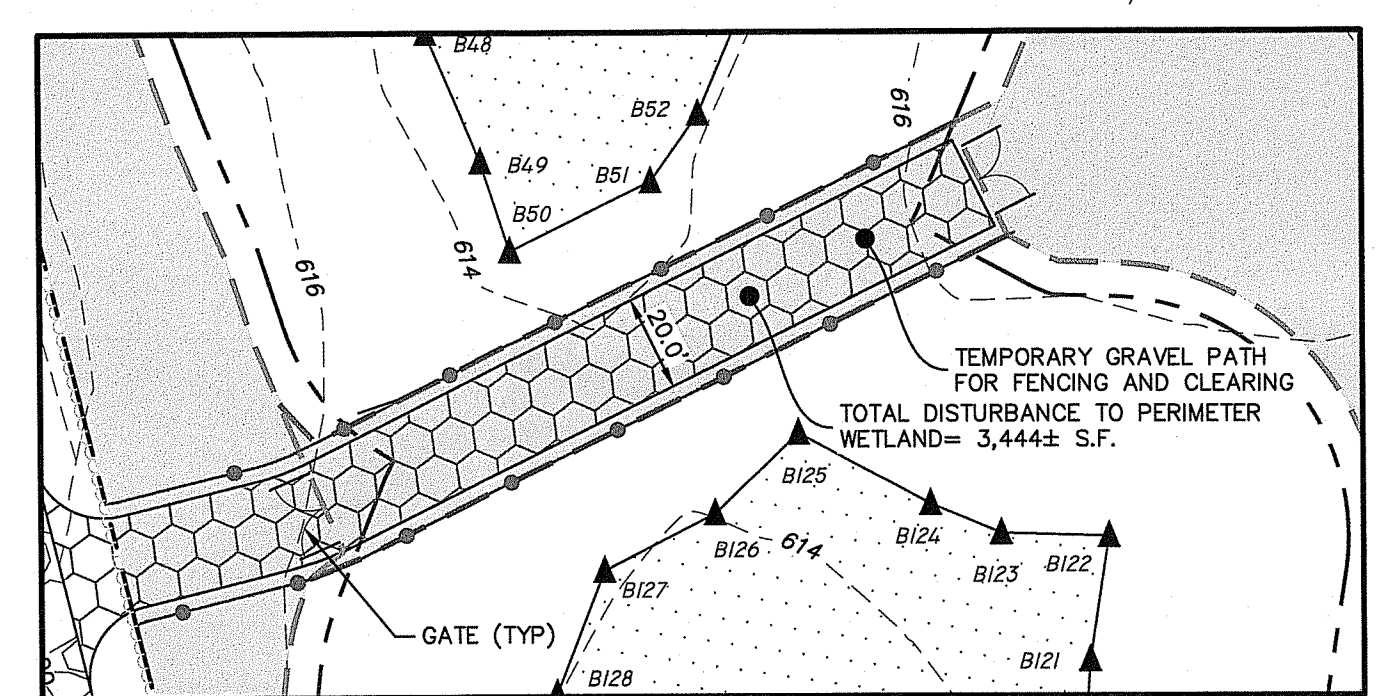




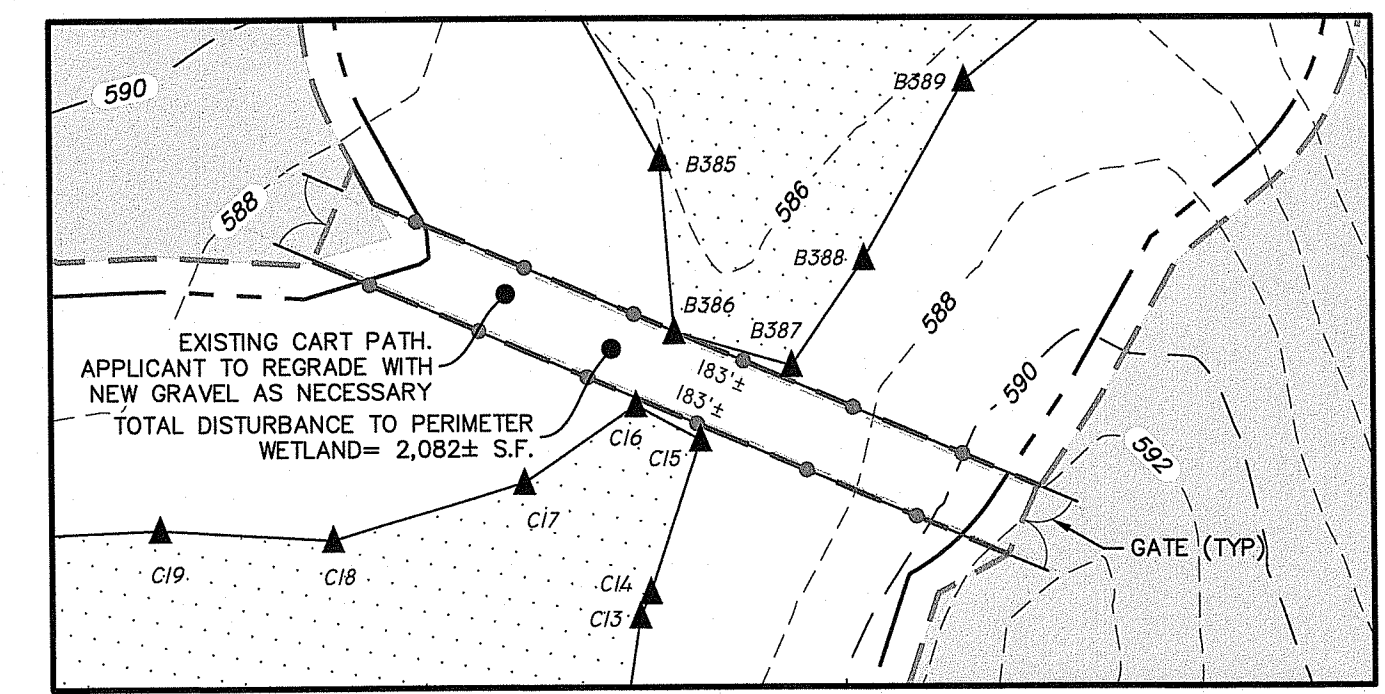
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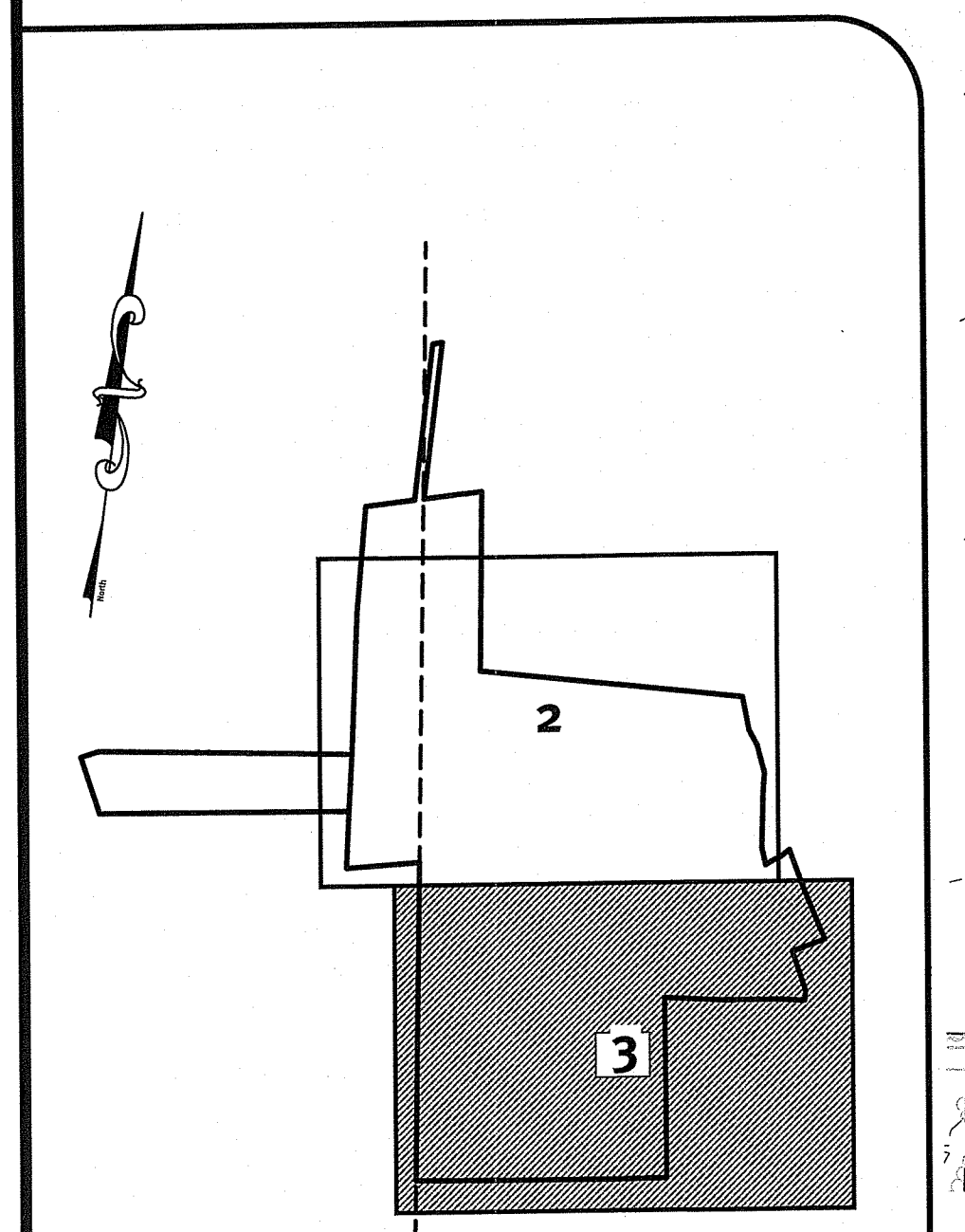
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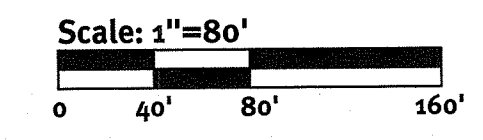
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SCALE 1"=40'



Inset E
SCALE 1"=40'



Key Map
SCALE 1"=1000'



Proposed Conditions Legend:

- PROPOSED RESIDENTIAL DWELLING FOOTPRINT
- PROPOSED OWTS
- SHEILING
- FUTURE SUBDIVISION LOT LINE
- PROPOSED FENCE/LOD (SEE SHEET 1)
- LIMIT OF DISTURBANCE
- AREA OF TREE CLEARING
- LIMIT OF DISTURBANCE (WITH SEDIMENT CONTROL)

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL
DATED: MAR 26 2025 FILE #: 25-018
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Signature

FEB 07 2024

DiPrete Engineering
Two Stafford Court, Cranston, RI 02920
tel: 401-943-1000 fax: 401-464-6006 www.DiPrete-Eng.com

Engineers • Planners • Surveyors

JASON P. CLOUGH
No. *[Signature]*
REGISTERED PROFESSIONAL ENGINEER
CIVIL

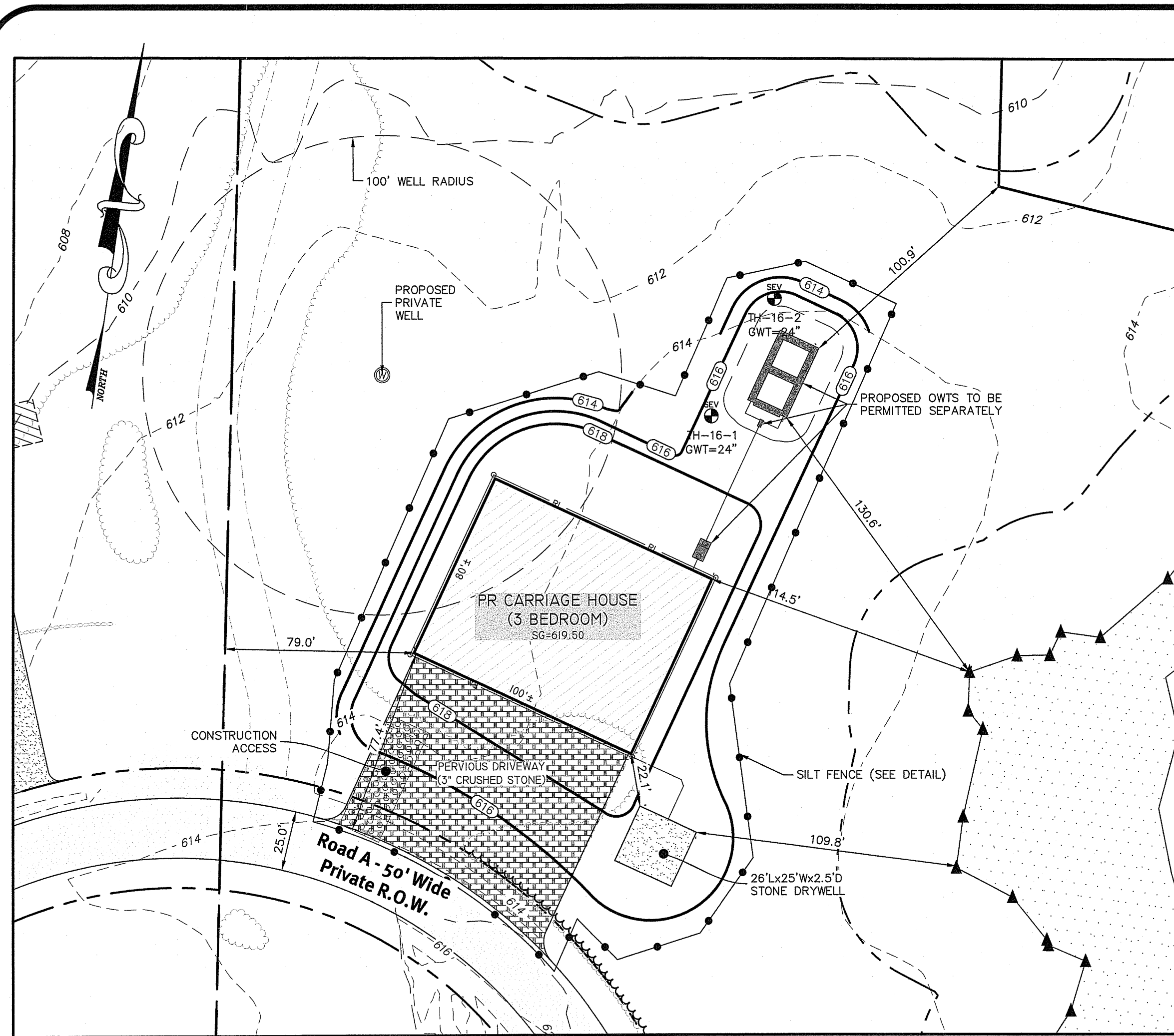
| No. | Date | Description | By: |
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| 2 | 3-10-2024 | RI DEPT RESPONSE TO COMMENTS | J.P.C. |
| 3 | 04-19-2024 | RI DEPT RESPONSE TO COMMENTS | J.P.C. |
| 4 | 05-21-2024 | RI DEPT RESPONSE TO COMMENTS | J.P.C. |
| 5 | 07-15-2024 | RI DEPT RESPONSE TO COMMENTS | J.P.C. |

Drawn By: S.R. Design By: S.R.

Site Plan - 2
Round Hill Road
AP 15, Lot 33 & AP 22, Lot 34 (Foster) & AP 36 Lots 11 & 28 (Scituate)
Scituate, Rhode Island

J&C Properties, LLC
2208 Plainfield Pike, Johnston, Rhode Island 02919
tel: 401-943-7100 fax: (401) 946-7666

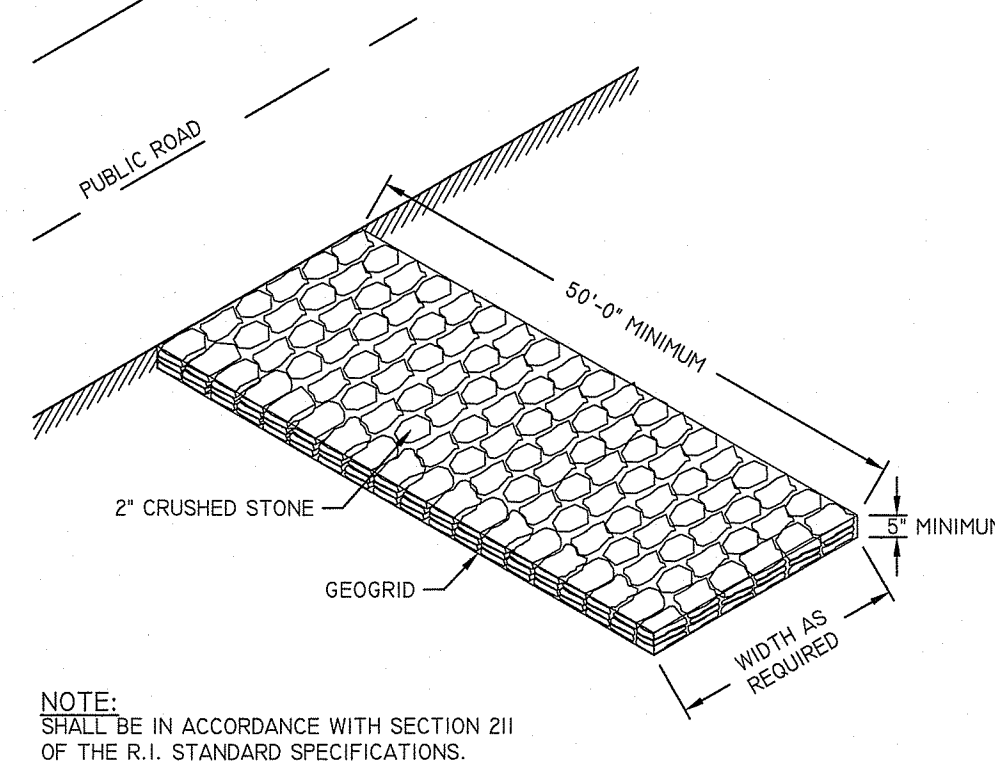
DE Job No: 1579-015 copyright 2019 by DiPrete Engineering Associates, Inc.



Inset F
SCALE 1"=40'

SEQUENCE OF CONSTRUCTION OF CONSTRUCTION AND STAGING OF LAND DISTURBING ACTIVITIES

- CONTRACTOR IS RESPONSIBLE FOR SOIL EROSION AND SEDIMENT CONTROL (SE & SC) ONSITE. SEQUENCE OF CONSTRUCTION PROVIDED MAY BE MODIFIED AS FIELD CONDITIONS WARRANT WITH PRIOR APPROVAL FROM OWNER OR THEIR REPRESENTATIVE.
- CONSTRUCTION TO BEGIN IN THE SUMMER 2022 OR UPON RECEIPT OF ALL NECESSARY APPROVALS.
- SURVEY AND STAKE THE DRAINAGE BMP'S (DRYWELL), DRAIN LINES, AND LIMIT OF SEDIMENTATION BARRIERS/LIMIT OF DISTURBANCE.
- PLACE SEDIMENTATION BARRIERS (SILT FENCE OR APPROVED EQUAL) AS SHOWN ON THE PLANS AND STAKED OUT IN THE FIELD. IN NO CASE IS THE LIMIT OF WORK TO EXTEND BEYOND THE SEDIMENTATION BARRIERS. PLACE BARRIERS AROUND VEGETATED SWALE. NO CONSTRUCTION TRAFFIC IS PERMITTED IN THESE AREAS.
- INSTALL TEMPORARY SEDIMENTATION CONTROL MEASURES AND DEVICES AS WARRANTED. ALL TEMPORARY CONTROL DEVICES SHALL BE INSTALLED PER THE RHODE ISLAND SOIL EROSION AND SEDIMENTATION CONTROL HANDBOOK.
- BEGIN DEMOLITION AND CLEARING AND GRUBBING IN AREA OF THE BUILDING, DRAINAGE BMP'S, AND OTHER AREAS AS INDICATED ON THE PLANS. TOPSOIL IS TO BE STRIPPED AND STOCKPILED IN APPROVED LOCATIONS. TOPSOIL STOCKPILES ARE TO BE PROTECTED BY A ROW OF SEDIMENTATION BARRIERS AND COVERED OR TEMPORARILY SEEDED.
- BEGIN CONSTRUCTION OF THE BUILDING FOUNDATION AND STRUCTURE.
- BEGIN CONSTRUCTION OF DRAINAGE BMP'S.
- ONCE THE SITE IS STABILIZED THE DRAINAGE BMP'S AND DRAINAGE NETWORK MAY BE BROUGHT ONLINE WITH THE APPROVAL OF THE DESIGN ENGINEER.
- REMOVE ALL TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROL MEASURES FOLLOWING VEGETATIVE ESTABLISHMENT OF ALL DISTURBED AREAS.



CONSTRUCTION ACCESS
NOT TO SCALE

ESTABLISHMENT OF VEGETATIVE COVER

- SLOPES SHALL NOT BE LEFT UNATTENDED OR EXPOSED FOR EXCESSIVE PERIODS OF TIME SUCH AS THE INACTIVE WINTER SEASON. THE CONTRACTOR SHALL INITIATE APPROPRIATE VEGETATIVE PRACTICES ON ALL DISTURBED AREAS AS SOON AS POSSIBLE BUT NOT MORE THAN FOURTEEN (14) DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT AREA HAS TEMPORARILY OR PERMANENTLY CEASED, UNLESS THE ACTIVITY IS TO RESUME WITHIN TWENTY-ONE (21) DAYS.
- ALL DISTURBED SLOPES EITHER NEWLY CREATED OR CURRENTLY EXPOSED SHALL BE SEEDED OR PROTECTED.
- THE TOPSOIL SHALL HAVE A SANDY LOAM TEXTURE RELATIVELY FREE OF SUBSOIL MATERIAL, STONES, ROOTS, LUMPS OF SOIL, TREE LIMBS, TRASH OR CONSTRUCTION DEBRIS AND SHALL CONFORM WITH RHODE ISLAND DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, M.20.
- THE TEMPORARY SEEDING DESIGN MIX SHALL BE COMPRISED OF THE FOLLOWING:

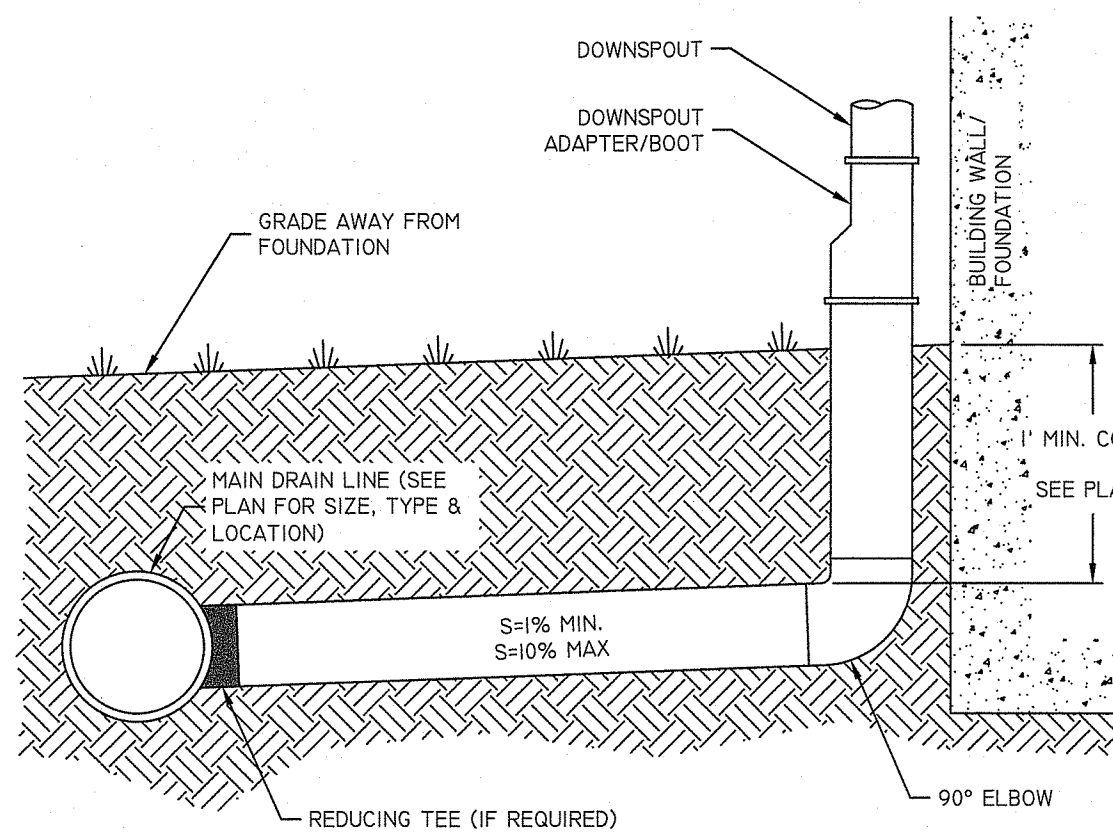
| TYPE | % BY WEIGHT |
|--------------------|-------------|
| ANNUAL RYEGRASS | 40 |
| PERENNIAL RYEGRASS | 60 |
- THE NEW ENGLAND EROSION CONTROL/RESTORATION SEED MIX SHALL BE COMPRISED OF THE FOLLOWING:

| TYPE | % BY WEIGHT |
|------------------------|-------------|
| UPLAND BENTGRASS | 1.0 |
| CREeping BENTGRASS | 1.0 |
| BIG BLUESTEM | 8.0 |
| NEW ENGLAND ASTER | 1.0 |
| FOX SEDGE | 8.0 |
| VIRGINIA WILD RYE | 28.0 |
| BONESET | 1.0 |
| GRASS LEAVED GOLDENROD | 1.0 |
| CREeping RED FESCUE | 24.0 |
| SOFT RUSH | 0.5 |
| SENSITIVE FERN | 1.0 |
| SWITCH GRASS | 8.0 |
| LITTLE BLUESTEM | 15.0 |
| GREEN BULLRUSH | 1.0 |
| WOOL GRASS | 0.5 |
| BLUE VERVAIN | 1.0 |
- THE GENERAL PURPOSE SEED MIX SHALL BE COMPRISED URI #2 OF THE FOLLOWING:

| TYPE | % BY WEIGHT |
|------------------------------|-------------|
| CREeping RED FESCUE | 40 |
| IMPROVED PERENNIAL RYE GRASS | 20 |
| IMPROVED KENTUCKY BLUEGRASS | 30 |
| KENTUCKY BLUEGRASS | 10 |

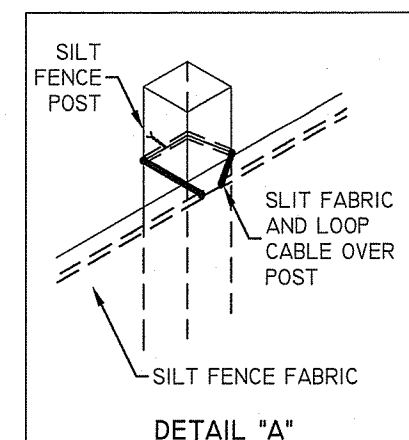
EARLY SPRING OR LATE SUMMER SEEDING IS RECOMMENDED. SEEDING SCHEDULE SHOULD CONFORM WITH RHODE ISLAND DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, L.02.03.1 SEEDING DATES. PERMANENT SEEDING MAY BE DONE ANYTIME BETWEEN MARCH 15 AND NOVEMBER 15 WITH THE APPROVAL OF THE ENGINEER OF RECORD. FERTILIZE AS REQUIRED BY SOIL TESTING TO COMPLEMENT OR UPGRADE EXISTING CONDITIONS. THE SEED MIX SHALL BE INOCULATED WITHIN 24 HOURS AND BEFORE MIXING AND PLANTING, WITH APPROPRIATE INOCULANTS FOR EACH VARIETY.

- TEMPORARY TREATMENTS SHALL CONSIST OF STRAW OR FIBER MULCH OR PROTECTIVE COVERS SUCH AS A MAT OR FIBER LINING. TEMPORARY STRAW MULCH TO BE TACKED IN PLACE WITH NYLON MESH NETTING. SIDE SLOPES OF BASINS SHALL BE TREATED WITH NORTH AMERICAN GREEN EROSION CONTROL BLANKETS SUCH AS SIS0 OR APPROVED EQUAL. THEY SHALL BE INCORPORATED INTO THE WORK AS WARRANTED OR AS ORDERED BY THE ENGINEER. STRAW APPLICATIONS SHALL BE IN THE AMOUNT OF 2 TONS/ACRE.
- ALL SILT FENCE OR TEMPORARY PROTECTION SHALL REMAIN IN PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED.
- ALL FILL SHALL BE THOROUGHLY COMPACTED UPON PLACEMENT IN STRICT CONFORMANCE WITH RHODE ISLAND DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION PART 200.
- STOCKPILES OF TOPSOIL SHALL NOT BE LOCATED NEAR WATERWAYS. THEY SHALL HAVE SIDE SLOPES NO GREATER THAN 2:1 AND SHALL BE TEMPORARILY SEEDED AND/OR STABILIZED.
- ALL AREAS PROPOSED TO BE VEGETATED THAT ARE DISTURBED BY CONSTRUCTION SHALL BE STABILIZED WITH PERMANENT SEEDING IMMEDIATELY FOLLOWING FINISH GRADING. PERMANENTLY SEEDED AREAS SHALL BE PROTECTED DURING ESTABLISHMENT WITH MULCH. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STANDARD IS MAINTAINED. WELL ESTABLISHED VEGETATION SHALL BE MAINTAINED. BARE OR ERODED AREAS SHALL BE IMMEDIATELY REPAIRED AND RESEEDED BY THE CONTRACTOR. ACTIVITIES SHALL BE CONFINED TO WITHIN THE LIMIT OF WORK AS SHOWN ON THE PLANS.
- MAXIMUM PERMANENT GRADED SLOPE WITHIN THE SITE IS TO BE 3:1 UNLESS NOTED OTHERWISE.
- THE CONSTRUCTION SUPERINTENDENT SHALL HAVE OVERALL RESPONSIBILITY FOR PLAN IMPLEMENTATION AND FOR SEEING THAT THE APPROPRIATE WORKERS ARE AWARE OF THE PROVISIONS OF THE PLAN. THE CONTRACTOR MUST REPAIR AND/OR RESEED ANY AREAS THAT DO NOT DEVELOP WITHIN THE PERIOD OF ONE YEAR AND SHALL DO SO AT NO ADDITIONAL EXPENSE TO THE OWNER.
- REFERENCE THE "RHODE ISLAND SOIL EROSION AND SEDIMENTATION CONTROL HANDBOOK" PREPARED BY THE USDA SOIL CONSERVATION SERVICE, REVISED 2014, AS A GUIDE.

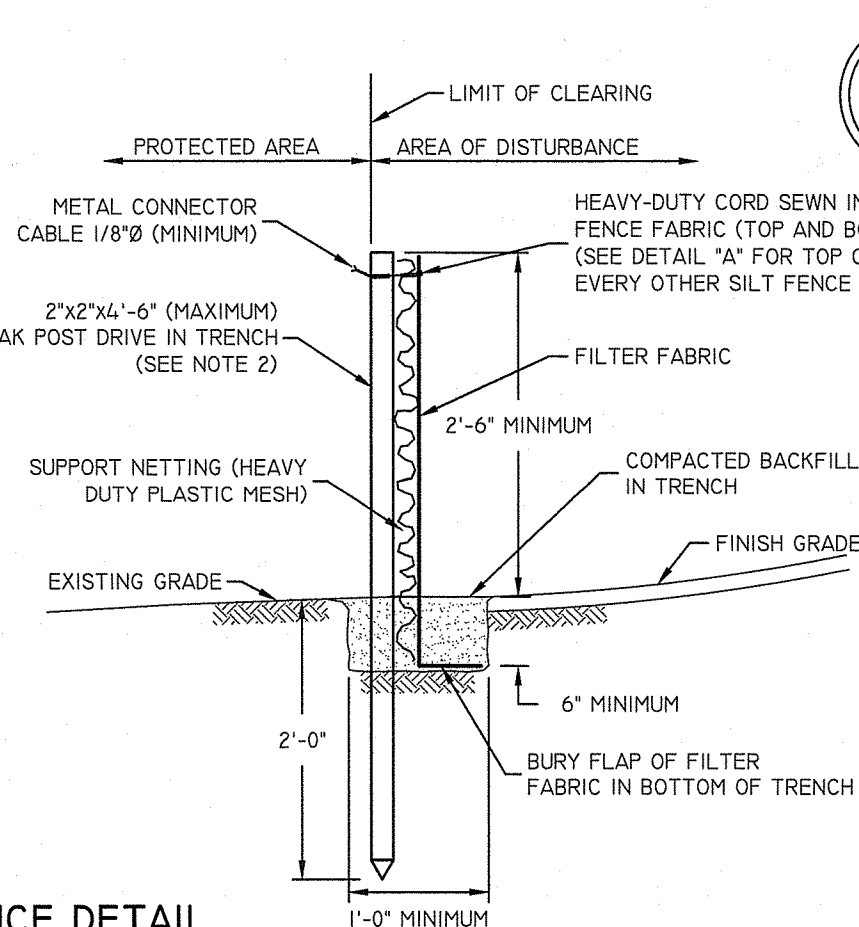


DOWNSPOUT CONNECTION DETAIL
NOT TO SCALE

- NOTES:**
- SHALL BE IN ACCORDANCE WITH SECTION 206 OF THE R.I. STANDARD SPECIFICATIONS.
 - 2"x2" 1/4" - 6" (MAXIMUM) OAK POSTS FOR SILT FENCE SHALL BE LOCATED 8'-0" (MAXIMUM) O.C. IN WETLAND AREAS AND 4'-0" (MAXIMUM) O.C. IN WETLAND RAVIDE, GULLY OR DROP-OFF AREAS AS SHOWN ON PLANS.
 - 1"x1/2" - 4" (MINIMUM) POSTS PERMITTED FOR PRE-FABRICATED SILT FENCE.
 - SILT FENCE SHALL BE INSTALLED BEFORE ANY GRUBBING OR EARTH EXCAVATION TAKES PLACE.



SILT FENCE DETAIL
NOT TO SCALE



R.I. STANDARD 9.2.0

MAINTENANCE: SHORT TERM / LONG TERM

- THE STONE STABILIZATION PADS AT THE SITE ENTRANCE SHALL BE MAINTAINED BY THE CONTRACTOR. THE MAINTENANCE SHALL INCLUDE TOP DRESSING WITH ADDITIONAL STONE OR ADDITIONAL LENGTH AS CONDITIONS DEMAND OR AS DIRECTED BY THE ENGINEER. ALL SEDIMENTS SPILLED, DROPPED, WASHED, OR TRACKED ON THE PUBLIC RIGHT OF WAY MUST BE REMOVED IMMEDIATELY BY THE CONTRACTOR.
- ALL SILT FENCE, TEMPORARY TREATMENTS (STRAW, ETC.), AND TEMPORARY PROTECTION SHALL BE MAINTAINED BY THE CONTRACTOR THROUGHOUT CONSTRUCTION. SILT FENCE SHALL BE INSPECTED BY THE CONTRACTOR WITHIN 24 HOURS AFTER EACH STORM EVENT OR EVERY 7 DAYS, WHICHEVER COMES FIRST, FOR UNDERMINING AND DETERIORATION. A STORM EVENT SHALL BE DEFINED AS 0.25 INCHES OF RAIN WITHIN A 24-HOUR PERIOD. THE SILT FENCE SHALL BE REPAIRED OR REPLACED AS WARRANTED. THE CONTRACTOR SHALL CLEAN THE ACCUMULATED SEDIMENT IF HALF OF THE ORIGINAL HEIGHT OF THE SILT FENCE BECOMES FILLED IN WITH SEDIMENT. THE SILT FENCE SHALL REMAIN IN PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED. FOLLOWING CONFIRMATION FROM THE OWNER AND/OR THE PROJECT ENGINEER THAT AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER HAS BEEN ESTABLISHED THE SILT FENCE SHALL BE REMOVED.
- THE CONTRACTOR SHALL MAINTAIN ALL TOPSOIL STOCKPILES AND SEDIMENT BARRIERS THROUGHOUT CONSTRUCTION. EXTREME CARE SHALL BE TAKEN TO ENSURE THAT SEDIMENTS DO NOT SPILL OVER THE SEDIMENT BARRIER. SILT FENCE SHALL BE STAKED AROUND THE STOCKPILES.
- ALL DISTURBED SLOPES EITHER NEWLY CREATED OR CURRENTLY EXPOSED SHALL BE SEEDED, PROTECTED, AND MAINTAINED BY THE CONTRACTOR FOLLOWING FINAL GRADING AND CONSTRUCTION. THE CONTRACTOR SHALL CHECK ALL SEEDED AREAS REGULARLY TO SEE THAT A GOOD STAND OF VEGETATION IS MAINTAINED. THE CONTRACTOR MUST REPAIR OR RESEED ANY AREAS THAT DO NOT DEVELOP WITHIN THE PERIOD OF ONE YEAR AND SHALL DO SO AT NO ADDITIONAL EXPENSE TO THE OWNER.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE AND INSPECTION OF THE DRAINAGE BMP'S DURING AND UP TO A YEAR AFTER COMPLETION OF CONSTRUCTION AND ACCEPTANCE BY THE OWNER. THE OWNER IS RESPONSIBLE FOR INSPECTIONS AND MAINTENANCE THEREAFTER. THE DRAINAGE BMP'S SHALL BE INSPECTED/MAINTAINED AS DETAILED BELOW.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTION, MAINTENANCE AND REPAIR TO ALL DRAINAGE STRUCTURES AND RELATED APPURTENANCES ON SITE DURING CONSTRUCTION AND IMMEDIATELY FOLLOWING CONSTRUCTION FOR A MAXIMUM OF ONE YEAR, OR UNTIL ACCEPTANCE BY THE ENGINEER AND THE OWNER. THE OWNER IS RESPONSIBLE FOR INSPECTIONS AND MAINTENANCE THEREAFTER.
- A LEGALLY BINDING AND ENFORCEABLE MAINTENANCE AGREEMENT SHALL BE EXECUTED BETWEEN THE OWNER AND THE RESPONSIBLE AUTHORITY TO ENSURE THE FOLLOWING MAINTENANCE SCHEDULES ARE FOLLOWED.
- DURING THE FIRST SIX (6) MONTHS OF OPERATIONS, INSPECTIONS SHALL BE ACCOMPLISHED IN EACH DRAINAGE BMP AFTER EVERY RAINFALL EVENT, TO CHECK FOR CLOGGING OR, CONVERSELY, TOO RAPID A STORMWATER RELEASE. FOLLOWING THE SIX (6) MONTHS, INSPECTIONS SHALL BE CONDUCTED, AT A MINIMUM, ANNUALLY.
- IF STANDING WATER IS OBSERVED WITHIN THE DRAINAGE BMP'S FOR MORE THAN THREE (3) DAYS AFTER A RAINFALL, THEN FAILURE OF THE SYSTEM MAY HAVE OCCURRED AND SHALL BE ADDRESSED THROUGH REPAIR OR REPLACEMENT.
- THE CONSTRUCTION SUPERINTENDENT SHALL HAVE OVERALL RESPONSIBILITY FOR THE MAINTENANCE PROGRAM DURING THE CONSTRUCTION PHASE AND FOR A PERIOD OF ONE YEAR AFTER CONSTRUCTION. THE SUPERINTENDENT SHALL SEE THAT THE APPROPRIATE WORKERS ARE AWARE OF THE PROVISIONS OF THE PLAN.
- AFTER ACCEPTANCE OF THE SITE BY THE OWNER, THE OWNER SHALL HAVE OVERALL RESPONSIBILITY FOR IMPLEMENTING THE MAINTENANCE PROGRAM FOR THE STORMWATER MANAGEMENT PLAN.
- THE RESPONSIBLE PARTY FOR THE STORMWATER MANAGEMENT PROGRAM IS THE OWNER OF THE SITE. THE FUNDING FOR THE STORMWATER MANAGEMENT PROGRAM IS BY THE OWNER. IF THE PROPERTY IS SOLD, THE RESPONSIBILITY OF THE STORMWATER MANAGEMENT PROGRAM WILL BE TRANSFERRED TO THE NEW OWNER.

THE FOLLOWING MAINTENANCE PROCEDURES MUST BE FOLLOWED FOR THE CRUSHED STONE DRIVEWAY:

- THE SURFACE OF CRUSHED STONE SHALL BE MONITORED AFTER STORMS TO ENSURE IT DRAINS PROPERLY. THE SURFACE SHALL BE INSPECTED ANNUALLY FOR DETERIORATION AND BE REPAIRED AS NEEDED.
- CRUSHED STONE SHALL BE REPLACED OR RE-GRADING PERFORMED AS NECESSARY IN CRUSHED STONE DRIVEWAYS TO MAINTAIN A MINIMUM 3' DEPTH OF STONE AND A LEVEL SURFACE.
- USE OF SAND AND SALT ON CRUSHED STONE DRIVEWAYS SHALL BE MINIMIZED.

THE FOLLOWING MAINTENANCE PROCEDURES MUST BE FOLLOWED FOR THE DRYWELLS:

- INFILTRATION PRACTICES SHALL BE INSPECTED ANNUALLY AND REPAIRED IF NECESSARY TO ENSURE PROPER DRAINAGE.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE AND INSPECTION DURING AND UP TO A YEAR AFTER COMPLETION OF CONSTRUCTION AND ACCEPTANCE BY THE OWNER. THE OWNER IS RESPONSIBLE FOR INSPECTIONS AND MAINTENANCE THEREAFTER. THE CONTRACTOR'S MAINTENANCE/INSPECTION RESPONSIBILITIES SHALL INCLUDE REPLACING THE STONE WITHIN THE DRYWELL IF STORMWATER REMAINS IN THE DRYWELL LONGER THAN 48 HOURS. THE CONTRACTOR SHALL INSPECT DRYWELLS AFTER EACH STORM GREATER THAN 0.5 INCHES AND REPAIR AS NECESSARY. THE OWNER SHALL INSPECT THE DRYWELL SEMIANNUALLY AND AFTER RAIN FILL EVENTS GREATER THAN ONE INCH. IF REPAIRS ARE NEEDED, THEY SHALL BE CARRIED OUT IMMEDIATELY. REPAIRS ARE NECESSARY IF STORMWATER REMAINS IN THE DRYWELL LONGER THAN 48 HOURS.

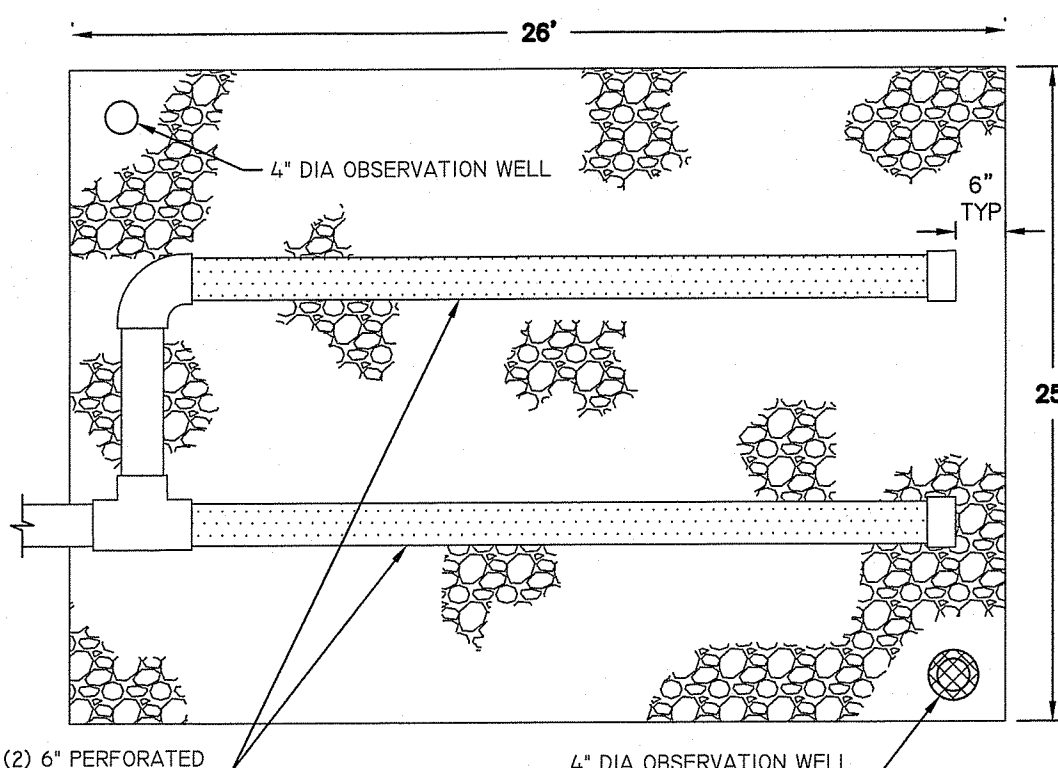
**RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL**

DATED: MAR 26 2025 FILE #: 22-0118
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE
NON-STRUCTURAL MEASURES

- CONSTRUCTION TRAFFIC SHALL BE LIMITED TO THE ACCESS ROAD, UTILITY EASEMENTS AND AREAS TO BE GRADED.
- TOPSOIL SHALL BE STRIPPED FROM AREAS TO BE GRADED AND STOCKPILED FOR LATER USE. STOCKPILE LOCATION SHALL BE SUBJECT TO APPROVAL BY THE PROJECT ENGINEER. A SEDIMENT BARRIER SHALL SURROUND ALL TOPSOIL STOCKPILES.
- ALL TYPES OF WASTE GENERATED AT THE SITE SHALL BE DISPOSED OF IN A MANNER CONSISTENT WITH STATE LAW AND TOWN REGULATIONS. CONSTRUCTION DEBRIS SHALL BE DISPOSED OF DAILY TO AVOID EXPOSURE TO PRECIPITATION.
- THE CONSTRUCTION SUPERINTENDENT SHALL HAVE OVERALL RESPONSIBILITY FOR PLAN IMPLEMENTATION OF NON-STRUCTURAL MEASURES AND FOR SEEING THAT THE APPROPRIATE WORKERS ARE AWARE OF THE PROVISIONS OF THE PLAN.
- REFERENCE THE "RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK" PREPARED BY THE USDA SOIL CONSERVATION SERVICE, REVISED 2014, AS A GUIDE.

STRUCTURAL MEASURES

- RUNOFF WATER QUALITY IS IMPROVED UTILIZING A DRYWELL AND A PERVIOUS DRIVEWAY. CONSTRUCTION OF THE BMP'S SHALL BE SUPERVISED BY THE PROJECT ENGINEER.
- A STONE STABILIZATION PAD IS LOCATED AT THE SITE ENTRANCE TO REDUCE THE TRACKING OR FLOWING OF SEDIMENT ONTO THE PUBLIC RIGHT OF WAY.
- SILT FENCE SHALL BE INSTALLED DOWNSTREAM OUTSIDE THE LIMITS OF ANY PROPOSED CONSTRUCTION AS SHOWN ON THE SITE PLANS AND PRIOR TO THE COMMENCEMENT OF THE PROPOSED ALTERATION.
- IF NECESSARY TEMPORARY BERMS AND/OR SWALES SHALL BE USED DURING CONSTRUCTION TO DIRECT SURFACE TO TEMPORARY SEDIMENTATION TRAPS TO CAPTURE AND TREAT THE MAXIMUM AMOUNT OF STORMWATER.
- THE BMP AREAS ARE NOT TO BE USED AS SEDIMENTATION TRAPS DURING CONSTRUCTION AND SHALL BE PROTECTED FROM CONSTRUCTION ACTIVITIES (I.E. HEAVY MACHINERY) TO PREVENT COMPACTION. THE CONTRACTOR SHALL CONSTRUCT ANY SEDIMENTATION TRAPS WHICH ARE REQUIRED TO MEET ALL GUIDELINES IN THE RHODE ISLAND SOIL EROSION SEDIMENT CONTROL HANDBOOK.
- THE CONSTRUCTION SUPERINTENDENT SHALL HAVE THE OVERALL RESPONSIBILITY FOR STRUCTURAL MEASURE IMPLEMENTATION AND FOR SEEING THAT THE APPROPRIATE WORKERS ARE AWARE OF THE PROVISIONS OF THE PLAN.
- REFERENCE THE "RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK" PREPARED BY THE USDA SOIL CONSERVATION SERVICE, REVISED 2014, AS A GUIDE.
- INSTALL ROOF LEADERS TO DIRECT STORMWATER TOWARDS THE DRYWELL.



HOUSE DRYWELL DETAIL (PLAN)
NOT TO SCALE

CONSTRUCTION, MAINTENANCE & INSPECTION NOTES:

- ROOF LEADERS ARE TO TIE INTO PROPOSED DRYWELLS.
- DRYWELL AREA TO BE STAKED, MARKED, AND REMAIN UNDISTURBED PRIOR TO CONSTRUCTION. THERE IS TO BE NO CONSTRUCTION TRAFFIC ON DESIGNATED AREA PRIOR TO CONSTRUCTION.
- DRYWELLS TO BE LOCATED DOWNGRADIENT OF THE BUILDING WITH A MINIMUM OF 10' SEPARATION TO THE FOUNDATION.
- UNDER NO CIRCUMSTANCES MAY DRYWELLS BE INSTALLED UPGRADIENT OF A BUILDING.
- PLACE FILTER FABRIC ON SIDES OF TRENCH AND FILL WITH CRUSHED, WASHED STONE.
- OVERLAP FILTER FABRIC ON THE TOP OF THE FILTER STONE. BACK FILL WITH CLEAN FILL TO FINISH GRADE.
- MONITORING OF WATER LEVELS WITHIN THE INSPECTION PORT AT VARIOUS TIME INTERVALS AFTER A RAINFALL EVENT WILL INDICATE THE EFFECTIVENESS OF THE SYSTEM. IF WATER IS STANDING IN DRYWELL SYSTEM 72 HOURS AFTER A STORM EVENT, SYSTEM FAILURE HAS OCCURRED AND WILL REQUIRE FLUSHING MAINTENANCE, REPAIR OR REPLACEMENT OF THE SYSTEM.
- MAINTENANCE OF ALL DRYWELL AND DRAINAGE COMPONENTS IS THE RESPONSIBILITY OF THE OWNER, INCLUDING MONITORING OF WATER LEVELS AS NECESSARY.

- SIZING NOTES:**
- DRYWELLS SIZED USING TABLE 10 OF THE STATE OF RHODE ISLAND STORMWATER MANAGEMENT GUIDANCE FOR INDIVIDUAL SINGLE-FAMILY RESIDENTIAL LOT DEVELOPMENT
 - GROUNDWATER TABLE DATA:
TEST HOLES COMPLETED BY DIPRETE ENGINEERING ON SEPTEMBER, 2021
TH-1
GROUNDWATER SEEPAGE: 60"
DESIGN GWT: 24"
SOIL CATEGORY: 6

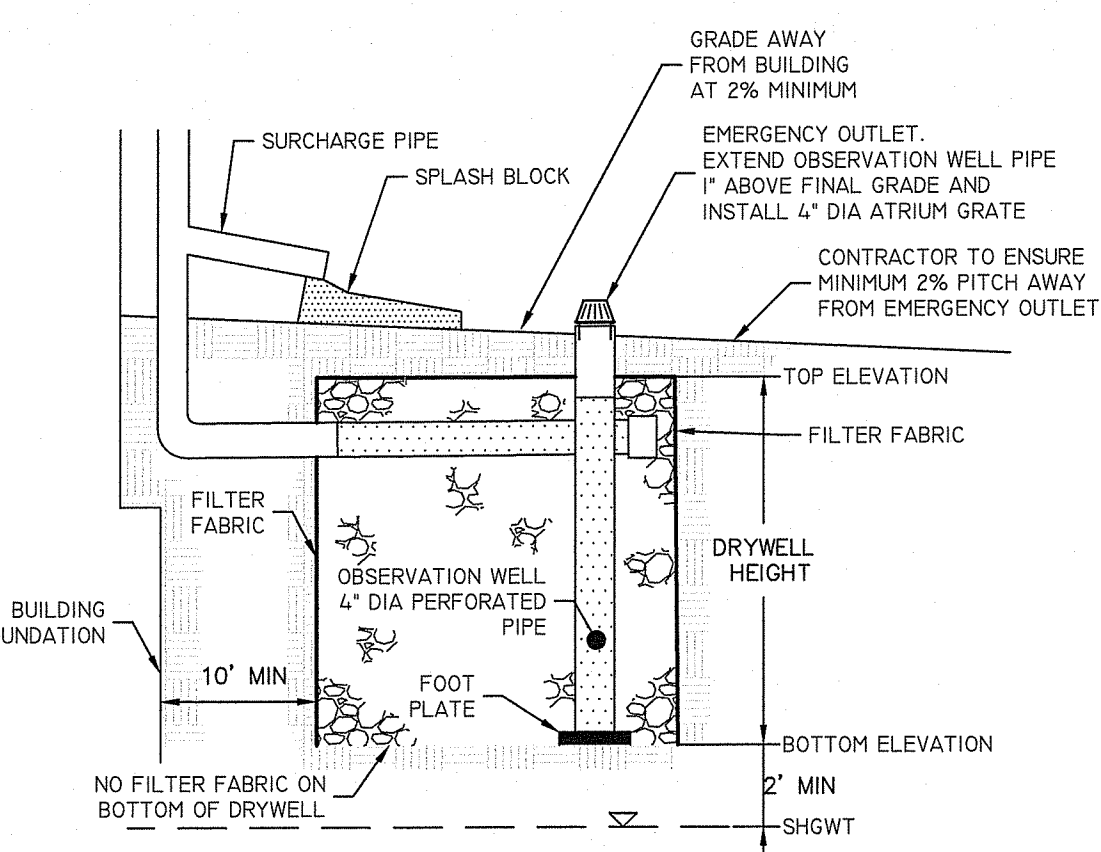
SIZING DATA
SOIL CONDITIONS: SANDY
DRYWELL DEPTH: 30 INCHES
GWT DEPTH: SEE NOTE #2 ABOVE

DRYWELL SIZING CALCULATION:
TOTAL IMPERVIOUS AREA = 8,000 SF

DRYWELL SIZING RATIO = $\frac{80 \text{ SF (DRYWELL SURFACE AREA)}}{1,000 \text{ SF (IMPERVIOUS SURFACE AREA)}}$

$\frac{80 \text{ SF}}{1,000 \text{ SF}} = X \text{ SF} = 640 \text{ SF DRYWELL REQUIRED}$

DRYWELL AREA PROVIDED = 650 SF



HOUSE DRYWELL DETAIL
NOT TO SCALE

| PROPOSED GRADING ELEVATION | TOP OF DRYWELL | ELEVATION AT BOTTOM STONE OF DRYWELL | SEASONAL HIGH GWT ELEVATION | SEPARATION DISTANCE (FEET) |
|----------------------------|----------------|--------------------------------------|-----------------------------|----------------------------|
| 617 | 616.50 | 614.00 | 612 | 2 |

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Engineers • Planners • Surveyors

JASON P. CLOUGH
No. [Signature]
REGISTERED PROFESSIONAL ENGINEER
CIVIL

| No. | Date | Description | By: |
|-----|------------|------------------------------------|--------|
| 1 | 7-5-2024 | RI/PA/PA Response to Comments | J.P.C. |
| 2 | 8-14-2024 | RI/PA/PA Response to Comments | J.P.C. |
| 3 | 9-19-2024 | RI/PA/PA Response to Comments | J.P.C. |
| 4 | 10-17-2024 | RI/PA/PA Response to Comments | J.P.C. |
| 5 | 01-17-2025 | RI/PA/PA Preliminary Determination | J.P.C. |

Design By: S.R.
Drawn By: S.R.

Detail Sheet - 1
Round Hill Road
AP 15, Lot 33 & AP 22 Lot 34 (Foster) & AP 36 Lots 11 & 28 (Scituate)
Schuette, Rhode Island

J&C Properties, LLC
Owner
2208 Plainfield Pike, Johnston, Rhode Island 02919
Tel: 401-923-7000 Fax: (401) 946-7666

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SHEET 5 OF 5